

A G E N D A

MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, JULY 12, 2023 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK COMMUNITY RESOURCE CENTER (CRC) BOARDROOM, 825 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS 60527.

Due to the expiration of the Governor's Disaster Declaration, public participation/comment is permitted solely by attending the meeting at 825 Midway Drive.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes of April 5, 2023, Plan Commission Public Hearing
4. PLAN COMMISSION CONSIDERATION: Conceptual review and feedback for the development of Midway Park, located at 209 Midway Drive. The project is proposed by the Village of Willowbrook Parks and Recreation Department.
 - A. Discussion/Recommendation
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook

Staff Report to the Plan Commission

| | | |
|------------------------------|---|---------------|
| Public Hearing Date: | July 12, 2023 | |
| Prepared By: | Michael Krol, Director of Community Development | |
| Case Title: | Discussion Case No. PC 23-03: Development of Midway Park proposal and feedback. | |
| Petitioner: | Village of Willowbrook, Parks and Recreation Department, Dustin Kleefisch. | |
| Action Requested by | Discussion and feedback regarding the Midway Park Project. | |
| Location: | 209 Midway Drive, Willowbrook IL 60527 | |
| PINs: | 09-26-30-013 (209 Midway Drive) | |
| Existing Zoning: | I – Institutional District | |
| Proposed Zoning: | I – Institutional District | |
| Property Size: | 2.13 acres | |
| Surrounding Land Use: | Use | Zoning |
| North | Tony and Florence Borse Memorial Park | I |
| East | Single Family Residential | R-1 |
| West | Single Family Residential | R-1 |
| South | Single-Family Residential | R-1 |

Necessary Action by Plan Commission:

Discuss the Midway Park project and provide Village staff with feedback and recommendations.



History & Background

Site Description

Midway Park opened in 1976 and is currently 2.13 acres of open grass space, and it was mainly utilized as a soccer and baseball field in the past. In June 2022, the Village of Willowbrook Parks and Recreation Comprehensive Planning Guide was updated to include development and improvements for all the Village Parks. The update plan describes Midway Park as an underdeveloped property that can provide different and unique recreational opportunities not present in the Village.

In early 2022 the Village completed a community-wide survey regarding the condition of all Village parks and programs offered by the Village. While the results from the survey showed that most residents who submitted their opinion held the department in high regard, there was a lack of amenities or programs available. After the survey and Master Plan were completed, staff began the process of evaluating where some of these amenities and components could be added to parks within the community. Midway Park was identified as an ideal location.

In January 2023, staff discussed a timeline and options with the Board of Trustees and received direction to begin communicating with the neighboring residents. As part of that Board presentation, staff proposed completing the Midway Park Improvement Project in 2023. On March 15, 2023, the Village hosted an Open House to gather feedback from the residents within the area.

Exhibit 1: Aerial View of the Subject Property





Development Proposal

The Midway Park concept plan is highlighted by the installation of a permeable paver parking lot to help with stormwater management, a fitness court, a covered pavilion with tables and restrooms, a multi-sports arena, a wiffleball diamond, a looped walking path, benches, bike racks, and a variety of landscaping areas with a mixture of evergreen trees, shade trees, prairie plantings, and green space.

Parking Lot Highlights:

The proposed parking lot is designed with permeable pavers for forty-five (45) cars. The parking lot meets the zoning code requirement of forty-foot (40') setbacks from the side property lines and fifteen feet (15') from the front property line. All the proposed parking spaces meet the Village minimum parking stall specifications and dimensions, including the two (2) required ADA parking spaces. The parking lot drive aisle width minimum is twenty-four feet (24') and island locations and plantings all meet the zoning requirements.

Pavilion:

The proposed pavilion dimensions are approximately 20' x 44'. The open-air pavilion will be a covered structure with picnic tables and will be equipped with 16' x 16' public restrooms and storage room. The pavilion will be available to rent for private parties for a small fee through the Parks and Recreation Department.

Fitness Court:

The Village of Willowbrook received grant money for the proposed fitness court that will be installed at Midway Park. The Fitness Court is an outdoor bodyweight circuit training center with functional fitness DNA. The best-in-class system provides a full-body workout to adults of all ability levels. With 7 functional fitness zones, the Fitness Court can be used in thousands of ways. There is even an app to track your progress.

Multi-Sport Court:

The multiple sport court measures approximately 48' x 38'. The court can be used for roller hockey in the summers and in the winter months the court will be an ice-skating rink.

Wiffle Ball Diamond:

A proposed wiffle ball diamond nicknamed "Old Comiskey" because of classic pinwheel electronic scoreboard, is equipped with dugout seating for two teams, and covered bleacher seating along the first and third baseline will be located at the south end of Midway Park. The wiffle ball field will be enclosed by a four foot (4') and a six foot (6') black coated chain link fence.

Hard Scape and Landscaping:

Solar lighting will be added around the parking lot and the five-foot (5') walking paths around the park, arborvitaes, and native tree planting along with landscape beautification throughout the park will be installed (Estimated 50 trees installation - Fall 2023). The east and west property boundary of Midway Park will be screened by a variety of evergreen trees. There will also be a fence installed at the south end of the project to preclude any visitors from entering from that direction of the park. Bike racks will be added near the parking lot and benches are located around the park.



Staff Analysis

Appropriateness of Use

The property was rezoned to the I – Institutional District, during the Unified Development Ordinance (UDO) zoning code update, approved in January 2023. The I District allows for the development of parks and recreational areas as a permitted use. The zoning code is silent on the required number of parking spaces for a park; however, it is the staff's opinion that forty-five (45) parking spaces is adequate for the space. Parking overflow is located right across Midway Drive at Boris Park.

The parking lot setbacks, drive aisles, parking stalls, ADA spaces, and parking island landscaping all comply with the Unified Development Ordinance (UDO) and will be verified during the permitting and inspection process. No proposed structure is located closer than five feet (5') from the side property lines or within ten feet (10') from the rear property lines. No rezoning or zoning actions are required for the proposed Midway Park development.

Storm Water Management

Attachment labeled 3 and 4 of the plan packets are the Midway Park Improvement Project stormwater plans. From these renderings you will be able to identify stormwater and utility structures that will be added to the property as a result of the project. Novotny Engineering had a topography survey of the property done in the fall 2022 and these elevations are identified by the arrows on the renderings showing where water flow will go after grading. On the southside of the property there will be a storm sewer with three (3) catch basins then the storm sewer will run along the eastside of the property where there will be an additional three (3) catch basins that will carry all the stormwater to Midway Drive. In addition, there will be additional stormwater sewer under the permeable paver parking lot. There will be a perforated underdrain that leads to 4" PVC storm sewer pipe and remove the water to Midway Drive. Currently, there is an existing storm drain and natural swale along the northwest corner of the property. There will be a storm sewer that will be connected to this pipe which will carry water to a catch basin. All of the structures more than cover the stormwater for this project and the amenities that will be added to park property.

Staff Recommendation

Community Development Department staff has no objection to the proposed Midway Park Project. The proposed use is permitted and there are no zoning variations required as the parking lot, accessory structures, equipment locations, lighting, and landscaping meet the minimum requirements outlined in the Unified Development Ordinance (UDO).

Village staff has requested the Plan Commission provide comments and feedback pertaining to the Midway Park Project.

Documents Attached:

- Attachment 1: Concept Layout of Midway Park
- Attachment 2: Sheet C1 Site Plan (11x17)
- Attachment 3: Utility Plan by Novotny Engineering (11x17)
- Attachment 4: Grading and Utility Plan by Novotny Engineering (11x17)
- Attachment 5: Sheet C1.2 Site Furnishing Plan (11x17)
- Attachment 6: Sheet C1.3 Multi Sport Court Plan (11x17)
- Attachment 7: Sheet C2.0 Scoreboard Detail (11x17)
- Attachment 8: Sheet C2.2 Site Details (11x17)
- Attachment 9: Sheet L1.0 Landscape Plan (11x17)
- Attachment 10: Sheet S1.1 Pavilion Shelter Layout (11x17)



Attachment 1 Concept Layout of Midway Park



LEGEND

- | | | | |
|--|-----------------------|-----------------------------------|-----------------------------|
| 1 PERMEABLE PAVER PARKING LOT - 51 SPACES | 5 PRAIRIE PLANTINGS | 9 SHADE TREE | 13 ON STREET PARKING |
| 2 WIFFLEBALL DIAMOND | 6 EVERGREEN SCREENING | 10 SCOREBOARD | 14 LOOPED WALKING PATH |
| 3 38'X30' PAVILLION WITH PICNIC TABLES | 7 BICYCLE RACKS | 12 SHADE STRUCTURE WITH BLEACHERS | 15 PROPERTY LINE |
| 4 EXISTING MONUMENT SIGN WITH ENHANCED LANDSCAPING | 8 BENCH | 13 TEAM DUGOUT STRUCTURES | 16 38'X38' SPORT COURT |
| | | | 17 34'X50' MULTI-SPORT RINK |



MIDWAY PARK | VILLAGE OF WILLOWBROOK, IL
MAY 11, 2023

CONCEPT A

Kimley»Horn

NOVOTNY
ENGINEERING





**Attachment 2
Sheet C1 Site Plan (11x17)**

**Attachment 3
Utility Plan by Novotny Engineering (11x17)**

**Attachment 4
Grading and Utility Plan by Novotny Engineering (11x17)**

**Attachment 5
Sheet C1.2 Site Furnishing Plan (11x17)**

**Attachment 6
Sheet C1.3 Multi Sport Court Plan (11x17)**

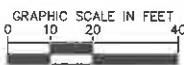
**Attachment 7
Sheet C2.0 Scoreboard Detail (11x17)**

