

A G E N D A

MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, AUGUST 2, 2023 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS 60527.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes of July 12, 2023, Plan Commission Regular Meeting
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 23-04: Consideration of a petition requesting an amendment to a previously approved Planned Unit Development for Portillo's Restaurant, a minor PUD change for the relocation of the drive-through menu board signs for Portillo's Restaurant.
 - A. Public Hearing
 - B. Discussion/Recommendation
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook
Staff Report to the Plan Commission



Public Hearing Date:	August 2, 2023		
Prepared By:	Michael Krol, Director of Community Development		
Case Title:	Discussion Case No. PC 23-04: A petition requesting an amendment to a previously approved Planned Unit Development for Portillo's Restaurant, a minor PUD change for the relocation of the drive-through menu board signs.		
Petitioner:	Portillo's Hot Dogs, LLC. 2001 Spring Road, Suite 400, Oak Brook, IL 60523.		
Action Requested by	Consideration and Recommendation amendment to a previously approved Planned Unit Development for Portillo's Restaurant, a minor PUD change for the relocation of the drive-through menu board signs.		
Location:	Southeast corner of Route 83 and Plainfield Road		
PINs:	09-23-406-018 and 09-26-200-010		
Existing Zoning:	B – Community Shopping District		
Proposed Zoning:	B – Community Shopping District		
Property Size:	23.89 acres		
Surrounding Land Use:	Use	Zoning	
North	The Willows Shopping Center	B/PUD	
South	Woodland Plaza	B/Special Use	
East	Lake Willoway Condo	R5/PUD	
West	Single Family Residential	Darien R-2	
Necessary Action by Plan Commission:	Make either a positive or negative recommendation to the Mayor and Village Board for the proposed Amendment to a previously approved Willowbrook Town Center Planned Unit Development for Portillo's Restaurant, a minor PUD change for the relocation of the drive-through menu board signs. A sample motion can be found on page 4.		



History & Background

Site Description

On August 28, 2006, the Village Board approved ordinance 06-O-27, which rezoned the property to the B-2 district, granted a special use permit for a PUD, granted variations from the Zoning Ordinance and Subdivision Regulations, and approved the Preliminary Plat of Subdivision and Preliminary Plat of PUD for the development of the Willowbrook Town Center. On May 29, 2007, the Village Board approved Ordinance 07-O-10, granting approval of the Final Plat of Subdivision and PUD for the Town Center.

Previous ordinances pertaining to the Town Center include Ord. 06-O-27 (8/28/06), Ord. 07-O-10 (5/20/07), Ord. 07-O-22 (9/24/07). These ordinances rezoned the property to the B-2 district, granted a special use permit for a PUD, granted variations from the Zoning Ordinance and Subdivision Regulations, and approved the Preliminary and Final Plats of Subdivision and PUD for the development of the Willowbrook Town Center. Ord. 07-O-22 amended the Special Use Permit and Plat of PUD to allow for modifications to building foundations and easements.

The latest PUD amendment was granted under Ord. 11-O-12 for Portillo's, which relocated their drive-through entrance from the east side of the building to the northwest side of the building. This plan will push the entrance from the main aisle three aisles to the north, with drive-thru queue in the drive aisle closest to and parallel Route 83.

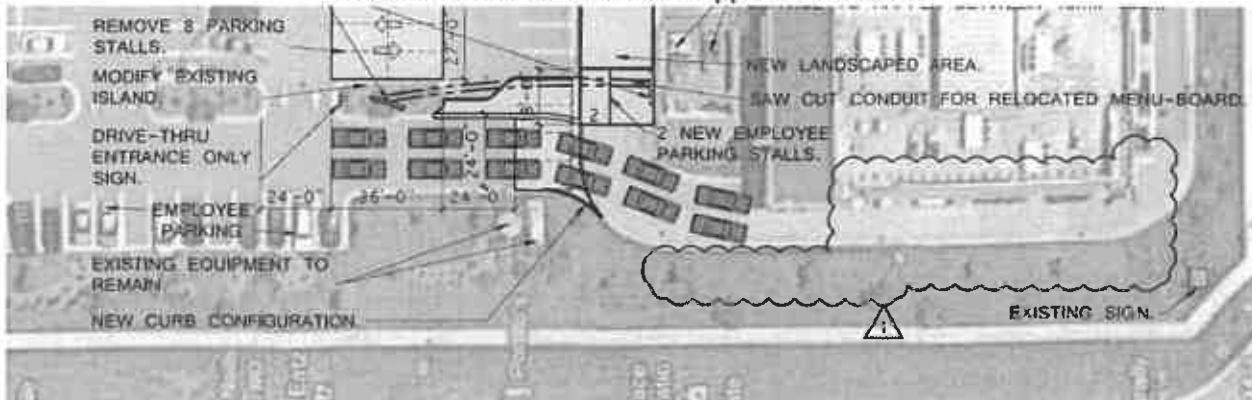
Under this approval ordinance, the sign plan included a specifically positioned menu board sign and an illuminated drive-through directional sign, see Exhibit 2.

Exhibit 1: Aerial View of the Subject Property





Exhibit 2: Ordinance 11-O-12 Approved Site Plan



Development Proposal

Portillo's is requesting to relocate their main menu drive through sign from its current location to closer to the building and make the sign a digital screen illuminated menu sign, commonly seen at fast-food establishments. The second proposed sign is to install a digital screen pre-sale menu board which will replace the previously approved illuminated directional sign for the drive-through entrance.

The digital main menu board sign will be reduced in square footage from 35.28 square feet to 21.49 square feet. The pre-sell menu board sign will also be a digital sign and increase slightly in square footage to 7.17 square feet from the previously approved illuminated directional drive-through sign of 3.12 square feet.

Staff Analysis

Appropriateness of Use

The proposed PUD amendment for the sign relocation meets all the sign criteria in the zoning code. The proposed signage menu board and pre-sale board combined are lower in square footage than previously approved. Section 9-4-11(E) of the Unified Development Ordinance allows for up to four (4) menu board signs for drive-through establishments, of up to a total of one hundred (100) square feet and all the signs are permitted to utilize electronic activated changeable copy message centers. The only sign that will have changeable copy is the pre-sale board. The main menu board will remain static. There are no additional changes to the drive-through lanes, traffic flow, or number of off-street parking spaces.

Landscaping

A small portion of the previously approved landscape plan will be affected by relocating the main menu sign. After the existing menu sign board is removed, the concrete base hole will be filled, and landscape plantings will be added to fill in the spot the menu board was located. This will be verified during the permit process. A landscape plan is attached to the Plan Commission packet.

