

A G E N D A

MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, NOVEMBER 6, 2024 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS 60527.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes of September 4, 2024, Plan Commission Regular Meeting
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 24-09: Consider a petition requesting the following:
 - i. A special use for a drive-through facility in the B – Community Shopping District.
 - ii. Certain variations from Title 9 of the Village Unified Development Ordinance as are set forth in the petition as part of the proposed drive-through facility.
 - iii. A comprehensive sign plan as part of the proposed drive-through facility.
 - A. Public Hearing
 - B. Discussion/Recommendation
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, SEPTEMBER 4, 2024, AT THE VILLAGE COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER

Chairman Wagner called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at CRC: Chairman Wagner, Vice Chairman Walec, Commissioner Baksay, Kaczmarek, Kanaverskis, Kaucky, Louise.

Staff present: Michael Krol, Director of Community Development and Donna Guerin, Plan Commission Secretary.

ABSENT: None.

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes of May 1, 2024, Plan Commission Regular Meeting

MOTION: Made by Vice Chairman Walec seconded by Commissioner Baksay approve the Omnibus Vote Agenda as presented.

Roll Call Votes:

AYES: Chairman Wagner, Vice Chairman Walec, Commissioner Baksay, Kaczmarek, Kanaverskis, Kaucky, Louise.

NAYS: None

MOTION DECLARED CARRIED.

4. Plan Commission consideration: Zoning Case 24-07: a Final Plat of Subdivision for 6200-6220 Clarendon Hills Road, Willowbrook, Illinois for a minor subdivision, for a lot line adjustment to resubdivide two (2) single-family residential parcels into three (3) single-family residential parcels and consideration of the following zoning variations:

- a) Section 9-07-03(A) Streets: to leave the existing street, Clarendon Hills Road as is.
- b) Section 9-07-03(B)(2) Sidewalks: to leave the existing public sidewalks along Clarendon Hills Road as is.

Chairman Wagner: We have a subdivision for review and asked the petitioner to present their information on the request. The petitioner is John Berry at 11S220 Jackson Street, Burr Ridge, Illinois is sworn in by Director Krol.

Petitioner Mr. Berry provides an overview on McNaughton Development on their over 40 years of custom home development and currently active in 10 developments throughout the Chicagoland area including Bentley Woods.

There are 2 current lots on the existing site from a re-subdivision approved in 2005, the Fitzpatrick Subdivision and McNaughton are proposing subdivide the lots into 3 code compliant R-2 lots. The 3 lots meet or exceed all the minimum standards outlined in the zoning code. The average lot will be just over 13,000 square feet. Mr. Berry provided home rendering designs of the house that will be built on the site. The plan is building 2 ranch homes and 1 traditional 2 story home. The homes will have 2-3 bedrooms, 2.5 bathrooms, 3 car garages, and full basements. We feel that the proposed homes proposed are an appropriate use based on recent trend, which is residential. If there are any questions, I am available.

Chairman Wagner: Director Krol, do you want to add anything to the presentation?

Director Krol: The only thing I would add is that the 2 variations are to the subdivision section of the code, which is to leave Clarendon Hills Road and the existing sidewalk as is. There are no changes proposed.

Chairman Wagner: Are there any members of the public that would like to address the Plan Commission?

Don Amirante, 221 Stanhope Drive, Willowbrook, Illinois is sworn in by Director Krol

Mr. Amirante: I am here representing Stanhope II and we have no objections to the homes being built. The concern was that the current home under construction on Clarendon Hills Road, while digging for the water main the contractor destroyed part of the existing berm on the townhome development property. We don't want the new development to ruin additional trees and berm areas. We would like to have the trees and bushes replaced that were damaged to provide the proper screening it was designed for. The berm is there to prevent noise, allow for privacy, and to keep pedestrian traffic from cutting though the townhome properties. What is the course of action for replacing our berm?

Sarah Turric, 6216 Canterbury Lane, Willowbrook, Illinois is sworn in by Director Krol.

Ms. Turric: I had a question about the plan, is there going to be one entrance off Clarendon Hills Road into 3 driveways or will there be 2 new driveways onto Clarendon Hills.

Director Krol: There will be 3 separate driveways onto Clarendon Hills Road for 3 single family homes.

Director Krol: Chairman Wagner if I could answer the other gentlemen's questions regarding the berm. Any new home built provides a restoration right-of-way bond. The Village holds a surety and cash bond. After the project is completed, we perform a right-of way inspection. It is required that any damage done is restored properly to Village standards. After the meeting I will get your information and look at the plans for the lot lines and discuss the issue with the contractor of record.

Beverly Thomas, 6234 Clarendon Hills Road is sworn in by Director Krol.

Ms. Thomas had a question regarding the timing of the project. What is the estimated timeline for completion of the homes? I have new construction going in right next door to my house and my bigger concern is safety issued. When the construction crews arrive, the parking of the vehicles cause difficulties backing out of the driveway.

Mr. Berry: we don't have an exact schedule, but we have submitted permit applications for all 3 of the proposed homes pending Village Board approval. I anticipate starting all 3 homes this fall and be completed by next spring.

Director Krol, if I could also add that I will reach out to the police department regarding the parking concerns of the residents. They have the authority to issue parking tickets if vehicles are not parked properly.

Ms. Thomas added that the trucks park at the top of the hill making it difficult to see oncoming southbound traffic.

Chairman Wagner: Are there any other members of the public who would like to speak or are there any emails or phone calls regarding the proposal.

Director Krol, just for the record I did receive a phone call with questions about the subdivision and the resident objected to the development and the anonymous caller thought that 2 lots was plenty.

Chairman Wagner: Do any of the Commissioners have any questions?

No additional questions were presented.

Chairman Wagner: I would like to hear a motion that, based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board, approval of the proposed Final Plat for 6200-6220 Clarendon Hills Road, Willowbrook, Illinois for a minor subdivision, for a lot line adjustment to resubdivide two (2) single-family residential parcels into three (3) parcels and approval of the following variations:

1. Section 9-07-03(A) Streets: to leave the existing street, Clarendon Hills Road as is.
2. Section 9-07-03(B)(2) Sidewalks: to leave the existing public sidewalks along Clarendon Hills Road as is.

MOTION: Made by Commissioner Kaucky seconded by Vice Chairman Walec.

Roll Call Votes:

AYES: Chairman Wagner, Vice Chairman Walec, Commissioner Baksay, Kaczmarek, Kanaverskis, Kaucky, Louise.

NAYS: None

MOTION DECLARED CARRIED.

5. VISTOR'S BUSINESS.

None

6. COMMUNICATIONS.

Director Krol, we did receive an application for Panda Express Restaurant at 7505 Kingery Highway. That will be on a Plan Commission agenda for possibly November for a special use and variations.

7. ADJOURNMENT

MOTION: Made by Commissioner Baksay seconded by Vice Chairman Walec to adjourn the meeting of the Plan Commission at 7:20 p.m.

Roll call votes AYES: Chairman Wagner, Vice Chairman Walec, Commissioner Baksay, Kaczmarek, Kanaverskis, Kaucky, Louise.

MOTION DECLARED CARRIED

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UNANIMOUS VOICE VOTE
PRESENTED, READ, AND APPROVED,

Chairman Wagner

Minutes transcribed by Director Krol



Village of Willowbrook

Staff Report to the Plan Commission

Public Hearing Date:	November 6, 2024															
Prepared By:	Michael Krol, Director of Community Development															
Case Title:	Zoning Hearing Case No. PC 24-09: 7505 Kingery Highway for a Special use, consideration of zoning variations to the Unified Development Ordinance, and a comprehensive sign plan for a Panda Express Restaurant.															
Petitioner:	Panda Express Inc., 1683 Walnut Grove Avenue, Rosemead, California, 91770.															
Action Requested:	Consideration and recommendation of a petition requesting a special use for a drive-through facility in the B – Community Shopping District, including certain variations from Title 9 of the Unified Development Ordinance and a comprehensive sign plan in conjunction with the proposed drive-through facility for a single-story, 2,300 square foot Panda Express restaurant with associated site improvements.															
Location:	7505 Kingery Highway., Willowbrook, IL 60527.															
PINs:	09-26-400-013															
Existing Zoning:	B – Community Shopping District															
Proposed Zoning:	B – Community Shopping District with a special use for an accessory drive-through facility															
Property Size:	1.00 acres															
Surrounding Land Use:	<table><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>Willowbrook/Wingren Plaza</td><td>B</td></tr><tr><td>South</td><td>Red Roof Inn Plus</td><td>B</td></tr><tr><td>East</td><td>Light Manufacturing</td><td>M-1</td></tr><tr><td>West</td><td>Potbelly's Restaurant</td><td>B</td></tr></tbody></table>		Use	Zoning	North	Willowbrook/Wingren Plaza	B	South	Red Roof Inn Plus	B	East	Light Manufacturing	M-1	West	Potbelly's Restaurant	B
	Use	Zoning														
North	Willowbrook/Wingren Plaza	B														
South	Red Roof Inn Plus	B														
East	Light Manufacturing	M-1														
West	Potbelly's Restaurant	B														

Necessary Action by Plan Commission:	Make either a positive recommendation or negative recommendation to the Mayor and Village Board for the proposed special use for a drive-through facility in the B – Community Shopping District, including certain variations from Title 9 of the Unified Development Ordinance and a comprehensive sign plan for a Panda Express Restaurant.
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A sample motion can be found on page 4.



History & Background

Site Description

The subject property is located at the southeast corner of Illinois (IL) Route 83/Kingery Highway and 75th Street, just south of Willowbrook/Wingren Plaza shopping center and east of Potbelly's restaurant. The subject property is currently located in the B Community Shopping Zoning District, is adjacent to the north, northwest, south, and west by properties also located in the B Community Shopping Zoning District and the M-1 Light Manufacturing District to the east. The one-acre property is regular in shape and is currently served by three existing driveways.

Exhibit 1: Aerial View of the Subject Property



Surrounding Uses

Surrounding zoning and uses include a shopping center (Willowbrook Plaza Shopping Center) including Club Champion, a Fedex Print and Ship Center, Kabob-Q restaurant, Mint Cannabis, nail salons, and associated parking lots in the B zoning district to the north, a hotel (Red Roof Inn) and associated parking lot to the south, a fast-casual restaurant (Potbelly's) in the B zoning district to the west, and manufacturing/sales uses in the M-1 zoning district to the east. The Village of Willowbrook's Comprehensive Plan designates the site for "Highway Commercial" uses, which corresponds to the B Community Shopping Zoning District.



Existing Streets and Circulation

Illinois Route 83/Kingery Highway is designated as a Regional Arterial and forms the western boundary of the site. A right-in/right-out access drive on IL Route 83 is located approximately 100 feet south of 75th Street. The access drive provides one inbound lane and one outbound lane restricted to right-turn movements by the median on IL Route 83.

75th Street is designated as a Major Arterial west of IL Route 83 and is designated as an Industrial Collector east of IL Route 83. 75th Street forms the northern boundary. There are two access drives on 75th Street, with the westernmost access drive allowing right-in only into the subject property. The current easternmost access drive allows full movement access on 75th Street.

Development Proposal

The subject property is currently a vacant lot, previously occupied by a Shell gasoline, service station, and a convenience mart. The current property owner, True North Energy, LLC, has secured a No Further Remediation (NFR) letter from the Illinois Environmental Protection Agency (IEPA) to allow for the site to be developed.

Panda Express, Inc. (the “Applicant”) is requesting approval of a special use for the construction of a 2,300 square foot Panda Express fast-food restaurant with a single drive-through lane and associated site improvements. A special use is requested to allow an accessory use of a drive-through facility within the Village of Willowbrook’s B Community Shopping Zoning District. The fast-food establishment will include interior dining and no permanent outdoor dining. Other on-site improvements include landscaping, site lighting, three (3) access points, trash enclosure, and a comprehensive sign plan as a part of the development. The proposed single-story building is situated towards the northwest portion of the subject property and will require multiple variations to UDO for landscaping requirements, building façade, access points distances, parking lot setback, and several other variations.

Requested Action

Approval of a special use permit for a drive-through in the B Community Shopping District, including variations from Title 9 of the Village Unified Development Ordinance, and an approval of a comprehensive sign plan as proposed for the construct a one-story building and drive-through with associated on- and off-site improvements.

Requested Variations

The proposed improvements for the use include the variations listed below:

1. Section 9-4-11(E)(2) to reduce the minimum distance from Residential for a drive-through structural element from 400 feet to 215 feet.
2. Section 9-4-11(E)(8) to allow a partial drive-through by-pass lane at a 12-foot width.
3. Section 9-5-01(B)(5)(a) to reduce the minimum interior side parking area setback from 10 feet to a 0-foot parking setback for the cross-access easement to the lot directly south of the property.
4. 9-5-02(E)1 to reduce the minimum landscape foundation plantings width around the building as follows:
 - a. 3.3 feet at the north façade
 - b. 3.8 feet at the south façade
 - c. 6.5 feet at the east façade
 - d. 0.0 feet at the west facade



5. Section 9-5-02(H)(a) to reduce the Transition Zone C Width from 15 feet to 13.3 feet.
6. Section 9-5-02(H)(c) to reduce the minimum understory tree count from 7 trees to 4 trees.
7. Section 9-5-02(H)(d) to reduce the Transition Zone C Canopy/Evergreen tree count from 7 evergreen trees to 6 evergreen trees.
8. Section 9-5-03(C)(1)(b) to reduce the minimum spacing between separate driveways from 300 feet to 74.2 feet to utilize the existing site access along 75th Street.
9. Section 9-5-03(C)(1)(b) to reduce the minimum spacing between separate driveways from 300 feet to 200.2 feet to utilize the existing site access along Kingery Hwy.
10. Section 9-5-08(B) to reduce the masonry percentage minimum, in the B District building elevation façade from:
 - a. 50% to allow 33% on the north/exterior side elevation.
 - b. 50% to allow 43% on the west/front elevation.
11. Section 9-5-08(B) to reduce the masonry percentage minimum, in the B District building elevation façade from 25% to allow 12% on the south/interior side elevation.
12. Section 9-5-08(B) to increase the EIFS/concrete percentage maximum, the B District building elevation façade from:
 - a. 15% to allow 40% on the north/exterior side elevation.
 - b. 15% to allow 38% on the west/front elevation.
13. Section 9-5-08(B) to increase the EIFS/concrete percentage maximum, the B District building elevation façade from:
 - a. 25% to allow 36% on the east/rear elevation.
 - b. 25% to allow 36% on the south/interior side elevation.
14. Section 9-5-08(D)(1) to reduce the B District transparency zone glazing front elevation minimum from 40% to allow 6%.
15. Section 9-5-08(D)(1) to reduce the B District transparency zone glazing exterior side minimum from 30% to 0%.
16. Section 9-5-09(F)(1) to increase the maximum lighting level from:
 - a. 0.5 foot-candles at the property line to allow 1.1-foot candles at the south property line.
 - b. 0.5 foot-candles at the property line to allow 1.5 foot-candles at the north property line.

Requested Comprehensive Sign Plan

New to the Unified Development Ordinance, any building or development may elect to submit a comprehensive sign plan per Section 9-9-07 of the UDO. The objective is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable sign regulations. Section 9-9-07 of the UDO highlights the Comprehensive Sign Plan review criteria, which is below for the Plan Commission to consider.

Staff Analysis

Appropriateness of Use

A carry out or dine in restaurant is a permitted use in the B zoned district and an accessory drive-through is allowed with a special use permit. The bulk regulations for new developments in the B – Community Shopping District are provided in **Exhibit 3** and the proposed building complies with all applicable regulations.

Building Elevations

The Applicant has submitted building elevations as shown in **Exhibit 2**. The proposed fast-food establishment provides variations in the choice of building materials and introduces a sufficient number



of breaks in the façade with material changes and variations of the roof line. Proposed building materials include a combination of brick, stone, EIFS and metal. Glass windows are provided on the east and south elevation to allow natural light to filter into the building and provide street views for its patrons.

Exhibit 2 Architectural Rendering (East and South Elevations Facing Parking)



Exhibit 3 B Zoning District Bulk Regulations

Bulk Standard	B	Proposed	Variance
Min. Lot Width	50 ft.	170 ft.	None
Min. Lot Depth	50 ft.	256.24 ft.	None
Min. Building Height	40 ft.	23 ft.	None
Building Setbacks:			
Front Yard Setback (west)	20 ft.	50.2 ft.	None
Interior Side Yard Setback (south)	10 ft.	61.9 ft.	None
Exterior Side Yard Setback (north)	20 ft.	43.7 ft.	None
Rear Yard Setback (east)	40 ft.	127.6 ft.	None

Access, Circulation and Parking/Loading

The subject property is currently accessible from both IL Route 83/Kingery Highway and 75th Street. The Panda Express site layout proposes constructing new access driveways in the approximate location of the existing access driveways, except for the westernmost right-in only site access drive on 75th Street which will be closed off and curbed. The access on 75th Street will be a full movement for inbound



traffic and right-out only traffic. The proposed access on IL Route 83/Kingery Highway will remain to be a right-in/right-out access.

The single-lane drive-through has a counter-clockwise rotation around the proposed building and offers a partial second by-pass lane after patrons submit their orders at the menu board. A variance has been requested for the partial by-pass lane as Section 9-4-11(E)(8) requires a full by-pass lane. The proposed fast-food establishment can be accessed via the driveway on IL Route 83/Kingery Highway for northbound travelers. Vehicles will enter from this driveway and proceed along the south edge of the site, past a row of surface parking spaces. Vehicles will make two left turns after driving past the proposed building to enter the drive-through. The approach from the 75th Street driveway also has a counter-clockwise rotation where vehicles will make an immediate right to proceed directly into the drive-through lane.

According to the Traffic Plan, the proposed site layout is designed to provide a total storage length of seven (7) vehicles for the drive-through window queue, with placement of the menu/order board at the third car. Furthermore, two (2) drive-through parking pick-up spaces are proposed to help reduce drive-through queueing as needed during peak business hours.

The proposed site layout will provide a total of forty-four (44) parking spaces, including two (2) accessible spaces, two (2) drive-through waiting spaces, and two (2) online order pickup spaces, located along the east and south lot lines, east of the proposed building and within the interior of the subject property. Data was collected from three (3) similar nearby Panda Express drive-through restaurants and includes seven (7) consecutive days of drive-through transaction counts, divided into 30-minute time spans. The traffic study indicates there is an average service time of five (5) minutes starting with the food order at the menu board and ending with food pickup at the drive-through window.

The site layout indicates compliance with all parking lot setback requirements however a zoning variance has been requested to reduce the south parking lot setback from 10 feet to a 0-foot parking lot setback because of the cross access to the Red Roof Inn property, 7535 Kingery Hwy. The individual parking spaces along the south property line will be 10 feet from the property line.

