

A G E N D A

MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, APRIL 3, 2024 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS 60527.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Revised Minutes of October 4, 2023, Plan Commission Regular Meeting
 - C. Minutes of March 6 2024, Plan Commission Regular Meeting
4. Pillars of the Community Award: Commemorative plaque presentation by Mayor Trilla to Dan Kopp for his 22 years of service on the Village of Willowbrook Plan Commission as he has decided to step down from chairman and his Plan Commission duty.
5. PLAN COMMISSION CONSIDERATION: Conceptual review and feedback for the development of Tony and Florence Borse Memorial Park, located at 208 Midway Drive. The project is proposed by the Village of Willowbrook Parks and Recreation Department.
 - A. Discussion/Recommendation
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, OCTOBER 4, 2023, AT THE VILLAGE COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER

Chairman Kopp called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at CRC: Chairman Kopp, Commissioner Kanaverskiss, Kaczmarek, Kaucky.
Staff present: Michael Krol, Director of Community Development

ABSENT: Commissioner Baksay, Walec, Vice Chairman Wagner.

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE).
- B. Minutes of August 2, 2023, Plan Commission Public Hearing.

MOTION: Made by Commissioner Kaucky seconded by Commissioner Kaczmarek approve the Omnibus Vote Agenda as presented.

Roll Call Votes:

AYES: Commissioner Kaucky, Kanaverskiss, Kaczmarek, and Chairman Kopp

NAYS: None

MOTION DECLARED CARRIED.

1. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 23-05: Consider a petition requesting the following zoning variations from Title 9 of the Village Unified Development Ordinance:

- a. Section 9-3-01(A) to reduce the front yard setback in R-2 district from 40 feet to the existing house location, 26 feet.
- b. Section 9-3-01(A) to reduce the exterior side yard setback in the R-2 district from 40 feet to 31 feet.

A. DISCUSSION/RECOMMENDATION

Director Krol provided a brief overview of the zoning variance request for the front yard setback and the corner/exterior side yard setback at 310 59th Street. The subject

property was annexed into Willowbrook in 1987 and the home was developed prior to 1978 under DuPage County Zoning and Subdivision codes. It is believed that the front yard setback at the time the house was built was 25 feet and the corner side yard setbacks were 10 feet. There are a number of homes along 59th Street with corner yards that appear to be about 10 feet from the property line.

The property approached Village staff regarding a second-floor addition to the existing house, demolishing the existing detached three car garage and building an attached three car garage. Section 9-10-04B states that any non-confirming residential building or structure needs to be brought into compliance. Without completely demolishing the home, it cannot be brought into compliance which is why the owner is seeking the front and exterior side yard zoning variance.

Director Krol asked if the owners had any additional comments or questions.

Chairman Kopp: Does anyone from the Plan Commission have any questions? To the owner, if you would like to speak you are allowed to address the Plan Commission.

No questions or comments from the property owner.

Chairman Kopp: With that said we will close the public hearing. To me this looks like net gain and I cant image the neighbors had any objection since the garage is moving further away from the neighbors.

Director Krol: The existing house sits back from the exterior side yard 35'-1". The variance is actually for 31 feet because the new three car attached garage will be located about 5 feet closer from the current location of the detached garage. Village staff has no objection to the proposal. Similar variations have been granted in the area for side and front yard setbacks for similar situations.

Chairman Kopp read the proposed motion into the record.

MOTION: to close the public hearing made by Commissioner Kaucky seconded by Commissioner Kanaverskiss, all in favor.

Roll Call Votes:

AYES: Commissioner Kaucky, Kanaverskiss, Kaczmarek, Chairman Kopp

NAYS: None

MOTION DECLARED CARRIED

MOTION: Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board, approval of the proposed zoning variance requests to the front and exterior side yard setbacks in the R-2 District of the Unified Development Ordinance to allow a 26-foot front yard setback and a 31-foot exterior side yard setback for the subject property.

Made by: Commissioner Kaucky seconded by Commissioner Kaczmarek.

Roll Call Votes:

AYES: Commissioner Kaucky, Kanaverskis, Kaczmarek, Chairman Kopp.

NAYS: None

5. VISTOR'S BUSINESS.

None

6. COMMUNICATIONS

Director Krol, no report but can answer any questions about ongoing projects.

Commissioner Kaucky, asked about the project at 75th and 83, the Panda Express.

Director Krol, The project is still open, however the deadline for permit approval for Panda Express is November 10th. After that date there is no further extensions that can be granted by the Board, which they have granted two extensions already which is allowed by code. There are still several open items that the applicant needs to submit prior to permit issuance, two of which need Village Board approval. Part of the delay has been IEPA NFR letter from site cleanup.

Commissioner Kanaverskis, asked about the landscapers witnessed on the property. And installed concrete barriers.

Director Krol, that was requested by staff to keep up property maintenance. Tall grass and weeds were becoming too tall. The barriers were installed by property ownership to keep the semi-trucks and parked cars off the property.

Chairman Kopp, will the change in the zoning ordinance impact Panda?

Director Krol, Panda Express was granted 14 zoning variations for the property. The new UDO will apply to any new application for a Panda Express and zoning variations might be required.

Commissioner Kaczmarek, are they working at the cannabis dispensary business?

Director Krol, yes, they are working, and I don't have a timeline for project completion. They have had rough inspections completed and approved recently.

Chairman Kopp, in my neighborhood everyone was happy that the hoarder on Bentley got their front yard cleaned up.

Director Krol, there were multiple court orders for the Village to go on the property, to tow vehicles away, and cleanup and remove debris from the property. Public Works had several staff members there cleaning up debris for several hours and a tow company on site.

7. ADJOURNMENT

MOTION: Made by Commissioner Kaucky seconded by Commissioner Kaczmarek to adjourn the meeting of the Plan Commission at 7:11 p.m.

Roll call votes AYES: Commissioners, Kanaverskis, Kaczmarek, Kaucky, and Chairman Kopp.

MOTION DECLARED CARRIED

UNANIMOUS VOICE VOTE
PRESENTED, READ, AND APPROVED,

October 4, 2023

Revised for April 3, 2024

Chairman Kopp

Minutes transcribed by Director Krol

Transcript of Proceedings

VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER

24-01

March 6, 2024

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**VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER
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1

VILLAGE OF WILLOWBROOK
PLAN & ZONING
HEARING CASE NUMBER 24-01

REPORT OF PROCEEDINGS at the
meeting held before the Plan & Zoning Commission of
Willowbrook on the 6th day of March, 2024, at the
hour of 7:00 p.m., as reported by Donna Watwood,
Certified Shorthand Reporter in and for the County
of Kane and State of Illinois.

Reported by: Donna Watwood, CSR

License No.: 0084-003686

VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER
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1 APPEARANCES:

2
3 John Wagner - Vice-Chairman

4 Catherine Kaczmarek - Member

5 Leonard Kaucky - Member

6 Maciej Walec - Member

7 Ronald Kanaverskis - Member

8 Zoltan Baksay - Member

9
10 Michael Krol - Director of Community
11 Development

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1 VICE-CHAIRMAN WAGNER: This is the
2 meeting of the Plan Commission of the Village of
3 Willowbrook; Wednesday, March 6th at 7:00 p.m., at
4 the Village of Willowbrook Community Resource
5 Center here at 825 Midway Drive in Willowbrook.
6 And due to the expiration of the Governor's
7 Disaster Declaration, public participation/comment
8 is permitted solely by attending the meeting here
9 at 825 Midway Drive.

10 And I will call the meeting to order.
11 And the secretary will roll call.

12 MR. KROL: Commissioner Baksay?

13 COMMISSIONER BAKSAY: Present.

14 MR. KROL: Commissioner Kanaverskis?

15 COMMISSIONER KANAVERSKIS: Here.

16 MR. KROL: Commissioner Kaczmarek?

17 COMMISSIONER KACZMAREK: Here.

18 MR. KROL: Commissioner Kaucky?

19 COMMISSIONER KAUCKY: Here.

20 MR. KROL: Commissioner Walec?

21 COMMISSIONER WALEC: Here.

22 MR. KROL: Vice-chairman Wagner?

23 VICE-CHAIRMAN WAGNER: Here.

24 MR. KROL: And Chairman Kopp is absent.

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1 VICE-CHAIRMAN WAGNER: And the omnibus
2 vote agenda, is there anyone that has any
3 corrections or additions to the meeting or the
4 revised minutes for October 4th and the minutes for
5 December 13th, 2023?

6 COMMISSIONER KACZMAREK: I do for
7 October 4th. It's stated that in the packet it was
8 updated that on page four for the request that I
9 wanted to update the minutes, but it wasn't
10 updated.

11 VICE-CHAIRMAN WAGNER: Did the secretary
12 take note of that?

13 MR. KROL: Yeah, excuse me. I'm pretty
14 sure I updated it on the --

15 COMMISSIONER KACZMAREK: It is page four,
16 first line.

17 MR. KROL: Page four.

18 COMMISSIONER KACZMAREK: (Inaudible).

19 MS. COURT REPORTER: I'm sorry, I can't
20 hear you.

21 VICE-CHAIRMAN WAGNER: Could you speak
22 into the microphone?

23 COMMISSIONER KACZMAREK: Sorry.

24 MR. KROL: My apologies. Again, I know I

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1 corrected it. I must have just not -- I made the
2 incorrect copy. I'll fix that for the next one.
3 It's changed --

4 COMMISSIONER KACZMAREK: Perfect. Thank
5 you.

6 MR. KROL: It's just the wrong one.

7 VICE-CHAIRMAN WAGNER: So, can I have a
8 roll call for waiver of reading the minutes?

9 MR. KROL: We need a motion.

10 COMMISSIONER BAKSAY: I move to waive the
11 reading of the minutes.

12 VICE-CHAIRMAN WAGNER: Do I hear a
13 second?

14 COMMISSIONER WALEC: Second.

15 VICE-CHAIRMAN WAGNER: Thank you.

16 MR. KROL: Commissioner Baksay?

17 COMMISSIONER BAKSAY: Yes.

18 MR. KROL: Commissioner Kanaverskis?

19 COMMISSIONER KANAVERSKIS: Yes.

20 MR. KROL: Commissioner Kaczmarek?

21 COMMISSIONER KACZMAREK: Yes.

22 MR. KROL: Commissioner Kaucky?

23 COMMISSIONER KAUCKY: Yes.

24 MR. KROL: Commissioner Walec?

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1 COMMISSIONER WALEC: Yes.

2 MR. KROL: And Vice-Chairman Wagner?

3 VICE-CHAIRMAN WAGNER: Yes.

4 We have a hearing this evening for the
5 Zoning Committee's 24-01, which is a Preliminary
6 Plat of Subdivision for Syrux Subdivision located
7 at 6341 Bentley Avenue and consideration of the
8 zoning variations to the Unified Development
9 Ordinance.

10 The petitioner is Peter Ruksza and
11 Victoria Syren at 6134 Bentley Avenue in
12 Willowbrook, Illinois.

13 And the document was published -- I don't
14 think I see a publication for this.

15 MR. KROL: Page six.

16 VICE-CHAIRMAN WAGNER: Page six.

17 COMMISSIONER BAKSAY: February 20th of
18 2024, Vice-Chairman.

19 VICE-CHAIRMAN WAGNER: Okay. And it was
20 published in what?

21 COMMISSIONER BAKSAY: The Chicago
22 Sun-Times newspaper.

23 VICE-CHAIRMAN WAGNER: Thank you.

24 Tonight is the consideration and

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1 recommendation regarding a Preliminary Plat of
2 Subdivision for the address of 6134 Bentley. It is
3 a minor subdivision for a lot adjustment and
4 re-subdivision of a single family parcel into two
5 parcels and consideration following the zoning
6 ordinance:

7 Number 1, Section 9-07-03(B) (4) (a) (4) to
8 increase the maximum depth-to-width ratio of 3:1 to
9 allow for a Lot 1 90 feet by 3314.63 and Lot 2
10 75.08 by 404.28 feet of the proposed subdivision.

11 And, also, Number 2,
12 Section 9-07-04(D) (1) to eliminate and waive the
13 sidewalk requirements from the subdivision proposal
14 as no other properties on the block of Bentley
15 Avenue have public sidewalks.

16 And would you like to give us an update
17 on that?

18 MR. KROL: Yes. Thank you, Vice-Chairman
19 Wagner. I'll give a brief overview of this
20 proposal. The subject parcel is 1.36 acres. It
21 currently has a single family home and a detached
22 garage on the property.

23 I have met with the owner who wished to
24 subdivide several months ago from one parcel into

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1 two -- And as you read through the zoning
2 variations.

3 -- one, to allow a greater than 3:1
4 depth-to-width ratio. That's because in the 2022
5 UDO update that was the first time this code was
6 entered.

7 So the ratio for Lot 1 would be 1 to 3.49
8 and Lot 2, 1 to 5.38. And that's utilizing the
9 existing lot lines when the lot was platted, I want
10 to say, yeah, back in 1923 under the Clarendon
11 Hills Acres Estate Subdivision.

12 The second zoning variance, again, is to
13 waive the sidewalk requirements. There's no
14 sidewalks on either side of Bentley between 61st
15 and 63rd that are in the Village of Willowbrook.
16 So the staff feels that is enough justification for
17 both variations.

18 The applicant is present tonight. If you
19 want to add anything that I may have missed or
20 answer any questions?

21 MR. RUKSZA: I have nothing at this time.

22 MR. KROL: Okay. Nothing from the
23 applicant, so back to Vice-Chairman Wagner.

24 VICE-CHAIRMAN WAGNER: Do any of the

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1 commission members have any questions concerning
2 this?

3 COMMISSIONER KACZMAREK: No.

4 COMMISSIONER KANAVERSKIS: No.

5 VICE-CHAIRMAN WAGNER: The only thing I
6 would like to bring up -- And I know it's been
7 discussed, and I know we haven't changed -- and
8 maybe haven't changed is in our planning
9 procedures.

10 -- but we've talked before about public
11 improvements being waived and the economic things
12 that we waive. Whether this is being considered as
13 a contribution to the Village, has that been
14 considered in this.

15 MR. KROL: It has been. That's being
16 discussed with the attorneys as far as ethically if
17 that's allowed per state statute. So it's being
18 reviewed.