Standards for Review for a Planned Development

Although most of the review standards below don't apply to this minor amendment, the following standards for review shall be utilized in the review of a planned development application, including any requested site development allowances and the modification standards proposed to justify those requests. No application for a planned development shall be approved unless the Plan Commission and Village Board finds that the application meets all of the following standards:



- (A) **Plan and Policy Alignment.** The planned development is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the Village.
- (B) **Integrated Design with Identifiable Centers and Edges.** The planned development shall be laid out and developed as a unit in accordance with an integrated overall design, in which the various land uses function as a cohesive whole and support one another. The design shall provide identifiable centers, which form focus areas of activity in the development, and edges, which define the outer borders of the development, through the harmonious grouping of buildings, uses, facilities, public gathering spaces, and open space.
- (C) **Public Welfare.** The planned development is designed, located, and proposed to be operated and maintained so that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.
- (D) **Compatibility with Adjacent Land Uses.** The planned development includes uses which are generally compatible and consistent with the uses of adjacent parcels. If the uses are not generally compatible, all adverse impacts have been mitigated through screening, landscaping, public open space, and other buffering features that protect uses within the development and surrounding properties.
- (E) **Impact on Public Facilities and Resources.** The planned development is designed so that adequate utilities, road access, stormwater management, and other necessary facilities will be provided to serve it. The planned development shall include such impact fees as may be reasonably determined by the Village Board. These required impact fees shall be calculated in reasonable proportion to the impact of the planned development on public facilities and infrastructure.
- (F) **Archaeological, Historical or Cultural Impact.** The planned development does not substantially adversely impact an archaeological, historical, or cultural resource, included on the local, state, or federal register, located on or off the parcel(s) proposed for development.
- (G) **Parking and Traffic.** The planned development shall have or make provision to provide necessary parking, ingress, and egress to the proposed use in a manner that minimizes traffic congestion in the public streets and provides adequate access for emergency vehicles.

Staff Recommendation

Community Development Department staff have no objection to the proposed PUD Amendment proposed and no additional conditions. The menu board sign types are permitted and do not exceed the Village standards set forth in the Unified Development Ordinance.

If additional time or testimony is needed, the Plan Commission may wish to continue this hearing and/or consideration of the proposed petition. If the Plan Commission's work is completed, the following sample motion is provided for the Plan Commission's use:

Sample Motion:
Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board, approval of the proposed Amendment to a previously approved Willowbrook Town Center Planned Unit Development for Portillo's Restaurant, a minor PUD change for the relocation of the drive-through menu board signs.



Documents Attached:

- Attachment 1: Notice of Public Hearing
- Attachment 2: Notice of Public Hearing Sign Posted
- Attachment 3: Legal Description
- Attachment 4: Ordinance 11-O-12 & Site and Sign Plan (7 pages)
- Attachment 5: Aerial Site Plan (11x17)
- Attachment 6: Landscaping Plan (11x17)
- Attachment 7: Pre-sell Menu (11x17)
- Attachment 8: Main Menu (11x17)

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Attachment 1
Notice of Public Hearing

VILLAGE OF WILLOWSBROOK
Plan Commission

ADORDERNUMBER: 0001159938-01
PO NUMBER: Plan Commission
AMOUNT: \$11.00
NO OF AFFIDAVITS: 1

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 23-04

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 2nd of August, 2023 at the hour of 7:00 P.M. in the Village Community Resource Center (VCR) Boardroom, 835 Midway Drive, Willowbrook, IL 60527.

The purpose of this meeting and public hearing shall be to consider a petition requesting an amendment to a previously approved Planned Unit Development for Portillo's Restaurant, a proposed PUD change for the relocation of the drive-thru through menu board signs on the property legally described as 100s.

LOTS 1 AND 2 IN AMENDED AND RESTATED PRESERVE-A-NCE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 23 AND PART OF THE NORTHEAST QUARTER OF SECTION 26, ALSO BEING A RESUBDIVISION OF PART OF LOTS 7 AND 8 IN OWNER'S SUBDIVISION SITUATED IN PART OF SECTION 23 AND 26, ALSO BEING A RESUBDIVISION OF LOTS 1, 2 AND 3 IN HINSDALE HIGHLANDS ESTATES, ACCORDING TO THE PLAT OF HINSDALE HIGHLANDS ESTATES, RECORDED JULY 23, 1954 AS DOCUMENT #27413, AND AMENDED BY CERTIFICATE OF CORRECTION DATED AUGUST 18, 1964 AND RECORDED AUGUST 23, 1964 AS DOCUMENT #27413, IN TOWNSHIP 30 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE AMENDED AND RESTATED PLAT OF SAID PER SEVERANCE SUBDIVISION RECORDED OCTOBER 9, 2007, AS DOCUMENT NUMBER #200718088, DUPAGE COUNTY, ILLINOIS.

ADDRESSES: 7101 THROUGH 7199 S KINGERY HIGHWAY, WILLOWSBROOK, IL 60527
825 PLAINFIELD ROAD, WILLOWSBROOK, IL 60527

Phone: 609-234-0118 and 609-262-200-010

The applicant for this petition is Portillo's Hot Dogs LLC, 2001 Spring Road, Suite 400, Oak Brook, IL 60521.

Copies of the application and related documentation are on file in the office of Community Development, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual or entity desiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Michael Krol, Village of Willowbrook, 835 Midway, Willowbrook, IL, 60527, or call (630) 920-2262, Monday through Friday, between 8:00 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of two working days in advance of the meeting.

Any persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and shall submit their statements orally. A written form of the same (including any) may be presented to another date if not concluded on the date of the meeting scheduled.

By: Sean Julian
Village Administrator
(630) 923-8215

Published in the 07/18/2023 edition of The Chicago Sun-Times Newspaper
7-18-2023 11159938

Chicago Sun-Times
Certificate of Publication

State of Illinois - County of Cook

Chicago Sun-Times, does hereby certify it has published the attached advertisements in the following secular newspapers. All newspapers meet Illinois Compiled Statute requirements for publication of Notices per Chapter 715 ILCS 5/0.01 et seq. R.S. 1874, P728 Sec 1, EFF. July 1, 1874. Amended by Laws 1959, P1494, EFF. July 17, 1959. Formerly Ill. Rev. Stat. 1891, CH100, PI.

Note: Notice appeared in the following checked positions.