Exhibit 4 Parking Lot Setbacks and Standards

Parking Standards	B	Proposed	Variance
Front (west)	25 ft.	25.0 ft.	None
Interior Side (south)	10 ft.	0.0 ft	Yes
Exterior Side (north)	15 ft.	15.0 ft.	None
Rear Yard (east)	10 ft.	13.3 ft.	None
Required Spaces	1 per 100 sq.ft. x 2,300 = 23 spaces	44 Total spaces, incl. 2 ADA spaces	None
Stacking	6	7	None

Cross Access with Red Roof Inn

Currently, Red Roof Inn's only vehicular access from IL Route 83 is via the Target property to the south. Cross access between the Red Roof Inn property and the subject property would provide to the patrons of Red Roof Inn direct access to 75th Street. (For Red Roof Inn patrons wishing to travel westbound on



75th Street, this would require vehicles to cross into the Target property to the south, make a right-turn onto IL Route 83 and then make an immediate and dangerous maneuver into the left-turn lanes by crossing two lanes of traffic on IL Route 83 to make that left-turn onto 75th Street.) The cross-access drive would act as a "frontage road" along the west side of the subject property and the Red Roof Inn property and would help to minimize impacts and conflicts on the adjacent roadway network. The applicant has entered into a cross access agreement with the property owner of 7535 Kingery Highway (Red Roof Inn) in a form to be approved by the Village Attorney. The agreement has been received by staff and will be reviewed prior to the issuance of the permit. In addition, prior to issuance of a building permit, the Applicant shall record Plat of Easement granting access to the water service line from the Village watermain to the buildings water meter. Both requirements are included as conditions of approval for the special use permit.

Outside Agency Review

The applicant has provided the required No Further Remediation (NFR) letter from the Illinois Environmental Protection Agency (IEPA) for the corrective action plan and requirements, stating that all corrective action concerning the remediation of the occurrence has been completed, and no further corrective action concerning the site is necessary for the protection of human health, safety, and the environment.

The Illinois Department of Transportation (IDOT) has reviewed and approved the right-of-way work permit for the replacement access driveway onto Kingery Hwy, curb and gutter, public sidewalk, storm sewer installation.

The DuPage County Department of Public Works has approved and issued a sanitary sewer connection permit to the applicant and will inspect the work prior to concealment.

Stormwater Management

Final Engineering plans including Stormwater Submittal was provided to the Village. The Village Engineer confirmed the findings of the study stating that the subject property does not contain floodplain or wetlands, and the development does not reach the net new impervious thresholds to trigger Best Management Practices or Detention. The Village Engineer has reviewed the engineering for stormwater compliance and identified no issues.

Trash Enclosure

The Applicant is proposing a six-foot (6') high trash enclosure on the southeast portion of the site lot, to the east side of the building, where the open side of the enclosure is oriented so that, to the greatest extent possible, it does not face towards an abutting property or street. The trash enclosure plan indicates a brick finish to match the building texture per Section 9-5-04 of the Village Code, which states the trash enclosure must be constructed to look like the exterior building cladding and shall appear to the color and style of the building.

Site Lighting

A photometric and site lighting detail plan was included with the submittal packet. Section 9-5-09(F)(1) of the UDO provides minimum standards for light spillage onto adjacent properties. In non-residential districts, 0.5-foot candles shall be maintained at the property line. A variance has been requested to allow 1.1-foot candles at the south property line and to allow 1.5 foot-candles at the north property line, which is where the site entrance from 75h Street is located. Staff does not object to the request for an



increase in foot-candles to the site. Please note that the Village reserves the right to require glare shields to be installed, should it deem appropriate.

Landscaping

A landscape plan has been provided with a significant amount of new landscaping being provided site wide with number of trees, shrubs, grasses, and plants for an aesthetically pleasing look. Several variations have been requested for the landscaping around the building foundation as well as to the transition zones. A reduction around the building foundation area has been requested. The drive-through lane and parking lot are located on the north, south, and west side of the building making it difficult to achieve a 7-foot area and operate a drive-through. However, the landscape plan indicates an increase in foundation plantings around the perimeter of the building from the 40% minimum to 51%.

The UDO requires landscape transition zones for non-residential buildings, when abutting specific uses. To the east of the site is a light manufacturing warehouse, requiring a 15-foot landscaping buffer. A variance has been requested to 13.3 feet including a reduced number of trees required. To the south, the Red Roof Inn landscape buffer requires a minimum of 5 feet, however the site plan indicates a 10-foot buffer with 40 shrubs and evergreens to provide screening. If the variations are approved, staff is satisfied with the proposed landscaping plan as proposed and is recommending a condition of approval that requires the applicant to comply with the proposed landscaping plan.

Signage

Unified Development Ordinance allows for a comprehensive sign package review and the purpose of the comprehensive sign plan is to provide an alternative procedure under which signs can be designed, constructed, and erected with innovation, imagination, and creative architecture. The objective of the comprehensive sign plan is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable sign regulations. The comprehensive sign package includes four (4) wall signs, a digital menu board, an Order Here canopy with digital order board, a drive-through directional sign, and a monument sign located at the northwest corner of 75th and Kingery Highway.

Three (3) of the four (4) wall signs are identical, 36 square foot round Panda logo signs located on the north, east, and west elevation of the building. The fourth wall sign is a 53.19 square foot Panda Express wall sign on the south elevation. The UDO allows for a maximum of two wall mounted signs and a maximum area of 10% of the total area of the face of wall which the sign is to be affixed. Although the total number of wall signs and the square footage is over what the udo allows, it does not exceed three (3) square feet of sign area per linear foot of frontage stated in the comprehensive sign standards for review criteria.

Exhibit 7: Proposed Wall Signs





One proposed Panda Express monument style sign is proposed at the northwest corner of property, surrounded by landscape rock and shrubs, which meet the side code. The sign has dimensions of 12 feet x 6'-5 7/8" feet, or a total of 36 square feet per side (72 square feet total). It will be set back a minimum of five feet (5') from the north and west lot lines, contains brick in keeping with the design of the principal structure, and will be constructed to a maximum height of twelve feet (12'). Staff has no objection with any signage proposed in the comprehensive sign plan and finds the signage is common among drive-through restaurants. The sign package was identical to the previously approved submittal from 2021.

Standards for Review for a Variation (9-9-04)

The variation process is designed to provide a narrowly circumscribed means by which relief may be granted from unforeseen applications of this UDO that create practical difficulties or particular hardships.

The Plan Commission shall not recommend, and the Village Board shall not grant variations from the regulations of this UDO unless an affirmative finding of facts shall be made as to all of the review criteria established below, which findings of fact shall be based upon evidence provided by the applicant and the information provided in this report.

- (1) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.
- (2) The proposed variation will not merely serve as a convenience to the applicant but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.
- (3) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.
- (4) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.
- (5) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.
- (6) The proposed variation will not alter the essential character of the locality.
- (7) The proposed variation is in harmony with the spirit and intent of this UDO.

Standards for Review for a Special Use Permit (9-9-05)

There exist various uses, which because of their special or unique characteristics may be located in some zoning districts with no disruptive effects, but which may, in other districts, need special consideration and restraints in order to measure and prevent potential adverse impacts upon other uses located in such districts.

The following review criteria shall be met in order for the Village Board to approve a Special Use Permit application:

- (1) The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.



- (2) The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- (3) The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
- (4) Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.
- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (6) The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Standards for Review for a Comprehensive Sign Plan (9-9-07)

The purpose of the comprehensive sign plan is to provide an alternative procedure under which signs can be designed, constructed, and erected with innovation, imagination, and creative architecture. The objective of the comprehensive sign plan is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable sign regulations.

The following review criteria shall be met in order for the Village Board to approve a Comprehensive Sign Plan application:

- (1) Placement. All signs shall be placed where they are visible and legible. Factors to be considered include the location of a sign relative to traffic movement and access points, site features, other structures, and orientation relative to viewing distances and viewing angles. Wall signs may be approved on building walls other than the wall of a unit of a multi-tenant building in which some units have little or no visibility from the street.
- (2) Quantity. The number of signs that may be approved within any development shall be sufficient to provide necessary facilitation of internal circulation of vehicular and pedestrian traffic and wayfinding for safety of the occupants of vehicles and pedestrians. Factors to be considered shall be those that impact safety considerations such as the size of the development and the number of development sub-areas.
- (3) Size. All signs shall be no larger than necessary for visibility and legibility but in no instance shall the aggregate sign area per lot exceed three (3) square feet of sign area per lineal foot of frontage. Factors to be considered in determining appropriate size include topography, volume, and speed of traffic, viewing distances and angles, proximity to adjacent uses, and placement of display.

Staff Summary

The Community Development Staff has no objection to the proposed special use, zoning variations, and comprehensive sign plan. The site has been vacant for several years and the Panda Express drive-through was previously approved under Ordinance 2021-O-13 for a special use and associated zoning variations. The special use was extended twice (Ordinance 22-O-39 and Ordinance 23-O-13) because of the time needed for outside agency approval. The applicant, layout, drive-through, and parking lot has not changed. The requested special use, variations, and sign plan should have no negative impacts on surrounding land uses.

Staff recommends the Plan Commission review the special use criteria, variation criteria, and comprehensive sign plan criteria before considering acceptance.



If additional time or testimony is needed, the Plan Commission may wish to continue this hearing and/or consideration the proposed petition. If the Plan Commission's work is completed, the following sample motion is provided for the Plan Commission's use:

Sample Motion:

Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board, approval of the proposed special use for a drive-through facility in the B – Community Shopping District, for a Panda Express restaurant including the list of variations from Title 9 of the Unified Development Ordinance as outlined in the staff report 24-09 and the comprehensive sign plan in conjunction with the proposed drive-through facility for a single-story and subject to the following conditions:

1. The special use permit shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.
2. The comprehensive sign plan is limited to two hundred ninety square feet (290 SF) of signage as proposed including one monument sign and four wall signs in substantial conformance with the sign package, dated September 25, 2024.
3. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
4. Provide a revised, signed, and dated cross access agreement with current dates to be reviewed by the Village Attorney and recorded at DuPage County.
5. Provide a revised Traffic Regulation Agreement with current date and Village Administrator.
6. All landscaped areas shall be constructed, and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
7. Development shall occur generally in conformance with Site Plan C04.0, dated 8.28.24.
8. Development shall occur generally in conformance with the final engineering plans that include Grading Plan C05.0, Storm Sewer Plan C06.0, and Utility Plan C07.0 dated 8.28.24.
9. Development shall occur generally in conformance with the architectural plans dated 7.31.24.
10. Development shall occur generally in conformance with the landscaping plan L01.10 dated 8.28.24.
11. Development shall occur generally in conformance photometric plan dated 10.29.20.

Should the Plan Commission wish to support this request, the following variations from the zoning ordinance should be specifically included:

1. Section 9-4-11(E)(2) to reduce the minimum distance from Residential for a drive-through structural element from 400 feet to 215 feet.
2. Section 9-4-11(E)(8) to allow a partial drive-through by-pass lane at a 12-foot width.
3. Section 9-5-01(B)(5)(a) to reduce the minimum interior side parking area setback from 10 feet to a 0-foot parking setback for the cross-access easement to the lot directly south of the property.
4. 9-5-02(E)1 to reduce the minimum landscape foundation plantings width around the building as follows:
 - a. 3.3 feet at the north façade
 - b. 3.8 feet at the south façade
 - c. 6.5 feet at the east façade
 - d. 0.0 feet at the west facade
5. Section 9-5-02(H)(a) to reduce the Transition Zone C Width from 15 feet to 13.3 feet.



6. Section 9-5-02(H)(c) to reduce the minimum understory tree count from 7 trees to 4 trees.
7. Section 9-5-02(H)(d) to reduce the Transition Zone C Canopy/Evergreen tree count from 7 evergreen trees to 6 evergreen trees.
8. Section 9-5-03(C)(1)(b) to reduce the minimum spacing between separate driveways from 300 feet to 74.2 feet to utilize the existing site access along 75th Street.
9. Section 9-5-03(C)(1)(b) to reduce the minimum spacing between separate driveways from 300 feet to 200.2 feet to utilize the existing site access along Kingery Hwy.
10. Section 9-5-08(B) to reduce the masonry percentage minimum, in the B District building elevation façade from:
 - a. 50% to allow 33% on the north/exterior side elevation.
 - b. 50% to allow 43% on the west/front elevation.
11. Section 9-5-08(B) to reduce the masonry percentage minimum, in the B District building elevation façade from 25% to allow 12% on the south/interior side elevation.
12. Section 9-5-08(B) to increase the EIFS/concrete percentage maximum, the B District building elevation façade from:
 - a. 15% to allow 40% on the north/exterior side elevation.
 - b. 15% to allow 38% on the west/front elevation.
13. Section 9-5-08(B) to increase the EIFS/concrete percentage maximum, the B District building elevation façade from:
 - a. 25% to allow 36% on the east/rear elevation.
 - b. 25% to allow 36% on the south/interior side elevation.
14. Section 9-5-08(D)(1) to reduce the B District transparency zone glazing front elevation minimum from 40% to allow 6%.
15. Section 9-5-08(D)(1) to reduce the B District transparency zone glazing exterior side minimum from 30% to 0%.
16. Section 9-5-09(F)(1) to increase the maximum lighting level from:
 - a. 0.5 foot-candles at the property line to allow 1.1-foot candles at the south property line.
 - b. 0.5 foot-candles at the property line to allow 1.5 foot-candles at the north property line.



Documents Attached:

- Attachment 1: Public Hearing Notice
- Attachment 2: Picture of Public Hearing sign
- Attachment 3: Legal Description
- Attachment 4: Application (2 sheets)
- Attachment 5: Special Use Standards by applicant (2 sheets)
- Attachment 6: Variation Standards by applicant (2 sheets)
- Attachment 7: CBBEL Recommendation of Approval
- Attachment 8: IDOT Approval
- Attachment 9: 2025 Construction Schedule
- Attachment 10: Traffic Regulation Agreement (8 pages)
- Attachment 11: IEPA No Further Remediation Letter (9 pages)
- Attachment 12: Comprehensive Sign Plan (16 pages)
- Attachment 13: Site Plan C04.0, dated 8.28.24 (11x17)
- Attachment 14: Grading Plan C05.0, dated 8.28.24 (11x17)
- Attachment 15: Storm Sewer Plan C06.0, 8.28.24 (11x17)
- Attachment 16: Utility Plan C07.0, dated 8.28.24 (11x17)
- Attachment 17: Landscaping Plan L01.0, dated 8.28.24 (11x17)
- Attachment 18: Floor Plan A-101, dated 7.31.24 (11x17)
- Attachment 19: Exterior Elevations A-200, dated 7.31.24 (11x17)
- Attachment 20: Exterior Elevations A-201, dated 7.31.24 (11x17)
- Attachment 21: Exterior Perspectives A-202, dated 7.31.24 (11x17)
- Attachment 22: Trash Enclosure A-300, dated 7.31.24 (11x17)
- Attachment 23: Truck Turn Analysis EX-01, dated 11.20.20 (11x17)
- Attachment 24: Traffic Plan Ex-02, dated 11.20.20 (11x17)
- Attachment 25: Photometric Plan dated 10.29.20 (11x17)
- Attachment 26: Plat of Easement for Public Utility dated 10.31.23 (11x17)



Attachment 1
Notice of Public Hearing (1 Sheet)

CHICAGO SUN-TIMES

Certificate of Publication

On Behalf of:

VILLAGE OF WILLOWBROOK
ZONING HEARING CASE NO. 24-09

Customer No: 100425
Ad No: 2372
Amount: \$427.00
PO Number: #PO_NUMBER#

ATTESTATION OF PUBLIC LEGAL NOTICE

STATE OF ILLINOIS, COUNTY OF COOK:

Chicago Sun-Times does hereby certify it has published the attached advertisements in the following secular newspapers. All newspapers meet Illinois Compiled Statute requirements for publication of Notices per Chapter 715 ILCS 5/0.01 et seq. R.S. 1874, P728 Sec 1, EFF. July 1, 1874. Amended by Laws 1959, P1494, EFF. July 17, 1959. Formerly Ill. Rev. Stat. 1891, CH100, Pl.

As published in Chicago Sun Times in the issue(s) of:

10/22/2024

IN WITNESS WHEREOF, the undersigned, being duly authorized, has caused this Certificate to be signed by:

Robin Munoz
Manager | Recruitment
& Legals

Date: 10/22/2024

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 24-09

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 6th of November 2024 at the hour of 7:00 P.M. in the Village Boardroom, 825 Midway Drive, Willowbrook, IL 60527.

The purpose of this meeting and public hearing shall be to consider a petition requesting the following:

1. A special use for a drive-through facility in the B – Community Shopping District.
2. Certain variations from Title 9 of the Village Unified Development Ordinance as are set forth in the petition as part of the proposed drive-through facility.
3. A comprehensive sign plan as part of the proposed drive-through facility.

For the property legally described as follows:

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET, THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-26-400-013

ADDRESS: 7505 S. Kingery Highway, Willowbrook IL 60527.

The applicant for this petition is Panda Express, Inc. 1683 Walnut Grove Avenue, Rosemead, CA 91770. Copies of the application and related documentation are on file in the office of Community Development, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Michael Krol, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Sean Halloran
Village Administrator
(630) 323-8215
10/22/2024 #2372



Attachment 2
Picture of Public Hearing Sign posted on site





Attachment 3
Legal Description

WILLOWBROOK, IL PANDA EXPRESS – LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO.: NCS-968541-CLE
COMMITMENT DATE: AUGUST 28, 2020

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



Attachment 4
Application (2 sheets)



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5594

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

APPLICATION FOR PLANNING REVIEW

NAME OF PROJECT: Willowbrook, IL Panda Express

NAME OF APPLICANT(S): Panda Express, Inc. (attn: Josh Hibbels)

ADDRESS: 1683 Walnut Grove Avenue

CITY, STATE, ZIP: Rosemead, CA 91770

TELEPHONE: (314) 494-1698

FAX

NAME OF PROPERTY OWNER(S): True North Energy, LLC

ADDRESS: 10346 Brecksville Road

CITY, STATE, ZIP: Brecksville, OH 44141

TELEPHONE: (440) 792-4200

FAX

APPLICATION SUBMITTED FOR: (check all that apply)

Site Plan Review

Annexation

Preliminary Plat of Subdivision

Annexation Agreement

Final Plat Subdivision

Special Use Permit

Preliminary PUD

Map Amendment (Rezoning)

Final PUD

Text Amendment

Variation

SITE INFORMATION:

COMMON ADDRESS OR DISTANCE IN FEET & DIRECTION OF SUBJECT PROPERTY FROM CLOSEST STREET INTERSECTION:

7505 S. Kingery Hwy, Willowbrook, IL 60527

PERMANENT INDEX NUMBER(S) (PIN #) OF SUBJECT PROPERTY: 0926400013

LEGAL DESCRIPTION: ATTACH LEGAL DESCRIPTION TYPED ON SEPARATE 8.5 X 11" PAGE(S) AND SUBMIT A DIGITAL COPY.