19 VICE-CHAIRMAN WAGNER: Thank you.

20 Does the applicant have anything to say?

21 MR. RUKSZA: No.

22 VICE-CHAIRMAN WAGNER: Thank.

23 MR. KROL: I believe there's members of
24 the public. Any members of the public who wish to

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1 make a comment or question, please come to the
2 podium, identify yourself, and you'll be sworn in.

3 (No response.)

4 VICE-CHAIRMAN WAGNER: Okay. Hearing
5 none.

6 COMMISSIONER BAKSAY: I would like to
7 make a comment, if I may.

8 VICE-CHAIRMAN WAGNER: Commissioner
9 Baksay.

10 COMMISSIONER BAKSAY: So, one of the
11 reasons we revised the UDO and one of the
12 discussion points on this length-to-width ratio of
13 the lots and the subdivision allowances was to
14 prevent kind of what we kind of colloquially
15 referred to as bowling alley lots with, you know,
16 potential for, you know, future subdivision
17 opportunities and things of that nature.

18 So, this is the first time that I'm aware
19 of that this particular ordinance has come before
20 the Plan Commission. And so I would just like to
21 reference that, what I think is a very solid body
22 of work done by the joint commission on revising
23 the UDO.

24 VICE-CHAIRMAN WAGNER: Okay. Any other

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1 comments or questions?

2 (No response.)

3 VICE-CHAIRMAN WAGNER: With that, I think
4 we can have a motion to close the public hearing.

5 COMMISSIONER BAKSAY: So moved.

6 COMMISSIONER KAUCKY: Second.

7 VICE-CHAIRMAN WAGNER: Could we have a
8 roll call?

9 MR. KROL: Commissioner Baksay?

10 COMMISSIONER BAKSAY: No.

11 MR. KROL: Commissioner Kanaverskis?

12 COMMISSIONER KANAVERSKIS: Yes.

13 MR. KROL: Commissioner Kaczmarek?

14 COMMISSIONER KACZMAREK: Yes.

15 MR. KROL: Commissioner Kaucky?

16 COMMISSIONER KAUCKY: Yes.

17 MR. KROL: Commissioner Walec?

18 COMMISSIONER WALEC: Yes.

19 MR. KROL: And Vice-Chairman Wagner?

20 VICE-CHAIRMAN WAGNER: Yes.

21 Now that the hearing is closed, are there
22 any questions or considerations to be discussed?
23 Should we go through the other items on the agenda
24 first or should we make a motion for this?

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1 MR. KROL: We'll make the motion for
2 this. The other two cases we'll have to go back
3 through the public hearing. So we would reopen it
4 at each case and close it.

5 So this is just the discussion, comments,
6 questions, or go right to a vote.

7 (No response.)

8 VICE-CHAIRMAN WAGNER: Okay.

9 Hearing no questions or comments, I would
10 like to hear a motion. Based on the submitted
11 petition and testimony presented, I would move that
12 the Plan Commission recommend to the Village Board
13 approval of proposed Preliminary Plat for 6134
14 Bentley Avenue in Willowbrook, Illinois, for a
15 minor subdivision for a lot adjustment and
16 re-subdivision of one single family residential
17 parcel into two parcels and approval of the
18 following variations:

19 Number 1, Section 9-07-03(B)(4)(a)(4) to
20 increase the maximum depth-to-width ratio to 3 --
21 of 3:1, maximum to allow a Lot 1 90 feet by
22 314.63 feet and Lot 2 of 75.08 feet by 404.28 feet
23 of the proposed subdivision.

24 And, Number 2, Section 9-07-04(D)(1) to

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1 eliminate or waive the public sidewalk requirement
2 from the subdivision proposal.

3 Do I hear a second?

4 COMMISSIONER WALEC: I'll make that
5 motion.

6 COMMISSIONER BAKSAY: Second.

7 VICE-CHAIRMAN WAGNER: Roll call.

8 MR. KROL: Commissioner Baksay?

9 COMMISSIONER BAKSAY: Yes.

10 MR. KROL: Commissioner Kanaverskis?

11 COMMISSIONER KANAVERSKIS: Yes.

12 MR. KROL: Commissioner Kaczmarek?

13 COMMISSIONER KACZMAREK: Yes.

14 MR. KROL: Commissioner Kaucky?

15 COMMISSIONER KAUCKY: Yes.

16 MR. KROL: Commissioner Walec?

17 COMMISSIONER WALEC: Yes.

18 MR. KROL: And Vice-Chairman Wagner?

19 VICE-CHAIRMAN WAGNER: Yes.

20 Thank you for coming to our meeting. If
21 you would like to stay, you can. But this will be
22 sent on to the Board of Trustees with our positive
23 recommendations.

24 MR. RUKSZA: Thank you.

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MS. SYREN: Thank you very much.

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1 STATE OF ILLINOIS)
) SS:
2 COUNTY OF KANE)

3
4 DONNA L. WATWOOD, being a Certified Shorthand
5 Reporter, on oath says that she is a court reporter
6 doing business in the county of Kane and State of
7 Illinois, that she reported in shorthand the
8 proceedings given at the taking of said cause and
9 that the foregoing is a true and correct transcript
10 of her shorthand notes so taken as aforesaid; and
11 contains all of the proceedings given at said
12 cause.

13
14 *Donna L. Watwood*
15 DONNA L. WATWOOD, C.S.R.
16 License No. 084-003686
17 Kane County, Illinois



Transcript of Proceedings

VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER

24-02

March 6, 2024

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**VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER
March 6, 2024**

1

VILLAGE OF WILLOWBROOK
PLAN & ZONING
HEARING CASE NUMBER 24-02

REPORT OF PROCEEDINGS at the
meeting held before the Plan & Zoning Commission of
Willowbrook on the 6th day of March, 2024, at the
hour of 7:00 p.m., as reported by Donna Watwood,
Certified Shorthand Reporter in and for the County
of Kane and State of Illinois.

Reported by: Donna Watwood, CSR

License No.: 0084-003686

VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER
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1 APPEARANCES:

2
3 John Wagner - Vice-Chairman

4 Catherine Kaczmarek - Member

5 Leonard Kaucky - Member

6 Maciej Walec - Member

7 Ronald Kanaverskis - Member

8 Zoltan Baksay - Member

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10 Michael Krol - Director of Community
11 Development

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**VILLAGE OF WILLOWBROOK PLAN & ZONING HEARING CASE NUMBER
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1 VICE-CHAIRMAN WAGNER: We also have
2 another Plan Commission Hearing this evening,
3 Zoning Case 24-02.

4 It is consideration of a petition
5 requesting an amendment to a previously approved
6 special use, Ordinance 89-0-52 for the Willowbrook
7 Plaza 2, formerly known as Wingren Plaza, for
8 exterior facade change, tenant space 900 on 75th
9 Street.

10 And we'll go ahead and open the public
11 hearing for that. Is there a staff report on this,
12 or would you like us to --

13 MR. KROL: Yes.

14 VICE-CHAIRMAN WAGNER: -- have --

15 MR. KROL: There's a report that you all
16 have in front of you. I can give a brief overview.

17 The petitioner is the owner of the
18 shopping center this evening, Willowbrook Plaza,
19 LLC, c/o Property Solutions Group.

20 Back in 1989 at the northeast corner of
21 Route 83 and 75th Street there was an ordinance to
22 approve the construction of the Wingren Shopping
23 Center, now known as Willowbrook Plaza 2. The
24 shopping center was constructed in 1990. It has a

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1 total land area of 3.59 acres and has 50,000 square
2 feet of retail and service business space.

3 Located at the end of the shopping
4 center, the westernmost tenant space, 900 75th
5 Street, this tenant was granted a special use,
6 Ordinance 22-O-02 for a 3900 square foot adult-use
7 cannabis dispensary.

8 In 2022 the staff report did state at the
9 time there was going to be no changes to the
10 exterior. After reviewing the originally approved
11 ordinance from 1989, the elevation plan you see in
12 front of you was included as part of the condition
13 of approval.

14 So what that means is if there's going to
15 be any exterior changes to the facility; whether
16 the facade, landscaping, reduction of parking, an
17 amendment to the originally approved ordinance,
18 special use ordinance is required.

19 So, in your packet is a couple of
20 pictures of what is proposed. In front of you is
21 the -- on the screen here is the elevation plan
22 where there's an existing granite peak. There's
23 five of them on the property that is an entrance
24 for five different larger tenant spaces.

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1 This particular unit will only be
2 affected, 900 75th Street, and that is for the Mint
3 Cannabis Dispensary.

4 They want to change the exterior facade
5 for this space only. They would cover the existing
6 granite. They're not removing it. They're
7 covering it with plywood, vapor barrier, and then
8 this -- this wood facade. I guess, wood panel
9 facade.

10 I've also included in the packet the two
11 colors that are referenced on the plan that will be
12 painted around the rest of the area that's not
13 going to be the wood cladding exterior. This does
14 not change the use itself, the size of the space,
15 eliminate any parking, nor anything like that.

16 So, that all said, the applicant is here
17 this evening -- or I believe on behalf of the
18 applicant tenant is here with their team. If you
19 wanted to come and add anything to the presentation
20 and answer any questions about the project itself,
21 please come up. And we'll have you sworn in.

22 VICE-CHAIRMAN WAGNER: Would you state
23 your name and be sworn, please?

24 MR. FAKHOURI: Omar Fakhouri.

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1 (Whereupon, Mr. Fakhouri was
2 duly sworn.)

3 MR. GOULD: Brian Gould.

4 (Whereupon, Mr. Gould was duly
5 sworn.)

6 MR. GOULD: I am Brian Gould with BR
7 Designs & Architecture. I'm the architect
8 representing the client.

9 MR. FAKHOURI: So thank you for your
10 consideration for this request. Really our goal is
11 to provide, you know, essentially an improvement to
12 the facade of the building there. We really think
13 we've designed this in a way that will stand out in
14 a positive way. You know, I think the improvement
15 meshes with our brand and our stores and other
16 markets as well. It's been really a positive
17 feedback that we have received.

18 So we definitely appreciate your
19 consideration. And Brian can give you any feedback
20 on our design itself if there's any question.

21 MR. GOULD: One thing I wanted to add was
22 in regards to the material. You'll see in your
23 packet there, the material that we're putting on
24 this, there is a comment about it being wood.

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1 I just wanted to clarify it definitely is
2 not wood. It is a composite material. You're
3 pretty used to seeing that around a lot of the new
4 shopping centers now. It's basically a cladding
5 system that will be on the exterior to create that
6 look.

7 So we're going to have the wood look that
8 will be over the existing monument right now. And
9 then there will be colors that will be added --
10 painted colors to the existing dryvit system as
11 well as material added to the existing
12 drive-through as well. So it's creating a uniform
13 look.

14 So the wood, the composite wood, will
15 create that accent and then the coloring system
16 will kind of tie-in as you see it. It's a grayer
17 color that will tie-in to those existing monuments
18 that are left over.

19 VICE-CHAIRMAN WAGNER: Do any of the
20 commissioners have any questions or comments?

21 COMMISSIONER KANAVERSKIS: Commissioner
22 Kanaverskis.

23 Is there any plans for doing the rest of
24 the granite? I know it's not their responsibility.

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1 But the rest of the granite entranceway just so
2 they all blend in.

3 MR. KROL: No. Right now it's only this
4 unit. In the future if there was going to be
5 another change, another special use amendment would
6 be required for Plan Commission and Village Board
7 consideration.

8 COMMISSIONER KANAVERSKIS: I don't think
9 it -- It would look nice if it all matched up if
10 you are going to do it.

11 VICE-CHAIRMAN WAGNER: Is there anyone
12 from the public that has any questions or comments?

13 (No response.)

14 VICE-CHAIRMAN WAGNER: Hearing none.

15 I wanted to also add that this was --
16 this public hearing was published February 20th of
17 2024, also for the record, and signage was placed
18 on the property concerning this evening's public
19 hearing.

20 Is there any other information we need
21 to --

22 MR. KROL: Go ahead.

23 VICE-CHAIRMAN WAGNER: I'm sorry?

24 MR. KROL: Commissioner Baksay has a

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1 question.

2 VICE-CHAIRMAN WAGNER: I'm sorry.

3 COMMISSIONER BAKSAY: Just a comment.

4 You know, one concern I have, gentlemen,
5 is, you know, the design looks beautiful. From my
6 perspective, it sets a precedent for the Village of
7 Willowbrook where in any of the other shopping
8 centers any individual tenant could modify the look
9 and feel of a particular unit, customize it to
10 their company logo. And my concern with that is we
11 would have kind of a hodgepodge, if you will --
12 Sorry for having you spell that.

13 -- a hodgepodge of our look in our
14 shopping centers and kind of, you know, malls, if
15 you will. So that's my concern with this proposed
16 change.

17 VICE-CHAIRMAN WAGNER: Any other comments
18 or questions?

19 (No response.)

20 VICE-CHAIRMAN WAGNER: I would then have
21 a motion to close the public hearing for Public
22 Hearing 24-02.

23 COMMISSIONER BAKSAY: So moved.

24 COMMISSIONER WALEC: I'll second that.

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1 VICE-CHAIRMAN WAGNER: Roll call, please.

2 MR. KROL: Commissioner Baksay?

3 COMMISSIONER BAKSAY: Yes.

4 MR. KROL: Commissioner Kanaverskis?

5 COMMISSIONER KANAVERSKIS: Yes.

6 MR. KROL: Commissioner Kaczmarek?

7 COMMISSIONER KACZMAREK: Yes.

8 MR. KROL: Commissioner Kaucky?

9 COMMISSIONER KAUCKY: Yes.

10 MR. KROL: Commissioner Walec?

11 COMMISSIONER WALEC: Yes.

12 MR. KROL: And Vice-Chairman Wagner?

13 VICE-CHAIRMAN WAGNER: Yes.

14 I think we'll hold off making a motion on
15 this until we have our next public hearing.

16 MR. KROL: It's a separate case to be
17 considered. It should be looked at as separate.

18 COMMISSIONER BAKSAY: Yes.

19 VICE-CHAIRMAN WAGNER: All right.

20 MR. KROL: So we would vote on this
21 particular item. Although, the second case or the
22 third case is for the particular applicant, it's
23 still considered a separate vote.