PUBLICATION DATE(S): 07/18/2023

Chicago Sun-Times

IN WITNESS WHEREOF, the undersigned, being duly authorized, has caused this Certificate to be signed.

By

Robin Munoz

Manager | Recruitment & Legal

This 18th Day of July 2023 A.D.



Attachment 2
Notice of Public Hearing Sign Posted





**Attachment 3
Legal Description**

LOTS 1 AND 2 IN AMENDED AND RESTATED PRESEVERANCE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 23 AND PART OF THE NORTHEAST QUARTER OF SECTION 26, ALSO BEING A RESUBDIVISION OF PART OF LOTS 7 AND 8 IN OWNER'S SUBDIVISION SITUATED IN PART OF SECTION 23 AND 26, ALSO BEING A RESUBDIVISION OF LOTS 1, 2, AND 3 IN HINSDALE HIGHLANDS ESTATES, ACCORDING TO THE PLAT OF HINSDALE HIGHLANDS ESTATES, RECORDED JULY 23, 1954 AS DOCUMENT 720969 AND AMENDED BY CERTIFICATE OF CORRECTION DATED AUGUST 18, 1954 AND RECORDED AUGUST 23, 1954 AS DOCUMENT 727413, IN TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE AMENDED AND RESTATED PLAT OF SAID PERSEVERANCE SUBDIVISION RECORDED OCTOBER 9, 2007, AS DOCUMENT NUMBER R2007-183986, DUPAGE COUNTY, ILLINOIS.

ADDRESSES: 7101 THROUGH 7199 S. KINGERY HIGHWAY, WILLOWBROOK, IL 60527

825 PLAINFIELD ROAD, WILLOWBROOK, IL 60527

PINs: 09-23-406-018 and 09-26-200-010



Attachment 4
Ordinance 11-O-12 & Site Plan and Sign Plans (7 pages)

ORDINANCE NO. 11-O-12

AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 06-27
AS APPROVED IN ORDINANCES NO. 06-O-27 AND 07-O-10
AND AMENDED IN ORDINANCES 07-O-22 AND 09-O-29
APPROVING A MINOR CHANGE TO MODIFY THE PORTILLOS DRIVETHROUGH
ROUTE 83 AND PLAINFIELD ROAD - WILLOWBROOK TOWN CENTER

WHEREAS, on or about July 21, 2011, Willowbrook Town Center, LLC, as applicant, filed an application with the Village of Willowbrook with respect to the property legally described on Exhibit "A" attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY"); and,

WHEREAS, said application requested that the special use permit for a planned unit development relating to the SUBJECT REALTY, previously approved in Ordinance No. 06-O-27 and Ordinance No. 07-O-10 and as amended by Ordinances No. 07-O-22 and 09-O-29, be further amended to revise Sheet 2 of 3 of the Amended and Restated Preliminary and Final Plat of Subdivision and PUD Perseverance Subdivision approved on September 24, 2007 by Ordinance 07-O-22, to allow for the relocation of the Portillos drive through (the "IMPROVEMENTS"); and

WHEREAS, the Second Amended and Restated Plat of PUD-Perseverance Subdivision attached hereto as Exhibit "B" has been prepared and is intended to supersede Sheet 2 of 3 of the Amended and Restated Preliminary and Final Plat of Subdivision and PUD Perseverance Subdivision, approved on September 24, 2007 by Ordinance 07-O-22; and



WHEREAS, pursuant to Section 9-13-4(C)6a of the Willowbrook Municipal Code, the Improvements requested herein do not qualify as a Major Change to a PUD, and therefore qualify as a Minor Change to a PUD pursuant to 9-13-4(C)6b of the Willowbrook Municipal Code; and

WHEREAS, pursuant to 9-13-4(C)6b of the Willowbrook Municipal Code, the Willowbrook President and Board of Trustees by ordinance may approve a Minor Change to a PUD without the requirement of any further public hearing; and,

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That Special Use Permit No. 06-27, passed and approved in Ordinance No. 06-0-27 and 07-0-10 and amended in Ordinances 07-0-22 and 09-0-29, is hereby further amended so as to permit the Improvements, pursuant to the provisions of this Ordinance.

SECTION TWO: That the Second Amended and Restated Plat of PUD-Perseverance Subdivision, as prepared by Midwest Technical Consultants, Inc., Job No. 505-100, consisting of one sheet and latest revision dated July 26, 2011, attached hereto and incorporated herein as Exhibit "B", be and the same is hereby approved, and supersedes Sheet 2 of 3 of the Amended and Restated



Preliminary and Final Plat of Subdivision and PUD - Perseverance

Subdivision approved on September 24, 2007 by Ordinance 07-0-22.

SECTION THREE: That the approval granted in Section Two is for the purpose of facilitating the Improvements defined herein, and is expressly conditioned upon the following:

1. Improvements shall be constructed in substantial conformance and compliance with the plans attached hereto and made a part hereof as Exhibit "C" (the "Approved Plans"), with final approval subject to review by the Building Department for compliance with building code requirements.
2. Portillo's shall coordinate deliveries and dumpster service to occur only between the hours of 4AM and 6AM.

SECTION FOUR: That the several terms and conditions contained in Special Use Permit No. 06-27, as passed and approved in Ordinance 06-0-27 and Ordinance No. 07-0-10 and as amended by Ordinances No. 07-0-22 and 09-0-29 shall, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

SECTION FIVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.



PASSED and APPROVED this 8th day of August, 2011.

APPROVED:

Gabriel A. Napoli
President

ATTEST:

Leroy R. Hanson
village clerk

ROLL CALL VOTE:

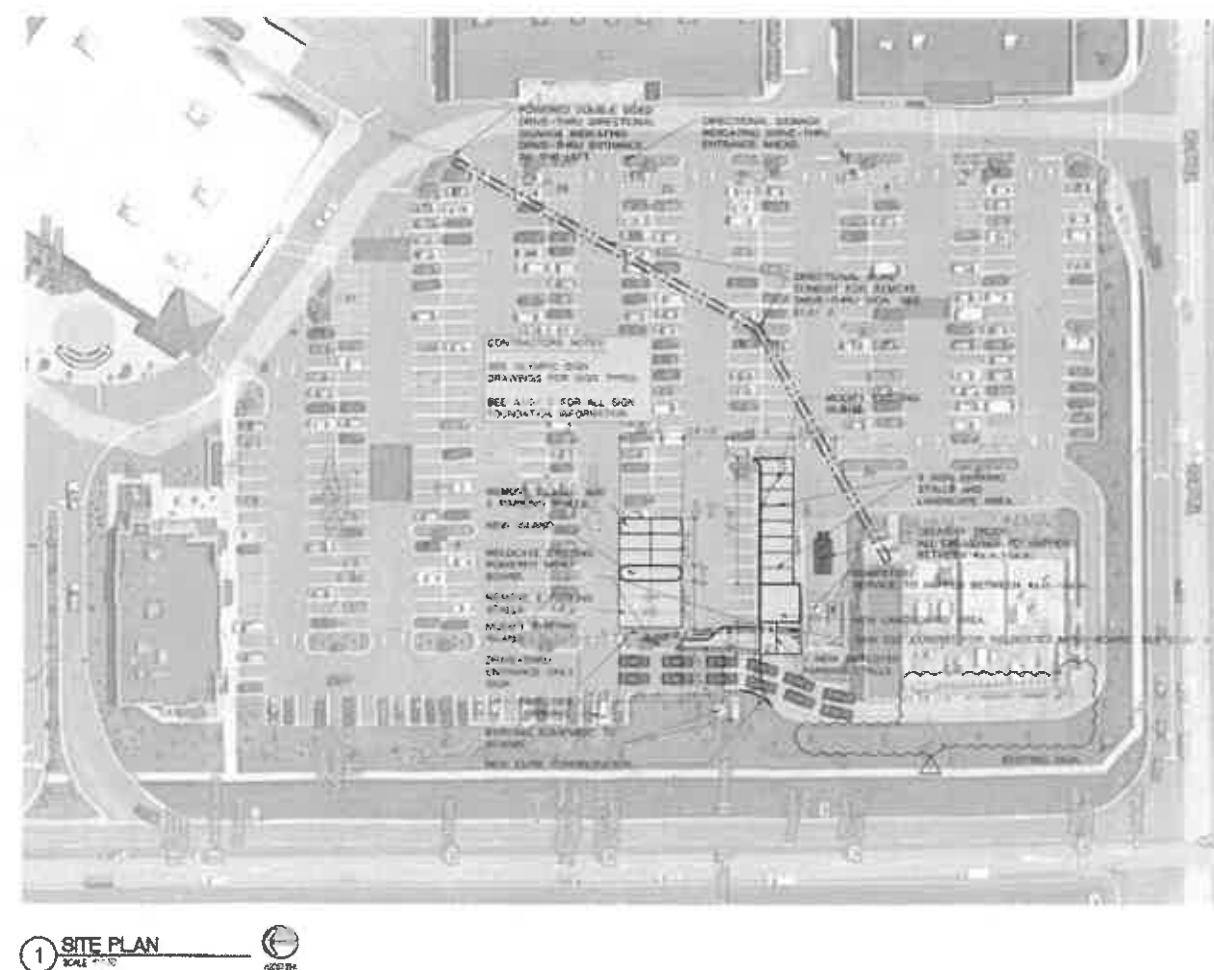
AYES: Baker, Kelly, Mistele, Beeghly, Davis, Trilla

NAYS: 0

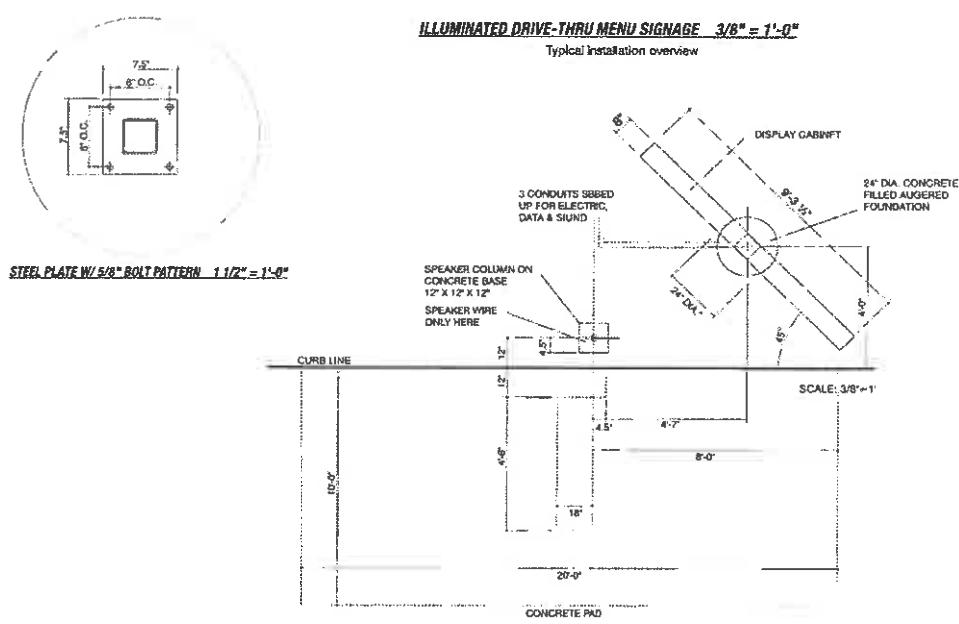
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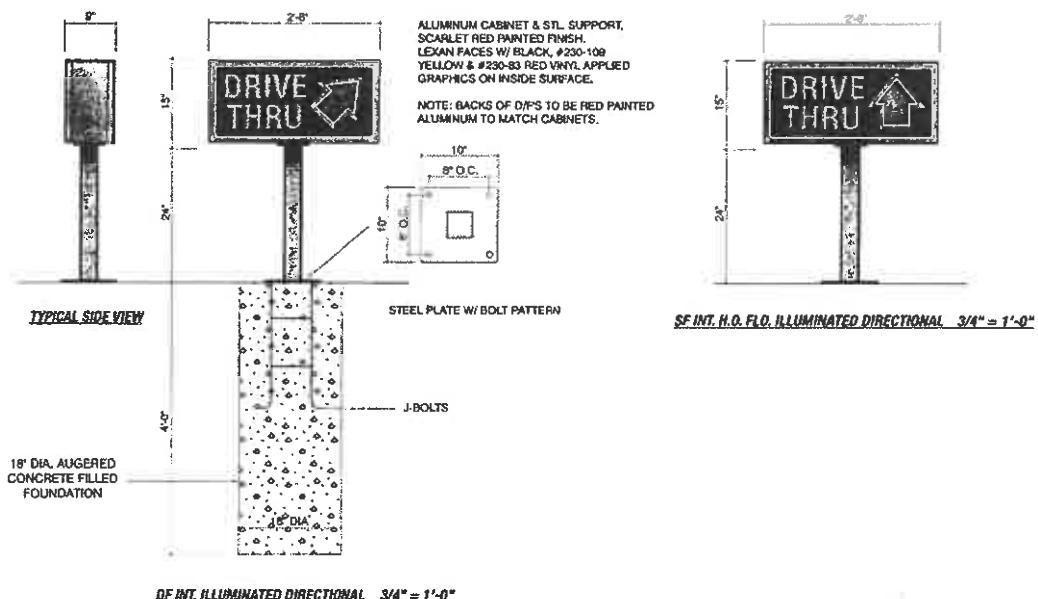
ABSENT: 0