AREA OF SUBJECT PROPERTY IN ACRES: 1.000(+/-) Acres

CURRENT ZONING CLASSIFICATION OF SUBJECT PROPERTY: B - Community Shopping District

CURRENT USE OF SUBJECT PROPERTY: Former Shell Gas/Service Station

PROPOSED ZONING CLASSIFICATION OF SUBJECT PROPERTY: B - Community Shopping District

PROPOSED USE OF SUBJECT PROPERTY: Panda Express Fast Food Restaurant with Drive Thru

PROPOSED IMPROVEMENTS TO SUBJECT PROPERTY: Construction of new 2,300 SF Panda

Express Drive Thru Restaurant including new asphalt parking lot, trash enclosure and landscaping



NORTH OF SITE	B - Community Shopping District	Shopping Center (Strip Mall)
SOUTH OF SITE	B - Community Shopping District	Hotel (Red Roof Inn)
EAST OF SITE	MI Light Manufacturing	Manufacturing/Distribution/Sales Offices
WEST OF SITE	B - Community Shopping District	Restaurant (Polbally's)

UTILITIES - PROVIDE INFORMATION ON LOCATION, SIZE AND OWNERSHIP OF UTILITIES

WATER

LOCATION: East side of Klegary Hwy & South side of 75th St. SIZE: 12" PVC
OWNERSHIP: Village of Willowbrook

SANITARY SEWER

LOCATION: South of Site (located on adjacent property within an easement) SIZE: 8" VCP
OWNERSHIP: DuPage County Public Works

STORM SEWER

LOCATION: East side of Klegary Hwy SIZE: 18" CMP

SCHOOL DISTRICT - INDICATE WHICH SCHOOL DISTRICT SERVES THE SUBJECT REALTY

ELEMENTARY SCHOOL DISTRICT: District 62

JUNIOR HIGH SCHOOL DISTRICT: District 86

HIGH SCHOOL DISTRICT: District 86

FIRE DISTRICT - INDICATE WHICH FIRE DISTRICT SERVES THE SUBJECT REALTY

FIRE DISTRICT: Tri-State Fire District

DISTANCE TO FIRE STATION: 0.9 mile

CONSULTANTS

NAME OF ATTORNEY OR AGENT:

ADDRESS: _____ CITY, STATE, ZIP: _____
E-mail: _____ Office Phone: _____ Cell: _____

NAME OF ENGINEER: Atwell, LLC

ADDRESS: 12745 23 Mile Rd Suite 200 CITY, STATE, ZIP: Shelby Township, MI 48315
E-mail: jbenaglio@atwell.com Office Phone: 616.460.6653 Cell: _____

NAME OF ARCHITECT: NORR

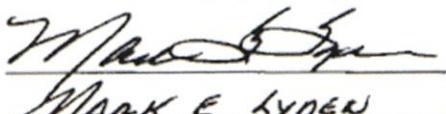
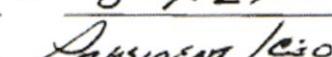
ADDRESS: 150 W. Jefferson Ave., Suite 1300 CITY, STATE, ZIP: Detroit, MI 48226
E-mail: Alex.Froelich@norr.com Office Phone: 313.324.3092 Cell: _____

NAME OF LANDSCAPE ARCHITECT: Atwell, LLC

ADDRESS: 1250 East Diehl Road, Suite 300 CITY, STATE, ZIP: Shelby Township, MI 48315
E-mail: jbenaglio@atwell-group.com Office Phone: 616.460.6653 Cell: _____

With the submittal of this application, I hereby request that the Mayor and Board of Trustees of the Village of Willowbrook grant approval of this application and/or development as described in the attached documents and specifications, and do hereby certify that all information contained in this application and accompanying documents is true and correct to the best of my knowledge. I also permit entrance on the Subject Property by Village officials for the purpose of inspections related to this request.

Signature of Property Owner(s):

 Date: 8.9.24
Printed Name: Mark E. Lyden 



Attachment 5
Special Use Standards (2 pages)



WILLOWBROOK, IL PANDA EXPRESS – STANDARDS FOR SPECIAL USE PERMITS

Zoning District: B Community Shopping

Special Uses requested in accordance with 9-4-11 (E):

1. Drive Throughs

9-9-05(C): Standards for Special Use Permits:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
 - Response: *Panda Express is a nationwide, experienced restaurateur that has developed many sites prior to this one. Establishment, maintenance, or operation of the proposed Panda Express Drive-Thru Restaurant will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
 - Response: *The proposed Panda Express Drive-Thru Restaurant will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed improvements made to an old site will be a major upgrade to what exists there now.*
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - Response: *Establishment of the proposed Panda Express Drive-Thru Restaurant will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The entire surrounding area is already developed.*



4. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.
 - Response: *Adequate utilities, access (drives), drainage, and/or other necessary facilities will be engineered, permitted and constructed in accordance with local requirements for the proposed Panda Express Drive-Thru Restaurant.*
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
 - Response: *Site layout, access drives, parking, signage, pavement markings and estimated drive-thru queueing were analyzed to provide ingress and egress so designed as to minimize traffic congestion in the public streets for the proposed Panda Express Drive-Thru Restaurant. Furthermore, in accordance with the ITE Trip Generation 10th Edition, traffic generated from the proposed land use will be substantially lower than existing traffic generated from the current land use.*
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.
 - Response: *The proposed Panda Express Drive-Thru Restaurant shall conform to the applicable regulations of the "B" Zoning District with the exception of Variations approved by the Village Board pursuant to the recommendation of the Plan Commission.*



Attachment 6
Standards For Variations



WILLOWBROOK, IL PANDA EXPRESS – STANDARDS FOR VARIATIONS

Zoning District: B Community Shopping

See attached Exhibit A list of requested variations.

9-9-04(B): Standards for Variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.
 - Response: *The subject property for the proposed Panda Express Drive-Thru Restaurant is a substandard size lot for the B district and cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located. The requested variations are needed to provide a site which has economic viability and can be operated safely with good access and parking.*
2. The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.
 - Response: *The requested variations will not merely serve as a convenience for the proposed Panda Express Drive-Thru Restaurant, but rather are necessary for any business development on the existing substandard lot. The small size of this lot creates a hardship that can only be remedied with the variations requested so that a safe efficient operation can be maintained.*
3. The alleged hardship has not been created by any person presently having a proprietary interest in the premises.
 - Response: *The alleged hardships were not created by any person presently having a proprietary interest in the premises and proposed Panda Express Drive-Thru Restaurant. Previous Variations approved for the site under Ordinance 94-O-16 are similar to the variations being requested herein so that the site could yield a reasonable return. The size and dimensions of the lot were preexisting.*



4. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.
 - Response: *Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood as they were previously granted for the existing uses on the property with no negative impacts on surrounding property.*
5. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, substantially increase the danger of fire, or endanger the public safety.
 - Response: *Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, substantially increase the danger of fire, or endanger the public safety.*
6. The proposed variation will not alter the essential character of the locality.
 - Response: *Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not alter the essential character of the locality as the restaurant will conform to the existing surrounding area uses. As they were previously granted for this site so the new development is consistent with was previously existing as far as variations.*
7. The proposed variation is in harmony with the spirit and intent of Title 9 of this Code. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.
 - Response: *Proposed Variations for the proposed Panda Express Drive-Thru Restaurant are in harmony with the spirit and intent of Title 9 of this Code. The subject property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located. Previous variations approved for the subject site under Ordinance 94-O-16 changed the driveways and also noted that a portion of the lot was taken by the widening of route 83. Variations are necessary for development on the existing substandard lot.*



Attachment 7:
CBBEL Letter of Approval



CHRISTOPHER B. BURKE ENGINEERING, LTD.
9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

September 21, 2024

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Mike Krol

Subject: 7505 Kingery – Revised Final Engineering Plans
(CBBEL Project No. 900144.H212)

Dear Mike:

As requested on August 30, 2024, we have reviewed the Final Engineering Plans and supporting documents for the above property prepared by Atwell and revision date August 28, 2024. Please note that we have only reviewed the Civil Engineering plans and have not reviewed the architectural plans.

We have no objection to the proposed changes and note that we have not reviewed the revisions for compliance with the Village Zoning Code. If you would like stamped plans, please let me know.

If there are any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that appears to read "Daniel L. Lynch".

Daniel L. Lynch, PE, CFM
Vice President, Head Municipal Engineering Department



Attachment 8:
IDOT Approval



Transmittal

Bureau of Traffic, Permit Section

Date: October 4, 2023

To: Panda Express, Inc.
1663 Walnut Grove Avenue
Rosemead, CA 91770

Phone:
Fax No:

This transmittal confirms our Verbal Issuance of the following Permit Number to work within the State right of way at the location noted below:

District Permit Number: 1-T-23-0314
District Standard for Lane Closure: 701606
Lane Closure Hours: 9:00 AM – 3:00 PM, Mon-Fri This closure is subject to receiving approval through our automated lane closure system at https://www.idotacts.com/permits/home.jsp
Location: IL 83 (Kingery Hwy) and 75th Street (SEC)
Plans: Willowbrook Panda Express, Panda Project #D7058, 7505 Kingery Highway, Willowbrook, IL 60527, Final Engineering Plans; sheets C01.0 through L01.1, and all inclusive; prepared by Atwell, 1250 E. Diehl Road, Suite 300, Naperville, IL 60563; signed and sealed by xxx; last revised June 8, 2021.

A formal copy of the permit will be provided subsequently.

Comments:

This Transmittal is your authorization to proceed with the following work:

The location, construction, operation, and maintenance of the removal of one (1) existing access driveway and replacement with one (1) 28' HMA access driveway within the eastern IL 83 (Kingery Hwy) right of way in the Village of Willowbrook, DuPage County. Also covered is curb and gutter removal and replacement, sidewalk removal and replacement, installation of ADA ramps along with detectable warning surfaces, installation of approximately 30 LF of 12" HDPE storm sewer along with one (1) associated storm structure, pavement patching in accordance with IDOT specifications, striping and signage installation, and the replacement of any existing pavement markings damaged during construction to the satisfaction of the Engineer. Any parkway damaged during construction shall be restored to existing or better conditions with 4" topsoil, class 2A seeding, erosion control blanket, and all other appurtenances as necessary to complete work in accordance with approved plans and applicable specifications.

All ADA related items shall be designed and installed in accordance with ADA/PROWAG guidelines and with the "ADA Standard for Accessible Design" guidebook with the operation and maintenance of all proposed sidewalk and ADA related items taken over by the Village of Willowbrook upon completion of the work.

IDOT traffic signal facilities are not part of any of the one-call locating service such as J.U.L.I.E or Digger. If this Contract requires the services of an Electrical Contractor, the Contractor shall be responsible at his/her own expense for locating existing IDOT electrical facilities prior to performing any work. If this Contract does not require the services of an Electrical Contractor, the Contractor may request one free locate for existing IDOT electrical facilities from the District One Electrical Maintenance Contractor prior to the start of any work. Additional requests may be at the expense of the Contractor. The location of underground traffic facilities does not relieve the Contractor of their responsibility to repair any facilities damaged during construction at their expense.

The exact location of all utilities shall be field verified by the Contractor before the installation of any components of the traffic signal system. For locations of utilities, locally owned equipment, and leased enforcement camera system facilities, the local Counties or Municipalities may need to be contacted: in the City of Chicago contact Digger at (312) 744-7000 and for all other locations contact J.U.L.I.E. at 1-800-892-0123 or 811.

Steel plates are to be used over pavement openings to keep the entire roadway open to traffic from 3:30 p.m. to 9:00 a.m. each day and all day on weekends, holidays, and while the concrete pavement patch is curing. **STEEL PLATES WILL NOT BE PERMITTED BETWEEN NOVEMBER 1 AND MAY 1 UNLESS OTHERWISE DIRECTED BY THIS DEPARTMENT.**

Signed:

Phone Number:

(847) 705-4149

Fax Number:

(847) 705-5498

Lisa Heaven-Baum, P.E., Bureau Chief of Traffic Operations
By: Jonathan E. Karabowicz, P.E.



Attachment 9:
Construction Schedule



WILLOWBROOK, IL PANDA EXPRESS – PROPOSED CONSTRUCTION SCHEDULE

Item	Description	2025												Jan	Feb	Mar
		Jan	Feb	Mar	Apr	May	Jun	July	Aug	Sept	Oct	Nov	Dec			
0	Demo Gas Pumps & Underground Tanks (By Others)	X	X	X	X	X	X									
1	Mobilization / Begin Construction									X						
2	Demolition									X						
3	Earthwork									X						
4	Building - Foundation/Slab									X						
5	Site Utilities									X	X					
6	Building - Vertical Construction									X	X	X				
7	Site Concrete/Paving									X	X					
8	Landscaping										X					
9	Site Signage / Parking Lot Striping										X					
10	Final Completion / Store Opening											X				



Other attachments:

Attachment 10:
Traffic Regulation Agreement (8 pages)

Attachment 11:
IEPA No Further Remediation Letter (9 pages)

Attachment 12:
Comprehensive Sign Plan (16 pages)

Attachment 13:
Site Plan C04.0, dated 8.28.24 (11x17)

Attachment 14:
Grading Plan C05.0, dated 8.28.24 (11x17)

Attachment 15:
Storm Sewer Plan C06.0, 8.28.24 (11x17)

Attachment 16:
Utility Plan C07.0, dated 8.28.24 (11x17)

Attachment 17:
Landscaping Plan L01.0, dated 8.28.24 (11x17)

Attachment 18:
Floor Plan A-101, dated 7.31.24 (11x17)

Attachment 19:
Exterior Elevations A-200, dated 7.31.24 (11x17)

Attachment 20:
Exterior Elevations A-201, dated 7.31.24 (11x17)

Attachment 21:
Exterior Perspectives A-202, dated 7.31.24 (11x17)

Attachment 22:
Trash Enclosure A-300, dated 7.31.24 (11x17)

Attachment 23:
Truck Turn Analysis EX-01, dated 11.20.20 (11x17)

Attachment 24:
Traffic Plan Ex-02, dated 11.20.20 (11x17)

Attachment 25:
Photometric Plan dated 10.29.20 (11x17)

Attachment 26:
Plat of Easement for Public Utility dated 10.31.23 (11x17)

Return Recorded Document
to:

Brian Pabst
Village Administrator
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

TRAFFIC REGULATION AGREEMENT

THIS TRAFFIC REGULATION AND ENFORCEMENT AGREEMENT (the "Agreement") is made as of this _____ day of _____, 2019, by and between True North Energy, LLC, a Delaware limited liability company authorized to conduct business in the State of Illinois (the "Owner"), and the Village of Willowbrook, an Illinois home-rule municipal corporation (the "Village"), within which the "Complex" (as defined in Section 1.1 below) is located, for the regulation of traffic and other matters within the Complex and for the enforcement of said regulations by the assigned traffic law enforcement personnel of the Village.

WITNESSETH:

ARTICLE 1. DEFINITIONS: As used in this Agreement, the following definitions apply:

1.1 Complex: The land, buildings and other improvements commonly known as 7505 S. Kingery Highway, situated in the Village of Willowbrook, DuPage County, Illinois, and legally described in the attached Exhibit "A".

1.2 Permanent Index Numbers (PINs): 09-26-400-013.

- 1.3 Manager: Those persons or entity employed or retained by Owner from time to time with authority to administer, manage and operate the Complex for the purposes of this Agreement.
- 1.4 Owner: True North Energy, LLC.
- 1.5 Village: Village of Willowbrook, DuPage County, Illinois.

ARTICLE 2. RECITAL OF FACTS: The following recitals of fact are an integral part of this Agreement.

- 2.1 Owner holds record title to the Complex.
- 2.2 The Complex is located within the corporate jurisdiction of the Village.
- 2.3 It is the mutual desire of the parties hereto that the Village shall have the authority, but not the obligation, to regulate the parking of vehicles, traffic, roller skating, bicycle riding, skateboarding and/or other recreational activities within the Complex, and to enforce said regulations by the assigned traffic law enforcement personnel of the Village.
- 2.4 The Illinois Vehicle Code (625 ILCS 5/11-209), the Illinois Municipal Code (65 ILCS 5/1-1-7) and the Village's home rule authority provide authority for such agreement between the Village and the Owner and said statutory authorization enumerated on those matters which may be included in such agreement. Further, additional matters may be included in such agreements pursuant to Article VII, Section 6 and Section 10 of the Illinois Constitution.
- 2.5 Manager, in its capacity with Owner, is empowered to enter into this Agreement.

ARTICLE 3. COVENANTS: In consideration of the foregoing premises and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, each of the respective parties hereto covenants and agrees as follows:

- 3.1 The Owner will cause the Manager or its designated representative to cooperate with the Chief of Police of the Village or his designated representative in inspecting the parking area of the Complex to determine what, if any, stop signs, yield signs, person with disabilities parking area signs, or any other traffic markers are to be erected, and to determine what, if any, areas are to be marked as stop intersections, yield intersections, person with disabilities parking areas or pedestrian crossings, in order to provide for the safe and efficient trafficking of the parking area of the Complex. Further, such determination may include the regulation and/or prohibition of roller skating, the riding of bicycles, the riding or

operation of skateboards and/or other recreational activities in and upon the Complex, and the posting of the signs with the respect thereto.

- 3.2 If it be determined, pursuant to Section 3.1 of this Agreement, that stop signs, yield signs, person with disabilities parking area signs, or any other markers are to be erected or that specified intersections are to be marked as stop intersections, yield intersections, or pedestrian crossings, the Owner agrees to erect such signs and markers at the indicated places on the Complex, in accordance with all applicable regulations and specifications promulgated by the State of Illinois. The Owner shall bear the costs and expenses of obtaining, erecting and maintaining any and all such signs and markers necessary for enforcement of the regulations agreed to by the parties herein.
- 3.3 The Owner shall cause the Manager to mark such fire lanes as the local Fire Protection District Chief or his designated representatives shall recommend as necessary for effective movement of Fire Department and other emergency vehicles.
- 3.4 Signs or other devices providing for the regulation of traffic and parking, or the regulation or prohibition of roller skating, bicycle riding, skateboarding and/or other recreational activities, within the Complex, as well as a designation of the exact regulations to be imposed thereon, shall be installed as shown in the Traffic Regulation Plan for (Project Name) Willowbrook, IL Panda Express as prepared by (Consultant) Atwell, LLC, (Address) 1250 East Diehl Road, Suite 300, Naperville, IL 60563, referenced as Project No. 18003769.01, consisting of 1 sheet, dated November 16, 2020 and revised through N/A, _____ a copy of which is attached hereto as Exhibit "B" and by this reference incorporated herein.
- 3.5 The Village has the authority, but not the obligation, to enforce all regulations in the parking areas of the Complex by use of assigned traffic enforcement personnel of the Village; to issue citations to any and all violators of such regulations; and to adopt and enforce any additional reasonable rules and regulations with respect to traffic and parking in the parking area as local conditions may require or the safety and convenience of the public or the users of the parking area.
- 3.6 The Owner hereby agrees to provide for the removal of vehicles that are abandoned or parked in areas where stopping, standing or parking is prohibited. Such removal shall be done pursuant to a towing agreement and in accordance with the requirements of 625 ILCS 5/4-203, including, but not limited to, posting of the notice required therein.
- 3.7 Neither the Owner nor the Manager shall permit any person to park a vehicle at any location in the Complex for the purpose of displaying such vehicle for sale, lease or ride-share. The owner of any such vehicle may be ticketed by the Village.