24 VICE-CHAIRMAN WAGNER: Okay.

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1 Now that the public hearing is closed, is
2 there any additional comment or question from any
3 of the commissioners?

4 (No response.)

5 VICE-CHAIRMAN WAGNER: Hearing none, I
6 would ask for a motion based on the submitted
7 petition and testimony presented. I would move
8 that the Plan Commission recommend to the Village
9 Board approval of the proposed amendment to a
10 previously approved special use, Ordinance 89-0-52,
11 at the village -- at Willowbrook Plaza 2, formerly
12 known as Wingren Plaza, for an exterior facade
13 change at 900 75th Street with a condition that the
14 south elevation of the store front and
15 drive-through shall occur generally in conformance
16 with the exterior facade provided by BR Design &
17 Architectural dated April 19, 2023.

18 I would like someone to make that motion.

19 COMMISSIONER WALEC: I'll make the
20 motion.

21 COMMISSIONER KACZMAREK: I'll second.

22 VICE-CHAIRMAN WAGNER: Roll call.

23 MR. KROL: Commissioner Baksay?

24 COMMISSIONER BAKSAY: No.

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1 MR. KROL: Commissioner Kanaverskis?
2 COMMISSIONER KANAVERSKIS: Yes.
3 MR. KROL: Commissioner Kaczmarek?
4 COMMISSIONER KACZMAREK: Yes.
5 MR. KROL: Commissioner Kaucky?
6 COMMISSIONER KAUCKY: Yes.
7 MR. KROL: Commissioner Walec?
8 COMMISSIONER WALEC: Yes.
9 MR. KROL: Vice-Chairman Wagner?
10 VICE-CHAIRMAN WAGNER: Yes.

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1 | STATE OF ILLINOIS)
2 |) SS:
3 | COUNTY OF KANE)

3
4 DONNA L. WATWOOD, being a Certified Shorthand
5 Reporter, on oath says that she is a court reporter
6 doing business in the county of Kane and State of
7 Illinois, that she reported in shorthand the
8 proceedings given at the taking of said cause and
9 that the foregoing is a true and correct transcript
10 of her shorthand notes so taken as aforesaid; and
11 contains all of the proceedings given at said
12 cause.

DONNA L. WATWOOD, C.S.R.
License No. 084-003686
Kane County, Illinois



Transcript of Proceedings

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24-03

March 6, 2024

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VILLAGE OF WILLOWBROOK
PLAN & ZONING
HEARING CASE NUMBER 24-03

REPORT OF PROCEEDINGS at the
meeting held before the Plan & Zoning Commission of
Willowbrook on the 6th day of March, 2024, at the
hour of 7:00 p.m., as reported by Donna Watwood,
Certified Shorthand Reporter in and for the County
of Kane and State of Illinois.

Reported by: Donna Watwood, CSR

License No.: 0084-003686

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1 APPEARANCES:

2
3 John Wagner - Vice-Chairman

4 Catherine Kaczmarek - Member

5 Leonard Kaucky - Member

6 Maciej Walec - Member

7 Ronald Kanaverskis - Member

8 Zoltan Baksay - Member.

9
10 Michael Krol - Director of Community
11 Development

12
13 * * * * *

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1 VICE-CHAIRMAN WAGNER: We have a third
2 public hearing this evening, 24-03, which is a
3 petition requesting a sign variance for Mint
4 Cannabis located at 900 75th Street.

5 The petitioner is Willowbrook Plaza, LLC,
6 c/o Property Solutions Group, LLC, at 900 South
7 Frontage Road, Suite 100, Willowbrook, Illinois,
8 605 -- it should be correct to be -- 27.

9 Consideration and recommendation for a
10 proposed sign variance to 9-6-04(A)(4) to increase
11 the secondary wall sign maximum size from
12 50 percent to 100 percent of the primary wall sign
13 allowing a secondary wall sign to match the
14 dimensions of the primary wall sign proposed facing
15 Kingery Highway for 900 75th Street.

16 This was published, again, I believe
17 on --

18 COMMISSIONER BAKSAY: February --

19 VICE-CHAIRMAN WAGNER: -- February 20th
20 in the same publication. Also, a sign was placed
21 on the property advising us of this Plan Commission
22 Hearing this evening.

23 And we need to -- Can we get a staff
24 review on this, please?

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1 MR. KROL: Yes, sir. Thank you.

2 This particular sign variance is for
3 specifically 900 75th Street. Again, they are part
4 of the Wingren Plaza, formerly known as Willowbrook
5 Plaza 2.

6 You can see on your screen it is the
7 highlighted unit at the westernmost part of the
8 shopping center. The Mint Cannabis store owner had
9 approached the Village about wall signage.

10 Per code you're allowed 10 percent of the
11 exterior facade for a sign where a wall sign would
12 go. With that said, the maximum allowable sign for
13 the entry for the primary sign is 54.11 feet. And
14 with that said, the secondary wall sign per code is
15 you're only allowed up to 50 percent per
16 Section 9-6-05(A) (4), which would only allow 27.05
17 square feet.

18 I will let the applicant speak on the
19 hardships, but the village staff doesn't really
20 have much of a concern for the signage to put the
21 same sign facing Kingery as the front of the store.

22 Again, Omar would you want to go into the
23 hardships and the request.

24 MR. FAKHOURI: Yes.

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1 VICE-CHAIRMAN WAGNER: Could you be sworn
2 again since this is a separate public hearing.

3 (Whereupon, Mr. Fakhouri was
4 duly sworn.)

5 MR. FAKHOURI: Again, thank you for your
6 consideration. Yeah, just to re-emphasize, we are
7 permitted two signs. So the primary sign in the
8 front of the building, and we are allowed a second
9 sign. We're just looking for our secondary sign to
10 be to the same size as our primary sign.

11 And speaking regarding our hardship. So
12 due to the unique category of our industry, it
13 being cannabis, there are certain federal and state
14 restrictions in terms of how we can market
15 ourselves. So, for instance, social media, you
16 know, our social media platform gets shut down
17 regularly. So certain social media gets shut down
18 a lot. We can't do TV, radio. So there are other
19 state restrictions that really hinder our ways to
20 connect with customers due to that.

21 So our branding, our sign, is really
22 critical to being able to letting people know that
23 we're there and reflect our brand. And that's why,
24 you know, we've kind of approached the Village for

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1 the secondary sign. Primarily because, you know,
2 potential customers coming south on Route 83 don't
3 have visibility of the primary sign. And that, you
4 know, being on 50 percent of that sign is really
5 small. It's not really visible. I think we're
6 like over a hundred feet off the street. So that's
7 kind of, you know, the reason and the hardship that
8 we face.

9 I guess the last thing I'll mention, and
10 it's related to kind of the profitability of our
11 company and our industry. So we have what we call
12 a 280E tax code. So as a business in our industry,
13 we are limited to our business deductions. So we
14 can only deduct our cost of goods sold. So, our,
15 you know, staff, labor, those are not deductions we
16 can take. So being able to maximize our sales and
17 generate revenue is really critical to making it a
18 sustainable business.

19 So I'm happy to answer any questions.

20 COMMISSIONER KAUCKY: Excuse me. That
21 sign, is it like a neon sign or is there like light
22 shining in front of it to illuminate it?

23 MR. KROL: The screen in front of you is
24 what the sign will look like. It is an illuminated

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1 sign. So that would be lit up. It isn't a flash,
2 scroll, it's not a reader board. It's just your
3 typical wall sign.

4 VICE-CHAIRMAN WAGNER: Is it backlit?

5 MR. KROL: It is backlit. It's
6 illuminated, yes. So it's backlit.

7 VICE-CHAIRMAN WAGNER: The only other
8 question I had is does Willowbrook Plaza, or the
9 previously known as Wingren Plaza, does it have a
10 monument sign in the front; and if so, is your name
11 also on that?

12 MR. FAKHOURI: So our name is currently
13 not on that. I think they do have a monument sign
14 where we would place a small placard. So it's
15 limited visibility. And, yeah, there is a monument
16 sign that we can place a small brand there.

17 VICE-CHAIRMAN WAGNER: Would that be
18 compliant with our zoning code on that?

19 MR. KROL: Yes. That would also require
20 a permit. He could apply to have the monument
21 sign -- a panel sign is what we refer to it. It's
22 about six inches in height and maybe two to
23 three feet wide. It just depends on the size of
24 the monument sign.

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1 But, yeah, in addition to the variance,
2 if granted, he could also apply for panel signs.

3 VICE-CHAIRMAN WAGNER: But that hasn't
4 been applied for; is that correct?

5 MR. KROL: No. That would be permitted.

6 VICE-CHAIRMAN WAGNER: Thank you.

7 Any other questions or comments from the
8 Plan Commission?

9 COMMISSIONER KACZMAREK: I have one,
10 Commissioner Kaczmarek. So can you remind me if
11 any other tenants in that area have signs that are
12 illuminated at night or are they just --

13 MR. KROL: I think most of them are.
14 This would be the only tenant with two wall signs.

15 COMMISSIONER KACZMAREK: Okay.

16 MR. GOULD: Could I answer that?

17 MR. KROL: Yes, of course. He should be
18 sworn in.

19 VICE-CHAIRMAN WAGNER: Yes, please.

20 (Whereupon, Brian Gould was duly
21 sworn.)

22 MR. GOULD: Brian Gould again with BR
23 Design. Excuse me.

24 One thing I just wanted to add, you know,

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1 because that was a good question that you just
2 brought up. So I just wanted to jump in real
3 quick. If you look at this right now, you're
4 noticing it's one sign across, you know, a hundred
5 and some feet of facade.

6 You asked if there's other people that
7 are nearby or tenants that have multiple
8 illuminated signs. If you go less than an eighth
9 of a mile to the north, one location that has
10 probably over ten illuminated signs would be
11 Portillo's. So they have multiple signs. They
12 actually have two very large signs at their front
13 entrance, a very large sign facing 92nd Court, and
14 then multiple illuminated signs facing Route 83.

15 So, you know, from a standpoint
16 architecturally and visually, you know, we -- it's
17 very small in the scale of the facade that we're --
18 that we're asking for.

19 And, again, Omar brought up the points of
20 signage is key. The other commissioner brought up
21 the -- Commissioner Wagner brought up the
22 possibility of that monument sign, but it is a
23 small monument sign. It's not a very large
24 monument sign. It's more of a directional sign

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1 once you're into the plaza so. That is a signage
2 piece we didn't apply for. It really doesn't help
3 too much as where that's located.

4 We're trying to, obviously, create
5 signage for the maximum amount of people as they're
6 going down Route 83. And as we all know too, it's
7 a busy intersection. So, we want to make sure that
8 we create some signage that everyone can see
9 without causing any safety issues where it's a
10 small sign or they're trying to find out where to
11 turn which direction. So being able to see that,
12 especially in that center, as you know guys know,
13 it is a lot lower than the street level. So we're
14 trying to kind of compensate a little bit on that
15 regard. That's all.

16 MR. KROL: One thing, if I could,
17 Vice-Chairman Wagner. I want to correct myself. I
18 said that there was no other tenant in this
19 shopping center that have multiple wall signs.
20 Club Champion does, and they're the same size.
21 They have two main wall signs.

22 VICE-CHAIRMAN WAGNER: I have an
23 additional question, and it's part of your packet
24 for the previous public hearing is a -- the

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1 question I have is the front facade of the old
2 drive-up, is that being enclosed?

3 MR. GOULD: No, sir, absolutely not. No.

4 VICE-CHAIRMAN WAGNER: Maybe I'm looking
5 at this incorrectly. So the drive-up would appear
6 to be the same as it does today?

7 MR. GOULD: Correct. Yes, with the
8 change of color.

9 VICE-CHAIRMAN WAGNER: Okay.

10 MR. GOULD: Yes.

11 VICE-CHAIRMAN WAGNER: Any other
12 questions or comments? Commissioner Baksay?

13 COMMISSIONER BAKSAY: So I appreciate the
14 facts of, you know, there's another store front in
15 that Willowbrook Plaza 2 or Wingren Plaza that has
16 signs on both sides. They're the same size. Those
17 were, obviously, there prior the UDO changes as
18 were the signs at Portillo's.

19 And one of the questions I have for you,
20 Omar, is is there any -- I'll call it objective
21 evidence.

22 -- that you would be able to be provided
23 to the Plan Commission that Mint Cannabis would not
24 be able to provide a reasonable return without this

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1 second sign variance?

2 You know, I heard the -- you know, the
3 hardships and some of the challenges, obviously,
4 you know, that go into you know the cannabis
5 industry. You know, what -- you know, I think one
6 of the qualifiers for us to approve variances to
7 the UDO is, you know, there would not be a
8 reasonable return without such a variance.

9 MR. FAKHOURI: Yes, it's a good question.

10 I guess what I'll say is this is our
11 first store in the State of Illinois. So I can't
12 speak specifically how the store will perform. I
13 think once which get this open, we'll get a feel
14 for the others. But every time we identify a
15 location, we really focus on the visibility,
16 traffic, because we understand how limited we are
17 to being able to market.

18 You know, I will say this. If you look
19 at a lot of the publicly-traded companies in our
20 industry, a lot of them are losing money. Not
21 necessarily because of signage explicitly, but it
22 is a very, very competitive -- I don't want to say
23 cutthroat, but it is a hard industry to succeed in.
24 So you have to maximize your opportunities to get

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1 to the customer because of those federal
2 restrictions.

3 Now, has there been a study done that I
4 could reference, no. But speaking, you know, from
5 my experience in the industry for six years, the
6 tax implications and our ability to get to the
7 customer are number one on our mind outside of
8 safety and, you know, being a good neighbor to the
9 community. That's essentially, you know, a key to
10 our success so far and how we're able to survive.

11 COMMISSIONER BAKSAY: Thank you.

12 VICE-CHAIRMAN WAGNER: I think one of the
13 things I thought about this was similar was why do
14 we need so much signage. And I would think that
15 the Route 83 signage is almost more important than
16 the frontage of the building just because you're
17 visible then from 75th Street at that intersection.
18 You're also visible on 83 from both directions.