1 SITE PLAN
SCALE: 3/8" = 1'-0"







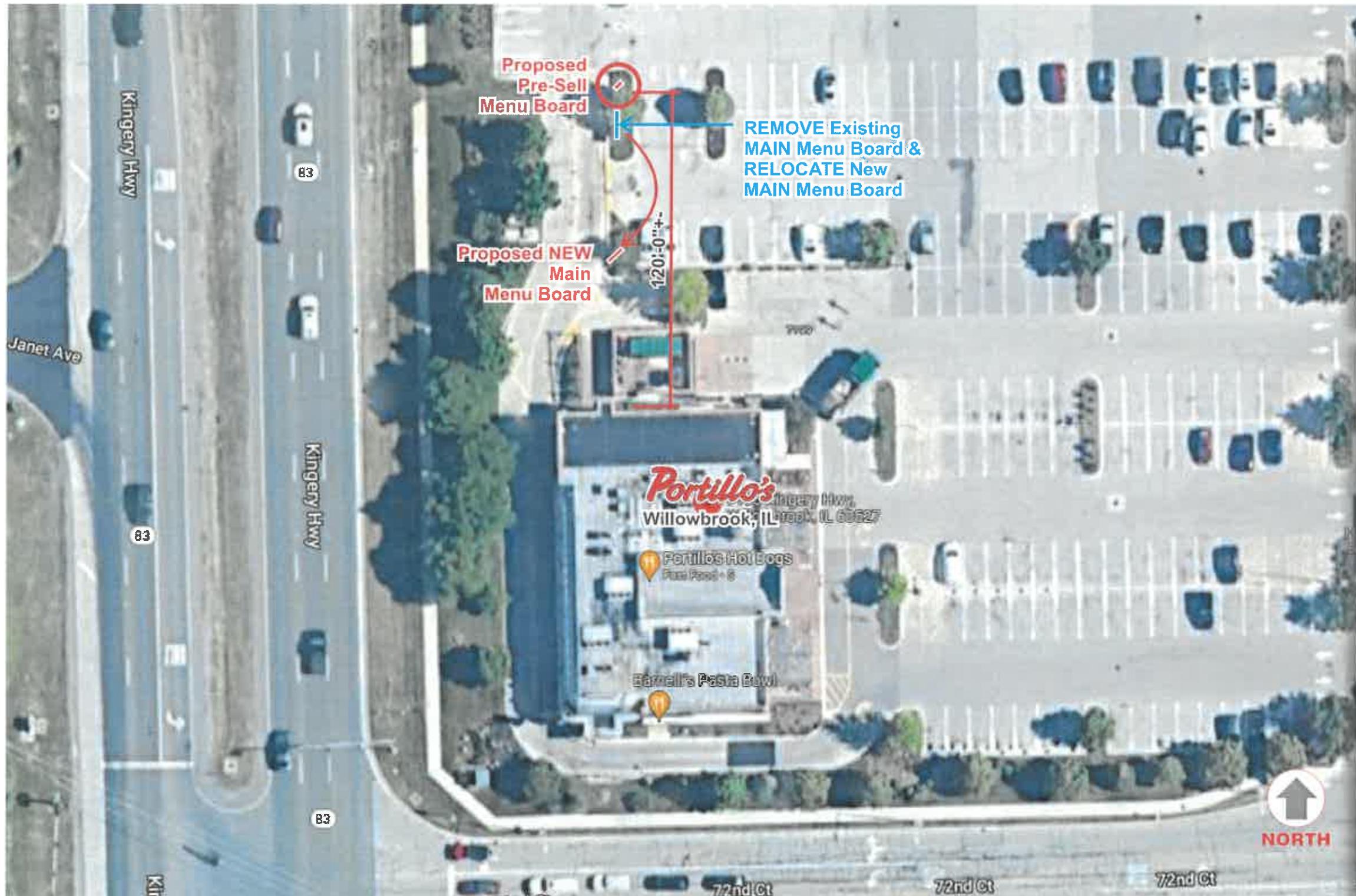
**Attachment 5
Aerial Site Plan (11x17)**