3.8 The Owner has named the Village as an additional insured on a primary non-contributory basis on its Comprehensive General Liability Insurance Policy and on their Excess Liability Insurance Policy and a copy of said Certificate of Insurance is attached hereto as Exhibit "C" and incorporated herein. Such liability insurance shall provide that the Village, its officers, agents, agencies, employees, and departments shall be additional insured under such insurance. Said insurance shall be in the minimum amount of one million dollars (\$1,000,000) combined single limit or in such amounts acceptable to the Village and shall be in such form and with such Company as shall be approved by the corporate authorities.

The Owner hereby agrees to keep said policies in full force and effect throughout the terms of this Agreement. A mandatory written notice must be provided upon the cancellation of any policy as outlined under the Certificate of Insurance evidencing the coverage provided for herein.

3.9 In the event the Owner changes Managers, the Owner shall notify in writing the Village within ten (10) days of such change.

ARTICLE 4. TERM:

4.1 This Agreement shall be in full force and effect from and after the date of its execution for a period of twenty (20) years of the date thereof, and may, by further agreement of the parties, be continued for additional periods of like duration.

Notwithstanding any provision contained herein to the contrary, after this Agreement has been in effect for a term of one (1) year, this Agreement may be canceled upon the giving of thirty (30) days prior written notice by either party hereto, except to the extent that the Owner may be required to maintain this Agreement pursuant to any zoning relief granted by the Village.

4.2 The sole remedy available to the Owner, upon any breach of this Agreement by the Village, shall be the cancellation of the Agreement under its terms. It is of the essence of this Agreement that the Village shall not be liable in money damages for any breach of this Agreement.

ARTICLE 5. SUCCESSORS: This Agreement shall be binding upon and inure to benefit the respective assigns, successors and personal representatives of each of the parties hereto, and this Agreement shall run with title to the Complex and the obligations of the Owner shall be and are binding on future owners of any portion of the Complex.

ARTICLE 6. GOVERNING LAW: This Agreement shall be governed by the laws of the State of Illinois.

ARTICLE 7. EXECUTION AND RECORDING: This Agreement shall be executed by the parties' prior to the commencement of operations of the Complex. A fully executed copy of the Agreement shall be recorded in the Office of the Recorder of Deeds of the County of DuPage of the State of Illinois against title to the Complex, and it is agreed, pursuant to the statutes set forth above, that no regulation made pursuant to this Agreement shall be effective or enforceable until three (3) days after this Agreement is recorded.

ARTICLE 8. NOTICES: All notices hereunder shall be in writing and sent by Certified Mail, addressed to the Manager at EC Developments II, LLC, 1120 North Town Center Drive, Suite 150, Las Vegas, NV 89144 and, if to the Village, at the Office of the Village Administrator of Willowbrook, 7760 Quincy Street, Willowbrook, Illinois 60527.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed, as of the date and year first above mentioned.

OWNER

True North Energy, LLC
By: Mark E. Lyden

BY:

Mark E. Lyden, President/CEO
(Managing Agent or Owner)

VILLAGE OF WILLOWBROOK

BY:

President

ATTEST:

Village Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF COMPLEX

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT "B"

TRAFFIC REGULATION PLAN

Pursuant to the attached agreement, the Willowbrook Police Department has the authority, but not the obligation, to enforce the following areas as designated on the traffic control plan attached hereto.

1. Traffic control signs including posted speed limit signs, stop signs, yield signs, and one-way signs.
2. No parking within 15 feet of hydrant locations as marked.
3. Handicap parking areas as marked with an official sign.
4. Prohibition of parking along all streets between 2:00 a.m. and 6:00 a.m.
5. Enforcement of yellow curb markings with adjacent "No Parking" signs indicating no parking areas.
6. Enforcement of posted, "No Trespassing" signs.
7. Posted "No Parking" zones.
8. Parking of vehicles for the purpose of being displayed for sale.
9. Enforcement of Village ordinance violations.
10. Prohibition of roller skating, bicycle riding, skateboarding and/or other recreational activities within the complex as posted.

Any future signs, crosswalks, and so forth may be agreed upon at a later date.

Truckers on the Edge, LLC
By: Mike Sypas

Owners' Representative

Chief of Police

[ATTACH PLAN]



Groundwater & Environmental Services, Inc.

313 Oswalt Avenue
Batavia, IL 60510

[T. 866.455.2419](#)

July 23, 2024

Mr. Michael Piggush
Illinois Environmental Protection Agency
Bureau of Land - #24
Leaking Underground Storage Tank Section
Post Office Box 19276
1021 North Grand Avenue East
Springfield, Illinois 62794-9276

**Re: LPC #0431105022 – DuPage County
Willowbrook / Former True North Service Station #1990
7505 South Kingery Highway
LUST Incident 871649, 20120788, 20210593
LUST Technical File**

Dear Mr. Piggush:

Enclosed, please find one copy of the recorded *No Further Remediation Letter* for LUST incident numbers 871649, 20120788, and 20210593.

Should you have any questions or require additional information, please contact the undersigned at mblaha@gesonline.com or at (866) 455-2419 extension 4038. Direct all official Illinois EPA electronic correspondences to GESinbox@gesonline.com.

Sincerely,

A handwritten signature in black ink that reads "Melissa M. Blaha".

Melissa M. Blaha
Operations Manager

C: David P. Nye, CHMM – True North Energy, LLC

Encl: Recorded NFR Letter



DocId:20197350

Tx:40578980

KATHLEEN V. CARRIER
RECORDER
DUPAGE COUNTY, IL
07/22/2024 02:38 PM
RHSP
DOC NO. R2024-041391

PREPARED BY:

Name: David P. Nye, CHMM
True North Energy, LLC
Address: 7505 South Kingery Highway
Willowbrook, IL 60527



I certify that this is a
copy of an instrument
recorded in my office.

Kathleen V. Carrier
Kathleen Carrier
DuPage County Recorder
Date: 7/22/24
Deputy: JCV

RETURN TO:

Name: (David P. Nye, CHMM)
True North Energy, LLC
Address: 10346 Brecksville Road
Brecksville, OH 44141

(THE ABOVE SPACE FOR RECORDER'S OFFICE)

LEAKING UNDERGROUND STORAGE TANK ENVIRONMENTAL NOTICE

THE OWNER OR OPERATOR OF THE LEAKING UNDERGROUND STORAGE TANK SYSTEMS
ASSOCIATED WITH THE RELEASE REFERENCED BELOW, WITHIN 45 DAYS OF RECEIVING THE NO
FURTHER REMEDIATION LETTER CONTAINING THIS NOTICE, MUST SUBMIT THIS NOTICE AND
THE REMAINDER OF THE NO FURTHER REMEDIATION LETTER TO THE OFFICE OF THE
RECORDER OR REGISTRAR OF TITLES OF DUPAGE COUNTY IN WHICH THE SITE DESCRIBED
BELOW IS LOCATED.

Illinois EPA Number 0431105022
Leaking UST Incidents 871649, 20120788, and 20210593

True North Energy, LLC, the owner or operator of the leaking underground storage tank systems
associated with the above-referenced incidents, whose address is 10346 Brecksville Road,
Brecksville, Ohio, has performed investigative or remedial activities for the site identified as
follows:

1. Legal Description: See attachment.
2. Common Address: 7505 South Kingery Highway, Willowbrook, Illinois
3. Parcel Index Number: 09-26-400-013
4. Site Owner: True North Energy, LLC
5. Land Use Limitation: There are no land use limitations.
6. See the attached No Further Remediation Letter for other terms.



Legal Description

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-9276 • (217) 782-3397

JB PRITZKER, GOVERNOR

JOHN J. KIM, DIRECTOR

(217) 524-3300

CERTIFIED MAIL

9589 0710 5270 0389 6481 28

JUL 12 2024

David P. Nye, CHMM
True North Energy, LLC
10346 Brecksville Road
Brecksville, OH 44141

Re: 0431105022 – DuPage County
Willowbrook / True North Energy #1990
7505 South Kingery Highway
Leaking UST Incidents 871649, 20120788, and 20210593 – NFR Letter
Leaking UST Technical File

Dear Mr. Nye:

The Illinois Environmental Protection Agency (Illinois EPA) has reviewed the corrective action completion report (report) submitted for the above-referenced incidents. This report was dated July 11, 2024, and was received by the Illinois EPA on July 11, 2024. Citations are from the Environmental Protection Act (415 ILCS 5) (Act) and Title 35 of the Illinois Administrative Code (35 Ill. Adm. Code).

The report and associated professional engineer certification submitted pursuant to Section 57.7(b)(5) of the Act indicate corrective action for the above-referenced site was conducted in accordance with the corrective action plan approved by the Illinois EPA. The report demonstrates that the requirements of Section 57.7(b) of the Act have been satisfied.

Based upon the certification by Douglas J. Riggs, a licensed professional engineer, and pursuant to Section 57.10 of the Act, your request for a no further remediation determination is granted under the conditions and terms specified below.

Issuance of this No Further Remediation Letter (Letter), based on the certification of the licensed professional engineer, signifies that (1) all statutory and regulatory corrective action requirements applicable to the occurrence have been complied with, (2) all corrective action concerning the remediation of the occurrence has been completed, and (3) no further corrective action concerning the occurrence is necessary for the protection of human health, safety, and the environment. Pursuant to Section 57.10(d) of the Act, this Letter shall apply in favor of the following parties:

1. True North Energy, LLC, the owner or operator of the underground storage tank systems.
2. Any parent corporation or subsidiary of such owner or operator.

2125 S. First Street, Champaign, IL 61820 (217) 278-5800
115 S. LaSalle Street, Suite 2203, Chicago, IL 60603
1101 Eastport Plaza Dr., Suite 100, Collinsville, IL 62234 (618) 346-5120
9511 Harrison Street, Des Plaines, IL 60016 (847) 294-4000

595 S. State Street, Elgin, IL 60123 (847) 608-3131
2309 W. Main Street, Suite 116, Marion, IL 62959 (618) 993-7200
412 SW Washington Street, Suite D, Peoria, IL 61602 (309) 671-3022
4302 N. Main Street, Rockford, IL 61103 (815) 987-7760

3. Any co-owner or co-operator, either by joint tenancy, right-of-survivorship, or any other party sharing a legal relationship with the owner or operator to whom the Letter is issued.
4. Any holder of a beneficial interest of a land trust or inter vivos trust whether revocable or irrevocable.
5. Any mortgagee or trustee of a deed of trust of such owner or operator.
6. Any successor-in-interest of such owner or operator.
7. Any transferee of such owner or operator whether the transfer was by sale, bankruptcy proceeding, partition, dissolution of marriage, settlement or adjudication of any civil action, charitable gift, or bequest.
8. Any heir or devisee of such owner or operator.
9. An owner of a parcel of real property to the extent that this Letter applies to the occurrence on that parcel.

This Letter and all attachments, including but not limited to the Leaking Underground Storage Tank Environmental Notice, must be filed within 45 days of receipt as a single instrument with the Office of the Recorder or Registrar of Titles of DuPage County. This Letter shall not be effective until officially recorded by the Office of the Recorder or Registrar of Titles of DuPage County in accordance with Illinois law, so it forms a permanent part of the chain of title for the above-referenced property. Within 30 days of this Letter being recorded, an accurate and official copy of this Letter, as recorded, shall be obtained and submitted to the Illinois EPA. It is recommended that the Leaking Underground Storage Tank Environmental Notice of this Letter be the first page of the instrument filed.

CONDITIONS AND TERMS OF APPROVAL

LEVEL OF REMEDIATION AND LAND USE LIMITATIONS

1. The remediation objectives for the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, were established in accordance with the requirements of the Tiered Approach to Corrective Action Objectives (35 Ill. Adm. Code 742).
2. As a result of the release from the underground storage tank systems associated with the above-referenced incidents, the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter, shall not be used in a manner inconsistent with the following land use limitation: There are no land use limitations.

PREVENTIVE, ENGINEERING, AND INSTITUTIONAL CONTROLS

3. Preventive: The groundwater under the site described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter shall not be used as a potable supply of water. No person shall construct, install, maintain, or utilize a potable water supply well. In accordance with Section 3.65 of the Act, "potable" means generally fit for human consumption in accordance with accepted water supply principles and practices.

Engineering: A five-foot thick, clean soil barrier must be maintained between the highest measured groundwater elevation in a monitoring well and the lowest point of a building foundation, or ground surface if there is no overlying receptor, to prevent the indoor inhalation exposure route from becoming an exposure route of concern. For this barrier, clean soil is soil exhibiting benzene concentrations less than 10 mg/kg.

Institutional: This Letter shall be recorded as a permanent part of the chain of title for the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter.

The Illinois Department of Transportation (Highway Authority) agrees, using a Highway Authority Agreement, to allow contaminated groundwater or soil to remain beneath its highway right-of-way adjacent to the site located at 7505 South Kingery Highway, Willowbrook, Illinois. Specifically, as shown on the attached figure titled *Proposed Highway Agreement Area*, contamination will remain in the right-of-way for Kingery Highway as indicated in the Highway Authority Agreement HAA 1802 and the Highway Authority Agreement amendment HAA 1802A. The Highway Authority agrees to (a) prohibit the use of groundwater within the highway right-of-way that is contaminated above Tier 1 groundwater remediation objectives as a potable or other domestic supply of water and (b) limit access to soil within the highway right-of-way that is contaminated above Tier 1 residential soil remediation objectives. A copy of the Highway Authority Agreement and the associated amendment can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to the Bureau of Land, FOIA Unit as detailed elsewhere in this Letter. Questions regarding the Highway Authority Agreement should be directed to

Region 1 Engineer
Illinois Department of Transportation
District 1 Environmental Studies Unit
201 West Center Court
Schaumburg, IL 60196

and to

Assistant Chief Counsel
Illinois Department of Transportation
2300 South Dirksen Parkway, Room 313
Springfield, IL 62764

4. Failure to establish, operate, and maintain controls in full compliance with the Act, applicable regulations, and the approved corrective action plan may result in voidance of this Letter.

OTHER TERMS

5. Any contaminated soil or groundwater removed or excavated from, or disturbed at, the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, must be handled in accordance with all applicable laws and regulations under 35 Ill. Adm. Code Subtitle G.
6. Further information regarding the above-referenced site can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to

Freedom of Information Act Officer
Illinois Environmental Protection Agency
Division of Records Management – #16
1021 North Grand Avenue East
P.O. Box 19276
Springfield, IL 62794-9276

7. Pursuant to 35 Ill. Adm. Code 734.720, should the Illinois EPA seek to void this Letter, the Illinois EPA shall provide notice to the owner or operator of the leaking underground storage tank systems associated with the above-referenced incidents and the current title holder of the real estate on which the tanks were located, at their last known addresses. The notice shall specify the cause for the voidance, explain the provisions for appeal, and describe the facts in support of the voidance. Specific acts or omissions that may result in the voidance of this Letter include
 - a. Any violation of institutional controls or industrial/commercial land use restrictions.
 - b. The failure to operate and maintain preventive or engineering controls or to comply with any applicable groundwater monitoring plan.
 - c. The disturbance or removal of contamination that has been left in-place in accordance with the corrective action plan or completion report.

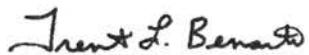
- d. The failure to comply with the recording requirements for the Letter.
- e. Obtaining the Letter by fraud or misrepresentation.
- f. Subsequent discovery of contaminants, not identified as part of the investigative or remedial activities upon which the issuance of the Letter was based, that pose a threat to human health or the environment.

Submit an accurate and official copy of this Letter, as recorded, to

Illinois Environmental Protection Agency
Bureau of Land – #24
Leaking Underground Storage Tank Section
1021 North Grand Avenue East
P.O. Box 19276
Springfield, IL 62794-9276

If you have any questions or need assistance, please contact Michael Piggush at (217) 782-3101 or at michael.piggush@illinois.gov.

Sincerely,



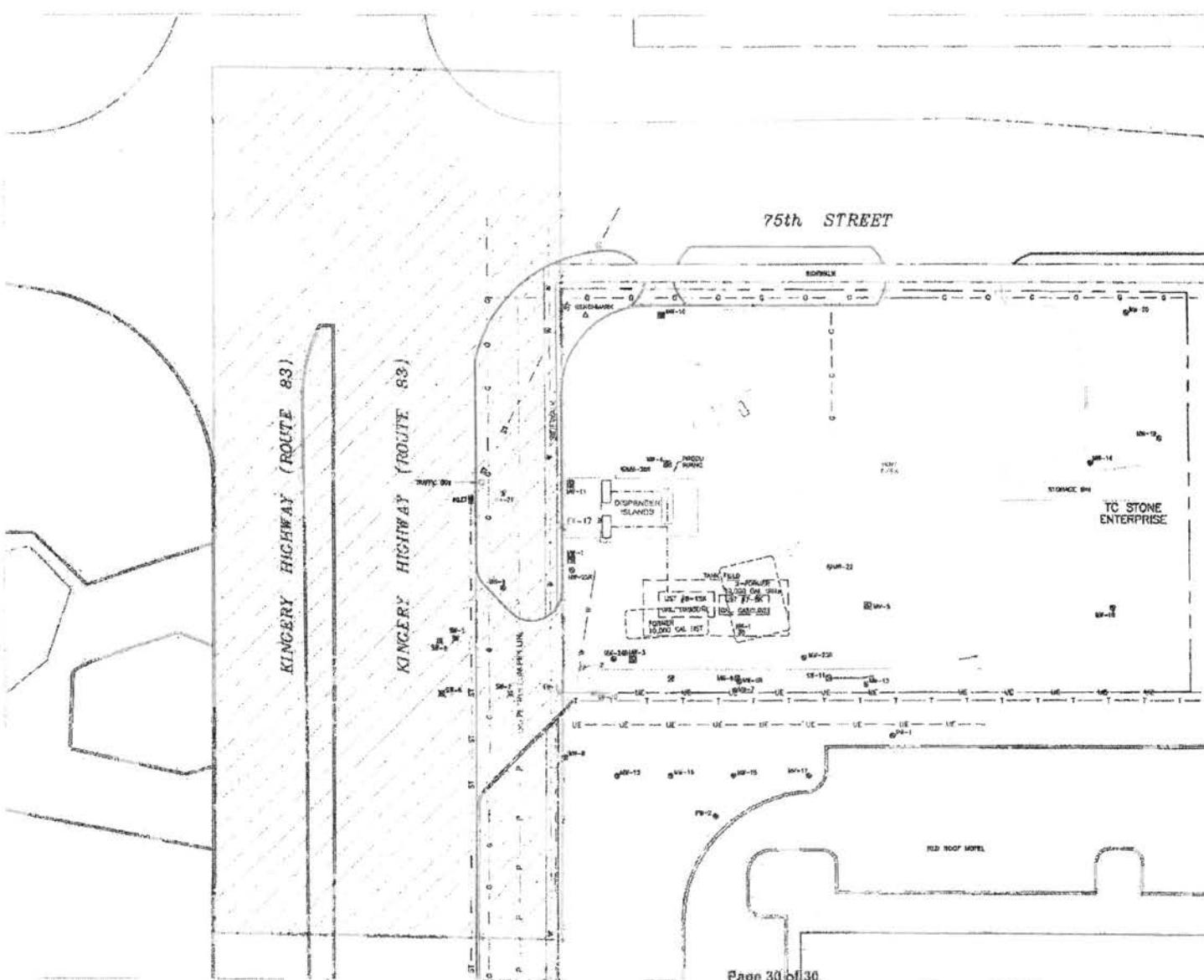
Trent L. Benanti, P.E.
Unit Manager
Leaking Underground Storage Tank Section
Bureau of Land

Attachments (3):

1. Leaking Underground Storage Tank Environmental Notice
2. *Proposed Highway Agreement Area*
3. Legal Description

Copies (3):

1. Melissa Blaha / Groundwater & Environmental Services, Inc. (electronic copy)
2. GESInbox@gesonline.com (electronic copy)
3. BOL File



Page 30 of 30.