**Attachment 8:
Sheet C2.2 Site Details (11x17)**

**Attachment 9:
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**Attachment 10:
Sheet S1.1 Pavilion Shelter Layout (11x17)**

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|---|---|
| 1 | EXISTING MONUMENT SIGN, PROTECT IN PLACE |
| 2 | EXISTING VEGETATION, PROTECT IN PLACE TYP. |
| 3 | (NOT USED) |
| 4 | EXISTING PAVEMENT, PROTECT IN PLACE TYP. |
| 5 | EXISTING ELECTRICAL TRANSFORMER, PROTECT IN PLACE |

- 1 ROUGH GRADING, EXPORT AND TOPSOIL STRIP FOR ENTIRE SITE (BY OTHERS, NOT IN CONTRACT) EXCEPT FOR EXPORT REQUIRED FOR SHOWN CONCRETE IMPROVEMENTS, TYP.
- 2 FINE GRADING AND TOPSOIL RESPREAD FOR ENTIRE SITE (BY OTHERS, NOT IN CONTRACT), TYP.
- 3 PERMEABLE PAVAR PARKING LOT & AGGREGATE BASE (BY OTHERS, NOT IN CONTRACT), TYP.
- 4 CONCRETE CURB & GUTTER (BY OTHERS, NOT IN CONTRACT), TYP.
- 5 ADA SIGNAGE (BY OTHERS, NOT IN CONTRACT), TYP.
- 6 STRIPING (BY OTHERS, NOT IN CONTRACT), TYP.
- 7 STORM DRAIN LINES (BY OTHERS, NOT IN CONTRACT), TYP.
- 8 SEWER DRAIN LINES (BY OTHERS, NOT IN CONTRACT), TYP.
- 9 DOMESTIC WATER LINE (BY OTHERS, NOT IN CONTRACT), TYP.
- 11 ELECTRICAL CONDUIT (BY OTHERS, NOT IN CONTRACT), TYP.
- 12 INFIELD MIX 4" DEPTH (OWNER TO FURNISH & INSTALL)
- 13 BALLFIELD STRIPING (OWNER TO FURNISH & INSTALL)

- ① EXPANSE JOINT PER DETAIL 2 ON SHEET C2.0.
- ② (NOT USED)
- ③ SAWCUT SIDEWALK PER DETAIL 2 ON SHEET C2.0.
- ④ CONSTRUCT 5" THICK CONCRETE SIDEWALK PER DETAIL 1 ON SHEET C2.0.
- ⑤ (NOT USED)
- ⑥ (NOT USED)
- ⑦ (NOT USED)
- ⑧ CONSTRUCT CONCRETE MOW CURB, SEE DETAIL 2 ON SHEET C2.4.
- ⑨ CONSTRUCT SCOREBOARD CONCRETE FOOTINGS, SEE DETAIL 5 ON SHEET C2.0.
- ⑩ CONSTRUCT 4' HT. BLACK VINYL CHAIN LINK FENCE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.3.
- ⑪ CONSTRUCT 6' HT. BLACK VINYL CHAIN LINK FENCE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.3.
- ⑫ CONSTRUCT 14' HT. BLACK VINYL CHAIN LINK BACKSTOP INCLUDING CONCRETE FOOTINGS, SEE DETAIL 1 ON SHEET C2.4.
- ⑬ CONSTRUCT TWO 6' WIDE X 4' HT. BLACK VINYL SWING GATES, SEE DETAIL 9 ON SHEET C2.3.
- ⑭ CONSTRUCT BLACK VINYL DUGOUT GATE, SEE DETAIL 8 ON SHEET C2.3.
- ⑮ CONSTRUCT PREFABRICATED DUGOUT INCLUDING CONCRETE FOOTINGS, SEE DETAILS ON SHEET C3.0 ~ C3.3
- ⑯ COMPACT AND PREPARE SUBGRADE TO RECEIVE INFIELD MIX (BY OTHERS, NOT IN CONTRACT)
- ⑰ INSTALL GROUND SLEEVE INCLUDING CONCRETE FOOTINGS, SEE DETAIL 8 ON SHEET C2.0
- ⑱ CONSTRUCT SHADE STRUCTURE CONCRETE FOOTINGS, SEE DETAIL 9 ON SHEET C2.0
- ⑲ CONSTRUCT PINWHEEL FOOTING PER POLE MANUFACTURER RECOMMENDATIONS.
SEE DETAIL 7 ON SHEET C2.0
- ⑳ PROVIDE TEMPORARY CONCRETE WASHOUT FOR DURATION OF PROJECT.

1. CONSTRUCT & INSTALL SHELTER (FURNISHED BY OWNER) INCLUDING BUT NOT LIMITED TO ALL REQUIRED ELECTRICAL, PLUMBING, ROOFING, CARPENTRY, MASONRY, AND CONCRETE FOOTINGS, COMPLETE IN PLACE. SEE SHELTER PLANS ON SHEET S1.0
2. EXCAVATE AND DISPOSE OF SUBGRADE, COMPACT SUBGRADE, FURNISH AND INSTALL COMPACTED AGGREGATE BASE, CONSTRUCT CONCRETE SHELTER SLAB, CONCRETE PIER FOOTINGS, AND BUILDING CONCRETE FOUNDATION FOOTINGS. SEE SHELTER STRUCTURAL DETAILS ON SHEET S1.0
3. INSTALL SHELTER PLUMBING FIXTURES (FURNISHED BY OWNER). SEE SHELTER DETAILS FOR PLUMBING FURNISHING SCHEDULE.
4. FURNISH AND INSTALL ALL REQUIRED PLUMBING MATERIAL INCLUDING BUT NOT LIMITED TO PIPING, UNIONS, VALVES, SLEEVES, HARDWARE, AND ASSOCIATED APPURTENANCES ETC., COMPLETE IN PLACE.
5. INSTALL SHELTER ELECTRICAL FIXTURES (FURNISHED BY OWNER). SEE SHELTER DETAILS FOR ELECTRICAL FURNISHING SCHEDULE.
6. FURNISH AND INSTALL ALL REQUIRED ELECTRICAL MATERIAL INCLUDING BUT NOT LIMITED TO, CONDUIT, SWEEPS, JUNCTION BOXES, OUTLETS, SWITCHES, WIRE AND ASSOCIATED APPURTENANCES ETC., COMPLETE IN PLACE.

1. REFER TO ENGINEERING PLANS PREPARED BY NOVOTNY ENGINEERING INC. FOR EARTHWORK, EARTHWORK DETAILS, LOT LAYING & UTILITY PLANS.
2. CONTRACTOR TO COORDINATE WITH ALL OTHER CONTRACTORS AND TRADES FOR SITE IMPROVEMENTS.
3. CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY WITH ANY DISCREPANCIES FROM THE PLANS FOUND IN THE FIELD.
4. CONTRACTOR TO EXCAVATE AND DISPOSE OF SUBGRADE MATERIAL AS NECESSARY TO ACCOMMODATE SHOWN CONCRETE IMPROVEMENTS. CONTRACTOR IS TO BACKFILL AND EXCAVATOR SUBJECT TO SUBGRADE RESULTS OF CONCRETE IMPROVEMENTS TO BRING THE SUBGRADE BACK TO SUBGRADE ELEVATION PROVIDED, BY OTHERS.

SCALE: AS NOTED
DESIGNED BY:
DRAWN BY:
CHECKED BY:

LICENSED LANDSCAPE ARCHITECT
JOSEPH COGSWELL
1157 001700
STATE OF ALABAMA
EXPIRATION: 8/1



SITE PLAN

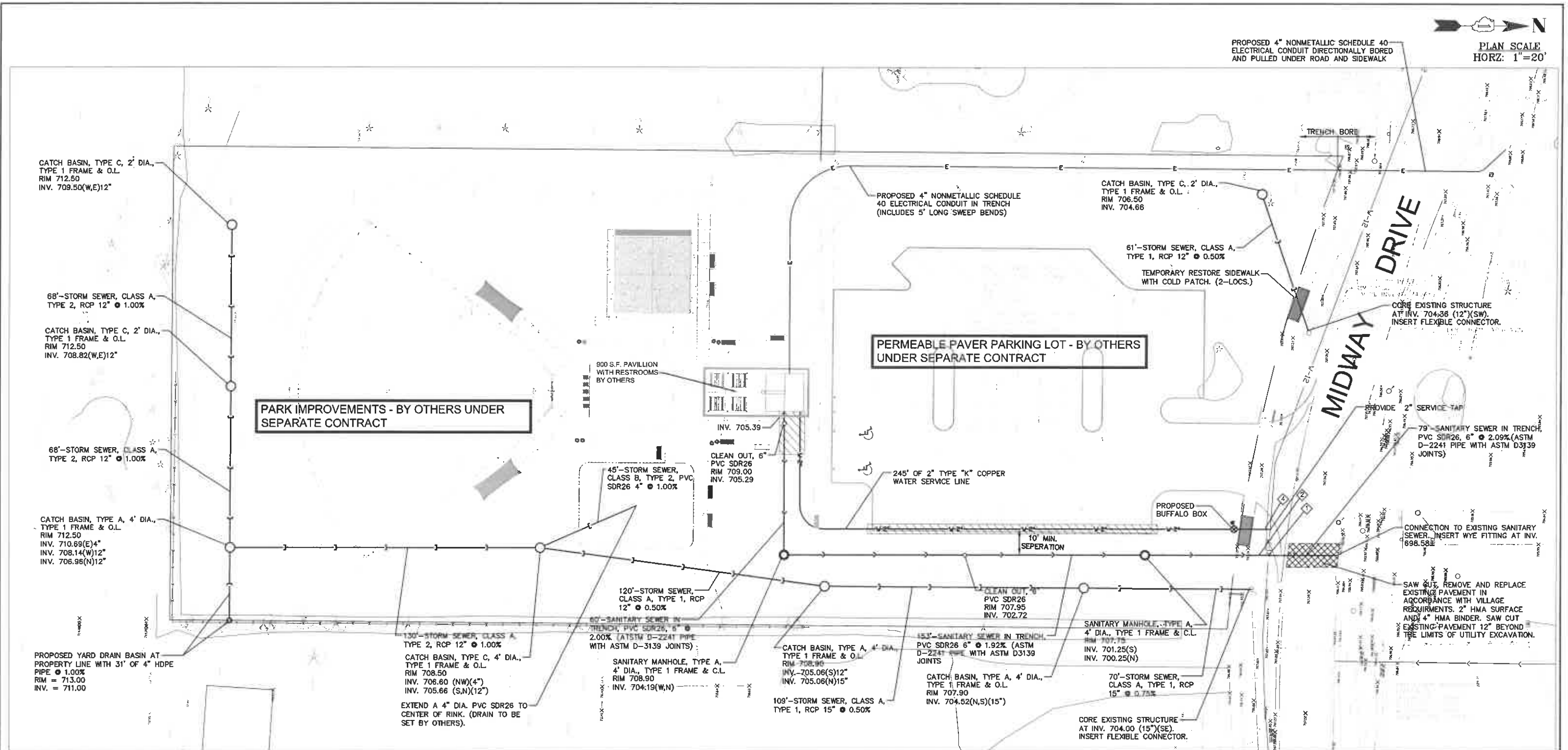
MIDWAY PARK
209 MIDWAY DRIVE
WILLOWBROOK, IL