**Attachment 6
Landscaping Plan (11x17)**

**Attachment 8:
Pre-Sell Menu (11x17)**

**Attachment 9:
Main Menu (11x17)**

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Ariel Site Plan -

Portillo's

HOT DOGS · BEEF · BURGERS · SALADS

7195 Kingery Highway
Willowbrook, IL 60527

account representative
ROB WHITEHEAD

client

drawn by
PAMELA F

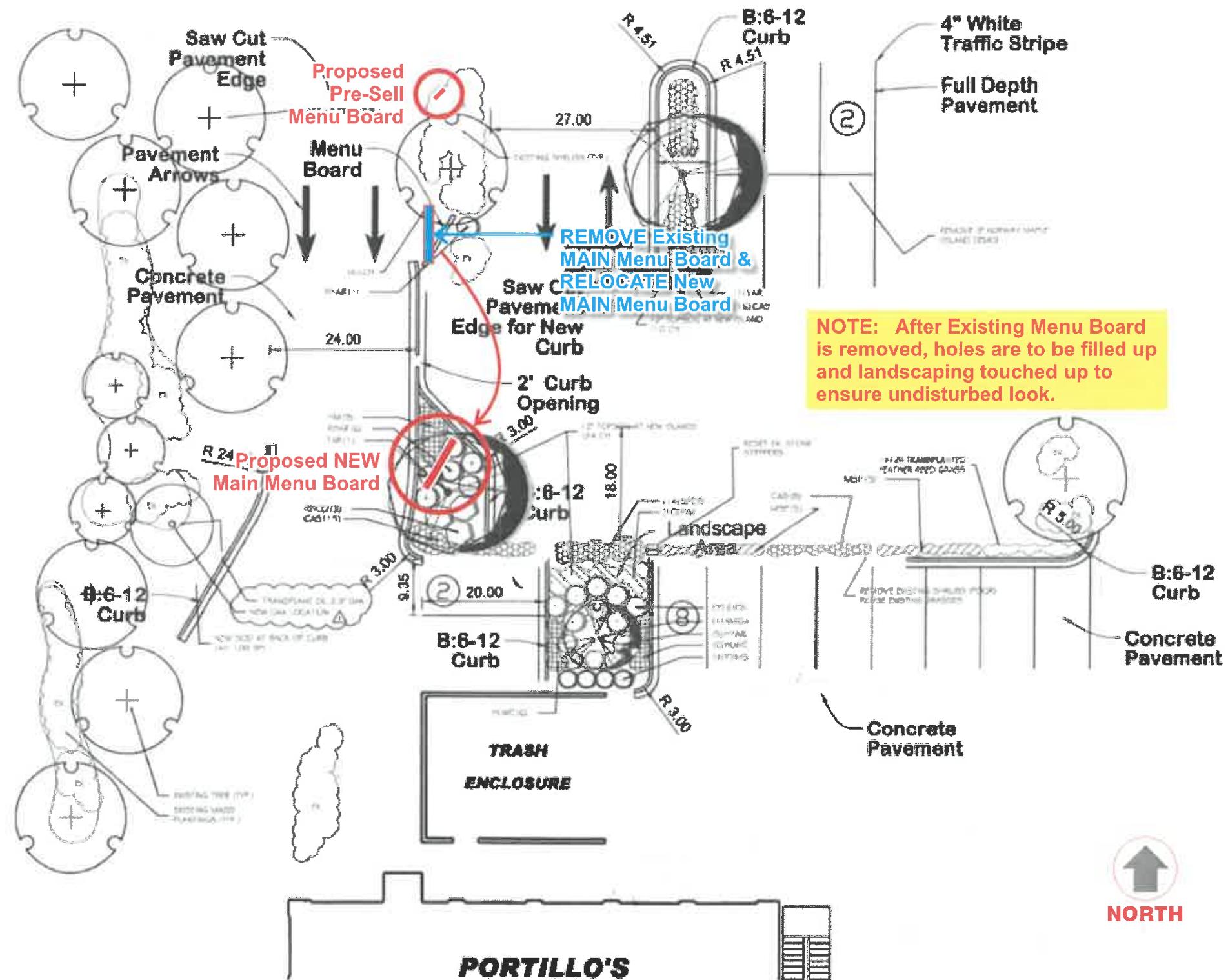
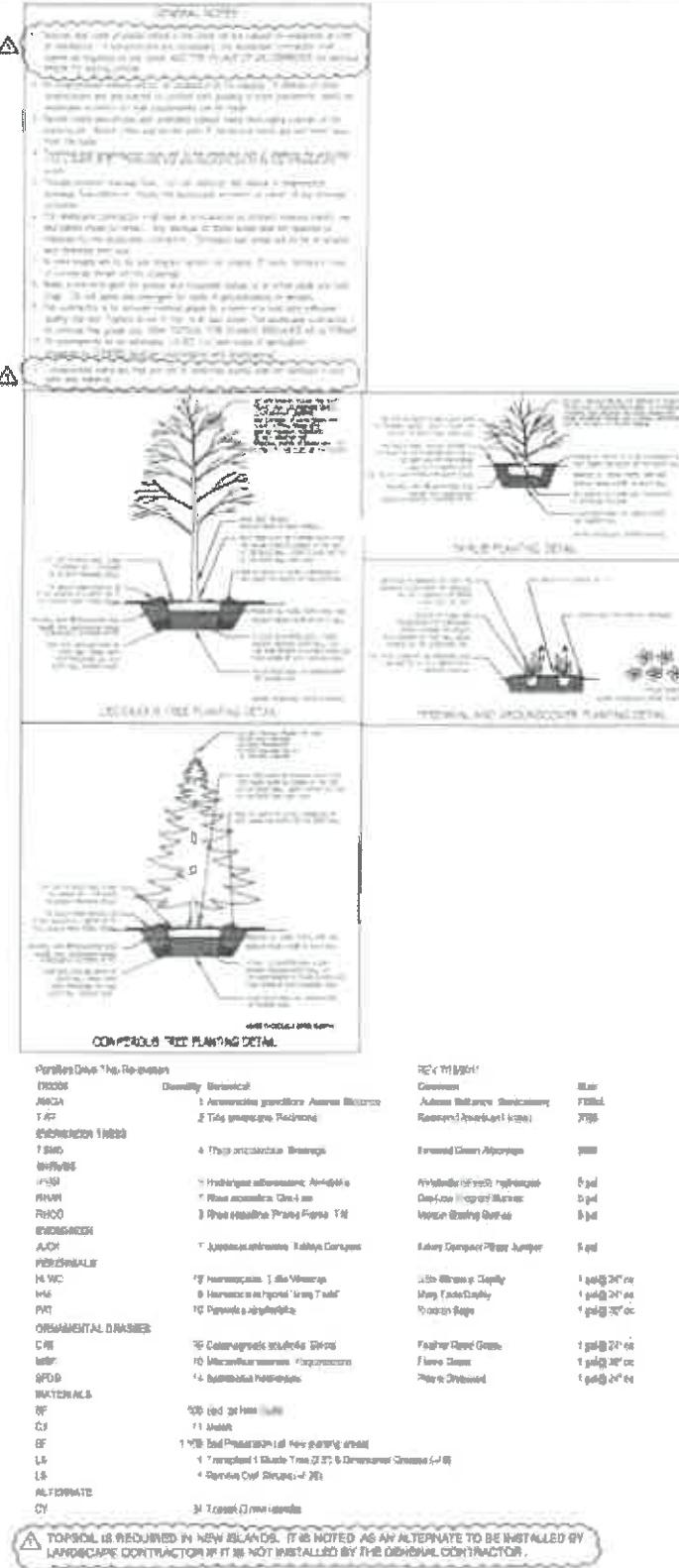
- job#: 22-9338
- 11-09-22
- rev.# 06-26-23

Comments:

OLYMPIK
SIGNS
1130 N. Garfield
Lombard, IL 60148 Ph.# 630.424.6100 Fx.# 630.424.6120