19 And I know the dispensary in -- I believe
20 it's Westmont on Ogden Avenue.

21 -- is a very crowded little parking lot.
22 And thankfully we have a larger parking lot here.
23 But I think people need to be able to identify
24 where something is. And I think it's important.

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1 We've granted many signs in the village.
2 And I understand it may not meet the UDO today, but
3 I think it's in similar fashion.

4 Any other comments or questions from the
5 Commission?

6 (No response.)

7 VICE-CHAIRMAN WAGNER: Hearing none, I
8 would like to hear a motion to close the public
9 hearing for 24-03.

10 COMMISSIONER WALEC: I'll make that
11 motion.

12 COMMISSIONER BAKSAY: Second.

13 VICE-CHAIRMAN WAGNER: Roll call, please.

14 MR. KROL: Commissioner Baksay?

15 COMMISSIONER BAKSAY: Yes.

16 MR. KROL: Commissioner Kanaverskis?

17 COMMISSIONER KANAVERSKIS: Yes.

18 MR. KROL: Commissioner Kaczmarek?

19 COMMISSIONER KACZMAREK: Yes.

20 MR. KROL: Commissioner Kaucky?

21 COMMISSIONER KAUCKY: Yes.

22 MR. KROL: Commissioner Walec?

23 COMMISSIONER WALEC: Yes.

24 MR. KROL: And Vice-Chairman Wagner?

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1 VICE-CHAIRMAN WAGNER: Yes.

2 Are there any questions or comments from
3 the public?

4 (No response.)

5 VICE-CHAIRMAN WAGNER: Hearing none, I
6 would like to hear a motion based on the submitted
7 petition and testimony presented, I would move that
8 the Plan Commission recommend to the Village Board
9 approval of the proposed sign variance to
10 Section 9-6-04(A)(4) to increase the secondary wall
11 sign maximum size from 50 percent to 100 percent of
12 the primary wall sign allowing a secondary wall
13 sign to match the dimensions of the primary wall
14 sign as proposed facing Kingery Highway for
15 900 75th Street with the condition that both wall
16 signs conform with the sign plan provided by Davis
17 Signs dated January 31, 2024.

18 COMMISSIONER WALEC: I'll make that
19 motion.

20 COMMISSIONER KAUCKY: Second.

21 VICE-CHAIRMAN WAGNER: Roll call, please.

22 MR. KROL: Commissioner Baksay?

23 COMMISSIONER BAKSAY: No.

24 MR. KROL: Commissioner Kanaverskis?

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1 COMMISSIONER KANAVERSKIS: Yes.

2 MR. KROL: Commissioner Kaczmarek?

3 COMMISSIONER KACZMAREK: Yes.

4 MR. KROL: Commissioner Kaucky?

5 COMMISSIONER KAUCKY: Yes.

6 MR. KROL: Commissioner Walec?

7 COMMISSIONER WALEC: Yes.

8 MR. KROL: And Vice-Chairman Wagner?

9 VICE-CHAIRMAN WAGNER: Yes.

10 Let's see here. Is there any visitor's
11 business? Does anyone in the public have anything
12 to bring up?

13 (No response.)

14 VICE-CHAIRMAN WAGNER: Commissioners, any
15 questions?

16 (No response.)

17 VICE-CHAIRMAN WAGNER: Communications?

18 MR. KROL: The only thing I have is that
19 all the cases presented tonight will be on the
20 March 25th Village Board agenda. March 25th we'll
21 go to a vote.

22 The other communication is April 3rd at
23 our next scheduled hearing we'll be hearing
24 discussion from our parks and rec director

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1 regarding Borse Park. He will make a similar
2 presentation about the upcoming project answering
3 questions and go over all the changes at that time.

4 VICE-CHAIRMAN WAGNER: Any questions or
5 comments from the Commission?

6 COMMISSIONER KAUCKY: Is there any
7 activity regarding the subject of the Route 83, the
8 former Shell Gas Station?

9 MR. KROL: Not at this time, no.

10 COMMISSIONER KAUCKY: How about Bed Bath
11 & Beyond?

12 MR. KROL: Not at this time, no.

13 VICE-CHAIRMAN WAGNER: Then I would like
14 to hear a motion for adjournment. I'll make that
15 motion.

16 COMMISSIONER WALEC: Second.

17 COMMISSIONER BAKSAY: Second.

18 VICE-CHAIRMAN WAGNER: Roll call, please.

19 MR. KROL: Commissioner Baksay?

20 COMMISSIONER BAKSAY: Yes.

21 MR. KROL: Commissioner Kanaverskis?

22 COMMISSIONER KANAVERSKIS: Yes.

23 MR. KROL: Commissioner Kaczmarek?

24 COMMISSIONER KACZMAREK: Yes.

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1 MR. KROL: Commissioner Kaucky?
2 COMMISSIONER KAUCKY: Yes.
3 MR. KROL: Commissioner Walec?
4 COMMISSIONER WALEC: Yes.
5 MR. KROL: And Vice-Chairman Wagner?
6 VICE-CHAIRMAN WAGNER: Yes.
7 Thank you all for coming.

* * * * *

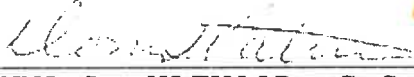
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March 6, 2024

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1 STATE OF ILLINOIS)
2) SS:
3 COUNTY OF KANE)

4 DONNA L. WATWOOD, being a Certified Shorthand
5 Reporter, on oath says that she is a court reporter
6 doing business in the county of Kane and State of
7 Illinois, that she reported in shorthand the
8 proceedings given at the taking of said cause and
9 that the foregoing is a true and correct transcript
10 of her shorthand notes so taken as aforesaid; and
11 contains all of the proceedings given at said
12 cause.

13
14 
15 DONNA L. WATWOOD, C.S.R.
16 License No. 084-003686
17 Kane County, Illinois
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Village of Willowbrook

Staff Report to the Plan Commission

Public Hearing Date:	April 3, 2024		
Prepared By:	Michael Krol, Director of Community Development		
Case Title:	Discussion Case No. PC 24-04: Upgrades to Tony & Florance Borse Memorial Community Park proposal and feedback.		
Petitioner:	Village of Willowbrook, Parks and Recreation Department, Dustin Kleefisch.		
Action Requested by	Discussion and feedback regarding the Boris Park Project.		
Location:	208 Midway Drive, Willowbrook IL 60527		
PINs:	09-26-301-020 (208 Midway Drive) 09-26-301-021 09-26-301-022 09-26-301-032 09-26-301-015 09-26-301-016		
Existing Zoning:	I – Institutional District		
Proposed Zoning:	I – Institutional District		
Property Size:	17.17 acres		
Surrounding Land Use:	Use	Zoning	
North	Hinsdale South High School	Darien	
East	Single Family Residential	R-2	
West	Single Family Residential	R-1	
South	Midway Park	I	

Necessary Action by Plan Commission:

Discuss the proposed upgrades to Tony & Florance Borse Memorial Community Park and provide Village staff with feedback and recommendations.



History & Background

Site Description

Tony and Florence Borse Memorial Community Park opened in 1986 and is located on 17.17 acres. Features currently include a .05-acre pond, three softball diamonds, a football field, three volleyball courts, two basketball courts, playground equipment, two shelters, grills, toilet facilities, drinking fountains, and picnic tables. Most commonly referred to as Borse Park, it is the Village's largest park.

In early 2022 the Village completed a community-wide survey regarding the condition of all Village parks and programs offered by the Village. While the results from the survey showed that most residents who submitted their opinion held the department in high regard, there was a lack of amenities or programs available. After the survey, a Master Plan was completed, and staff began the process of evaluating where some of these amenities and components could be added to parks within the community. Borse Park was identified as an ideal location for some upgrades.

Phase 1 of the Borse park project has been completed by upgrading all storm sewers in the park and installing a 75-parking space permeable paver parking lot off Elanor Pl. and 75th Street. The Parks and Recreation Department held a Phase 2 open house for Borse Park on October 26, 2023, to gather feedback from the residents within the area.

Exhibit 1: Arial View of the Subject Property





Development Proposal

The Borse Park Project will be completed in three total phases. The focus of this report is on Phase 2. The Phase 2 proposal focuses on significant upgrades to existing features and highlights new features for the community to enjoy. The upgrades are highlighted by the installation of a new permeable paver parking off Midway Drive for 70-75 cars. The existing beach volleyball courts will be removed and replaced with pickleball courts. A new baseball/softball practice area will replace the outdated playground equipment. The existing detention pond will be significantly improved for storm water runoff from the creek as well as support a fish and amphibious natural habitat. New walking paths, benches, picnic tables, cantilever shade structures, and a variety of landscaping areas with a mixture of evergreen trees, shade trees, prairie plantings, and green space will be added to the park. Phase 2 of the Borse park project is scheduled to begin in fall 2024.

In the Spring of 2025 staff will come back before the Plan Commission to discuss Phase 3 which will highlight the new playground equipment, splash pad pavilion, pathway upgrades and softball field restoration.

Parking Lot Highlights:

The current parking lot off Midway Drive has space for 86 cars, however, it does not meet the zoning code requirement of a forty-foot (40') side yard setback. To comply with the UDO, the parking lot will be redesigned to meet the side yard setback and the fifteen feet (15') front yard setback. The proposed parking lot will have the same permeable pavers as Midway Park and the Eleanor Pl. parking lot and is designed for 70-75 cars. The parking spaces will meet the Village minimum parking stall specifications and dimensions, including the required ADA parking spaces.

Pickleball Courts:

The northwest corner of the park will be the location of eight (8) 20' x 40' new pickleball courts. The pickleball courts will be set up as two (2) sets of four (4) courts separated by concrete paving with benches, ADA complaint picnic tables, and cantilever shade structures. The pickleball courts will be surrounded by an eight foot (8') chain-link fence. The north and west sides of the chain-link fence will include sound panel/curtains specifically designed as a noise barrier and sound absorber for outdoor pickleball courts. A sound study was performed by Acoustic Associates for the planned pickleball courts at Borse Park. In conclusion, it was determined that there would be enough distance and vegetation to attenuate the noise to an acceptable level in the proposed location at the northwest corner of Borse Park.

Practice Area:

An approximately 10,600 square foot new softball and baseball practice area will be located next to the three softball diamonds. The existing playground area will be demolished and relocated under Phase 3 of the park project. The artificial turf area will include two (2) 15' x 70' batting cages with net protection, two (2) pitcher/catcher bullpen areas with net protection, and 60' x 120' open turf area for practice. Added features around the practice area include new concrete walkways, bench seating, ADA compliant picnic tables, and cantilever shade structures.

Detention Area/Storm Catch Basin:

The current detention pond located between the tennis courts and Eleanor Pl. is approximately .05 acres in diameter, about 155 foot wide, and only 12 inches deep. The new pond will be regraded to a 10-foot maximum depth, then rise to 5 feet, then to 3 feet. The pond will hold 12" of water constantly to increase the eco system and be a wildlife fish and amphibious habitat. The pond is located within a 10-



year flood plain and is designed to catch creek stormwater spill over as the pond begins about 20 feet from the creek.

Hard Scape and Landscaping:

Similar to the Midway Park proposal, solar lighting will be added around the parking lot and the new walking paths throughout the park but will be added under Phase 3. Native tree planting along with landscape beautification throughout the park will be installed (Estimated 46 trees to be installed – throughout the next two phases). The east and west property boundary will remain naturally screened and a variety of trees will be planted along the property boundaries to provide an extra buffer between the park and surrounding residential properties.

Staff Analysis

Appropriateness of Use

The property was rezoned to the I – Institutional District, during the Unified Development Ordinance (UDO) zoning code update, approved in January 2023. The I District allows for the development of parks and recreational areas as permitted use, therefore making the park use legally conforming. The zoning code is silent on the required number of parking spaces for a park; however, it is the staff's opinion that the new parking lot off of Eleanor Pl and the 70-75 parking spaces off Midway Drive is adequate.

The parking lot setbacks, drive aisles, parking stalls, ADA spaces, all comply with the Unified Development Ordinance (UDO) and will be verified during the permitting and inspection process. No proposed structure is located closer than five feet (5') from the side property lines or within ten feet (10') from the rear property lines. No rezoning or zoning actions are required for the proposed Borse Park upgrade.

Staff Recommendation

Community Development Department staff has no objection to the proposed Borse Park Project. The use of a Village Park is not changing, only being upgraded to comply with zoning and ADA regulations. There are no zoning variations required as the parking lot, accessory structures, equipment locations, lighting, and landscaping meet the minimum requirements outlined in the Unified Development Ordinance (UDO).

Village staff has requested the Plan Commission provide comments and feedback pertaining to the Borse Park Project.

Documents Attached:

- Attachment 1: Willowbrook Pickleball Court Sound Study (8 pages)
- Attachment 2: Sound Curtain Noise Barrier Specification Page
- Attachment 3: Beacon Athletics Batting Cage Specification Page
- Attachment 4: Skyways Cantilever Shade Structure
- Attachment 5: Sheet 1.30 Overall Dimension Plan (11x17)
- Attachment 6: Sheet 1.31 Dimension Pickleball Plan (11x17)
- Attachment 7: Sheet 1.51 Landscape Pickleball Plan (11x17)
- Attachment 8: Sheet 1.32 Dimension Practice Area Plan (11x17)
- Attachment 9: Sheet 1.52 Landscape Practice Area Plan (11x17)
- Attachment 10: Sheet 1.33 Dimension Detention Pond Plan (11x17)
- Attachment 11: Sheet 1.43 Grading Plan Detention Pond Plan (11x17)

Acoustic Associates, Ltd.



Specialists in Hearing and Acoustics

867 Scottsdale Drive, Pingree Grove, IL 60140
Office: 847-359-1068 • Fax: 847-359-1207
Website: www.AcousticAssociates.com

Tom Thunder, AuD, FAAA, INCE – Principal
Greg Andorka, BSEE, MCS – Senior Field Engineer
Steve Thunder, BSE – Acoustical Engineer

Willowbrook Pickleball at Midway and Borse Memorial Parks

May 9, 2023

Prepared for:
Dustin Kleefish, Director of Parks and Recreation
Village of Willowbrook, Illinois

Acoustic Associates was asked to study the noise radiated from the pickleball courts planned for Midway Park. There are homes near this park and the Village would like to evaluate the impact of locating these courts in this park.

Because we identified a significant impact at Midway Park, we turned our attention to locating these courts at Borse Memorial Park in place of the proposed amphitheater. This park already hosts baseball fields, volleyball courts, basketball courts, and a playground.

Ambient Noise Assessment

The impact of a noise source depends mostly on its audibility, that is, the level above the ambient noise. To assess the ambient noise, we set up professional-grade audio recorders at the locations shown in **FIGURE 1**. Our audio recording lasted over two hours. Our analysis of these recordings yielded a **time-averaged level of 53 dBA at Midway Park (Loc 1) and 53 dBA at Borse Park (Loc 2), both in the 7:00 PM hour**. The results of these recordings are shown below in **FIGURE 2 (Midway Park)** and **FIGURE 3 (Borse Park)**.



Figure 1 – Aerial view of the two parks showing the ambient noise recording stations.

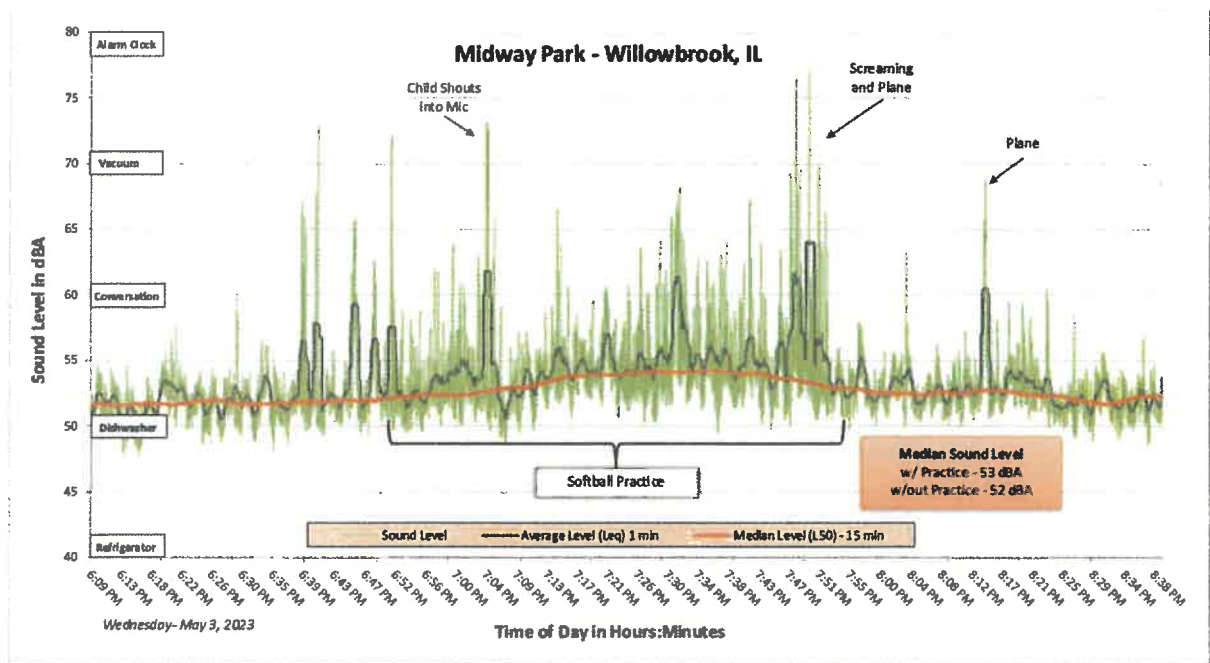


Figure 2 – Ambient Recording at Midway Park.

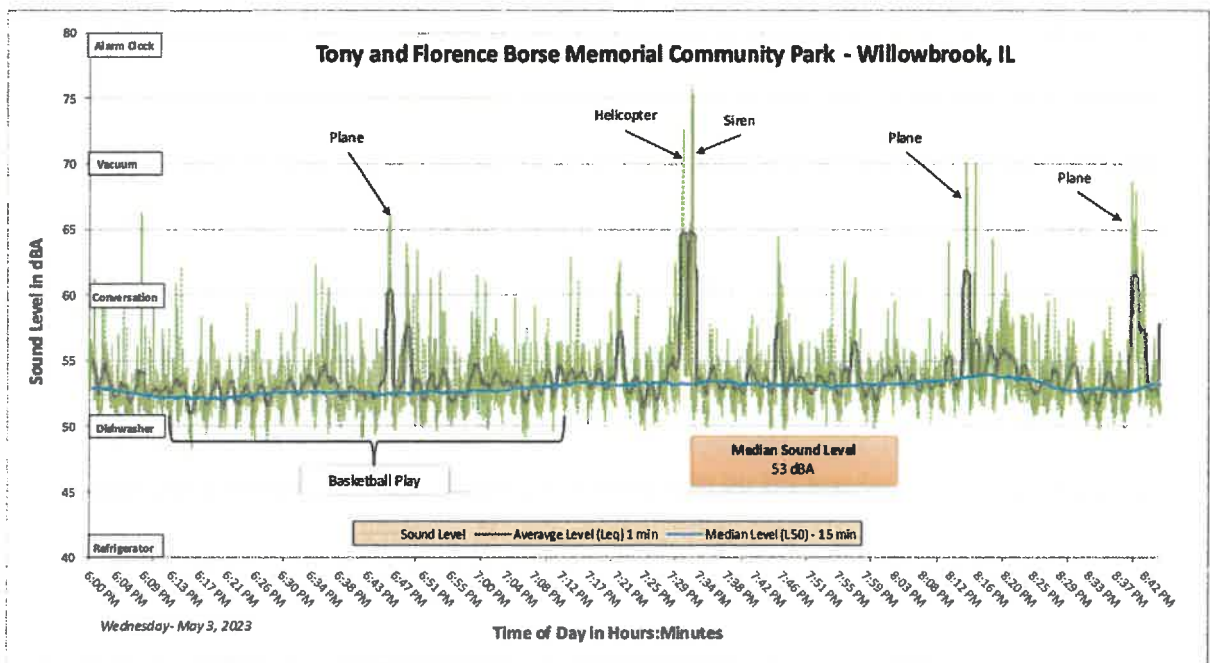


Figure 3 – Ambient Recording at Tony and Florence Borse Memorial Community Park

Both recordings included typical park sounds in the far field. At Brose Park, kids were playing basketball; farther away kids played at the playground; and all the softball fields were full of practices with one game starting later in the recording. At Midway Park, there was a softball practice where a child screamed into the mic, but there was enough averaging time that the event didn't influence the overall levels. The predominant noise at both locations was traffic noise and to a lesser extent airplanes flying overhead.

Because pickleball would be played at other hours than our measurement timeframe and because the ambient noise varies across the day, we estimated the hourly ambient noise levels at other hours using IDOT traffic data. This data was used because the ambient noise in most Chicago suburbs is dominated by the traffic on major roads in the area. Based on this analysis, we produced the charts shown in **FIGURE 8**.

Source Noise Assessment

To evaluate the noise impact on the community, we used sound-level data we obtained at the pickleball courts at Willow Park in Northfield, IL, in 2019. This study revealed a level of 55 dBA measured at 70 feet from either side of the courts.

The chief complaint of noise from pickleball play is the impact noise from a hard paddle hitting a hard plastic ball. According to ANSI (S12.9-2005 Part 4), because these impacts are classified as "regular impulsive sound" the noise measurements should include a **5 dB adjustment** to account for the adverse character of this type of noise. Accordingly, **our modeling used an "effective sound level" of $55 + 5 = 60$ dBA at 70 feet.**

Reference Noise Standards

For reference, the Village of Willowbrook has a code under Section 9-5-10, "Performance Standards," that limits the noise level at each of nine octave-band frequencies from 32 Hz to 8,000 Hz, nearly the full range of hearing.

For simplicity and monitoring purposes, when no particular frequency dominates the sound (like the humming of a blower), these limits can be logarithmically summed to establish a single, overall noise level limit. When this is done, the limit for noise radiated from any use or activity is not to exceed an **overall level of 55 dB(A)** as measured at or beyond the nearest residential district boundary. For reference, this level is a bit lower than the level of casual conversation which is 60 dBA.

Sound Modeling for Midway Park

To predict the sound levels radiated from the pickleball courts, we used an Internationally accepted software program called SoundPlan™. This program calculates the sound level at millions of distant points based on the source sound levels, the topography of the site, reflections from buildings, reflections from parking lots/courts, absorption by the atmosphere and vegetation, and shielding from berms and structures. Based on these calculations, the program then generates color sound-level contours surrounding the site. The program

calculates the time-average levels based on a pair of players on each side of the net in eight (8) courts (for a total of 32 total players). As indicated above, we added 5 dB in our model to account for the adverse effect of the impact noise.

FIGURE 4 shows the projected contours for when the pickleball courts are in full use at Midway Park. For illustration, we set the green color on the legend to 52 dB(A), the estimated ambient noise level in the 8:00 PM hour. Each color change on the contours represents a 3 dB change. We choose a 3 dB interval because it is the “just noticeable” change to the human ear. We also chose three reference points (shown by the blue dots) to mark the property of nearby homeowners. As can be seen in the contours, the pickleball sound levels at

Table 1 – Perceptual Difference as a Function of the Decibel Increase

Decibel Increase	Perceptual Difference	Impact
1-2 dB	Negligible	None
3-4 dB	Just Noticeable	Slight
5-6 dB	Clearly Noticeable	Mild
7-8 dB	Strongly Noticeable	Moderate
9-10 dB	Doubling in Loudness	Substantial

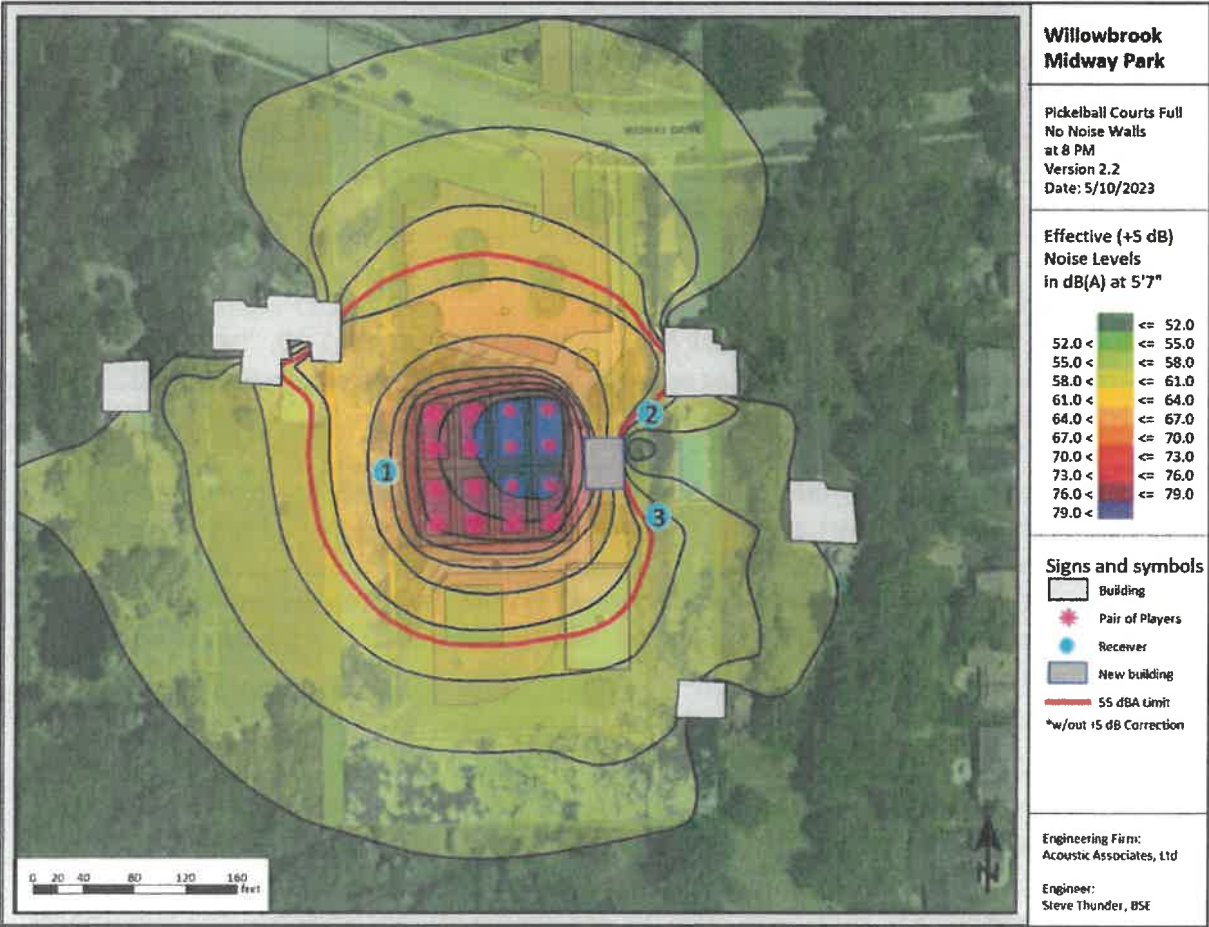


Figure 4 – Sound Level Contours Around the Planned Pickleball Courts at Midway Park.

these residential positions are well above the ambient noise and, therefore, would present a **substantial impact** on the residents.

Source Modeling for Borse Memorial Park

Given that pickleball courts in Midway Park would present a substantial impact on the residents, the director of Parks and Recreation asked us to relocate the courts to where it had contemplated constructing an amphitheater with and without noise mitigation. This was modeled as shown in **FIGURE 5 (without noise walls)** and **FIGURE 6 (with 8 ft tall noise walls)** and shows the projected contours for when the pickleball courts are in full use. For illustration, we set the green color on the legend to 52 dB(A), the estimated ambient noise level in the 8:00 PM hour.

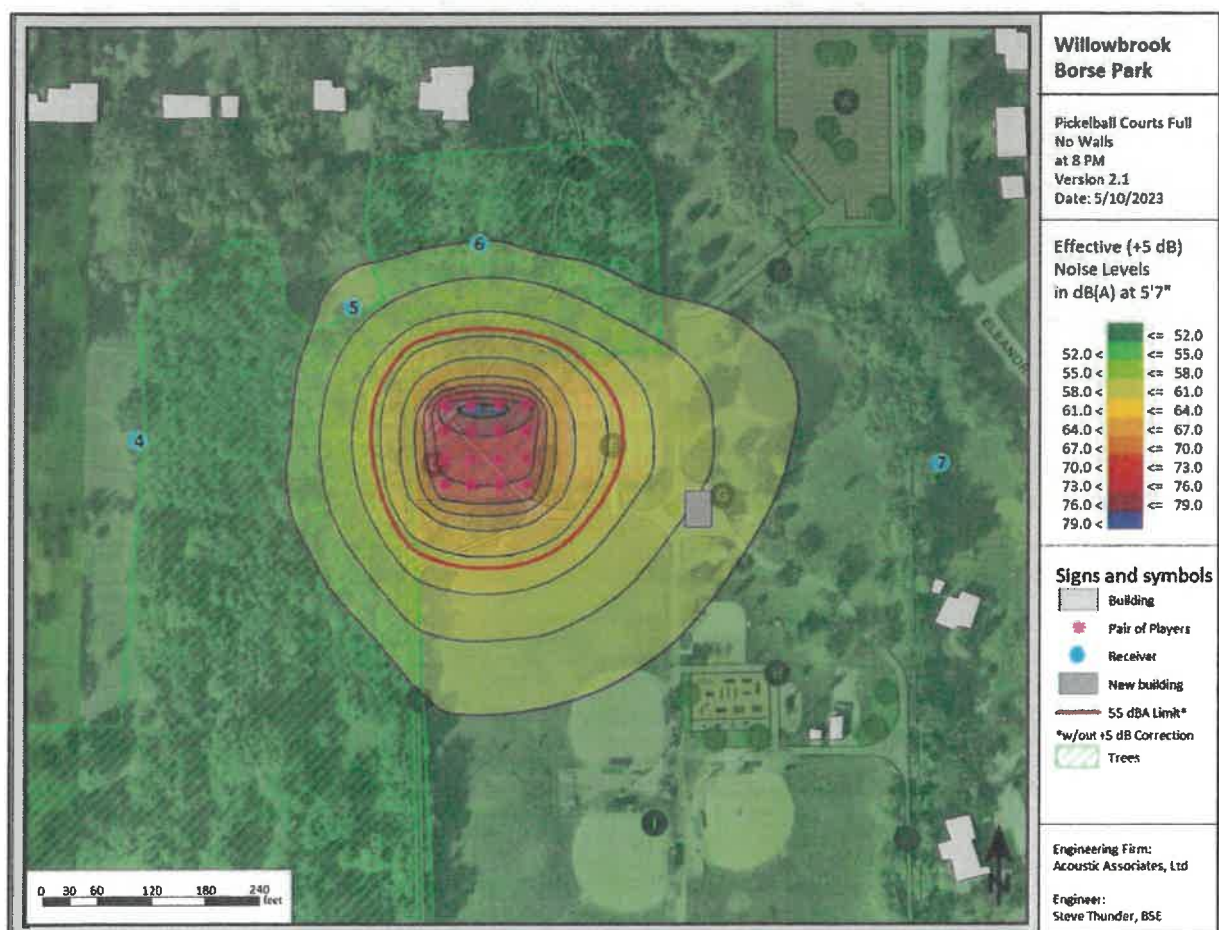


Figure 5 – Sound Level Contours Around Pickleball Courts at Borse Memorial Park.

As can be seen in each figure, four nearby receiver property locations have been marked by blue dots labeled 4-7. These were chosen based on where we believe people may use the property and thus could be impacted by the noise. Figure 5 shows that noise from full pickleball courts would exceed the ambient at locations 5 and 6 in the 8 PM hour, but only by up to 2 dB,

which would be considered no impact. However, the 55 dBA limit (per Willowbrook code) does extend past the property line to the west of the pickleball courts.

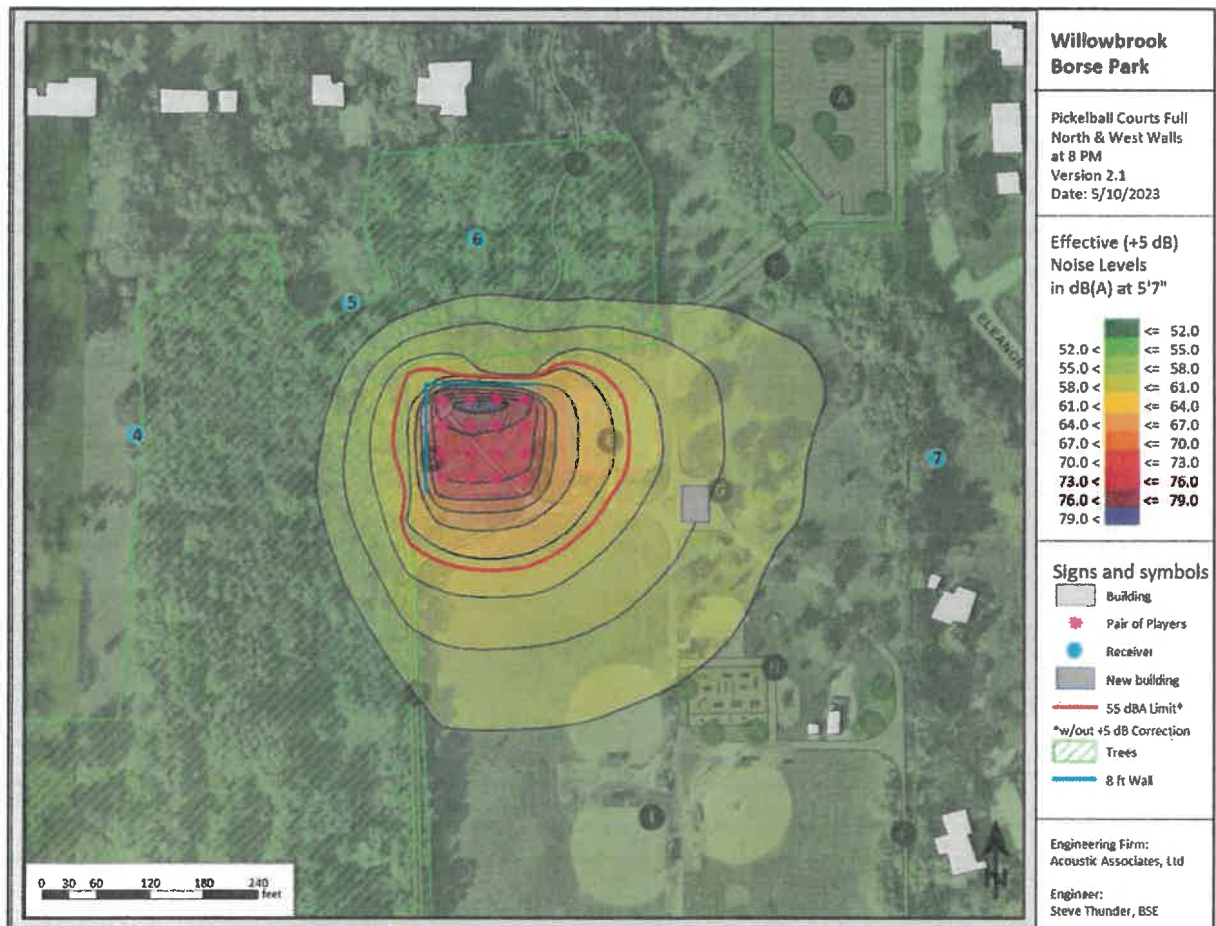


Figure 6 – Sound Level Contours Around Pickleball Courts with an 8 ft Noise Wall at Borse Memorial Park.

We also modeled the sound levels with mitigation, i.e., the addition of a “noise wall”. There are several different ways that an equivalent noise wall can be constructed, but the important components to achieve the full effects of our model are:

- 1) It must be at least 8 feet tall.
- 2) It must extend to the ground.
- 3) It must not have any openings.
- 4) It must achieve a sound transmission loss of at least 15 dB (going through it).
- 5) It must be the length of the court area.
- 6) It must be in the same position we have shown.

FIGURE 6 shows the projected contours when the pickleball courts are in full use but with the addition of a “sound wall” that meets the parameters above. All other elements are the same as in Figure 5. With the inclusion of a noise wall, the noise from pickleball play will be reduced

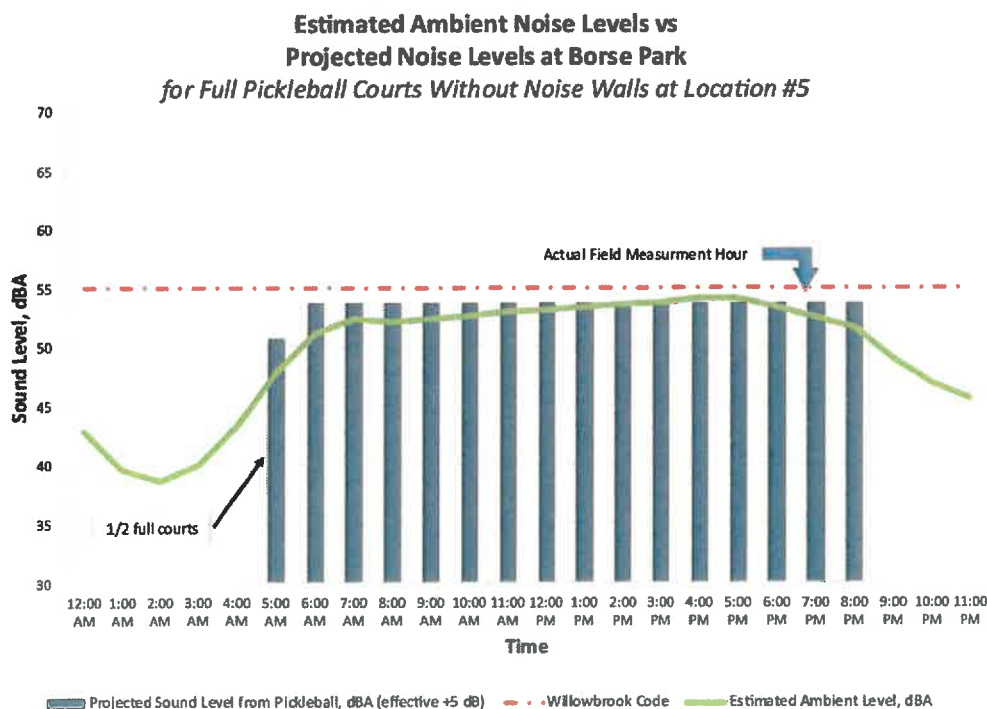
to the north and west. The wall can be constructed using a Trek composite fence, SimTek “stone/wood look” fences, or other more substantial construction. Acoustifence sheets on a traditional fence are another alternative but are more commonly used for retrofitting. If you select Acoustifence, we recommend you consult a fence company/engineer about the effect of the additional wind loads. Some examples of “noise walls” are shown in **FIGURE 7**.



Figure 7 – Noise Wall Examples: SimTek wood look, concrete wall, and Acoustifence

Hourly Analysis

While FIGURES 4, 5, and 6 show the 2-dimensional radiation of sound from the site, we also prepared a time-series graph showing the hourly LEQ of the pickleball noise from Borse Park at location #5, compared with the estimated hourly ambient sound levels. Since the Park opens at sunrise, the courts could be in use during the 5:00 AM hour in the mid-summer months. As seen in **FIGURE 8**, the ambient noise at Borse Park is about 48 dBA at that hour. For play this early in the day, the chart shows that the Village would have to limit the courts to half use to not exceed 3 dB over the ambient. A 6:00 AM start time, however, would be acceptable for



**Figure 8 –
Graph showing
the hourly
ambient noise
levels (green
line) at Borse
Memorial Park.
The 7:00 PM
hour was
measured while
the remaining
hours were
estimated based
on IDOT traffic
data in the
area.**

even full use because the ambient noise would increase by then. Alternatively, if the village were to choose to add noise walls, playing at the 5:00 AM hour would not cause an impact. During the day there is enough traffic activity to keep the ambient noise steady until the evening. In the 8 PM hour, full-court play would only exceed the ambient noise by 2 dB, which is considered no impact (see TABLE 1).

Conclusion

Placing pickleball courts in Midway would not allow a sufficient distance to ensure the noise radiated from the courts dissipated to near ambient sound levels. Instead, if the courts were located where the amphitheater was contemplated, there would be enough distance and vegetation to attenuate the noise to an acceptable level, that is, not more than a slight impact (i.e., 3 dB above the ambient noise) from 6 AM to 9 PM for all but the closest areas to the court. If more protection is desired, then noise mitigation can be added, although it may not be necessary to avoid noise complaints. Complaints would depend on the actual use of the land nearby the courts and always depends on individual susceptibility. If the village would like to avoid noise levels above 55 dBA from crossing over property lines, then at least a west wall noise wall as described above would be required.

This completes our report. We appreciate the opportunity to have investigated this issue for the Village.

Submitted by:



Steve Thunder, BSE
Acoustical Engineer



SOUND CURTAINS
BY SOUND SEAL

BARRIER BACKED COMPOSITES

SPEC DATA SHEET



VIVID™ BBC-2" BARRIER BACKED COMPOSITES

Vivid BBC-2" offers the benefits of both a noise barrier and a sound absorber in one composite product. Curtain panels are constructed with grommets across the top and exterior-grade Velcro seals along the vertical edges. Available in bound or unbound rolls, standard panels sizes or custom panels. Add some color to your manufacturing and outdoor spaces with Vivid.