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| ORIGINAL ISSUE: | 03/20/23 |
| KHA PROJECT NO | 268329001 |
| SHEET NUMBER | |

C1.0

BID SET

Project: 2023-06-22 The 1132 AM By Johnson File Path: \\Willowbrook\B023\2023 - Midway Park Utility Improvements\2023 - Proposed\dwg 4-UTILITY PLAN



GRADING AND UTILITY PLAN NOTES:

1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
2. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO DRAINAGE SCUPPERS, PIPES, AND LANDSCAPING.

PROPOSED UTILITY CROSSINGS

| | | |
|----|---------------------|---------|
| 1 | BOTTOM OF 12" WATER | 700.56± |
| 2 | TOP OF 6" SANITARY | 699.55 |
| 3 | BOTTOM OF 15" STORM | 704.02 |
| 4 | TOP OF 6" SANITARY | 699.64 |
| 5 | BOTTOM OF 4" STORM | 705.90 |
| 6 | TOP OF 6" SANITARY | 702.27 |
| 7 | BOTTOM OF 15" STORM | 704.00 |
| 8 | TOP OF 2" WATER | 702.00 |
| 9 | BOTTOM OF 4" STORM | 705.90 |
| 10 | TOP OF 2" WATER | 702.50 |

NOTE: THE PROPOSED SANITARY SEWER IS A PRIVATE SERVICE LINE

/// = TRENCH BACKFILL



545 Plainfield Road, Suite A
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Illinois Professional Design Firm No. 184-000928

VILLAGE OF WILLOWBROOK
MIDWAY PARK UTILITY IMPROVEMENTS
209 MIDWAY DRIVE
WILLOWBROOK, IL

| REVISIONS | | | | |
|-----------|-----|---------|--|--|
| NO. | BY | DATE | DESCRIPTION | |
| 1 | JEF | 6/23/23 | PER DUPAGE COUNTY SANITARY DISTRICT REVIEW | |
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DEVELOPMENT PLANS
UTILITY PLAN

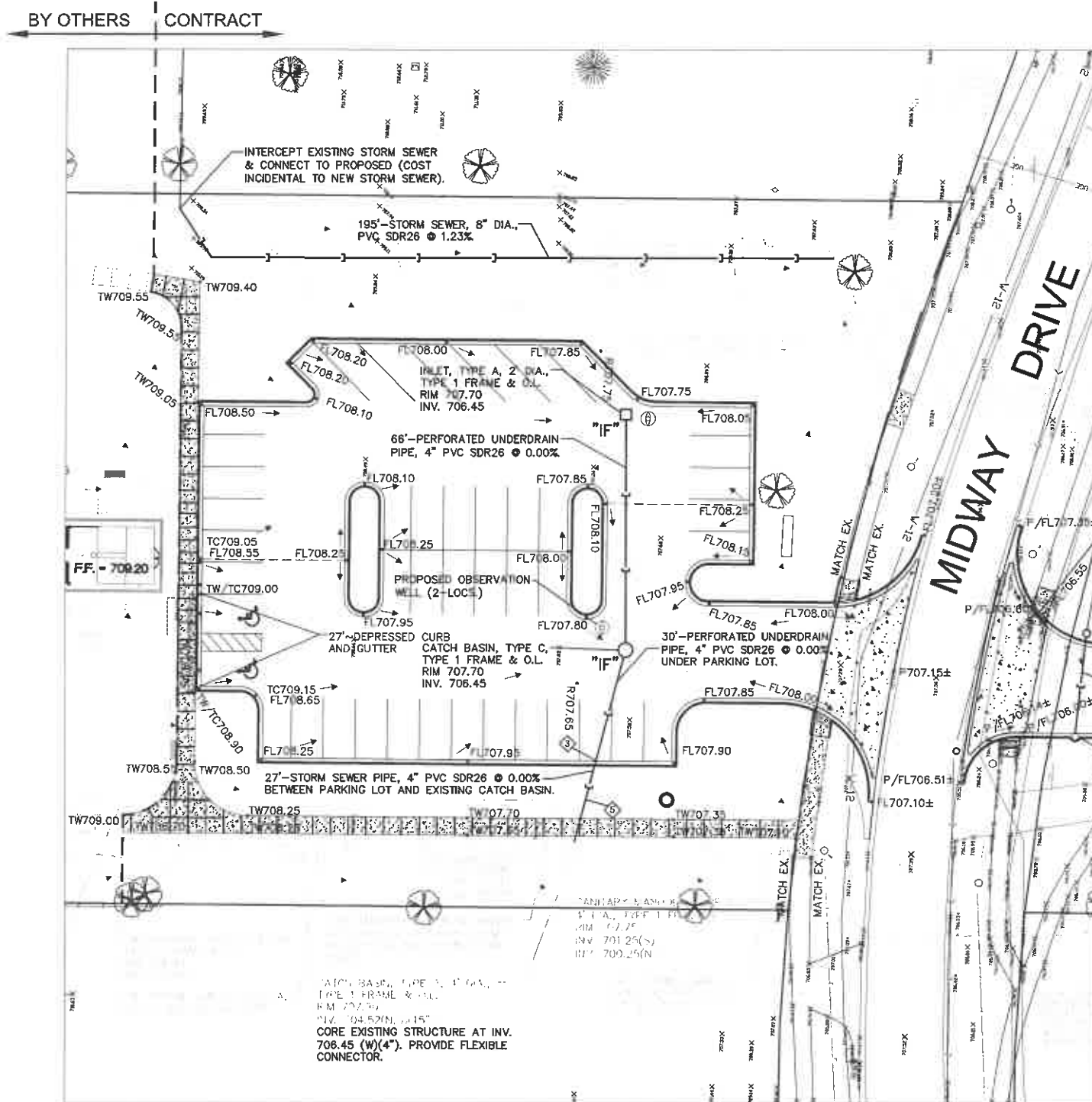
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| PROJECT NO. 23037A | SCALE NOTED |
| DRAWN/DESIGNED RAR/MCH | DATE 2023-06-22 |
| CHECKED/APPROVED JEF/JEF | FIELD BOOK NO. FILE |

SHEET
3
OF
4
SHEETS

- GRADING AND UTILITY PLAN NOTES:
1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
 2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
 3. PAVEMENT, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO DRAINAGE SCUPPERS, PIPES, AND LANDSCAPING.

GRADING & UTILITY LEGEND

| | |
|-----------------------------|------|
| PAVEMENT/PAVER ELEVATION | P |
| MATCH EXISTING ELEVATION | ME |
| GROUND ELEVATION | G |
| TOP OF WALK ELEVATION | TW |
| TOP OF RETAINING WALL ELEV. | WALL |
| FLOW LINE ELEVATION | FL |
| TOP OF CURB ELEVATION | TC |
| INLET FILTER PROTECTION | "IF" |



NOTE: EXISTING EROSION CONTROL MEASURES, EXCEPT FOR INLET FILTER PROTECTION WILL BE PROVIDED (BY OTHERS) BEFORE CONSTRUCTION OF THE PERMEABLE PAVER PARKING LOT.