WWW.OLYSIGNS.COM

ARIEL SITE PLAN



Landscaping Plan -

Portillo's

HOT DOGS • BEEF • BURGERS • SALADS

7195 Kingery Highway
Willowbrook, IL 60527

1130 N. Garfield
Lombard, IL 60148 Ph.# 630.424.6100 Fx.# 630.424.6120 WWW.OLYSIGNS.COM

drawn by
PAMELA F

• job#: 22-9338
• 11-09-22
• rev.# 06-26-23

Comments:

LANDSCAPING PLAN



Drive-Thru Elevation - Before



Drive-Thru Elevation - AFTER

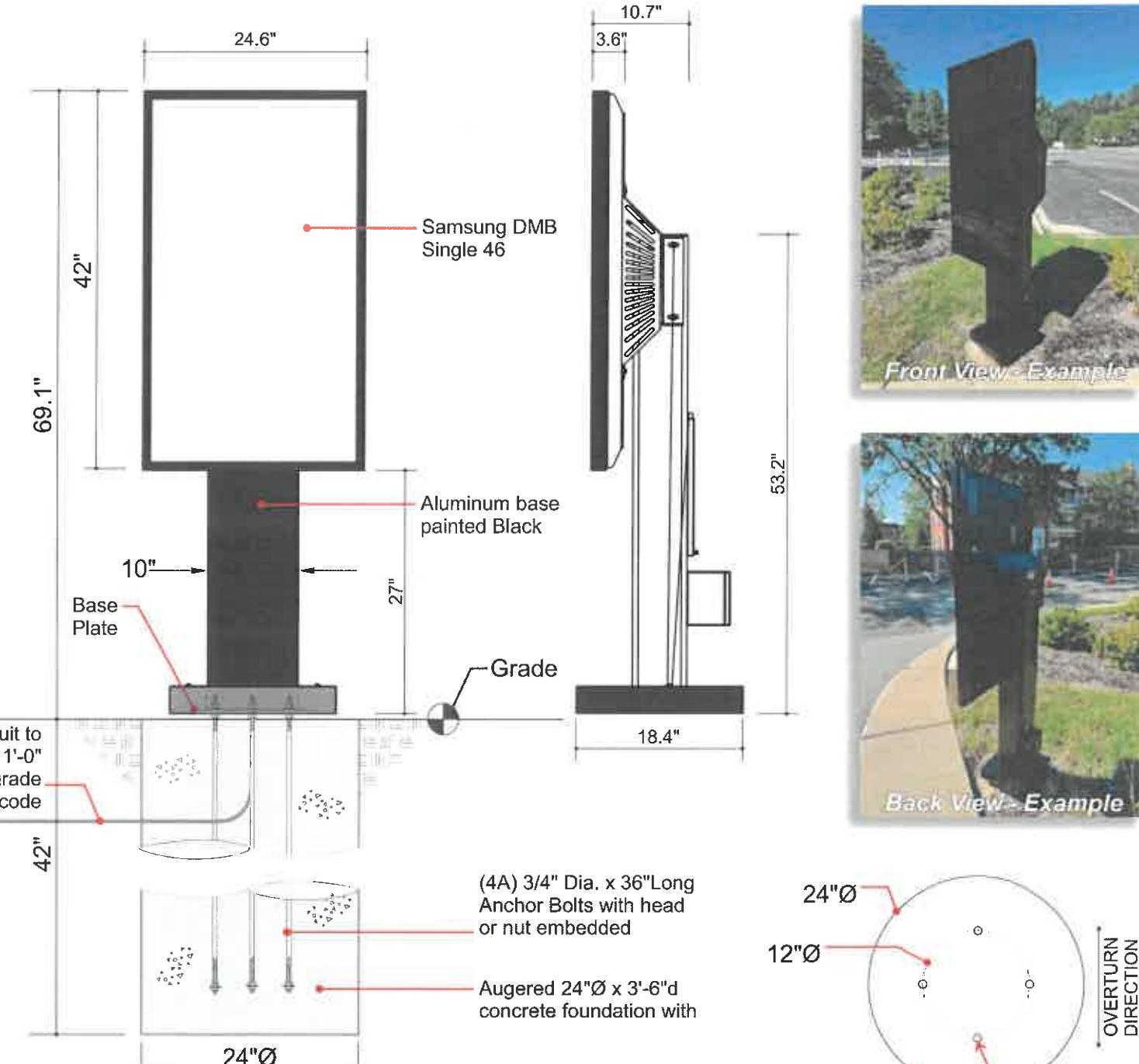
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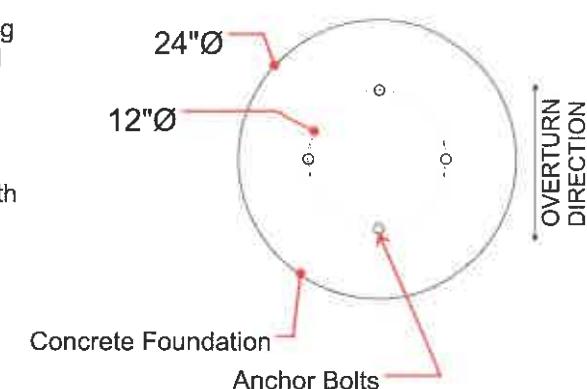
Portillo's
HOT DOGS · BEEF · BURGERS · SALADS

7195 Kingery Highway
Willowbrook, IL 60527



DIGITAL Pre-Sell Drive-Thru Menu Board -

Scale 3/4" = 1'-0"
Square Footage: 7.17



Foundation- Top View

Scale 3/4" = 1'-0"