HAA 1802

LEGEND

- PROPERTY BOUNDARY
- MONITORING WELL
- RECOVERY WELL
- DESTROYED/ABANDONED WELL
- SUMP WELL
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- AREA SUBJECT TO IDOT HAA
- SOIL SAMPLE

Proposed Highway Agreement Area

True North Energy, L.L.C.
True North Service Station #1990
7505 Kingery Highway
Willowbrook, Illinois

Drawn:
E.V.
Designed:
Approved:

Date
05/25/23
Figure





Proposed Sign Package
Willowbrook, IL
7505 S. Kingery
D7058

12.19.2018

Revisions:

01.07.2019	Added new site plan, removed rear and drive thru wall signs
01.08.2019	Added new site plan, added S8, added new elevations
03.04.2019	Added new site plan and changed S2 placement
03.12.2019	Added new site plan and added signs
03.27.2019	Removed short storefront lockup logo and drive thru left side lockup logo
03.28.2019	Added new site plan
10.30.2020	Added new site plan
11.02.2020	Adjusted code balances for S3, S4, S9
12.16.2020	Added S11
01.19.2021	Revised size of D8 faces, added brick base to monument
04.08.2021	Added new site plan
10.28.2022	Removed S11
11.07.2022	Created const dwg for S9
11.22.2022	Changed S10 quantity
12.06.2022	Updated drive-thru sign specs
03.07.2023	Revised anchor bolts D7
07.28.2023	Revised S1, S2, S3, and S4 placement; revised S10, added S11, and revised site map.
08.21.2024	Added new site plan; Removed spacers from S2-4; Revised qty & location of S11; Revised install method for S10-11; Removed S12 interior sign
08.28.2024	Revised site plan, code page and elevation pages
09.25.2024	Added notes to code and elevation pages, street frontage to site plan

C59897

PRIORITY

Code Summary

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	STACKED RED LETTERSET	3'-11 1/2"	13'-5 1/2"	290	53.19	236.81
S2	LONG STOREFRONT	LOCKUP LOGO	6'-0"	6'-0"	236.81	36	200.81
S3	REAR ELEVATION	LOCKUP LOGO	6'-0"	6'-0"	200.81	36	164.81
S4	DRIVE THRU ELEVATION	LOCKUP LOGO	6'-0"	6'-0"	164.81	36	128.81
D8	DRIVE THRU	DIRECTIONAL	1'-0"	2'-0"	128.81	4	124.81
S9	STREET	MONUMENT	12'-0"	6'-0"	124.81	72	52.81

Per Michael Krol, Director of Community Development, Willowbrook, code has changed and now allows for Comprehensive Sign Plan (CSP) consideration. The signage proposal for Panda Express will be reviewed by the Plan Commission and Village Board on Nov. 6 as part of a new CSP for this development.

Code Allowance

Total for lot:
1.25 sq ft X 256 =320 sq ft
LESS 30 sf for 12' Monument
= 290 aggregate

Elevation

Long Storefront 290 aggregate

Short Storefront 290 aggregate

Elevation

Drive Thru 290 aggregate

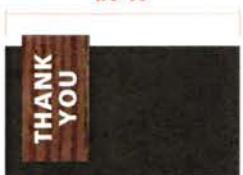
Rear 290 aggregate

Site Plan

PANDA

EXPRESS

S1 2'-6" stacked
red letterset



76th Street

256'-0"

170'-0"

Route 83 / Robert Kingery Hwy.



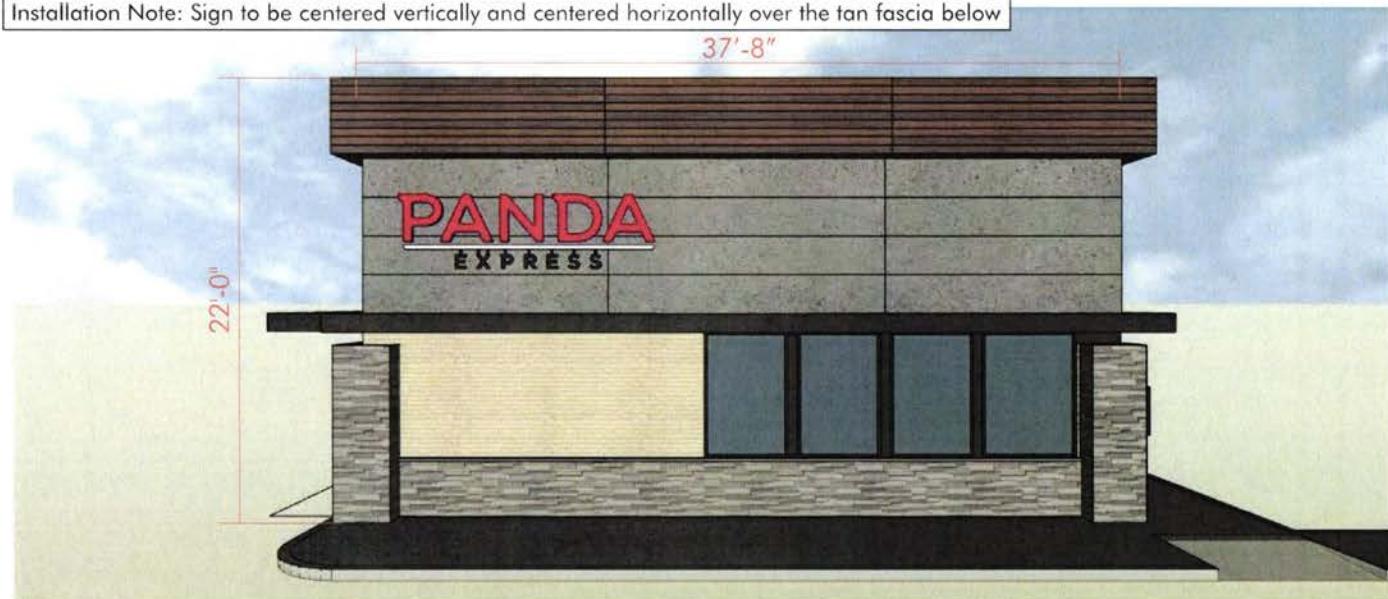
PRIORITY	
C59897-6 120390	
Revisions: Added new site plan (10/30/20) PB Added new site plan CA-08 (2020) 9) Added 31 to site plan - 15 (7-28-21) Added new site plan: SIR plan - 2 (DM 8/21/24)	
Lot size and street names added (08/28/24) PB added street frontage - KB - 9.25.24	
File Location: Drive/Clients: STND — CSTM —	
Date: 12.19.2018 Designer: KB PM: MC	
City/State: Willowbrook, IL Address: 7505 S. Kingery	
Drawing # OE #	

Elevations

Scale | 3/32" = 1'

Installation Note: Sign to be centered vertically and centered horizontally over the tan fascia below

37'-8"



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	STACKED RED LETTERSET	3'-11 1/2"	13'-5 1/2"	290	53.19	236.81

Sign to be considered as part of the new CSP for the development.

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S2	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	236.81	36	200.81

Sign to be considered as part of the new CSP for the development.

PRIORITY

Revisions:
 Removed 5' lockup logo on left / KB / 3.27.19
 Added new elevation / KB / 1.8.19
 Changed to drive thru elevation / KB / 3.4.19
 Added S3 & S4 / KB / 3.13.19

Removed new elevation (10/30/20) PB
 6) Added installation note. JS (7-28-23)
 X

File Location: STND ____
 Drive/Clients/ CSTM ____
 AS CR EN

Date: 12.19.2018
 Designer: KB PM: MC

City/State: Willowbrook, IL
 Address: 7505 S. Kingery

Drawing # C59897-6
 OE # 120390

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S3	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	200.81	36	164.81

Sign to be considered as part of the new CSP for the development.

PRIORITY

Revisions:
Revised code balance | PV | 11.02.2020
2) Added installation note: JS (7-28-23)

x
x
x
x

File Location:
Drive/Clients/

STND
CSTM

Date: 10.30.2020
Designer: PB

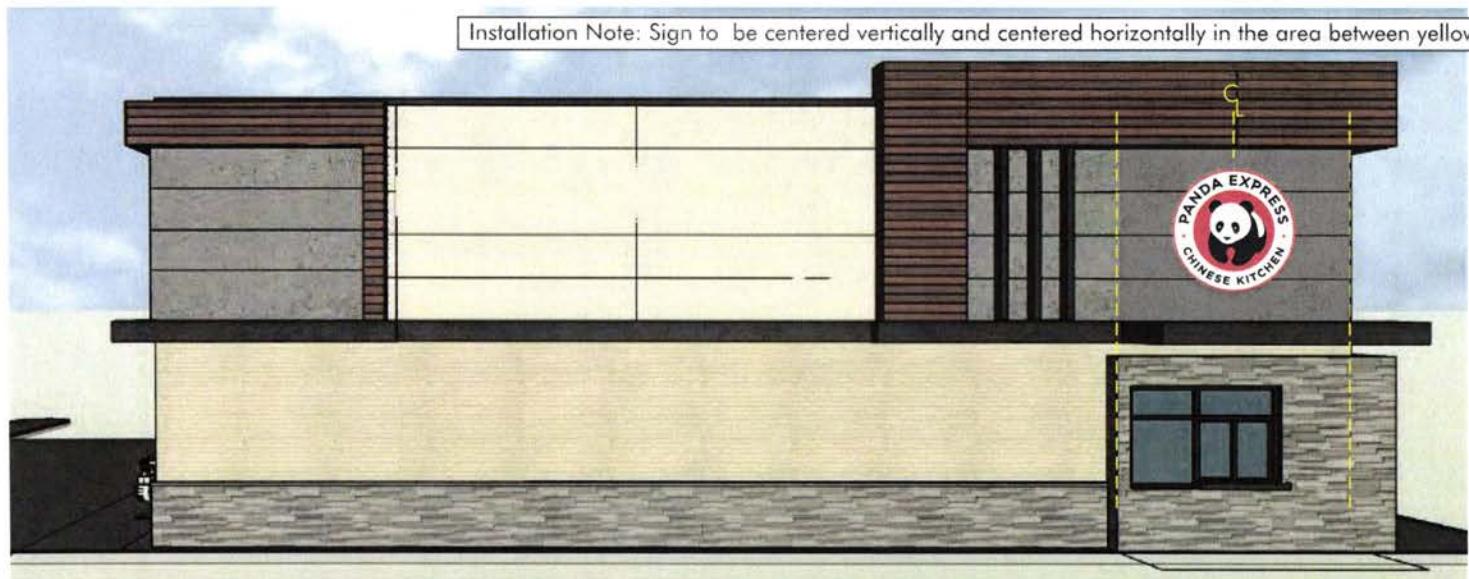
City/State: Willowbrook, IL
PM: MC
Address: 7505 S. Kingery

Drawing # C59897-2
OE # 120390

AS **CR** **EN**

Elevations

Scale | 3/32" = 1'



SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S4	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	164.81	36	128.81

Sign to be considered as part of the new CSP for the development.

PRIORITY

Revisions:
Revised code balance | PV | 11.02.2020
2) Revised sign placement. added note. | JS (7-28-23)

x
x
x
x

File Location:

Drive/Clients/

STND

CSTM

Date: 10.30.2020

City/State: Willowbrook, IL

AS

CR

EN

Designer: PB

PM: MC

Address: 7505 S. Kingery

Drawing #

C59897-2

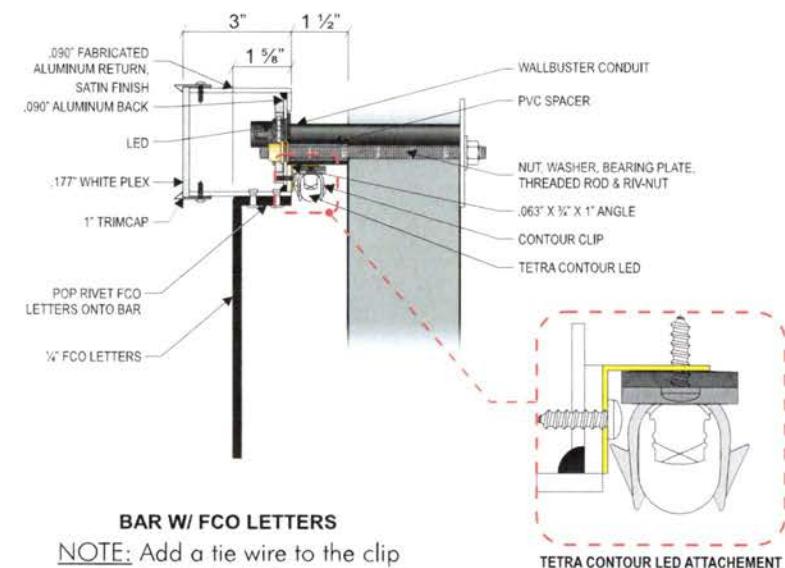
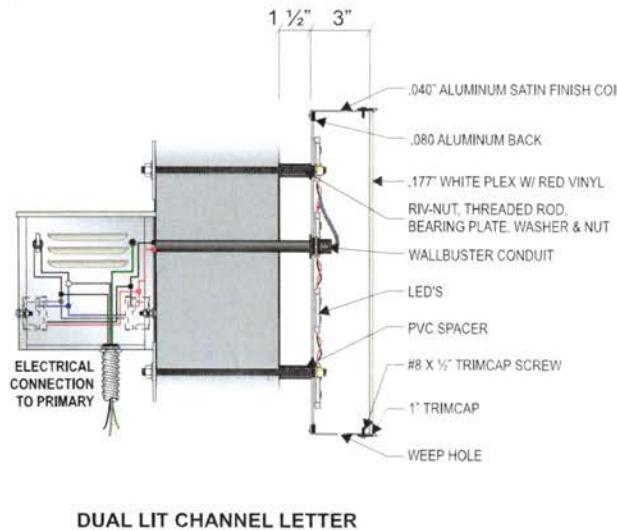
OE #

120390

S1

Red Face-Lit Letterset - Qty: 1

Install new face-lit illuminated letterset pin-mounted to wall with aluminum FCO tagline.



GENERAL SPECIFICATIONS:

FACE-LIT LETTERS:

FACES..... .177" WHITE #7328 PLEX W/ 1ST SURFACE 3M #3630-33 RED

TRIMCAP.... 1" BLACK

RETURNS.. .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C, SATIN FINISH

BACKS..... .080" ALUMINUM

BAR W/ FCO LETTERS:

FACES.....177" WHITE #7328 PLEX

TRIMCAP.....1" WHITE

RETURNS....125" X 3" FABRICATED WHITE COIL RETURN, SATIN FINISH

BACKS.....090" ALUMINUM, INTERIOR PAINTED WHITE

DLIGHT....063" BRAKE FORMED ALUMINUM BOX BEHIND THE BAR WITH DOWNLIGHT LENS AND WHITE LED'S

EXPRESS....25" FCO ALUMINUM LETTER PAINTED TO MATCH BLACK 7C SATIN FINISH



	A	B	C	D	E	F	SF (F x B)
PE-CL-30R	2'-6"	13'-5 1/2"	9 1/8"	7'-7 11/16"	2 13/16"	3'-11 1/4"	53.19

PRIORITY

Revisions:

File Location:
 Drive/Clients/ STND
 CSTM

Date: 10.30.2020
 AS CR EN
 Designer: PB PM: MC

City/State: Willowbrook, IL
 Address: 7505 S. Kingery

Drawing # C59897
 OE # 120390

S2

Face Illuminated Lockup Logo - Qty: 1

S3

Install new face-lit lockup logo flush to surface as shown.

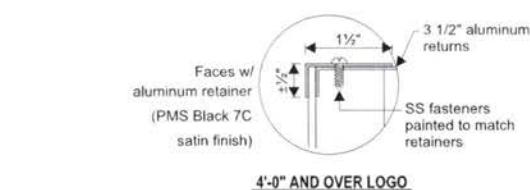
S4

GENERAL SPECIFICATIONS:

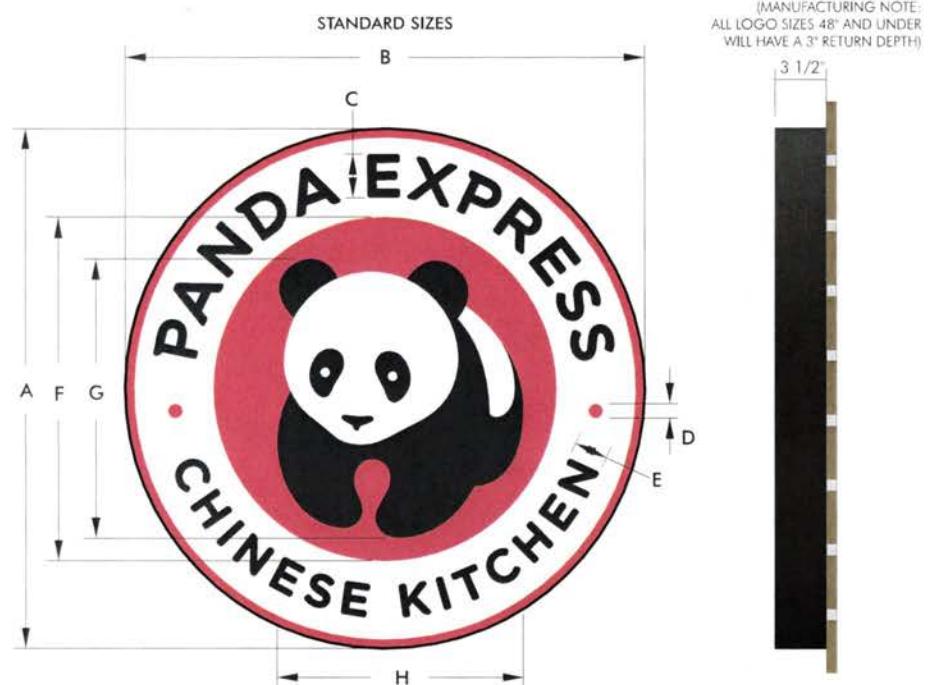
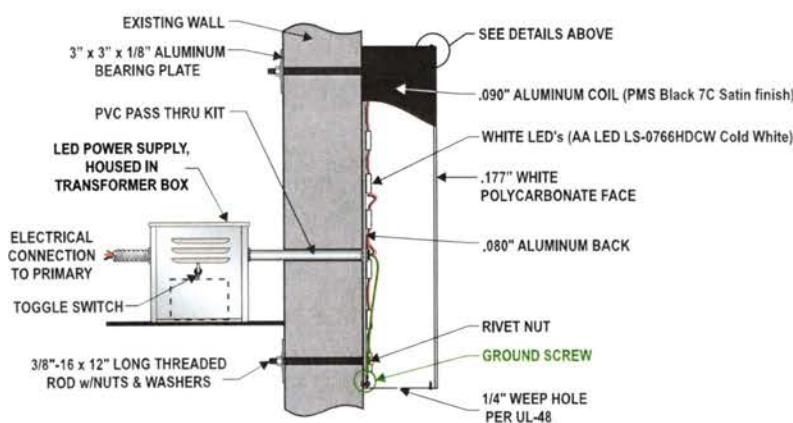
FACES.....177" WHITE POLYCARBONATE W/APPLIED VINYL GRAPHICS

RETAINER.....1" BLACK TRIMCAP / 1 1/2" ALUMINUM RETAINER (SEE DETAILS BELOW)

RETURNS... .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C SATIN FINISH

COLOR SPECIFICATIONS FOR FACE

4'-0" AND OVER LOGO

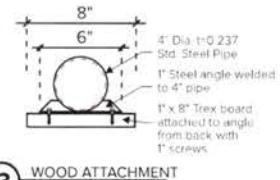
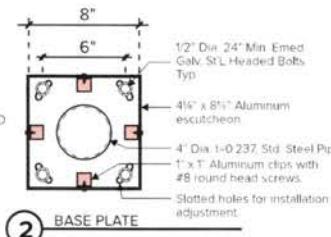
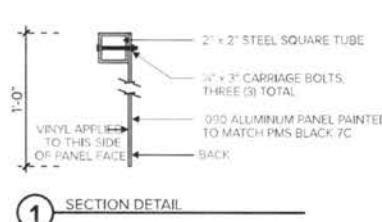
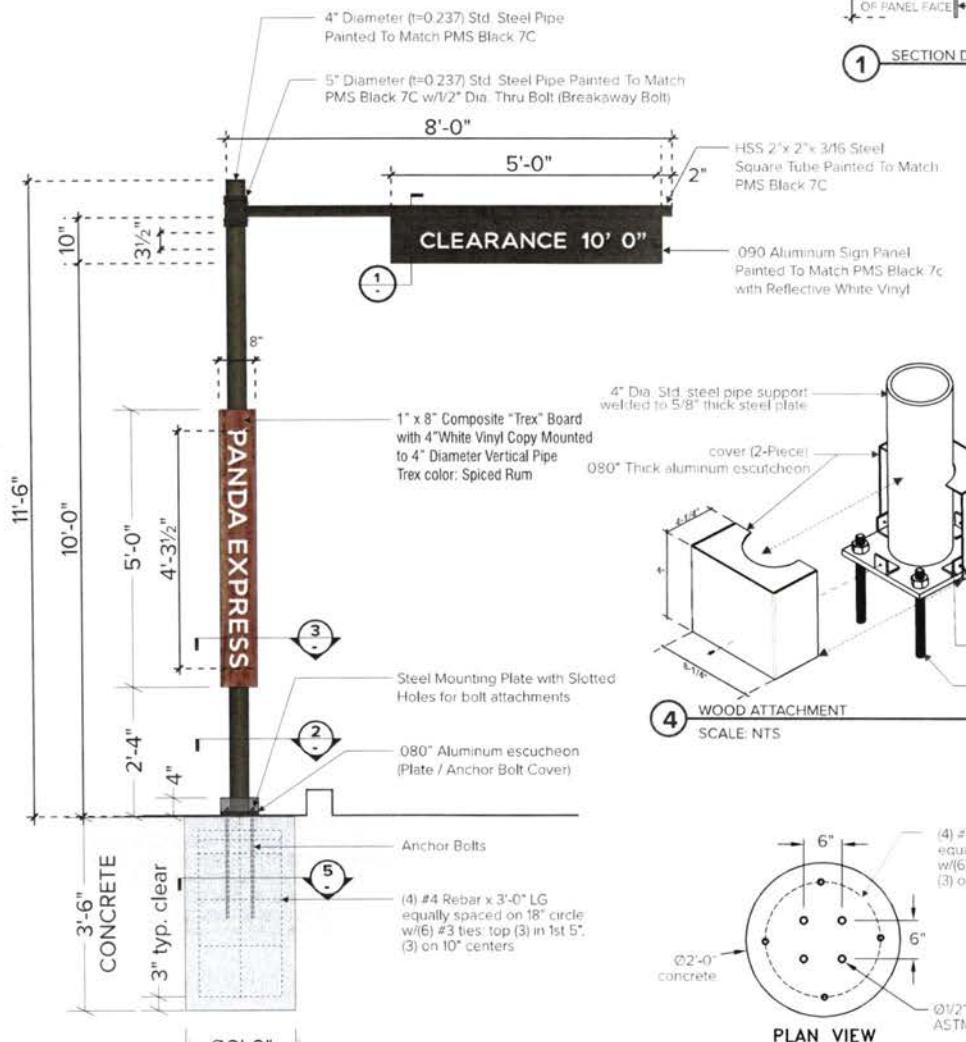


PE-FL-72-FULL	A	B	C	D	E	F	G	H	SF (A x B)
	6'-0"	6'-0"	6 1/16"	2"	4 11/16"	3'-11 1/2"	3'-2 11/16"	2'-10 1/16"	36.0

D5

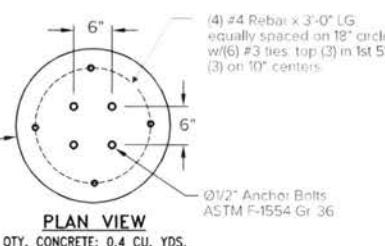
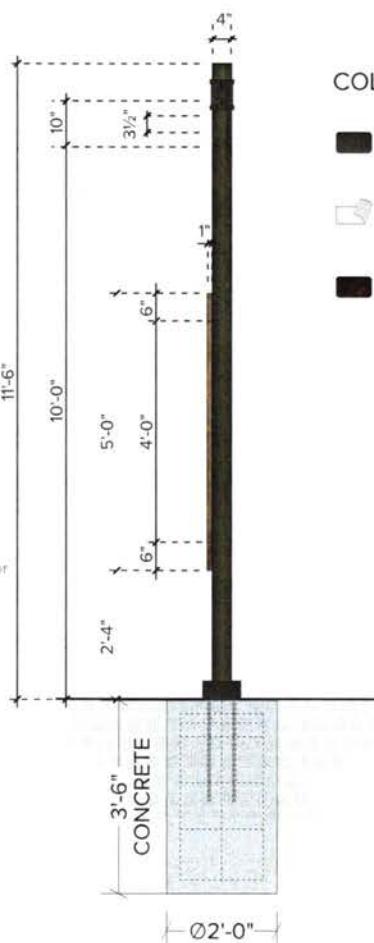
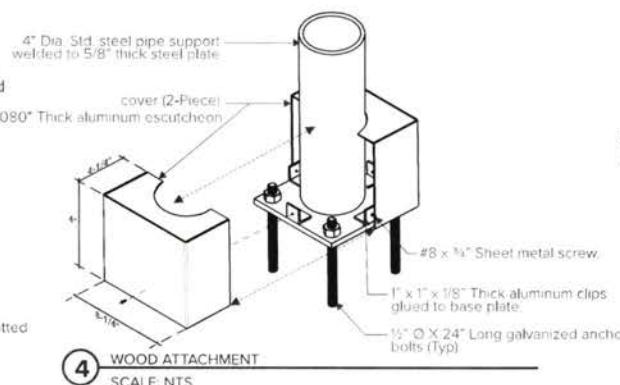
DT-L Clearance Bar - (Qty: 1)

Install new DT-L Clearance Bar sign. Refer to site plan for exact location.
NOTE: Wind Load: 115 mph wind speed / Snow Load: 60 PSF ground snow load.



COLOR SPECIFICATIONS

- Painted to match PMS Black 7C
- Arlon #4100-02
Reflective White Film
- Composite "Trex" Board



D6

DT COD Canopy - (Qty: 1)

Install new DT COD Canopy per site plan for exact location.

NOTE: Wind Load: 115 mph wind speed / Snow Load: 60 PSF Ground Snow Load

COLOR SPECIFICATIONS

- Trex Board
<https://www.lowes.com/pd/Trex-Transcend-12-ft-Spiced-Rum-Composite-Fascia-Deck-Board/1000712838>
- Clear Vinyl Digitally Printed (FAMILY SEAL)
- Opaque White Vinyl (ORDER HERE TEXT ONLY)

CABINET CANOPY PAINT COLORS

- Aluminum painted to match MS Black 7C
- Aluminum painted to match Matthews Brushed Silver



Trex Panel
SCALE: 1" = 1'-0"

SCALE: 1/4" = 1'-0"



Revisions

Revisions:

10

1

1

10

1

File Location:
Drive/Clients/

STND —
CSTM

Date: 10.30.2020

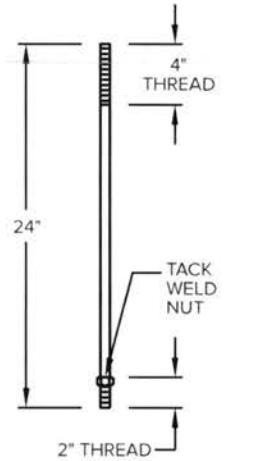
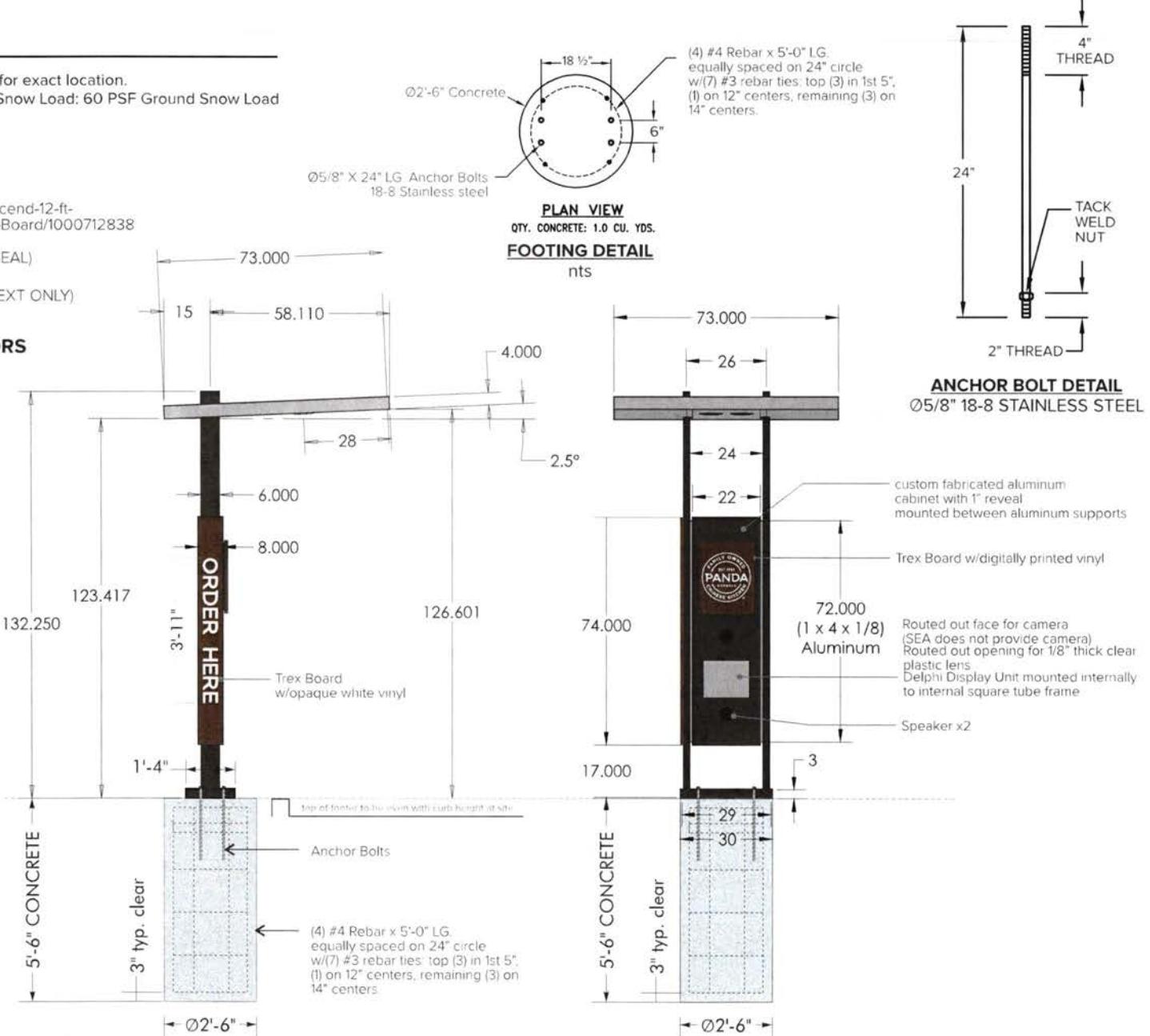
City/State: Willowbrook, IL

11

Drawing 2

C59897-1

120390



ANCHOR BOLT DETAIL
Ø5/8" 18-8 STAINLESS STEEL

D7

DT Menu Board - (Qty: 1)

Install new DT Menu Board. Refer to site plan for exact location.
NOTE: Wind Load: 115 mph wind speed



MAIN CABINET

Painted to match RMS Black 7C

COLOR SPECIFICATIONS

(4) #3 Rebar x 4'-0" LG
 equally spaced on 18" circle
 w/(7) #3 ties; top (3) in 1st 5",
 (3) on 8" centers, (1) 18" on center.

(3) #3 Rebar x 4'-0" LG
 equally spaced on 18" circle
 w/(7) #3 ties; top (3) in 1st 5",
 (3) on 8" centers, (1) 18" on center.

PLAN VIEW
 QTY. CONCRETE: 0.5 CU. YDS.

FOOTING DETAIL
 nts



ANCHOR BOLT DETAIL (INTS)

Ø1" ASTM F-1554 GR. 36 STEEL

SCALE | 1:30

PRIORITY

C59897-2
 Drawing #
 120390

Ø1" ASTM F-1554 GR. 36 STEEL
 Date: 10/30/2020
 Designer: PB
 PM: MC
 File Location:
 Drive/Clients/
 STND CSTM
 AS CR EN
 City/State: Willowbrook, IL
 Address: 7505 S. Kingery
 OE #

D8

Non-Illuminated Directional - (Qty: 1)

Install new non-illuminated directional. Refer to site plan for exact location.
NOTE: Wind Load: 115 mph wind speed



Scale 1 3/4" = 1'
TOTAL SQ FT = 4'

COLOR SPECIFICATIONS

PAINT

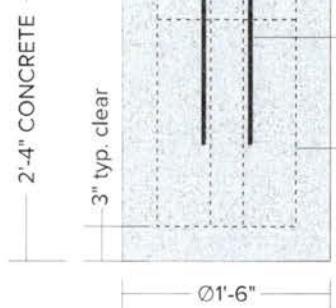
PMS Black 7C

VINYL

Reflective White Film

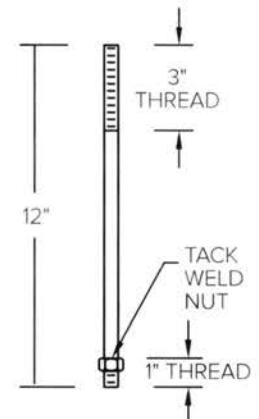
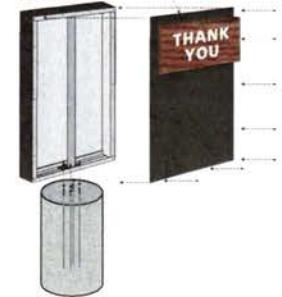
PANEL COLOR

Spiced Rum

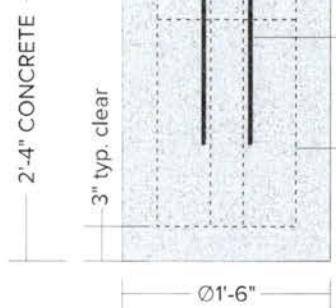


Attach cabinet face with countersunk screws

DETAIL A



ANCHOR BOLT DETAIL
 $\varnothing 3/8"$ 18-8 STAINLESS STEEL



FOOTING DETAILS
nts

PRIORITY

Revisions:
Calculated face sq ft - KB - 1.19.21
Updated to current specs | JG | 12.6.22
Total sq ft shown (08/28/24) PB

x
x
x
x

File Location:
Drive/Clients/
STND _____
CSTM _____

STND _____
CSTM _____
AS CR EN

Date: 10.30.2020
Designer: PB PM: MC

City/State: Willowbrook, IL
Address: 7505 S. Kingery

Drawing # C59897-3
OE # 120390

S9

Custom Illuminated Monument - (Qty: 1)

Install new internally illuminated double-faced monument sign.
Refer to site plan for exact location.



COLOR SPECIFICATIONS

TOP CLADDING

- .080" Aluminum sign cladding
Color: To match PMS Black 7C

RETAINER

- .080" Routed aluminum ring with .040" welded return
Color: To match PMS Black 7C on return edge only
To match PMS 711C on face

FACE

- .125" Routed aluminum cladding
Color: To match PMS Black 7C

BASE/SKIRT

- Faux stone to match building
Provided and installed by GC

ILLUMINATED PANDA LOGO

- Bayer Makrolon .77"
#7328 White LD Polycarbonate
- 3M Scotchcal #3630-33 Red film
- 3M #3630-22 Black film

"DRIVE THRU" COPY

- Bayer Makrolon .77"
#7328 White LD Polycarbonate

S10

Aluminum Parking Panel - (Qty: 2)

Install new aluminum parking panels and posts.
Refer to site plan for exact location.



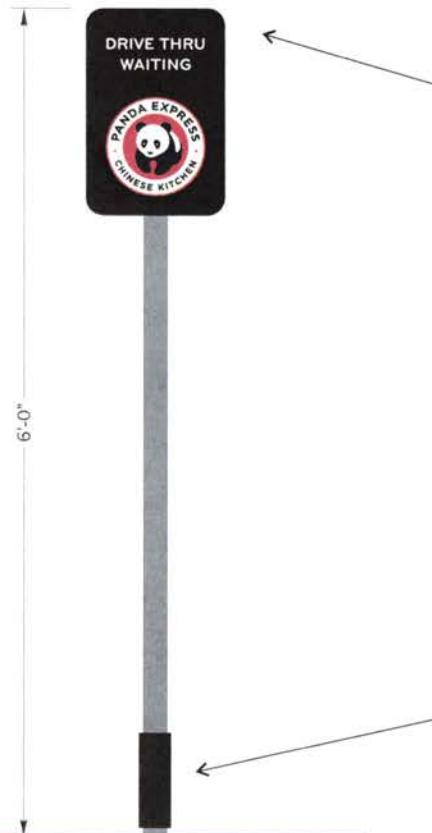
Scale | 1:4

COLOR SPECIFICATIONS

3M #680-10 White Scotchlite
reflective vinyl

Background painted to match
Akzo-Nobel Black, satin finish

Digitally printed graphics on
3M #680-10 White Scotchlite
reflective vinyl to match Pantone 711C Red
and Pantone Black C



Existing panels mounted with sign
brackets included with FlexPost order.



FlexPost 6' Sign Post: Natural Ground Model
Part #K-2807.

PRIORITY

Rewritten:
Revised copy / KB / 3.27.19
2) Revised to match S.F / JS (7-28-23)
Revised install method: Removed red note / DM 8/21/24

X

X

X

X

X

File Location:
Drive/Clients/STND
CSTM

Date: 12.19.2018

City/State: Willowbrook, IL

Drawing #

C59897-3

AS

CR

EN

Designer: KB
PM: MC

Address: 7505 S. Kingery

OE #

120390

S11

Aluminum Parking Panel - (Qty: 2)

Install new aluminum parking panels and posts; sign to be plate mounted. Refer to site plan for exact location.



Scale | 1:4

COLOR SPECIFICATIONS

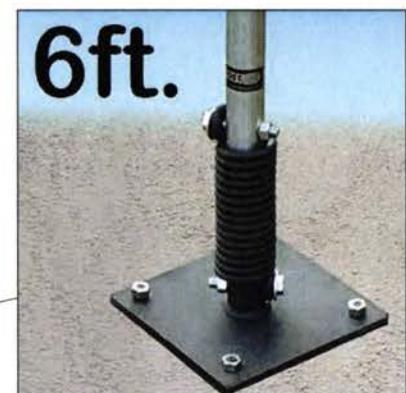
3M #680-10 White Scotchlite reflective vinyl

Background painted to match Akzo-Nobel Black, satin finish

Digitally printed graphics on 3M #680-10 White Scotchlite reflective vinyl to match Pantone 711C Red and Pantone Black C



Panels mounted with sign brackets included with FlexPost order.



FlexPost 6' Sign Post: Concrete Model Part #K-2805.



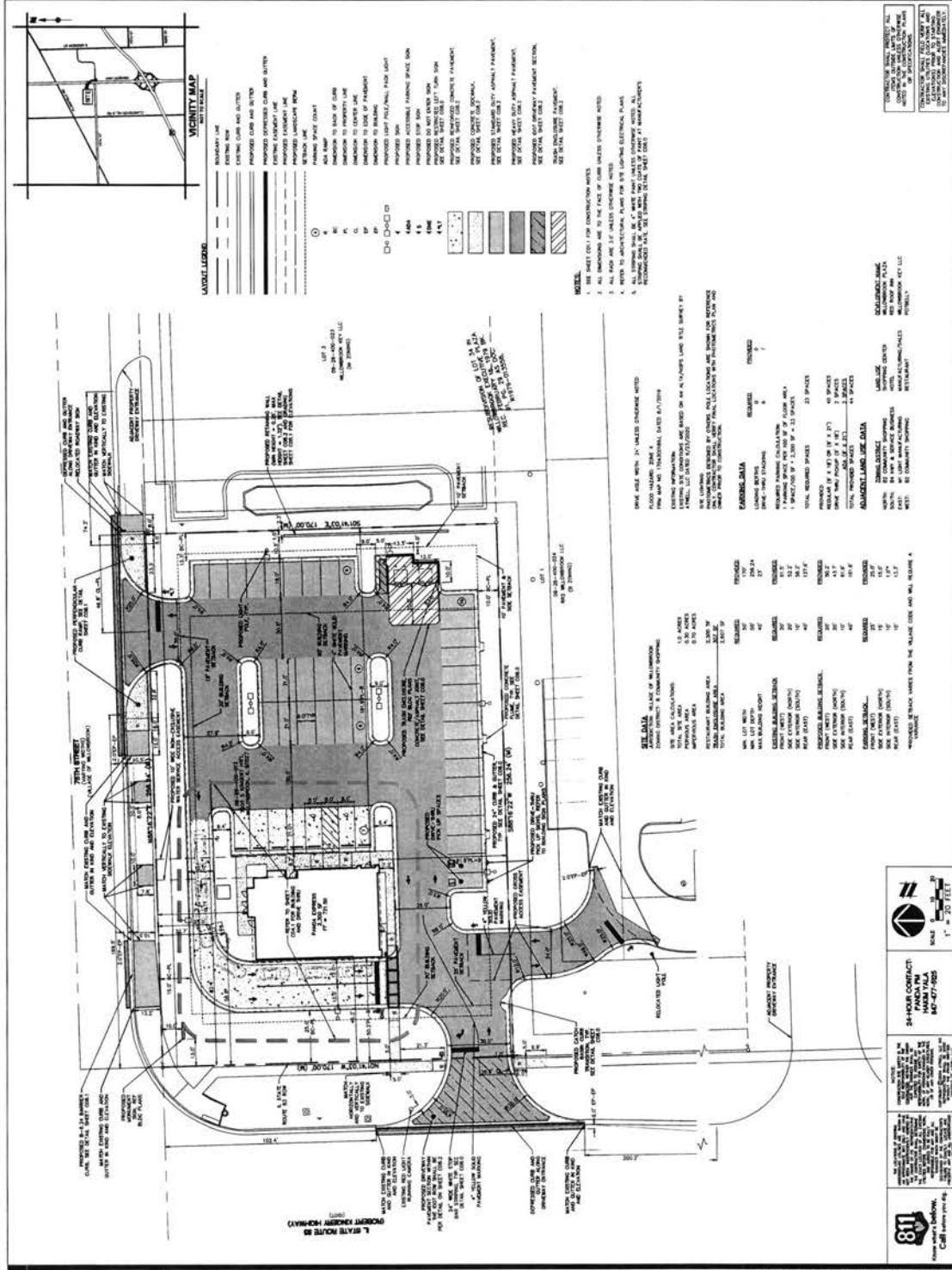
PANDA EXPRESS, INC.
1925 Wheeler Green Ave.
Rosewood, California
91770
Telephone 855-777-3636

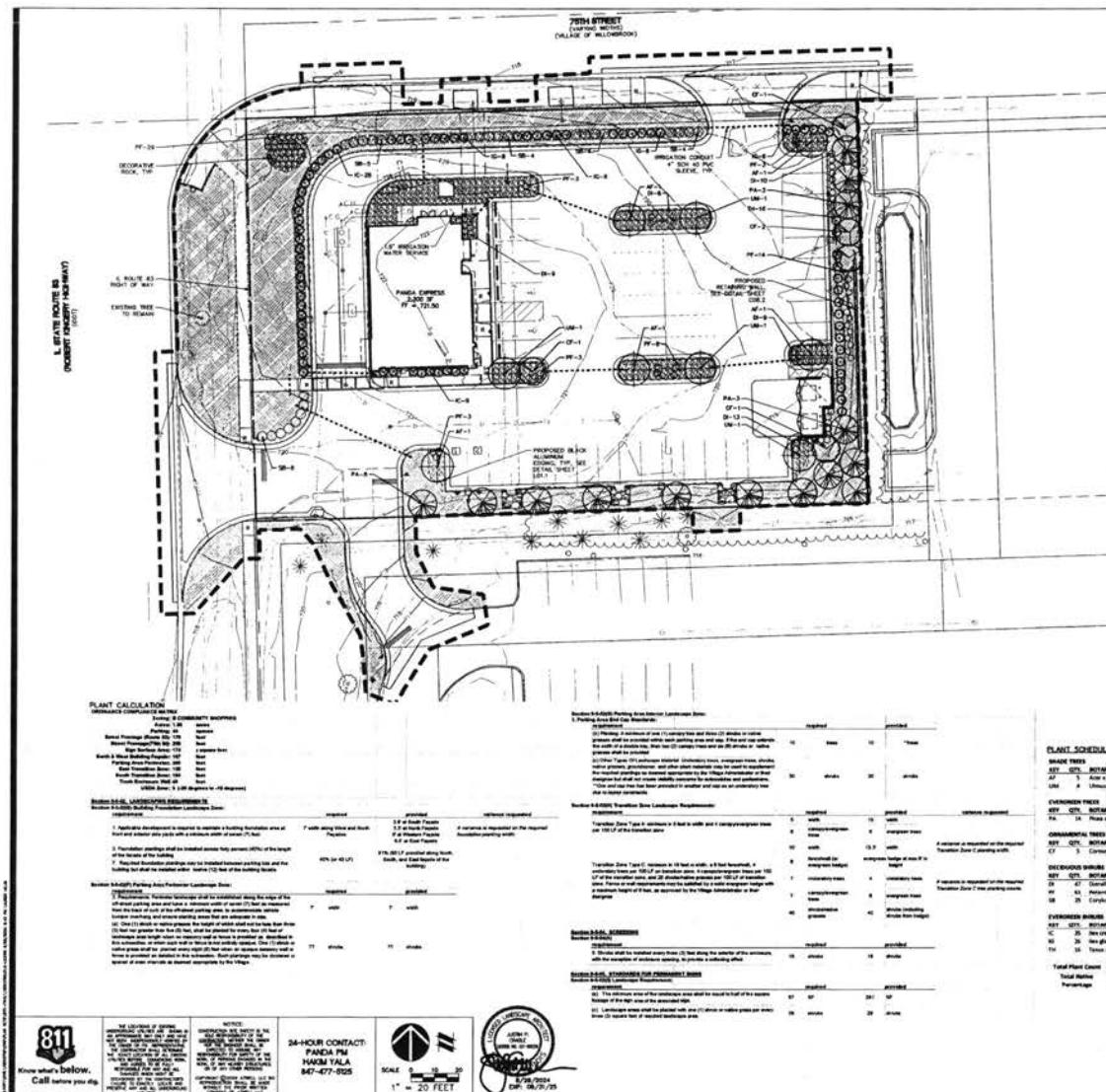
NOT FOR CONSTRUCTION



PANDA EXPRESS
WARM & WELCOME: 2900
7025 KINGSLY HIGHWAY
WILLIAMSROCK, B.C. V6G 5T7

C04.0





PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.776.8666
Faxcode: 626.322.5266

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REVISIONS:	
VILLAGE PLAN REV. #1	5/1/98
VILLAGE PLAN REV. #2	6/1/98
BDL PLAN REV. #1	04/09/98
VILLAGE PLAN REV. #4	04/14/98
VILLAGE PLAN REV. #5	04/20/98
BDL FOOTPRINT REV.	02/07/98
BDL FOOTPRINT REV. #2	03/07/98
BDL FOOTPRINT REV. #3	03/17/98

ISSUE DATE	
PC SUBMITAL	11/20/08
PC SUBMITAL #2	03/24/09
BUILDING PERMIT SET	06/08/09
BLDG/HEALTH RESP 1	10/26/09
BLDG/HEALTH RESP 2	04/27/10
VILLAGE PLAN REV #3	09/12/10
VILLAGE PLAN REV #4	08/26/11

DRAWN BY: LEH

NORR



PANDA EXPRESS

WARM & WELCOME 2006
7505 KINGERY HIGHWAY
THE LUMBERJACK, N. 48033

LANDSCAPE PLAN

L01.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL DETERMINE THE EXISTING UTILITIES (EDUCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER



PANDA EXPRESS, INC.
1601 Market Street, Suite 2200
Philadelphia, PA 19103
Telephone: (215) 573-2200
Facsimile: (215) 573-2205

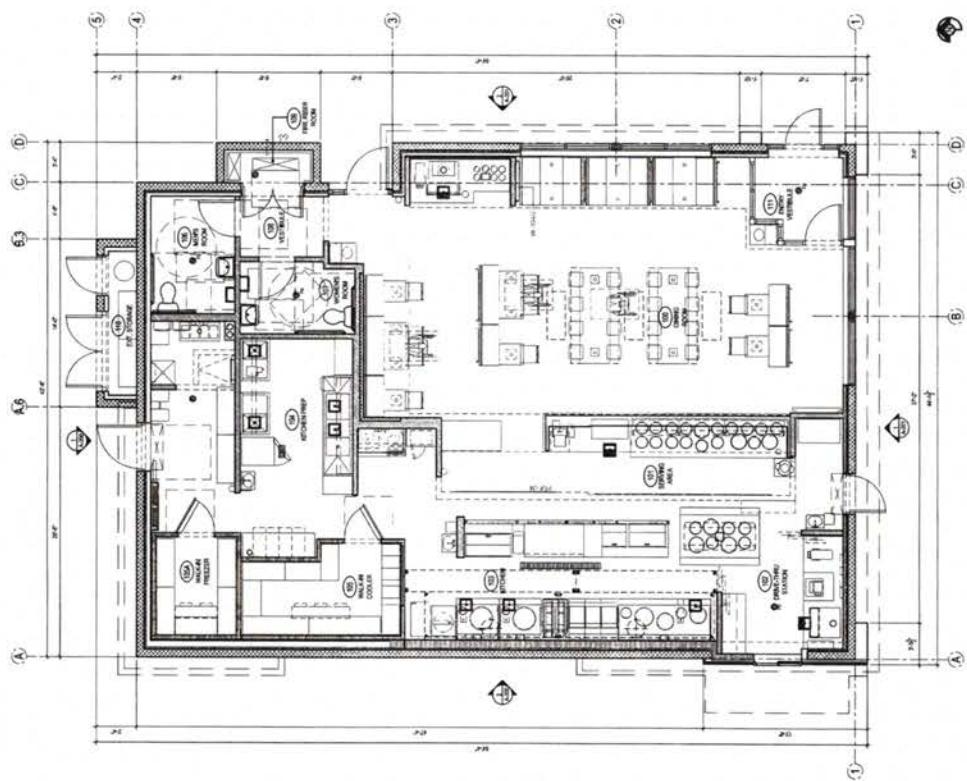
REVISION: [REDACTED]
REVISION DATE: 05/23/02
DESIGNER: [REDACTED]
DRAWN BY: [REDACTED]
PANDA PROJECT #: 0708
PANDA STRUCTURE #: 054240709
ARCH PROJECT #: 027151403

NORR

PANDA EXPRESS
1000 Market Street, Suite 1000
Philadelphia, PA 19103
Telephone: (215) 573-2200
Facsimile: (215) 573-2205

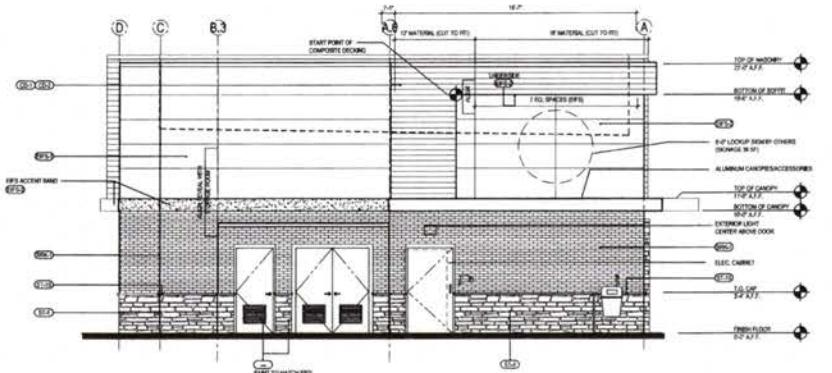
A-101

FLOOR PLAN
TRUE WIDTH & HEIGHT: 2300 MM
Scale: 1/4" = 1'-0"

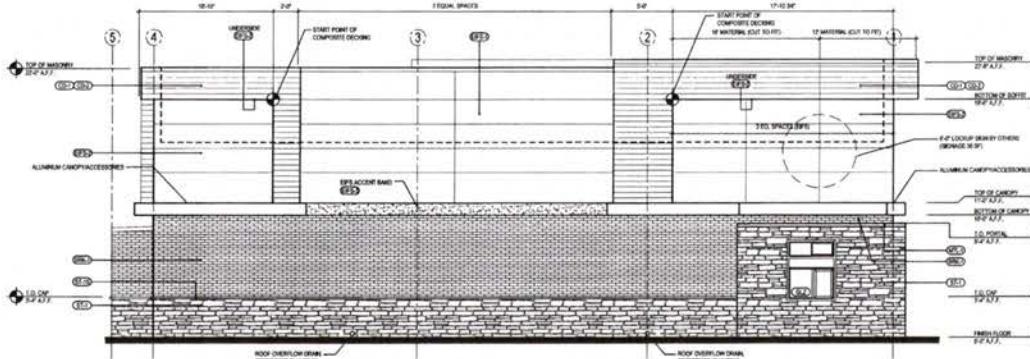


EXTERIOR FINISH SCHEDULE

FAÇADE COVERAGE			
	WEST ELEV. SW 1/4 SF	SOUTH ELEV. SW 1/4 SF	EAST ELEV. SW 1/4 SF
                                                                                                                                                                                                       <img alt="Solid black square" data-bbox="11995 145 1			



NORTH ELEVATION 1
Scale: 1/4" = 1'-0" A-200



WEST ELEVATION 2

EXTERIOR ELEVATIONS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone 626/999-0600
Telex 64-322-2000

10 of 10

ANSWER

RECEIVED
U.S. GOVERNMENT PRINTING OFFICE
1914 10 25 1000000

PRINT BY: **ACIP (A)**

INDA PROJECT #: D7058
INDA STORE #: 58-22-07058
JCH PROJECT #: JCDT184653

NORF

PANDA EXPRESS
TRUE WARM & WELCOME
7905 S. KINGSBURY HWY

A-200

FAÇADE COVERAGE			
	NORTH ELEV. 1,420 SF	WEST ELEV. 1,420 SF	SOUTH ELEV. 1,210 SF
BRICK	25%	34%	12%
GLASS	32%	34%	21%
STONE	17%	19%	17%
WOOD	19%	19%	12%
OTHER	12%	12%	14%
GRANITE	12%	12%	10%



PERSPECTIVE FACING SOUTHWEST 2
Scale = NTS A-202



PERSPECTIVE FACING NORTHEAST 1
Scale = NTS A-202



PANDA EXPRESS, INC.
1683 Market Avenue, Inc.
Rossmoor, California
91770
Telephone: (310) 783-8888
Facsimile: (310) 783-0001

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REVISIONS:

ISSUE DATE:
PC SUBMITAL 07-31-26

DRAWN BY: ACP (AF)

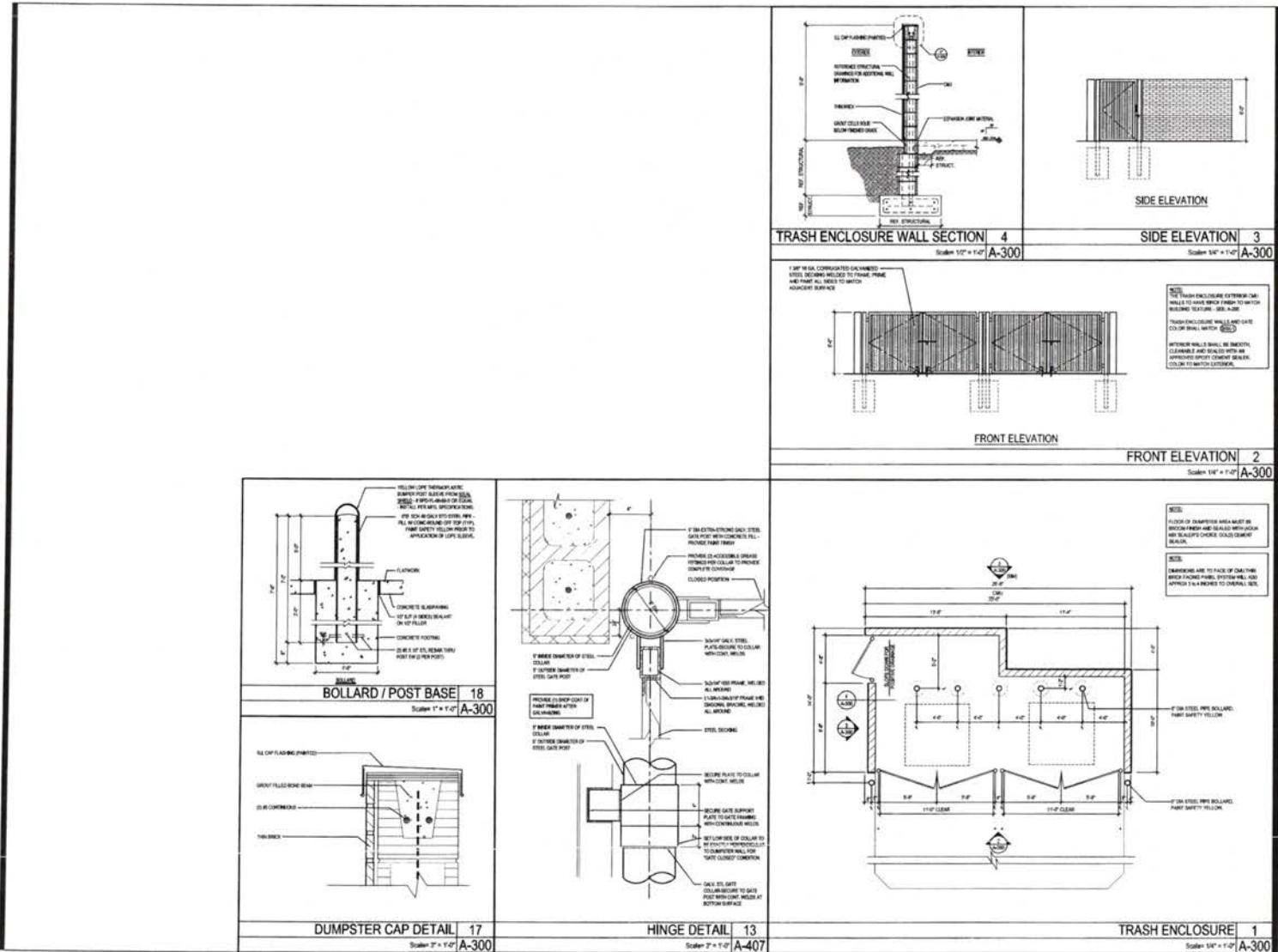
PANDA PROJECT #: D7056
PANDA STORE #: 56-22-07056
ARCH PROJECT #: JCDT16-0403

NORR

PANDA EXPRESS
TRUE WARM & WELCOME
701 S. KINGERY HWY
WILLOWBROOK, IL 60527

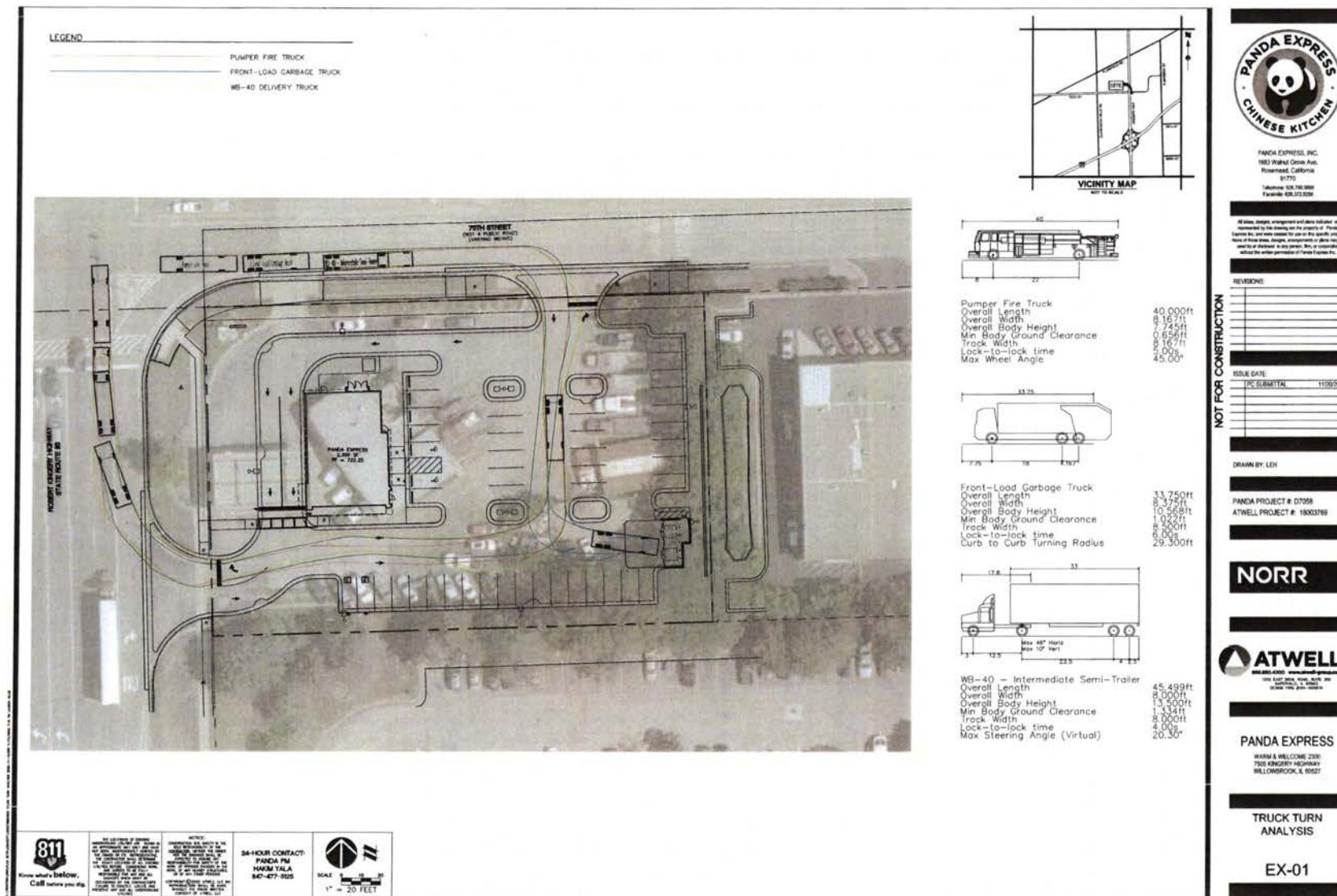
A-202
EXTERIOR PERSPECTIVES

TRUE WARM & WELCOME 2300 SF



PANDA EXPRESS, INC.
1000 Market Street, Ave.
Roseville, California
95770
Telephone 800.785.9888
Facsimile 916.272.8000

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PANDA EXPRESS, INC.
1050 West Green Ave.
Riverside, California
92520
Telephone: (714) 372-0200

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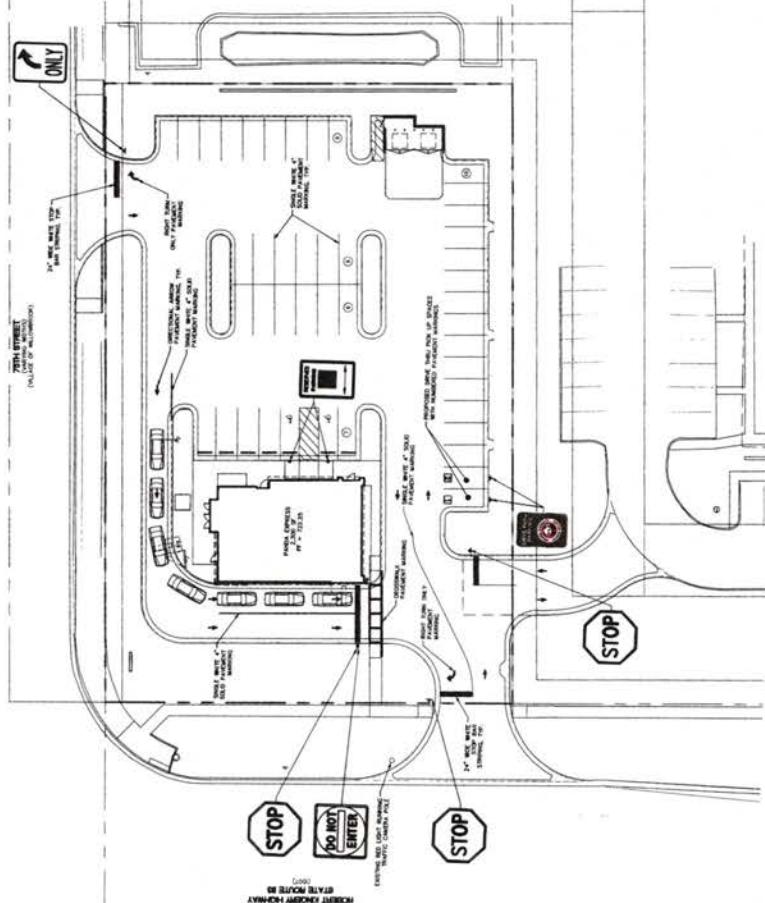
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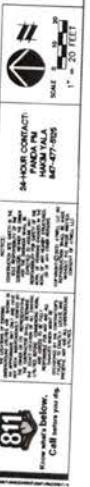


VICINITY MAP

NOT FOR CONSTRUCTION



24-HOUR CONCRETE
PANDA IN
MAIN AT 10TH
2005



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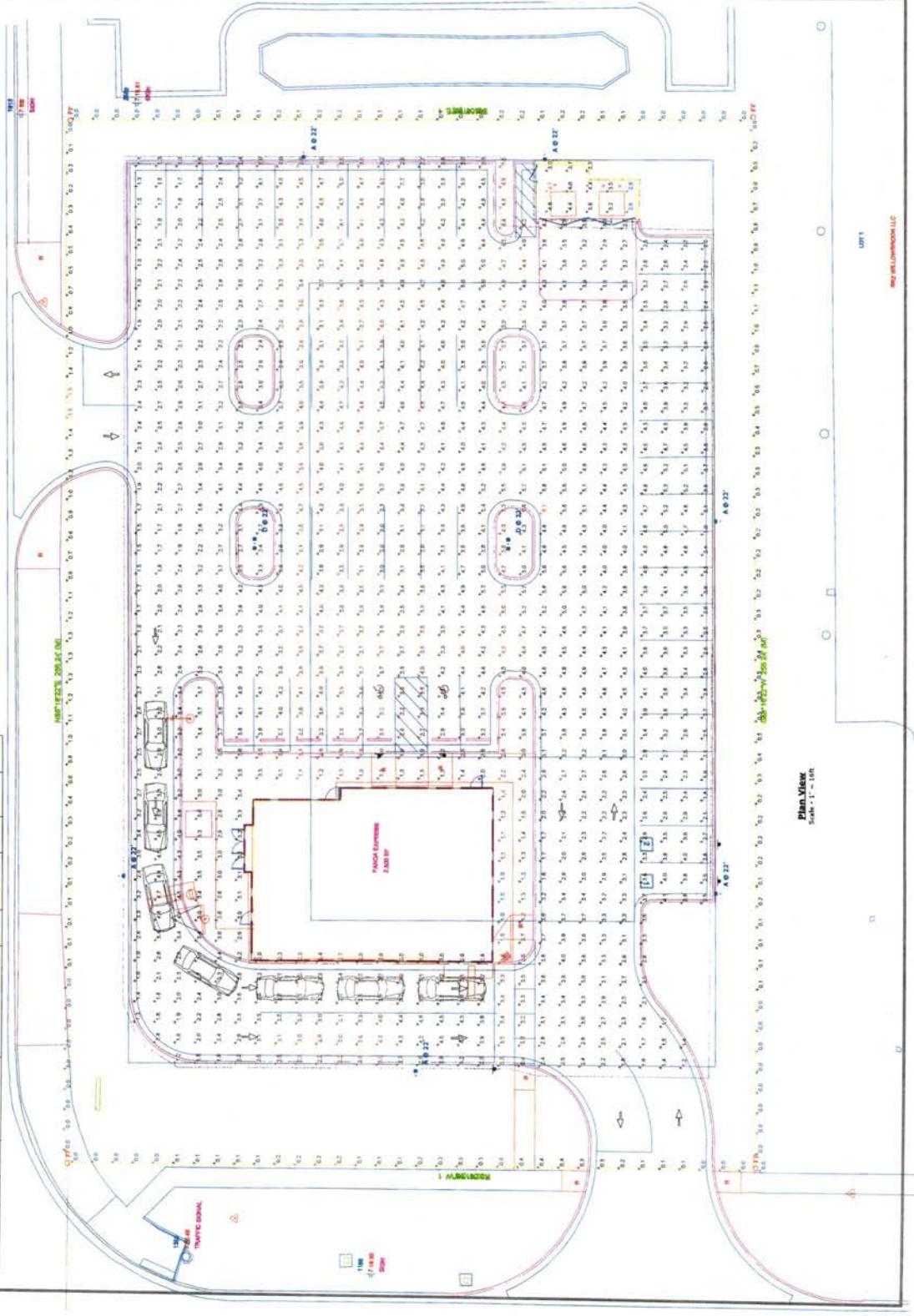
WILLOWBROOK, IL
PANDA EXPRESS

1 of 1

Note	
1.	MINUTING HEIGHT OF 22' (20' POLE)
2.	CALCULATIONS TAKEN AT GROUND LEVEL
3.	CONTACT VILLA LIGHTING: RYAN ZINSELMER- RYAN.ZINSELMER@VILLALIGHTING.COM 314-531-2600
4.	3.4% 8.3% 5.0% N/A
5.	0.3% 1.5% 0.0% N/A
6.	2.7% 4.7% 2.6% N/A
7.	3.4% 8.3% 5.0% N/A

Statistics	
DESCRIPTION	SYNTHETIC GRASS
GALC SUMMARY PAVED	+
GALC SUMMARY PROPERTY	+
LINE	3.4% 8.3% 5.0% N/A
TRASH ENCLOSURE	+
PROT PUBLIC SPACES	2.7% 4.7% 2.6% N/A
JOINTS/SEAMS	3.4% 8.3% 5.0% N/A

Symbol	Label	Qty	Circuit Number	Furnishings		Covers	LIF	WPS
				Offices	Restrooms			
□	A	6	SUM-4ED-18L-SEL-PT4-40	CONTACT RYAN ZINSELMER- 314-531-2600		SL440D-MC- SL440-40	1	148.5
□	B	0	SUM-4ED-18L-SEL-340- 70CR-1L	CONTACT RYAN ZINSELMER- 314-531-2600		SL440D-MC- SL440-40	1	148.5
□	C	2	SUM-4ED-18L-SEL-PT4-40	CONTACT RYAN ZINSELMER- 314-531-2600		SL440D-MC- SL440-40	1	297
□	D	0	SUM-4ED-18L-SEL-340- 70CR-1L					



Plan View
Scale: 1" = 50'

Designer
R. ZINSELMER
Date
10/29/2020
Scale
NOTED
Drawing No.
Summary

<p>PLAT OF EASEMENT for PUBLIC UTILITIES Part of Northern Quarter of Section 16, Twp. 36 N., Range 11 E., St. Paul, Dakota County, Minnesota</p> <p>100' - 40' - 20' - 10' - 5' - 2' - 1' - 1/2' - 1/4' - 1/8' - 1/16' - 1/32' - 1/64' - 1/128' - 1/256' - 1/512' - 1/1024' - 1/2048' - 1/4096' - 1/8192' - 1/16384' - 1/32768' - 1/65536' - 1/131072' - 1/262144' - 1/524288' - 1/1048576' - 1/2097152' - 1/4194304' - 1/8388608' - 1/16777216' - 1/33554432' - 1/67108864' - 1/134217728' - 1/268435456' - 1/536870912' - 1/1073741824' - 1/2147483648' - 1/4294967296' - 1/8589934592' - 1/17179869184' - 1/34359738368' - 1/68719476736' - 1/137438953472' - 1/274877906944' - 1/549755813888' - 1/1099511627776' - 1/2199023255552' - 1/4398046511104' - 1/8796093022208' - 1/17592186044416' - 1/35184372088832' - 1/70368744177664' - 1/140737488355328' - 1/281474976710656' - 1/562949953421312' - 1/1125899906842640' - 1/2251799813685280' - 1/4503599627370560' - 1/9007199254741120' - 1/18014398509482240' - 1/36028797018964480' - 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