PROPOSED UTILITY CROSSINGS

| | | |
|----|----------------------|--------|
| 1 | BOTTOM OF 12\" WATER | 700.52 |
| 2 | TOP OF 6\" SANITARY | 699.56 |
| 3 | BOTTOM OF 15\" STORM | 704.02 |
| 4 | TOP OF 6\" SANITARY | 699.64 |
| 5 | BOTTOM OF 4\" STORM | 706.45 |
| 6 | TOP OF 2\" WATER | 702.50 |
| 7 | BOTTOM OF 15\" WATER | 704.00 |
| 8 | TOP OF 2\" WATER | 702.00 |
| 9 | BOTTOM OF 4\" STORM | 706.45 |
| 10 | TOP OF 6\" SANITARY | 702.50 |



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Illinois Professional Design Firm No. 184-000928

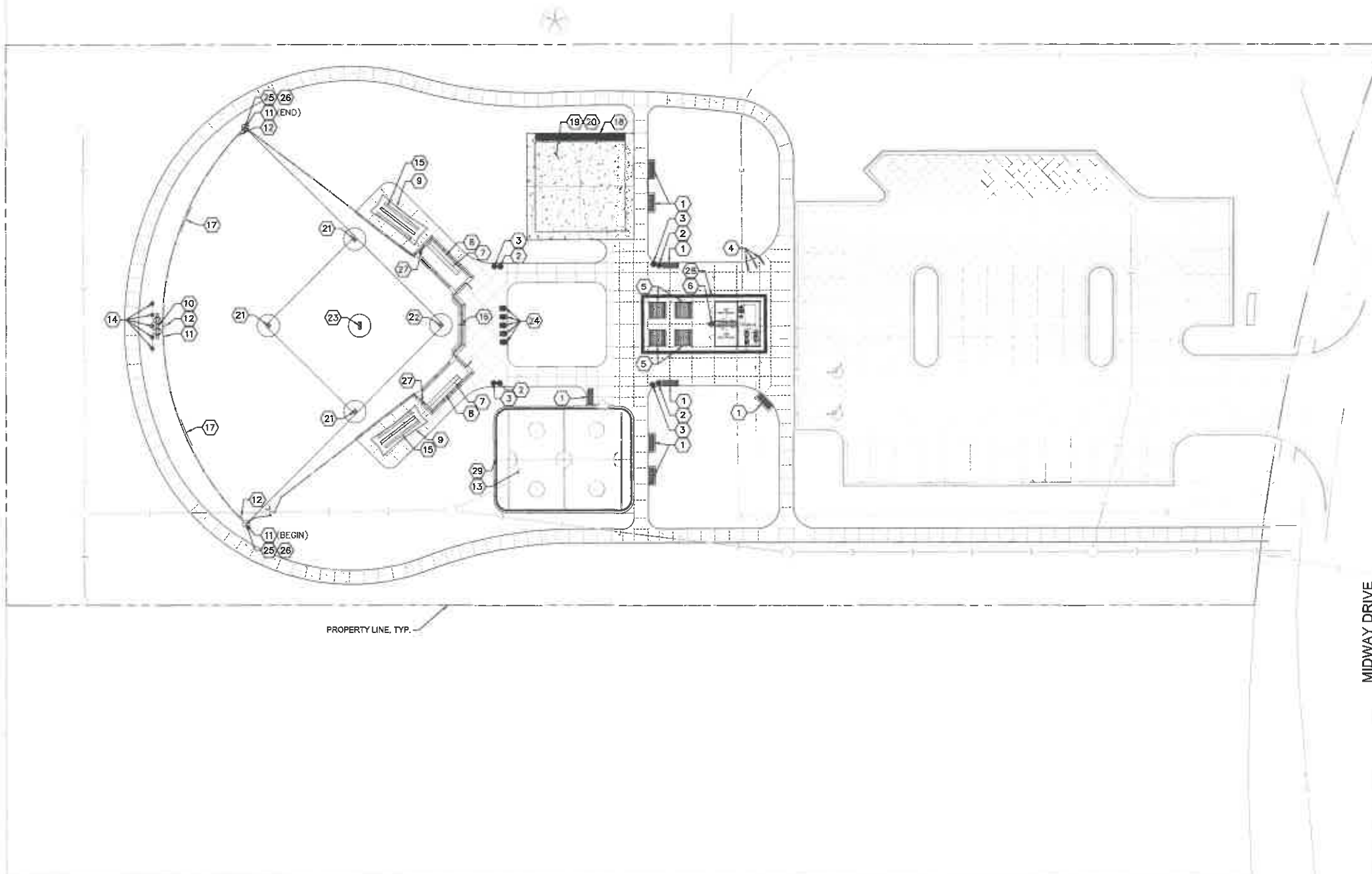
VILLAGE OF WILLOWBROOK
BORSE & MIDWAY PARKS - PERMEABLE PAVER INSTALLATION
208 AND 209 MIDWAY DRIVE

| R E V I S I O N S | | | |
|-------------------|----|------|-------------|
| NO. | BY | DATE | DESCRIPTION |
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GRADING & UTILITY PLAN
GRADING & UTILITY PLAN - MIDWAY PARK

| | | |
|-----------------------------|------------------------|----------------------------------|
| PROJECT NO. 23138 | SCALE NOTED | SHEET 8 OF 17 SHEETS |
| DRAWN/DESIGNED RAR/MCH | DATE JULY, 2023 | |
| CHECKED/APPROVED JEF/JEF | FIELD BOOK NO. FILE | |
| | | |

Drawing name: K:\CHG_LIVE\2023\202301_MidwayPark_Willowbrook\1.2 Design\DWG\SiteFurnishing\1.2 SITE FURNISHING PLAN.dwg, Q1.2 SITE FURNISHING PLAN, Jan 26, 2023, 2:03pm, by: JACOBSON
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE FURNISHING NOTES

1. INSTALL BENCH, SEE DETAIL 3 ON SHEET C2.2 (FURNISHED BY OWNER).
2. INSTALL LITTER RECEPTACLE, SEE DETAIL 5 ON SHEET C2.2 (FURNISHED BY OWNER).
3. INSTALL RECYCLING RECEPTACLE, SEE DETAIL 5 ON SHEET C2.2 (FURNISHED BY OWNER).
4. INSTALL BIKE RACK, SEE DETAIL 4 ON SHEET C2.2 (FURNISHED BY OWNER).
5. INSTALL PICNIC TABLE, SEE DETAIL 1 ON SHEET C2.2 (FURNISHED BY OWNER).
6. INSTALL DRINKING FOUNTAIN, SEE DETAIL 18 ON SHEET C2.2 (FURNISHED BY OWNER).
7. INSTALL DUGOUT BENCH, SEE DETAIL 13 ON SHEET C2.2 (FURNISHED BY OWNER).
8. INSTALL PREFABRICATED DUGOUT, SEE DETAILS ON SHEETS C3.0 - C3.3 (FURNISHED BY OWNER).
9. INSTALL SHADE STRUCTURE, SEE DETAIL 17 ON SHEET C2.2 (FURNISHED BY OWNER).
10. INSTALL SCOREBOARD, SEE DETAIL 6 ON SHEET C2.0 (FURNISHED BY OWNER).
11. INSTALL OUTFIELD FENCE CAP PER MNFR. RECOMMENDATIONS, SEE DETAIL 12 ON SHEET C2.2 (FURNISHED BY OWNER).
12. OUTFIELD DISTANCE MARKER SIGNS TO BE INSTALLED BY OWNER, SEE DETAIL 10 ON SHEET C2.2 (NOT IN CONTRACT).
13. INSTALL 1'X1' FLOATING SPORT COURT TILE, SEE DETAIL 15 ON SHEET C2.2 (FURNISHED BY OWNER).
14. FABRICATE AND INSTALL "COMISKY" PINWHEELS (COMPLETE-IN-PLACE), SEE DETAIL 3 ON SHEET C2.0.
15. INSTALL ALUMINUM BLEACHERS, SEE DETAIL 14 ON SHEET C2.2 (FURNISHED BY OWNER).
16. FURNISH AND INSTALL BACKSTOP AND PLANKING, SEE DETAIL 1 ON SHEET C2.4.
17. VINYL BANNER (OWNER TO FURNISH & INSTALL, NOT IN CONTRACT).
18. INSTALL FITNESS COURT TILED EXERCISE FLOOR AREA PER MNFR. RECOMMENDATIONS, SEE DETAIL 17 ON SHEET C2.3 (FURNISHED BY OWNER).
19. INSTALL FITNESS COURT BODY WEIGHT TRAINING WALL INSTALLATION AREA PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER) SEE DETAIL 16 ON SHEET C2.2.
20. SURFACE MOUNT AND INSTALL FITNESS COURT EXERCISE EQUIPMENT PER MNFR. RECOMMENDATIONS (FURNISHED BY OWNER) SEE DETAIL 16 ON SHEET C2.2.
21. INSTALL BASEBALL BASES & ANCHOR SLEEVES (FURNISHED BY OWNER) SEE DETAIL 8 ON SHEET C2.2.
22. INSTALL HOME PLATE & ANCHOR SLEEVES (FURNISHED BY OWNER) SEE DETAIL 9 ON SHEET C2.2.
23. INSTALL PITCHING RUBBER (FURNISHED BY OWNER) SEE DETAIL 6 ON SHEET C2.2.
24. INSTALL CHAIRS, SEE DETAIL 2 ON SHEET C2.2 (FURNISHED BY OWNER).
25. INSTALL FOUL POLE, SEE DETAIL 11 ON SHEET C2.2 (FURNISHED BY OWNER).
26. INSTALL GROUND SLEEVES FOR FOUL POLE, (FURNISHED BY OWNER) SEE DETAIL 8 ON SHEET C2.0.
27. BALL & BAT HOLDER (FURNISHED BY OWNER) SEE DETAIL 7 ON SHEET C2.0.
28. INSTALL & CONSTRUCT SHELTER PER MNFR. RECOMMENDATIONS, COMPLETE IN PLACE (FURNISHED BY OWNER) SEE DETAILS ON SHEETS S1.0 - S1.0.
29. INSTALL RINK PER MNFR. RECOMMENDATIONS, COMPLETE IN PLACE (FURNISHED BY OWNER) SEE DETAILS ON SHEET C2.1.

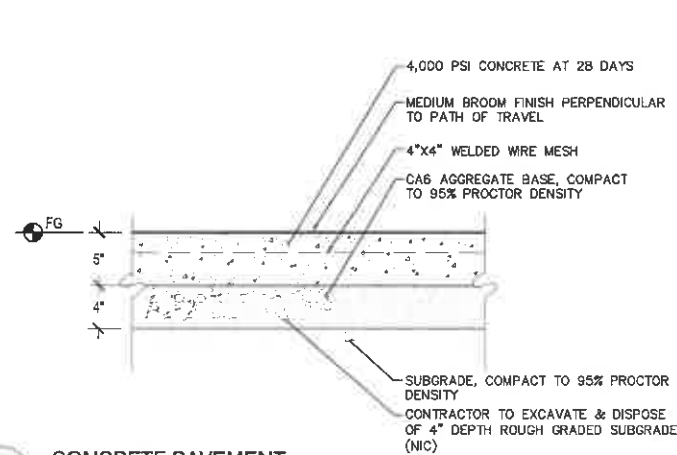
GENERAL NOTES

1. REFER TO ENGINEERING PLANS PREPARED BY NOVOTNY ENGINEERING INC. FOR GRADING, EARTHWORK, PARKING LOT PAVING, & UTILITY PLANS.
2. CONTRACTOR TO COORDINATE WITH ALL OTHER CONTRACTORS AND TRADES FOR SITE IMPROVEMENTS.
3. CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY WITH ANY DISCREPANCIES FROM THE PLANS FOUND IN THE FIELD.

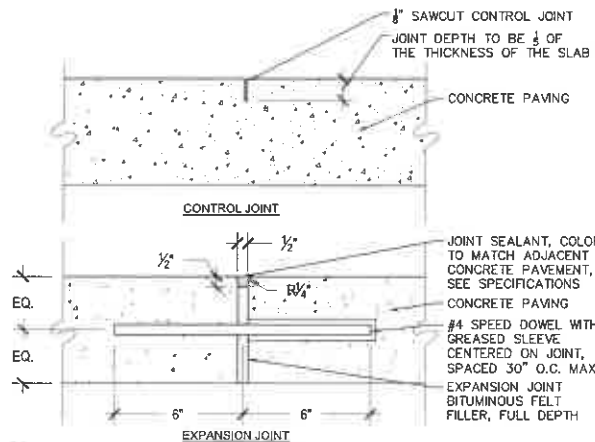
| | | | | | | | |
|--|--|------------------------------|--|--|--|--|--|
| MIDWAY PARK 209 MIDWAY DRIVE WILLOWBROOK, IL | | SITE FURNISHING PLAN | | Kimley»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 200 N. WILLOWBROOK ROAD WILLOWBROOK, IL 60095 | | No. _____ REVISIONS DATE _____ BY _____ | |
| ORIGINAL ISSUE: 03/20/23 | | KHA PROJECT NO. 268329001 | | SHEET NUMBER C1.2 | | BID SET | |

BID SET

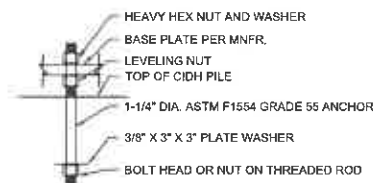
Drawing name: K:\VHS_LDS\28328001_MidwayPark_Willowbrook_IL\2 Design\CAD\ShopDraws\C2.0 SITE DETAILS - Jan 26, 2023 2:03pm by: bscappell
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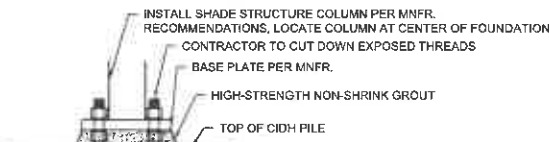
1 CONCRETE PAVEMENT
NOT TO SCALE



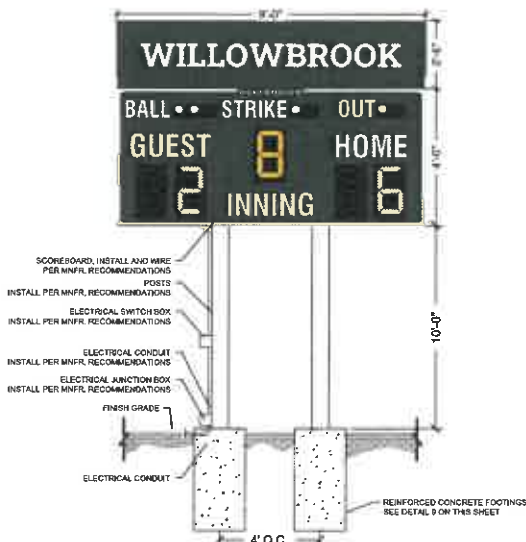
2 CONCRETE JOINTS
NOT TO SCALE



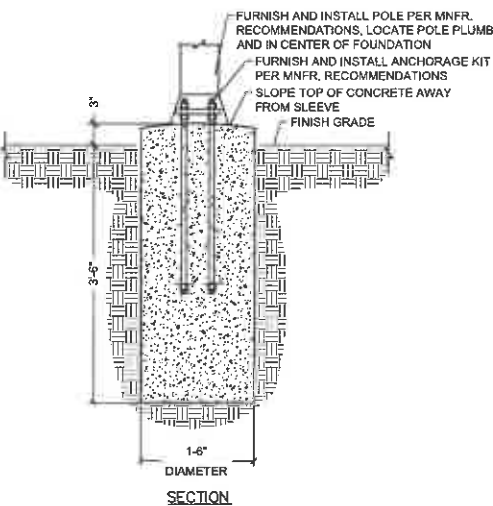
4 ANCHOR BOLT ATTACHMENT DETAIL
NOT TO SCALE



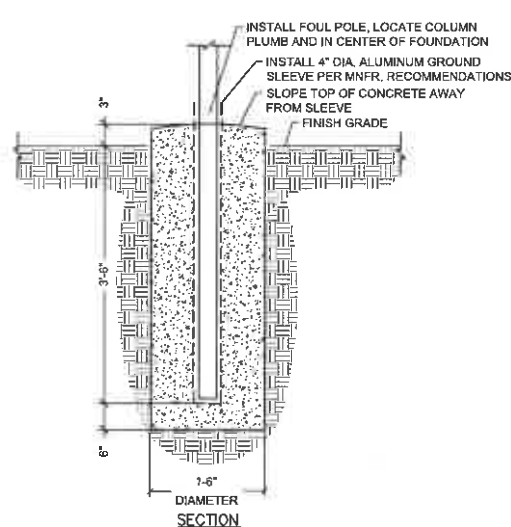
5 CIDH PILE - BASE PLATE ELEVATION
NOT TO SCALE



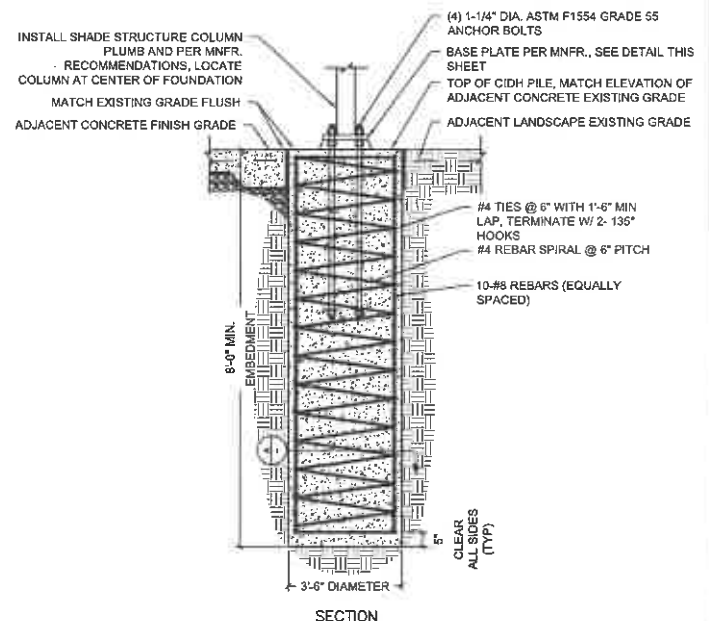
6 SCOREBOARD
NOT TO SCALE



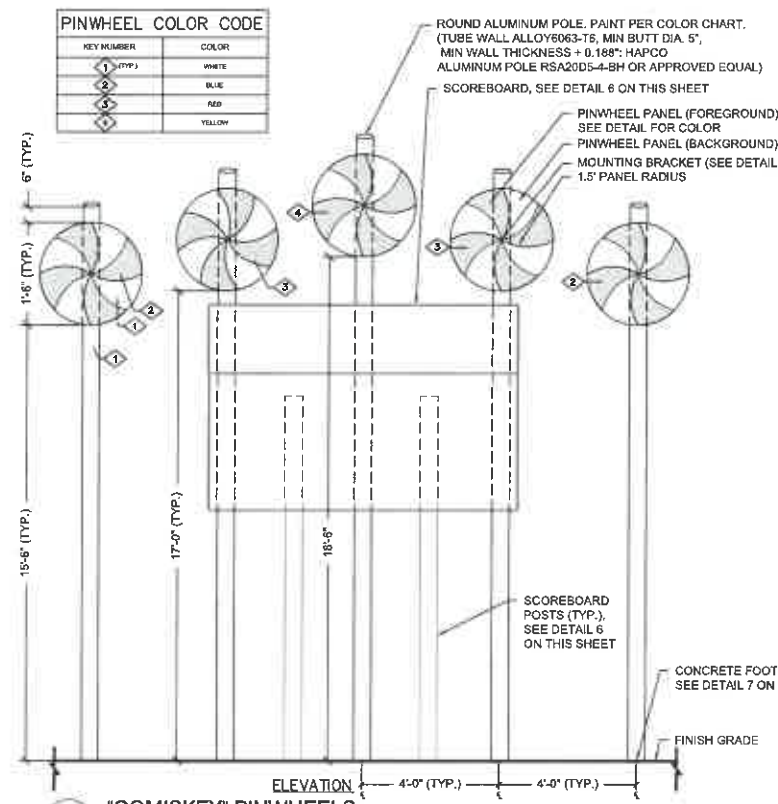
7 PINWHEEL POLE FOOTING
NOT TO SCALE



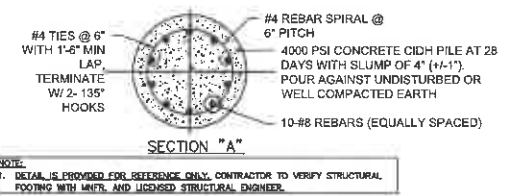
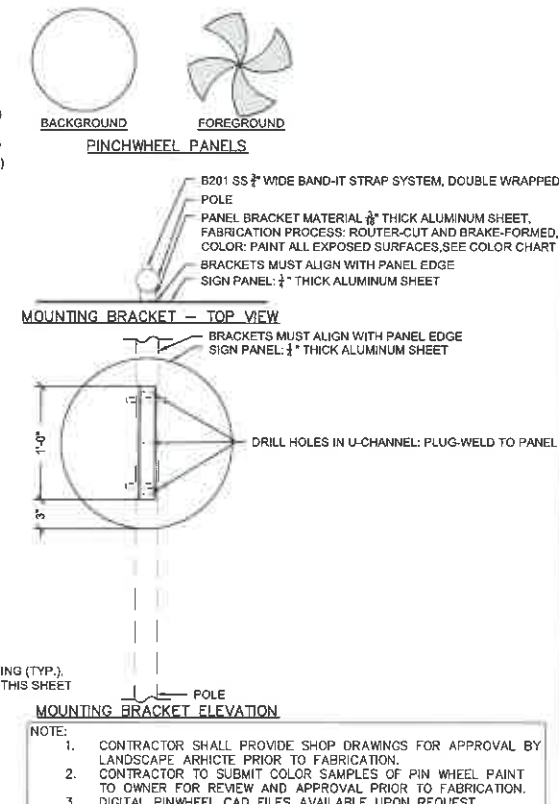
8 FOUL POLE SLEEVE FOOTING
NOT TO SCALE



9 SHADE STRUCTURE AND SCOREBOARD FOOTING
NOT TO SCALE

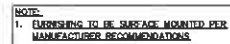


3 \"COMISKEY\" PINWHEELS
NOT TO SCALE



SECTION \"A-A\"
NOTE: 1. DETAIL IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO VERIFY STRUCTURAL FOOTING WITH MNFR. AND LICENSED STRUCTURAL ENGINEER.

| | | | |
|---|--------------|--|-------------|
| Kimley»Horn | | © 2023 KIMLEY-HORN AND ASSOCIATES, INC. SUITE 600, 1501 WILLOWBROOK ROAD WILLOWBROOK, IL 60095 | |
| SCALE: AS NOTED | DESIGNED BY: | DRAWN BY: | CHECKED BY: |
| LICENSED LANDSCAPE ARCHITECT JOSEPH COGSWELL #157-001709 STATE OF ILLINOIS | | EXPIRATION: 8/31/25 | |
| VILLAGE OF WILLOWBROOK | | | |
| SITE DETAILS | | | |
| MIDWAY PARK 299 MIDWAY DRIVE WILLOWBROOK, IL | | | |
| ORIGINAL ISSUE: 03/10/23 | | KHA PROJECT NO. 268328001 | |
| SHEET NUMBER C2.0 | | BID SET | |




NOTE:
1. FURNISHING TO BE SURFACE MOUNTED PER
MANUFACTURER RECOMMENDATIONS.

NOTE:
1. FURNISHING TO BE SURFACE MOUNTED PER
MANUFACTURER RECOMMENDATIONS.

The technical drawing consists of two views of a circular bike rack:

- PLAN:** A side view showing a vertical rectangular bar labeled "BIKE RACK" mounted to a circular base. The mounting is labeled "SURFACE MOUNT".
- ELEVATION:** A front view showing the circular profile of the "BIKE RACK". It is mounted on a "FINISH GRADE" line. A label "SURFACE MOUNT PER MNFR. RECOMMENDATIONS" points to the base of the rack.



6"X8"X24" PITCHING RUBBER W/ 4" CENTER CORE
OWNER TO FURNISH AND INSTALL



325

CONTRACTOR TO INSTALL
OUTFIELD FENCE CAP
(FURNISHED BY OWNER)

CONTRACTOR TO INSTALL
DUGOUT BENCH
(FURNISHED BY OWNER)



A close-up photograph showing a person's feet wearing white sneakers with red accents, standing on the aluminum bleachers. The bleachers are silver and appear to be made of aluminum. The background is slightly blurred, showing more of the bleachers and the ground.

REMOVABLE SS CAP

10" PIPE

18"

6"

5"

15"

4.7"

27"

5"

15"

BOLT CENTERED UNDER ADA ARM
OPTIONAL TEMPLATE

3.4"

35"

CONTRACTOR TO
(FURNISHED BY OR
RECOMMENDATION
CONTRACTOR TO

SECTION/ELEVATION

Diagram showing a vertical pipe section with dimensions and labels. The pipe is 10 inches in diameter. The total height of the section is 18 inches. The section is divided into two main parts: a top section of 6 inches and a bottom section of 12 inches. The bottom section contains a filter and an access door. The top section contains a removable stainless steel cap. The section is mounted on a base. The base has a bolt centered under the ADA arm, with an optional template. The base dimensions are 4.7 inches wide and 27 inches high. The section dimensions are 5 inches wide and 15 inches high. The section is labeled 'SECTION/ELEVATION'.

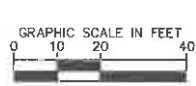
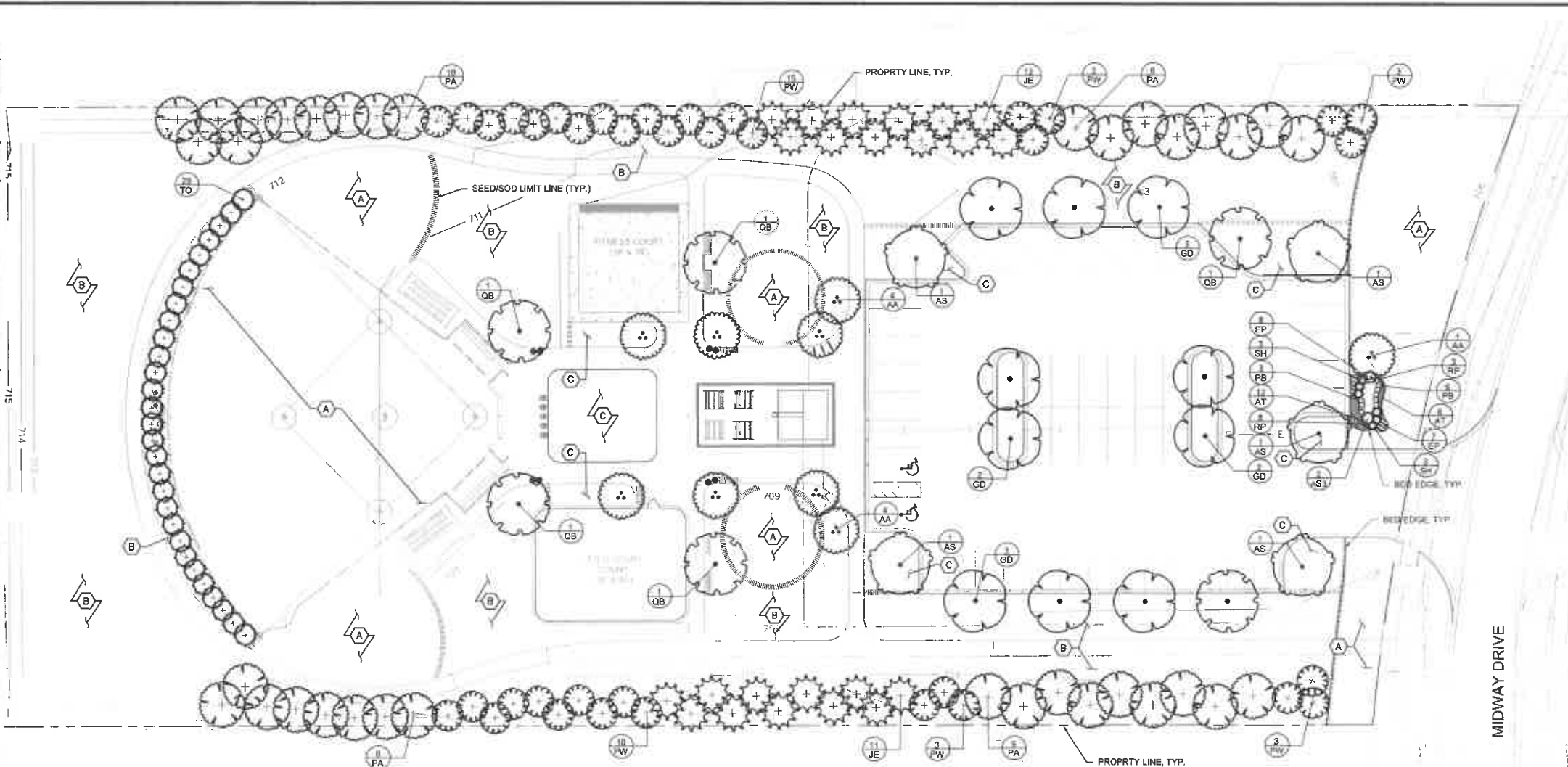
CONTRACTOR TO INSTALL DRINKING FOUNTAIN
(FURNISHED BY OWNER) PER MNFR.
RECOMMENDATIONS.
CONTRACTOR TO PLUMB WATER SUPPLY LINE
AND DRAIN LINE. COMPLETE IN PLACE

FRACTOR TO INSTALL VERSA COURT TILE AND TRIM AT

- CONTRACTOR TO INSTALL FITNESS COURT BODY WEIGHT TRAINING WALL (FURNISHED BY OWNER) AND ANCHOR TO CONCRETE SLAB PER MNFR. RECOMMENDATIONS.
- CONTRACTOR TO INSTALL FITNESS COURT TILE FLOOR SURFACING (FURNISHED BY OWNER) AND ANCHOR PER MNFR. RECOMMENDATIONS.
- CONTRACTOR TO CONSTRUCT CONCRETE SLAB
- CONTRACTOR TO INSTALL FITNESS PLYBOX AND BENCH STATIONS (FURNISHED BY OWNER) AND ANCHOR PER MNFR. RECOMMENDATIONS.

18 DRINKING FOUNTAIN
NOT TO SCALE

Drawing name: K:\CHS_DEVS\288328001_MidwayPark_L1.0_LANDSCAPE PLAN.dwg Date: 03/20/23 2:03pm By: Joe Cogswell
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LANDSCAPE LEGEND

- BED EDGE (TYP.)
- SEED / SOD EDGE (TYP.)
- TURF SOD (TYP.)
- PRAIRIE SEED MIX, SEE MIX INFORMATION ON THIS SHEET
- NATIVE WILDFLOWER SEED MIX, SEE MIX INFORMATION ON THIS SHEET

NOTE:
1.) CONTRACTOR TO COORDINATE SCHEDULE OF EVERGREEN TREE PLANTING WITH THE OWNER. THE INTENT IS TO PLANT THE EVERGREEN TREES IN THE SPRING OF 2024 PRIOR TO BREAK IN PLANT DORMANCY.

PLANT SCHEDULE



| CODE | QTY | BOTANICAL / COMMON NAME | CONT | CAL | SIZE |
|------|-----|---|--------|--------------|-------------|
| AS | 5 | ACER SACCHARUM / SUGAR MAPLE | B & B | 2" CAL. MIN. | |
| GD | 10 | GYMNOCADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE | B & B | 2" CAL. MIN. | |
| QB | 6 | QUERCUS BICOLOR / SWAMP WHITE OAK | B & B | 2" CAL. MIN. | |
| JE | 23 | JUNIPERUS VIRGINIANA / EASTERN REDCEDAR | B & B | | 6' HT. MIN. |
| PA | 35 | PICEA ABIES / NORWAY SPRUCE | B & B | | 6' HT. MIN. |
| PW | 37 | PINUS ALBA / WHITE PINE | B & B | | 6' HT. MIN. |
| TO | 29 | THUJA OCCIDENTALIS / AMERICAN ARBORVITAE | B & B | | 6' HT. MIN. |
| CODE | QTY | BOTANICAL / COMMON NAME | CONT | CAL | SIZE |
| AA | 9 | AMELANCHIER ARBOREA / DOWNY SERVICEBERRY | B & B | MULTISTEM | 6' HT. MIN. |
| CODE | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | SIZE |
| AS3 | 2 | ANDROPOGON SCOPARIUS / LITTLE BLUESTEM | 5 GAL. | SEE PLAN | |
| PB | 9 | PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS | 5 GAL. | SEE PLAN | |
| SH | 6 | SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED | 5 GAL. | SEE PLAN | |
| CODE | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | SIZE |
| AT | 18 | ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED | 1 GAL. | 18" O.C. | |
| EP | 15 | ECHINACEA PURPUREA / CONEFLOWER | 1 GAL. | 18" O.C. | |
| RP | 11 | RATIBIDA PINNATA / YELLOW CONEFLOWER | 1 GAL. | 18" O.C. | |

| Latin | Common | PLS OZ / Area |
|---|--------------------------|---------------|
| Prairie Seed Mix | | |
| Permanent Grasses | | |
| Andropogon scoparius | Big Bluestem | 12.00 |
| Bouteloua curtipendula | Side-Oats Grama | 16.00 |
| Carex sp. | Prairie Sedge Species | 3.00 |
| Elymus canadensis | Canada Wild Rye | 24.00 |
| Panicum virgatum | Switch Grass | 2.00 |
| Schizachyrium capillare | Little Bluestem | 32.00 |
| Sorghastrum nutans | Indian Grass | 12.00 |
| Total | | 101.00 |
| Temporary Cover | | |
| Avena sativa | Common Oat | 512.00 |
| Total | | 512.00 |
| Forbs | | |
| Arnica montana | Lead Plant | 0.50 |
| Asclepias syriaca | Common Milkweed | 3.00 |
| Asclepias tuberosa | Butterfly Weed | 2.00 |
| Chamaecrista fasciculata | Partridge Pea | 10.00 |
| Carex sp. | Sand Carex | 1.00 |
| Carex sp. | Tall Carex | 1.00 |
| Dalea purpurea | Purple Prairie Clover | 1.00 |
| Desmanthus illinoensis | Illinois Sensitive Plant | 1.00 |
| Echinacea purpurea | Purple Coneflower | 1.00 |
| Eryngium yuccifolium | Rattlesnake Master | 2.00 |
| Helianthus scaberrimus | False Sunflower | 0.50 |
| Lespedeza bicolor | Round-Headed Bush Clover | 0.50 |
| Liatis pycnostachya | Prairie Blazing Star | 0.50 |
| Monarda fistulosa | Wild Bergamot | 2.00 |
| Oligoneuron sp. | Stiff Goldenrod | 1.00 |
| Penstemon digitalis | Foxglove Beard Tongue | 1.00 |
| Ratibida pinnata | Yellow Coneflower | 1.00 |
| Rudbeckia hirta | Black-Eyed Susan | 1.00 |
| Solidago speciosa | Showy Goldenrod | 0.50 |
| Symphyotrichum laeve | Smooth Blue Aster | 0.50 |
| Symphyotrichum novae-angliae | New England Aster | 0.50 |
| Verbena stricta | Hoa / Vervain | 1.00 |
| Veronica sp. | Smooth Tall Ironweed | 0.50 |
| Total | | 60.00 |
| *Apply at 42.13 Pure Live Seed Pounds per Acre | | |
| **ALL SEEDED AREAS ARE TO RECEIVE STRAW EROSION CONTROL BLANKET, TYP. | | |

| Latin | Common | PLS OZ / Area |
|---|--------------------------------|---------------|
| Native Wildflower Seed Mix | | |
| Permanent Grasses | | |
| Bouteloua curtipendula | Side-Oats Grama | 16.00 |
| Carex sp. | Prairie Sedge Species | 4.00 |
| Elymus canadensis | Canada Wild Rye | 32.00 |
| Koeleria macrantha | June Grass | 1.00 |
| Panicum virgatum | Switch Grass | 1.00 |
| Schizachyrium capillare | Little Bluestem | 36.00 |
| Total | | 90.00 |
| Temporary Cover | | |
| Avena sativa | Common Oat | 512.00 |
| Total | | 512.00 |
| Forbs | | |
| Arnica montana | Lead Plant | 0.50 |
| Asclepias syriaca | Common Milkweed | 6.00 |
| Asclepias tuberosa | Butterfly Weed | 2.00 |
| Baptisia lactea | White Wild Indigo | 2.00 |
| Chamaecrista fasciculata | Partridge Pea | 26.00 |
| Carex sp. | Sand Carex | 13.00 |
| Dalea candida | White Prairie Clover | 1.50 |
| Dalea purpurea | Purple Prairie Clover | 1.50 |
| Desmanthus illinoensis | Illinois Sensitive Plant | 15.00 |
| Echinacea purpurea | Broad-Leaved Purple Coneflower | 20.00 |
| Eryngium yuccifolium | Rattlesnake Master | 2.00 |
| Lespedeza bicolor | Round-Headed Bush Clover | 2.00 |
| Liatis pycnostachya | Rough Blazing Star | 0.50 |
| Lupinus perennis v. occidentalis | Wild Lupine | 7.00 |
| Monarda fistulosa | Wild Bergamot | 2.00 |
| Oligoneuron sp. | Stiff Goldenrod | 1.00 |
| Parthenium integrifolium | Wild Quinine | 1.00 |
| Penstemon digitalis | Foxglove Beard Tongue | 1.50 |
| Penstemon hirsutus | Hairy Beard Tongue | 1.00 |
| Ratibida pinnata | Yellow Coneflower | 8.00 |
| Rudbeckia hirta | Black-Eyed Susan | 15.00 |
| Rudbeckia subtomentosa | Sweet Black-Eyed Susan | 1.00 |
| Silphium laciniatum | Compass Plant | 2.00 |
| Solidago speciosa | Showy Goldenrod | 1.00 |
| Symphyotrichum laeve | Smooth Blue Aster | 2.00 |
| Symphyotrichum novae-angliae | New England Aster | 0.50 |
| Symphyotrichum oolentangiense | Stiff Blue Aster | 0.50 |
| Thymus virginiana | Goat's Rue | 1.00 |
| Tradescantia virginiana | Common Spiderwort | 1.00 |
| Verbena stricta | Hoa / Vervain | 1.00 |
| Veronica sp. | Culver's Root | 0.50 |
| Total | | 139.00 |
| *Apply at 46.75 Pure Live Seed Pounds per Acre | | |
| **ALL SEEDED AREAS ARE TO RECEIVE STRAW EROSION CONTROL BLANKET, TYP. | | |

Kimley-Horn

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SUITE 400, 450 WILLOW ROAD
WARREN, IL 60555

AS NOTED

DESIGNED BY: JOSEPH COGSWELL
157.961700

DRAWN BY: JACOB COGSWELL

CHECKED BY: JACOB COGSWELL

EXPIRATION: 8/31/23

LANDSCAPE ARCHITECT

STATE OF ILLINOIS

W

VILLAGE OF WILLOWBROOK

LANDSCAPE PLAN

205 MIDWAY DRIVE
WILLOWBROOK, IL

MIDWAY PARK

205 MIDWAY DRIVE
WILLOWBROOK, IL

ORIGINAL ISSUE: 03/20/23

KHA PROJECT NO. 288328001

SHEET NUMBER

L1.0

BID SET

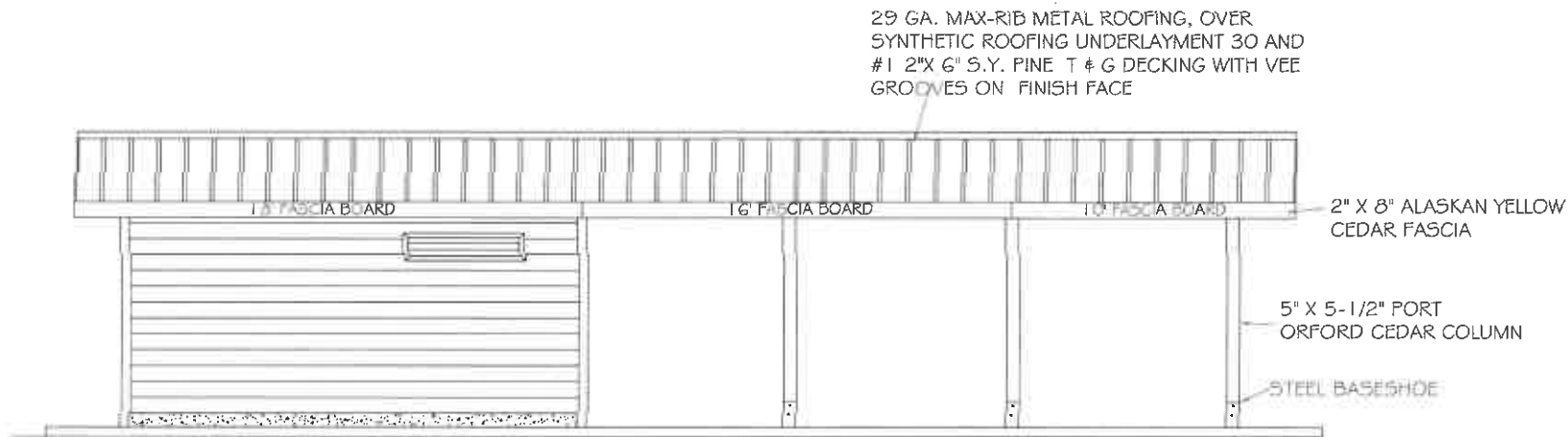
REVISIONS

No.

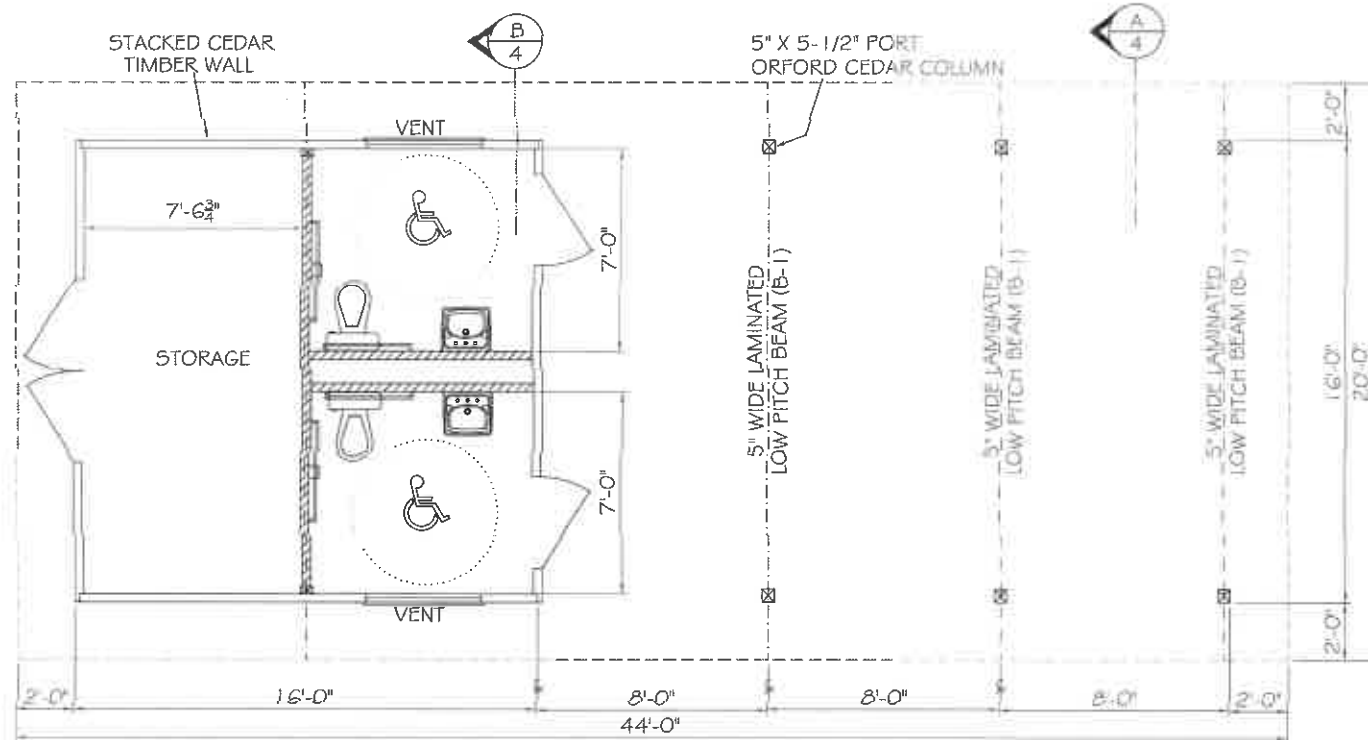
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BY

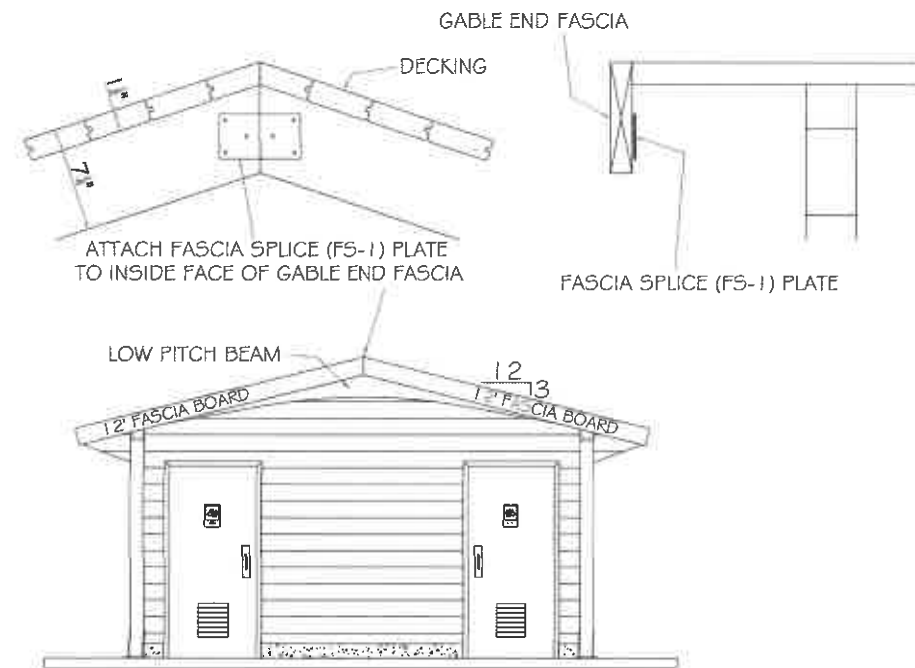
Drawing Name: K:\GIS\JUN23\28329001_MidwayPark_Willowbrook_IL\2 Design\Drawings\PLUMBING PLANS.dwg Date: Jun 28, 2023 2:36pm By: Jgarland
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FRONT ELEVATION



FLOOR PLAN



RIGHT SIDE ELEVATION



NOT TO SCALE



P.O. BOX 145
WEST OLIVE, MI 49460
800-552-9495
WWW.CEDARFORESTPRODUCTS.COM

**STRUCTURE ERECTION: INSTALLATION OF THIS STRUCTURE MUST BE DONE WITH COMPETENT SUPERVISOR IN THE CONSTRUCTION TRADES. THIS SUPERVISOR MUST BE CAPABLE OF READING THE DRAWINGS & FOLLOW CEDAR FOREST PRODUCTS INSTALLATION INSTRUCTIONS USING GOOD CONSTRUCTION PRACTICES AND PROCEDURES. THE CONTRACTOR WILL BE REQUIRED TO SHIM, CUT, AND MAKE ADJUSTMENTS OF FITTING FOR PROPER BUILDING ERECTION.

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DESCRIPTION: Modified Pac 2
PROJECT NAME: Village Of Willowbrook
SALES REP: NuToys
SITE LOCATION: 835 Midway Dr. - Willowbrook, IL. 60527

| | | |
|----------------|----------|---------|
| REVISION DATES | DRAWN BY | DATE |
| REV: | KLY | 5-30-23 |
| REV: | | |
| REV: | | |
| REV: | | |

PRJ #: 4172
2 OF 16

ORIGINAL ISSUE:
03/20/23
KHA PROJECT NO.
288329001
SHEET NUMBER

MIDWAY PARK
209 MIDWAY DRIVE
WILLOWBROOK, IL

SHELTER
DETAILS



VILLAGE OF WILLOWBROOK

SCALE: AS NOTED
DESIGNED BY:
DRAWN BY:
CHECKED BY:

Kimley»Horn
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301 E. MONROE AVE., SUITE 100
WILLOWBROOK, IL 60527

REVISIONS

DATE

BY

BID SET

S1.1