FEATURES:

- Excellent acoustical performance
- Custom sizing
- Easy to install
- Durable, tear and abrasion-resistant
- Great UV and mildew resistance
- Highly water repellent
- Dimensionally stable; will not sag or stretch over time

OUTDOOR APPLICATIONS:

- Construction sites
- Pickle ball / tennis courts
- Outdoor dining venues
- Zoos / animal sanctuaries
- Life span of 10 years in the harshest exterior environments when properly installed

INDOOR APPLICATIONS:

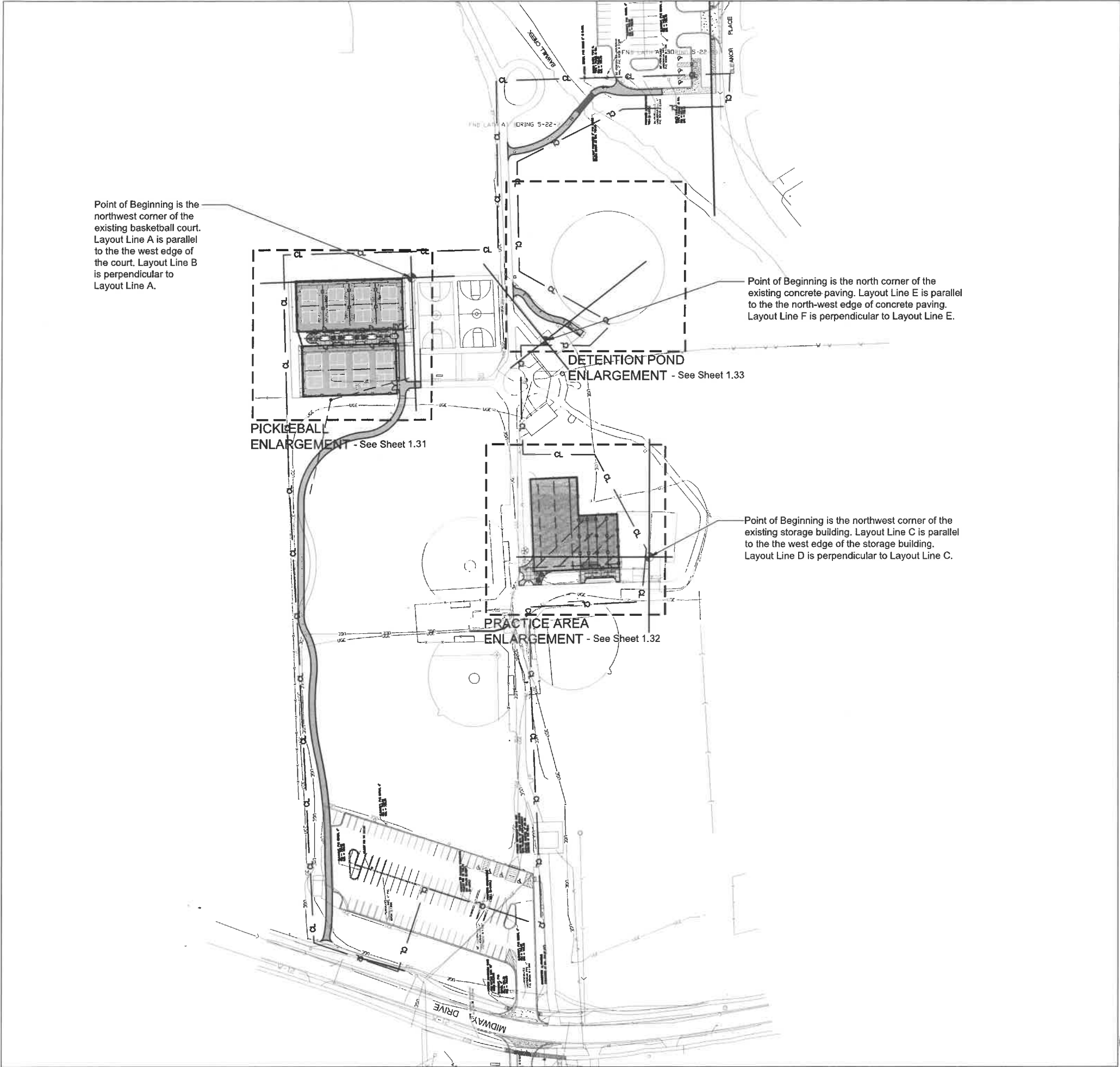
- Music venues
- Manufacturing facilities
- Mechanical enclosures
- Distribution centers



Batting Cage – Pro Beacon Athletics

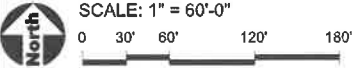


NOTE: Use this document for reference purpose. Refer to Sealed Engineering Drawings for specific details. Contact LSI Install Help for unit specific information.



- GENERAL NOTES: DIMENSION
1. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
 2. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
 3. See Layout Plan, Sheet 1.20 for additional general notes and referenced specifications and codes.
 4. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

- LEGEND
- Concrete Paving
 - Asphalt Paving
 - Infield Mix
 - Artificial Turf
 - EJ Concrete Expansion Joints
 - Chainlink Fence
 - Point of Beginning
 - Construction Limits / Construction Fence





Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527
Phone: 630-323-8215

PROJECT

Borse Memorial Community Park Renovations

208 Midway Dr,
Willowbrook, IL 60527

PROJECT TEAM



uplandDesign Ltd
Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

CIVIL ENGINEERING/SURVEYOR:
Novotny Engineering
545 Plainfield Road, Suite A
Willowbrook, Illinois 60527
IL License 184-000928

ORIGINAL ISSUE DATE
Issue for Bid 13MAR2024

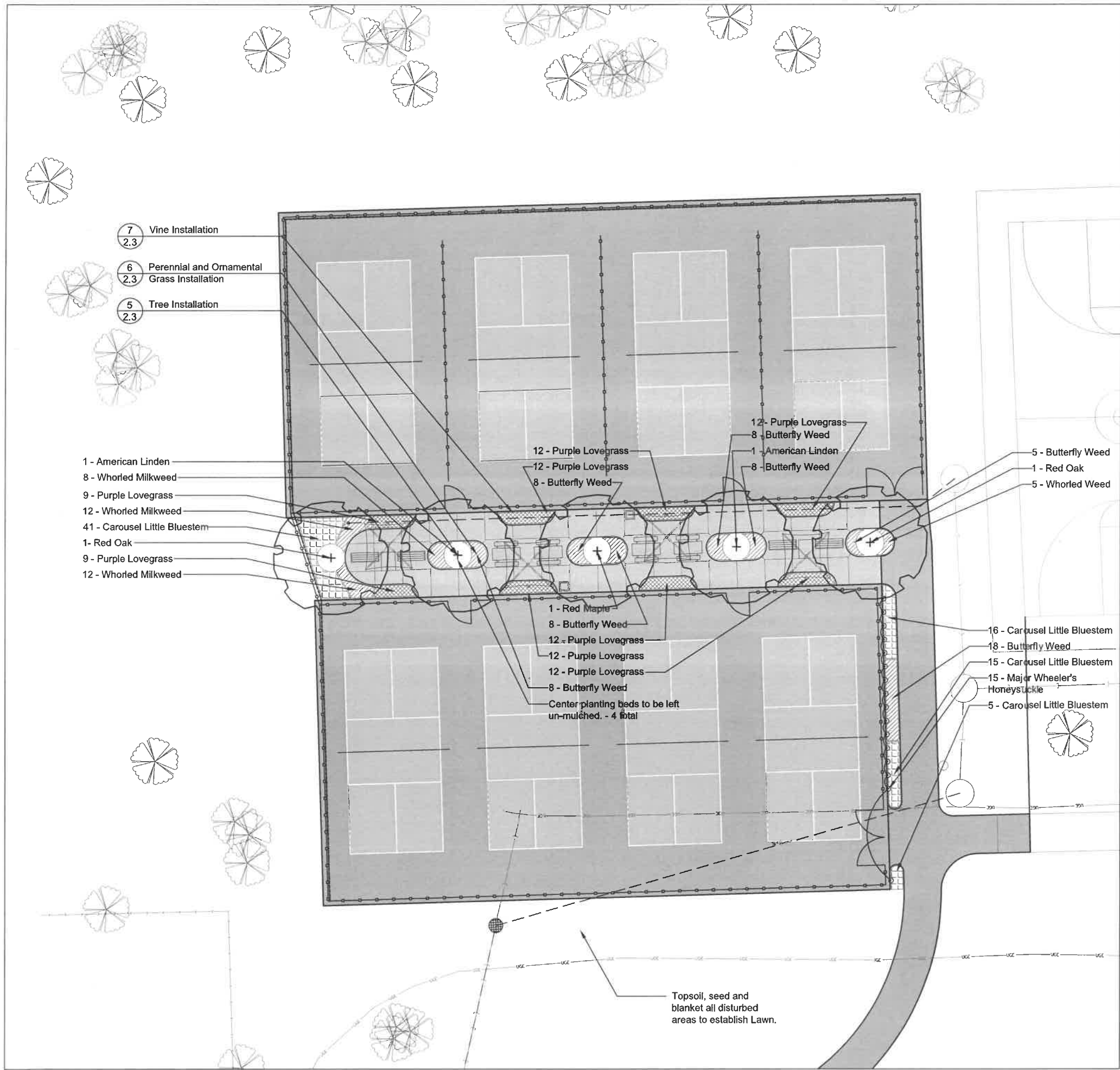
REVISIONS

PROJECT NUMBER **#1213A**

SHEET TITLE

Dimension Plan - Overall

SHEET NUMBER **1.30**



GENERAL NOTES: LANDSCAPE
1. See Sheet 1.50 for Notes

LEGEND

- Shade Tree
- Perennials and Ornamental Grasses (hatch symbol varies)
- Construction Limits / Construction Fence

Note: See Sheet 4.8 for Landscape Details, and see specifications for the seed mix information.

North

SCALE: 1" = 10'-0"

0 5' 10' 20' 30'



Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527
Phone: 630-323-8215

PROJECT

Borse Memorial Community Park Renovations

208 Midway Dr,
Willowbrook, IL 60527

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Novotny Engineering
545 Plainfield Road, Suite A
Willowbrook, Illinois 60527
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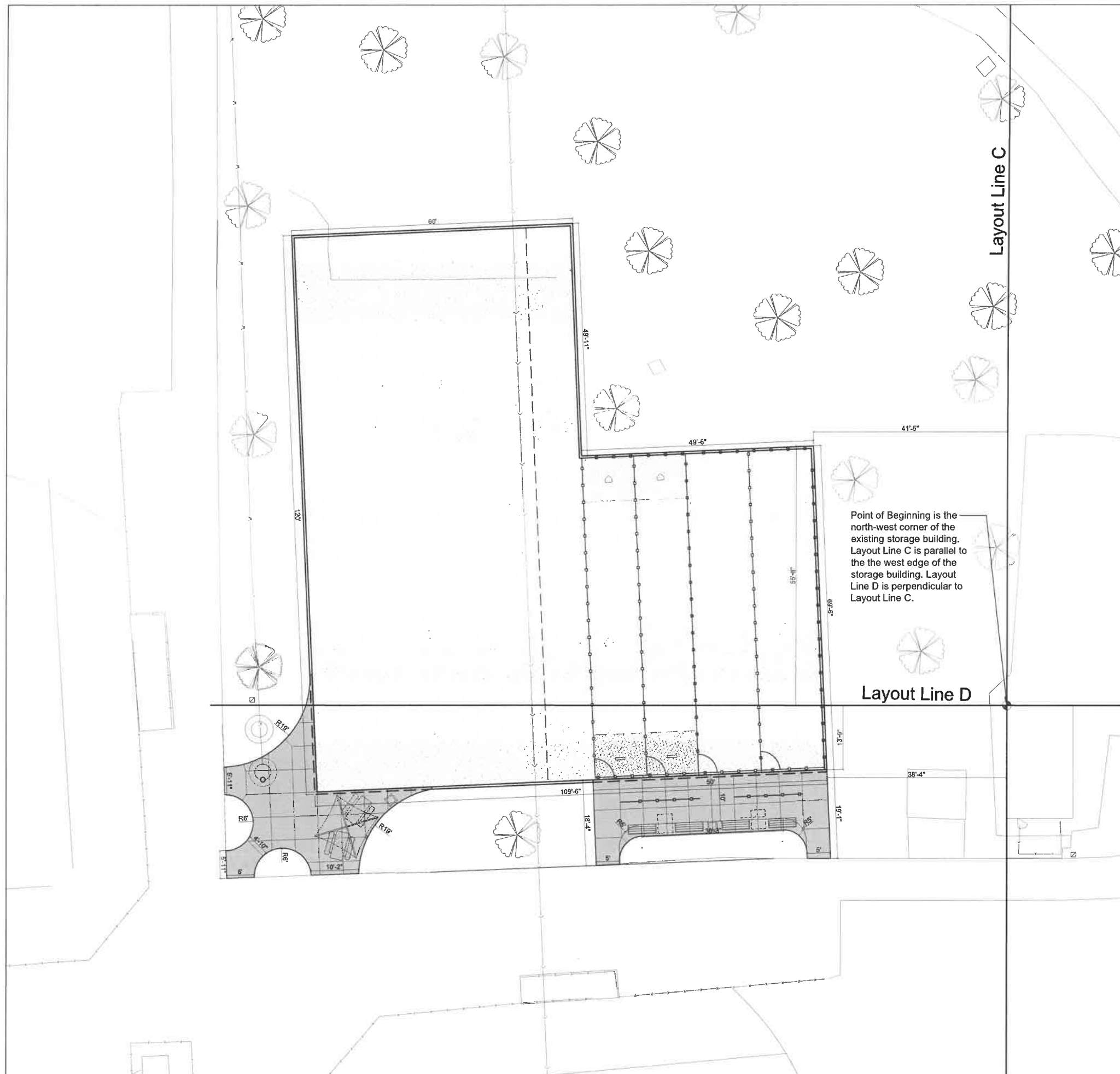
NO.	DESCRIPTION	DATE

PROJECT NUMBER **#1213A**

SHEET TITLE
Landscape Plan - Pickleball

SHEET NUMBER **1.51**

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GENERAL NOTES: DIMENSION

1. See Sheet 1.30 for Notes



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835 Midway Drive
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PROJECT

Borse Memorial Community Park Renovations

208 Midway Dr,
Willowbrook, IL 60527

PROJECT TEAM



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uplandDesign.com

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IL License 184-000928

ORIGINAL ISSUE DATE

Issue for Bid 13MAR2024

REVISIONS

PROJECT NUMBER **#1213A**

SHEET TITLE








Dimension Plan - Practice Area

SHEET NUMBER

1.32

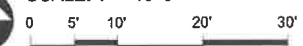
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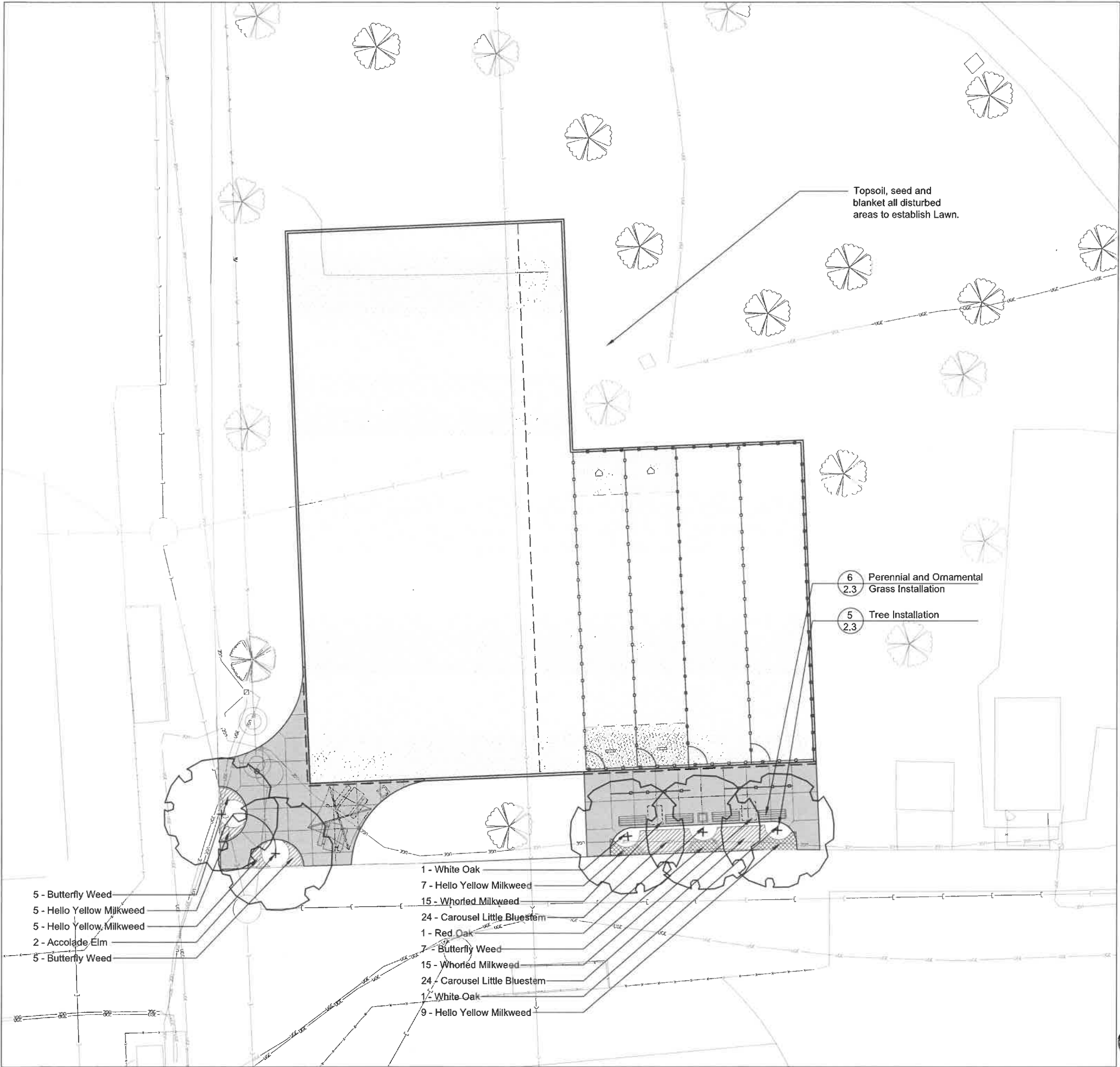
LEGEND

- | | |
|---|--|
|  | Concrete Paving |
|  | Asphalt Paving |
|  | Infield Mix |
|  | Artificial Turf |
| EJ | Concrete Expansion Joints |
|  | Chainlink Fence |
|  | Point of Beginning |
|  | Construction Limits / Construction Fence |



SCALE: 1" = 10'-0"





GENERAL NOTES: LANDSCAPE
1. See Sheet 1.50 for Notes



Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527
Phone: 630-323-8215

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Borse Memorial Community Park Renovations

208 Midway Dr,
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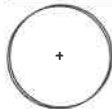
uplandDesign Ltd

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uplandDesign.com

CIVIL ENGINEERING/SURVEYOR:

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545 Plainfield Road, Suite A
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IL License 184-000928

LEGEND



Shade Tree



Perennials and Ornamental Grasses (hatch symbol varies)



Construction Limits / Construction Fence

Note: See Sheet 4.8 for Landscape Details, and see specifications for the seed mix information.

ORIGINAL ISSUE DATE

Issue for Bid 13MAR2024

REVISIONS

PROJECT NUMBER

#1213A

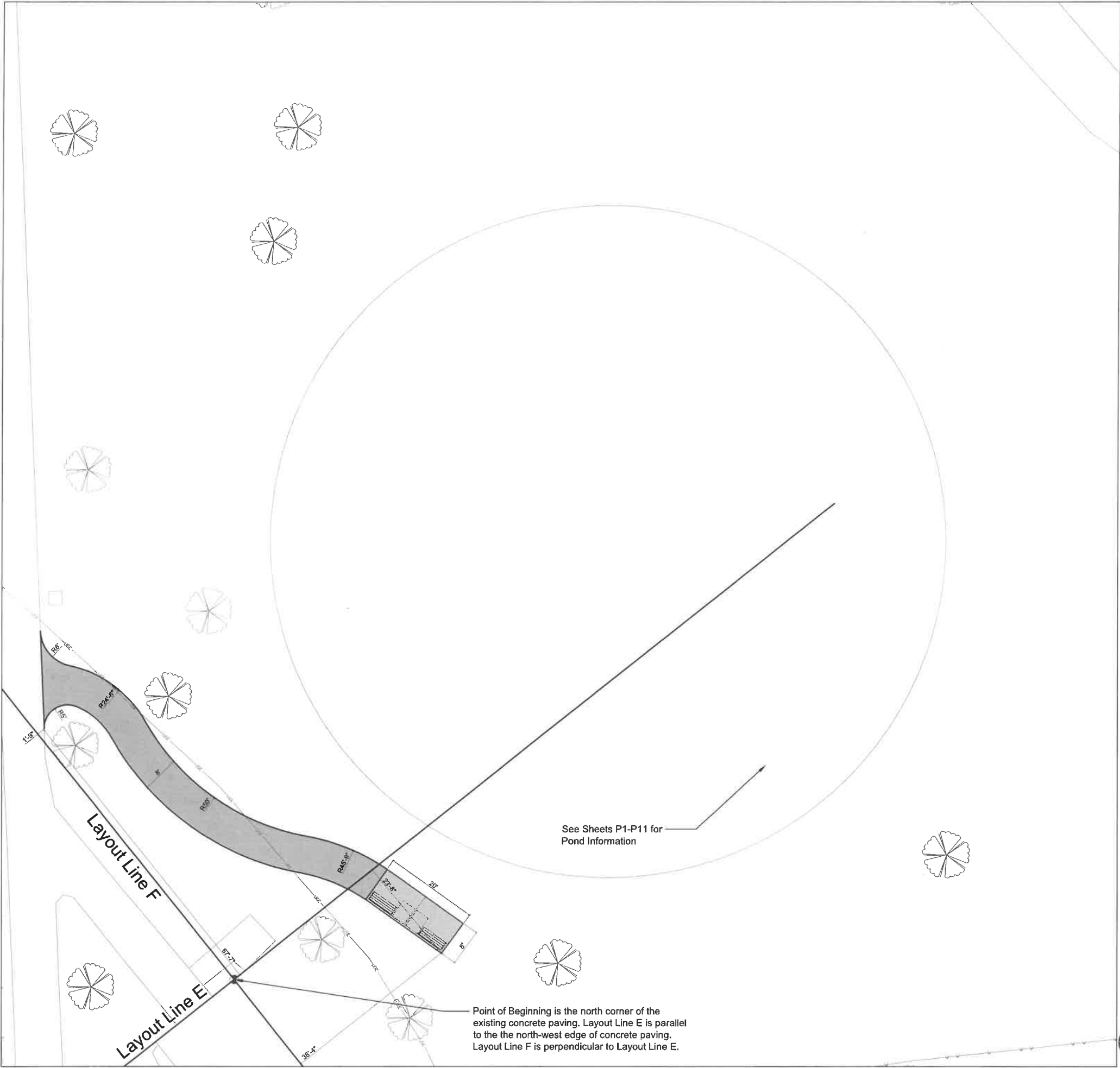
SHEET TITLE

Landscape Plan - Practice Area

SHEET NUMBER

1.52

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GENERAL NOTES: DIMENSION
1. See Sheet 1.30 for Notes

LEGEND

- Concrete Paving
- Asphalt Paving
- Infield Mix
- Artificial Turf
- EJ Concrete Expansion Joints
- Chainlink Fence
- Point of Beginning
- CL Construction Limits / Construction Fence

North

SCALE: 1" = 10'-0"

0 5' 10' 20' 30'



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ORIGINAL ISSUE DATE
Issue for Bid 13MAR2024

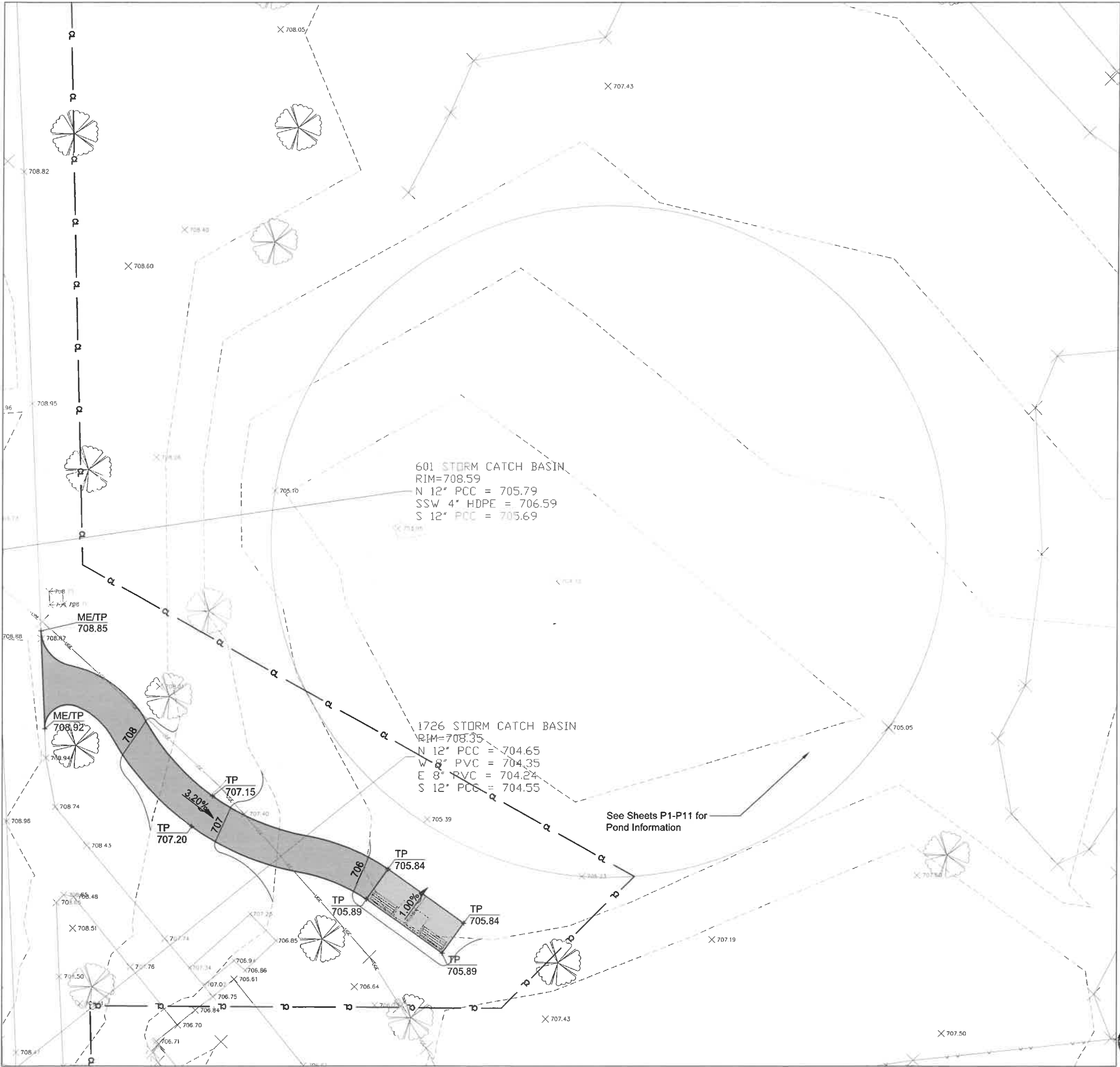
REVISIONS		

PROJECT NUMBER #1213A

SHEET TITLE
Dimension Plan - Detention Pond

SHEET NUMBER 1.33

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GENERAL NOTES: GRADING

1. See Sheet 1.40 for Notes

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% Drainage Flow Direction
- CL Construction Limits / Construction Fence

INDEX OF ACRONYMS AND ABBREVIATIONS

- HP - High Point
- INV - Pipe Invert Elevation
- LP - Low Point
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TW - Top of Wall



SCALE: 1" = 10'-0"



Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527
Phone: 630-323-8215

PROJECT

**Borse
Memorial
Community
Park
Renovations**
208 Midway Dr,
Willowbrook, IL 60527

PROJECT TEAM



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ORIGINAL ISSUE DATE
Issue for Bid 13MAR2024

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER **#1213A**

SHEET TITLE

**Grading Plan -
Detention
Pond**

SHEET NUMBER **1.43**