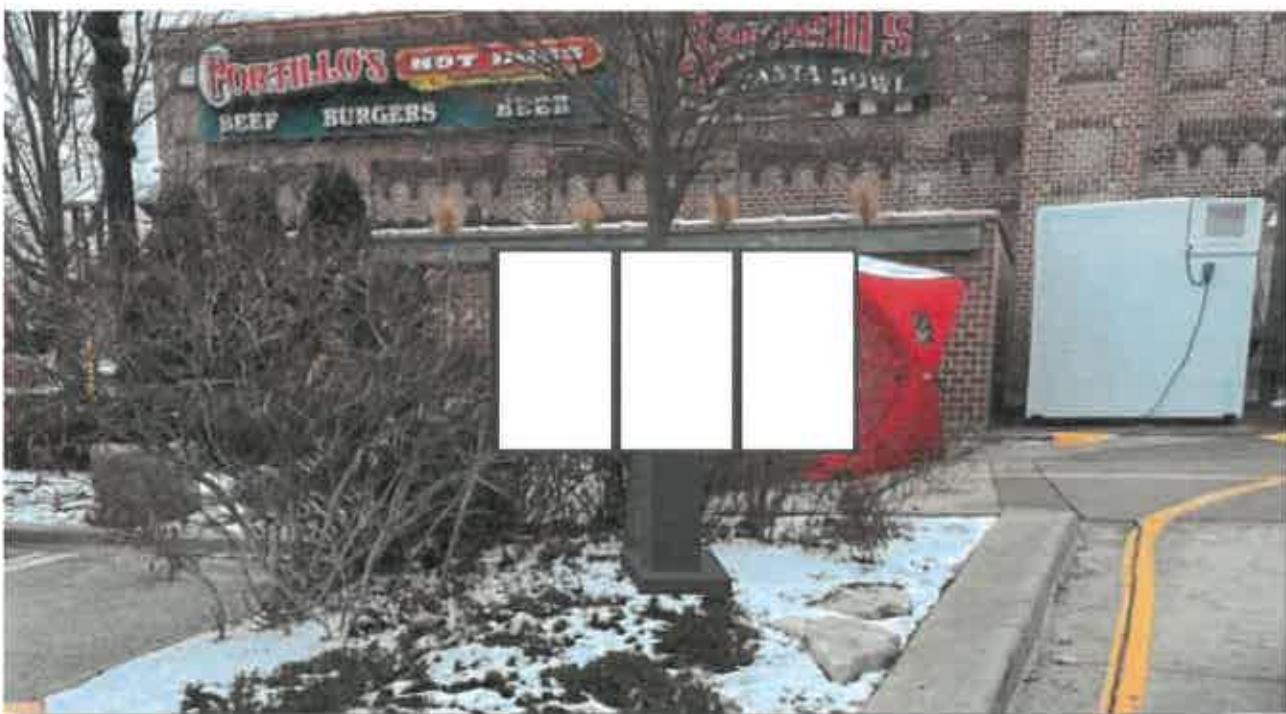
Comments:
• job#: 22-9338
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drawn by
PAMELA F

PRE-SELL MENU



Drive-Thru Elevation - Before



Drive-Thru Elevation - AFTER

OLYMPIK
SIGNS

1130 N. Garfield
Lombard, IL 60148

account representative
ROB WHITEHEAD

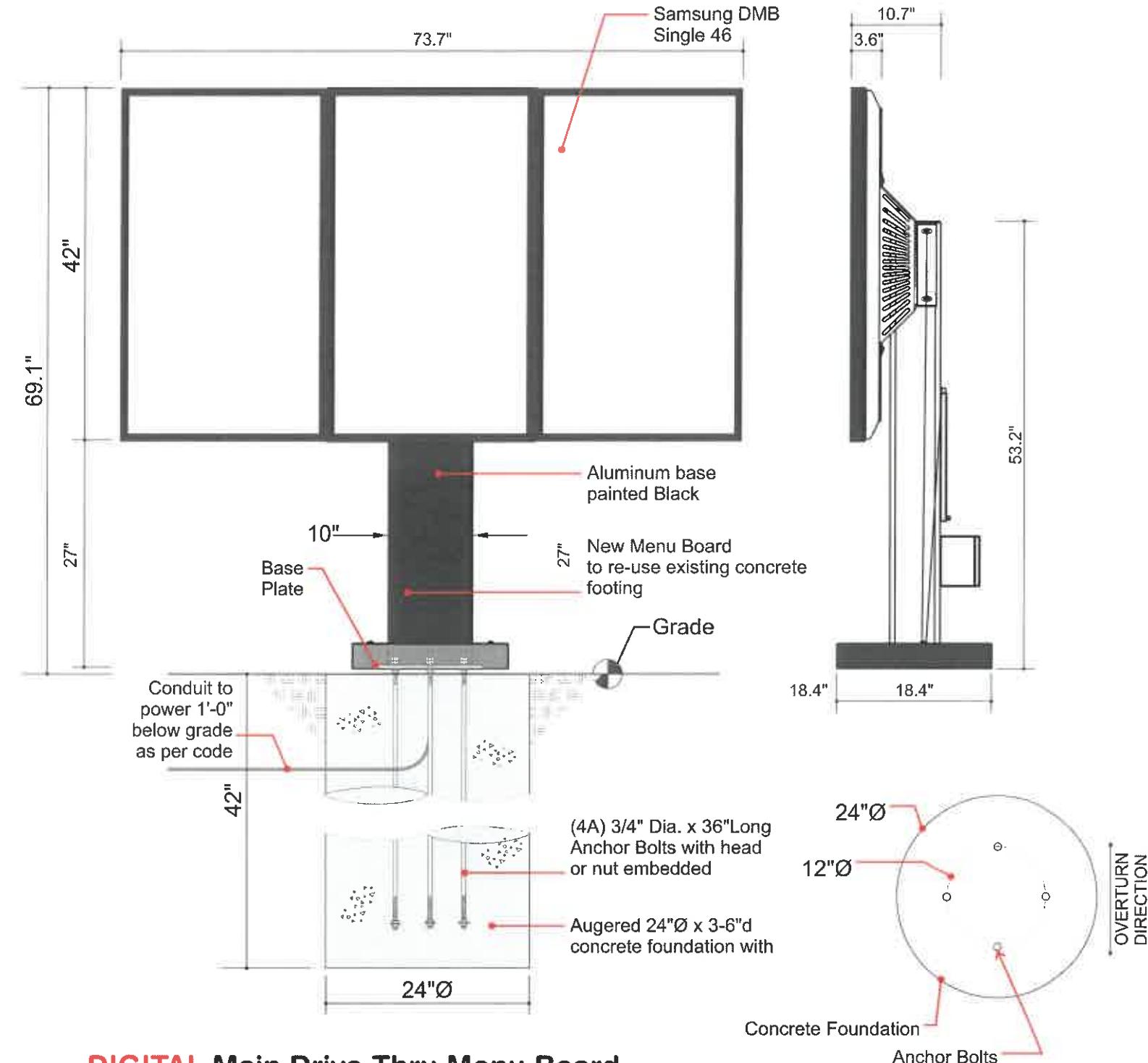
client
Ph.# 630.424.6100 Fx.# 630.424.6120

Portillo's

HOT DOGS · BEEF · BURGERS · SALADS

7195 Kingery Highway
Willowbrook, IL 60527

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drawn by
PAMELA F

• job#: 22-9338
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Comments: