

A G E N D A

MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, JULY 12, 2023 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS 60527.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes of April 5, 2023, Plan Commission Public Hearing
4. PLAN COMMISSION CONSIDERATION: Conceptual review and feedback for the development of Midway Park, located at 209 Midway Drive. The project is proposed by the Village of Willowbrook Parks and Recreation Department.
 - A. Discussion/Recommendation
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook

Staff Report to the Plan Commission

Public Hearing Date:	July 12, 2023		
Prepared By:	Michael Krol, Director of Community Development		
Case Title:	Discussion Case No. PC 23-03: Development of Midway Park proposal and feedback.		
Petitioner:	Village of Willowbrook, Parks and Recreation Department, Dustin Kleefisch.		
Action Requested by	Discussion and feedback regarding the Midway Park Project.		
Location:	209 Midway Drive, Willowbrook IL 60527		
PINs:	09-26-30-013 (209 Midway Drive)		
Existing Zoning:	I – Institutional District		
Proposed Zoning:	I – Institutional District		
Property Size:	2.13 acres		
Surrounding Land Use:	Use	Zoning	
North	Tony and Florence Borse Memorial Park	I	
East	Single Family Residential	R-1	
West	Single Family Residential	R-1	
South	Single-Family Residential	R-1	
Necessary Action by Plan Commission:	Discuss the Midway Park project and provide Village staff with feedback and recommendations.		



History & Background

Site Description

Midway Park opened in 1976 and is currently 2.13 acres of open grass space, and it was mainly utilized as a soccer and baseball field in the past. In June 2022, the Village of Willowbrook Parks and Recreation Comprehensive Planning Guide was updated to include development and improvements for all the Village Parks. The update plan describes Midway Park as an underdeveloped property that can provide different and unique recreational opportunities not present in the Village.

In early 2022 the Village completed a community-wide survey regarding the condition of all Village parks and programs offered by the Village. While the results from the survey showed that most residents who submitted their opinion held the department in high regard, there was a lack of amenities or programs available. After the survey and Master Plan were completed, staff began the process of evaluating where some of these amenities and components could be added to parks within the community. Midway Park was identified as an ideal location.

In January 2023, staff discussed a timeline and options with the Board of Trustees and received direction to begin communicating with the neighboring residents. As part of that Board presentation, staff proposed completing the Midway Park Improvement Project in 2023. On March 15, 2023, the Village hosted an Open House to gather feedback from the residents within the area.

Exhibit 1: Aerial View of the Subject Property





Development Proposal

The Midway Park concept plan is highlighted by the installation of a permeable paver parking lot to help with stormwater management, a fitness court, a covered pavilion with tables and restrooms, a multi-sports arena, a wiffleball diamond, a looped walking path, benches, bike racks, and a variety of landscaping areas with a mixture of evergreen trees, shade trees, prairie plantings, and green space.

Parking Lot Highlights:

The proposed parking lot is designed with permeable pavers for forty-five (45) cars. The parking lot meets the zoning code requirement of forty-foot (40') setbacks from the side property lines and fifteen feet (15') from the front property line. All the proposed parking spaces meet the Village minimum parking stall specifications and dimensions, including the two (2) required ADA parking spaces. The parking lot drive aisle width minimum is twenty-four feet (24') and island locations and plantings all meet the zoning requirements.

Pavilion:

The proposed pavilion dimensions are approximately 20' x 44'. The open-air pavilion will be a covered structure with picnic tables and will be equipped with 16' x 16' public restrooms and storage room. The pavilion will be available to rent for private parties for a small fee through the Parks and Recreation Department.

Fitness Court:

The Village of Willowbrook received grant money for the proposed fitness court that will be installed at Midway Park. The Fitness Court is an outdoor bodyweight circuit training center with functional fitness DNA. The best-in-class system provides a full-body workout to adults of all ability levels. With 7 functional fitness zones, the Fitness Court can be used in thousands of ways. There is even an app to track your progress.

Multi-Sport Court:

The multiple sport court measures approximately 48' x 38'. The court can be used for roller hockey in the summers and in the winter months the court will be an ice-skating rink.

Wiffle Ball Diamond:

A proposed wiffle ball diamond nicknamed "Old Comiskey" because of classic pinwheel electronic scoreboard, is equipped with dugout seating for two teams, and covered bleacher seating along the first and third baseline will be located at the south end of Midway Park. The wiffle ball field will be enclosed by a four foot (4') and a six foot (6') black coated chain link fence.

Hard Scape and Landscaping:

Solar lighting will be added around the parking lot and the five-foot (5') walking paths around the park, arborvitae, and native tree planting along with landscape beautification throughout the park will be installed (Estimated 50 trees installation - Fall 2023). The east and west property boundary of Midway Park will be screened by a variety of evergreen trees. There will also be a fence installed at the south end of the project to preclude any visitors from entering from that direction of the park. Bike racks will be added near the parking lot and benches are located around the park.



Staff Analysis

Appropriateness of Use

The property was rezoned to the I – Institutional District, during the Unified Development Ordinance (UDO) zoning code update, approved in January 2023. The I District allows for the development of parks and recreational areas as a permitted use. The zoning code is silent on the required number of parking spaces for a park; however, it is the staff's opinion that forty-five (45) parking spaces is adequate for the space. Parking overflow is located right across Midway Drive at Boris Park.

The parking lot setbacks, drive aisles, parking stalls, ADA spaces, and parking island landscaping all comply with the Unified Development Ordinance (UDO) and will be verified during the permitting and inspection process. No proposed structure is located closer than five feet (5') from the side property lines or within ten feet (10') from the rear property lines. No rezoning or zoning actions are required for the proposed Midway Park development.

Storm Water Management

Attachment labeled 3 and 4 of the plan packets are the Midway Park Improvement Project stormwater plans. From these renderings you will be able to identify stormwater and utility structures that will be added to the property as a result of the project. Novotny Engineering had a topography survey of the property done in the fall 2022 and these elevations are identified by the arrows on the renderings showing where water flow will go after grading. On the southside of the property there will be a storm sewer with three (3) catch basins then the storm sewer will run along the eastside of the property where there will be an additional three (3) catch basins that will carry all the stormwater to Midway Drive. In addition, there will be additional stormwater sewer under the permeable paver parking lot. There will be a perforated underdrain that leads to 4" PVC storm sewer pipe and remove the water to Midway Drive. Currently, there is an existing storm drain and natural swale along the northwest corner of the property. There will be a storm sewer that will be connected to this pipe which will carry water to a catch basin. All of the structures more than cover the stormwater for this project and the amenities that will be added to park property.

Staff Recommendation

Community Development Department staff has no objection to the proposed Midway Park Project. The proposed use is permitted and there are no zoning variations required as the parking lot, accessory structures, equipment locations, lighting, and landscaping meet the minimum requirements outlined in the Unified Development Ordinance (UDO).

Village staff has requested the Plan Commission provide comments and feedback pertaining to the Midway Park Project.

Documents Attached:

- Attachment 1: Concept Layout of Midway Park
- Attachment 2: Sheet C1 Site Plan (11x17)
- Attachment 3: Utility Plan by Novotny Engineering (11x17)
- Attachment 4: Grading and Utility Plan by Novotny Engineering (11x17)
- Attachment 5: Sheet C1.2 Site Furnishing Plan (11x17)
- Attachment 6: Sheet C1.3 Multi Sport Court Plan (11x17)
- Attachment 7: Sheet C2.0 Scoreboard Detail (11x17)
- Attachment 8: Sheet C2.2 Site Details (11x17)
- Attachment 9: Sheet L1.0 Landscape Plan (11x17)
- Attachment 10: Sheet S1.1 Pavilion Shelter Layout (11x17)



Attachment 1
Concept Layout of Midway Park



LEGEND

1 PERMEABLE PAVER PARKING LOT - 51 SPACES	5 PRAIRIE PLANTINGS	9 SHADE TREE	13 ON STREET PARKING
2 WIFFLEBALL DIAMOND	6 EVERGREEN SCREENING	10 SCOREBOARD	14 LOOPED WALKING PATH
4 38'X30' PAVILLION WITH PICNIC TABLES	7 BICYCLE RACKS	11 SHADE STRUCTURE WITH BLEACHERS	15 PROPERTY LINE
1 EXISTING MONUMENT SIGN WITH ENHANCED LANDSCAPING	8 BENCH	12 TEAM DUGOUT STRUCTURES	16 38'X38' SPORT COURT
			17 34'X50' MULTI-SPORT RINK

 **MIDWAY PARK** | VILLAGE OF WILLOWBROOK, IL
MAY 11, 2023

CONCEPT A
Kimley-Horn 



Attachment 2
Sheet C1 Site Plan (11x17)

Attachment 3
Utility Plan by Novotny Engineering (11x17)

Attachment 4
Grading and Utility Plan by Novotny Engineering (11x17)

Attachment 5
Sheet C1.2 Site Furnishing Plan (11x17)

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Sheet C1.3 Multi Sport Court Plan (11x17)

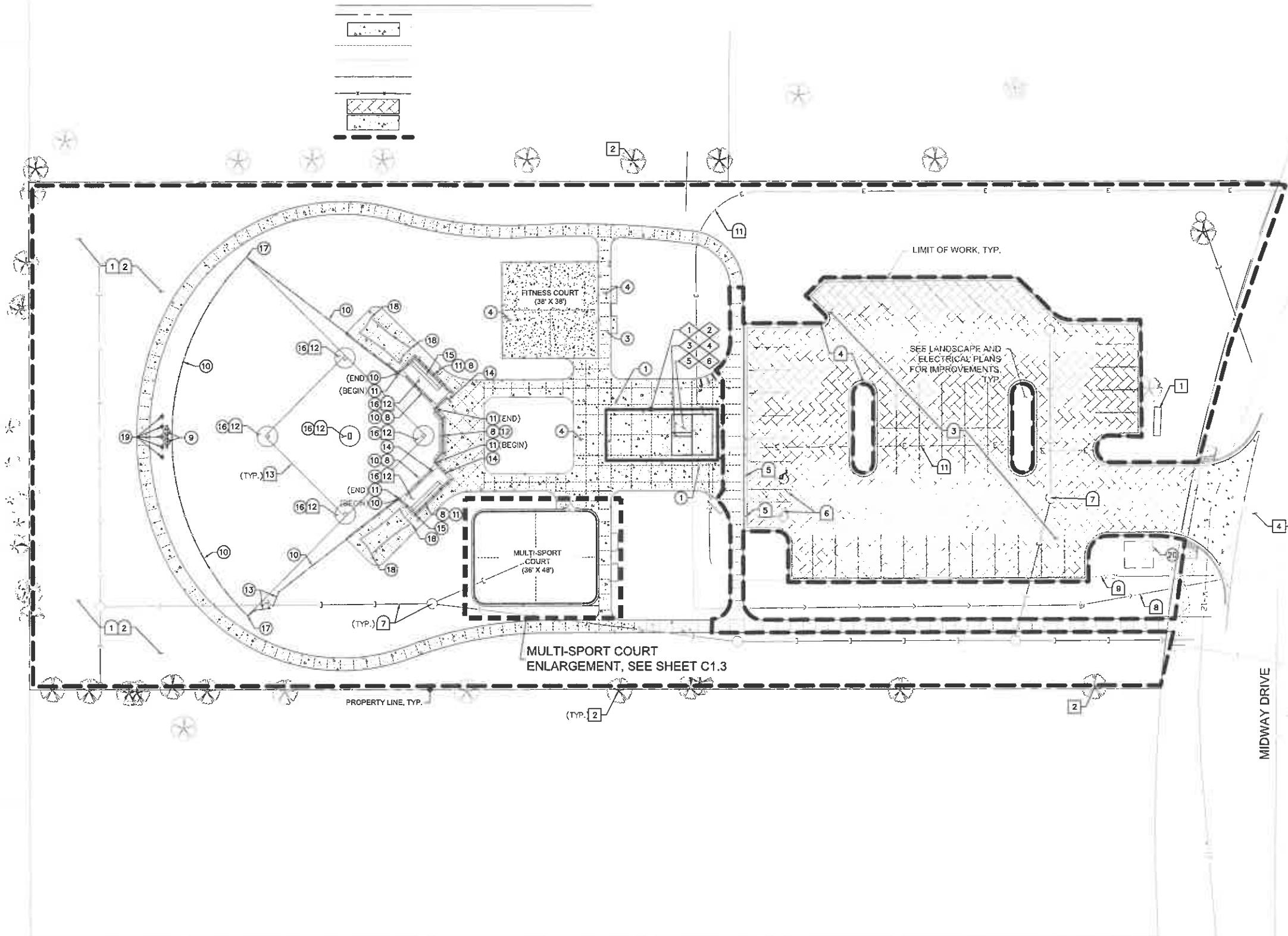
Attachment 7
Sheet C2.0 Scoreboard Detail (11x17)

Attachment 8:
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Attachment 9:
Sheet L1.0 Landscape Plan (11x17)

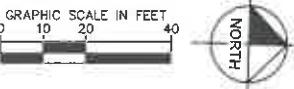
Attachment 10:
Sheet S1.1 Pavilion Shelter Layout (11x17)

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GENERAL NOTES

1. REFER TO ENGINEERING PLANS PREPARED BY NOVOTNY ENGINEERING INC. FOR GRADING, EARTHWORK, PARKING LOT PAVING, & UTILITY PLANS.
2. CONTRACTOR TO COORDINATE WITH ALL OTHER CONTRACTORS AND TRADES FOR SITE IMPROVEMENTS.
3. CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY WITH ANY DISCREPANCIES FROM THE PLANS FOUND IN THE FIELD.
4. CONTRACTOR TO EXCAVATE AND DISPOSE OF SUBGRADE MATERIAL AS NECESSARY TO ACCOMMODATE SHOWN CONCRETE IMPROVEMENTS. CONTRACTOR IS TO BACKFILL ANY OVER-EXCAVATED SUBGRADE AS A RESULT OF THE CONCRETE IMPROVEMENTS TO BRING THE SUBGRADE BACK TO SUBGRADE ELEVATION PROVIDED, BY OTHERS.



PROTECT IN PLACE NOTES

- 1 EXISTING MONUMENT SIGN, PROTECT IN PLACE
- 2 EXISTING VEGETATION, PROTECT IN PLACE TYP.
- 3 (NOT USED)
- 4 EXISTING PAVEMENT, PROTECT IN PLACE TYP.
- 5 EXISTING ELECTRICAL TRANSFORMER, PROTECT IN PLACE

BY OTHERS NOTES

- 1 ROUGH GRADING, EXPORT AND TOPSOIL STRIP FOR ENTIRE SITE (BY OTHERS, NOT IN CONTRACT) EXCEPT FOR EXPORT REQUIRED FOR SHOWN CONCRETE IMPROVEMENTS, TYP.
- 2 FINE GRADING AND TOPSOIL SPREAD FOR ENTIRE SITE (BY OTHERS, NOT IN CONTRACT), TYP.
- 3 PERMEABLE PAVER PARKING LOT & AGGREGATE BASE (BY OTHERS, NOT IN CONTRACT), TYP.
- 4 CONCRETE CURB & GUTTER (BY OTHERS, NOT IN CONTRACT), TYP.
- 5 ADA SIGNAGE (BY OTHERS, NOT IN CONTRACT), TYP.
- 6 STRIPING (BY OTHERS, NOT IN CONTRACT), TYP.
- 7 STORM DRAIN LINES (BY OTHERS, NOT IN CONTRACT), TYP.
- 8 SEWER DRAIN LINES (BY OTHERS, NOT IN CONTRACT), TYP.
- 9 DOMESTIC WATER LINE (BY OTHERS, NOT IN CONTRACT), TYP.
- 11 ELECTRICAL CONDUIT (BY OTHERS, NOT IN CONTRACT), TYP.
- 12 INFIL MIX 4" DEPTH (OWNER TO FURNISH & INSTALL)
- 13 BALLFIELD STRIPING (OWNER TO FURNISH & INSTALL)

CONSTRUCTION NOTES

- 1 EXPANSION JOINT PER DETAIL 2 ON SHEET C2.0.
- 2 (NOT USED)
- 3 SAWCUT SIDEWALK PER DETAIL 2 ON SHEET C2.0.
- 4 CONSTRUCT 5" THICK CONCRETE SIDEWALK PER DETAIL 1 ON SHEET C2.0.
- 5 (NOT USED)
- 6 (NOT USED)
- 7 (NOT USED)
- 8 CONSTRUCT CONCRETE MOW CURB, SEE DETAIL 2 ON SHEET C2.4.
- 9 CONSTRUCT SCOREBOARD CONCRETE FOOTINGS, SEE DETAIL 5 ON SHEET C2.0.
- 10 CONSTRUCT 4' HT. BLACK VINYL CHAIN LINK FENCE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.3.
- 11 CONSTRUCT 6' HT. BLACK VINYL CHAIN LINK FENCE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.3.
- 12 CONSTRUCT 14' HT. BLACK VINYL CHAIN LINK BACKSTOP INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.4.
- 13 CONSTRUCT TWO 6' WIDE X 4' HT. BLACK VINYL SWING GATES, SEE DETAIL 9 ON SHEET C2.3.
- 14 CONSTRUCT BLACK VINYL DUGOUT GATE, SEE DETAIL 8 ON SHEET C2.3.
- 15 CONSTRUCT PREFABRICATED DUGOUT INCLUDING CONCRETE FOOTINGS, SEE DETAILS ON SHEET C3.0 - C3.3
- 16 COMPACT AND PREPARE SUBGRADE TO RECEIVE INFIL MIX (BY OTHERS, NOT IN CONTRACT)
- 17 INSTALL GROUND SLEEVE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 8 ON SHEET C2.0
- 18 CONSTRUCT SHADE STRUCTURE CONCRETE FOOTINGS, SEE DETAIL 9 ON SHEET C2.0
- 19 CONSTRUCT PINWHEEL FOOTING PER POLE MANUFACTURER RECOMMENDATIONS.
- 20 PROVIDE TEMPORARY CONCRETE WASHOUT FOR DURATION OF PROJECT.

SHELTER NOTES

- 1 CONSTRUCT & INSTALL SHELTER (FURNISHED BY OWNER) INCLUDING BUT NOT LIMITED TO ALL REQUIRED ELECTRICAL, PLUMBING, ROOFING, CARPENTRY, MASONRY, AND CONCRETE FOOTINGS, COMPLETE IN PLACE. SEE SHELTER PLANS ON SHEET S1.0
- 2 EXCAVATE AND DISPOSE OF SUBGRADE, COMPACT SUBGRADE, FURNISH AND INSTALL COMPACTED AGGREGATE BASE, CONSTRUCT CONCRETE SHELTER SLAB, CONCRETE PIER FOOTINGS, AND BUILDING CONCRETE FOUNDATION FOOTINGS, SEE SHELTER STRUCTURAL DETAILS ON SHEET S1.0
- 3 INSTALL SHELTER PLUMBING FIXTURES (FURNISHED BY OWNER), SEE SHELTER DETAILS FOR PLUMBING FURNISHING SCHEDULE
- 4 FURNISH AND INSTALL ALL REQUIRED PLUMBING MATERIAL INCLUDING BUT NOT LIMITED TO PIPING, UNIONS, VALVES, SLEEVES, HARDWARE, AND ASSOCIATED APPURTENANCES ETC., COMPLETE IN PLACE
- 5 INSTALL SHELTER ELECTRICAL FIXTURES (FURNISHED BY OWNER), SEE SHELTER DETAILS FOR ELECTRICAL FURNISHING SCHEDULE
- 6 FURNISH AND INSTALL ALL REQUIRED ELECTRICAL MATERIAL INCLUDING BUT NOT LIMITED TO, CONDUIT, SWEEPS, JUNCTION BOXES, OUTLETS, SWITCHES, WIRE AND ASSOCIATED APPURTENANCES ETC., COMPLETE IN PLACE

MIDWAY PARK
209 MIDWAY DRIVE
WILLOWBROOK, IL

SITE PLAN
VILLAGE OF WILLOWBROOK

ORIGINAL ISSUE:
03/20/23
KHA PROJECT NO.
268329001
SHEET NUMBER

C1.0
BID SET

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
SUITE 200, 4201 WHITFIELD ROAD
WILLOWBROOK, IL 60553

SCALE: AS NOTED
DESIGNED BY:
DRAWN BY:
CHECKED BY:
LICENCED LANDSCAPE ARCHITECT
JOSEPH COGSWELL
1107-001709
STATE OF ILLINOIS
EXPIRATION: 8/31/23



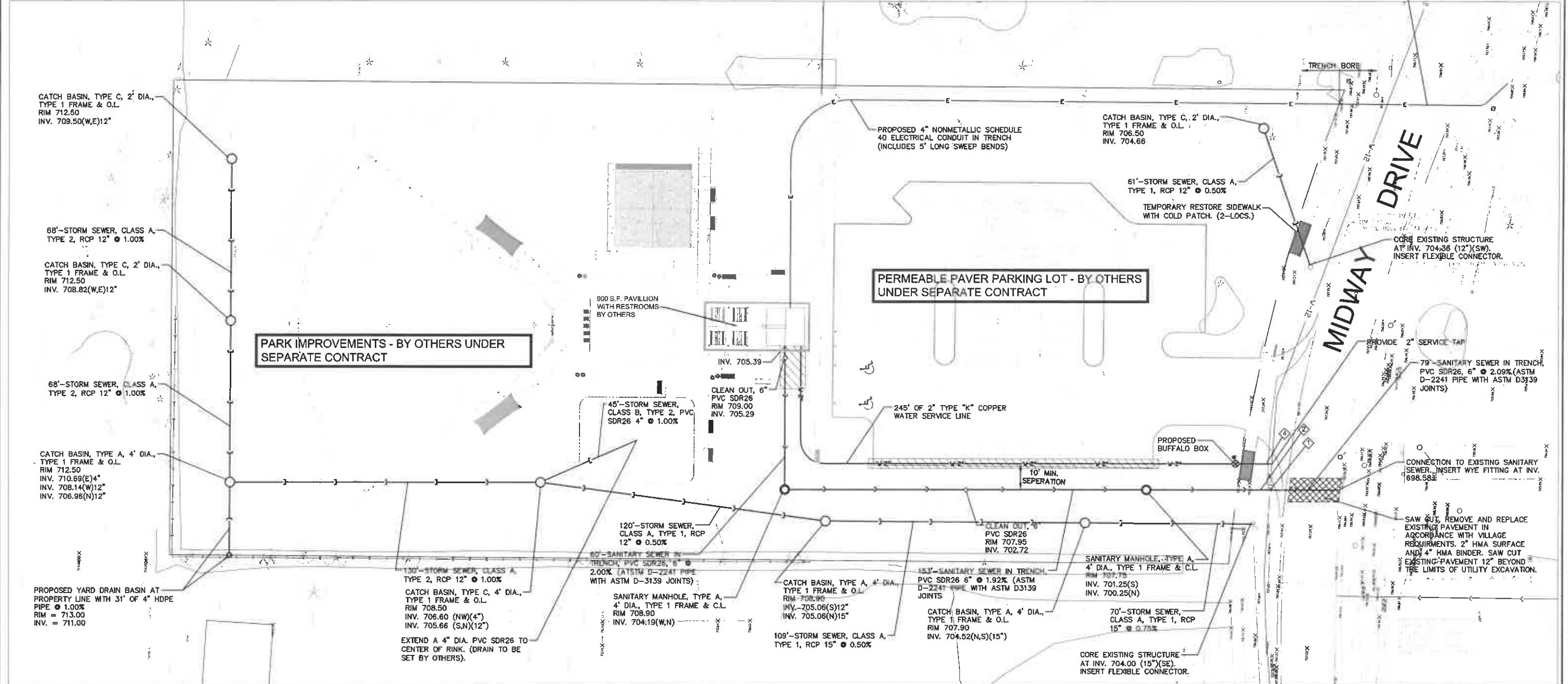
W

WILLOWBROOK

DATE: BY
REVISIONS
No.

PROPOSED 4" NONMETALLIC SCHEDULE 40
ELECTRICAL CONDUIT DIRECTIONALLY BORED
AND PULLED UNDER ROAD AND SIDEWALK

PLAN SCALE
HORZ: 1"=20'



PROPOSED UTILITY CROSSINGS	
1	BOTTOM OF 12" WATER 700.58±
2	TOP OF 6" SANITARY 699.55
3	BOTTOM OF 15" STORM 704.02
4	TOP OF 6" SANITARY 699.64
5	BOTTOM OF 4" STORM 705.90
6	TOP OF 6" SANITARY 702.27
7	BOTTOM OF 15" STORM 704.00
8	TOP OF 2" WATER 702.00
9	BOTTOM OF 4" STORM 705.90
10	TOP OF 2" WATER 702.50

1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.

2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS \pm , THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE \pm GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.

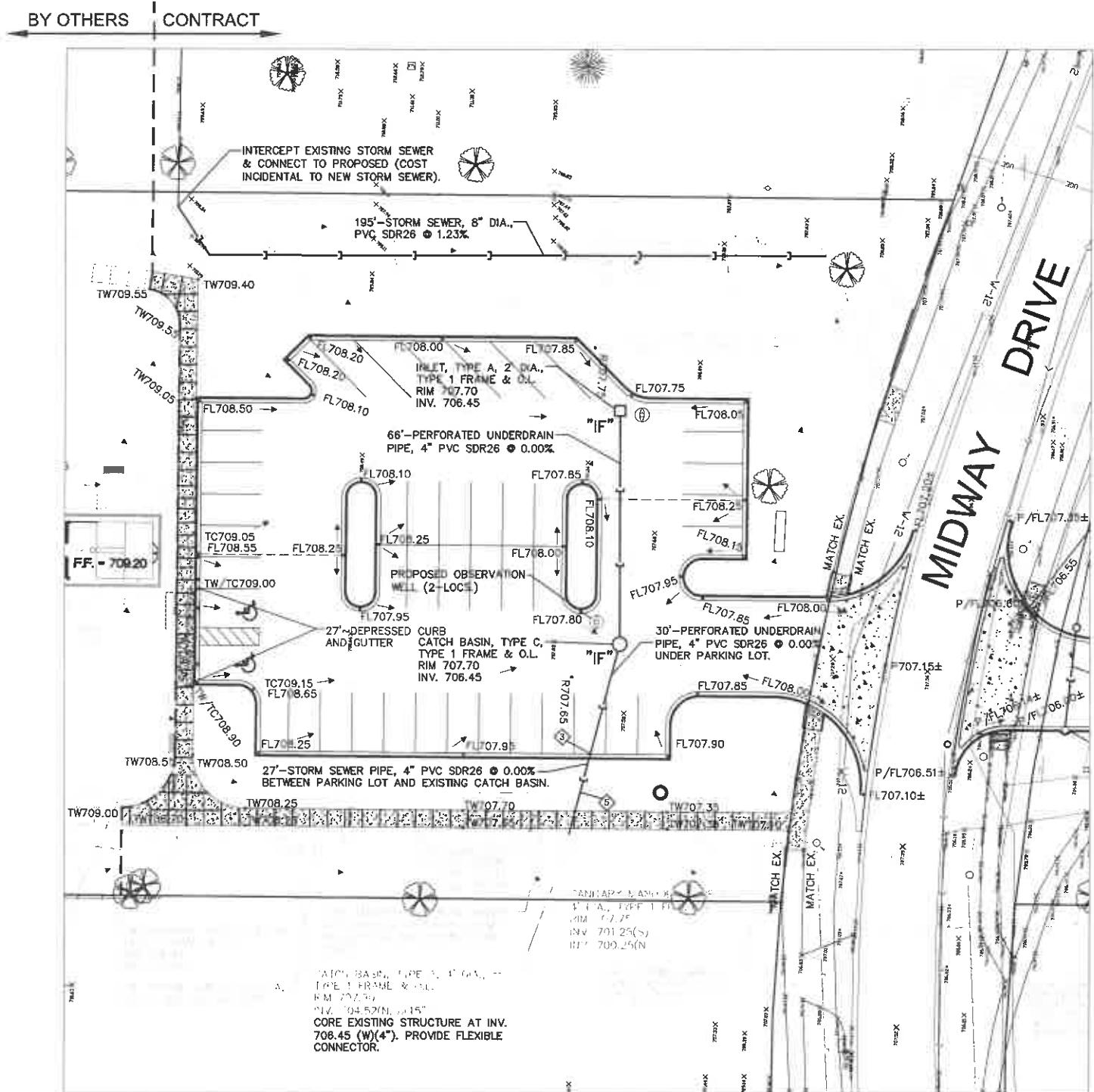
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO DRAINAGE SCUPPERS, PIPES, AND LANDSCAPING.

GRADING AND UTILITY PLAN NOTES:

1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS \pm , THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE \pm GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVEMENT, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO DRAINAGE SCUPPERS, PIPES, AND LANDSCAPING.

GRADING & UTILTY LEGEND

PAVEMENT/PAVER ELEVATION	P
MATCH EXISTING ELEVATION	ME
GROUND ELEVATION	G
TOP OF WALK ELEVATION	TW
TOP OF RETAINING WALL ELEV.	WALL
FLOW LINE ELEVATION	FL
TOP OF CURB ELEVATION	TC
INLET FILTER PROTECTION	"IF"



PROPOSED UTILITY CROSSINGS

①	BOTTOM OF 12" WATER	700.50
②	TOP OF 6" SANITARY	639.55
③	BOTTOM OF 15" STORM	704.02
④	TOP OF 6" SANITARY	699.64
⑤	BOTTOM OF 4" STORM	706.45
⑥	TOP OF 2" WATER	702.50
⑦	BOTTOM OF 15" WATER	701.00
⑧	TOP OF 2" WATER	702.00
⑨	BOTTOM OF 4" STORM	706.45
⑩	TOP OF 6" SANITARY	702.50

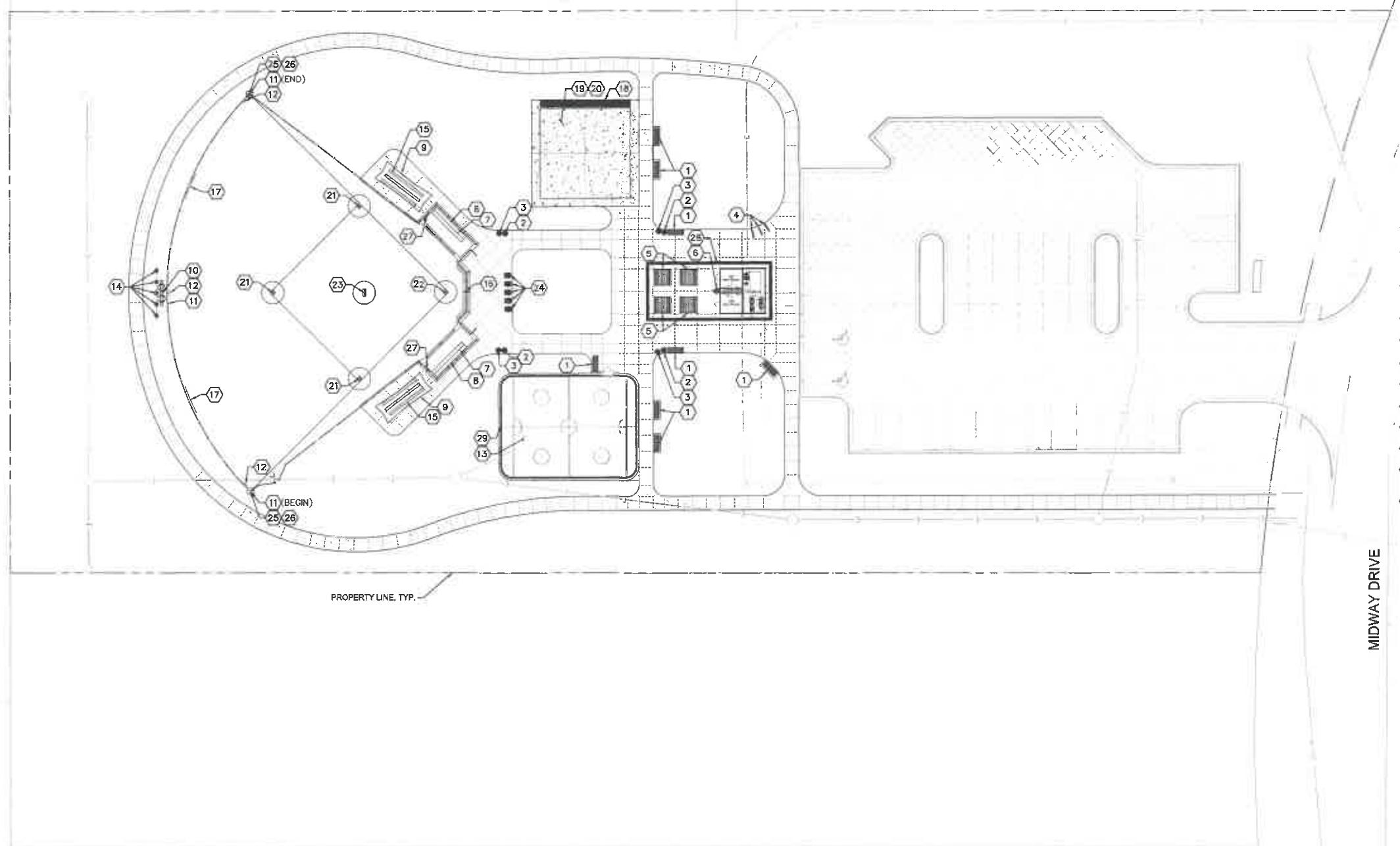
NOTE: EXISTING EROSION CONTROL MEASURES, EXCEPT FOR INLET FILTER PROTECTION WILL BE PROVIDED (BY OTHERS) BEFORE CONSTRUCTION OF THE PERMEABLE PAVER PARKING LOT.

R E V I S I O N S

GRADING & UTILITY PLAN

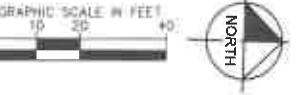
GRADING & UTILITY PLAN - MIDWAY PARK

JECT NO. 23138	SCALE NOTED	SHEET 8
NN/DESIGNED RAR/MCH	DATE JULY, 2023	OF 17
CKED/APPROVED JEF/JEF	FIELD BOOK NO. FILE	SHEETS



GENERAL NOTES

- REFER TO ENGINEERING PLANS PREPARED BY NOVOTNY ENGINEERING INC. FOR GRADING, EARTHWORK, PARKING LOT PAVING, & UTILITY PLANS.
- CONTRACTOR TO COORDINATE WITH ALL OTHER CONTRACTORS AND TRADES FOR SITE IMPROVEMENTS.
- CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY WITH ANY DISCREPANCIES FROM THE PLANS FOUND IN THE FIELD.



SITE FURNISHING NOTES

- INSTALL BENCH, SEE DETAIL 3 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL LITTER RECEPTACLE, SEE DETAIL 5 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL RECYCLING RECEPTACLE, SEE DETAIL 5 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL BIKE RACK, SEE DETAIL 4 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL PICNIC TABLE, SEE DETAIL 1 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL DRINKING FOUNTAIN, SEE DETAIL 18 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL DUGOUT BENCH, SEE DETAIL 13 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL PREFABRICATED DUGOUT, SEE DETAILS ON SHEETS C3.0 – C3.3 (FURNISHED BY OWNER).
- INSTALL SHADE STRUCTURE, SEE DETAIL 17 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL SCOREBOARD, SEE DETAIL 6 ON SHEET C2.0 (FURNISHED BY OWNER).
- INSTALL OUTFIELD FENCE CAP PER MNFR. RECOMMENDATIONS, SEE DETAIL 12 ON SHEET C2.2 (FURNISHED BY OWNER).
- OUTFIELD DISTANCE MARKER SIGNS TO BE INSTALLED BY OWNER, SEE DETAIL 10 ON SHEET C2.2 (NOT IN CONTRACT).
- INSTALL 1'x1' FLOATING SPORT COURT TILE, SEE DETAIL 15 ON SHEET C2.2 (FURNISHED BY OWNER).
- FABRICATE AND INSTALL "COMISKY" PINWHEELS (COMPLETE-IN-PLACE), SEE DETAIL 3 ON SHEET C2.0.
- INSTALL ALUMINUM BLEACHERS, SEE DETAIL 14 ON SHEET C2.2 (FURNISHED BY OWNER).
- FURNISH AND INSTALL BACKSTOP AND PLANKING, SEE DETAIL 1 ON SHEET C2.4.
- VINYL BANNER (OWNER TO FURNISH & INSTALL, NOT IN CONTRACT).
- INSTALL FITNESS COURT TILED EXERCISE FLOOR AREA PER MNFR. RECOMMENDATIONS, SEE DETAIL 17 ON SHEET C2.3 (FURNISHED BY OWNER).
- INSTALL FITNESS COURT BODY WEIGHT TRAINING WALL INSTALLATION AREA PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER) SEE DETAIL 16 ON SHEET C2.2.
- SURFACE MOUNT AND INSTALL FITNESS COURT EXERCISE EQUIPMENT PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER) SEE DETAIL 16 ON SHEET C2.2.
- INSTALL BASEBALL BASES & ANCHOR SLEEVES (FURNISHED BY OWNER) SEE DETAIL 8 ON SHEET C2.2.
- INSTALL HOME PLATE & ANCHOR SLEEVES (FURNISHED BY OWNER) SEE DETAIL 9 ON SHEET C2.2.
- INSTALL PITCHING RUBBER (FURNISHED BY OWNER) SEE DETAIL 6 ON SHEET C2.2.
- INSTALL CHAIRS, SEE DETAIL 2 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL FOUL POLE, SEE DETAIL 11 ON SHEET C2.2 (FURNISHED BY OWNER).
- INSTALL GROUND SLEEVES FOR FOUL POLE, (FURNISHED BY OWNER) SEE DETAIL 8 ON SHEET C2.0.
- BALL & BAT HOLDER (FURNISHED BY OWNER) SEE DETAIL 7 ON SHEET C2.0.
- INSTALL & CONSTRUCT SHELTER PER MNFR. RECOMMENDATIONS, COMPLETE IN PLACE (FURNISHED BY OWNER) SEE DETAILS ON SHEETS S1.0 – S1.0.
- INSTALL RINK PER MNFR. RECOMMENDATIONS, COMPLETE IN PLACE (FURNISHED BY OWNER) SEE DETAILS ON SHEET C2.1.

MIDWAY PARK SITE FURNISHING PLAN
209 MIDWAY DRIVE
WILLOWBROOK, IL

ORIGINAL ISSUE: 03/20/23
KHA PROJECT NO. 268329001
SHEET NUMBER

C1.2

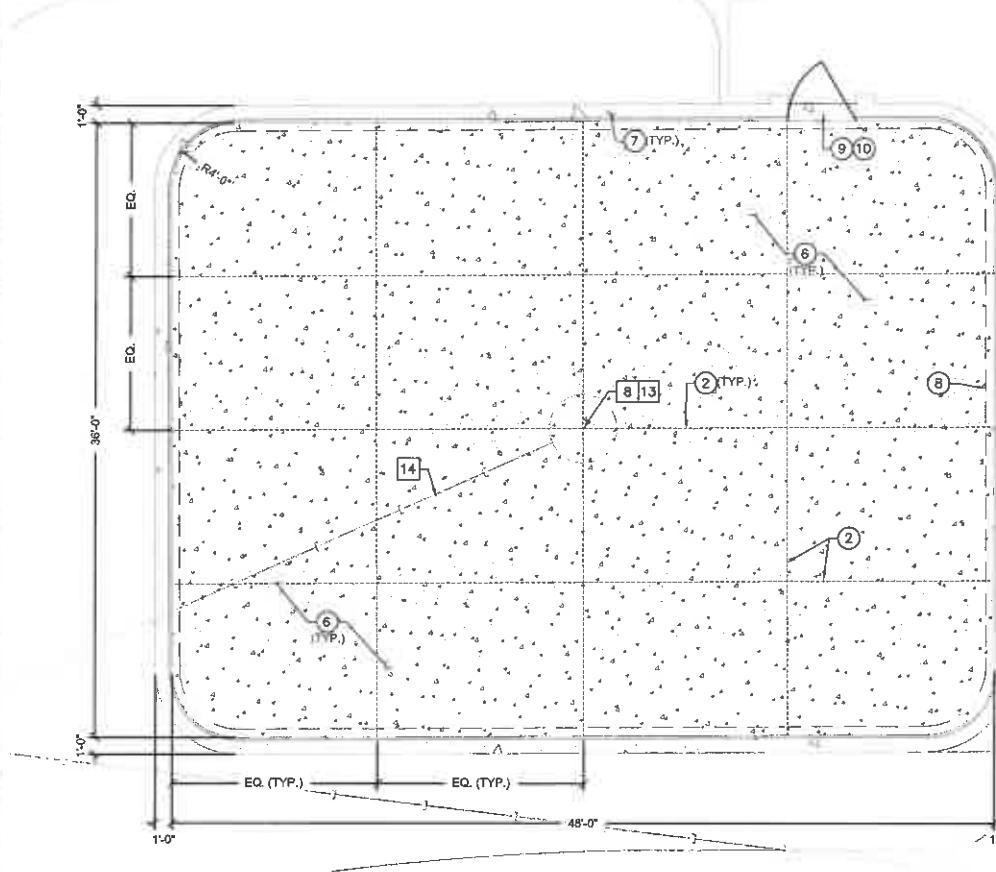
BID SET

Kimley Horn
• 2023 WILLY HORN AND ASSOCIATES, INC.
STATE 600-420 WILLY HORN ROAD
WILLY HORN, IL 60555

SCALE: AS NOTED
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]



No. REVISIONS
DATE BY

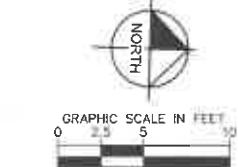


PLUMBING UTILITY NOTES

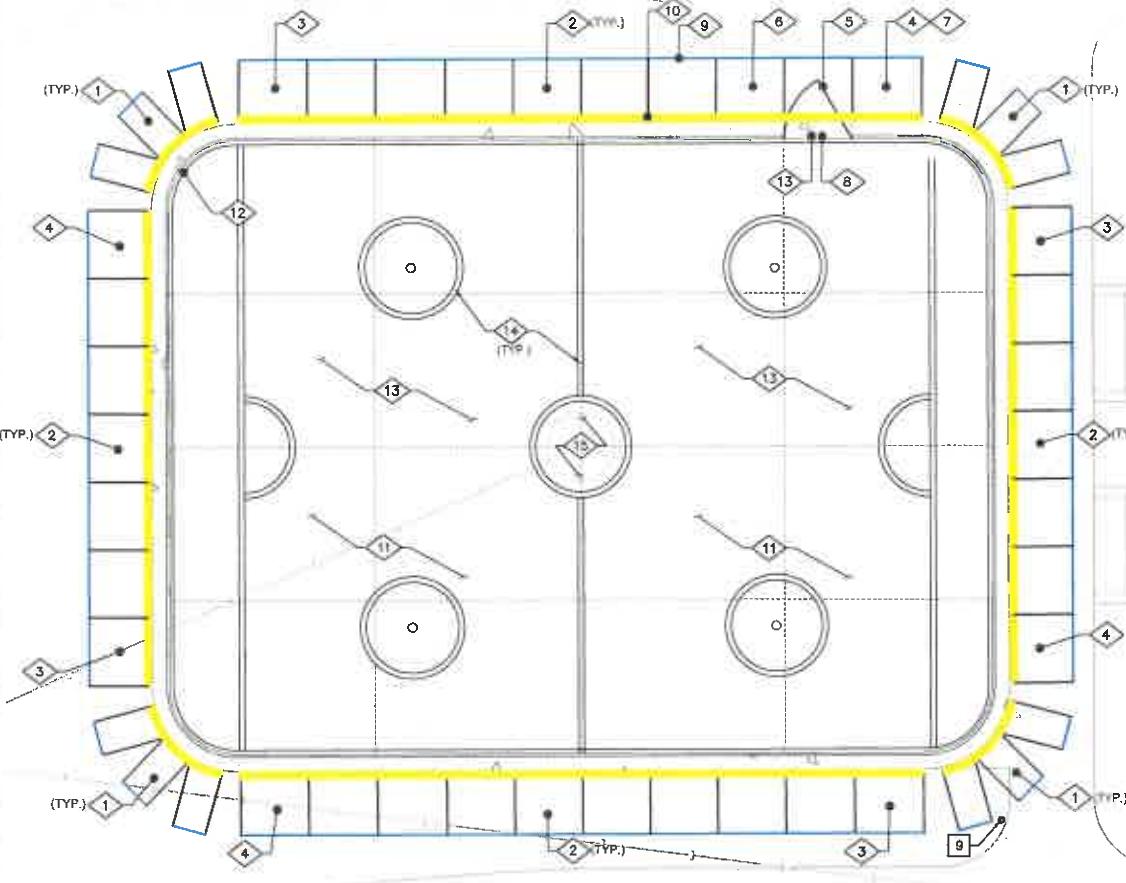
- 8 FURNISH AND INSTALL DRAIN INLET, SEE DETAIL 5 ON SHEET C2.1
- 13 CONNECT DRAIN INLET TO DRAIN LINE (BY OTHERS) REFER TO PLANS PREPARED BY NOVOTNY ENGINEERS, INC.
- 14 DRAIN LINE (BY OTHERS)

CONSTRUCTION NOTES

- 2 SAWCUT ATHLETIC COURT PER DETAIL 2 ON SHEET C2.0 CONTRACTOR TO FURNISH AND INSTALL WATERPROOF JOINT SEALANT TO SAWCUT CRACKS. THE INTENT IS TO FLOOD THE COURT AND MINIMIZE POTENTIAL LEAKS. SUBMIT PRODUCT FOR REVIEW AND APPROVAL.
- 6 CONSTRUCT 6" THICK CONCRETE MULTI-USE COURT WITH #4 REBAR @ 16" O.C. EACH WAY AT MID-DEPTH OF SLAB OVER 6" OF #6 AGGREGATE BASE COMPACTED TO 95% PROCTOR DENSITY PER ASTM D1557. SUBGRADE TO BE PREPARED AND COMPACTED TO 95% PROCTOR DENSITY. SEE DETAIL 1 ON SHEET C2.1.
- 7 CONSTRUCT 12" WIDE CONCRETE MULTI-USE COURT PERIMETER CURB WITH #4 REBARS OVER 6" AGGREGATE BASE COMPACTED TO 95% PROCTOR DENSITY. SUBGRADE TO BE PREPARED AND COMPACTED TO 95% PROCTOR DENSITY. SEE DETAIL 3 ON SHEET C2.1.
- 8 CONSTRUCT CONCRETE MULTI-USE COURT THICKENED EDGE WITH #4 REBARS OVER 6" AGGREGATE BASE COMPACTED TO 95% PROCTOR DENSITY. SUBGRADE TO BE PREPARED AND COMPACTED TO 95% PROCTOR DENSITY. SEE DETAIL 2 ON SHEET C2.1.
- 9 CONSTRUCT CONCRETE MULTI-USE COURT FLUSH CURB WITH #4 REBARS OVER 6" AGGREGATE BASE COMPACTED TO 95% PROCTOR DENSITY. SUBGRADE TO BE PREPARED AND COMPACTED TO 95% PROCTOR DENSITY. SEE DETAIL 4 ON SHEET C2.1.
- 10 FABRICATE ICE DAM AND AFFIX TO FLUSH CURB WITH (2) ANCHOR BOLTS, SEE DETAIL 4 ON SHEET C2.1.

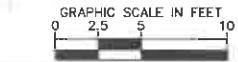


MULTI SPORT COURT ENLARGEMENT "A"



MULTISPORT COURT NOTES

- 1 INSTALL 42" HT. RADIUS ROUND WHITE BOARD(S) WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 2 INSTALL 42" HT. STRAIGHT WHITE BOARD(S) WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 3 INSTALL 42" HT. STRAIGHT (MALE END) WHITE BOARD WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 4 INSTALL 42" HT. STRAIGHT (FEMALE END) WHITE BOARD WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 5 INSTALL 42" HT. WHITE DOOR WITH SELF CLOSING DOOR LATCH AND DOOR CATCH (FURNISHED BY OWNER)
- 6 INSTALL 42" HT. DOOR RIGHT BOARD WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 7 INSTALL 42" HT. DOOR LEFT BOARD WITH "TALL" BRACKET (FURNISHED BY OWNER)
- 8 INSTALL 4" HT. THRESHOLD AT DOOR (FURNISHED BY OWNER)
- 9 INSTALL BLUE CAP RAIL (FURNISHED BY OWNER)
- 10 INSTALL YELLOW KICK BOARD (FURNISHED BY OWNER)
- 11 INSTALL FLOATING SPORT COURT 1'x1' TILE
- 12 TRIM FLOATING SPORT COURT 1'x1' TILE AS NECESSARY AT PERIMETER CURB
- 13 PREP AND PAINT CONCRETE SURFACE, SEE DETAIL 1 ON SHEET C2.1
- 14 PAINT TWO COATS OF 4" WIDE STRIPING ON FLOATING SPORT COURT TILE, COLOR: RED
- 15 PAINT TWO COATS OF THE "W" FROM THE VILLAGE OF WILLOWBROOK LOGO, COLOR: WHITE



MULTI SPORT COURT ENLARGEMENT "B"

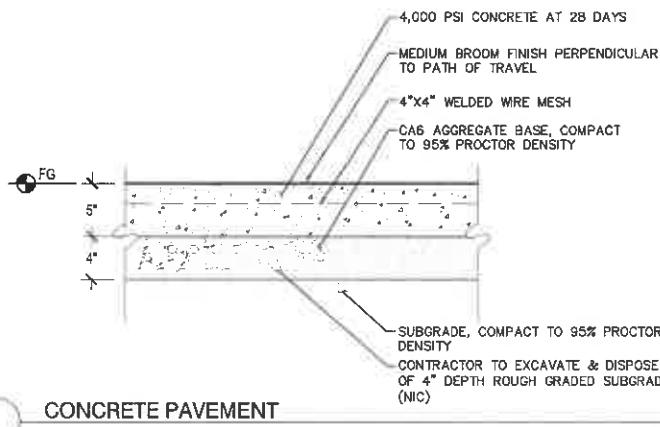
SITE FURNISHING SCHEDULE							
ITEM	DESCRIPTION	QTY.	UNIT	MNFR.	MODEL	FINISH	CONSTRUCTION NOTES
1	BENCH	8	EA	MAGLIN*	510 BACKED SURFACE MOUNT MBE-0510-00010	ALL STEEL, FRONT TO BACK SLATS COLOR - BLACK	CONTRACTOR TO INSTALL BENCH (FURNISHED BY OWNER)
2	LITTER/RECYCLING RECEPTACLE	6	EA	BELSON*	H121G WITH DOME LID	RECYCLED PLASTIC - BROWN DOME LID - GREEN	CONTRACTOR TO INSTALL LITTER RECEPTACLE (FURNISHED BY OWNER)
4	BIKE RACK	3	EA	DUO-GUARD*	OMEGA BIKE RACK SURFACE MOUNT	STAINLESS STEEL	CONTRACTOR TO INSTALL BIKE RACK (FURNISHED BY OWNER)
5	PICNIC TABLE	4	EA	MAGLIN*	T20 W/2 BENCHES SURFACE MOUNT (2) MMP-0720-0002 (2) MMP-0720-00072 (W GAME BOARDS)	IPE WOOD	CONTRACTOR TO INSTALL PICNIC TABLE (FURNISHED BY OWNER)
6	DRINKING FOUNTAIN	1	EA	BEACON ATHLETICS*	MOST DISPENDABLE FOUNTAINS*	GREEN	CONTRACTOR TO INSTALL DRINKING FOUNTAIN (FURNISHED BY OWNER) AND PLUMB SUPPLY/DRAIN LINES
7	PREFABRICATED DUG OUT BENCH (7.5' WIDE X 20' LENGTH)	4	EA	BEACON ATHLETICS*	ELITE DUGOUT BENCH 115-855-005*	WILLOWBROOK GREEN AND "W" LOGO	CONTRACTOR TO INSTALL DUG OUT BENCH (FURNISHED BY OWNER)
8	PREFABRICATED DUGOUT (6' WIDE X 20' LENGTH)	2	EA	BEACON ATHLETICS*	PREMIUM TEAM DUGOUT	FRAME AND HARDWARE - BLACK ROOF - FOREST GREEN	CONTRACTOR TO INSTALL AND CONSTRUCT CONCRETE FOOTINGS (FURNISHED BY OWNER)
9	SHADE STRUCTURE	2	EA	SHADE SYSTEMS*	SINGLE CANTILEVER 21'x16'	ROOF: BLUE FRAME: BLACK	CONTRACTOR TO INSTALL & CONSTRUCT REINFORCED CONCRETE FOOTINGS (FURNISHED BY OWNER)
10	SCOREBOARD (4' HEIGHT X 9' WIDE X 8" THICK)	1	EA	DAKTRONICS*	BA-2518 WITH NAME/LOGO "WILLOWBROOK" IN SERIF FONT INCLUDING MO-1 & GEN 6 RECEIVER	BOARD - FOREST GREEN; STRIPING - WHITE CAPTION - WHITE; DIGITS - AMBER	CONTRACTOR TO INSTALL & INCLUDE ELECTRICAL AND CONSTRUCT CONCRETE FOOTINGS (FURNISHED BY OWNER)
11	OUTFIELD FENCE CAP	160	LF	BEACON ATHLETICS*	PLASTIC FENCE TOPPER 125-107-259*	GREEN	CONTRACTOR TO INSTALL (FURNISHED BY OWNER)
12	OUTFIELD DISTANCE MARKER SIGN (38' HT. X 58" W)	3	EA	BEACON ATHLETICS*	HORIZONTAL DISTANCE MARKER FONT SIZE 24", 160-245-019"	BACKGROUND - FOREST GREEN FONT - AMBER	OWNER TO FURNISH AND INSTALL (NOT IN CONTRACT)
13	FLOATING SPORT COURT TILE	1,715	SF	VERSACOURT*	BOOST 1'x1' TILE	ICE BLUE	CONTRACTOR TO INSTALL & TRIM COURT AT CURB PERIMETER (FURNISHED BY OWNER)
14	*COMISKY PINWHEELS	5	EA	CUSTOM	SEE DETAIL 1 ON THIS SHEET	WHITE POSTS & VARIOUS COLOR PANELS	CONTRACTOR TO FABRICATE PANELS AND AFFIX TO POSTS, CONTRACTOR TO FURNISH AND INSTALL POSTS INCLUDING CONCRETE FOOTINGS.
15	BLEACHERS	1	EA	BEACON ATHLETICS*	27" WIDE, 3 ROWS WITH SINGLE FOOT PLANKS 115-765-249*	NATURAL ALUMINUM	CONTRACTOR TO INSTALL (FURNISHED BY OWNER)
16	BACKSTOP	1	EA	P.W. ATHLETIC MFG. CO.*	1233-C3PV MODIFIED CUSTOM (BASIS OF DESIGN)	BLACK VINYL	CONTRACTOR TO FURNISH & INSTALL / CONSTRUCT CUSTOM BACKSTOP.
17	VINYL BANNER	2	EA	T.B.D.	T.B.D.	T.B.D.	OWNER TO FURNISH AND INSTALL (NOT IN CONTRACT)
18	FITNESS COURT	1	EA	NATIONAL FITNESS CAMPAIGN*	FITNESS COURT, TILES ANCHORS, TRAINING WALL, & PLYOBLOCK/END STATIONS		CONTRACTOR TO INSTALL FITNESS COURT/APPURTEANCES (FURNISHED BY OWNER) INCLUDING ANCHORS AND CONCRETE SLAB
19					BEACON PRO-STYLE BASE SET OF 3 BASES WITH GROUND ANCHORS & PLUGS		
20							
21	BASES & ANCHOR SLEEVE	1	EA	BEACON ATHLETICS*			CONTRACTOR TO INSTALL & CONSTRUCT CONCRETE FOOTING (FURNISHED BY OWNER)
22	HOME PLATE & ANCHOR SLEEVE	1	EA	BEACON ATHLETICS*	BULLDOG DOUBLE-SIDED HOME PLATE		CONTRACTOR TO INSTALL & CONSTRUCT CONCRETE FOOTING (FURNISHED BY OWNER)
23	PITCHING RUBBER	1	EA	BEACON ATHLETICS*	BULLDOG 4" PITCHING RUBBER 301-210-300		CONTRACTOR TO INSTALL (FURNISHED BY OWNER)
24	CHAIR	5	EA	MAGLIN*	720 SURFACE MOUNT MCH-0720-00001	ALL STEEL (3) GREEN & (2) BLUE	CONTRACTOR TO INSTALL CHAIR (FURNISHED BY OWNER)
25	FOUL POLE	2	EA	BEACON ATHLETICS*	12' HT. STANDARD FOUL POLE W/ 18" WING 135-765-139*	YELLOW	CONTRACTOR TO INSTALL (FURNISHED BY OWNER)
26	FOUL POLE GROUND SLEEVE	2	EA	BEACON ATHLETICS*	48" GROUND SLEEVE 130-765-199*		CONTRACTOR TO INSTALL SLEEVE(S) AND CONSTRUCT CONCRETE FOOTINGS (FURNISHED BY OWNER)
27	BALL & BAT HOLDER	2	EA	BEACON ATHLETICS*	BATTYSHACK BALL & BAT HOLDER 315-165-010*		CONTRACTOR TO INSTALL (FURNISHED BY OWNER)
28	SHELTER	1	EA	CEDAR FOREST PRODUCTS	PAC 2 (20' X 4') WITH ELECTRICAL AND PLUMBING FURNISHING PACKAGE (CONTRACTOR TO FURNISH IN PLACE ALL ASSOCIATED APPURTENANCES AS NECESSARY, COMPLETE IN-PLACE)	METAL ROOF - GREEN	CONTRACTOR TO CONSTRUCT AND INSTALL SHELTER INCLUDING CONCRETE FOOTINGS / SLAB, COMPLETE IN PLACE (SHELTER PACKAGE FURNISHED BY OWNER)
29	RINK WALL			IRON SLEEK, INC*	42" HEIGHT RINK BOARDS, BRACKETS, POLY CAP, DASHER KICKPLATE AND DOOR	BLUE TOP, WHITE BOARDS, YELLOW KICKPLATE	CONTRACTOR TO INSTALL RINK WALL/DOOR AND ASSOCIATED APPURTENANCES, COMPLETE IN PLACE (FURNISHED BY OWNER)

ENLARGEMENT & FURNISHING SCHEDULE

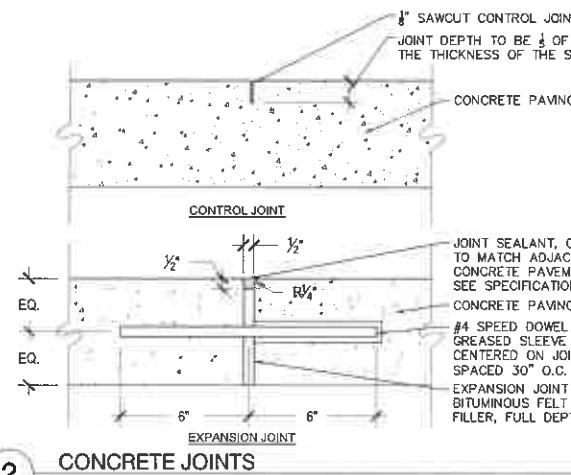
MIDWAY PARK
209 MIDWAY DRIVE
WILLOWBROOK, IL

ORIGINAL ISSUE: 03/20/23
KHA PROJECT NO. 268329001
SHEET NUMBER C1.3
BID SET C1.3

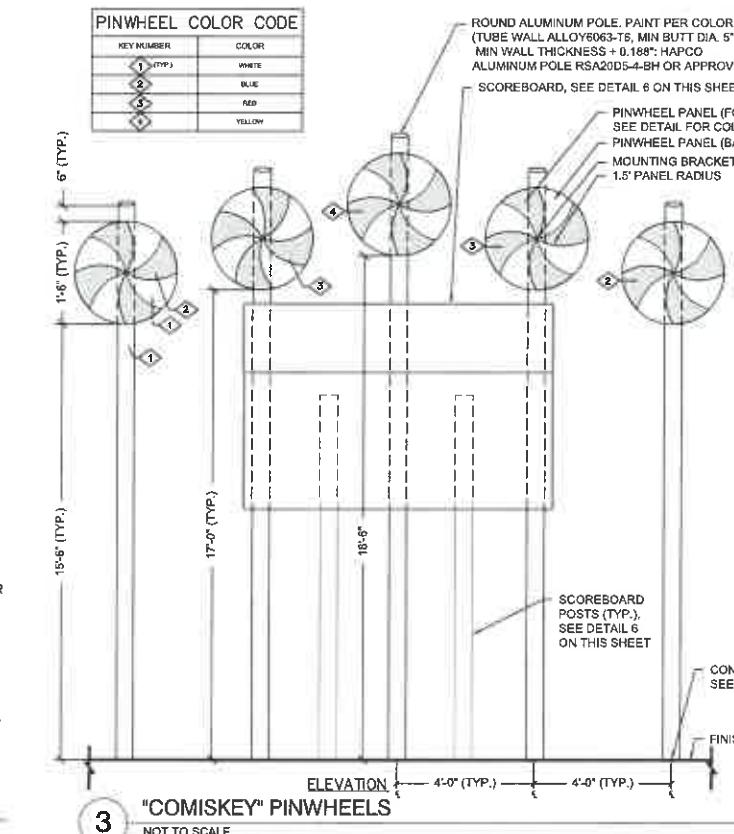
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DRAWN BY:	CHECDED BY:
LICENSED LANDSCAPE ARCHITECT JOSEPH COSSIGLI 157-001709 EXPIRATION: 8/31/28	
VILLAGE OF WILLOWBROOK	



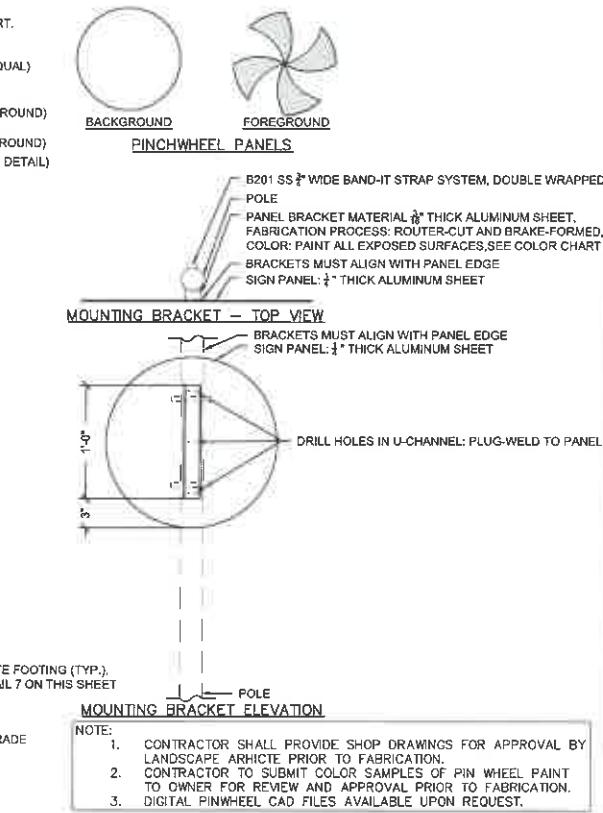
1 CONCRETE PAVEMENT



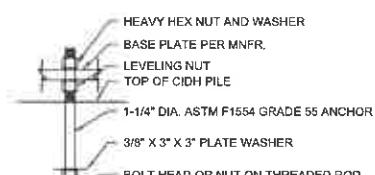
2 CONCRETE JOINT



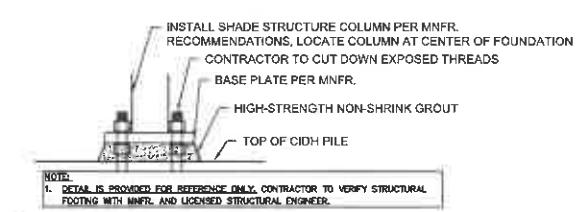
**3 "COMISKEY" PINWHEELS
NOT TO SCALE**



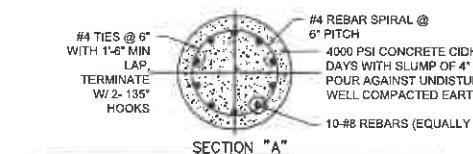
POLE
MOUNTING BRACKET ELEVATION



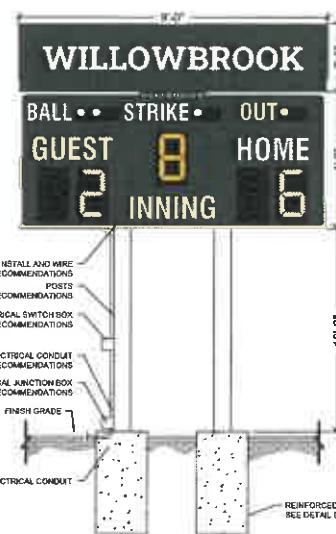
ANCHOR BOLT ATTACHMENT DETAIL



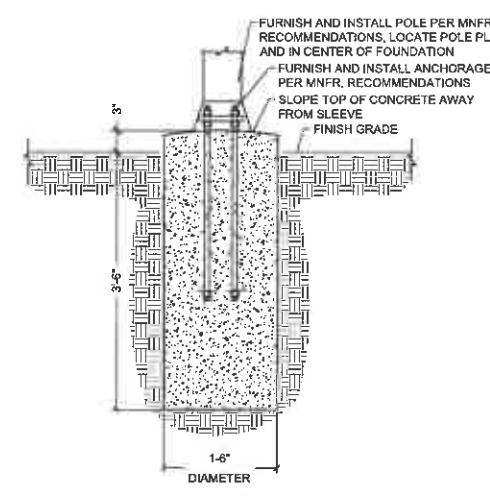
5 CIDH PILE - BASE PLATE ELEVATION
NOT TO SCALE



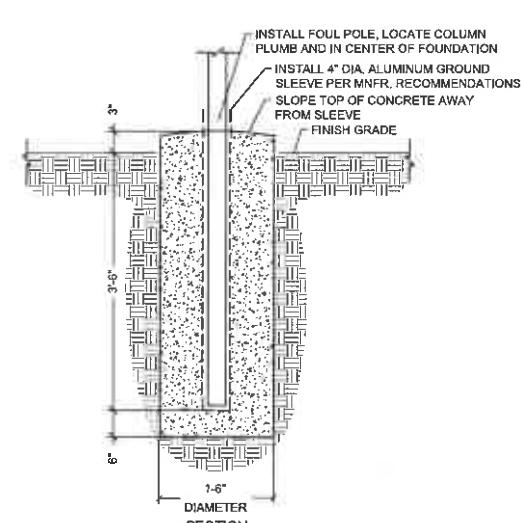
NOTE:
1. DETAILS PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO VERIFY STRUCTURAL, ECONOMIC, MATERIALS, AND LICENSED CONTRACTUAL ENGINEERS.



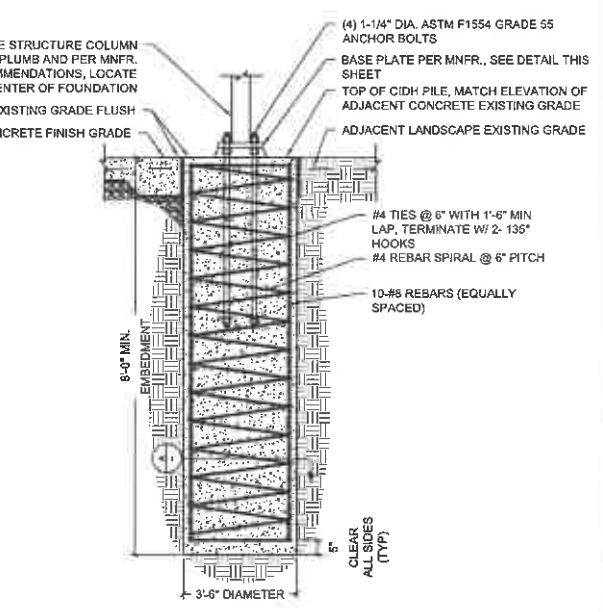
6 SCOREBOARD
NOT TO SCALE



7 PINWHEEL POLE FOOTING NOT TO SCALE



8 FOUL POLE SLEEVE FOOTING



SHADE STRUCTURE AND SCOREBOARD FOOTING
#T2-2014-5

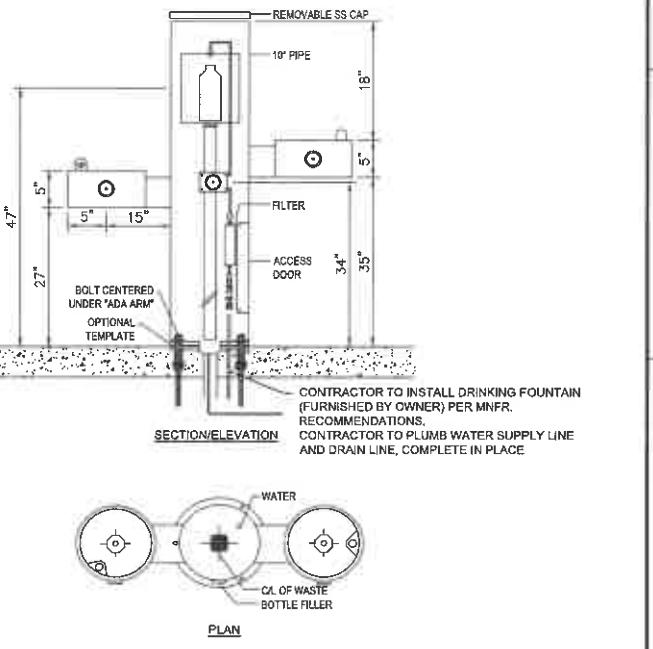
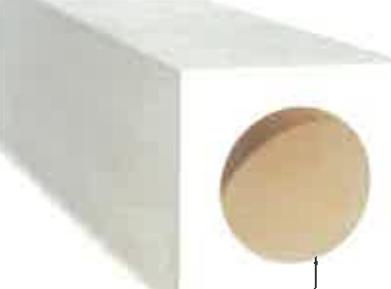
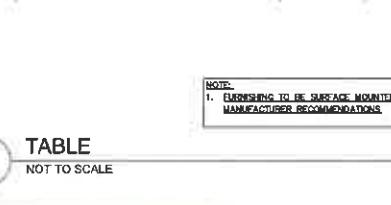
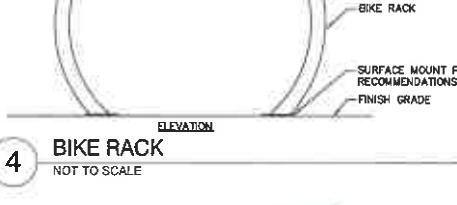
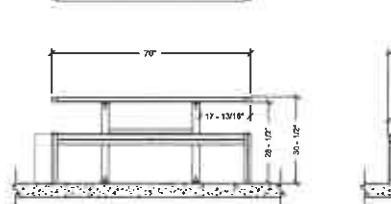
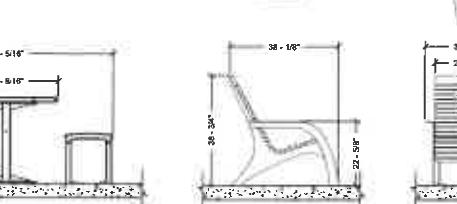
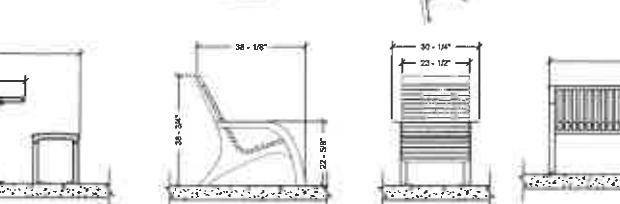
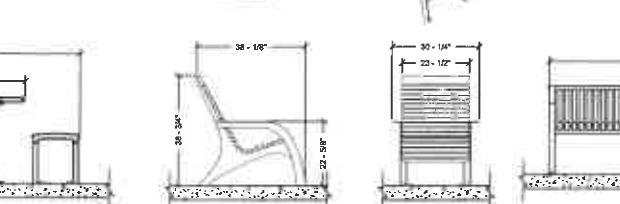
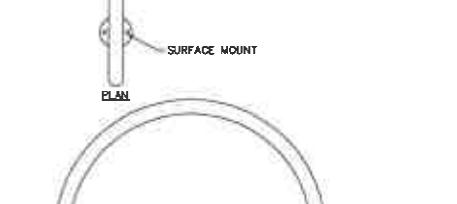
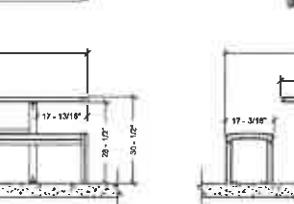
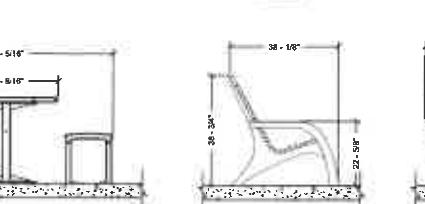
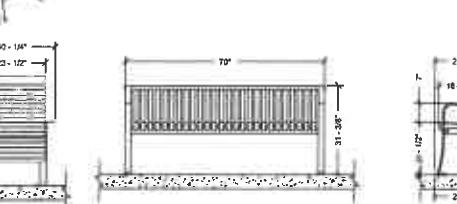
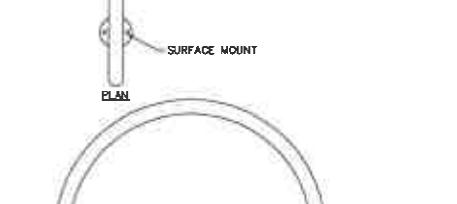
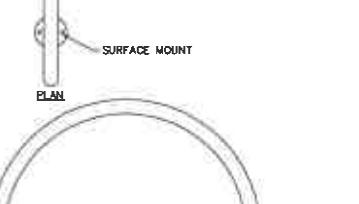
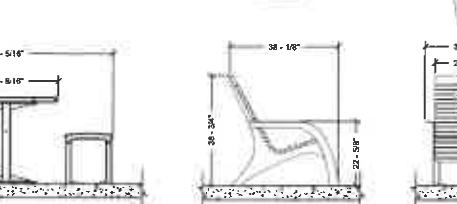
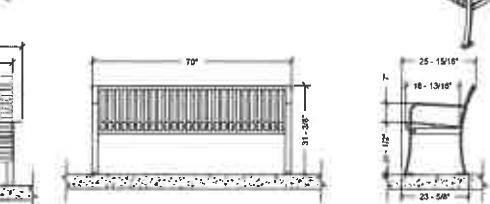
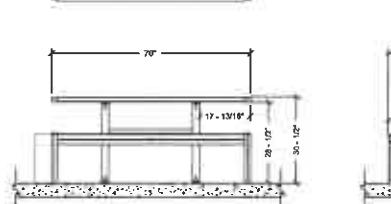
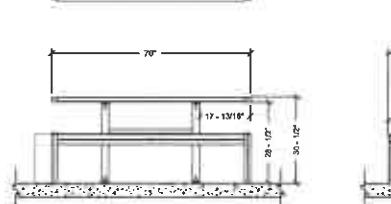
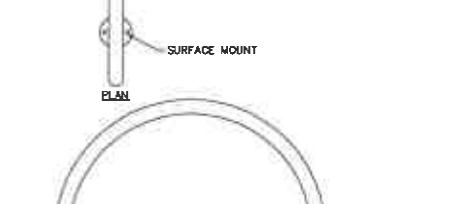
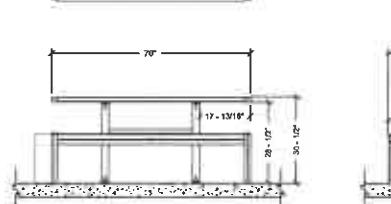
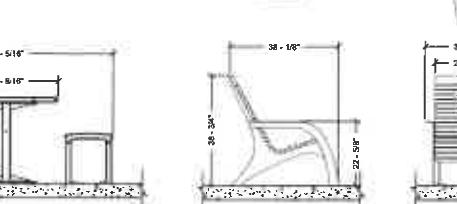
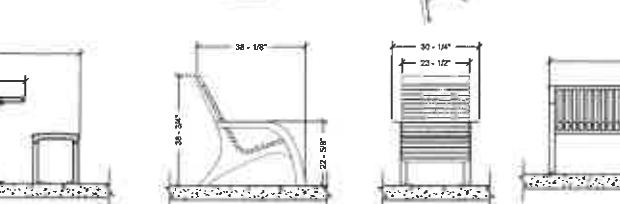
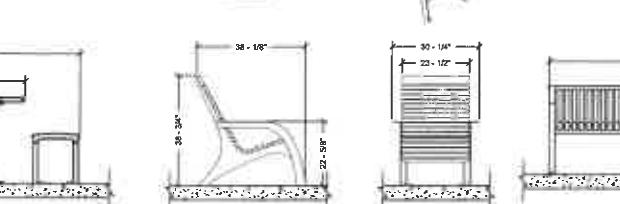
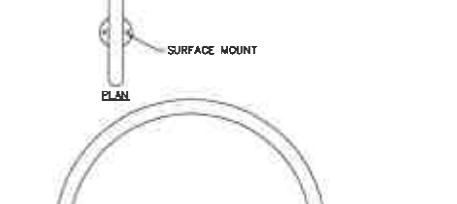
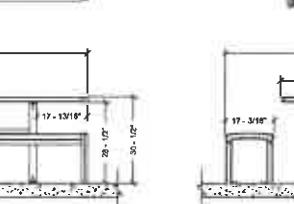
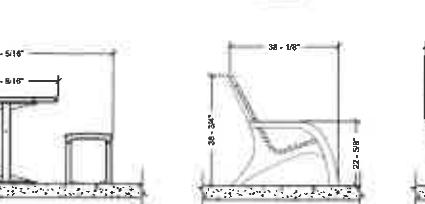
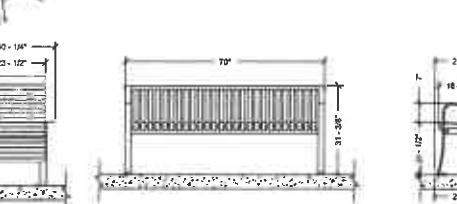
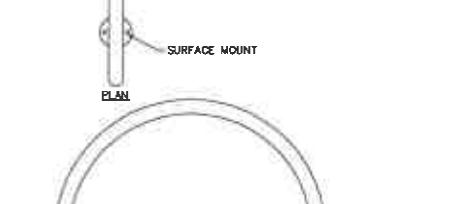
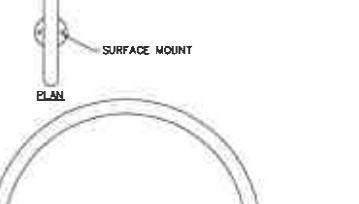
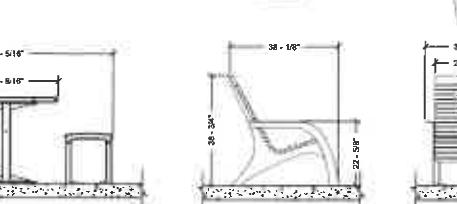
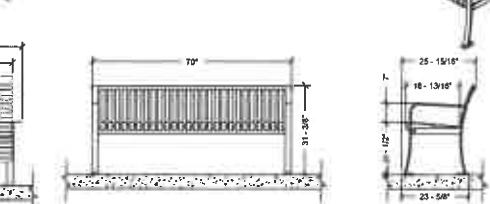
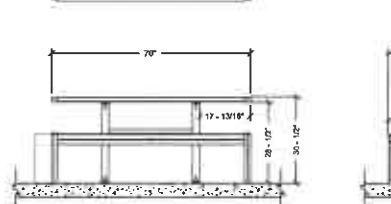
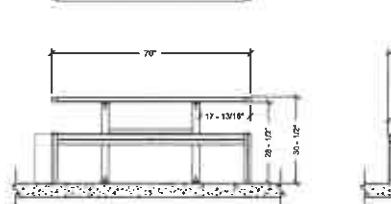
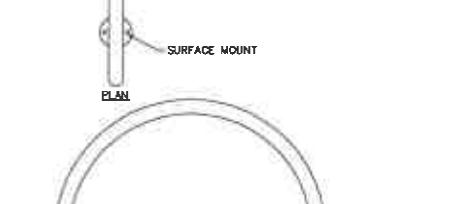
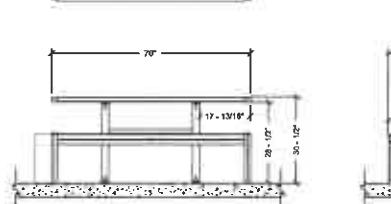
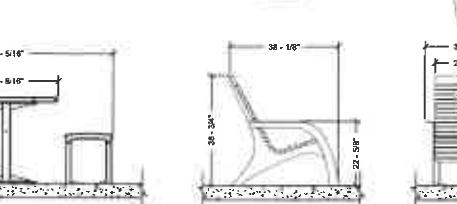
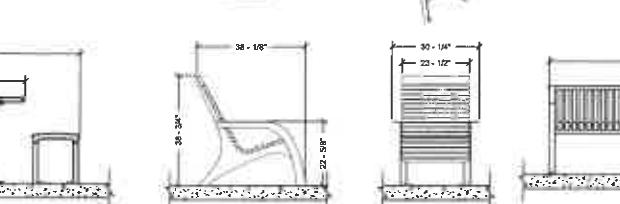
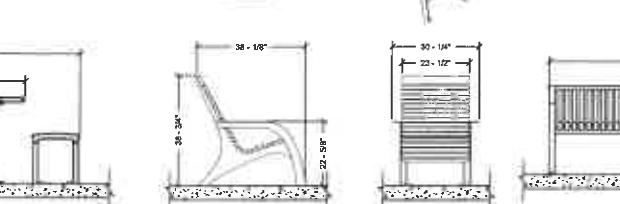
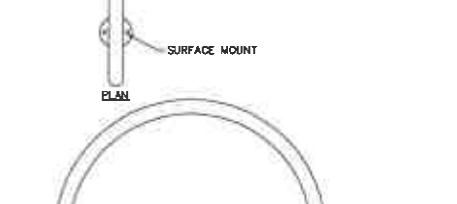
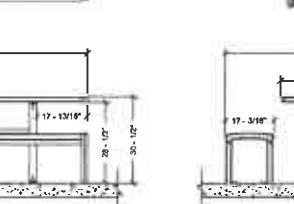
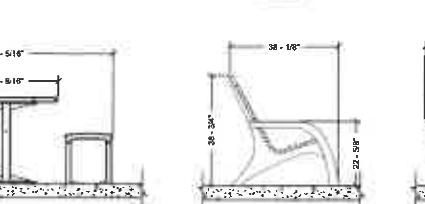
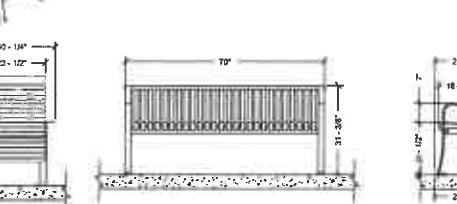
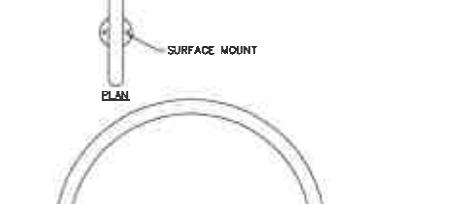
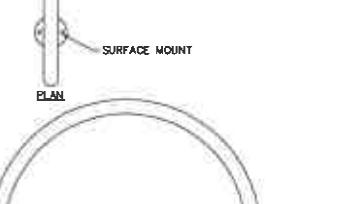
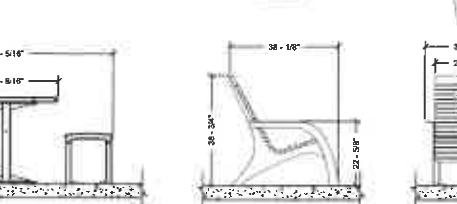
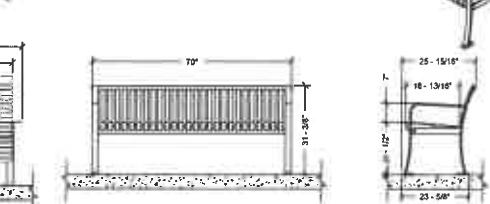
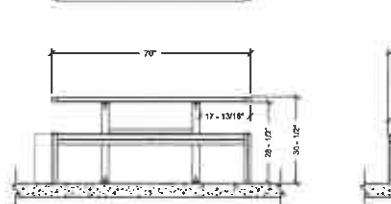
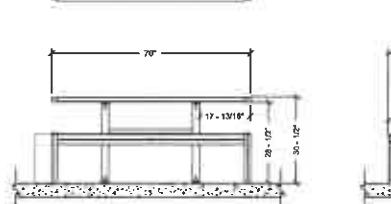
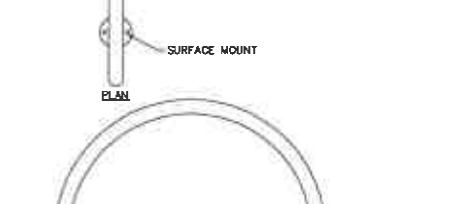
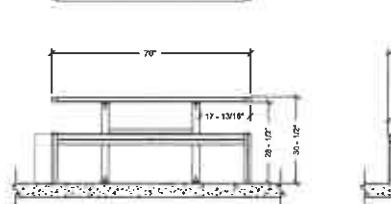
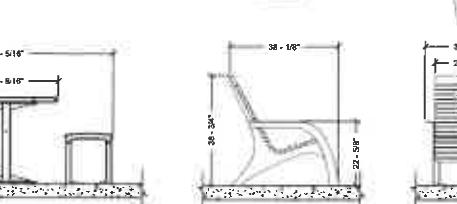
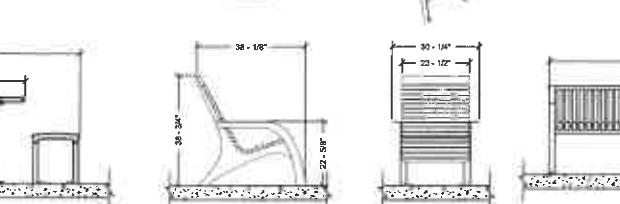
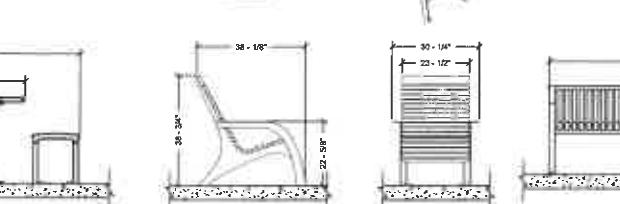
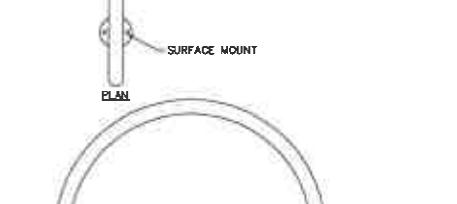
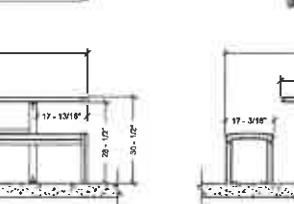
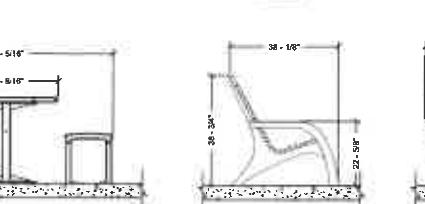
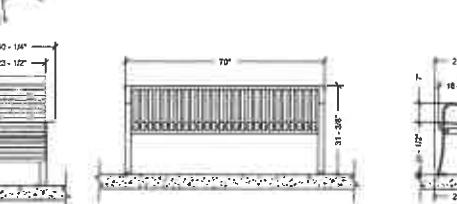
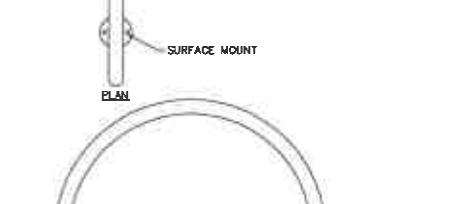
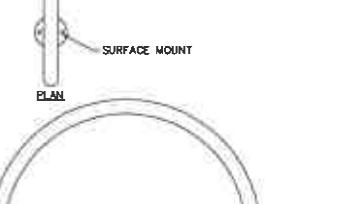
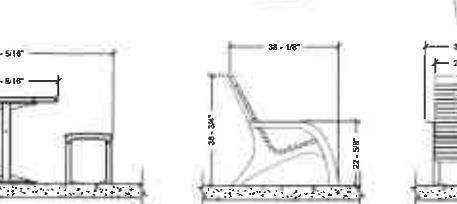
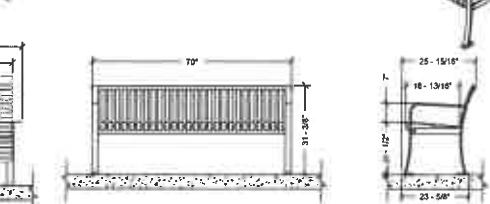
Kimley-Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
SUITE 600, 4201 WYNFIELD ROAD
WARRENVILLE, IL 60585

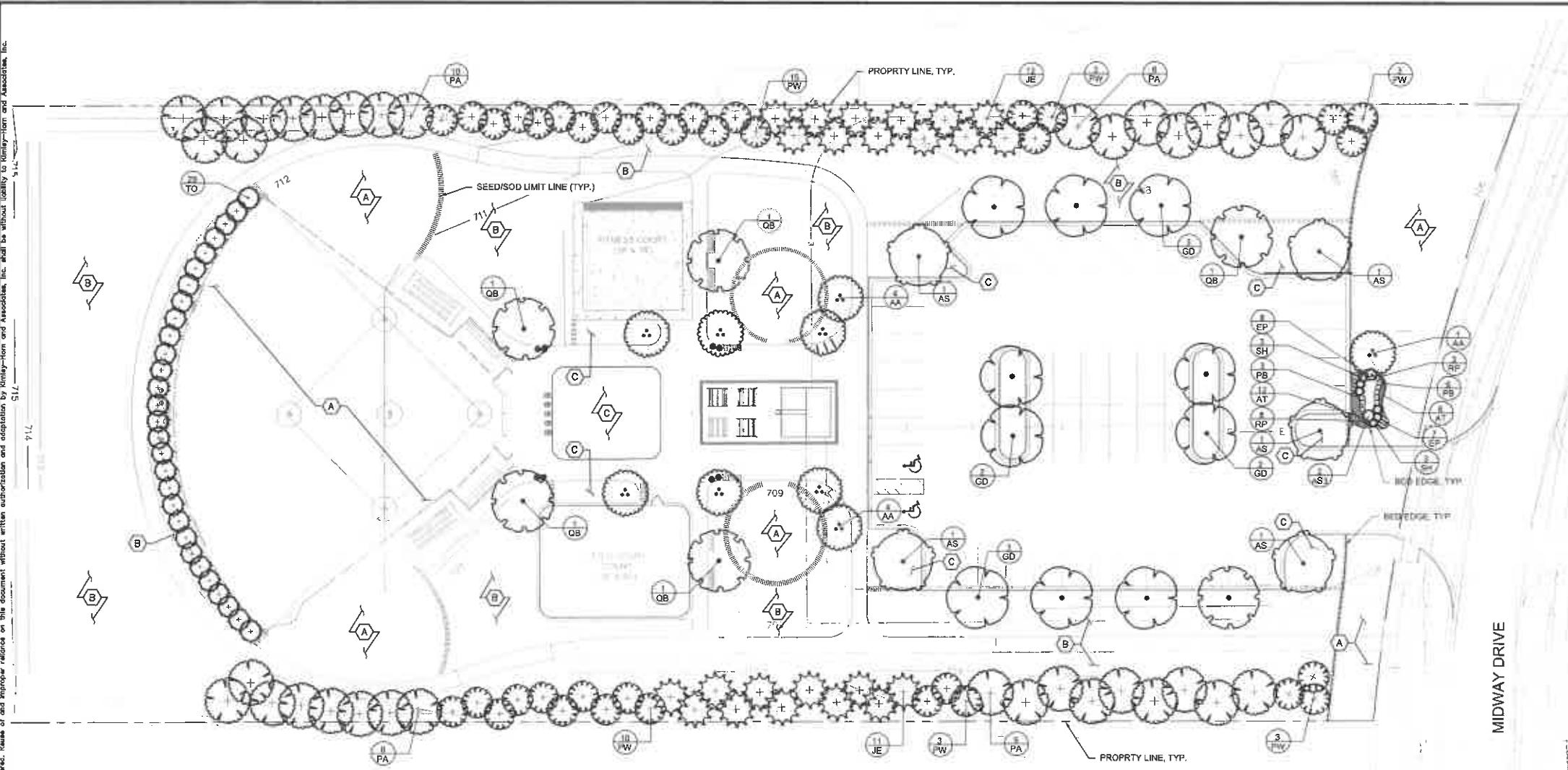


SITE DETAILS

MIDWAY PARK
209 MIDWAY DRIVE

ORIGINAL ISSUE:
03/02/23
HA PROJECT NO.
268329001
SHEET NUMBER
C3.0

C2.2 SITE DETAILS		MIDWAY PARK	
205 MIDWAY DRIVE WILLOWBROOK, IL 60521		VILLAGE OF WILLOWBROOK	
15. VERSA COURT TILE	NOT TO SCALE	16. FITNESS COURT	NOT TO SCALE
 <p>CONTRACTOR TO INSTALL VERSA COURT TILE AND TRIM AT PERIMETER CURB (FURNISHED BY OWNER)</p>		 <p>CONTRACTOR TO INSTALL VERSA COURT TILE AND TRIM AT PERIMETER CURB (FURNISHED BY OWNER)</p>	
17. SHADE STRUCTURE	NOT TO SCALE	18. DRINKING FOUNTAIN	NOT TO SCALE
 <p>CONTRACTOR TO INSTALL FITNESS COURT BODY WEIGHT TRAINING WALL (FURNISHED BY OWNER) AND ANCHOR TO CONCRETE SLAB PER MNFR. RECOMMENDATIONS</p> <p>CONTRACTOR TO INSTALL FITNESS COURT TILE FLOOR SURFACING (FURNISHED BY OWNER) AND ANCHOR PER MNFR. RECOMMENDATIONS</p> <p>CONTRACTOR TO CONSTRUCT CONCRETE SLAB</p> <p>CONTRACTOR TO INSTALL FITNESS PLYOBOX AND BEND STATIONS (FURNISHED BY OWNER) AND ANCHOR PER MNFR. RECOMMENDATIONS</p>		 <p>REMOVABLE SS CAP</p> <p>10" PIPE</p> <p>18"</p> <p>5"</p> <p>15"</p> <p>27"</p> <p>47"</p> <p>BOLT CENTERED UNDER "ADA ARM" OPTIONAL TEMPLATE</p> <p>ACCESS DOOR</p> <p>34"</p> <p>35"</p> <p>SECTION/ELEVATION</p> <p>CONTRACTOR TO INSTALL DRINKING FOUNTAIN (FURNISHED BY OWNER) PER MNFR. RECOMMENDATIONS</p> <p>CONTRACTOR TO PLUMB WATER SUPPLY LINE AND DRAIN LINE, COMPLETE IN PLACE</p> <p>WATER</p> <p>CL. OF WASTE BOTTLE FILLER</p> <p>PLAN</p>	
11. FOUL POLE	NOT TO SCALE	12. OUTFIELD FENCE CAP	NOT TO SCALE
 <p>12' HT. FOUL POLE WITH 18" WIDE EXPANDED METAL VISIBILITY FLAG</p> <p>CONTRACTOR TO INSTALL (FURNISHED BY OWNER)</p>		 <p>CONTRACTOR TO CONSTRUCT GROUND SLEEVE FOOTING IN CONCRETE, SEE DETAIL ON SHEET C2.3. (SLEEVE FURNISHED BY OWNER)</p>	
13. DUGOUT BENCH	NOT TO SCALE	14. BLEACHERS	NOT TO SCALE
 <p>CONTRACTOR TO INSTALL DUGOUT BENCH (FURNISHED BY OWNER)</p>		 <p>ALUMINUM BLEACHERS 27' WIDE X 5' DEEP, 3 ROWS</p> <p>CONTRACTOR TO INSTALL (FURNISHED BY OWNER)</p>	
10. OUTFIELD DISTANCE MARKER	NOT TO SCALE	9. HOMEPLATE	NOT TO SCALE
 <p>VINYL BANNER</p> <p>BANNER COLOR: GREEN</p> <p>NUMERAL COLOR: AMBER</p> <p>NUMERALS: 100'</p> <p>OWNER TO FURNISH AND INSTALL</p>		 <p>HOMEPLATE</p> <p>CONTRACTOR TO INSTALL AND CONSTRUCT CONCRETE FOOTINGS PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER)</p>	
8. BASES	NOT TO SCALE	7. BALL & BAT HOLDER	NOT TO SCALE
 <p>BALL & BAT HOLDER (FURNISHED BY OWNER)</p> <p>CONTRACTOR TO INSTALL AND AFFIX TO FENCE</p>		 <p>BASES, GROUND ANCHOR, AND BASE PLUGS</p> <p>CONTRACTOR TO INSTALL AND CONSTRUCT CONCRETE FOOTINGS PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER)</p>	
6. PITCHING RUBBER	NOT TO SCALE	5. LITTER RECEPTACLE	NOT TO SCALE
 <p>6"X6"X24" PITCHING RUBBER W/ 4" CENTER CORE</p> <p>OWNER TO FURNISH AND INSTALL</p>		 <p>SURFACE MOUNT PER MNFR. RECOMMENDATIONS</p> <p>FINISH GRADE</p>	
1. TABLE	NOT TO SCALE	4. BIKE RACK	NOT TO SCALE
 <p>NOTE: 1. FURNISHING TO BE SURFACE MOUNTED PER MANUFACTURER RECOMMENDATIONS</p>		 <p>BIKE RACK</p> <p>SURFACE MOUNT</p> <p>PLAN</p> <p>ELEVATION</p> <p>BIKE RACK</p> <p>SURFACE MOUNT PER MNFR. RECOMMENDATIONS</p>	
2. CHAIR	NOT TO SCALE	3. BENCH	NOT TO SCALE
 <p>NOTE: 1. FURNISHING TO BE SURFACE MOUNTED PER MANUFACTURER RECOMMENDATIONS</p>		 <p>NOTE: 1. FURNISHING TO BE SURFACE MOUNTED PER MANUFACTURER RECOMMENDATIONS</p>	
15. VERSA COURT TILE	NOT TO SCALE	16. FITNESS COURT	NOT TO SCALE
			
17. SHADE STRUCTURE	NOT TO SCALE	18. DRINKING FOUNTAIN	NOT TO SCALE
			
11. FOUL POLE	NOT TO SCALE	12. OUTFIELD FENCE CAP	NOT TO SCALE
			
13. DUGOUT BENCH	NOT TO SCALE	14. BLEACHERS	NOT TO SCALE
			
10. OUTFIELD DISTANCE MARKER	NOT TO SCALE	9. HOMEPLATE	NOT TO SCALE
			
8. BASES	NOT TO SCALE	7. BALL & BAT HOLDER	NOT TO SCALE
			
6. PITCHING RUBBER	NOT TO SCALE	5. LITTER RECEPTACLE	NOT TO SCALE
			
1. TABLE	NOT TO SCALE	4. BIKE RACK	NOT TO SCALE
			
2. CHAIR	NOT TO SCALE	3. BENCH	NOT TO SCALE
			
15. VERSA COURT TILE	NOT TO SCALE	16. FITNESS COURT	NOT TO SCALE
			
17. SHADE STRUCTURE	NOT TO SCALE	18. DRINKING FOUNTAIN	NOT TO SCALE
			
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8. BASES	NOT TO SCALE	7. BALL & BAT HOLDER	NOT TO SCALE
			
6. PITCHING RUBBER	NOT TO SCALE	5. LITTER RECEPTACLE	NOT TO SCALE
			
1. TABLE	NOT TO SCALE	4. BIKE RACK	NOT TO SCALE
			
2. CHAIR	NOT TO SCALE	3. BENCH	NOT TO SCALE
			
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13. DUGOUT BENCH	NOT TO SCALE	14. BLEACHERS	NOT TO SCALE
			
10. OUTFIELD DISTANCE MARKER	NOT TO SCALE	9. HOMEPLATE	NOT TO SCALE
			
8. BASES	NOT TO SCALE	7. BALL & BAT HOLDER	NOT TO SCALE
			



PLANT SCHEDULE

<u>TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	AS	5	ACER SACCHARUM / SUGAR MAPLE	B & B	2" CAL. MIN.	
	GD	10	GYMNOCLODUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2" CAL. MIN.	
	QB	6	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	2" CAL. MIN.	
<u>EVERGREEN TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	JE	23	JUNIPERUS VIRGINIANA / EASTERN REDCEDAR	B & B		6' HT. M.
	PA	35	PICEA ABIES / NORWAY SPRUCE	B & B		6' HT. M.
	PW	37	PINUS ALBA / WHITE PINE	B & B		6' HT. M.
	TO	29	THUJA OCCIDENTALIS / AMERICAN ARBORVITAE	B & B		6' HT. M.
<u>ORNAMENTAL TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	AA	9	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	B & B	MULTISTEM	6' HT. M.
<u>ORNAMENTAL GRASSES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>SIZE</u>
	AS3	2	ANDROPOGON SCOPARIUS / LITTLE BLUESTEM	5 GAL.	SEE PLAN	
	PB	9	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	5 GAL.	SEE PLAN	
	SH	6	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	5 GAL.	SEE PLAN	
<u>PERENNIALS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>SIZE</u>
	AT	18	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	1 GAL.	18" O.C.	
	EP	15	ECHINACEA PURPUREA / CONEFLOWER	1 GAL.	18" O.C.	
	RP	11	RATIBIDA PINNATA / YELLOW CONEFLOWER	1 GAL.	18" O.C.	

Prairie Seed Mix	Common	PLS OZ/Acre
<i>Latin</i>		
Permanent Grasses		
<i>Andropogon gerardii</i>	Big Bluestem	12.00
<i>Bouteloua curtipendula</i>	Side-Oats Grama	15.00
<i>Calystegia sepium</i>	Prairie Sedum Species	3.00
<i>Leersia oryzoides</i>	Canada Wild Rye	24.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Schizachyrium scoparium</i>	Little Bluestem	32.00
<i>Sorghastrum nutans</i>	Indian Grass	12.00
	Total	101.00
Temporary Cover		
<i>Avena sativa</i>	Common Oat	512.00
	Total	512.00
Forbs		
<i>Amorpha canescens</i>	Lead Plant	0.3
<i>Asclepias syriaca</i>	Common Milkweed	3.00
<i>Asclepias tuberosa</i>	Butterfly Weed	2.00
<i>Chamæcris fasciata</i>	Partridge Pea	10.00
<i>Coreopsis lanceolata</i>	Sand Coreopsis	1.0
<i>Coreopsis tripteris</i>	Tall Coreopsis	1.0
<i>Dalea aurea</i>	Purple Prairie Clover	1.0
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant	1.0
<i>Erigeron canadensis</i>	Prairie Cinquefoil	1.0
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	1.0
<i>Eryngium yuccifolium</i>	Rattlesnake Master	1.0
<i>Heliopsis helianthoides</i>	False Sunflower	0.3
<i>Leucanthemum vulgare</i>	Round-Headed Bush Clover	1.0
<i>Liatris pycnostachya</i>	Prairie Blazing Star	1.0
<i>Monarda fistulosa</i>	Wild Bergamot	1.0
<i>Onoclea sensibilis</i>	Stiff Goldenrod	1.0
<i>Pentstemon australis</i>	Foxglove Beard Tongue	1.0
<i>Ratibida pinnata</i>	Yellow Coneflower	1.0
<i>Rudbeckia hirta</i>	Black-Eyed Susan	1.0
<i>Silphium laciniatum</i>	Compass Plant	1.0
<i>Solidago leptocephala</i>	Showy Goldenrod	0.1
<i>Solidago speciosa</i>	Smooth Blue Aster	0.1
<i>Solidago trichocaulis</i>	New England Aster	0.1
<i>Verbena stricta</i>	Hoary Vervain	1.0
<i>Vernonia fasciculata</i>	Smooth Tall Ironweed	1.0
	Total	60.00

****ALL SEEDED AREAS ARE TO RECEIVE STRAW EROSION CONTROL BLANKET, TYP.**

Native Wildflower Seed Mix		PLS OZ
Latin	Common	PLS OZ
Permanent Grasses		
<i>Bouteloua curtipendula</i>	Side-Oats Grama	16.00
<i>Carex s.</i>	Prairie Sedge Species	4.00
<i>Elymus canadensis</i>	Canada Wild Rye	32.00
<i>Koeleria macrantha</i>	June Grass	1.00
<i>Parthenicum virginatum</i>	Switch Grass	1.00
<i>Schizachyrium scoparium</i>	Little Bluestem	36.00
	Total	90.00
Temporary Cover		
<i>Avena sativa</i>	Common Oat	512.00
	Total	512.00
Forbs		
<i>Amorpha canescens</i>	Lead Plant	0.00
<i>Asclepias syriaca</i>	Common Milkweed	6.00
<i>Asclepias tuberosa</i>	Butterfly Weed	2.00
<i>Baptisia lactea</i>	White Wild Indigo	2.00
<i>Chamaecrista fasciata</i>	Partridge Pea	26.00
<i>Coreopsis lanceolata</i>	Sand coreopsis	13.00
<i>Dalea candida</i>	White Prairie Clover	1.00
<i>Dalea purpurea</i>	Purple Prairie Clover	1.00
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant	15.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	20.00
<i>Erythronium americanum</i>	Rattlesnake Master	2.00
<i>Lathyrus palustris</i>	Round-Headed Bush Clover	2.00
<i>Liatris aspera</i>	Rough Blazing Star	0.50
<i>Lupinus perennis v. accidentalis</i>	Wild Lupine	7.00
<i>Monarda fistulosa</i>	Wild Bergamot	2.00
<i>Oenothera lamarckiana</i>	Stiff Goldenrod	1.00
<i>Pantherium integrifolium</i>	Wild Quinine	1.00
<i>Penstemon digitalis</i>	Fox Love Beard Tongue	1.00
<i>Penstemon hirsutus</i>	Hairy Beard Tongue	1.00
<i>Ratibida pinnata</i>	Yellow Coneflower	8.00
<i>Rudbeckia hirta</i>	Black-Eyed Susan	15.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Scirpus lacustris</i>	Common Bulrush	2.00
<i>Solidago speciosa</i>	Showy Goldenrod	1.00
<i>Sympetrum laeve</i>	Smooth Blue Aster	2.00
<i>Sympetrum novae-angliae</i>	New England Aster	0.50
<i>Sympetrum trichum orientalis</i>	Sil-Blue Aster	0.50
<i>Triphosa virens</i>	Goat's Rue	1.00
<i>Tradescantia ohiensis</i>	Common Solderwort	1.00
<i>Verbena stricta</i>	Hoary Vervain	1.00
<i>Veronicastrum virginicum</i>	Culver's Root	0.50
	Total	139.00

***Apply at 46.75 Pure Live Seed Pounds per Acre**
****ALL SEEDED AREAS ARE TO RECEIVE STRAW EROSION CONTROL BLANKET, TYP.**



LANDSCAPE PLAN

OWAY PARK
209 MIDWAY DRIVE
WILLOWBROOK, IL

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