

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, FEBRUARY 8, 2021, AT 6:30 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, IL, DUPAGE COUNTY, ILLINOIS

DUE TO THE COVID 19 PANDEMIC THE VILLAGE WILL BE UTILIZING A CONFERENCE CALL FOR THIS MEETING.

THE PUBLIC CAN UTILIZE THE FOLLOWING CALL IN NUMBER:

Dial in Phone Number: 312-626-6799

Meeting ID: 868 8698 5254

Written Public Comments Can Be Submitted By 5:15 pm on February 8, 2021 to mmertens@willowbrook.il.us

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITORS' BUSINESS - Public Comment is Limited to Three Minutes Per Person
5. OMNIBUS VOTE AGENDA:
 - a. Waive Reading of Minutes (APPROVE)
 - b. Minutes - Village Board Meeting - January 25, 2021 (APPROVE)
 - c. Monthly Financial Report - January 2021 (APPROVE)
 - d. Warrants - \$145,823.90 (APPROVE)
 - e. ORDINANCE NO. 21-O-07 - An Ordinance Extending Temporary Executive Powers Pursuant to 65 ILCS 5/11-1-6 (PASS)
 - f. RESOLUTION NO. 21-R-04 - A Resolution of the Village of Willowbrook In Lieu of Surety Bond to the Illinois Department of Transportation (ADOPT)

- g. MOTION - A Motion to Approve the Release of Liability and Indemnification Waiver with Flagg Creek Water Reclamation District for the Reimbursement of \$30,530.45 (PASS)

NEW BUSINESS

6. RECEIVE - Receive Plan Commission Recommendation for Public Hearing Case 21-01: Consideration of a Petition Requesting Approval of a Special Use Permit for a Fast-Food Establishment and a Special Use Permit for a Drive-Through in the B-2 Community Shopping District, Including Certain Variations from Title 9 of the Village Code. The Applicant Seeks to Demolish the Existing Gas/Service Station and Construct a One-Story Building and Drive-Through with Associated Site Improvements on the Property. The Applicant is Hakim Yala of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The Property Owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141 (RECEIVE)
7. ORDINANCE NO. 21-O-08 - An Ordinance Denying Certain Variations from Title 9 Entitled "Zoning Regulations" of the Municipal Code of the Village of Willowbrook - 6401 Meadow Lane (PASS)
8. RESOLUTION NO. 21-R-05 A Resolution of the Village of Willowbrook Approving and Accepting a Proposal from ADS, LLC D/B/A/ ADS Environmental to Provide Water Leak Detection Services to the Village at a Cost Not-To-Exceed Ten Thousand Two Hundred Fifty-Six Dollars (\$10,256.00) (ADOPT)
9. RESOLUTION NO. 21-R-06 A Resolution Approving and Authorizing the Replacement of Two (2) Under Registering Pump House Water Meters at a Cost Not-To-Exceed Nine Thousand Seven Hundred Thirty Dollars (\$9,730.00) (ADOPT)

PRIOR BUSINESS

10. TRUSTEE REPORTS

11. ATTORNEY'S REPORT
12. CLERK'S REPORT
13. ADMINISTRATOR'S REPORT
14. MAYOR'S REPORT
15. CLOSED SESSION
16. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, JANUARY 25, 2021 AT 6:30 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.

DUE TO THE COVID 19 PANDEMIC, THE VILLAGE WILL BE UTILIZING A ZOOM CONFERENCE CALL FOR THIS MEETING.

1. CALL TO ORDER

The meeting was called to order at 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those physically present at roll call were Mayor Frank A. Trilla, Trustees Umberto Davi, Gayle Neal, and Deputy Clerk Mardegan.

Present Via conference call, due to the COVID-19 Pandemic, were, Trustees Sue Berglund, Michael Mistele, Paul Oggerino, and Greg Ruffolo, Village Clerk Deborah Hahn, Village Attorney Michael Durkin, Village Administrator Brian Pabst, Assistant Village Administrator Michael Mertens, Director of Finance Carrie Dittman, Chief Robert Schaller, Deputy Chief Lauren Kasper, Building Official Roy Giuntoli and Planning Consultant Ann Choi.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Trustee Davi to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None presented and no written comments were received.

5. OMNIBUS VOTE AGENDA

Mayor Trilla read over each item in the Omnibus Vote Agenda for the record.

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Village Board Meeting - January 11, 2021 (APPROVE)
- c. Warrants - \$408,264.03 (APPROVE)

- d. ORDINANCE NO. 21-O-04 - An Ordinance Extending Temporary Executive Powers Pursuant to 65 ILCS 5/11-1-6 (PASS)
- e. RECEIVE - Receive Plan Commission Recommendation - Public Hearing Case 21-02: 6401 Meadow Lane Addition - Pete Baftiri on behalf of Jain Bhagwan, 6401 Meadow Lane, Willowbrook IL 60527. Consideration of a petition for approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-four point forty-six feet (24.46') and approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool, and other such relief from Title 9 of the Village Code, as necessary. (RECEIVE)
- f. ORDINANCE NO. 21-O-05 - An Ordinance Abating the Taxes Heretofore Levied for the Year 2020 to Pay the Principal and Interest on the \$4,930,000 General Obligation Bonds (Alternate Revenue Source) Series 2015 of the Village of Willowbrook, DuPage County, Illinois (PASS)

Trustee Berglund asked if 5e will be discussed at the next meeting? Mayor Trilla stated this will be discussed at the next meeting.

Mayor Trilla asked the Board if there were any items to be removed from Omnibus Vote Agenda.

MOTION: Made by Trustee Davi and seconded by Trustee Mistele to approve the Omnibus Vote Agenda.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Mistele, Neal, Oggerino and Ruffolo. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

6. ORDINANCE NO. 21-O-06 - An Ordinance Rezoning Certain Territory, Granting Certain Variations from the Subdivision Regulations and Granting Approval of a Final Plat of Subdivision - 6544 Tennessee Avenue - Pye's Resubdivision (PASS)

Consultant Choi stated, the petitioners and property owners, David and Lisa Pye, is requesting to rezone the property at 6544 Tennessee Avenue from the R-1 Single Family Residence Zoning District to the R-2 Single Family Residence Zoning District. The 1.36-acre subject property is currently improved with a single family home and detached garage. The parcel measures approximately 181' by 326' with a total approximate area of 59,260 square feet. The petitioner proposes to subdivide the property into two buildable lots that comply with the minimum lot requirements of the R-2 Zoning District. The two new lots will comply in all respects with the R-2 zoning district bulk standards without variations. A right-of-way dedication on Tennessee Avenue is required for the new Carrington Club cul-de-sac and is reflected in the Final Plat of Subdivision. The Final Plat also includes a Wetlands & Conservation Easement. The proposed subdivision qualifies as a minor subdivision and can proceed directly to final plat approval, without a public hearing, but with Plan Commission review and recommendation prior to Village Board consideration. The rezoning requires a public hearing. The request complies with the guidelines set forth in the Village's Comprehensive Plan and other land development regulations. The requested zoning and lot configurations should have no negative impacts on surrounding land uses. Consistent with the development patterns for new development to the north, no subdivision improvements such as curb, gutter, sidewalks, or streetlights will be required with development on these lots as these would be largely inconsistent with the other properties in the area. The Comprehensive Plan designates Tennessee Avenue as a rural cross section with no need for these improvements. The rezoning and subdivision requests were discussed at the December 16, 2020 special meeting of the Plan Commission. The Plan Commission voted 7-0 in favor of the proposed petition, to forward a positive recommendation to the Village Board. That concludes my report.

Trustee Davi asked if the Plan Commission approved this ordinance.

Mayor Trilla responded yes; they did 7-0 in favor of the proposed petition.

MOTION: Made by Trustee Ruffolo and seconded by Trustee Mistele to pass Ordinance No. 21-O-06 as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Mistele, Neal, Oggerino and Ruffolo. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

7. PRIOR BUSINESS

TRUSTEE REPORTS

Trustee Neal has no report.

Trustee Ruffolo had no report.

Trustee Mistele had no report but missed being at the meeting in person.

Trustee Berglund had no report.

Trustee Davi had no report.

Trustee Oggerino had no report.

8. ATTORNEY'S REPORT

Attorney Durkin had no report.

9. CLERK'S REPORT

Clerk Hahn reminded the Board and staff to fill out their Financial Disclosure forms and the Economic Interest Statement for DuPage County.

10. ADMINISTRATOR'S REPORT

Administrator Pabst had no report.

11. MAYOR'S REPORT

Mayor Trilla related the DuPage County will enter Tier One (1) tomorrow. This is good news for all our restaurants.

12. CLOSED SESSION

Mayor Trilla advised there was no need for closed session at tonight's meeting.

13. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Davi to adjourn the Regular Meeting at the hour of 6:45 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Mistele, Neal, Oggerino and Ruffolo. NAYS: None. ABSENT: None.

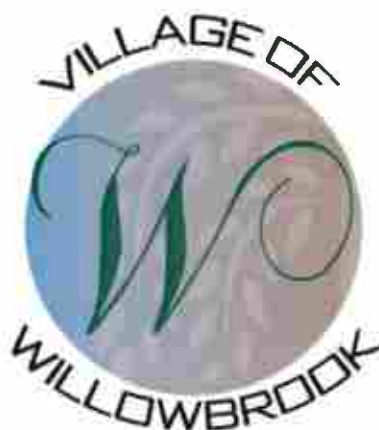
MOTION DECLARED CARRIED

PRESENTED, READ, and APPROVED.

_____, 2021.

Frank A. Trilla, Mayor

Minutes transcribed by Deputy Clerk Christine Mardegan.



MONTHLY FINANCIAL REPORT
JANUARY 2021

RESPECTFULLY SUBMITTED BY:

Frank A. Trilla, Mayor

Carrie Dittman, Director of Finance

**VILLAGE OF WILLOWBROOK
FINANCIAL REPORT
MUNICIPAL SALES AND USE TAXES**

MONTH DIST	SALE MADE		16-17	17-18	18-19	19-20	20-21	Difference from Prior Year
MAY	FEB	\$	267,882	\$ 264,472	\$ 276,118	\$ 320,221	\$ 307,589	-3.94%
JUNE	MAR		312,681	304,436	334,282	360,870	359,968	-0.25%
JULY	APR		269,580	304,925	309,957	343,577	289,885	-15.63%
AUG	MAY		331,887	345,478	376,154	397,471	356,759	-10.24%
SEPT	JUNE		398,196	354,582	364,229	408,372	385,683	-5.56%
OCT	JULY		316,266	313,701	320,062	380,773	415,157	9.03%
NOV	AUG		315,293	361,826	339,020	389,765	390,300	0.14%
DEC	SEPT		325,374	334,582	342,467	363,388	391,326	7.69%
JAN	OCT		289,208	312,400	329,103	375,088	404,167	7.75%
FEB	NOV		304,898	319,012	362,572	368,379		
MARCH	DEC		371,080	416,900	428,214	437,962		
APRIL	JAN		263,392	285,192	296,927	311,493		
TOTAL		\$	3,765,737	\$ 3,917,506	\$ 4,079,105	\$ 4,457,359	\$ 3,300,834	
MTH AVG		\$	313,811	\$ 326,459	\$ 339,925	\$ 371,447	\$ 366,759	
BUDGET		\$	3,600,000	\$ 3,600,000	\$ 3,600,000	\$ 4,000,000	\$ 3,500,000	

YEAR TO DATE LAST YEAR : \$ 3,339,525
YEAR TO DATE THIS YEAR : \$ 3,300,834
DIFFERENCE : \$ (38,691)

PERCENTAGE CHANGE :

-1.16%

CURRENT FISCAL YEAR :

BUDGETED REVENUE: \$ 3,500,000
PERCENTAGE OF YEAR COMPLETED : 75.00%
PERCENTAGE OF REVENUE TO DATE : 94.31%
PROJECTION OF ANNUAL REVENUE : \$ 4,405,717
EST. DOLLAR DIFF ACTUAL TO BUDGET \$ 905,717
EST. PERCENT DIFF ACTUAL TO BUDGET 25.88%

VILLAGE OF WILLOWBROOK
MONTHLY CASH AND INVESTMENT BALANCE BY FUND
FOR THE MONTH ENDED 01/31/2021

ACCOUNT	BALANCE
Fund 01 GENERAL FUND	
CHECKING - 0283	8,611.00
COMMUNITY BANK OF WB - 0275	811,848.53
IL FUNDS - 5435	4,457,866.34
COMMUNITY BANK OF WB MM - 1771	305,755.34
COMMUNITY BANK RD LGHT - 0243	44,303.86
COMMUNITY BANK OF WB FSA - 3804	11,654.29
COMMUNITY BANK DRUG ACCT - 4171	29,219.94
PETTY CASH REVLVING	950.00
Total For Fund 01:	<u>5,670,209.30</u>
Fund 02 WATER FUND	
IL FUNDS WATER - 5914	620,853.69
COMMUNITY BANK OF WB WTR - 4163	742,603.81
COMMUNITY BANK OF WB - 0275	0.00
Total For Fund 02:	<u>1,363,457.50</u>
Fund 04 MOTOR FUEL TAX FUND	
IL FUNDS MFT - 5443	662,774.38
Total For Fund 04:	<u>662,774.38</u>
Fund 06 SSA ONE BOND & INTEREST FUND	
IL FUNDS SSA BOND - 4621	21,857.31
Total For Fund 06:	<u>21,857.31</u>
Fund 07 POLICE PENSION FUND	
COMMUNITY BANK OF WB PP - 4155	60,462.30
COMMUNITY BANK OF WB - 0275	0.00
SCHWAB - PP MONEY MARKET	246,075.14
US TREASURIES	811,732.55
US AGENCIES	5,853,013.50
MUNICIPAL BONDS	1,166,759.73
CORPORATE BONDS	1,881,046.50
MUTUAL FUNDS	12,742,499.83
MARKET VALUE CONTRA	4,380,014.15
Total For Fund 07:	<u>27,141,603.70</u>
Fund 09 WATER CAPITAL IMPROVEMENTS FUND	
IL FUNDS WTR CAP - 1206	1,021,042.06
Total For Fund 09:	<u>1,021,042.06</u>
Fund 10 CAPITAL PROJECT FUND	
COMMUNITY BANK OF WB - 0275	680.52
Total For Fund 10:	<u>680.52</u>
Fund 11 DEBT SERVICE FUND	
IL FUNDS BOND PROCEEDS DS - 2756	11.25
Total For Fund 11:	<u>11.25</u>
Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &	
IL FUNDS - 5435	18,369.00
Total For Fund 14:	<u>18,369.00</u>
Fund 15 RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX	
IL FUNDS BUSINESS DISTRICT - 5435	1,957,848.79
Total For Fund 15:	<u>1,957,848.79</u>
TOTAL CASH & INVESTMENTS:	<u>37,857,853.81</u>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
 PERIOD ENDING 01/31/2021
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 01/31/2021
Fund 01 - GENERAL FUND		
MONEY MARKET		
01-00-110-322	IL FUNDS - 5435	4,457,866.34
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	305,755.34
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	44,303.86
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	29,219.94
	Net MONEY MARKET	4,837,145.48
PETTY CASH		
01-00-110-911	PETTY CASH REVLING	950.00
	Net PETTY CASH	950.00
SAVINGS		
01-00-110-257	COMMUNITY BANK OF WB - 0275	811,848.53
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,654.29
	Net SAVINGS	823,502.82
Fund 02 - WATER FUND		
MONEY MARKET		
02-00-110-113	IL FUNDS WATER - 5914	820,853.69
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	742,603.81
	Net MONEY MARKET	1,363,457.50
Fund 04 - MOTOR FUEL TAX FUND		
MONEY MARKET		
04-00-110-116	IL FUNDS MFT - 5443	662,774.38
	Net MONEY MARKET	662,774.38
Fund 06 - SSA ONE BOND & INTEREST FUND		
MONEY MARKET		
06-00-110-117	IL FUNDS SSA BOND - 4621	21,857.31
	Net MONEY MARKET	21,857.31
Fund 07 - POLICE PENSION FUND		
MONEY MARKET		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	60,462.30
07-00-110-336	SCHWAB - PP MONEY MARKET	246,075.14
	Net MONEY MARKET	306,537.44
AGENCY CERTIFICATES		
07-00-120-260	US AGENCIES	5,853,013.50
	Net AGENCY CERTIFICATES	5,853,013.50
CORPORATE BONDS		
07-00-120-288	CORPORATE BONDS	1,881,046.50
	Net CORPORATE BONDS	1,881,046.50
MUNICIPAL BONDS		
07-00-120-270	MUNICIPAL BONDS	1,166,759.73
	Net MUNICIPAL BONDS	1,166,759.73
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	12,742,499.83
	Net MUTUAL FUNDS	12,742,499.83
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	4,380,014.15
	Net MARKET VALUE	4,380,014.15
TREASURY NOTES		
07-00-120-250	US TREASURIES	811,732.55
	Net TREASURY NOTES	811,732.55
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		

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ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 01/31/2021
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

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GL NUMBER	DESCRIPTION	END BALANCE 01/31/2021
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
09-00-110-324	IL FUNDS WTR CAP - 1206	1,021,042.06
	Net MONEY MARKET	1,021,042.06
Fund 10 - CAPITAL PROJECT FUND		
SAVINGS		
10-00-110-257	COMMUNITY BANK OF WB - 0275	680.52
	Net SAVINGS	680.52
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
	Net MONEY MARKET	11.25
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-322	IL FUNDS - 5435	18,369.00
	Net MONEY MARKET	18,369.00
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX		
MONEY MARKET		
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,957,848.79
	Net MONEY MARKET	1,957,848.79

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 01/31/2021
CASH & INVESTMENTS BY INSTITUTION

GL NUMBER	DESCRIPTION	END BALANCE 01/31/2021
COMMUNITY BANK OF WB		
01-00-110-105	CHECKING - 0283	8,611.00
01-00-110-257	COMMUNITY BANK OF WB - 0275	811,848.53
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	305,755.34
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	44,303.86
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,654.29
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	29,219.94
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	742,603.81
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	60,462.30
10-00-110-257	COMMUNITY BANK OF WB - 0275	680.52
	Net COMMUNITY BANK OF WB	2,015,139.59
ILLINOIS FUNDS		
01-00-110-322	IL FUNDS - 5435	4,457,866.34
02-00-110-113	IL FUNDS WATER - 5914	620,853.69
04-00-110-116	IL FUNDS MFT - 5443	662,774.38
06-00-110-117	IL FUNDS SSA BOND - 4621	21,857.31
09-00-110-324	IL FUNDS WTR CAP - 1206	1,021,042.06
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
14-00-110-322	IL FUNDS - 5435	18,369.00
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,957,848.79
	Net ILLINOIS FUNDS	8,760,622.82
VILLAGE OF WILLOWBROOK		
01-00-110-911	PETTY CASH REVLING	950.00
	Net VILLAGE OF WILLOWBROOK	950.00
CHARLES SCHWAB		
07-00-110-336	SCHWAB - PP MONEY MARKET	246,075.14
07-00-120-250	US TREASURIES	811,732.55
07-00-120-260	US AGENCIES	5,853,013.50
07-00-120-270	MUNICIPAL BONDS	1,166,759.73
07-00-120-288	CORPORATE BONDS	1,881,046.50
07-00-120-290	MUTUAL FUNDS	12,742,499.83
07-00-120-900	MARKET VALUE CONTRA	4,380,014.15
	Net CHARLES SCHWAB	27,081,141.40
Total - All Funds:		37,857,853.81

GL Number	Description	Balance
Fund 01: GENERAL FUND		
Due From Other Funds		
01-00-140-102	DUE TO/FROM WATER FUND	(353.54)
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	188,263.40
	Total Due From Other Funds	187,909.86
Fund 02: WATER FUND		
Due From Other Funds		
02-00-140-101	DUE TO/FROM GENERAL FUND	353.54
	Total Due From Other Funds	353.54
Fund 07: POLICE PENSION FUND		
Due From Other Funds		
07-00-140-101	DUE (TO)/FROM GENERAL FUND	(188,263.40)
	Total Due From Other Funds	(188,263.40)

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REVENUE REPORT FOR WILLOWBROOK
PERIOD ENDING 01/31/2021

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 01/31/2021	YTD BALANCE 01/31/2021	2020-21 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
PROPERTY TAX						
01-00-310-101	PROPERTY TAX LEVY - SRA	266.59	73,766.82	72,750.00	101.40	(1,016.82)
01-00-310-102	PROPERTY TAX LEVY - ROAD & BRIDGE	561.43	117,466.59	116,146.00	101.15	(1,340.59)
Net PROPERTY TAX		828.02	191,253.41	188,896.00	101.25	(2,357.41)
OTHER TAXES						
01-00-310-201	MUNICIPAL SALES TAX	404,166.78	3,300,833.97	3,500,000.00	94.31	199,166.03
01-00-310-202	ILLINOIS INCOME TAX	91,492.37	716,599.29	717,000.00	99.94	400.71
01-00-310-203	AMUSEMENT TAX	1,183.59	39,271.96	65,004.00	60.41	25,732.04
01-00-310-204	REPLACEMENT TAX	258.12	1,126.80	1,250.00	90.14	123.20
01-00-310-205	UTILITY TAX	70,462.60	584,069.92	850,000.00	68.71	265,930.08
01-00-310-206	LOCAL GAS TAX	22,709.90	187,587.55	275,000.00	68.21	87,412.45
01-00-310-208	PLACES OF EATING TAX	39,761.35	333,104.53	400,000.00	83.28	66,895.47
01-00-310-209	WATER TAX	10,469.55	126,902.30	160,000.00	79.31	33,097.70
01-00-310-210	WATER TAX - UNINCORPORATED	49.67	167.07	160.00	104.42	(7.07)
01-00-310-211	HOTEL/MOTEL TAX	9,124.91	113,724.67	216,000.00	52.65	102,275.33
01-00-310-212	SELF-STORAGE FACILITY TAX	10,905.73	90,945.56	0.00	100.00	(90,945.56)
Net OTHER TAXES		660,584.57	5,494,333.62	6,184,414.00	88.84	690,080.38
LICENSES						
01-00-310-302	LIQUOR LICENSES	(5,000.00)	21,914.00	66,750.00	32.83	44,836.00
01-00-310-303	BUSINESS LICENSES	(5,466.00)	99,919.50	93,000.00	107.44	(6,919.50)
01-00-310-304	VIDEO GAMING LICENSES	750.00	7,375.00	10,000.00	73.75	2,625.00
01-00-310-305	VENDING MACHINE LICENSES	(36.00)	1,902.00	2,500.00	76.08	598.00
01-00-310-306	SCAVENGER LICENSES	0.00	7,000.00	7,000.00	100.00	0.00
Net LICENSES		(9,752.00)	138,110.50	179,250.00	77.05	41,139.50
PERMITS						
01-00-310-401	BUILDING PERMITS	27,928.17	234,738.61	285,000.00	82.36	50,261.39
01-00-310-402	SIGN PERMITS	0.00	13,823.32	6,000.00	230.39	(7,823.32)
01-00-310-403	OTHER PERMITS	0.00	(24.00)	500.00	(4.80)	524.00
01-00-310-404	COUNTY BMP FEE	0.00	0.00	500.00	0.00	500.00
01-00-310-405	SPECIAL HAULING PERMITS (OXCART)	260.00	2,345.00	3,000.00	78.17	655.00
Net PERMITS		28,188.17	250,882.93	295,000.00	85.05	44,117.07
FINES						
01-00-310-501	CIRCUIT COURT FINES	3,733.06	47,326.90	90,000.00	52.59	42,673.10
01-00-310-502	TRAFFIC FINES	12,050.00	45,700.00	25,000.00	182.80	(20,700.00)
01-00-310-503	RED LIGHT FINES	39,700.00	487,397.00	565,000.00	86.26	77,603.00
01-00-310-504	DUI FINES	1,067.12	2,406.21	2,000.00	120.31	(406.21)
01-00-310-505	OVERWEIGHT TRUCK FINES	0.00	2,527.50	6,000.00	42.13	3,472.50
Net FINES		56,550.18	585,357.61	688,000.00	85.08	102,642.39
OVERHEAD REIMBURSEMENT						
01-00-310-601	ADMINISTRATIVE SUPPORT REIMB - WATER	46,857.33	421,715.97	562,288.00	75.00	140,572.03
Net OVERHEAD REIMBURSEMENT		46,857.33	421,715.97	562,288.00	75.00	140,572.03

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 01/31/2021	YTD BALANCE 01/31/2021	2020-21 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
CHARGES & FEES						
01-00-310-700	PLANNING APPLICATION FEES	0.00	21,990.00	10,000.00	219.90	(11,990.00)
01-00-310-701	PUBLIC HEARING FEES	0.00	18,025.00	2,500.00	721.00	(15,525.00)
01-00-310-702	PLANNING REVIEW FEES	0.00	0.00	2,500.00	0.00	2,500.00
01-00-310-704	ACCIDENT REPORT COPIES	190.00	1,685.00	2,000.00	84.25	315.00
01-00-310-705	VIDEO GAMING TERMINAL INCOME	1,189.42	19,459.83	36,000.00	54.06	16,540.17
01-00-310-706	COPIES-ORDINANCES & MAPS	0.00	0.00	50.00	0.00	50.00
01-00-310-723	ELEVATOR INSPECTION FEES	700.00	3,475.00	12,000.00	28.96	8,525.00
01-00-310-724	BURGLAR ALARM FEES	0.00	870.00	10,000.00	8.70	9,130.00
01-00-310-726	NSF FEE	(25.00)	(25.00)	0.00	100.00	25.00
Net CHARGES & FEES		2,054.42	65,479.83	75,050.00	87.25	9,570.17
PARK & RECREATION CHARGES						
01-00-310-813	PARK & REC CONTRIBUTION	0.00	0.00	3,000.00	0.00	3,000.00
01-00-310-814	PARK PERMIT FEES	0.00	(290.00)	3,000.00	(9.67)	3,290.00
01-00-310-815	SUMMER RECREATION FEES	0.00	0.00	9,230.00	0.00	9,230.00
01-00-310-817	SPECIAL EVENTS	0.00	0.00	5,450.00	0.00	5,450.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL RE	0.00	0.00	6,500.00	0.00	6,500.00
01-00-310-820	HOLIDAY CONTRIBUTION	0.00	0.00	2,500.00	0.00	2,500.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	200.00	0.00	200.00
Net PARK & RECREATION CHARGES		0.00	(290.00)	29,880.00	(0.97)	30,170.00
OTHER REVENUE						
01-00-310-901	REIMBURSEMENTS - IRMA	0.00	26,984.22	0.00	100.00	(26,984.22)
01-00-310-909	SALE - FIXED ASSETS	0.00	5,652.00	7,500.00	75.36	1,848.00
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	0.00	600.00	500.00	120.00	(100.00)
01-00-310-911	REIMBURSEMENTS - RED LIGHT ENERGY	122.01	1,018.11	1,440.00	70.70	421.89
01-00-310-912	REIMBURSEMENTS - BRUSH PICK-UP	0.00	7,601.04	10,800.00	70.38	3,198.96
01-00-310-913	OTHER RECEIPTS	20.00	4,572.97	0.00	100.00	(4,572.97)
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DETA	6,493.00	6,493.00	5,000.00	129.86	(1,493.00)
01-00-310-917	REIMBURSEMENTS - PUBLIC WORKS OTHE	0.00	4,411.93	23,600.00	18.69	19,188.07
01-00-310-921	OTHER GRANTS	2,000.00	2,000.00	0.00	100.00	(2,000.00)
01-00-310-922	FEDERAL/STATE GRANTS	16,217.38	402,247.88	0.00	100.00	(402,247.88)
01-00-310-925	NICOR GAS ANNUAL PAYMENT	14,126.87	14,126.87	14,000.00	100.91	(126.87)
01-00-310-926	CABLE FRANCHISE FEES	10,455.36	139,178.15	204,000.00	68.22	64,821.85
01-00-310-928	DRUG FORFEITURES - STATE	37,338.20	45,088.20	500.00	9,017.64	(44,588.20)
01-00-310-929	DRUG FORFEITURES - FEDERAL	0.00	9,750.00	500.00	1,950.00	(9,250.00)
Net OTHER REVENUE		86,772.82	669,724.37	267,840.00	250.05	(401,884.37)
NON-OPERATING						
01-00-320-108	INTEREST INCOME	496.99	10,884.01	48,000.00	22.68	37,115.99
Net NON-OPERATING		496.99	10,884.01	48,000.00	22.68	37,115.99
TRANSFERS IN						
01-00-330-103	TRANSFER FROM HOTEL/MOTEL TAX	0.00	717,758.53	715,941.00	100.25	(1,817.53)
Net TRANSFERS IN		0.00	717,758.53	715,941.00	100.25	(1,817.53)

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Fund 01 - GENERAL FUND						
Fund 01 - GENERAL FUND:						
TOTAL REVENUES		872,580.50	8,545,210.78	9,234,559.00	92.54	689,348.22
Fund 02 - WATER FUND						
CHARGES & FEES						
02-00-310-712	WATER USAGE	209,370.15	2,538,169.86	3,200,000.00	79.32	661,830.14
02-00-310-713	WATER PENALTIES	(45.37)	11,344.46	8,000.00	141.81	(3,344.46)
02-00-310-718	SHUTOFF/NSF FEE	(75.00)	3,465.00	5,000.00	69.30	1,535.00
Net CHARGES & FEES		209,249.78	2,552,979.32	3,213,000.00	79.46	660,020.68
OTHER REVENUE						
02-00-310-714	WATER METER SALES	0.00	410.43	5,000.00	8.21	4,589.57
02-00-310-716	WATER METER READING FEES	290.00	4,177.25	5,000.00	83.55	822.75
02-00-310-717	CONSTRUCTION USAGE	0.00	200.00	1,000.00	20.00	800.00
Net OTHER REVENUE		290.00	4,787.68	11,000.00	43.52	6,212.32
NON-OPERATING						
02-00-320-108	INTEREST INCOME	62.63	1,266.30	18,000.00	7.04	16,733.70
02-00-320-713	WATER CONNECTION FEES	0.00	725.00	3,000.00	24.17	2,275.00
Net NON-OPERATING		62.63	1,991.30	21,000.00	9.48	19,008.70
Fund 02 - WATER FUND:						
TOTAL REVENUES		209,602.41	2,559,758.30	3,245,000.00	78.88	685,241.70
Fund 04 - MOTOR FUEL TAX FUND						
OTHER TAXES						
04-00-310-216	MFT RECEIPTS	28,349.55	230,734.96	310,429.00	74.33	79,694.04
04-00-310-218	MFT CAPITAL BOND RECEIPTS	0.00	187,606.54	0.00	100.00	(187,606.54)
Net OTHER TAXES		28,349.55	418,341.50	310,429.00	134.76	(107,912.50)
NON-OPERATING						
04-00-320-108	INTEREST INCOME	47.88	1,024.85	6,000.00	17.08	4,975.15
Net NON-OPERATING		47.88	1,024.85	6,000.00	17.08	4,975.15
Fund 04 - MOTOR FUEL TAX FUND:						
TOTAL REVENUES		28,397.43	419,366.35	316,429.00	132.53	(102,937.35)

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Fund 06 - SSA ONE BOND & INTEREST FUND						
PROPERTY TAX						
06-00-310-101	PROPERTY TAX RECEIPTS	0.00	325,144.51	321,925.00	101.00	(3,219.51)
Net PROPERTY TAX		0.00	325,144.51	321,925.00	101.00	(3,219.51)
NON-OPERATING						
06-00-320-108	INTEREST INCOME	1.58	127.74	1,000.00	12.77	872.26
Net NON-OPERATING		1.58	127.74	1,000.00	12.77	872.26
Fund 06 - SSA ONE BOND & INTEREST FUND:						
TOTAL REVENUES		1.58	325,272.25	322,925.00	100.73	(2,347.25)
Fund 07 - POLICE PENSION FUND						
OTHER REVENUE						
07-00-310-607	VILLAGE CONTRIBUTION	82,670.24	826,702.40	1,074,713.00	76.92	248,010.60
07-00-310-906	POLICE CONTRIBUTIONS	17,621.71	159,957.59	216,880.00	73.75	56,922.41
Net OTHER REVENUE		100,291.95	986,659.99	1,291,593.00	76.39	304,933.01
NON-OPERATING						
07-00-320-108	INTEREST INCOME	16,248.02	596,781.02	500,000.00	119.36	(96,781.02)
07-00-320-110	UNREALIZED GAIN (LOSS) ON INVESTMENT	(43,426.07)	3,933,032.32	0.00	100.00	(3,933,032.32)
07-00-320-111	GAIN (LOSS) ON INVESTMENTS	0.00	211,102.05	0.00	100.00	(211,102.05)
Net NON-OPERATING		(27,178.05)	4,740,915.39	500,000.00	948.18	(4,240,915.39)
Fund 07 - POLICE PENSION FUND:						
TOTAL REVENUES		73,113.90	5,727,575.38	1,791,593.00	319.69	(3,935,982.38)
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
NON-OPERATING						
09-00-320-108	INTEREST INCOME	74.14	1,531.61	6,000.00	25.53	4,468.39
Net NON-OPERATING		74.14	1,531.61	6,000.00	25.53	4,468.39
TRANSFERS IN						
09-00-330-102	TRANSFER FROM WATER	0.00	200,000.00	200,000.00	100.00	0.00
Net TRANSFERS IN		0.00	200,000.00	200,000.00	100.00	0.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:						

Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:

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Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
TOTAL REVENUES		74.14	201,531.61	206,000.00	97.83	4,468.39
Fund 10 - CAPITAL PROJECT FUND						
NON-OPERATING						
10-00-320-108	INTEREST INCOME	0.00	0.87	0.00	100.00	(0.87)
Net NON-OPERATING		0.00	0.87	0.00	100.00	(0.87)
Fund 10 - CAPITAL PROJECT FUND:						
TOTAL REVENUES		0.00	0.87	0.00	100.00	(0.87)
Fund 11 - DEBT SERVICE FUND						
TRANSFERS IN						
11-00-330-101	TRANSFER FROM GENERAL FUND	0.00	279,851.00	279,851.00	100.00	0.00
11-00-330-102	TRANSFER FROM WATER	0.00	46,695.00	46,695.00	100.00	0.00
Net TRANSFERS IN		0.00	326,546.00	326,546.00	100.00	0.00
Fund 11 - DEBT SERVICE FUND:						
TOTAL REVENUES		0.00	326,546.00	326,546.00	100.00	0.00
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & TRANSFERS IN						
14-00-330-101	TRANSFER FROM GENERAL FUND	0.00	(0.02)	0.00	100.00	0.02
Net TRANSFERS IN		0.00	(0.02)	0.00	100.00	0.02
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & :						
TOTAL REVENUES		0.00	(0.02)	0.00	100.00	0.02
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX OTHER TAXES						
15-00-310-201	BUSINESS DISTRICT SALES TAX TOWN CEN	50,282.68	401,980.85	600,000.00	67.00	198,019.15
Net OTHER TAXES		50,282.68	401,980.85	600,000.00	67.00	198,019.15

Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX:

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Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRCT TAX						
TOTAL REVENUES		50,282.68	401,980.85	600,000.00	67.00	198,019.15
TOTAL REVENUES - ALL FUNDS		1,234,052.64	18,507,242.37	16,043,052.00	115.36	(2,464,190.37)

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Fund 01 - GENERAL FUND								
Dept 05 - VILLAGE BOARD & CLERK								
GENERAL MANAGEMENT								
01-05-400-147	MEDICARE	57.86	684.23	887.00	77.14	202.77	1,774.00	1,089.77
01-05-400-161	SOCIAL SECURITY	247.40	2,925.71	3,794.00	77.11	868.29	7,588.00	4,662.29
01-05-410-101	SALARY - MAYOR & VILLAGE BO/	3,200.00	40,200.00	54,000.00	74.44	13,800.00	108,000.00	67,800.00
01-05-410-125	SALARY - VILLAGE CLERK	600.00	5,400.00	7,200.00	75.00	1,800.00	14,400.00	9,000.00
01-05-410-141	LIFE INSURANCE - ELECTED OFF	71.68	552.72	767.00	72.06	214.28	1,534.00	981.28
01-05-410-201	PHONE - TELEPHONES	42.46	400.99	696.00	57.61	295.01	1,392.00	991.01
01-05-410-301	OFFICE SUPPLIES	0.00	50.00	500.00	10.00	450.00	1,000.00	950.00
01-05-410-302	PRINTING & PUBLISHING	0.00	176.00	0.00	100.00	(176.00)	0.00	(176.00)
01-05-410-303	FUEL/MILEAGE/WASH	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-05-410-304	SCHOOLS/CONFERENCES/TRAV	0.00	110.00	5,770.00	1.91	5,660.00	11,540.00	11,430.00
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	0.00	1,589.30	2,400.00	66.22	810.70	4,800.00	3,210.70
GENERAL MANAGEMENT		4,219.40	52,088.95	76,114.00	68.44	24,025.05	152,228.00	100,139.05
COMMUNITY RELATIONS								
01-05-420-365	PUBLIC RELATIONS	0.00	169.96	500.00	33.99	330.04	1,000.00	830.04
COMMUNITY RELATIONS		0.00	169.96	500.00	33.99	330.04	1,000.00	830.04
Total Dept 05 - VILLAGE BOARD & CLERK		4,219.40	52,258.91	76,614.00	68.21	24,355.09	153,228.00	100,969.09
Dept 07 - BOARD OF POLICE COMMISSIONERS								
ADMINISTRATION								
01-07-400-147	MEDICARE	0.00	14.48	7.00	206.86	(7.48)	14.00	(0.48)
01-07-400-161	SOCIAL SECURITY	0.00	61.87	31.00	199.58	(30.87)	62.00	0.13
01-07-435-148	LIFE INSURANCE - COMMISSIONI	18.48	166.32	260.00	63.97	93.68	520.00	353.68
01-07-435-239	FEES - BOPC ATTORNEY	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-07-435-301	OFFICE SUPPLIES	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-07-435-302	PRINTING & PUBLISHING	348.00	348.00	4,000.00	8.70	3,652.00	8,000.00	7,652.00
01-07-435-304	SCHOOLS/CONFERENCES/TRAV	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	0.00	375.00	500.00	75.00	125.00	1,000.00	625.00
01-07-435-311	POSTAGE & METER RENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION		366.48	965.67	11,398.00	8.47	10,432.33	22,796.00	21,830.33
OTHER								
01-07-440-542	EXAMS - WRITTEN	0.00	5,558.00	15,000.00	37.05	9,442.00	30,000.00	24,442.00
01-07-440-543	EXAMS - PHYSICAL	0.00	1,375.00	2,000.00	68.75	625.00	4,000.00	2,625.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	0.00	3,850.00	2,500.00	154.00	(1,350.00)	5,000.00	1,150.00
01-07-440-545	EXAMS - POLYGRAPH	0.00	1,280.00	1,000.00	128.00	(280.00)	2,000.00	720.00
OTHER		0.00	12,063.00	20,500.00	58.84	8,437.00	41,000.00	28,937.00
Total Dept 07 - BOARD OF POLICE COMMISSIONERS		366.48	13,028.67	31,898.00	40.84	18,869.33	63,796.00	50,767.33

Dept 10 - ADMINISTRATION
 GENERAL MANAGEMENT

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Fund 01 - GENERAL FUND								
01-10-400-147	MEDICARE	418.68	4,191.36	5,322.00	78.76	1,130.64	10,644.00	6,452.64
01-10-400-151	IMRF	7,278.26	42,831.26	49,218.00	87.02	6,386.74	98,436.00	55,604.74
01-10-400-161	SOCIAL SECURITY	1,790.22	15,010.32	20,435.00	73.45	5,424.68	40,870.00	25,859.68
01-10-400-171	SUI - UNEMPLOYMENT	686.11	684.79	774.00	88.47	89.21	1,548.00	863.21
01-10-455-101	SALARIES - MANAGEMENT STAF	14,381.60	142,780.83	175,125.00	81.53	32,344.17	350,250.00	207,469.17
01-10-455-102	OVERTIME	107.99	1,954.52	5,000.00	39.09	3,045.48	10,000.00	8,045.48
01-10-455-105	ASSISTANT VILLAGE ADMINISTR	10,429.44	103,997.33	130,175.00	79.89	26,177.67	260,350.00	156,352.67
01-10-455-126	SALARIES - CLERICAL	4,607.36	45,916.00	56,726.00	80.94	10,810.00	113,452.00	67,536.00
01-10-455-131	PERSONNEL RECRUITMENT	0.00	190.95	500.00	38.19	309.05	1,000.00	809.05
01-10-455-141	HEALTH/DENTAL/LIFE INSURANC	4,336.16	38,024.13	49,602.00	76.66	11,577.87	99,204.00	61,179.87
01-10-455-201	PHONE - TELEPHONES	1,882.76	15,612.31	12,684.00	123.09	(2,928.31)	25,368.00	9,755.69
01-10-455-266	CODIFY ORDINANCES	500.00	2,833.00	5,000.00	56.66	2,167.00	10,000.00	7,167.00
01-10-455-301	OFFICE SUPPLIES	211.56	3,079.83	8,000.00	38.50	4,920.17	16,000.00	12,920.17
01-10-455-302	PRINTING, PUBLISHING & TRANS	617.82	2,668.37	2,500.00	106.73	(168.37)	5,000.00	2,331.63
01-10-455-303	FUEL/MILEAGE/WASH	36.00	320.66	750.00	42.75	429.34	1,500.00	1,179.34
01-10-455-304	SCHOOLS/CONFERENCES/TRAV	0.00	204.00	2,000.00	10.20	1,796.00	4,000.00	3,796.00
01-10-455-305	STRATEGIC PLANNING	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-306	CONSULTING	198.00	21,250.50	71,000.00	29.93	49,749.50	142,000.00	120,749.50
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	0.00	8,219.13	13,000.00	63.22	4,780.87	26,000.00	17,780.87
01-10-455-311	POSTAGE & METER RENT	1,127.30	3,498.06	5,000.00	69.96	1,501.94	10,000.00	6,501.94
01-10-455-315	COPY SERVICE	520.25	4,664.88	7,000.00	66.64	2,335.12	14,000.00	9,335.12
01-10-455-355	COMMISSARY PROVISION	86.13	1,340.52	3,000.00	44.68	1,659.48	6,000.00	4,659.48
01-10-455-411	MAINTENANCE - EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		49,215.64	459,272.75	625,311.00	73.45	166,038.25	1,250,622.00	791,349.25
COMMUNITY RELATIONS								
01-10-475-365	PUBLIC RELATIONS	180.00	551.90	5,000.00	11.04	4,448.10	10,000.00	9,448.10
01-10-475-367	CRISIS MANAGEMENT	14,138.64	26,714.47	25,000.00	106.86	(1,714.47)	50,000.00	23,285.53
01-10-475-370	MEALS-ON-WHEELS	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
COMMUNITY RELATIONS		14,318.64	27,266.37	32,000.00	85.21	4,733.63	64,000.00	36,733.63
CAPITAL IMPROVEMENTS								
01-10-485-602	BUILDING IMPROVEMENTS	1,371.39	36,541.78	60,000.00	60.90	23,458.22	120,000.00	83,458.22
01-10-485-611	FURNITURE & OFFICE EQUIPMEN	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
CAPITAL IMPROVEMENTS		1,371.39	36,541.78	60,500.00	60.40	23,958.22	121,000.00	84,458.22
CONTINGENCIES								
01-10-490-799	CONTINGENCIES	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
CONTINGENCIES		0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
DATA PROCESSING								
01-10-460-212	EDP EQUIPMENT/SOFTWARE	40.00	1,169.98	1,000.00	117.00	(169.98)	2,000.00	830.02
01-10-460-225	INTERNET/WEBSITE HOSTING	626.82	12,822.07	14,347.00	89.37	1,524.93	28,694.00	15,871.93
01-10-460-263	EDP LICENSES	6,328.51	26,251.63	43,435.00	60.44	17,183.37	86,870.00	60,618.37
01-10-460-265	CYBER DISRUPTION	0.00	10,099.00	0.00	100.00	(10,099.00)	0.00	(10,099.00)
01-10-460-267	DOCUMENT STORAGE/SCANNING	0.00	1,745.10	5,000.00	34.90	3,254.90	10,000.00	8,254.90
01-10-460-306	CONSULTING SERVICES - IT	20,038.75	28,478.42	18,000.00	158.21	(10,478.42)	36,000.00	7,521.58
DATA PROCESSING		27,034.08	80,566.20	81,782.00	98.51	1,215.80	163,564.00	82,997.80

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Fund 01 - GENERAL FUND								
BUILDINGS								
01-10-466-228	MAINTENANCE - BUILDING	4,024.15	51,290.25	30,545.00	167.92	(20,745.25)	61,090.00	9,799.75
01-10-466-236	NICOR GAS (835 MIDWAY)	390.74	963.66	2,000.00	48.18	1,036.34	4,000.00	3,036.34
01-10-466-240	ENERGY/COMED (835 MIDWAY)	834.27	834.27	3,000.00	27.81	2,165.73	6,000.00	5,165.73
01-10-466-251	SANITARY (835 MIDWAY)	0.00	354.41	450.00	78.76	95.59	900.00	545.59
01-10-466-293	LANDSCAPE - VILLAGE HALL	0.00	82.25	1,000.00	8.23	917.75	2,000.00	1,917.75
01-10-466-351	BUILDING MAINTENANCE SUPPL	467.40	4,017.81	2,000.00	200.89	(2,017.81)	4,000.00	(17.81)
BUILDINGS		5,716.56	57,542.65	38,995.00	147.56	(18,547.65)	77,990.00	20,447.35
LEGAL								
01-10-470-239	FEES - VILLAGE ATTORNEY	7,553.70	68,920.01	140,000.00	49.23	71,079.99	280,000.00	211,079.99
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	2,200.10	10,000.00	22.00	7,799.90	20,000.00	17,799.90
01-10-470-242	FEES - LABOR COUNSEL	6,251.00	9,048.30	2,000.00	452.42	(7,048.30)	4,000.00	(5,048.30)
LEGAL		13,804.70	80,168.41	152,000.00	52.74	71,831.59	304,000.00	223,831.59
FINANCIAL AUDIT								
01-10-471-252	FINANCIAL SERVICES	0.00	742.78	0.00	100.00	(742.78)	0.00	(742.78)
FINANCIAL AUDIT		0.00	742.78	0.00	100.00	(742.78)	0.00	(742.78)
RISK MANAGEMENT								
01-10-480-272	INSURANCE - IRMA	79,324.00	234,758.00	233,463.00	100.55	(1,295.00)	466,926.00	232,168.00
01-10-480-273	SELF INSURANCE - DEDUCTIBLE	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
RISK MANAGEMENT		79,324.00	234,758.00	243,463.00	96.42	8,705.00	486,926.00	252,168.00
TRANSFERS TO OTHER FUNDS								
01-10-900-112	TRANSFER TO DEBT SERVICE - 2	0.00	279,851.00	279,851.00	100.00	0.00	559,702.00	279,851.00
01-10-900-114	TRANSFER TO LAFER	0.00	(0.02)	0.00	100.00	0.02	0.00	0.02
TRANSFERS TO OTHER FUNDS		0.00	279,850.98	279,851.00	100.00	0.02	559,702.00	279,851.02
Total Dept 10 - ADMINISTRATION		190,785.01	1,256,709.92	1,523,902.00	82.47	267,192.08	3,047,804.00	1,791,094.08
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT								
GENERAL MANAGEMENT								
01-15-400-147	MEDICARE	26.45	336.87	381.00	88.42	44.13	762.00	425.13
01-15-400-151	IMRF	469.32	2,758.11	3,203.00	86.11	444.89	6,406.00	3,647.89
01-15-400-161	SOCIAL SECURITY	113.09	1,440.47	1,631.00	88.32	190.53	3,262.00	1,821.53
01-15-400-171	SUI - UNEMPLOYMENT	45.12	45.12	129.00	34.98	83.88	258.00	212.88
01-15-510-126	SALARIES - CLERICAL	1,903.88	18,971.79	23,386.00	81.12	4,414.21	46,772.00	27,800.21
01-15-510-141	HEALTH/DENTAL/LIFE INSURANC	610.08	5,448.34	8,062.00	67.58	2,613.66	16,124.00	10,675.66
01-15-510-301	OFFICE SUPPLIES	13.33	13.33	250.00	5.33	236.67	500.00	486.67
01-15-510-302	PRINTING & PUBLISHING	92.03	92.03	2,500.00	3.68	2,407.97	5,000.00	4,907.97
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-15-510-311	POSTAGE & METER RENT	550.75	1,581.30	500.00	316.26	(1,081.30)	1,000.00	(581.30)
01-15-510-340	LIFE INSURANCE - PLAN COMMIS	70.56	635.04	1,032.00	61.53	396.96	2,064.00	1,428.96
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		3,894.61	31,322.40	42,074.00	74.45	10,751.60	84,148.00	52,825.60

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Fund 01 - GENERAL FUND								
DATA PROCESSING								
01-15-515-305	EDP PERSONNEL TRAINING	0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
DATA PROCESSING		0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
ENGINEERING								
01-15-520-229	RENT - MEETING ROOM	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-15-520-245	FEES - ENGINEERING	663.60	1,873.60	2,500.00	74.94	626.40	5,000.00	3,126.40
01-15-520-246	FEES - COURT REPORTER	649.40	2,358.95	2,700.00	87.37	341.05	5,400.00	3,041.05
01-15-520-254	PLAN REVIEW - ENGINEER	2,422.34	5,907.58	5,000.00	118.15	(907.58)	10,000.00	4,092.42
01-15-520-257	PLAN REVIEW - PLANNER	21,996.12	87,164.75	125,000.00	69.73	37,835.25	250,000.00	162,835.25
01-15-520-258	PLAN REVIEW - TRAFFIC CONSU	1,377.00	4,131.00	2,500.00	165.24	(1,631.00)	5,000.00	869.00
ENGINEERING		27,108.46	101,435.88	137,950.00	73.53	36,514.12	275,900.00	174,464.12
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMENT		31,003.07	132,758.28	181,824.00	73.01	49,065.72	363,648.00	230,889.72
Dept 20 - PARKS & RECREATION								
CAPITAL IMPROVEMENTS								
01-20-595-643	POND IMPROVEMENTS	0.00	0.00	400.00	0.00	400.00	800.00	800.00
01-20-595-693	COURT IMPROVEMENTS	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
CAPITAL IMPROVEMENTS		0.00	0.00	1,200.00	0.00	1,200.00	2,400.00	2,400.00
ADMINISTRATION								
01-20-400-147	MEDICARE	35.44	417.13	648.00	64.37	230.87	1,296.00	878.87
01-20-400-151	IMRF	602.41	3,571.52	5,308.00	67.29	1,736.48	10,616.00	7,044.48
01-20-400-161	SOCIAL SECURITY	151.52	1,783.57	2,772.00	64.34	988.43	5,544.00	3,760.43
01-20-400-171	SUI - UNEMPLOYMENT	60.48	148.37	270.00	54.95	121.63	540.00	391.63
01-20-550-101	SALARIES - PERMANENT EMPLO	2,443.89	21,551.24	32,585.00	66.14	11,033.76	65,170.00	43,618.76
01-20-550-103	PART TIME - PROGRAM SUPERV	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-20-550-148	LIFE INSURANCE - COMMISSION	53.20	546.56	1,068.00	51.18	521.44	2,136.00	1,589.44
01-20-550-301	OFFICE/GENERAL PROGRAM SU	0.00	381.45	1,000.00	38.15	618.55	2,000.00	1,618.55
01-20-550-302	PRINTING & PUBLISHING	0.00	0.00	13,500.00	0.00	13,500.00	27,000.00	27,000.00
01-20-550-311	POSTAGE & METER RENT	0.00	163.00	3,800.00	4.29	3,637.00	7,600.00	7,437.00
ADMINISTRATION		3,346.94	28,562.84	63,451.00	45.02	34,888.16	126,902.00	98,339.16
DATA PROCESSING								
01-20-555-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-555-263	EDP LICENSES	14.99	74.95	0.00	100.00	(74.95)	0.00	(74.95)
01-20-555-306	CONSULTING - PROGRAM HOSTI	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00	30,000.00
DATA PROCESSING		14.99	74.95	15,500.00	0.48	15,425.05	31,000.00	30,925.05
LANDSCAPING								
01-20-565-341	PARK LANDSCAPE SUPPLIES	(3,426.84)	0.00	0.00	0.00	0.00	0.00	0.00
01-20-565-342	LANDSCAPE MAINTENANCE SER	(90.00)	0.00	0.00	0.00	0.00	0.00	0.00
LANDSCAPING		(3,516.84)	0.00	0.00	0.00	0.00	0.00	0.00

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Fund 01 - GENERAL FUND								
MAINTENANCE								
01-20-570-102	OVERTIME	0.00	3,033.81	7,000.00	43.34	3,966.19	14,000.00	10,966.19
01-20-570-103	PART TIME - LABOR	0.00	798.00	2,541.00	31.40	1,743.00	5,082.00	4,284.00
01-20-570-228	MAINTENANCE - PARK BUILDING	0.00	1,215.55	12,386.00	9.81	11,170.45	24,772.00	23,556.45
01-20-570-234	RENT - EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-570-235	NICOR GAS (825 MIDWAY)	0.00	196.62	1,200.00	16.39	1,003.38	2,400.00	2,203.38
01-20-570-250	SANITARY (825 MIDWAY)	0.00	13.17	50.00	26.34	36.83	100.00	86.83
01-20-570-278	SANITARY (PARKS)	0.00	147.77	150.00	98.51	2.23	300.00	152.23
01-20-570-280	BALLFIELD MAINTENANCE	0.00	8,292.80	10,000.00	82.93	1,707.20	20,000.00	11,707.20
01-20-570-281	CONTRACTED MAINTENANCE	10,812.84	115,961.00	120,900.00	95.91	4,939.00	241,800.00	125,839.00
01-20-570-331	MAINTENANCE SUPPLIES	23.74	572.93	5,000.00	11.46	4,427.07	10,000.00	9,427.07
01-20-570-411	MAINTENANCE - EQUIPMENT	0.00	1,799.56	3,500.00	51.42	1,700.44	7,000.00	5,200.44
MAINTENANCE		10,836.58	132,031.21	163,227.00	80.89	31,195.79	326,454.00	194,422.79
SUMMER PROGRAM								
01-20-575-119	SUMMER PROGRAM MATERIALS	0.00	220.00	7,600.00	2.89	7,380.00	15,200.00	14,980.00
01-20-575-517	SENIORS PROGRAM-SUMMER	0.00	0.00	5,400.00	0.00	5,400.00	10,800.00	10,800.00
SUMMER PROGRAM		0.00	220.00	13,000.00	1.69	12,780.00	26,000.00	25,780.00
FALL PROGRAM								
01-20-580-517	SENIORS PROGRAM-FALL	0.00	0.00	5,400.00	0.00	5,400.00	10,800.00	10,800.00
FALL PROGRAM		0.00	0.00	5,400.00	0.00	5,400.00	10,800.00	10,800.00
WINTER/SPECIAL PROGRAMS								
01-20-585-121	WINTER PROGRAM MATERIALS &	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-20-585-150	CHILDRENS SPECIAL EVENTS - C	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-20-585-151	FAMILY SPECIAL EVENT - MOVIE	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE L	2,564.00	2,564.00	4,900.00	52.33	2,336.00	9,800.00	7,236.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	0.00	300.05	13,600.00	2.21	13,299.95	27,200.00	26,899.95
01-20-585-155	CHILDREN'S HOLIDAY PARTY	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-20-585-157	COMMUNITY PICNIC	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-20-585-517	SENIORS PROGRAM-WINTER/SP	0.00	0.00	5,400.00	0.00	5,400.00	10,800.00	10,800.00
WINTER/SPECIAL PROGRAMS		2,564.00	2,864.05	38,900.00	7.36	36,035.95	77,800.00	74,935.95
SPRING PROGRAM								
01-20-586-121	SPRING PROGRAM MATERIALS &	0.00	0.00	200.00	0.00	200.00	400.00	400.00
SPRING PROGRAM		0.00	0.00	200.00	0.00	200.00	400.00	400.00
SPECIAL RECREATION								
01-20-590-518	SPECIAL RECREATION ASSOC P	19,655.43	39,310.86	39,310.00	100.00	(0.86)	78,620.00	39,309.14
01-20-590-519	ADA PARK MAINTENANCE	0.00	0.00	4,840.00	0.00	4,840.00	9,680.00	9,680.00
01-20-590-520	ADA RECREATION ACCOMMODA	0.00	0.00	7,700.00	0.00	7,700.00	15,400.00	15,400.00
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	0.00	15,400.00	0.00	15,400.00	30,800.00	30,800.00
SPECIAL RECREATION		19,655.43	39,310.86	67,250.00	58.45	27,939.14	134,500.00	95,189.14
Total Dept 20 - PARKS & RECREATION		32,901.10	203,063.91	368,128.00	55.16	165,064.09	736,256.00	533,192.09

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Fund 01 - GENERAL FUND								
Dept 25 - FINANCE DEPARTMENT								
GENERAL MANAGEMENT								
01-25-400-147	MEDICARE	270.21	2,759.29	3,373.00	81.81	613.71	6,746.00	3,986.71
01-25-400-151	IMRF	4,694.24	20,934.83	23,994.00	87.25	3,059.17	47,988.00	27,053.17
01-25-400-161	SOCIAL SECURITY	1,155.36	10,988.63	14,424.00	76.18	3,435.37	28,848.00	17,859.37
01-25-400-171	SUI - UNEMPLOYMENT	460.57	753.13	1,032.00	72.98	278.87	2,064.00	1,310.87
01-25-610-101	SALARIES - MANAGEMENT STAF	11,472.32	117,090.30	138,033.00	84.83	20,942.70	276,066.00	158,975.70
01-25-610-102	OVERTIME	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-25-610-104	PART TIME - CLERICAL	0.00	15,733.04	31,609.00	49.77	15,875.96	63,218.00	47,484.96
01-25-610-126	SALARIES - CLERICAL	7,246.72	56,467.79	61,500.00	91.82	5,032.21	123,000.00	66,532.21
01-25-610-141	HEALTH/DENTAL/LIFE INSURANC	3,440.37	20,015.70	19,008.00	105.30	(1,007.70)	38,016.00	18,000.30
01-25-610-301	OFFICE SUPPLIES	292.09	1,431.68	2,500.00	57.27	1,068.32	5,000.00	3,568.32
01-25-610-302	PRINTING & PUBLISHING	0.00	1,275.70	1,000.00	127.57	(275.70)	2,000.00	724.30
01-25-610-303	FUEL/MILEAGE/WASH	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-25-610-304	SCHOOLS/CONFERENCES/TRAV	0.00	340.00	1,000.00	34.00	660.00	2,000.00	1,660.00
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	(37.56)	958.34	1,605.00	59.71	646.66	3,210.00	2,251.66
01-25-610-311	POSTAGE & METER RENT	29.40	109.35	250.00	43.74	140.65	500.00	390.65
GENERAL MANAGEMENT		29,023.72	248,857.78	301,078.00	82.66	52,220.22	602,156.00	353,298.22
DATA PROCESSING								
01-25-615-212	EDP EQUIPMENT/SOFTWARE	0.00	251.72	500.00	50.34	248.28	1,000.00	748.28
01-25-615-263	EDP LICENSES	0.00	12,172.00	12,000.00	101.43	(172.00)	24,000.00	11,828.00
01-25-615-267	DOCUMENT STORAGE/SCANNING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
DATA PROCESSING		0.00	12,423.72	13,500.00	92.03	1,076.28	27,000.00	14,576.28
FINANCIAL AUDIT								
01-25-620-251	AUDIT SERVICES	0.00	29,915.00	34,000.00	87.99	4,085.00	68,000.00	38,085.00
01-25-620-252	FINANCIAL SERVICES	0.00	1,700.00	4,550.00	37.36	2,850.00	9,100.00	7,400.00
FINANCIAL AUDIT		0.00	31,615.00	38,550.00	82.01	6,935.00	77,100.00	45,485.00
Total Dept 25 - FINANCE DEPARTMENT		29,023.72	292,896.50	353,128.00	82.94	60,231.50	706,256.00	413,359.50
Dept 30 - POLICE DEPARTMENT								
ADMINISTRATION								
01-30-400-147	MEDICARE	2,995.47	29,559.65	41,024.00	72.05	11,464.35	82,048.00	52,488.35
01-30-400-151	IMRF	3,562.24	20,997.81	25,270.00	83.09	4,272.19	50,540.00	29,542.19
01-30-400-161	SOCIAL SECURITY	897.50	8,998.33	11,683.00	77.02	2,684.67	23,366.00	14,367.67
01-30-400-171	SUI - UNEMPLOYMENT	5,245.23	6,576.44	6,708.00	98.04	131.56	13,416.00	6,839.56
01-30-630-101	SALARIES - PERMANENT EMPLO	173,995.41	1,625,081.07	2,289,826.00	70.97	664,744.93	4,579,652.00	2,954,570.93
01-30-630-102	OVERTIME	13,629.29	272,116.33	336,000.00	80.99	63,883.67	672,000.00	399,883.67
01-30-630-103	OVERTIME - SPECIAL DETAIL & C	1,492.96	11,355.51	15,000.00	75.70	3,644.49	30,000.00	18,644.49
01-30-630-105	SALARIES-COPS GRANT OFFICE	10,570.24	41,367.04	0.00	100.00	(41,367.04)	0.00	(41,367.04)
01-30-630-126	SALARIES - CLERICAL	14,126.72	140,936.42	178,439.00	78.98	37,502.58	356,878.00	215,941.58
01-30-630-127	OVERTIME - CLERICAL	0.00	635.98	10,000.00	6.36	9,364.02	20,000.00	19,364.02
01-30-630-131	PERSONNEL RECRUITMENT	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-630-141	HEALTH/DENTAL/LIFE INSURANC	31,096.38	259,238.49	358,884.00	72.23	99,645.51	717,768.00	458,529.51
01-30-630-155	POLICE PENSION	82,670.24	826,702.40	1,074,713.00	76.92	248,010.60	2,149,426.00	1,322,723.60

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Fund 01 - GENERAL FUND								
01-30-630-201	PHONE - TELEPHONES	1,248.75	11,406.85	27,000.00	42.25	15,593.15	54,000.00	42,593.15
01-30-630-202	ACCREDITATION	0.00	4,645.00	4,645.00	100.00	0.00	9,290.00	4,645.00
01-30-630-241	FEES - FIELD COURT ATTORNEY	0.00	750.00	16,000.00	4.69	15,250.00	32,000.00	31,250.00
01-30-630-245	FIRING RANGE	0.00	879.50	2,500.00	35.18	1,620.50	5,000.00	4,120.50
01-30-630-301	OFFICE SUPPLIES	0.00	4,471.70	4,000.00	111.79	(471.70)	8,000.00	3,528.30
01-30-630-302	PRINTING & PUBLISHING	819.80	2,419.71	4,000.00	60.49	1,580.29	8,000.00	5,580.29
01-30-630-303	FUEL/MILEAGE/WASH	3,078.17	27,614.91	50,000.00	55.23	22,385.09	100,000.00	72,385.09
01-30-630-304	SCHOOLS/CONFERENCES/TRAV	1,084.00	4,913.82	40,000.00	12.28	35,086.18	80,000.00	75,086.18
01-30-630-305	TUITION REIMBURSEMENT	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	1,620.57	19,745.19	20,500.00	96.32	754.81	41,000.00	21,254.81
01-30-630-308	CADET PROGRAM	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-30-630-309	EMPLOYEE RECOGNITION	0.00	164.04	3,000.00	5.47	2,835.96	6,000.00	5,835.96
01-30-630-311	POSTAGE & METER RENT	107.05	1,381.93	4,200.00	32.90	2,818.07	8,400.00	7,018.07
01-30-630-315	COPY SERVICE	357.28	2,547.96	4,100.00	62.15	1,552.04	8,200.00	5,652.04
01-30-630-345	UNIFORMS	3,049.07	12,686.43	28,500.00	44.51	15,813.57	57,000.00	44,313.57
01-30-630-346	AMMUNITION	0.00	929.60	14,000.00	6.64	13,070.40	28,000.00	27,070.40
01-30-630-401	OPERATING EQUIPMENT	5,371.74	38,172.20	25,000.00	152.69	(13,172.20)	50,000.00	11,827.80
01-30-630-409	MAINTENANCE - VEHICLES	3,106.42	24,738.30	50,000.00	49.48	25,261.70	100,000.00	75,261.70
01-30-630-421	MAINTENANCE - RADIO EQUIPME	1,308.59	1,308.59	6,500.00	20.13	5,191.41	13,000.00	11,691.41
ADMINISTRATION		361,433.12	3,402,341.20	4,658,992.00	73.03	1,256,650.80	9,317,984.00	5,915,642.80
DATA PROCESSING								
01-30-640-212	EDP EQUIPMENT/SOFTWARE	0.00	2,038.80	3,732.00	54.63	1,693.20	7,464.00	5,425.20
01-30-640-225	INTERNET/WEBSITE HOSTING	400.00	3,600.00	6,760.00	53.25	3,160.00	13,520.00	9,920.00
01-30-640-263	EDP LICENSES	1,975.00	20,287.75	30,000.00	67.63	9,712.25	60,000.00	39,712.25
01-30-640-267	DOCUMENT STORAGE/SCANNING	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-30-640-306	CONSULTING SERVICES	2,625.10	7,392.88	22,875.00	32.32	15,482.12	45,750.00	38,357.12
DATA PROCESSING		5,000.10	33,319.43	65,367.00	50.97	32,047.57	130,734.00	97,414.57
BUILDINGS								
01-30-630-228	MAINTENANCE - BUILDING	1,942.74	52,940.00	44,927.00	117.84	(8,013.00)	89,854.00	36,914.00
01-30-630-235	NICOR GAS (7760 QUINCY)	533.90	1,840.16	5,000.00	36.80	3,159.84	10,000.00	8,159.84
01-30-630-250	SANITARY (7760 QUINCY)	0.00	489.11	1,200.00	40.76	710.89	2,400.00	1,910.89
01-30-630-351	BUILDING MAINTENANCE SUPPL	0.00	1,081.43	3,000.00	36.05	1,918.57	6,000.00	4,918.57
BUILDINGS		2,476.64	56,350.70	54,127.00	104.11	(2,223.70)	108,254.00	51,903.30
RISK MANAGEMENT								
01-30-645-273	SELF INSURANCE - DEDUCTIBLE	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
RISK MANAGEMENT		0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
CONSTRUCTION								
01-30-635-288	BUILDING CONSTR & REMODEL	0.00	16,325.00	1,500.00	1,088.33	(14,825.00)	3,000.00	(13,325.00)
CONSTRUCTION		0.00	16,325.00	1,500.00	1,088.33	(14,825.00)	3,000.00	(13,325.00)
PATROL								
01-30-650-268	ANIMAL CONTROL	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
01-30-650-343	JAIL SUPPLIES	0.00	221.29	1,500.00	14.75	1,278.71	3,000.00	2,778.71
01-30-650-348	DRUG FORFEITURE EXP - STATE	34,550.00	45,088.20	500.00	9,017.64	(44,588.20)	1,000.00	(44,088.20)

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Fund 01 - GENERAL FUND								
01-30-650-349	DRUG FORFEITURE EXP - FEDEF	0.00	9,750.00	500.00	1,950.00	(9,250.00)	1,000.00	(8,750.00)
PATROL		34,550.00	55,059.49	3,300.00	1,668.47	(51,759.49)	6,600.00	(48,459.49)
TRAFFIC SAFETY								
01-30-660-105	PART TIME - CROSSING GUARD	395.41	2,433.27	5,323.00	45.71	2,889.73	10,646.00	8,212.73
TRAFFIC SAFETY		395.41	2,433.27	5,323.00	45.71	2,889.73	10,646.00	8,212.73
CRIME PREVENTION								
01-30-670-331	COMMODITIES	0.00	226.53	5,000.00	4.53	4,773.47	10,000.00	9,773.47
CRIME PREVENTION		0.00	226.53	5,000.00	4.53	4,773.47	10,000.00	9,773.47
TELECOMMUNICATIONS								
01-30-675-235	RADIO DISPATCHING	92,138.89	232,842.17	312,000.00	74.63	79,157.83	624,000.00	391,157.83
TELECOMMUNICATIONS		92,138.89	232,842.17	312,000.00	74.63	79,157.83	624,000.00	391,157.83
RED LIGHT								
01-30-630-246	RED LIGHT - ADJUDICATOR	638.00	2,222.00	6,000.00	37.03	3,778.00	12,000.00	9,778.00
01-30-630-247	RED LIGHT - CAMERA FEES	22,475.00	179,050.83	275,000.00	65.11	95,949.17	550,000.00	370,949.17
01-30-630-248	RED LIGHT - COM ED	154.48	903.33	2,000.00	45.17	1,096.67	4,000.00	3,096.67
01-30-630-249	RED LIGHT - MISC FEE	3,000.00	15,878.70	35,000.00	45.37	19,121.30	70,000.00	54,121.30
RED LIGHT		26,267.48	198,054.86	318,000.00	62.28	119,945.14	636,000.00	437,945.14
Total Dept 30 - POLICE DEPARTMENT		522,261.64	3,996,952.65	5,443,609.00	73.42	1,446,656.35	10,887,218.00	6,890,265.35
Dept 35 - PUBLIC WORKS DEPARTMENT								
CAPITAL IMPROVEMENTS								
01-35-765-625	VEHICLES - NEW & OTHER	0.00	15,063.50	0.00	100.00	(15,063.50)	0.00	(15,063.50)
01-35-765-685	STREET IMPROVEMENTS	0.00	1,183.00	30,000.00	3.94	28,817.00	60,000.00	58,817.00
CAPITAL IMPROVEMENTS		0.00	16,246.50	30,000.00	54.16	13,753.50	60,000.00	43,753.50
ADMINISTRATION								
01-35-400-147	MEDICARE	278.47	2,249.18	3,204.00	70.20	954.82	6,408.00	4,158.82
01-35-400-151	IMRF	4,601.53	22,284.77	28,147.00	79.17	5,862.23	56,294.00	34,009.23
01-35-400-161	SOCIAL SECURITY	1,190.63	9,614.88	13,700.00	70.18	4,085.12	27,400.00	17,785.12
01-35-400-171	SUI - UNEMPLOYMENT	474.79	626.04	998.00	62.73	371.96	1,996.00	1,369.96
01-35-710-101	SALARIES - PERMANENT EMPLO	9,341.56	117,121.50	163,587.00	71.60	46,465.50	327,174.00	210,052.50
01-35-710-102	OVERTIME	7,210.44	12,320.47	20,000.00	61.60	7,679.53	40,000.00	27,679.53
01-35-710-103	PART TIME - LABOR	1,073.50	8,540.61	11,072.00	77.14	2,531.39	22,144.00	13,603.39
01-35-710-126	SALARIES - CLERICAL	2,115.49	21,091.47	26,308.00	80.17	5,216.53	52,616.00	31,524.53
01-35-710-141	HEALTH/DENTAL/LIFE INSURANC	3,635.70	34,426.66	54,315.00	63.38	19,888.34	108,630.00	74,203.34
01-35-710-201	TELEPHONES	176.68	1,764.36	2,784.00	63.38	1,019.64	5,568.00	3,803.64
01-35-710-301	OFFICE SUPPLIES	187.90	649.22	500.00	129.84	(149.22)	1,000.00	350.78
01-35-710-302	PRINTING & PUBLISHING	0.00	562.00	750.00	74.93	188.00	1,500.00	938.00
01-35-710-303	FUEL/MILEAGE/WASH	357.05	4,130.75	10,400.00	39.72	6,269.25	20,800.00	16,669.25
01-35-710-304	SCHOOLS/CONFERENCES/TRAV	112.00	112.00	2,000.00	5.60	1,888.00	4,000.00	3,888.00

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Fund 01 - GENERAL FUND								
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	100.00	100.00	400.00	25.00	300.00	800.00	700.00
01-35-710-311	POSTAGE & METER RENT	2.40	1,315.44	1,500.00	87.70	184.56	3,000.00	1,684.56
01-35-710-345	UNIFORMS	0.00	636.50	3,800.00	16.75	3,163.50	7,600.00	6,963.50
01-35-710-401	OPERATING SUPPLIES & EQUIPM	306.24	1,727.99	2,500.00	69.12	772.01	5,000.00	3,272.01
01-35-710-405	FURNITURE & OFFICE EQUIPMEN	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION		31,164.38	239,273.84	346,465.00	69.06	107,191.16	692,930.00	453,656.16
DATA PROCESSING								
01-35-715-212	EDP EQUIPMENT/SOFTWARE	19.98	149.96	0.00	100.00	(149.96)	0.00	(149.96)
01-35-715-225	INTERNET/WEBSITE HOSTING	118.35	1,085.24	1,296.00	83.74	210.76	2,592.00	1,506.76
DATA PROCESSING		138.33	1,235.20	1,296.00	95.31	60.80	2,592.00	1,356.80
ENGINEERING								
01-35-720-245	FEES - ENGINEERING	662.50	10,920.51	30,000.00	36.40	19,079.49	60,000.00	49,079.49
01-35-720-254	PLAN REVIEW - ENGINEER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
ENGINEERING		662.50	10,920.51	31,500.00	34.67	20,579.49	63,000.00	52,079.49
BUILDINGS								
01-35-725-413	MAINTENANCE - GARAGE	394.48	2,638.72	5,000.00	52.77	2,361.28	10,000.00	7,361.28
01-35-725-414	MAINTENANCE - SALT BINS	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-35-725-415	NICOR GAS	436.57	998.09	3,200.00	31.19	2,201.91	6,400.00	5,401.91
01-35-725-417	SANITARY USER CHARGE	0.00	53.58	200.00	26.79	146.42	400.00	346.42
01-35-725-418	MAINTENANCE - PW BUILDING	8,316.83	35,857.03	10,000.00	358.57	(25,857.03)	20,000.00	(15,857.03)
BUILDINGS		9,147.88	39,547.42	19,900.00	198.73	(19,647.42)	39,800.00	252.58
EQUIPMENT REPAIR								
01-35-735-409	MAINTENANCE - VEHICLES	430.26	16,832.79	20,000.00	84.16	3,167.21	40,000.00	23,167.21
01-35-735-411	MAINTENANCE - EQUIPMENT	0.00	589.95	1,000.00	59.00	410.05	2,000.00	1,410.05
EQUIPMENT REPAIR		430.26	17,422.74	21,000.00	82.97	3,577.26	42,000.00	24,577.26
SNOW REMOVAL								
01-35-740-287	SNOW REMOVAL CONTRACT	0.00	0.00	70,000.00	0.00	70,000.00	140,000.00	140,000.00
01-35-740-411	MAINTENANCE - EQUIPMENT	136.40	215.48	4,000.00	5.39	3,784.52	8,000.00	7,784.52
SNOW REMOVAL		136.40	215.48	74,000.00	0.29	73,784.52	148,000.00	147,784.52
STREET LIGHTING								
01-35-745-207	ENERGY - STREET LIGHTS	3,074.27	14,131.70	21,000.00	67.29	6,868.30	42,000.00	27,868.30
01-35-745-223	MAINTENANCE - STREET LIGHTS	2,873.35	17,097.39	17,000.00	100.57	(97.39)	34,000.00	16,902.61
01-35-745-224	MAINTENANCE - TRAFFIC SIGNAL	0.00	3,141.00	3,141.00	100.00	0.00	6,282.00	3,141.00
STREET LIGHTING		5,947.62	34,370.09	41,141.00	83.54	6,770.91	82,282.00	47,911.91
STORM WATER IMPROVEMENTS								
01-35-750-286	JET CLEANING CULVERT	1,730.00	16,393.85	20,000.00	81.97	3,606.15	40,000.00	23,606.15
01-35-750-289	SITE IMPROVEMENTS	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
01-35-750-290	EQUIPMENT RENTAL	0.00	120.00	3,500.00	3.43	3,380.00	7,000.00	6,880.00
01-35-750-328	STREET & ROW MAINTENANCE	4,545.00	165,387.13	160,000.00	103.37	(5,387.13)	320,000.00	154,612.87
01-35-750-338	TREE MAINTENANCE	29,250.00	155,310.50	150,000.00	103.54	(5,310.50)	300,000.00	144,689.50

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Fund 01 - GENERAL FUND								
01-35-750-381	STORM WATER IMPROVEMENTS	0.00	56,109.02	92,500.00	60.66	36,390.98	185,000.00	128,890.98
	STORM WATER IMPROVEMENTS	35,525.00	393,320.50	436,000.00	90.21	42,679.50	872,000.00	478,679.50
STREET MAINTENANCE								
01-35-755-279	TRASH REMOVAL	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	0.00	40,490.30	52,000.00	77.87	11,509.70	104,000.00	63,509.70
01-35-755-284	BRUSH PICKUP	0.00	18,500.00	35,000.00	52.86	16,500.00	70,000.00	51,500.00
01-35-755-328	STREET & ROW MAINTENANCE C	0.00	12,767.53	15,000.00	85.12	2,232.47	30,000.00	17,232.47
01-35-755-331	SALT	0.00	0.00	80,000.00	0.00	80,000.00	160,000.00	160,000.00
01-35-755-332	J.U.L.I.E.	1,746.58	2,762.13	2,400.00	115.09	(362.13)	4,800.00	2,037.87
01-35-755-333	ROAD SIGNS	0.00	3,842.20	7,700.00	49.90	3,857.80	15,400.00	11,557.80
01-35-755-401	OPERATING EQUIPMENT	0.00	33.10	1,500.00	2.21	1,466.90	3,000.00	2,966.90
	STREET MAINTENANCE	1,746.58	78,395.26	195,600.00	40.08	117,204.74	391,200.00	312,804.74
NUISANCE CONTROL								
01-35-760-258	PEST CONTROL	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-35-760-259	MOSQUITO ABATEMENT	0.00	26,960.00	35,300.00	76.37	8,340.00	70,600.00	43,640.00
	NUISANCE CONTROL	0.00	26,960.00	36,300.00	74.27	9,340.00	72,600.00	45,640.00
Total Dept 35 - PUBLIC WORKS DEPARTMENT		84,898.95	857,907.54	1,233,202.00	69.57	375,294.46	2,466,404.00	1,608,496.46
Dept 40 - BUILDING & ZONING DEPARTMENT								
GENERAL MANAGEMENT								
01-40-400-147	MEDICARE	133.24	1,330.20	1,905.00	69.83	574.80	3,810.00	2,479.80
01-40-400-151	IMRF	2,316.88	13,638.84	17,621.00	77.40	3,982.16	35,242.00	21,603.16
01-40-400-161	SOCIAL SECURITY	569.69	5,687.70	8,147.00	69.81	2,459.30	16,294.00	10,606.30
01-40-400-171	SUI - UNEMPLOYMENT	225.20	225.20	387.00	58.19	161.80	774.00	548.80
01-40-810-101	SALARIES - PERMANENT EMPLO	7,495.20	74,855.45	97,014.00	77.16	22,158.55	194,028.00	119,172.55
01-40-810-102	OVERTIME	0.00	0.00	11,000.00	0.00	11,000.00	22,000.00	22,000.00
01-40-810-126	SALARIES - CLERICAL	1,903.96	18,972.62	23,386.00	81.13	4,413.38	46,772.00	27,799.38
01-40-810-141	HEALTH/DENTAL/LIFE INSURANC	2,085.42	18,636.96	24,278.00	76.76	5,641.04	48,556.00	29,919.04
01-40-810-201	TELEPHONES	42.46	590.38	876.00	67.39	285.62	1,752.00	1,161.62
01-40-810-301	OFFICE SUPPLIES	0.00	1,001.17	1,000.00	100.12	(1.17)	2,000.00	998.83
01-40-810-302	PRINTING & PUBLISHING	0.00	1,808.95	750.00	214.53	(858.95)	1,500.00	(108.95)
01-40-810-303	FUEL/MILEAGE/WASH	46.33	288.93	1,000.00	28.89	711.07	2,000.00	1,711.07
01-40-810-304	SCHOOLS/CONFERENCES/TRAV	0.00	652.52	1,200.00	54.38	547.48	2,400.00	1,747.48
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	310.00	440.00	500.00	88.00	60.00	1,000.00	560.00
01-40-810-311	POSTAGE & METER RENT	56.30	207.65	400.00	51.91	192.35	800.00	592.35
01-40-810-315	COPY SERVICE	528.60	3,775.75	4,500.00	83.91	724.25	9,000.00	5,224.25
01-40-810-345	UNIFORMS	0.00	21.97	400.00	5.49	378.03	800.00	778.03
01-40-810-409	MAINTENANCE - VEHICLES	173.40	1,781.51	500.00	356.30	(1,281.51)	1,000.00	(781.51)
	GENERAL MANAGEMENT	15,886.68	143,715.80	194,864.00	73.75	51,148.20	389,728.00	246,012.20
DATA PROCESSING								
01-40-815-267	DOCUMENT STORAGE/SCANNING	0.00	3,420.60	9,000.00	38.01	5,579.40	18,000.00	14,579.40
	DATA PROCESSING	0.00	3,420.60	9,000.00	38.01	5,579.40	18,000.00	14,579.40

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Fund 01 - GENERAL FUND								
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	0.00	442.64	0.00	100.00	(442.64)	0.00	(442.64)
01-40-820-246	FEES - DRAINAGE ENGINEER	0.00	450.00	0.00	100.00	(450.00)	0.00	(450.00)
01-40-820-254	PLAN REVIEW - CIVIL ENGINEER	2,977.53	11,571.85	12,000.00	96.43	428.15	24,000.00	12,428.15
01-40-820-255	PLAN REVIEW - STRUCTURAL	2,787.00	2,787.00	7,000.00	39.81	4,213.00	14,000.00	11,213.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	14,682.00	115,583.20	140,000.00	82.56	24,416.80	280,000.00	164,416.80
ENGINEERING		20,446.53	130,834.69	159,000.00	82.29	28,165.31	318,000.00	187,165.31
INSPECTION								
01-40-830-109	PART TIME - INSPECTOR	3,360.00	34,860.00	40,000.00	87.15	5,140.00	80,000.00	45,140.00
01-40-830-115	PLUMBING INSPECTION	450.00	3,100.00	15,000.00	20.67	11,900.00	30,000.00	26,900.00
01-40-830-117	ELEVATOR INSPECTION	0.00	1,989.00	5,000.00	39.78	3,011.00	10,000.00	8,011.00
01-40-830-119	CODE ENFORCEMENT INSPECTI	1,853.75	2,765.00	5,000.00	55.30	2,235.00	10,000.00	7,235.00
INSPECTION		5,673.75	42,714.00	65,000.00	65.71	22,286.00	130,000.00	87,286.00
Total Dept 40 - BUILDING & ZONING DEPARTMENT		42,006.96	320,685.09	427,864.00	74.95	107,178.91	855,728.00	535,042.91
Dept 53 - HOTEL/MOTEL								
GENERAL MANAGEMENT								
01-53-401-307	FEES DUES SUBSCRIPTIONS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
COMMUNITY RELATIONS								
01-53-435-319	CHAMBER DIRECTORY	0.00	1,500.00	3,000.00	50.00	1,500.00	6,000.00	4,500.00
COMMUNITY RELATIONS		0.00	1,500.00	3,000.00	50.00	1,500.00	6,000.00	4,500.00
SPECIAL EVENTS								
01-53-436-379	SPECIAL PROMOTIONAL EVENTS	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
SPECIAL EVENTS		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
Total Dept 53 - HOTEL/MOTEL		0.00	1,500.00	6,000.00	25.00	4,500.00	12,000.00	10,500.00
TOTAL EXPENDITURES		937,466.33	7,127,761.47	9,646,169.00	73.89	2,518,407.53	19,292,338.00	12,164,576.53

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Fund 02 - WATER FUND								
Dept 50 - WATER DEPARTMENT								
CAPITAL IMPROVEMENTS								
02-50-440-626	VEHICLES - NEW & OTHER	0.00	15,063.50	0.00	100.00	(15,063.50)	0.00	(15,063.50)
02-50-440-694	DISTRIBUTION SYSTEM REPLACI	0.00	3,274.80	7,500.00	43.66	4,225.20	15,000.00	11,725.20
CAPITAL IMPROVEMENTS		0.00	18,338.30	7,500.00	244.51	(10,838.30)	15,000.00	(3,338.30)
ADMINISTRATION								
02-50-400-147	MEDICARE	190.43	2,296.67	3,523.00	65.19	1,226.33	7,046.00	4,749.33
02-50-400-151	IMRF	3,069.09	22,372.68	31,969.00	69.98	9,596.32	63,938.00	41,565.32
02-50-400-161	SOCIAL SECURITY	814.34	9,822.56	15,062.00	65.21	5,239.44	30,124.00	20,301.44
02-50-400-171	SUI - UNEMPLOYMENT	324.59	428.97	866.00	49.53	437.03	1,732.00	1,303.03
02-50-401-101	SALARIES - PERMANENT EMPLO	9,341.32	115,616.94	162,087.00	71.33	46,470.06	324,174.00	208,557.06
02-50-401-102	OVERTIME	993.92	19,692.90	50,000.00	39.39	30,307.10	100,000.00	80,307.10
02-50-401-103	PART TIME - LABOR	1,061.00	6,218.11	4,538.00	137.02	(1,680.11)	9,076.00	2,857.89
02-50-401-126	SALARIES - CLERICAL	2,115.39	21,090.39	26,308.00	80.17	5,217.61	52,616.00	31,525.61
02-50-401-141	HEALTH/DENTAL/LIFE INSURANC	3,694.44	35,023.87	55,848.00	62.71	20,824.13	111,696.00	76,672.13
02-50-401-201	PHONE - TELEPHONES	343.66	3,006.26	5,592.00	53.76	2,585.74	11,184.00	8,177.74
02-50-401-239	FEES - VILLAGE ATTORNEY	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-401-301	OFFICE SUPPLIES	8.68	388.73	500.00	77.75	111.27	1,000.00	611.27
02-50-401-302	PRINTING & PUBLISHING	320.00	5,375.00	5,200.00	103.37	(175.00)	10,400.00	5,025.00
02-50-401-303	FUEL/MILEAGE/WASH	357.05	4,130.71	11,000.00	37.55	6,869.29	22,000.00	17,869.29
02-50-401-304	SCHOOLS CONFERENCE TRAVE	8.00	60.35	1,500.00	4.02	1,439.65	3,000.00	2,939.65
02-50-401-307	FEES DUES SUBSCRIPTIONS	230.60	1,312.85	410.00	320.21	(902.85)	820.00	(492.85)
02-50-401-311	POSTAGE & METER RENT	901.85	3,589.35	6,000.00	59.82	2,410.65	12,000.00	8,410.65
02-50-401-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION		23,774.36	250,426.34	381,903.00	65.57	131,476.66	763,806.00	513,379.66
OTHER								
02-50-449-102	INTEREST EXPENSE	0.00	9,190.00	9,190.00	100.00	0.00	18,380.00	9,190.00
02-50-449-104	BOND PRINCIPAL EXPENSE	0.00	11,314.00	11,314.00	100.00	0.00	22,628.00	11,314.00
02-50-449-105	INTEREST EXPENSE - IEPA LOAN	0.00	14,145.95	14,146.00	100.00	0.05	28,292.00	14,146.05
02-50-449-106	PRINCIPAL EXPENSE - IEPA LOAI	0.00	40,302.25	40,302.00	100.00	(0.25)	80,604.00	40,301.75
OTHER		0.00	74,952.20	74,952.00	100.00	(0.20)	149,904.00	74,951.80
DATA PROCESSING								
02-50-417-212	EDP EQUIPMENT/SOFTWARE	0.00	1,049.93	35,364.00	2.97	34,314.07	70,728.00	69,678.07
02-50-417-263	EDP LICENSES	0.00	1,765.00	15,605.00	11.31	13,840.00	31,210.00	29,445.00
02-50-417-306	IT CONSULTING	0.00	382.00	3,750.00	10.19	3,368.00	7,500.00	7,118.00
DATA PROCESSING		0.00	3,196.93	54,719.00	5.84	51,522.07	109,438.00	106,241.07
ENGINEERING								
02-50-405-245	FEES - ENGINEERING	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
ENGINEERING		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
RISK MANAGEMENT								
02-50-415-273	SELF INSURANCE - DEDUCTIBLE	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
RISK MANAGEMENT		0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00

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Fund 02 - WATER FUND								
TRANSFERS TO OTHER FUNDS								
02-50-410-501	REIMBURSE OVERHEAD GENERA	46,857.33	421,715.97	562,288.00	75.00	140,572.03	1,124,576.00	702,860.03
02-50-900-109	TRANSFER TO WATER CAPITAL I	0.00	200,000.00	200,000.00	100.00	0.00	400,000.00	200,000.00
02-50-900-112	TRANSFER TO DEBT SERVICE - 2	0.00	46,695.00	46,695.00	100.00	0.00	93,390.00	46,695.00
TRANSFERS TO OTHER FUNDS		46,857.33	668,410.97	808,983.00	82.62	140,572.03	1,617,966.00	949,555.03
WATER PRODUCTION								
02-50-420-206	ENERGY - ELECTRIC PUMP	3,608.23	9,286.16	18,900.00	49.13	9,613.84	37,800.00	28,513.84
02-50-420-361	CHEMICALS	0.00	475.39	1,500.00	31.69	1,024.61	3,000.00	2,524.61
02-50-420-362	SAMPLING ANALYSIS	100.00	1,390.00	4,000.00	34.75	2,610.00	8,000.00	6,610.00
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-491	PUMP INSPECTION REPAIR MAIN	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-575	PURCHASE OF WATER	118,271.09	1,185,021.95	1,739,500.00	68.12	554,478.05	3,479,000.00	2,293,978.05
WATER PRODUCTION		121,979.32	1,196,173.50	1,764,900.00	67.78	568,726.50	3,529,800.00	2,333,626.50
WATER STORAGE								
02-50-425-473	WELLHOUSE REPAIRS & MAINT	735.22	735.22	1,500.00	49.01	764.78	3,000.00	2,264.78
02-50-425-474	WELLHOUSE REPAIRS & MAIN - V	0.00	1,574.68	1,500.00	104.98	(74.68)	3,000.00	1,425.32
02-50-425-475	MATERIALS & SUPPLIES- STAND	329.65	1,835.12	5,500.00	33.37	3,664.88	11,000.00	9,164.88
02-50-425-485	REPAIRS & MAINTENANCE-STAN	0.00	2,798.71	6,300.00	44.42	3,501.29	12,600.00	9,801.29
WATER STORAGE		1,064.87	6,943.73	14,800.00	46.92	7,856.27	29,600.00	22,656.27
TRANSPORTATION/DISTRIBUTION								
02-50-430-276	LEAK SURVEYS	1,765.50	5,182.50	9,000.00	57.58	3,817.50	18,000.00	12,817.50
02-50-430-277	WATER DISTRIBUTION REPAIRS/	33,324.00	176,084.97	200,000.00	88.04	23,915.03	400,000.00	223,915.03
02-50-430-299	LANDSCAPING - OTHER	0.00	920.40	1,500.00	61.36	579.60	3,000.00	2,079.60
02-50-430-401	OPERATING EQUIPMENT	868.00	1,648.00	2,000.00	82.40	352.00	4,000.00	2,352.00
02-50-430-425	J. U. L. I. E. MAINTENANCE & SUP	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRIB	4,322.48	12,626.33	35,000.00	36.08	22,373.67	70,000.00	57,373.67
TRANSPORTATION/DISTRIBUTION		40,279.98	196,462.20	248,000.00	79.22	51,537.80	496,000.00	299,537.80
METERS & BILLING								
02-50-435-278	METERS FLOW TESTING	0.00	17,046.88	2,500.00	681.88	(14,546.88)	5,000.00	(12,046.88)
02-50-435-461	NEW METERING EQUIPMENT	7,049.41	7,049.41	15,000.00	47.00	7,950.59	30,000.00	22,950.59
02-50-435-462	METER REPLACEMENT	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
02-50-435-463	MAINTENANCE - METER EQUIPM	0.00	1,558.60	2,500.00	62.26	943.40	5,000.00	3,443.40
METERS & BILLING		7,049.41	25,652.89	21,500.00	119.32	(4,152.89)	43,000.00	17,347.11
Total Dept 50 - WATER DEPARTMENT		241,005.27	2,440,557.06	3,389,757.00	72.00	949,199.94	6,779,514.00	4,338,956.94
TOTAL EXPENDITURES								
TOTAL EXPENDITURES		241,005.27	2,440,557.06	3,389,757.00	72.00	949,199.94	6,779,514.00	4,338,956.94

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Fund 03 - HOTEL/MOTEL TAX FUND								
Dept 53 - HOTEL/MOTEL								
TRANSFERS TO OTHER FUNDS								
03-53-900-101	TRANSFER TO GENERAL	0.00	717,758.53	715,941.00	100.25	(1,817.53)	1,431,882.00	714,123.47
TRANSFERS TO OTHER FUNDS		0.00	717,758.53	715,941.00	100.25	(1,817.53)	1,431,882.00	714,123.47
Total Dept 53 - HOTEL/MOTEL		0.00	717,758.53	715,941.00	100.25	(1,817.53)	1,431,882.00	714,123.47
TOTAL EXPENDITURES		0.00	717,758.53	715,941.00	100.25	(1,817.53)	1,431,882.00	714,123.47

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Fund 04 - MOTOR FUEL TAX FUND								
Dept 56 - MOTOR FUEL TAX								
CAPITAL IMPROVEMENTS								
04-56-430-684	STREET MAINTENANCE CONTRA	10,280.18	236,652.52	300,000.00	78.88	63,347.48	600,000.00	363,347.48
CAPITAL IMPROVEMENTS		10,280.18	236,652.52	300,000.00	78.88	63,347.48	600,000.00	363,347.48
ENGINEERING								
04-56-430-245	ENGINEERING	970.00	6,738.35	25,000.00	26.95	18,261.65	50,000.00	43,261.65
ENGINEERING		970.00	6,738.35	25,000.00	26.95	18,261.65	50,000.00	43,261.65
Total Dept 56 - MOTOR FUEL TAX		11,250.18	243,390.87	325,000.00	74.89	81,609.13	650,000.00	406,609.13
TOTAL EXPENDITURES		11,250.18	243,390.87	325,000.00	74.89	81,609.13	650,000.00	406,609.13

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Fund 06 - SSA ONE BOND & INTEREST FUND								
Dept 60 - SSA BOND								
OTHER								
06-60-550-401	BOND PRINCIPAL EXPENSE	0.00	180,000.00	180,000.00	100.00	0.00	360,000.00	180,000.00
06-60-550-402	BOND INTEREST EXPENSE	0.00	141,925.00	141,925.00	100.00	0.00	283,850.00	141,925.00
OTHER		0.00	321,925.00	321,925.00	100.00	0.00	643,850.00	321,925.00
Total Dept 60 - SSA BOND		0.00	321,925.00	321,925.00	100.00	0.00	643,850.00	321,925.00
TOTAL EXPENDITURES		0.00	321,925.00	321,925.00	100.00	0.00	643,850.00	321,925.00

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Fund 07 - POLICE PENSION FUND								
Dept 62								
ADMINISTRATION								
07-62-401-242	LEGAL FEES	0.00	550.00	1,000.00	55.00	450.00	2,000.00	1,450.00
07-62-401-251	AUDIT FEES	0.00	3,515.00	3,515.00	100.00	0.00	7,030.00	3,515.00
07-62-401-252	ACTUARY SERVICES	0.00	6,000.00	4,400.00	136.36	(1,600.00)	8,800.00	2,800.00
07-62-401-253	FINANCIAL ADVISORY FEES	8,587.00	23,979.00	27,500.00	87.20	3,521.00	55,000.00	31,021.00
07-62-401-254	FIDUCIARY INSURANCE	0.00	0.00	3,283.00	0.00	3,283.00	6,566.00	6,566.00
07-62-401-304	SCHOOLS CONFERENCE TRAVE	125.00	2,215.00	4,210.00	52.61	1,995.00	8,420.00	6,205.00
07-62-401-307	FEES DUES SUBSCRIPTIONS	0.00	795.00	819.00	97.07	24.00	1,638.00	843.00
07-62-401-311	POSTAGE & METER RENT	0.00	48.71	0.00	100.00	(48.71)	0.00	(48.71)
07-62-401-531	DEPT OF INSURANCE FILING FEE	0.00	4,544.07	4,400.00	103.27	(144.07)	8,800.00	4,255.93
07-62-401-543	EXAMS - PHYSICAL	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
ADMINISTRATION		8,712.00	41,646.78	49,877.00	83.50	8,230.22	99,754.00	58,107.22
PENSION BENEFITS								
07-62-401-581	PENSION BENEFITS	113,195.76	992,745.18	1,332,332.00	74.51	339,586.82	2,664,664.00	1,671,918.82
07-62-401-582	WIDOW'S PENSION	6,931.86	62,386.74	83,182.00	75.00	20,795.26	166,364.00	103,977.26
07-62-401-583	NON-DUTY DISABILITY BENEFITS	6,088.42	54,032.18	72,297.00	74.74	18,264.82	144,594.00	90,561.82
07-62-401-584	DUTY DISABILITY BENEFITS	6,007.61	54,068.49	72,091.00	75.00	18,022.51	144,182.00	90,113.51
PENSION BENEFITS		132,223.65	1,163,232.59	1,559,902.00	74.57	396,669.41	3,119,804.00	1,956,571.41
Total Dept 62		140,935.65	1,204,879.37	1,609,779.00	74.85	404,899.63	3,219,558.00	2,014,678.63
TOTAL EXPENDITURES								
		140,935.65	1,204,879.37	1,609,779.00	74.85	404,899.63	3,219,558.00	2,014,678.63

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 01/31/21	YTD BALANCE 01/31/2021	2020-21 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND								
Dept 65 - WATER CAPITAL IMPROVEMENTS								
CAPITAL IMPROVEMENTS								
09-65-440-600	WATER SYSTEM IMPROVEMENT:	1,855.00	26,235.00	135,380.00	19.38	109,145.00	270,760.00	244,525.00
09-65-440-602	MTU REPLACEMENT	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
CAPITAL IMPROVEMENTS		1,855.00	26,235.00	136,380.00	19.24	110,145.00	272,760.00	246,525.00
Total Dept 65 - WATER CAPITAL IMPROVEMENTS		1,855.00	26,235.00	136,380.00	19.24	110,145.00	272,760.00	246,525.00
TOTAL EXPENDITURES		1,855.00	26,235.00	136,380.00	19.24	110,145.00	272,760.00	246,525.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 01/31/21	YTD BALANCE 01/31/2021	2020-21 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 11 - DEBT SERVICE FUND								
Dept 70 - DEBT SERVICE FUND								
OTHER								
11-70-550-401	BOND PRINCIPAL EXPENSE	0.00	218,686.00	218,686.00	100.00	0.00	437,372.00	218,686.00
11-70-550-402	BOND INTEREST EXPENSE	0.00	107,860.00	107,860.00	100.00	0.00	215,720.00	107,860.00
OTHER		0.00	326,546.00	326,546.00	100.00	0.00	653,092.00	326,546.00
Total Dept 70 - DEBT SERVICE FUND		0.00	326,546.00	326,546.00	100.00	0.00	653,092.00	326,546.00
TOTAL EXPENDITURES		0.00	326,546.00	326,546.00	100.00	0.00	653,092.00	326,546.00

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EXPENDITURE REPORT FOR WILLOWBROOK
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 01/31/21	YTD BALANCE 01/31/2021	2020-21 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX								
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT								
CONTINGENCIES								
15-15-401-242	LEGAL FEES	0.00	3,664.10	10,000.00	36.64	6,335.90	20,000.00	16,335.90
CONTINGENCIES		0.00	3,664.10	10,000.00	36.64	6,335.90	20,000.00	16,335.90
ADMINISTRATION								
15-15-455-513	SALES TAX REBATE- TOWN CEN	0.00	0.00	84,515.00	0.00	84,515.00	169,030.00	169,030.00
15-15-455-514	SALES TAX REBATE - PFM	0.00	0.00	165,000.00	0.00	165,000.00	330,000.00	330,000.00
ADMINISTRATION		0.00	0.00	249,515.00	0.00	249,515.00	499,030.00	499,030.00
STREET MAINTENANCE								
15-15-745-224	MAINT TRAFFIC SIGNALS	0.00	3,141.00	3,141.00	100.00	0.00	6,282.00	3,141.00
STREET MAINTENANCE		0.00	3,141.00	3,141.00	100.00	0.00	6,282.00	3,141.00
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMENT		0.00	6,805.10	262,656.00	2.59	255,850.90	525,312.00	518,506.90
TOTAL EXPENDITURES		0.00	6,805.10	262,656.00	2.59	255,850.90	525,312.00	518,506.90
TOTAL EXPENDITURES - ALL FUNDS		1,332,512.43	12,415,858.40	16,734,153.00	74.19	4,318,294.60	33,468,306.00	21,052,447.60

WARRANTS

February 8, 2021

GENERAL CORPORATE FUND	-----	\$119,210.08
WATER FUND	-----	\$26,613.82
TOTAL WARRANTS	-----	\$145,823.90

Carrie Dittman, Director of Finance



APPROVED:
Frank A. Trilla, Mayor

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
02/09/2021	APCH	195(E)*#	WEX BANK	FUEL/MILEAGE/WASH	455-303	10	36.00
				FUEL/MILEAGE/WASH	630-303	30	2,999.60
				FUEL/MILEAGE/WASH	710-303	35	798.55
				FUEL/MILEAGE/WASH	810-303	40	23.06
				CHECK APCHK 195(E) TOTAL FOR FUND 01:			<u>3,857.21</u>
02/09/2021	APCH	96634*#	ACCESS ONE, INC.	PHONE - TELEPHONES	455-201	10	452.61
				PHONE - TELEPHONES	455-201	10	49.30
				PHONE - TELEPHONES	455-201	10	49.30
				PHONE - TELEPHONES	455-201	10	58.30
				INTERNET/WEBSITE HOSTING	460-225	10	400.00
				PHONE - TELEPHONES	455-201	20	92.33
				PHONE - TELEPHONES	455-201	20	92.33
				PHONE - TELEPHONES	630-201	30	352.04
				INTERNET/WEBSITE HOSTING	640-225	30	400.00
				TELEPHONES	710-201	35	92.33
				CHECK APCHK 96634 TOTAL FOR FUND 01:			<u>2,038.54</u>
02/09/2021	APCH	96636	ACTUATE LAW LLC	CYBER DISRUPTION	460-265	10	800.00
				CYBER DISRUPTION	460-265	10	400.00
				CHECK APCHK 96636 TOTAL FOR FUND 01:			<u>1,200.00</u>
02/09/2021	APCH	96637	ALEXANDER ERDMANN	UNIFORMS - ERDMANN ALLOWANCE	630-345	30	498.71
02/09/2021	APCH	96639	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING	725-418	35	350.00
02/09/2021	APCH	96640	BOB BARKER COMPANY INC	JAIL SUPPLIES	650-343	30	485.10
				JAIL SUPPLIES - SALES TAX	650-343	30	25.74
				CHECK APCHK 96640 TOTAL FOR FUND 01:			<u>510.84</u>
02/09/2021	APCH	96641	BRYAN'S GARAGE DOOR SOLUTIONS	MAINTENANCE - GARAGE	725-413	35	300.00
02/09/2021	APCH	96643	BUTTREY RENTAL SERVICE, INC.	EQUIPMENT RENTAL	750-290	35	99.00
02/09/2021	APCH	96644	CAPERS	EDP LICENSES	640-263	30	5,000.00

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
02/09/2021	APCH	96645	CARROLL CONSTRUCTION SUPPLY	SITE IMPROVEMENTS	750-289	35	26.69
				SITE IMPROVEMENTS	750-289	35	199.30
				CHECK APCHK 96645 TOTAL FOR FUND 01:			<u>225.99</u>
02/09/2021	APCH	96646	CHOICE OFFICE EQUIP & SUPPLIES IN	COPY SERVICE	455-315	10	626.12
02/09/2021	APCH	96647#	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	1,120.32
				BUILDING MAINTENANCE SUPPLIES	466-351	10	59.66
				BUILDING MAINTENANCE SUPPLIES	466-351	10	15.51
				MAINTENANCE - BUILDING	630-228	30	1,827.23
				CHECK APCHK 96647 TOTAL FOR FUND 01:			<u>3,022.72</u>
02/09/2021	APCH	96648#	COMCAST CABLE	INTERNET/WEBSITE HOSTING	460-225	10	226.82
				INTERNET/WEBSITE HOSTING	715-225	35	118.35
				CHECK APCHK 96648 TOTAL FOR FUND 01:			<u>345.17</u>
02/09/2021	APCH	96649*#	COMED	ENERGY/COMED (835 MIDWAY)	466-240	10	266.91
				ENERGY - STREET LIGHTS	745-207	35	526.91
				ENERGY - STREET LIGHTS	745-207	35	96.73
				CHECK APCHK 96649 TOTAL FOR FUND 01:			<u>890.55</u>
02/09/2021	APCH	96650	COMPASS MINERALS AMERICA	SALT	755-331	35	16,102.68
02/09/2021	APCH	96651	COOK COUNTY CLERK	FEES/DUES/SUBSCRIPTIONS	630-307	30	10.00
02/09/2021	APCH	96652*#	DELTA DENTAL PLAN OF ILLINOIS	EMP DED PAY- INSURANCE	210-204	00	1,480.02
				EMP DED PAY- INSURANCE	210-204	00	39.06
				HEALTH/DENTAL/LIFE INSURANCE	455-141	10	271.09
				HEALTH/DENTAL/LIFE INSURANCE	610-141	25	228.64
				HEALTH/DENTAL/LIFE INSURANCE	630-141	30	2,139.30
				HEALTH/DENTAL/LIFE INSURANCE	710-141	35	213.93
				HEALTH/DENTAL/LIFE INSURANCE	810-141	40	228.64
				CHECK APCHK 96652 TOTAL FOR FUND 01:			<u>4,600.68</u>
02/09/2021	APCH	96653	DUPAGE COUNTY ANIMAL CARE & CONT	ANIMAL CONTROL	650-268	30	200.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
02/09/2021	APCH	96654#	DUPAGE COUNTY PUBLIC WORKS	SANITARY (835 MIDWAY)	466-251	10	22.35
				SANITARY (825 MIDWAY)	570-250	20	4.39
				SANITARY USER CHARGE - PARKS	570-278	20	22.25
				SANITARY USER CHARGE - PARKS	570-278	20	4.39
				SANITARY (7760 QUINCY)	630-250	30	22.35
				SANITARY USER CHARGE	725-417	35	13.37
				CHECK APCHK 96654 TOTAL FOR FUND 01:			<u>89.10</u>
02/09/2021	APCH	96656	EWS WELDING SUPPLY, INC	MAINTENANCE - BUILDING	466-228	10	107.95
02/09/2021	APCH	96657	FALCO'S LANDSCAPING INC	SITE IMPROVEMENTS	750-289	35	4,800.00
02/09/2021	APCH	96658#	FIRST NATIONAL BANK OMAHA	EDP EQUIPMENT/SOFTWARE	417-212	05	229.98
				COMMISSARY PROVISION	455-355	10	3.99
				COMMISSARY PROVISION	455-355	10	58.88
				EDP LICENSES	555-263	20	14.99
				FEES/DUES/SUBSCRIPTIONS	610-307	25	(43.07)
				CHECK APCHK 96658 TOTAL FOR FUND 01:			<u>264.77</u>
02/09/2021	APCH	96659	GBJ SALES, LLC	OPERATING SUPPLIES & EQUIPMENT	710-401	35	224.10
02/09/2021	APCH	96660	GHD SERVICES INC.	CRISIS MANAGEMENT	475-367	10	2,465.00
02/09/2021	APCH	96661	GOVT FINANCE OFCRS ASSN	FEES/DUES/SUBSCRIPTIONS	610-307	25	170.00
02/09/2021	APCH	96662	GRAINGER	MAINTENANCE - VEHICLES	735-409	35	125.72
02/09/2021	APCH	96663*#	H AND R CONSTRUCTION INC.	SNOW REMOVAL CONTRACT	740-287	35	3,630.00
				SNOW REMOVAL CONTRACT	740-287	35	4,080.00
				CHECK APCHK 96663 TOTAL FOR FUND 01:			<u>7,710.00</u>
02/09/2021	APCH	96665	HALOCK SECURITY LABS	CONSULTING SERVICES - IT	460-306	10	6,250.00
02/09/2021	APCH	96666	ILL ASSN OF PROPERTY & EVIDENCE	FEES/DUES/SUBSCRIPTIONS	630-307	30	35.00
02/09/2021	APCH	96667	ILL. ASSN. CHIEFS OF POLICE	FEES/DUES/SUBSCRIPTIONS	630-307	30	190.00
02/09/2021	APCH	96668	JOHN J. HANDZIK	UNIFORMS - HANDZIK ALLOWANCE	630-345	30	106.92

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Fund: 01 GENERAL FUND							
02/09/2021	APCH	96669	KANE, MCKENNA & ASSOCIATES, INC.	CONSULTING	455-306	10	100.00
02/09/2021	APCH	96670	KING CAR WASH	FUEL/MILEAGE/WASH	630-303	30	325.00
02/09/2021	APCH	96671	LAW OFFICES STORINO RAMELLO&DURK	FEES - VILLAGE ATTORNEY	470-239	10	6,260.50
				FEES - LABOR COUNSEL	470-242	10	1,176.10
				FEES - LABOR COUNSEL	470-242	10	110.20
				CRISIS MANAGEMENT	475-367	10	1,197.00
				CHECK APCHK 96671 TOTAL FOR FUND 01:			8,743.80
02/09/2021	APCH	96672	MATTHEW VANDERJACK	UNIFORMS - VANDERJACK ALLOWANCE	630-345	30	816.55
02/09/2021	APCH	96673	METRO REPORTING SERVICE LTD.	FEES - COURT REPORTER	520-246	15	436.80
02/09/2021	APCH	96675	MITECHS, INC.	EDP LICENSES	460-263	10	796.88
02/09/2021	APCH	96676	NCPERS GROUP LIFE INSURANCE	EMP DED - SUPPLEMENTAL LIFE INSURANCE	210-213	00	80.00
02/09/2021	APCH	96677	NICHOLAS VOLEK	UNIFORMS - VOLEK ALLOWANCE	630-345	30	139.28
02/09/2021	APCH	96678#	NICOR GAS	NICOR GAS (835 MIDWAY)	466-236	10	375.91
				NICOR GAS (7760 QUINCY)	630-235	30	605.32
				NICOR GAS	725-415	35	516.74
				CHECK APCHK 96678 TOTAL FOR FUND 01:			1,497.97
02/09/2021	APCH	96679	NORTHERN IL POLICE ALARM SYSTEM	FEES/DUES/SUBSCRIPTIONS	630-307	30	875.00
				FEES/DUES/SUBSCRIPTIONS - LOPEZ	630-307	30	130.00
				FEES/DUES/SUBSCRIPTIONS	630-307	30	400.00
				CHECK APCHK 96679 TOTAL FOR FUND 01:			1,405.00
02/09/2021	APCH	96680	NOTARY SERVICE BONDING AGENCY	FEES/DUES/SUBSCRIPTIONS	630-307	30	53.95
02/09/2021	APCH	96681	OCCUPATIONAL HEALTH CENTERS	PERSONNEL RECRUITMENT	630-131	30	320.50
02/09/2021	APCH	96682	OXSANA LYLYK	Refund: MR Unapplied Payments	210-101	00	25.00
02/09/2021	APCH	96683	P.F. PETTIBONE & CO.	OPERATING EQUIPMENT	630-401	30	60.00
02/09/2021	APCH	96684	PCS INTERNATIONAL	PREPAID EXPENDITURES	190-101	00	12,500.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
02/09/2021	APCH	96685	PUBLIC SAFETY DIRECT INC	MAINTENANCE - VEHICLES	630-409	30	223.10
02/09/2021	APCH	96686	RAGNA SOFT INC	FEES/DUES/SUBSCRIPTIONS	630-307	30	325.00
02/09/2021	APCH	96687	RAGS ELECTRIC, INC	MAINTENANCE - STREET LIGHTS	745-223	35	605.56
02/09/2021	APCH	96688	RAY O'HERRON CO., INC.	UNIFORMS - VEST POLFLIET	630-345	30	699.00
				UNIFORMS - POLFLIET ALLOWANCE	630-345	30	511.00
				UNIFORMS - BIGGS ALLOWANCE	630-345	30	67.00
				CHECK APCHK 96688 TOTAL FOR FUND 01:			<u>1,277.00</u>
02/09/2021	APCH	96689	THE EAGLE UNIFORM CO	UNIFORMS - HANDZIK ALLOWANCE	630-345	30	254.00
02/09/2021	APCH	96690	TRAFFIC CONTROL & PROTECTIONS	ROAD SIGNS	755-333	35	89.20
02/09/2021	APCH	96692	UNIVERSITY OF ILLINOIS GENERAL A	SCHOOLS/CONFERENCES/TRAVEL - BLAYLOCK	630-304	30	6,020.00
				SCHOOLS/CONFERENCES/TRAVEL - BOJILOV	630-304	30	6,020.00
				SCHOOLS/CONFERENCES/TRAVEL - EPPS-JOH	630-304	30	6,020.00
				SCHOOLS/CONFERENCES/TRAVEL - WELLER	630-304	30	6,020.00
				SCHOOLS/CONFERENCES/TRAVEL - BLAYLOCK	630-304	30	464.00
				SCHOOLS/CONFERENCES/TRAVEL - BOJILOV	630-304	30	464.00
				SCHOOLS/CONFERENCES/TRAVEL - EPPS JOH	630-304	30	464.00
				SCHOOLS/CONFERENCES/TRAVEL - WELLER	630-304	30	464.00
				CHECK APCHK 96692 TOTAL FOR FUND 01:			<u>25,936.00</u>
02/09/2021	APCH	96694	VESCO OIL CORPORATION	MAINTENANCE - VEHICLES	735-409	35	80.00
02/09/2021	APCH	96695#	WAREHOUSE DIRECT	PRINTING & PUBLISHING	630-302	30	46.08
				OPERATING EQUIPMENT	630-401	30	59.56
				OPERATING EQUIPMENT	630-401	30	36.56
				OFFICE SUPPLIES	710-301	35	199.38
				CHECK APCHK 96695 TOTAL FOR FUND 01:			<u>341.58</u>
02/09/2021	APCH	96696	WEST SIDE TRACTOR SALES	MAINTENANCE - VEHICLES	735-409	35	361.14
				Total for fund 01 GENERAL FUND			119,210.08

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Fund: 02 WATER FUND							
02/09/2021	APCH	195(E)*#	WEX BANK	FUEL/MILEAGE/WASH	401-303	50	798.55
02/09/2021	APCH	96634*#	ACCESS ONE, INC.	PHONE - TELEPHONES	401-201	50	92.48
				PHONE - TELEPHONES	401-201	50	92.33
				CHECK APCHK 96634 TOTAL FOR FUND 02:			184.81
02/09/2021	APCH	96635	ACI PAYMENTS, INC	FEES DUES SUBSCRIPTIONS	401-307	50	1.95
02/09/2021	APCH	96638	ASSOCIATED TECHNICAL SERV. LTD.	LEAK SURVEYS	430-276	50	775.25
				LEAK SURVEYS	430-276	50	742.00
				LEAK SURVEYS	430-276	50	1,443.75
				CHECK APCHK 96638 TOTAL FOR FUND 02:			2,961.00
02/09/2021	APCH	96642	BSS WILLOWBROOK, LLC	CUSTOMER OVERPAYMENT	280-135	00	1,159.20
02/09/2021	APCH	96649*#	COMED	ENERGY - ELECTRIC PUMP	420-206	50	1,202.62
02/09/2021	APCH	96652*#	DELTA DENTAL PLAN OF ILLINOIS	HEALTH/DENTAL/LIFE INSURANCE	401-141	50	213.93
02/09/2021	APCH	96655	ETP LABS INC	SAMPLING ANALYSIS	420-362	50	100.00
				SAMPLING ANALYSIS	420-362	50	30.00
				CHECK APCHK 96655 TOTAL FOR FUND 02:			130.00
02/09/2021	APCH	96663*#	H AND R CONSTRUCTION INC.	WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	4,500.00
				WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	3,950.00
				WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	4,800.00
				CHECK APCHK 96663 TOTAL FOR FUND 02:			13,250.00
02/09/2021	APCH	96664	HACH CHEMICAL COMPANY	CHEMICALS	420-361	50	(447.30)
				REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	425-485	50	3,000.00
				CHECK APCHK 96664 TOTAL FOR FUND 02:			2,552.70
02/09/2021	APCH	96674	MID AMERICAN WATER	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	397.00

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND							
02/09/2021	APCH	96691	UNDERGROUND PIPE & VALVE, CO.	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	2,621.00
				MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	1,066.00
				CHECK APCHK 96691 TOTAL FOR FUND 02:			3,687.00
02/09/2021	APCH	96693	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	75.06
				Total for fund 02 WATER FUND			26,613.82
			TOTAL - ALL FUNDS				145,823.90

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

Payroll Liability Check Register
For Check Dates 01/01/2021 to 01/31/2021

Check Number	Vendor Name	Check Date	Check Amount
53927	AFLAC	01/29/2021	2,716.34
53928	I C M A RETIREMENT TRUST - 457	01/29/2021	825.00
53929	ILLINOIS STATE DISBURSEMENT UNIT	01/29/2021	2,244.30
53930	ILLINOIS FRATERNAL	01/29/2021	1,104.00
53931	NATIONWIDE RETIREMENT SOLUTIONS	01/29/2021	8,425.47
EFT354	EFTPS	01/29/2021	49,692.63
EFT355	COMMUNITY BANK OF WILLOWBROOK	01/29/2021	272.23
EFT356	I.M.R.F. PENSION FUND	01/29/2021	34,208.31
EFT357	VILLAGE OF WILLOWBROOK	01/29/2021	50,370.12
EFT358	ILLINOIS DEPT. OF REVENUE	01/29/2021	7,200.90
53922	I C M A RETIREMENT TRUST - 457	01/15/2021	825.00
53923	ILLINOIS STATE DISBURSEMENT UNIT	01/15/2021	997.30
53924	NATIONWIDE RETIREMENT SOLUTIONS	01/15/2021	8,243.14
EFT350	EFTPS	01/15/2021	26,862.23
EFT351	COMMUNITY BANK OF WILLOWBROOK	01/15/2021	272.23
EFT352	VILLAGE OF WILLOWBROOK	01/15/2021	49,921.83
EFT353	ILLINOIS DEPT. OF REVENUE	01/15/2021	5,943.03
Total Checks: 17		Total Paid:	\$250,124.06

VILLAGE OF WILLOWBROOK

BOARD MEETING
AGENDA ITEM - HISTORY/COMMENTARY

AN ORDINANCE EXTENDING TEMPORARY EXECUTIVE POWERS PURSUANT TO
65 ILCS 5/11-1-6

AGENDA NO. 5.e.

AGENDA DATE: 02/08/21

STAFF REVIEW: Mike Mertens, Assistant Village Administrator

SIGNATURE: *M. Mertens*

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: *T. Bastian / m*

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: *B. Pabst*

REVIEWED & APPROVED BY COMMISSION: YES ☐ NO ☐ N/A ☒

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

In late 2019, a new and significant outbreak of Coronavirus Disease 2019 (COVID-19) emerged in China. The World Health Organization declared COVID-19 a Public Health Emergency of International Concern on January 30, 2020, and the United States Secretary of Health and Human Services declared that COVID-19 presents a public health emergency on January 27, 2020.

On March 9, 2020 Illinois Governor JB Pritzker declared all counties in the State of Illinois as a disaster area, (Governor's Disaster Proclamation). Following the lead of Governor J. B. Pritzker, health agencies on both the State and Federal level, the DuPage County Board on March 16, 2020 passed the DuPage County Disaster Proclamation. The Centers for Disease Control (CDC) and World Health Organization have declared the COVID-19 a global pandemic. The Centers for Disease Control and Prevention has reported 26,398,337 confirmed cases and 400,306 deaths in the United States and the Illinois Department of Public Health has reported 1,137,559 confirmed cases and 19,444 deaths that are attributable to COVID-19 as of February 5, 2021.

On July 24, 2020 Illinois Governor JB Pritzker issued an additional Executive Order amending the criteria. On October 20, 2020, the Governor implemented additional restrictions limiting gatherings sizes and banning indoor bar and restaurant services beginning on October 23, 2020 for regions 7 and 8. On December 11, 2020 the Governor issued Executive Order 2020-74 further tightening restrictions on bars, restaurants, and social gatherings to help mitigate the spread of COVID-19. On November 20, 2020, the Governor implemented Tier 3 Resurgence Mitigation restrictions to combat the exponential growth of COVID-19 within the State. On January 18, 2021, the Governor revised the restrictions for regions that have met certain criteria. The Village of Willowbrook is part of Region 8 and this Region has met criteria to be reclassified to Tier 1 restrictions (attached).

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

It is the policy of the Village of Willowbrook that the corporate authorities will be prepared to address any emergencies and, therefore, pursuant to Section 5/11-1-6 of the Illinois Municipal Code, it is necessary and appropriate to establish standards for the determination of whether a state of emergency exists authorizing the mayor to exercise extraordinary power and authority, by executive order, during the possible state of emergency, to ensure that the effects of COVID-19 are mitigated and minimized and that residents and visitors in the Village remain safe and secure.

If the ordinance is approved, it would allow for the follow items allowable through the code of ordinances:

- a) All actions reasonably and expeditiously necessary to respond to the local state of emergency; and
- b) Approve previously appropriated expenditures of the Village for the purpose of continuing the operations of the Village; and
- c) In the event the local state of emergency extends beyond the current fiscal year and a new budget has not been approved, the Mayor shall be authorized to approve new spending by the Village during the existence of the local state of emergency;
- d) Canceling meetings of any board or commission to which the Mayor appoints members. Any such cancellation shall automatically extend such deadlines for required actions by such board of commission as is specified in the cancellation notice;
- e) Suspend licenses or permits for special events or any other licenses or permits issued by the Village which in the judgment of the Mayor could impact the public health or well-being of residents or visitors to the community;
- f) Authorize any purchase for which funds are available reasonably related to the local state of emergency; and
- g) Authorize to close Village facilities as is reasonably required to protect the health of the public and employees of the Village related to the local state of emergency.

This Extension of the Temporary Executive Power Ordinance will be in full affect until the next regular meeting of the Village Board of the Village of Willowbrook.

ACTION PROPOSED: Pass the Ordinance.

ORDINANCE NO. 21-O-07

**AN ORDINANCE EXTENDING TEMPORARY
EXECUTIVE POWERS PURSUANT TO 65 ILCS 5/11-1-6**

WHEREAS, on March 23, 2020, the Governor of the State of Illinois issued Executive Order 2020-10 ordering all individuals, with certain exceptions, to shelter in place through April 7, 2020; and

WHEREAS, during the March 23, 2020 regular meeting of the Mayor and Board of Trustees of the Village of Willowbrook, the Village Board adopted and approved Ordinance 20-O-08, entitled “An Ordinance Establishing Temporary Executive Powers Pursuant to 65 ILCS 5/11-1-6”; and

WHEREAS, on March 23, 2020, Village Mayor, Frank A. Trilla, signed a “Proclamation Declaring An Emergency In The Village Of Willowbrook Due To The Coronavirus (COVID-19) Outbreak”; and

WHEREAS, on April 1, 2020, the Governor of the State of Illinois issued Executive Order 2020-18 extending for an additional thirty (30) days certain executive orders, including Executive Order 2020-10, ordering all individuals, with certain exceptions, to shelter in place through April 30, 2020; and

WHEREAS, effective May 1, 2020, Governor JB Pritzker signed Executive Order 2020-32 extending for another thirty (30) days prior Executive Orders continuing shelter-in-place orders until May 30, 2020; and

WHEREAS, during the April 27, 2020 regular meeting of the Mayor and Board of Trustees of the Village of Willowbrook, the Village Board adopted and approved Ordinance 20-O-13,

entitled “An Ordinance Extending Temporary Executive Powers Pursuant to 65 ILCS 5/11-1-6”;
and

WHEREAS, during the May 11, 2020 regular Village Board Meeting of the Mayor and Board of Trustees of the Village of Willowbrook, the Village Board adopted and approved Ordinance 20-O-17, entitled “An Ordinance Extending Temporary Executive Powers Pursuant to 65 ILCS 5/11-6”; and

WHEREAS, during the May 26, 2020 Village Board meeting of the Mayor and Board of Trustees, the Village Board adopted and approved Ordinance No. 20-O-19 extending temporary executive powers; and

WHEREAS, during the June 8, 2020 Village Board Meeting of the Mayor and Board of Trustees, the Village Board adopted and approved Ordinance No. 20-O-21 extending temporary executive powers; and

WHEREAS, during the June 22, 2020 Village Board Meeting of the Mayor and Board of Trustees, the Village Board adopted and the Mayor approved Ordinance No. 20-O-23 extending temporary executive powers; and

WHEREAS, on June 26, 2020, Governor JB Pritzker issued Executive Order 2020-44 (COVID-19 Executive Order No. 42) which extended prior Executive Orders related to the COVID-19 pandemic and again declared all counties in the State of Illinois disaster areas for an additional thirty (30) days; and

WHEREAS, on July 24, 2020, Governor JB Pritzker extended the Disaster Proclamations, previously issued, for an additional thirty (30) days; and

WHEREAS, on August 21, 2020, Governor JB Pritzker extended the disaster proclamation, previously issued, for an additional thirty (30) days; and

WHEREAS, on October 16, 2020, Governor JB Pritzker again extended the disaster proclamation for an additional thirty (30) days; and

WHEREAS, on November 13, 2020, Governor JB Pritzker again extended the disaster proclamation for an additional thirty (30) days; and

WHEREAS, on December 11, 2020, Governor JB Pritzker, by Executive Order 2020-74, extended the disaster proclamation for an additional thirty (30) days and as further extended on January 8, 2021; and

WHEREAS, the corporate authorities of the Village believe it is reasonable and necessary for the temporary executive powers afforded by Village Ordinances 20-O-08, 20-O-10, 20-O-13, 20-O-17, 20-O-19, 20-O-21, 20-O-23, 20-O-26, 20-O-29, 20-O-32, 20-O-36, 20-O-38, 20-O-44, 20-O-45, 20-O-48, 20-O-53, 20-O-55, 20-O-63, 21-O-01 and 21-O-4 be extended to the adjournment of the next regularly scheduled Village of Willowbrook Mayor and Board of Trustees' meeting.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION 1. The corporate authorities of the Village hereby determine that it is advisable, necessary and in the best interests of the public health, safety and welfare of the Village that the Village extend the temporary executive powers afforded by Village Ordinances 20-O-08, 20-O-10, 20-O-13, 20-O-17, 20-O-19, 20-O-21, 20-O-23, 20-O-26, 20-O-29, 20-O-32, 20-O-36, 20-O-38, 20-O-44, 20-O-45, 20-O-48, 20-O-53, 20-O-55, 20-O-63, 21-O-01 and 21-O-4, and as further

extended by this Village Ordinance 21-O-07, until the adjournment of the next regularly scheduled meeting of the Village of Willowbrook Mayor and Board of Trustees.

SECTION 2. The officials, officers and employees of the Village are hereby authorized to take such further actions as are necessary to carry out the intent and purpose of this Ordinance.

SECTION 3. This Ordinance shall be in full force and effect upon and after its passage, approval and publication in accordance with law.

PASSED and APPROVED this 8th day of February, 2021.

ROLL CALL VOTE:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

APPROVED:

Frank A. Trilla, Mayor

ATTEST:

Deborah A. Hahn, Village Clerk

Tier 1 Resurgence Mitigations

UPDATED 1/18/2021

Tier 1 mitigations may be applied to regions that are experiencing a sustained resurgence of COVID-19 or regions that have been under more stringent mitigations but have not yet achieved metrics that allow for a resumption of Phase 4 Restore Illinois activities. If a region again experiences a sustained resurgence of COVID-19 with Tier 1 mitigations in place, a return to stricter measures may be necessary to curtail further spread. **Tier 1 mitigations include the following:**

SETTING	MITIGATION REQUIREMENTS
Bars and restaurants	<ul style="list-style-type: none"> All bars and restaurants close at 11pm and may reopen no earlier than 6am the following day Indoor service limited to the lesser of 25 guests or 25% capacity per room Establishments offering indoor service must serve food Indoor service reservations limited to 2-hour maximum duration and maximum 4 persons per party (dining only with members of the same household recommended) All bar and restaurant patrons should be seated at tables No ordering, seating, or congregating at bar (bar stools should be removed) Tables should be 6 feet apart No standing or congregating indoors or outdoors while waiting for a table or exiting No dancing or standing indoors Reservations required for each party No seating of multiple parties at one table Includes private clubs and country clubs Limit to lesser of 25 guests or 25% of overall room capacity both indoors and outdoors
Meetings, social events and gatherings (including weddings, funerals, potlucks, etc.)	<ul style="list-style-type: none"> Applicable to professional, cultural and social group gatherings. Not applicable to students participating in-person classroom learning, or sports. This does not reduce the overall facility capacity dictated by general Phase 4 business guidance such as office, personal care, retail, etc. No party buses
Organized group recreational activities (fitness centers, sports, etc.)	<ul style="list-style-type: none"> Sports should follow the mitigation measures set forth in the All Sport Guidelines, which outlines appropriate levels of practice and competition based on individual sport risk Face coverings must be worn at all times in fitness centers, including while engaged in individual exercise regardless of person or machine spacing Recreation, fitness centers and outdoor activities (not included in the above exposure settings) follow Phase 4 guidance

IDPH will continue to track the positivity rate in regions requiring additional mitigations to determine if mitigations can be relaxed, if additional mitigations are required, or if current mitigation should remain in place.

- For regions experiencing a resurgence of COVID-19, Tier 1 mitigations may be applied in either of the two scenarios:
 - If a region's test positivity rate is greater than or equal to 8 percent for three consecutive days (measured with the 7-day rolling average)
 - If a region experiences both a sustained increase in test positivity rate (measured with the 7-day rolling average for 7 of 10 days) and hospital capacity is threatened, which is measured by either:
 - A. A sustained increase in the number of COVID patients in the hospital (measured with the 7-day average for 7 of 10 days), or
 - B. Staffed ICU bed availability falls below 20 percent for three consecutive days (measured with the 7-day rolling average)
- For regions experiencing declining spread of COVID-19, Tier 1 mitigations will go into effect if a region meets the following three metrics:
 - Test positivity rate between 6.5 and 8 percent for three consecutive days (measured with the 7-day rolling average)
 - Staffed intensive care unit (ICU) bed availability greater than or equal to 20 percent for three consecutive days (measured with the 7-day rolling average)
 - No sustained increase in the number of COVID-19 patients in hospitals (measured with the 7-day rolling average for 7 of 10 days)

Please see the Illinois Gaming Board's website for Tier 1 and Tier 2 mitigations for casino gambling and video gaming.

Follow the latest regional metrics at: <https://dph.illinois.gov/regionmetrics>.

For more information on guidance for businesses, please visit the FAQ on [DCEO's website](#).



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December 11, 2020

Executive Order 2020-74

EXECUTIVE ORDER 2020-74
(COVID-19 EXECUTIVE ORDER NO. 70)

WHEREAS, since early March 2020, Illinois has faced a pandemic that has caused extraordinary sickness and loss of life, infecting over 830,000, and taking the lives of more than 14,000 residents; and,

WHEREAS, as Illinois adapts and responds to the public health disaster caused by Coronavirus Disease 2019 (COVID-19), a novel severe acute respiratory illness that spreads rapidly through respiratory transmissions and that continues to be without an effective treatment or vaccine, the burden on residents, healthcare providers, first responders, and governments throughout the State is unprecedented; and,

WHEREAS, at all times but especially during a public health crisis, protecting the health and safety of Illinoisans is among the most important functions of State government; and,

WHEREAS, public health research and guidance indicates the necessity and efficacy of wearing cloth face coverings in public settings where social distancing measures are difficult to maintain, and indicates that the risk of transmission outdoors is less than the risk of transmission indoors; and,

WHEREAS, public health guidance advises that minimizing physical interactions between people who do not reside in the same household is critical to slowing the spread of COVID-19; and,

WHEREAS, as COVID-19 has spread in Illinois over the course of the Gubernatorial Disaster Proclamations, the circumstances causing a disaster throughout the State have changed and continue to change, making definitive predictions of the course the virus will take over the coming months extremely difficult; and,

WHEREAS, in addition to causing the tragic loss of more than 14,000 Illinoisans and wreaking havoc on the physical health of tens of thousands more, COVID-19 has caused extensive economic loss and continues to threaten the financial welfare of a significant number of individuals and businesses across the nation and the State; and,

WHEREAS, many executive agencies in the State have focused their limited resources on the ongoing response to the COVID-19 pandemic; and,

WHEREAS, the COVID-19 pandemic has required the Illinois Department of Agriculture (IDOA) to address the outbreak's impact on the State's food supply chain through regulation and oversight of meat and poultry facilities and livestock management facilities; and,

WHEREAS, the COVID-19 pandemic's disruption to the livestock market has required IDOA to concentrate its resources on working with livestock owners and producers in addressing safe and environmental animal disposal concerns through its oversight and regulation of the Dead Animal Disposal Act; and,

WHEREAS, IDOA regulates and investigates many other industries that have been directly impacted by the COVID-19 pandemic including, but not limited to, pesticide applicators, animal shelters, pet shops, and gas stations, and the continued, proper regulation of these industries requires IDOA to commit additional time and resources into creating new procedures for conducting remote investigations and trainings; and,

WHEREAS, the COVID-19 pandemic's detrimental impact to IDOA's regulated industries has required IDOA to place additional time and resources into organizing and managing the timely implementation of the Business Interruption Grant Program; and,

WHEREAS, on December 11, 2020, considering the expected continuing spread of COVID-19 and the ongoing health and economic impacts that that will be felt over the coming month by people across the State, I declared all counties in the State of Illinois as a disaster area; and,

WHEREAS, in response to the epidemic emergency and public health emergency described above, I find it necessary to re-issue Executive Orders 2020-03, 2020-04, 2020-07, 2020-08, 2020-09, 2020-11, 2020-12, 2020-15, 2020-16, 2020-17, 2020-20, 2020-21, 2020-22, 2020-23, 2020-24, 2020-25, 2020-26, 2020-27, 2020-28, 2020-29, 2020-30, 2020-34, 2020-35, 2020-36, 2020-40, 2020-41, 2020-42, 2020-45, 2020-47, 2020-50, 2020-53, 2020-56, 2020-57, 2020-60, 2020-61, 2020-62, 2020-63, 2020-64, 2020-65, 2020-66, 2020-67, 2020-68, 2020-69, 2020-70, 2020-72, and 2020-73 and hereby incorporate the WHEREAS clauses of those Executive Orders;

THEREFORE, by the powers vested in me as the Governor of the State of Illinois, pursuant to the Illinois Constitution and Sections 7(1), 7(2), 7(3), 7(8), 7(9), and 7(12) of the Illinois Emergency Management Agency Act, 20 ILCS 3305, and consistent with the powers in public health laws, I hereby order the following, effective December 11, 2020:

Part 1: Re-Issue of Executive Orders.

Executive Orders 2020-03, 2020-04, 2020-07, 2020-08, 2020-09, 2020-11, 2020-12, 2020-15, 2020-16, 2020-17, 2020-20, 2020-21, 2020-22, 2020-23, 2020-24, 2020-25, 2020-26, 2020-27, 2020-28, 2020-29, 2020-30, 2020-34, 2020-35, 2020-36, 2020-40, 2020-41, 2020-42, 2020-45, 2020-47, 2020-50, 2020-53, 2020-56, 2020-57, 2020-60, 2020-61, 2020-62, 2020-63, 2020-64, 2020-65, 2020-66, 2020-67, 2020-68, 2020-69, 2020-70, 2020-72, and 2020-73 as follows:

Executive Order 2020-04 (Closure of James R. Thompson Center; waiver of sick leave requirement for State employees):

Sections 2 and 3 of Executive Order 2020-04 are re-issued and extended through **January 9, 2021**. Nothing in Section 2 precludes the Department of Central Management Services from designating specific points of ingress and egress and controlling traffic flow in the James R. Thompson Center for State employees, members of the public attending to State business, and members of the public patronizing the businesses and food court.

Executive Order 2020-07 (In-person meeting requirements):

Section 6 of Executive Order 2020-07, as amended by Executive Order 2020-33 and Executive Order 2020-44, is re-issued and extended through **January 9, 2021**.

Executive Order 2020-08 (Secretary of State operations):

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Sections 3, 4, and 5 of Executive Order 2020-08, as amended by Executive Order 2020-39 and Executive Order 2020-44, are re-issued and extended through **January 9, 2021**.

Executive Order 2020-08 is further amended and revised as follows:

Section 6. The provisions of the Illinois Vehicle Code, 625 ILCS 5, providing for the expiration of vehicle registrations and licenses are suspended as follows: (1) all motor vehicle registrations that expire in November 2020 or December 2020 are extended; and (2) all licenses issued pursuant to Chapter 3, Article IX, Remittance Agents, and Chapter 5, Dealers, Transporters, Wreckers and Rebuilders, that expire on December 31, 2020, are extended if an application to renew the license is received by the Office of the Secretary of State by December 31, 2020.

Executive Order 2020-09 (Telehealth):

Executive Order 2020-09, as amended by Executive Order 2020-52, is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-11 (Illinois Department of Corrections notification period):

Section 4 of Executive Order 2020-11 is re-issued and extended through **January 9, 2021**.

Executive Order 2020-12 (Health care worker background checks; Illinois Department of Juvenile Justice notification period):

Sections 1 and 3 of Executive Order 2020-12 are re-issued and extended through **January 9, 2021**.

Executive Order 2020-15 (Suspending provisions of the Illinois School Code):

Sections 5, 6, 7, 8, and 9 of Executive Order 2020-15 are re-issued and extended through **January 9, 2021**.

Executive Order 2020-16 (Suspension of classroom training requirement for security services):

Section 2 of Executive Order 2020-16 is re-issued and extended through **January 9, 2021**.

Executive Orders 2020-03 and 2020-17 (Cannabis deadlines and applications):

Executive Orders 2020-03 and 2020-17, as modified by Executive Order 2020-18, are re-issued and shall remain in effect as specified by Executive Order 2020-18.

Executive Order 2020-20 (Public assistance requirements):

Executive Order 2020-20 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-21 (Furlough of Illinois Department of Corrections inmates):

Executive Order 2020-21 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-22 (Placements under the Child Care Act of 1969; fingerprint submissions under Health Care Worker Background Check Act):

Sections 4, 5, and the Savings Clause of Executive Order 2020-22 are re-issued and extended through **January 9, 2021**.

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Executive Order 2020-23 (Actions by the Illinois Department of Financial and Professional Regulation for licensed professionals engaged in disaster response):

Executive Order 2020-23 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-24 (Illinois Department of Human Services Forensic Treatment Program; investigations of Illinois Department of Human Services employees):

Executive Order 2020-24 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-25 (Garnishment and wage deductions):

Executive Order 2020-25, as amended by Executive Order 2020-55, is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-26 (Hospital capacity):

While several sections of Executive Order 2020-26 had previously been rescinded, Executive Order 2020-26 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-27 (Cadavers testing positive for COVID-19):

Executive Order 2020-27 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-28 (Industrial radiography certifications):

Executive Order 2020-28, as amended by Executive Order 2020-55, is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-29 (In-person education or exams for professional insurance licenses):

Executive Order 2020-29 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-30 (Expired consular identification documents; electronic filings for the Illinois Human Rights Commission):

Sections 1, 4, 5, and 6 of Executive Order 2020-30 are re-issued and extended through January 9, 2021.

Executive Order 2020-34 (Cannabis requirements):

Executive Order 2020-34 is re-issued in its entirety and extended through January 9, 2021.

Executive Order 2020-35 (Illinois Department of Public Health regulatory activities):

Sections 14, 15, 16, and 17 of Executive Order 2020-35 are re-issued and extended through January 9, 2021.

Executive Order 2020-36 (Marriage licenses):

Executive Order 2020-36 is re-issued in its entirety and extended through January 9, 2021.

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Executive Order 2020-40 (Child Labor Law):

Sections 2 and 4 of Executive Order 2020-40 are re-issued and extended through **January 9, 2021.**

Executive Order 2020-41 (Sports wagering):

Executive Order 2020-41 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-42 (State Fairs):

Executive Order 2020-42 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-45 (Cannabis licenses):

Executive Order 2020-45 is re-issued in its entirety and shall remain in effect as specified by Executive Order 2020-45.

Executive Order 2020-47 (In-person instruction at preK-12 schools):

Executive Order 2020-47 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-50 (Resuming transfers from county jails to Illinois Department of Corrections):

Executive Order 2020-50 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-53 (Region 7 mitigations):

Executive Order 2020-53 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-56 (Region 1 mitigations):

Executive Order 2020-56 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-57 (Cannabis identification cards):

Executive Order 2020-57 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-60 (Region 5 mitigations):

Executive Order 2020-60 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-61 (Regions 7 and 8 mitigations):

Executive Order 2020-61 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-62 (Region 1 Tier 2 mitigations):

Executive Order 2020-62 is re-issued in its entirety and extended through **January 9, 2021.**

Executive Order 2020-63 (Regions 4 and 10 mitigations):

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Executive Order 2020-63 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-64 (Region 11 mitigations):

Executive Order 2020-64 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-65 (Region 9 mitigations):

Executive Order 2020-65 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-66 (Region 3 mitigations):

Executive Order 2020-66 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-67 (Region 6 mitigations):

Executive Order 2020-67 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-68 (Cannabis registry identification card renewals):

Executive Order 2020-68 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-69 (Region 2 mitigations):

Executive Order 2020-69 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-70 (Regions 5, 7, and 8 Tier 2 mitigations):

Executive Order 2020-70 is re-issued in its entirety and extended through **January 9, 2021**.

Executive Order 2020-72 (Residential eviction moratorium):

Executive Order 2020-72, as amended and revised below, is re-issued in its entirety and extended through **January 9, 2021**.

Section 1. For purposes of this Executive Order, the following terms are defined as set forth below:

- (a) "Covered Person" means any tenant, lessee, sub-lessee, or resident of a residential property who provides to their landlord, the owner of the residential property, or other person or entity with a legal right to pursue an eviction or possessory action, a Declaration under penalty of perjury indicating that:
1. the individual either (i) expects to earn no more than \$99,000 in annual income for Calendar Year 2020 (or no more than \$198,000 if filing a joint tax return), (ii) was not required to report any income in 2019 to the U.S. Internal Revenue Service, or (iii) received an Economic Impact Payment pursuant to Section 2001 of the CARES Act;
 2. the individual is unable to make a full rent or housing payment due to a COVID-19 related hardship including, but not limited to, substantial loss of income, loss of compensable hours of work or wages, or an increase in out-of-pocket expenses directly related to the COVID-19 pandemic;

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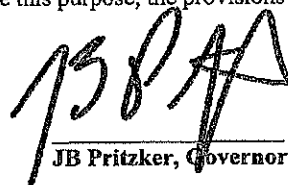
3. the individual is using best efforts to make timely partial payments that are as close to the full payment as the individual's circumstances may permit, taking into account other Non-Discretionary Expenses; and
 4. eviction would likely render the individual homeless—or force the individual to move into and live in close quarters in a new congregate or shared living setting—because the individual has no other available housing options.
- (b) "Declaration" means the form declaration made available by the Illinois Housing Development Authority (or a similar declaration under penalty of perjury) that tenants, lessees, sub-lessees, or residents of residential properties who are covered by this Executive Order may use to invoke the protections of this Executive Order. Each landlord, owner of a residential property, or other person or entity with a legal right to pursue an eviction or possessory action must provide each tenant, lessee, sub-lessee, and resident with a Declaration at least 5 days prior to commencement of any residential eviction proceeding including, but not limited to, at least 5 days prior to the issuance of a notice of termination of tenancy. Service of the Declaration must conform with the requirements of 735 ILCS 5/9-211.
- (c) "Non-Discretionary Expenses" include, but are not limited to, food, utilities, phone and internet access, school supplies, cold-weather clothing, medical expenses, child care, and transportation costs, including car payments and insurance.

Section 7. A person or entity may not commence a residential eviction action pursuant to or arising under 735 ILCS 5/9-101 et seq. against a tenant who does not owe rent unless the tenant poses a direct threat to the health and safety of other tenants or an immediate and severe risk to property. A tenant shall not be required to provide a Declaration if they are covered by this section.

Executive Order 2020-73 (Tier 3 mitigations):

Executive Order 2020-73 is re-issued in its entirety and extended through **January 9, 2021.**

Part 2: Savings Clause. If any provision of this Executive Order or its application to any person or circumstance is held invalid by any court of competent jurisdiction, this invalidity does not affect any other provision or application of this Executive Order, which can be given effect without the invalid provision or application. To achieve this purpose, the provisions of this Executive Order are declared to be severable.


JB Pritzker, Governor

Issued by the Governor December 11, 2020
Filed by the Secretary of State December 11, 2020

FILED
INDEX DEPARTMENT
DEC 11 2020
IN THE OFFICE OF
SECRETARY OF STATE

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

RESOLUTION NO. 21-R-04 - A RESOLUTION OF THE VILLAGE OF WILLOWBROOK IN LIEU OF SURETY BOND TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION

AGENDA NO. 5.f.

AGENDA DATE: 02/08/21

STAFF REVIEW: Mike Mertens, Assistant Village Administrator

SIGNATURE: M. Mertens

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: T. Bastian / mm

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☐ N/A ☒

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Every two years, the Village is requested to adopt a resolution acknowledging requirements of the Illinois Department of Transportation (IDOT) as they pertain to the maintenance of Village owned utilities (e.g.: water mains, storm sewers, streetlights, etc.) located within state owned rights-of-ways.

Typically, IDOT requires that a surety bond is submitted along with each permit application received to perform work upon a state right-of-way. However, for municipal work, a resolution is acceptable in lieu of a surety bond. The resolution will be applicable for a two-year period.

STAFF RECOMMENDATION

The attached resolution was drafted by the Village Attorney. Once adopted by the Village Board, a signed and certified copy will be forwarded to IDOT.

ACTION PROPOSED:

Adopt the Resolution.



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

RESOLUTION FOR CONSTRUCTION ON STATE HIGHWAY

January 21, 2021

The Honorable Frank A. Trilla
Village President
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Dear Village President Trilla:

Chapter 121 of the Illinois revised statutes requires that any person, firm or corporation desiring to do work on state maintained rights of way must first obtain a written permit from the Illinois department of transportation. This includes any emergency work on broken watermain or sewers.

A surety bond is required with each permit application to insure that all work is completed in accordance with state specifications and that the right of way is properly restored.

For permit work to be performed by employees of a municipality a resolution is acceptable in lieu of the surety bond. This resolution does not relieve contractors hired by the municipality from conforming with the normal bonding requirements nor from obtaining permits.

The resolution should be enacted for a period of two years. This procedure will save time and effort as well as reduce the annual paperwork associated with an annual resolution.

In order to expedite the issuance of permits to your municipality during the next two calendar years the attached sample resolution should be adopted and a signed and certified copy thereof returned to this office. This resolution does not constitute a blanket permit for work in the State system. A separate application must be made in each instance. In the case of an emergency, verbal authority may be given prior to receipt of the written application. After normal working hours or weekends, this authority can be obtained from our Communications Center at (847)705-4612.

The Honorable Frank A. Trilla
January 21, 2021
Page two

RE: RESOLUTION FOR CONSTRUCTION ON STATE HIGHWAY

We would appreciate the cooperation of your community in withholding the issuance of building permits along State highways until the builder shows evidence of a State highway permit having been obtained. Our permit staff would be willing to answer any questions you may have regarding current policies or practices and to work with your planning commission on any new developments within your municipality.

Do not hesitate to contact Ms. Beverly Hawley, Office Coordinator, at (847) 705-4142 if you have any question or need further assistance.

Very truly yours,

Jose Rios, P.E.
Engineer of Operations

By: 
Thomas G. Gallenbach, P.E.
Traffic Permit Engineer

RESOLUTION NO. 21-R-04

**A RESOLUTION OF THE VILLAGE OF WILLOWBROOK IN LIEU OF SURETY
BOND TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION**

WHEREAS, the Village of Willowbrook, hereinafter referred to as “Municipality”, located in the County of DuPage, State of Illinois, desires to undertake, in the years 2021 and 2022, the location, construction, operation and maintenance of driveways and street returns, water mains, sanitary and storm sewers, street light, traffic signals, sidewalk, landscaping, etc., on State highways, within said Municipality, which by law and/or agreement come under the jurisdiction and control of the Department of Transportation of the State of Illinois hereinafter referred to as “Department”; and

WHEREAS, an individual working permit must be obtained from the Department prior to any of the aforesaid installations being constructed either by the Municipality or by a private person or firm under contract and supervision of the Municipality.

NOW THEREFORE, BE IT RESOLVED, that the Village of Willowbrook hereby pledges its good faith and guarantees that all work shall be performed in accordance with conditions of the permit to be granted by the Department, and to hold State of Illinois harmless during the prosecution of such work and assume all liability for damages to person or property due to accidents or otherwise by reason of the work which is to be performed under the provisions of said permit.

BE IT FURTHER RESOLVED, that all authorized officials of the Village of Willowbrook are hereby instructed and authorized to sign said working permit on behalf of the Municipality.

This resolution shall take effect upon its passage and approval in the manner provided by law.

PASSED and **APPROVED** by the Mayor and Board of Trustees of the Village of Willowbrook this 8th day of February, 2021 by a roll call vote as follows:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

APPROVED:

Frank A. Trilla, Mayor

ATTEST:

Deborah A. Hahn, Village Clerk

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

A Motion to Approve the Release of Liability and Indemnification Waiver with Flagg Creek Water Reclamation District for the Reimbursement of \$30,530.45

AGENDA NO. 5g

AGENDA DATE: 02/08/21

STAFF REVIEW: Mike Mertens, Assistant Village Admin.

SIGNATURE: M. Mertens

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: T. Bastian

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☒ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, PERTINENT HISTORY)

On or about December 15, 2020, the Village was advised of a sink hole related to a sanitary sewer main break at 59th Street and Clarendon Hills Road. The Village worked in conjunction with Flagg Creek Water Reclamation District on the repairs. Due to the Village owned utilities in the area the Village called out the Village tree and street lighting contractor to assist with the removal and replacement of the Village infrastructure. The cost for the related work is to be reimbursed through the Flagg Creek Water Reclamation District.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The work is complete, and the contractors have submitted a request for payout. The Village agrees to remit payment to Rag's Electric in the amount of \$1,868.00 for the removal of the street light poles, remit \$3,150.00 to NJ Ryan Tree & Landscaping, LLC for tree removal, and remit payment to Rag's Electric in the amount of \$25,512.45 for the reinstallation of street light poles and associated electrical work.

Flagg Creek Water Reclamation District will reimburse the Village in the amount of \$30,530.45, as satisfaction in full of claims, for the restoration work including removal and disconnection of street light poles, tree removal, and reinstallation of street light poles for the District's emergency sewer repair located near 59th Street and Clarendon Hills Road in Willowbrook, Illinois.

The Village further accepts the amount as full payment and satisfaction of claims, rights, demands or liens which the Village, has or may have, arising out of or in any way connected with the work. In consideration of the reimbursable amount, the Village release and discharge the District from any liability for damage to personal or real property, including all plantings, shrubs, trees, grass or lawn, street light poles or any appurtenance in connection with the street light poles, which may arise after aforesaid work.

ACTION PROPOSED: Pass the Motion

RELEASE OF LIABILITY AND INDEMNIFICATION WAIVER

1. The Village of Willowbrook ("VILLAGE"), acknowledges receipt of the reimbursement by Flag Creek Water Reclamation District in the amount of \$30,530.45, as satisfaction in full of claims, for the restoration work including removal and disconnection of street light poles, tree removal, and reinstallation of street light poles for the District's emergency sewer repair located near 59th Street and Clarendon Hills Road in Willowbrook, Illinois.

2. The Village agrees to remit payment to Rag's Electric in the amount of \$1,868.00 for the removal of the street light poles, remit \$3,150.00 to NJ Ryan Tree & Landscaping, LLC for tree removal, and remit payment to Rag's Electric in the amount of \$25,512.45 for the reinstallation of street light poles and associated electrical work.

2. All costs, bills, debts, and other charges whatsoever incurred for the aforesaid work thereunder have been paid and satisfied in full and there are no outstanding unpaid obligations or bills due to any persons, firms or corporations for labor, services, materials, or supplies incurred in and about the performance of said work. No laborers or material suppliers have any claim or lien, either actual or inchoate, against said property by virtue of their having furnished labor or material going into or toward the work.

3. The Village further accepts the aforesaid amount as full payment and satisfaction of claims, rights, demands or liens which the Village, its successors or assigns, has or may have, arising out of or in any way connected with the aforesaid work.

4. The Village agrees to indemnify and hold the District harmless from any and all cost, expense, damage, or loss, including all attorneys' fees and expenses, by reason of any lien, claim of lien, action, claim or demand of any type by any employee, agent, subcontractor, supplier of material or any person, firm or corporation arising from any labor performed in connection with the tree removal or street light pole disconnection and reconnection, or material or equipment furnished in connection with performance of the aforesaid work.

5. In consideration of aforesaid reimbursable amount, the Village, or its agents, heirs, successors, executors, administrators and assigns, REMISE, RELEASE AND DISCHARGE the District, its Trustees, officers, agents, and employees from any liability for damage to personal or real property, including all plantings, shrubs, trees, grass or lawn, street light poles or any appurtenance in connection with the street light poles, which may arise after aforesaid work.

DISTRICT:

FLAGG CREEK WATER
RECLAMATION DISTRICT

BY: _____
Executive Director

VILLAGE:

VILLAGE OF WILLOWBROOK

BY: _____
Signature

NJ RYAN TREE & LANDSCAPE LLC

17271 IL ROUTE 23

DEKALB, IL 60115

Invoice

Date	Invoice #
12/15/2020	100390

Bill To
Village of Willowbrook

			Due Date
			12/15/2020
Quantity	Description	Rate	Amount
	Tuesday December 15, 2020 - Call out tree removal 59th/Clarendon Hills Rd (sink hole)		
	26 man hours x \$75 per hour	1,950.00	1,950.00
	16 equipment hours x \$75 per hour	1,200.00	1,200.00

Phone #

815-756-TREE

Total	\$3,150.00
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6805 Hobson Valley Dr., Unit #105
Woodridge, IL 60517
1-630-739-RAGS
Fax: 1-630-739-7424

COMMERCIAL • INDUSTRIAL • RESIDENTIAL

Invoice

Date	Invoice #
12/30/2020	15404

Bill To:

VILLAGE OF WILLOWBROOK 835 MIDWAY DR. WILLOWBROOK, IL 60527-5594	Job Location Prairie Trail Park
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P.O. Number		Due Date:	1/31/2021
Quantity	Description	Price Ea..	Amount
	Job Description: Take down (2) poles at Prairie Trail Park Work Description: -Took down (2) poles so that someone could trench next to them. Set in grass and safetied off the wires -Made markings -Dig was too close to contactor. It was falling in trench. Disconnected and safetied off Com-Ed feed -Took solar panel and radio antennas off pole		
2	CAN OF MARKING PAINT	10.00	20.00
16	LABOR JMN S.T.	98.00	1,568.00
8	BUCKET TRUCK	35.00	280.00



	Total	\$1,868.00
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6805 Hobson Valley Dr., Unit #105
Woodridge, IL 60517
1-630-739-RAGS
Fax: 1-630-739-7424

COMMERCIAL • INDUSTRIAL • RESIDENTIAL

Invoice

Date	Invoice #
1/20/2021	15406

Bill To:

VILLAGE OF WILLOWBROOK 835 MIDWAY DR. WILLOWBROOK, IL 60527-5594	Job Location Prairie Trail Park
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P.O. Number				Due Date:	2/20/2021
Quantity	Description	U/M	Price Each	Amount	
	Job Description: Repair street lights				
	Work Description: -Took down (2) light poles -Took down street light controller -Replaced all (3) bases -All conduit underground between street lights and controls were ripped out and needed to be replaced. -All wiring needed to be replaced -Re-installed controller and (2) street lights -Re-fed pond aerator				
10	2" HW CONDUIT		5.53	55.30	
140	1.25" PVC CONDUIT		0.60	84.00	
1	PVC GLUE		13.74	13.74	
1	PVC PRIMER		18.82	18.82	
1	12x12 QUAZITE HAND HOLE		229.16	229.16	
90	#4 XLP USE CABLE		1.40	126.00	
1,200	#6 XLP-USE CABLE		1.20	1,440.00	
1	TRANSFORMER BASE		375.00	375.00	
2	STREET LIGHT HELIX		507.00	1,014.00	
1	1" THREADED ROD		8.00	8.00	
4	1" ROD COUPLING		5.40	21.60	
30	2" PVC CONDUIT		1.23	36.90	
3	2" PVC COUPLING		0.86	2.58	
1	ANCHOR CEMENT		18.03	18.03	
1	3R 200 AMP SINGLE PHASE METER SOCKET		50.30	50.30	
4	IN-LINE FUSE KIT		4.95	19.80	
4	5A 250V FUSE		7.75	31.00	
1	5/8"x 8' GROUND RODS		27.00	27.00	
1	ACORN CLAMP		4.98	4.98	
4	1"x3" BOLT		1.95	7.80	
20	2-1/2" WASHER		0.64	12.80	
9	PINK CRIMPS		0.79	7.11	
3	#4 SLEEVES		8.96	26.88	

Total



6805 Hobson Valley Dr., Unit #105
Woodridge, IL 60517
1-630-739-RAGS
Fax: 1-630-739-7424

COMMERCIAL • INDUSTRIAL • RESIDENTIAL

Invoice

Date	Invoice #
1/20/2021	15406

Bill To:

VILLAGE OF WILLOWBROOK 835 MIDWAY DR. WILLOWBROOK, IL 60527-5594	Job Location Prairie Trail Park
--	---

P.O. Number					Due Date:	2/20/2021
Quantity	Description	U/M	Price Each	Amount		
1	SHRINK CAPS		5.85	5.85		
2	K.O. FILLERS		0.90	1.80		
145	LABOR JMN S.T.		134.00	19,430.00		
24	BUCKET TRUCK		35.00	840.00		
56	SERVICE TRUCK		7.50	420.00		
32	MINI EXCAVATOR		37.00	1,184.00		

	Total	\$25,512.45
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VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

Receive Plan Commission Recommendation – Public Hearing Case 21-01: Consideration of a petition requesting approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including certain variations from Title 9 of the Village Code. The Applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements. The applicant for this petition is Hakim Yala of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The property owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141.

AGENDA NO **6**

AGENDA DATE:
02/08/21

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Panda Express, Inc. (the "Applicant"), proposes to demolish the existing 2,131 square foot Shell gasoline and service station with convenience mart and is requesting approval of a special use for the construction of a 2,300 square foot Panda Express fast food restaurant with a drive-through and associated site improvements. A special use permit is requested to allow for both the fast food establishment and a proposed drive-through within the Village of Willowbrook's B-2 Community Shopping Zoning District. The fast food establishment will include over fifty (50) interior seats and no permanent outdoor dining is proposed. The proposed single-story building is situated towards the northwest portion of the subject property and will require several variations because the proposed building will not meet required setbacks, minimum required lot area for the proposed uses, and certain landscape requirements.

The previous ordinances regulating this facility are as follows:

Ordinance No. 77-O-14 – Original special use ordinance establishing the use, but without specific bulk standards.

Ordinance No. 94-O-16 – Amended original special use to permit the construction of a second driveway on 75th Street and various site and landscaping improvements and granted the several variations.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Planning Consultant Choi presented the project and noted that the Applicant had requested modifications to three of the original variations requested. Planning Consultant Choi indicated that the proposed building appears to have shifted to the east and south just marginally. Two of the variations requested relief from the 100-foot specific setback on Route 83 and the 60-foot front yard setback. Instead of 50 feet, the variations would request a reduction to 50.2', a marginally lesser ask than what was originally requested. The third variation would request more than what was originally requested, to further reduce the foundation landscaping width from 4.5 feet to 3.8 feet wide along the southern building façade. Planning Consultant Choi considered the changes to be relatively minor but requested that the Applicant confirm the gross floor area proposed. In general, Staff did not have any objections to the proposed special use and requested variations, as modified, for a fast food establishment with a drive through. Staff considers the site improvements to improve the current situation that exists today even though several variations are required.

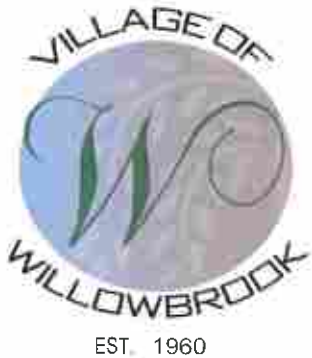
The site plan, as proposed, is still evolving. The proposed driveway on Route 83 was designed to fit within the existing driveway. Feedback from IDOT indicated that because part of the curb radius of the proposed driveway is encroaching into the right-of-way area adjacent to the property owner to the south, IDOT would require a Lot Line Agreement with this property or suggested that the proposed driveway shift further to the north with a 3-foot offset from the southern property line. Since the Applicant was just notified of the issue the day of the public hearing, the Applicant is unsure

how much this would change the variations requested, or if a new variation would be required. The Applicant deferred to the Plan Commission to get a sense of how comfortable the Plan Commissioners would be in making a recommendation without knowing what the variation might be or without seeing a revised site plan. The Applicant asked if the Plan Commission would feel comfortable if the site plan were worked out to Staff's approval or if they would prefer to see the revised site plan and variations at a continued public hearing.

The Plan Commission expressed support in favor of the project and were comfortable in making a recommendation at the February 3, 2021 meeting and did not see a reason to continue to public hearing. Many of the Commissioners stated that even if the driveway needed to move several feet in one direction or another, it would not affect the outcome of the project. The Plan Commission voted 7-0 in favor of the proposed petition as modified, to forward a positive recommendation to the Village Board.

Staff therefore will continue to work with the Applicant to get a revised site plan and a complete list of variations prior to final consideration before the Village Board.

ACTION PROPOSED: February 8, 2021: Receive Plan Commission Recommendation.



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

MEMORANDUM

Mayor

Frank A. Trilla

Village Clerk

Deborah Hahn

Village Trustees

Sue Berglund

Umberto Davi

Michael Mistele

Gayle Neal

Paul Oggerino

Gregory Ruffolo

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: February 8, 2021

SUBJECT: **Zoning Hearing Case 21-01:** 7505 Kingery Highway - Consideration of a petition requesting approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including certain variations from Title 9 of the Village Code. The Applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements. The applicant for this petition is Hakim Yala of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The property owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141.

At the regular meeting of the Plan Commission held on February 3, 2021, the above referenced application was discussed and the following motion was made:

MOTION: Made by Kaucky and seconded by Remkus that based on the submitted petition and testimony presented, I move that the Plan Commission approve and adopt the Findings of Fact submitted in response to the Standards for Special Use Permits and Standards for Variations outlined in Attachments 3 and 4, respectively, of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for a fast food establishment with a drive-through, including the list of modified variations, as outlined in the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting, and as deliberated by the Plan Commission, according to the plans listed in the Staff Report for PC 21-01 for the February 3, 2021 Plan Commission meeting, and subject to the fourteen (14) enumerated conditions listed in the staff report prepared for PC 21-01.

ROLL CALL: AYES: Chairman Kopp, Vice Chairman Wagner, Commissioners Kaczmarek, Kaucky, Remkus, Soukup, and Walec; NAYS: None; ABSENT: None.

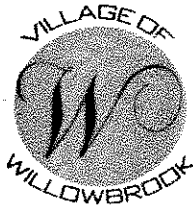
MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp



Proud Member of the
Illinois Route 66 Scenic Byway



Village of Willowbrook
Staff Report to the Village Board

Plan Commission

Public Hearing Date: February 3, 2021

Village Board Receive: February 8, 2021

Prepared By: Ann Choi, Village Planning Consultant

Case Title: Zoning Hearing Case No. 21-01: 7505 Kingery Highway Panda Express SUP

Applicant: Hakim Yala
Panda Express, Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770

Property Owner: True North Energy, LLC
10346 Brecksville Road
Brecksville, OH 44141

Action Requested: Consideration of a petition requesting approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including certain variations from Title 9 of the Village Code. The Applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements.

Applicable Regulations: Zoning Ordinance

Location: 7505 Kingery Highway, Willowbrook IL 60527

PINs: 09-26-400-013

Existing Zoning: B-2 Community Shopping with a Special Use for a Gasoline Service Station

Proposed Zoning: B-2 Community Shopping with a Special Use for a Fast Food Establishment and Drive-through

Existing Land Use: Highway Commercial

Property Size: 1.0 acres

Surrounding Land Use:	Use	Zoning
North	Willowbrook/Wingren Plaza	B-2/Special Use
South	Red Roof PLUS	B-4
East	Light Manufacturing	M-1
West	Potbelly's Restaurant	B-2/Special Use

Necessary Action by Village Board: Receive Plan Commission Recommendation.



Documents Attached:

Attachment 1: Legal Description

Attachment 2: Submitted Plans

- a) **"ALTA-NSPS Land Title Survey"** – 2 sheets (Job. No. 18003769), dated 8/10/2020, bearing the latest revision date of 9/23/2020, resubmitted on January 19, 2021 and prepared by NORR LLC.
- b) **"Site Layout Plan"** – 1 sheet, Sheet C04.0, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
- c) **"Architectural Drawings"** – 5 sheets, Sheets A-101, A-200, A-201, A-202, A-300, Panda Project #: D7058, Arch. Project #: JCDT180453, bearing an issue date of 11-04-2020, and prepared by NORR Architects Engineers Planners.
- d) **"Proposed Sign Package"** – 17 pages, Project #: C59897, dated 12.19.2018, bearing the latest revision date of 01.19.2020, and prepared by Priority Sign.
- e) **"Final Engineering Plans"** – 18 sheets, Panda Project #: D7058, Atwell Project #: 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
(Includes Landscape Plan)
- f) **"Engineer's Opinion of Probable Construction Cost"** – 3 pages, dated 11/20/2020, and prepared by Atwell Group.
- g) **"Site Traffic Study"** – 11 pages, dated January 5, 2020 and prepared by Atwell Group.
- h) **"Traffic Turn Analysis"** – 1 sheet, Sheet EX-01, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
- i) **"Traffic Plan"** – 1 sheet, Sheet EX-02, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
- j) **"Photometric Plan"** – 1 sheet, Sheet L01.0, dated 10/29/2020, and prepared by Villa Lighting.
- k) **"Construction Schedule"** – 1 page, dated 11/17/2020, and prepared by Atwell Group.

Attachment 3: Standards for Special Use Permits

Attachment 4: Standards for Variations

Attachment 5: Traffic Regulation Agreement – 11 pages, resubmitted by Atwell Group on 01/19/2021.

Attachment 6: Public Hearing Notice

Attachment 7: Village of Willowbrook Review Letter(s)



Background

Description of Site

The subject property is located at the southeast corner of Illinois (IL) Route 83/Kingery Highway and 75th Street, just south of Willowbrook/Wingren Plaza shopping center and east of the Potbelly's restaurant. The subject property is currently located in the B-2 Community Shopping Zoning District, is adjacent to the north, northwest and west by properties also located in the B-2 Community Shopping Zoning District and is immediately adjacent to property located in the B-4 Highway and Service Business District to the south and the M-1 Light Manufacturing District to the east. The one-acre property is regular in shape and is currently served by three existing driveways.

Exhibit 1: Map View of the Subject Property



Surrounding Uses

Surrounding zoning and uses include a shopping center (Willowbrook Plaza Shopping Center) including a Club Champion, Orange Theory Fitness, Fedex Print and Ship Center, Kabob-Q restaurant, a couple of nail salons, and associated parking lots in the B-2 zoning district to the north, a hotel (Red Roof Inn) and associated parking lot in the B-4 zoning district to the south, a fast-casual restaurant (Potbelly's) in the B-2 zoning district to the west, and manufacturing/sales uses in the M-1 zoning district to the east. The Village of Willowbrook's Comprehensive Plan designates the site for "Highway Commercial" uses, which corresponds to the B-2 Community Shopping Zoning District.



Exhibit 2: Zoning Map (B-2 Community Shopping)



Existing Streets and Circulation

Illinois Route 83/Kingery Highway is designated as a Regional Arterial and forms the western boundary of the site with a required right-of-way width of 200 feet. A right-in/right-out access drive on IL Route 83 is located approximately 100 feet south of 75th Street. The access drive provides one inbound lane and one outbound lane restricted to right-turn movements by the median on IL Route 83.

75th Street is designated as a Major Arterial west of IL Route 83 and is designated as an Industrial Collector east of IL Route 83. 75th Street forms the northern boundary of the subject property with a required right-of-way width of 60 feet. There are two access drives on 75th Street, with the westernmost access drive allowing right-in only into the subject property. The current allows full movement access on 75th Street.

History

Prior Zoning Request

The previous ordinances regulating this facility are as follows:

- Ordinance No. 77-O-14 – Original special use ordinance establishing the use, but without specific bulk standards.
- Ordinance No. 94-O-16 – Amended original special use to permit the construction of a second driveway on 75th Street and various site and landscaping improvements and granted the following variations:
 1. That Section 9-3-7(A)1 of the Village Code of the Village of Willowbrook establishing a minimum required setback on Illinois Route 83 be varied by reducing same from one hundred feet (100') to five feet, four inches (5'4") for the existing overhead canopy, to fifteen feet (15') for the existing



- gasoline pump dispenser islands, and to fifty-eight feet (58') for the existing service station building.
2. That Section 9-6-1(A) of the Village Code of the Village of Willowbrook establishing the minimum lot area for two or more uses on a lot be varied by reducing same from two (2) acres to one (1) acre.
 3. That Section 9-6B-3(A) of the Village Code of the Village of Willowbrook establishing minimum lot area be varied by reducing same from two (2) acres to one (1) acre.
 4. That Section 9-6B-3(E)1 of the Village Code of the Village of Willowbrook establishing front yard setbacks be varied by reducing same for the existing canopy from sixty feet (60') to five feet, four inches (5'4"), for the existing gasoline pump dispenser islands from sixty feet (60') to fifteen feet (15'), and for the existing service station building from sixty feet (60') to fifty-eight feet (58').
 5. That Section 9-6B-3(E)3 of the Village Code of the Village of Willowbrook establishing exterior side yard setbacks be varied by reducing same from sixty feet (60') to forty-three feet (43').
 6. That Section 9-10-5(G) of the Village Code of the Village of Willowbrook establishing parking area setbacks within required yards, be varied by reducing same from fifteen feet (15') to zero (0) setback for the front yard impervious surface setback, and from fifteen feet (15') to ten feet (10') for the exterior side yard setback.
 7. That Section 9-10-5(I)2(b) of the Village Code of the Village of Willowbrook establishing parking area pavement improvements be varied to permit a substitution from the required all-weather hard surface pavement improvement for all parking areas within a non-residential district to a gravel surface for the screened vehicle storage area.
 8. That Section 9-10-5(I)2(c) of the Village Code of the Village of Willowbrook establishing required parking area improvements be varied to permit a substitution for the required concrete barrier curb and gutter for all parking areas within a non-residential district to permit individual wheel stops for the southern parking area.
 9. That Section 9-10-5(L)2(b)2(a) of the Village Code of the Village of Willowbrook establishing required minimum access driveway curb radius be varied by reducing same from thirty feet (30') to fifteen feet (15').
 10. That Section 9-10-5(L)2(b)2(b) of the Village Code of the Village of Willowbrook establishing required minimum access driveway inside curb radius be varied by reducing same from twenty-five feet (25') to ten feet (10').
 11. That Section 9-10-5(I)2(b) of the Village Code of the Village of Willowbrook establishing parking area pavement improvements be varied to permit a substitution from the required all-weather hard surface pavement improvement for all parking areas within a non-residential district to a gravel surface for the screened vehicle storage area.
 12. That Section 9-10-5(I)2(c) of the Village Code of the Village of Willowbrook establishing required parking area improvements be varied to permit a substitution for the required concrete barrier curb and gutter for all parking areas within a non-residential district to permit individual wheel stops for the southern parking area.
 13. That Section 9-10-5(L)2(b)2(a) of the Village Code of the Village of Willowbrook establishing required minimum access driveway curb radius be varied by reducing same from thirty feet (30') to fifteen feet (15').
 14. That Section 9-10-5(L)2(b)2(b) of the Village Code of the Village of Willowbrook establishing required minimum access driveway inside curb radius be varied by reducing same from twenty-five feet (25') to ten feet (10').



Overview

Development Proposal

The subject property is currently occupied by a single building that houses a Shell gasoline and service station and a convenience mart, including a detached canopy covering four existing gasoline pump dispenser islands. The subject property likely contains contaminants due to the existing use. The current property owner, True North Energy, LLC, will be responsible for securing a No Further Remediation (NFR) letter from the Illinois Environmental Protection Agency (IEPA).

Panda Express, Inc. (the "Applicant"), proposes to demolish the existing 2,131 square foot Shell gasoline and service station with convenience mart and is requesting approval of a special use for the construction of a 2,300 square foot Panda Express fast food restaurant with a drive-though and associated site improvements. A special use permit is requested to allow for both the fast food establishment and a proposed drive-through within the Village of Willowbrook's B-2 Community Shopping Zoning District. The fast food establishment will include over fifty (50) interior seats and no permanent outdoor dining is proposed. The proposed single-story building is situated towards the northwest portion of the subject property and will require several variations because the proposed building will not meet required setbacks, minimum required lot area for the proposed uses, and certain landscape requirements.

Requested Action

Approval of a special use permit within the B-2 Community Shopping District zoning classification for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including the following variations from Title 9 of the Village Code. The Applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements.

Requested Variations

The proposed improvements for the use include the variations listed below.

1. A variation from Section 9-3-3(C) to decrease the minimum lot area for two (2) or more special uses from two acres (2 AC) to one acre (1 AC).
2. A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet (50') for the proposed building, to fifty-six and six tenths feet (56.6') for the proposed menu board, and to sixty-two and four tenths feet (62.4') to the order canopy.
3. A variation from Section 9-6-1(A) to decrease the minimum lot area for two (2) or more special uses (fast food establishment and drive-through) from two acres (2 AC) to one acre (1 AC).
4. A variation from Section 9-6B-3(A) to decrease the minimum lot area for all uses from two acres (2 AC) to one acre (1 AC).
5. A variation from Section 9-6B-3(C)1 to decrease the minimum lot width of 200 feet for restaurants from two hundred feet (200') to one hundred seventy feet (170').
6. A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to fifty feet (50') for the proposed building and to fifty-six and six tenths feet (56.6') for the proposed menu board.
7. A variation from Section 9-6B-3(E)3 to decrease the minimum exterior side yard setback on 75th Street from sixty feet (60') to forty-three and four tenths feet (43.4') for the proposed building, to thirty-two and seven tenths feet (32.7') for the proposed menu board, and to twenty-five feet (25') to the order canopy.
8. A variation from Section 9-10-5(L)2(b)2(a) to decrease the radius connecting street pavement edge and driveway edge on 75th street from thirty-five feet (35') to twenty-five feet (25').



9. A variation from Section 9-10-5(L)2(d) to decrease the driveway location on Route 83 from seventy feet (70') to twenty-five and seven tenths feet (25.7').
10. A variation from Section 9-10-5(L)2(e) to decrease the minimum spacing between separate driveway entrances from four hundred feet (400') to approximately three hundred thirteen feet (+/- 313') on Illinois Route 83 and to approximately one hundred sixty-nine feet (+/-169') on 75th Street.
11. A variation from Section 9-10-5(L)2(f) to decrease the minimum spacing between driveway entrance and right-of-way of an adjacent intersecting street from five hundred feet (500') to ninety-four and three tenths feet (94.3') on Illinois Route 83 and to one hundred forty-six and two tenths feet (146.2') on 75th Street.
12. A variation from Section 9-10-5(L)2(g) to eliminate the requirement of a concrete median separation and to reduce the driveway storage from one hundred feet (100') to zero feet on Illinois Route 83 and 75th Street.
13. A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to four and five tenths feet (4.5') along the southern façade, to five and two tenths feet (5.2') along the northern portion of the eastern building façade and from seven feet (7') to zero feet along the western building façade and remaining portion of the eastern building façade.

While it appears that there are a number of variations, staff met with the developer early in the process to discuss all of them, and it should be noted that five (5) of the thirteen (13) of the requested variations are due to existing conditions such as lot width and existing driveway locations. A more detailed description of the variations is outlined below.

Staff Analysis

Access, Circulation and Parking/Loading

A Site Traffic Study and a Truck Turn Analysis were submitted, and planning staff supplied a review letter dated January 13, 2021 which includes the Village traffic consultant's comments as part of **Attachment 7** for the Plan Commission's review. The subject property is currently accessed from both IL Route 83/Kingery Highway and 75th Street. The Panda Express site layout proposes constructing new access driveways in the approximate location of the existing access driveways, with the exception of the westernmost right-in only site access drive on 75th Street which will be closed off and curbed. The access on 75th Street will be a full movement for inbound traffic and limited to a right-out only. The access on IL Route 83/Kingery Highway will remain to be a right-in/right-out access.

The single-lane drive-through has a counter-clockwise rotation around the proposed building and offers a second by-pass lane after patrons submit their orders at the menu board. The proposed fast food establishment can be accessed via the driveway on IL Route 83/Kingery Highway for northbound travelers. Vehicles will enter from this driveway and proceed along the south edge of the site, past a row of surface parking spaces. Vehicles will make two left turns after driving past the proposed building to enter the drive-through. The approach from the 75th Street driveway also has a counter-clockwise rotation where vehicles will make an immediate right to proceed directly into the drive-through lane.

According to the Traffic Plan, the proposed site layout is designed to provide a total storage length of seven (7) vehicles for the drive-through window queue, with placement of the menu/order board at the fifth car. Furthermore, two (2) drive-through parking pick up spaces are proposed to help reduce drive-through queuing as needed during peak business hours.

Data was collected from three (3) similar nearby Panda Express drive-through restaurants and includes seven (7) consecutive days of drive-through transaction counts, divided into 30-minute time spans. The traffic study

indicates there is an average service time of five (5) minutes starting with the food order at the menu board and ending with food pickup at the drive-through window.

Parking for restaurants is based on gross square footage. A 2,300 square foot restaurant requires twenty-three (23) parking spaces, or 1 space for every 100 square feet of gross floor area. The facility is providing forty-six (46) parking spaces which exceeds the requirement and will be useful in servicing the additional seasonal outdoor seating as well, which is currently not proposed and not technically included in the parking requirement. The proposed fast food establishment is below the threshold of 5,001 square feet to trigger the requirement of providing a loading berth.

Appropriateness of Use

The property is zoned B-2 Community Shopping District, which lists fast food establishments as a special use and allows a drive-through for permitted uses by special use approval. The introduction of this use on this property will demolish an aging building and the proposed fast food establishment will benefit from a location that is easily accessible by motorists as well as students and visitors to Hinsdale South High School, which is nearby.

Building Elevations

The Applicant has submitted building elevations, including the south elevation as shown in **Exhibit 3** below. **Refer to Attachment 2** for the remaining elevations. The proposed fast food establishment provides variations in the choice of building materials, and introduces a sufficient number of breaks in the façade with material changes and variations of the roof line. Proposed building materials include a combination of brick, stone, EIFS and metal. Glass windows are provided on each elevation to allow natural light to filter into the building and provide street views for its patrons. Furthermore, the proposed building elevations will conform to the General Conditions of the Business Districts under Section 9-6-1(E) Building Façade Materials. Since the submitted building elevations were only drawn in black and white, colored perspective renderings are included in the architectural elevations and included as **Exhibit 4** and **Attachment 2** of the staff report.

Exhibit 3 South Elevation

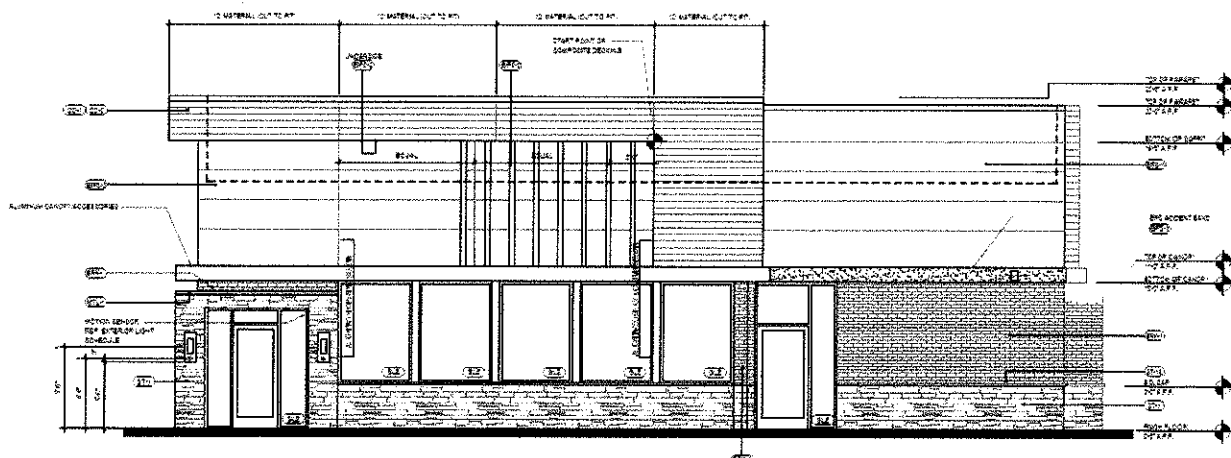




Exhibit 4 Perspective Rendering (East and South Elevations Facing Parking)



Zoning Bulk Requirements

Setbacks: The Applicant is requesting three variations from the setback requirements of the Zoning Ordinance. The property is zoned B-2 (with a special use). A detailed discussion of specific setbacks and important bulk exceptions and variations for the proposed project is provided in **Exhibit 4** and **Exhibit 5** shown below and on the following page. As previously discussed in the History section of this report, the subject property is further governed by Ordinance No. 94-O-16, which provided significant zoning relief from the specific setbacks and B-2 bulk regulations. Staff also considered the reduced setbacks of adjoining properties and the Village's history of allowing reduced setbacks in similar instances.

Exhibit 4: Specific Setbacks Compliance Table

Specific Setbacks				
Item	Code Section or Ordinance	Code Requirement	Proposed	Departure
Route 83 Setback	9-3-7(A)1 94-O-16 Sect. 3	100'	50' (building) 56.6' (menu board) 62.4' (order canopy) 3'-4" for existing overhead canopy 15' for existing gasoline pump dispenser islands 58' existing service station building	Yes

It should be noted that relief is requested from the one hundred foot (100') specific setback and the sixty foot (60') front yard setback on Illinois Route 83 for the proposed building, menu board, and order canopy which encroaches into the front and exterior side yards. Staff recommends approval of these variations since similar variations were granted through Ordinance No. 94-O-16 for the existing service station building.



Exhibit 5: B-2 Zoning District Compliance Table

B-2 Zoning District Bulk Regulations				
Min. Lot Area	9-6B-3(A) <i>94-O-16 Sect. 5</i>	2 acres <i>1.0 acre</i>	1.0 acre	Yes
Min. District Area	9-6B-3(B)	2 or more acres	N/A	
Min. Lot Width	9-6B-3(C)1 <i>94-O-16 Sect. 6</i>	200' <i>170'</i>	170' <i>See 9-3-12</i>	Yes (Existing Condition)
Min. Lot Depth	9-6B-3(D)	200'	256.24'	None
Min. Front Yard Setback (Kingery Hwy)	9-6B-3(E)1 <i>94-O-16 Sect. 7</i>	60' <i>5' 4" (overhead canopy) 15' (gas pump) 58' (service station)</i>	50' (building) 56.6' (menu board)	Yes
Min. Interior Side Yard Setback (south lot line)	9-6B-3(E)2	30'	63.6'	None
Min. Exterior Side Yard Setback (75 th St)	9-6B-3(E)3 <i>94-O-16 Sect. 8</i>	60' <i>48'</i>	43.4' (building) 32.7' (menu board) 25' (order canopy)	Yes
Min. Rear Yard Setback (east lot line)	9-6B-3(E)4	40'	162.8'	None
Min. Transition Yard	9-6B-3(E)5	N/A		
Max. Lot Coverage	9-6B-3(F)	50%	6% (2,607 SF)	None
Max. Height	9-6B-3(G)	30'	23'	None
Max. Floor Area Ratio	9-6B-3(H)	0.30	0.06 (2,607 SF/43,561 SF)	None

Lot Dimensions: The subject property has a minimum lot area of approximately 43,561 square feet, or 1.0 acre. The subject property has a lot width of one hundred seventy feet (170') and a lot depth of two hundred fifty-six feet (256'). A variation for reduced lot width requested and granted under Ordinance No. 94-O-16. However, Staff is including a variation request for reduced lot width as part of this petition.

Building Height: The maximum height of a building in the B-2 Zoning District is forty feet (30'). The proposed building height for the fast food establishment is twenty-three feet (23') and is therefore in compliance with the Zoning Ordinance.

Density and Coverage: The maximum lot coverage (building coverage) in the B-2 Zoning District is 50% per Section 9-6B-3(F). The proposed building has a building footprint of approximately 2,300 square feet. On a one-acre lot, the building coverage is approximately 6% and is below the maximum 50% threshold. As a one-story building, the floor area ratio (FAR) is approximately 0.06, which is below the minimum required 0.30 FAR. Both the requirements for lot coverage and FAR have been satisfied.

Parking & Loading

The proposed site layout will provide a total of forty-six (46) parking spaces, including two (2) accessible spaces, located along the east and south lot lines, east of the proposed building and within the interior of the subject property. There will also be two (2) dedicated drive-through pick-up spaces located along the southwest area of the site to help reduce drive-through queueing as needed during peak business hours. There are no loading berths proposed as the Zoning Ordinance does not require any for structures that have a gross floor area of 5,000 square feet or below.



Parking Area/Pavement Setbacks

Parking area/pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. A twenty-five foot (25') parking area setback is required along the Illinois Route 83 frontage, a fifteen-foot (15') parking area setback is required along the 75th Street frontage, and a 10-foot (10') setback is required along the interior side and rear lot lines. The proposed site plan complies with the pavement setback requirements required by the Village Code.

Contamination Issues

The Applicant has a purchase agreement in place with the current property owner/seller (True North Energy, LLC) for the property that includes an addendum outlining the removal procedure for the contaminants. This agreement states a No Further Remediation (NFR) letter from the Illinois Environmental Protection Agency (IEPA) is the responsibility of the current property owner/seller; therefore, the purchase of the property is contingent on the current property owner/seller to obtain the NFR letter from the IEPA (that is acceptable to the Applicant for its intended use of the property). The Village is agreeable to this and has added a condition of approval that the NFR letter will be required at time of building permit if the seller and buyer have the NFR letter as a condition of the sale closing.

Stormwater Management

An abbreviated Stormwater Submittal was provided to the Village. The Village Engineer confirmed the findings of the study stating that the subject property does not contain floodplain or wetlands, and the development does not reach the net new impervious thresholds to trigger Best Management Practices or Detention. The Village Engineer has reviewed the engineering for stormwater compliance and identified no issues. A copy of his review letter is included as **Attachment 7** for your review.

Trash Enclosure

The Applicant is proposing a six-foot (6') height trash enclosure on the southeast portion of the site lot, to the east side of the building, where the open side of the enclosure is oriented so that, to the greatest extent possible, it does not face towards an abutting property or street. A black and white trash enclosure plan and details were provided by the Applicant. Per Section 9-12-11 of the Village Code, the trash enclosure must be constructed to look like masonry and shall appear to the color and style of the building. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

Site Lighting

The Village Engineer's December 21, 2020 memo states that site lighting is in general compliance with Village Code and standard engineering methods. Please note that the Village reserves the right to require glare shields to be installed, should it deem appropriate.

Landscaping

The modifications to the site are an improvement over the existing conditions. Additional foundation, interior parking lot, and perimeter landscape areas will improve circulation and safety, and are an engineering asset since it means that no additional stormwater improvements are required. A significant amount of new landscaping is being provided site wide. The proposed Landscape Plan is shown in **Attachment 2**. Staff anticipates that only minor changes will be required as the proposed development appears to provide sufficient landscaping, but a condition has been added to ensure that the landscape plan will address the comments in the planning review letter outlined in **Attachment 7**. There are some minor revisions that need to be included in the current landscape plan; however, staff is confident that appropriate landscaping can be achieved on the site. Therefore, staff is recommending a condition of approval that requires future approval of the landscape plan by staff prior to Village Board approval.



Signage

The new free-standing sign on a brick base is proposed in generally the same location as the existing free-standing sign, at the northeast corner of the subject property. The proposed free-standing sign complies with the current ordinance and current configuration of the property. The sign has dimensions of 12 feet x 6'-5 7/8" feet, or a total of 36 square feet per side (72 square feet total). It will be set back a minimum of five feet (5') from the north and west lot lines, contains brick in keeping with the design of the principal structure, and will be constructed to a maximum height of twelve feet (12'). Because the proposed free-standing sign exceeds a height of eight feet (8') above average surrounding grade, the total sign surface area allowed is reduced by thirty square feet (30 SF).

Exhibit 6: Proposed Free-Standing Sign



Based on the length of the exterior side lot line and the reductions taken because of the height of the free-standing sign, a total of two hundred ninety square feet (290 SF) of signage is allowed, which covers both wall and free-standing signs. The sum of all signs shown on the plans is two hundred thirty-three and nineteen hundredths square feet (233.19 SF). One wall sign is proposed on each of the north, east and west sides of the building as shown in the sign package. The south wall sign has 53.27 square feet of sign surface area, while the north, east and west wall signs have 36 square feet of sign surface area each. The Zoning Ordinance allows only one wall sign for each street frontage or "business site frontage". With its corner location, the tenant is assured a total of four (4) wall signs. Staff is interpreting all four elevations as having "business site frontage", which allows for four wall signs. A condition of approval is added that confirms no additional wall signage will be allowed as part of this approval.

Exhibit 7: Proposed Wall Signs



Findings of Fact



Standards for Special Use

Section 9-14-5(B) of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use permit. The Applicant's responses are provided in **Attachment 3**.

Standards for Variations

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. A list of the variation standards is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Staff Recommendation

Generally, staff has been supportive of the demolition of the existing building on this site for a new fast food establishment with a drive through. The building meets the user's needs, and the site improvements create an improved situation than exists today even though variations are required. The use will provide nearby dining opportunities for students and visitors to Hinsdale South High school. The special use and variations are supported. Planning staff would also recommend acceptance of the submitted written Findings of Fact in response to the Standards for Special Use Permits and Standards for Variations from the Zoning Ordinance sought, which are included as **Attachments 3 and 4** of this report.

Should the Plan Commission wish to support this request, staff recommends that the following conditions be included:

1. Improvements shall be in substantial compliance with all plans described in **Attachment 2** of the staff report prepared for PC 21-01 except as may be modified in response to compliance with Village Codes or conditions recommended by the Plan Commission and as approved by the Village.
2. Approved signage is limited to two hundred ninety square feet (290 SF) of signage including one monument sign and four wall signs in substantial conformance with the sign package included in **Attachment 2** of the staff report.
3. The Landscape Plan shall be revised, resubmitted, and approved by the Village in compliance with Village Codes prior to final zoning approval from the Village Board.
4. Plans shall be revised prior to being considered by the Village Board in compliance with the planning comments outlined in **Attachment 7** of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting.
5. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
6. All landscaped areas shall be constructed, and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
7. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
8. That as part of the final approval by the Village, the Applicant shall enter into a Traffic Agreement in substantial conformance outlined in **Attachment 6** of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting.
9. A permit is required from IDOT prior to any work in the Route 83 right of way.
10. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.



11. The Applicant must file a Notice of Intent with the IEPA prior to the start of construction.
12. The property owner shall provide the Village with a letter of No Further Remediation (NFR) from the IEPA prior to a building permit being issued.
13. Prior to building permit, the Village will require a Plat of Easement to grant access to the B-Box at the building. This can be a 10-foot-wide non-exclusive easement over the water service from 75th Street to the building.
14. All outstanding comments from the Village must be addressed prior to final zoning approval from the Village Board.

Should the Plan Commission wish to support this request, the following variations from the zoning ordinance should be specifically included:

1. A variation from Section 9-3-3(C) to decrease the minimum lot area for two (2) or more special uses from two acres (2 AC) to one acre (1 AC).
2. A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet (50') for the proposed building, to fifty-six and six tenths feet (56.6') for the proposed menu board, and to sixty-two and four tenths feet (62.4') to the order canopy.
3. A variation from Section 9-6-1(A) to decrease the minimum lot area for two (2) or more special uses (fast food establishment and drive-through) from two acres (2 AC) to one acre (1 AC).
4. A variation from Section 9-6B-3(A) to decrease the minimum lot area for all uses from two acres (2 AC) to one acre (1 AC).
5. A variation from Section 9-6B-3(C)1 to decrease the minimum lot width of 200 feet for restaurants from two hundred feet (200') to one hundred seventy feet (170').
6. A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to fifty feet (50') for the proposed building and to fifty-six and six tenths feet (56.6') for the proposed menu board.
7. A variation from Section 9-6B-3(E)3 to decrease the minimum exterior side yard setback on 75th Street from sixty feet (60') to forty-three and four tenths feet (43.4') for the proposed building, to thirty-two and seven tenths feet (32.7') for the proposed menu board, and to twenty-five feet (25') to the order canopy.
8. A variation from Section 9-10-5(L)2(b)2(a) to decrease the radius connecting street pavement edge and driveway edge on 75th street from thirty-five feet (35') to twenty-five feet (25').
9. A variation from Section 9-10-5(L)2(d) to decrease the driveway location on Route 83 from seventy feet (70') to twenty-five and seven tenths feet (25.7').
10. A variation from Section 9-10-5(L)2(e) to decrease the minimum spacing between separate driveway entrances from four hundred feet (400') to approximately three hundred thirteen feet (+/- 313') on Illinois Route 83 and to approximately one hundred sixty-nine feet (+/- 169') on 75th Street.
11. A variation from Section 9-10-5(L)2(f) to decrease the minimum spacing between driveway entrance and right-of-way of an adjacent intersecting street from five hundred feet (500') to ninety-four and three tenths feet (94.3') on Illinois Route 83 and to one hundred forty-six and two tenths feet (146.2') on 75th Street.
12. A variation from Section 9-10-5(L)2(g) to eliminate the requirement of a concrete median separation and to reduce the driveway storage from one hundred feet (100') to zero feet on Illinois Route 83 and 75th Street.
13. A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to four and five tenths feet (4.5') along the southern façade, to five and two tenths feet (5.2') along the northern portion of the eastern building façade and from seven feet (7') to zero feet along the western building façade and remaining portion of the eastern building façade.



Public Hearing and Communications

The Plan Commission conducted a public hearing on this petition at a regular meeting of the Plan Commission on February 3, 2021. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting was held virtually via Zoom.

Summary of Public Hearing and Communications

Two (2) individuals from the public were sworn in at the public hearing.

1. **Present:** Approximately thirty-nine (39) individuals were present. The following members of the Plan Commission were in attendance: Chairman Dan Kopp, Vice Chairman John Wagner, Commissioners Catherine Kaczmarek, Leonard Kaucky, James Soukup, William Remkus, and Maciej Walec. The following Village staff members were present: Planning Consultant Ann Choi and Building Official Roy Giuntoli. Court Reporter Robin Hejnar was also in attendance.
2. **Speakers:** Two (2) individuals presented testimony. The Applicant's representatives provided testimony in support of the petition.
3. There were no members of the general public that provided testimony in opposition to the petition.

Presentation at the February 3, 2021 Plan Commission Meeting

Village of Willowbrook Planning & Development Department

Planning Consultant Choi presented the project and noted that the Applicant had requested modifications to three of the original variations requested. Planning Consultant Choi indicated that the proposed building appears to have shifted to the east and south just marginally. Two of the variations requested relief from the 100-foot specific setback on Route 83 and the 60-foot front yard setback. Instead of 50 feet, the variations would request a reduction to 50.2', a marginally lesser ask than what was originally requested. The third variation would request more than what was originally requested, to further reduce the foundation landscaping width from 4.5 feet to 3.8 feet wide along the southern building façade. Planning Consultant Choi considered the changes to be relatively minor but requested that the Applicant confirm the gross floor area proposed. The following variations would be modified:

2. Requested:

A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet (50') for the proposed building, to fifty-six and six tenths feet (56.6') for the proposed menu board, and to sixty-two and four tenths feet (62.4') to the order canopy.

Modification:

A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet and two tenths feet (50.2') for the proposed building, to fifty-six and six tenths feet (56.6') for the proposed menu board, and to sixty-two and four tenths feet (62.4') to the order canopy.

6. Requested:

A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to fifty feet (50') for the proposed building and to fifty-six and six tenths feet (56.6') for the proposed menu board.



Modification:

A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to **fifty feet and two tenths feet (50.2')** for the proposed building and to fifty-six and six tenths feet (56.6') for the proposed menu board.

13. Requested:

A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to four and five tenths feet (4.5') along the southern façade, to five and two tenths feet (5.2') along the northern portion of the eastern building façade and from seven feet (7') to zero feet along the western building façade and remaining portion of the eastern building façade.

Modification:

A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to **three and eight tenths feet (3.8')** along the southern façade, to five and two tenths feet (5.2') along the northern portion of the eastern building façade and from seven feet (7') to zero feet along the western building façade and remaining portion of the eastern building façade.

The Applicant's attorney, George Maurides, spoke in support of the project and presented the company, Panda Express, as a family-owned business based in California with over 2,300 restaurants in eleven countries and a thousand different cities. Mr. Maurides stated they were pursuing a special use permit for the fast food establishment and a special use permit for the drive-through, but raised an issue posed by IDOT's recent review comments. Mr. Maurides explained that the proposed driveway on Route 83 was designed to fit within the existing driveway. Feedback from IDOT indicated that because part of the curb radius of the proposed driveway is encroaching into the right-of-way area belonging to the neighbor to the south, IDOT would require a Lot Line Agreement with this property or suggested that the proposed driveway shift further to the north with a 3-foot offset from the southern property line. Mr. Maurides pointed out that the existing driveway actually encroaches more into the right-of-way area than what is currently being proposed but acknowledged that the driveway would need to be reconfigured, or that a Lot Line Agreement would need to be pursued. However, since the applicant was just notified of this on the same day as the public hearing, Mr. Maurides was not sure how much this would change the variations requested, or if a new variation would be required. Mr. Maurides therefore deferred to the Plan Commission to get a sense of how comfortable the Plan Commissioners would be in making a recommendation without knowing what the variation might be or without seeing a revised site plan. Mr. Maurides asked the Plan Commissioners if they would feel comfortable if the site plan was worked out to Staff's approval or if they would prefer to see the revised site plan and variations at a continued public hearing.

Chairman Kopp responded that he did not believe that the IDOT issue looked like it would be a significant change to the site plan. Chairman Kopp indicated that the Plan Commissioners would discuss the issue, but he would like to proceed with the assumption that the driveway would move up by just a couple of feet.

Mr. Maurides stated that the Applicant would provide an amended list of the variations to Village staff for their review and asked Chairman Kopp if this would be incorporated into the motion. Mr. Maurides also noted that the Applicant would likely not pursue the Lot Line Agreement since Red Roof Inn is a fairly large company and no one from the Applicant's team has had any contact with Red Roof Inn and that process, while possible, could take up to six months.

Commissioner Walec asked if the underground storage tanks for the existing gas station would be removed. Mr. Maurides responded that they would be removed per the required NFR letter.



Brian Styck of Atwell LLC, the project manager with the civil engineering team for the contract purchaser, also provided testimony. To help the Plan Commission understand IDOT's concerns, Mr. Styck presented an exhibit with the existing driveway superimposed on the proposed site plan. Mr. Styck explained that in general, the proposed driveway was designed in generally the same location as the existing driveway but this was shifted slightly to the north. Mr. Styck noted that IDOT's concern with the driveway location is already an existing condition and contended that the proposed driveway was an improvement to the existing condition. Mr. Styck explained that the existing driveway was not used because it is standard practice to upgrade driveways as part of site improvements. However, since the proposed development was not making significant changes to the existing grading, one option would be to use the existing driveway on Route 83, if there was no possibility of shifting the driveway to the north, or if the Applicant is unable to reach an agreement with the adjacent property owner.

Planning Consultant Choi pointed out that stacking within the proposed drive-through lane could be impacted if the driveway was shifted approximately 15 to 18 feet to the north.

Chairman Kopp did not see any issue with using the existing driveway. Mr. Maurides agreed and stated that if the Village Engineer was okay with using the existing driveway, then the applicant would likely be agreeable to that as well. Chairman acknowledged that the Applicant was only trying to improve the existing driveway.

Vice Chairman Wagner expressed confusion as to why there was a discussion with IDOT in the first place as the driveway is located within the right-of-way and not on the property. Vice Chairman Wagner suggested using the existing driveway if IDOT's regulation could not be accommodated.

Chairman Kopp noted that the motion that was prepared by Planning Consultant Choi does contain the specific measurements of the variations but indicated "substantial compliance". [A list of variations included in the staff report includes specific measurements.] Chairman Kopp did not believe that the modifications to the variations discussed were a substantial difference.

Planning Consultant Choi then asked the Plan Commission to confirm that they would have no issue with shifting the driveway 15 to 18 feet to the north. Chairman Kopp thought this was a good point and wanted to further discuss this issue with the Plan Commissioners before making a recommendation. Chairman Kopp closed the public hearing to begin discussions with the Plan Commission.

Plan Commission Discussion

Chairman Kopp expressed support in favor of the project and thought it would be a huge improvement to what currently exists there today. The only concern he had was the curb cut on Route 83. Chairman Kopp asked the Plan Commission if they shared the same concern. In Chairman Kopp's opinion, if the Plan Commission decided to reserve judgement until this issue was resolved, then this was certainly a defensible position, but he was ready to make a recommendation on the proposal.

Vice Chairman Wagner also expressed support for this project. Vice Chairman Wagner stated that even if the driveway needed to move several feet in one direction or another, it would not affect the outcome of the project, and he looked forward to voting on the petition at the February 3, 2021 meeting.

Commissioner Walec concurred with Vice Chairman Wagner and Chairman Kopp, and he expressed a desire to vote at the February 3, 2021 meeting. Commissioner Walec believed the proposal appeared to be a great project and it would change that corner significantly. Chairman Kopp also noted that Commissioner Soukup was in favor of the project as well.



Sample Motion

The following sample motions were provided in the staff report for the Plan Commission:

Based on the submitted petition and testimony presented, I move that the Plan Commission approve and adopt the Findings of Fact submitted in response to the Standards for Special Use Permits and Standards for Variations outlined in **Attachments 3 and 4**, respectively, of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for a fast food establishment with a drive-through, including the list of variations as outlined in the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting, and as deliberated by the Plan Commission, according to the plans listed in the Staff Report for PC 21-01 for the February 3, 2021 Plan Commission meeting, and subject to the following conditions:

1. Improvements shall be in substantial compliance with all plans described in **Attachment 2** of the staff report prepared for PC 21-01 except as may be modified in response to compliance with Village Codes or conditions recommended by the Plan Commission and as approved by the Village.
2. Approved signage is limited to two hundred ninety square feet (290 SF) of signage including one monument sign and four wall signs in substantial conformance with the sign package included in **Attachment 2** of the staff report.
3. The Landscape Plan shall be revised, resubmitted, and approved by the Village in compliance with Village Codes prior to final zoning approval from the Village Board.
4. Plans shall be revised prior to being considered by the Village Board in compliance with the planning comments outlined in **Attachment 7** of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting.
5. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
6. All landscaped areas shall be constructed, and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
7. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
8. That as part of the final approval by the Village, the Applicant shall enter into a Traffic Agreement in substantial conformance outlined in **Attachment 6** of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting.
9. A permit is required from IDOT prior to any work in the Route 83 right of way.
10. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.
11. The Applicant must file a Notice of Intent with the IEPA prior to the start of construction.
12. The property owner shall provide the Village with a letter of No Further Remediation (NFR) from the IEPA prior to a building permit being issued.
13. Prior to building permit, the Village will require a Plat of Easement to grant access to the B-Box at the building. This can be a 10-foot-wide non-exclusive easement over the water service from 75th Street to the building.
14. All outstanding comments from the Village must be addressed prior to final zoning approval from the Village Board.



The following motion made by Kaucky was seconded by Remkus and approved unanimously, a 7-0 roll call vote of the members present:

Motion

Based on the submitted petition and testimony presented, I move that the Plan Commission approve and adopt the Findings of Fact submitted in response to the Standards for Special Use Permits and Standards for Variations outlined in Attachments 3 and 4, respectively, of the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for a fast food establishment with a drive-through, including the list of modified variations, as outlined in the staff report prepared for PC 21-01 for the February 3, 2021 Plan Commission meeting, and as deliberated by the Plan Commission, according to the plans listed in the Staff Report for PC 21-01 for the February 3, 2021 Plan Commission meeting, and subject to the fourteen (14) enumerated conditions listed in the staff report prepared for PC 21-01.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]



Attachment 1
Legal Description

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Property Address: 7505 South Kingery Highway, Willowbrook, IL 60527

PIN #: 09-26-400-013



Attachment 2
Submitted Plans

1. **"ALTA-NSPS Land Title Survey"** – 2 sheets (Job. No. 18003769), dated 8/10/2020, bearing the latest revision date of 9/23/2020, resubmitted on January 19, 2021 and prepared by NORR LLC.
2. **"Site Layout Plan"** – 1 sheet, Sheet C04.0, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
3. **"Architectural Drawings"** – 5 sheets, Sheets A-101, A-200, A-201, A-202, A-300, Panda Project #: D7058, Arch. Project #: JCDT180453, bearing an issue date of 11-04-2020, and prepared by NORR Architects Engineers Planners.
4. **"Proposed Sign Package"** – 17 pages, Project #: C59897, dated 12.19.2018, bearing the latest revision date of 01.19.2020, and prepared by Priority Sign.
5. **"Final Engineering Plans"** – 18 sheets, Panda Project #: D7058, Atwell Project #: 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
6. **"Engineer's Opinion of Probable Construction Cost"** – 3 pages, dated 11/20/2020, and prepared by Atwell Group.
7. **"Site Traffic Study"** – 11 pages, dated January 5, 2020 and prepared by Atwell Group.
8. **"Traffic Turn Analysis"** – 1 sheet, Sheet EX-01, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
9. **"Traffic Plan"** – 1 sheet, Sheet EX-02, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
10. **"Landscape Plan"** – 2 sheets, Sheets L01.0 and L01.1, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
11. **"Photometric Plan"** – 1 sheet, Sheet L01.0, dated 10/29/2020, and prepared by Villa Lighting.
12. **"Construction Schedule"** – 1 page, dated 11/17/2020, and prepared by Atwell Group.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9836
Facsimile: 626.372.8288

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REVISIONS:

VILLAGE PLAN REV. #1 01/19/2021

ISSUE DATE:

PC SUBMITTAL 11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
NATIONAL OFFICIAL RECORDING & RECOVERY

ATWELL
866.850.4200 www.atwell-group.com
1250 EAST DICK ROAD, SUITE 300
NAPERVILLE, IL 60563
DESIGN FIRM #184-005875

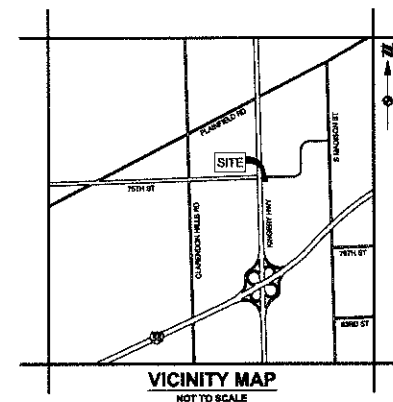
PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

SITE LAYOUT PLAN

C04.0

TRUE WARM & WELCOME 2300



LAYOUT LEGEND

---	BOUNDARY LINE
---	EXISTING ROW
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	PROPOSED DEPRESSED CURB AND GUTTER
---	EXISTING EASEMENT LINE
---	PROPOSED LANDSCAPE BERM
---	SETBACK LINE
---	PARKING SPACE COUNT
---	ADA RAMP
---	DIMENSION TO BACK OF CURB
---	DIMENSION TO PROPERTY LINE
---	DIMENSION TO CENTER LINE
---	DIMENSION TO EDGE OF PAVEMENT
---	DIMENSION TO BUILDING
---	PROPOSED LIGHT POLE/WALL PACK LIGHT
---	PROPOSED SIGN
---	PROPOSED ACCESSIBLE PARKING SPACE SIGN
---	PROPOSED STOP SIGN
---	PROPOSED DO NOT ENTER SIGN
---	PROPOSED RIGHT TURN ONLY SIGN
---	PROPOSED REINFORCED CONCRETE PAVEMENT, SEE DETAIL SHEET C08.2
---	PROPOSED CONCRETE SIDEWALK, SEE DETAIL SHEET C08.2
---	PROPOSED STANDARD DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C08.2
---	PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C08.2
---	TRASH ENCLOSURE PAVEMENT, SEE DETAIL SHEET C08.2

NOTES:

- SEE SHEET C01.1 FOR CONSTRUCTION NOTES.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3.0' UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLANS.
- ALL STRIPING SHALL BE 4" WHITE PAINT UNLESS OTHERWISE NOTED. ALL STRIPING SHALL BE APPLIED WITH TWO COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE. SEE STRIPING DETAIL SHEET C08.0

INTERIOR LANDSCAPING

SITE AREA EXCLUDING FRONT YARD, ROW, BUILDINGS, AND STRUCTURES: 38,578 SF

REQUIRED INTERIOR LANDSCAPING: 3,658 SF (10%)
PROVIDED INTERIOR LANDSCAPING: 9,408 SF (26%)

ADJACENT LAND USE DATA

ZONING DISTRICT	LAND USE	DEVELOPMENT NAME
NORTH: B2 COMMUNITY SHOPPING	SHOPPING CENTER	WILLOWBROOK PLAZA
SOUTH: B4 HWY & SERVICE BUSINESS	HOTEL	RED ROOF INN
EAST: M1 LIGHT MANUFACTURING	MANUFACTURING/SALES	WILLOWBROOK KEY LLC
WEST: B2 COMMUNITY SHOPPING	RESTAURANT	POTBELLY

PROPOSED BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	60'	50.0'
ROUTE 63 (WEST)	100'	50.0'
SIDE EXTERIOR (NORTH)	60'	43.4'
SIDE INTERIOR (SOUTH)	30'	83.8'
REAR (EAST)	40'	162.8'

PARKING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	25'	25'
SIDE EXTERIOR (NORTH)	15'	15'
SIDE INTERIOR (SOUTH)	10'	10'
REAR (EAST)	10'	10.3'

DRIVE AISLE WIDTH: 24' UNLESS OTHERWISE NOTED

FLOOD HAZARD: ZONE X

FIRM MAP NO. 17043001894, DATED 8/1/2019

EXISTING INFORMATION:
EXISTING SITE CONDITIONS ARE BASED ON AN ALTA/NSPS LAND TITLE SURVEY BY ATWELL, LLC DATED 9/23/2020

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

PARKING DATA

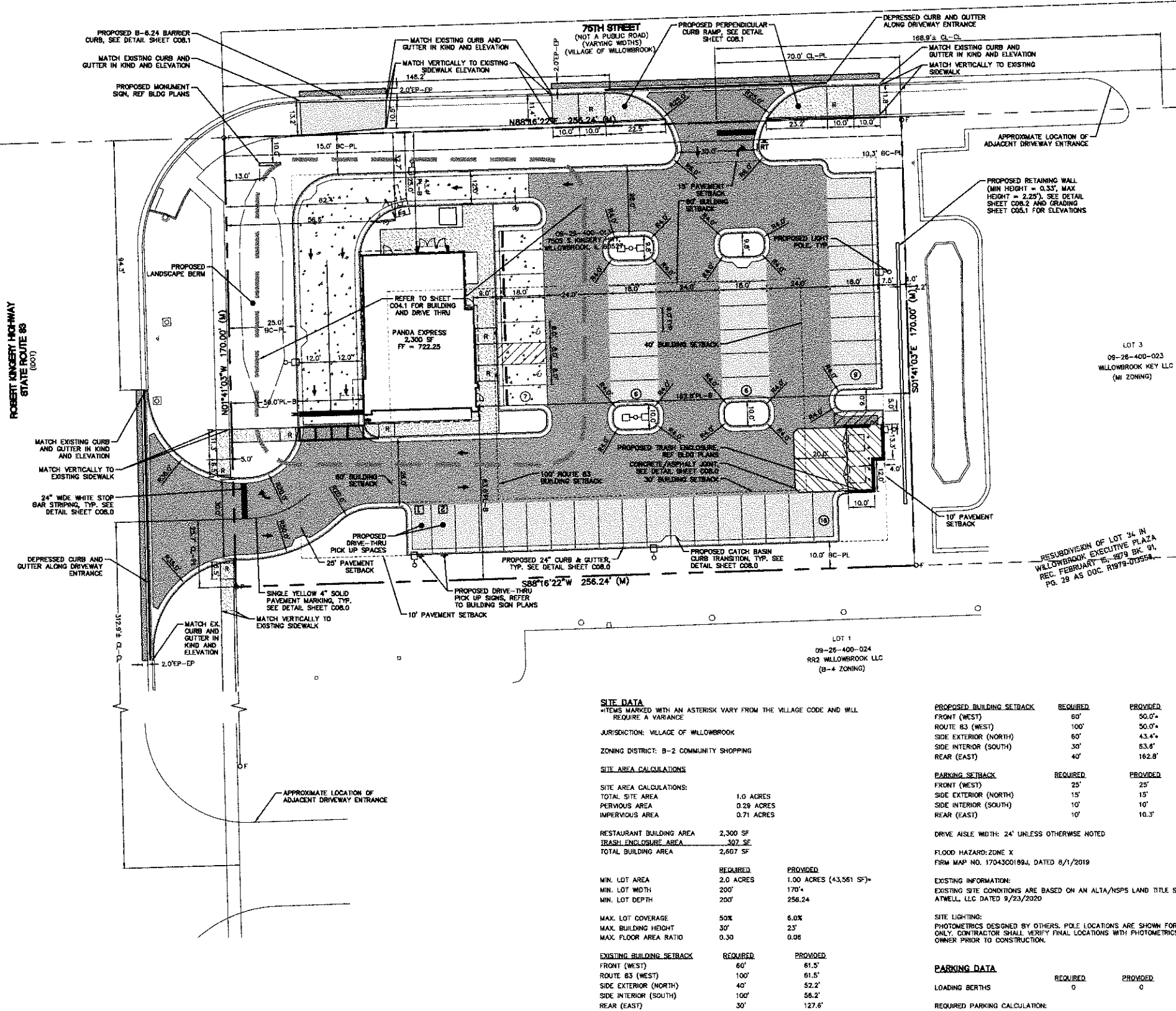
LOADING BERTHS	REQUIRED	PROVIDED
	0	0

REQUIRED PARKING CALCULATION:
1 PARKING SPACE PER 100 SF OF FLOOR AREA
1 SPACE/100 SF * 2,300 SF = 23 SPACES

TOTAL REQUIRED SPACES	23 SPACES
PROVIDED	
REGULAR (9' X 18')	42 SPACES
DRIVE THRU PICKUP (9' X 18')	2 SPACES
ADA (8' X 18')	2 SPACES
TOTAL PROVIDED SPACES	46 SPACES

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.



SITE DATA

*ITEMS MARKED WITH AN ASTERISK VARY FROM THE VILLAGE CODE AND WILL REQUIRE A VARIANCE

JURISDICTION: VILLAGE OF WILLOWBROOK

ZONING DISTRICT: B-2 COMMUNITY SHOPPING

SITE AREA CALCULATIONS

SITE AREA CALCULATIONS:	
TOTAL SITE AREA	1.0 ACRES
PERVIOUS AREA	0.28 ACRES
IMPERVIOUS AREA	0.71 ACRES

RESTAURANT BUILDING AREA	2,300 SF
TRASH ENCLOSURE AREA	307 SF
TOTAL BUILDING AREA	2,607 SF

	REQUIRED	PROVIDED
MIN. LOT AREA	2.0 ACRES	1.00 ACRES (43,561 SF)*
MIN. LOT WIDTH	200'	170'
MIN. LOT DEPTH	200'	258.24'

MAX. LOT COVERAGE	50%	6.0%
MAX. BUILDING HEIGHT	30'	23'
MAX. FLOOR AREA RATIO	0.30	0.08

EXISTING BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	60'	61.5'
ROUTE 63 (WEST)	100'	61.5'
SIDE EXTERIOR (NORTH)	40'	52.2'
SIDE INTERIOR (SOUTH)	100'	58.2'
REAR (EAST)	30'	127.8'

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESENT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

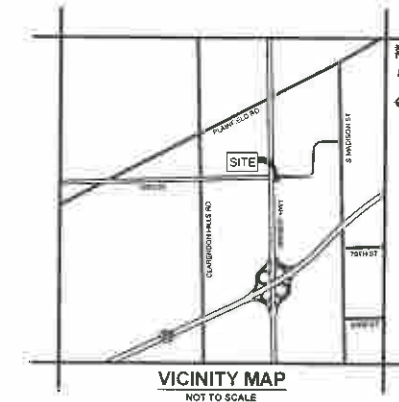
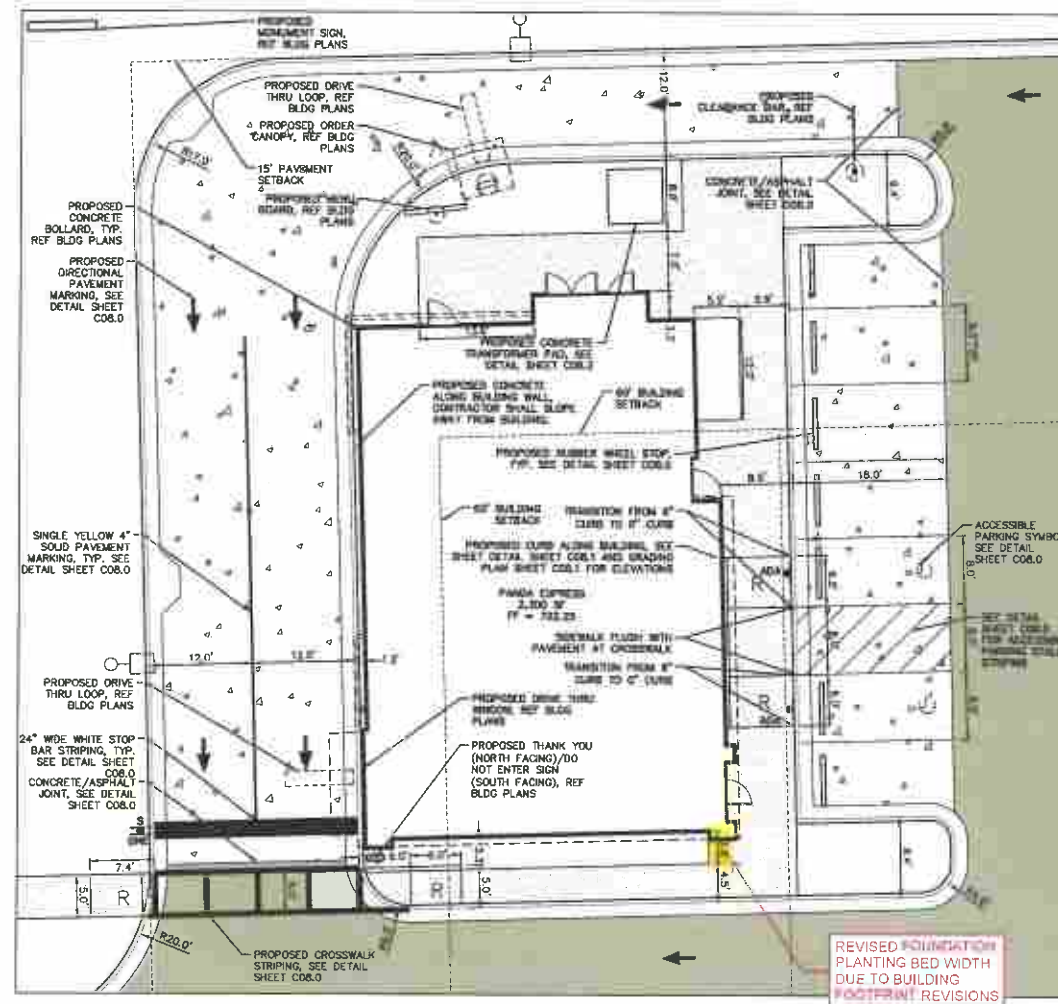
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24-HOUR CONTACT:
PANDA FM
HAKIM YALA
847-477-9125

SCALE 0 10 20
1" = 20 FEET

PROFESSIONAL ENGINEER
DATE: 1/19/2021
EXP: 11/30/2021

REVISED BUILDING ARCHITECTURE
VARIATION REQUEST MARKUPS
02/02/2021



PANDA EXPRESS, INC.
1693 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9868
Facsimile: 626.372.8288

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REVISIONS:

VILLAGE PLAN REV #1	01/19/2021
VILLAGE PLAN REV #2	01/27/2021

ISSUE DATE:

IPC SUBMITTAL	11/20/2020
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DRAWN BY: LEH

PANDA PROJECT # D7058
ATWELL PROJECT # 18003769



PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

DETAILED SITE
LAYOUT PLAN

C04.1

TRUE WARM & WELCOME 2300

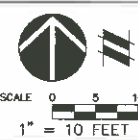
CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.
CONTRACTOR SHALL FULLY VERIFY ALL EXISTING UTILITIES (LOCATION AND DEPTHS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NOTWITHSTANDING THE OWNER'S NOTICE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY HEAVY STRUCTURES, OR OF ANY OTHER PERSONS.

24-HOUR CONTACT:
PANDA PM
HAKIM YALA
847-477-5125





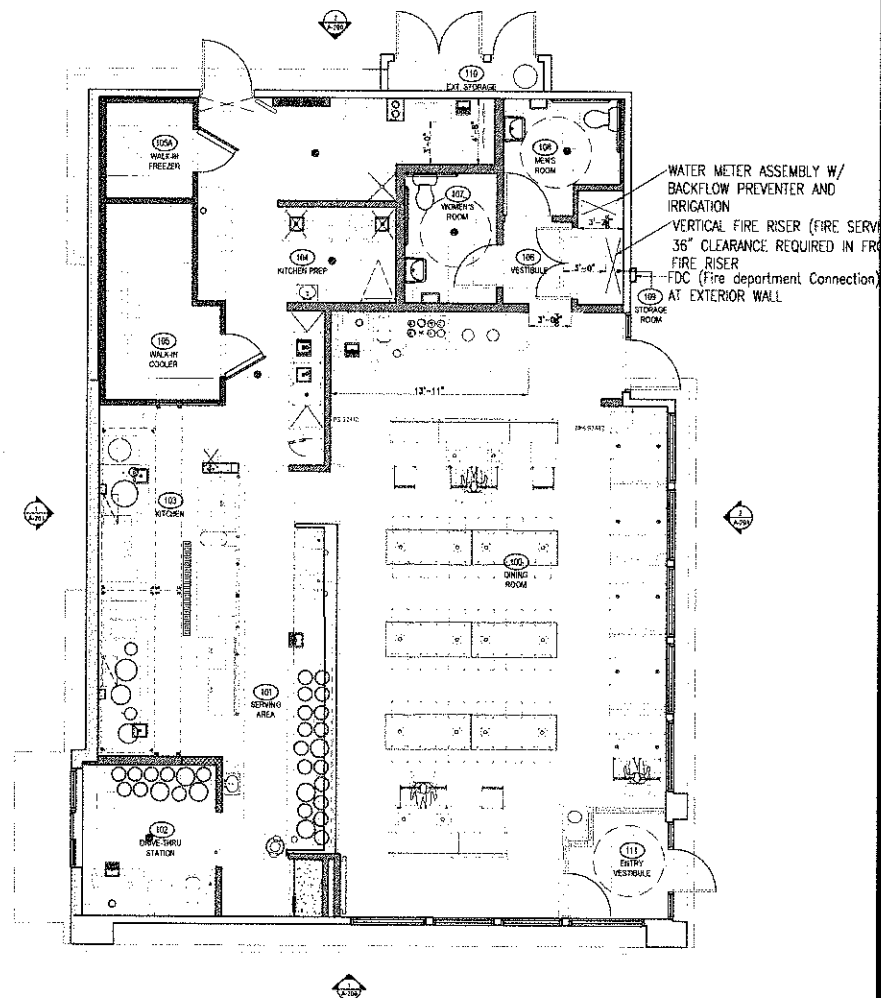
WILLOWBROOK, IL PANDA EXPRESS – VARIATIONS REQUESTED

46.3' (Building Drive-Thru Window Canopy)

#	Village Code	Description	Requirement	Existing Conditions (Shell Gas/Service Station; Ordinance 94-O-16)	Requested Variation
1	9-3-3(C)	Minimum Lot Area, Two Uses	2 Acres	1 Acre	1 Acre
2	9-3-7(A)1	Route 83 Setback	100'	58' (Service Station Building) 5'-4" (Overhead Canopy) 15' (Gas Pump)	50.2' (Building) ✓ 62.4' (Order Canopy) 56.6' (Menu Board)
3	9-6-1(A)	Minimum Lot Area, Two Uses	2 Acres	1 Acre	1 Acre
4	9-6B-3(A)	Minimum Lot Area, (B-2 Bulk Regulations)	2 Acres	1 Acre	1 Acre
5	9-6B-3(C)1	Minimum Lot Width	200'	170'	170'
6	9-6B-3(E)1	Minimum Front Yard Setback (Route 83)	60'	58' (Service Station Building) 5'-4" (Overhead Canopy) 15' (Gas Pump)	50.2' (Building) ✓ 62.4' (Order Canopy) 56.6' (Menu Board)
7	9-6B-3(E)3	Minimum Exterior Side Yard Setback (75th St.)	60'	43'	43.4' (Building) 25.0' (Order Canopy) 32.7' (Menu Board)
8	9-10-5(L)2(b)(2)A	Minimum Driveway Radius Connecting to 75th Street	35'	16'	25'
9	9-10-5(L)2(d)	Driveway Location to Nearest Lot Line	70'	17'-6"	25.7'
10	9-10-5(L)2(e)	Minimum Spacing Between Separate Driveways	400'	±171' (75th St.) ±306' (Route 83)	±169' (75th St.) ±313' (Route 83)
11	9-10-5(L)2(f)	Minimum Spacing Between Driveway & ROW Intersection	500' or Outside Functional Area (whichever is less)	154.3' (75th St.) 101.4' (Route 83)	146.2' (75th St.) 94.3' (Route 83)
12	9-10-5(L)2(g)	Access Driveway Concrete Median & Driveway Storage	Concrete Median & 100' Storage Area	No Concrete Median, 0' Storage Area	No Concrete Median, 0' Storage Area
13	9-14-2(D)2(c)(4)	Minimum Landscape Foundation Plantings Width	7'	0' (none provided)	3.8' 4.5' at South Façade 5.2' at Northern East Façade 0' at Western Façade & Remaining East Façade

EXHIBIT A

- GENERAL NOTES
- BUILDING GROSS AREA 2,321 SF
 - BUILDING NETUSABLE AREA 2,233 SF
 - PROPOSED USE ASSEMBLY (A-2)



PANDA EXPRESS, INC.
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REVISIONS

ISSUE DATE:

1/14/2020

DRAWN BY

CP

PANDA PROJECT #: D7058

ARCH PROJECT #: JCDT190453

NORR

PANDA EXPRESS

TRUE WARM & WELCOME 2300
7505 KINGSERY HIGHWAY
WILLOWBROOK, IL 60527

A-100

ULDR PLAN

TRUE WARM & WELCOME 2300 RJ

FLOOR PLAN 1

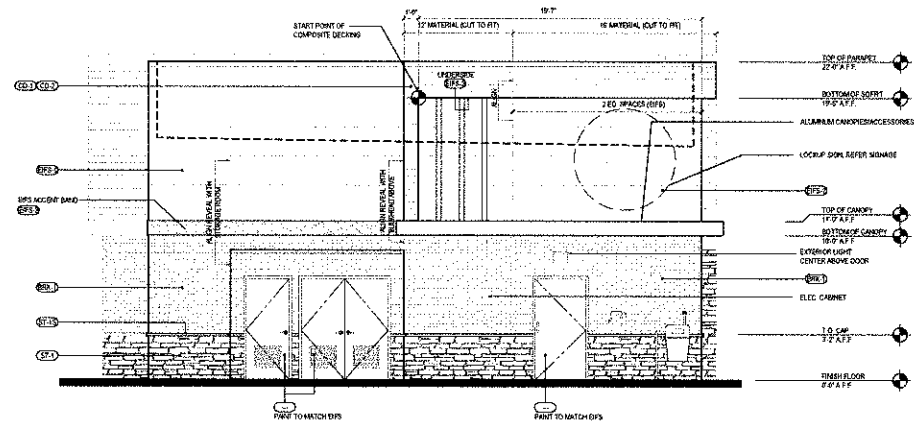
Scale: 1/4" = 1'-0" A-101

EXTERIOR FINISH SCHEDULE

NO.	MANUFACTURER	MPN	COLOR	FINISH	NOTE
001-1	TBD		BRGE		SKELING BODY
002-1	STO	STOTHERM ESSENCE SYSTEM	SW 4146	PINE	BUILDING BODY
003-1	STO	STOTHERM ESSENCE SYSTEM	SW 7487	PINE	BUILDING BODY
004-1	STO	STOTHERM ESSENCE SYSTEM	SW 3989	PINE	SFS ACCENT BAND
005-1	CORONADO STONE PRODUCTS	990 SERIES	BLU/GRY		STONE CAP (INT. HORIZONTAL JOINT, MORTAR TO MATCH STONE CAP)
006-1	CORONADO STONE PRODUCTS	INDUSTRIAL LODGE	SHALE GREY		ENTRY PORTAL & WARDROBE CONTRACT LUTERAN CORP. (BAY AREA) PROVIDE SUPPLEMENTARY JOINTS. SMO. IMPROV. CO. CO. JUSTY
007-1	FIBERCRY	HORIZON	SPK		COMPOSITE DECORATING CONTRACT: BILL ROSS @ 104-758-1080 EMAIL: BR@brossdecorating.com
008-1	FIBERCRY	HORIZON	TUDOR BROWN		COMPOSITE DECORATING CONTRACT: BILL ROSS @ 104-758-1080 EMAIL: BR@brossdecorating.com
009-1	EXCEPTIONAL METALS		"PANDA EXPRESS" LOGO		CAP FLASHING
010-1	CLEAR GLAZING				

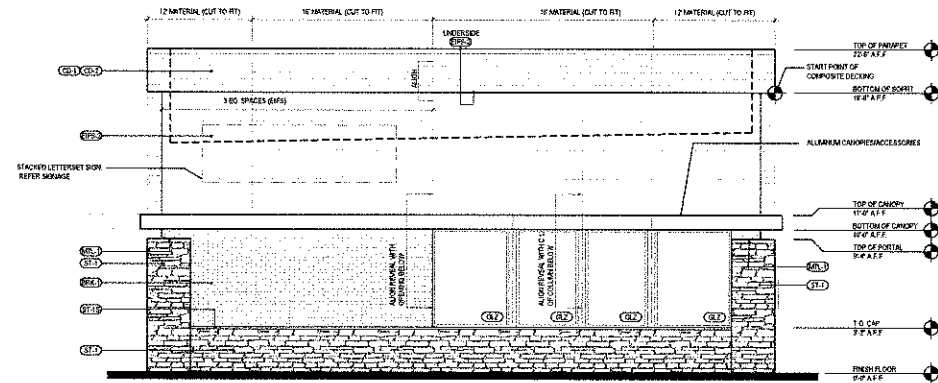
FACADE COVERAGE

	FRONT ELEV. (WEST)	REAR ELEV. (EAST)	ENTRY ELEV. (SOUTH)	DRIVE THRU ELEV. (NORTH)
BACK	12% 116 SF	34% 291 SF	100% 137 SF	20% 348 SF
001-1	30% 352 SF	44% 378 SF	100% 348 SF	40% 348 SF
002-1	18% 174 SF	7% 79 SF	14% 192 SF	18% 248 SF
003-1	73% 147 SF	6% 73 SF	14% 194 SF	11% 150 SF



EAST ELEVATION 2

Scale: 1/4" = 1'-0" A-200



WEST ELEVATION 1

Scale: 1/4" = 1'-0" A-200



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REVISIONS

NO.	DATE	DESCRIPTION

ISSUE DATE

FOR SUBMITTAL 11-04-2020

DRAWN BY:

CP

PANDA PROJECT #: 07058

ARCH PROJECT #: JCOT180453

NORR

PANDA EXPRESS

TRUE WARM & WELCOME 2000
7026 KINSLEY HIGHWAY
WILLOWBROOK, IL 60227

A-200

EXTERIOR
ELEVATIONS

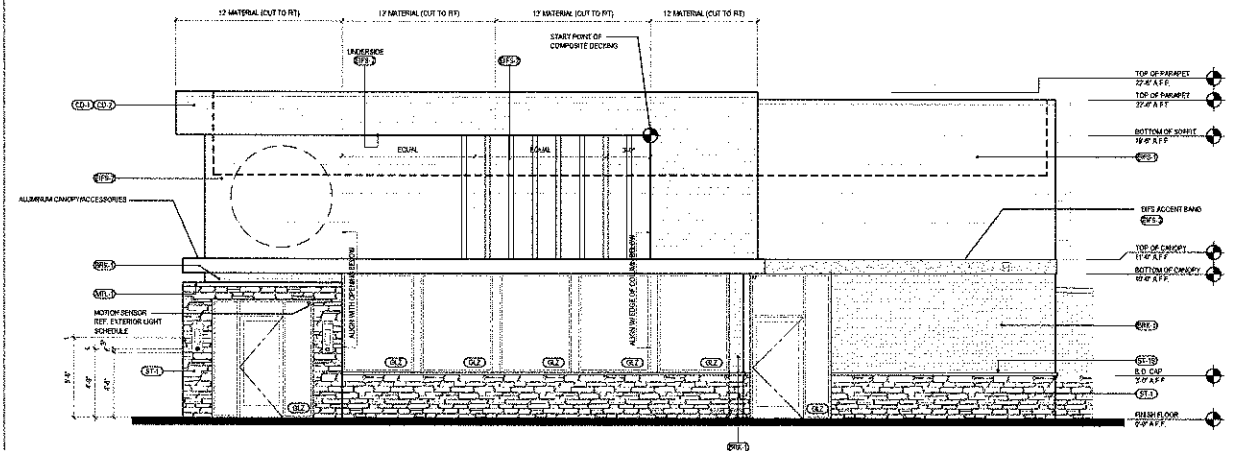
TRUE WARM & WELCOME 2000 R3

EXTERIOR FINISH SCHEDULE

NO.	MANUFACTURER	SPCF	COLOR	FINISH
001	TBO		SECRE	
002	STO	STOTHERM/ESSENCE SYSTEM	SW R48 ROCK BRUSH	FINE
003	STO	STOTHERM/ESSENCE SYSTEM	SW R48 OFFSHORE	FINE
004	STO	STOTHERM/ESSENCE SYSTEM	SW R48 MON ONE	FINE
005	CORONADO STONE PRODUCTS	900 SERIES	MON ONE	
006	CORONADO STONE PRODUCTS	INDUSTRIAL LEDGE	SHALE GREY	
007	FIBERON	HORIZON	1PE	50% MATERIAL COVERAGE - RANDOM PATTERN (MON GROOVE)
008	FIBERON	HORIZON	TUDOR BROWN	50% MATERIAL COVERAGE - RANDOM PATTERN (MON GROOVE)
009	EXCEPTIONAL METALS			"PANDA EXPRESS BRONZE"
010	CLEAR GLAZING			

FACADE COVERAGE

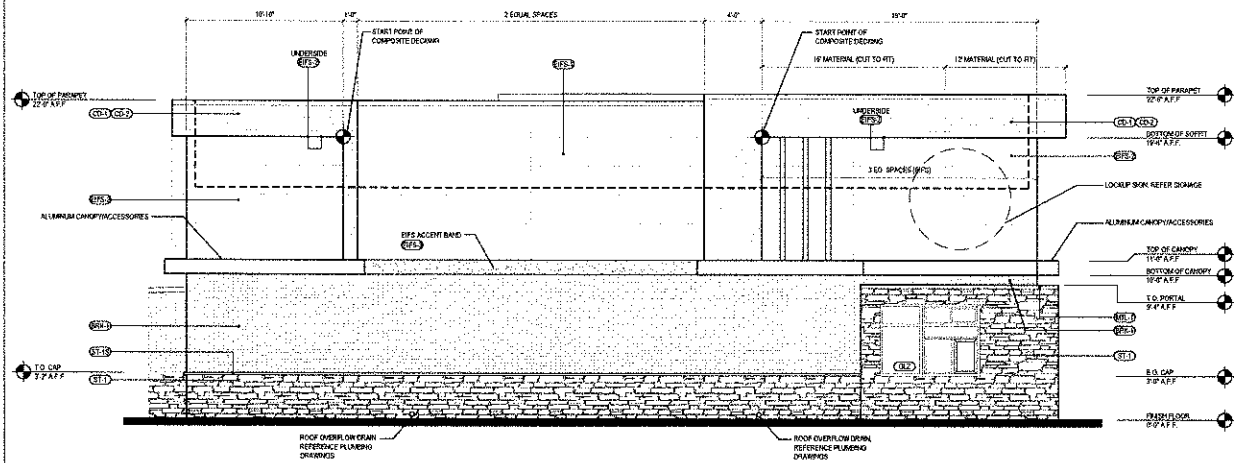
	FRONT ELEV. (WEST) 971 SF	REAR ELEV. (EAST) 854 SF	ENTRY ELEV. (SOUTH) 1,380 SF	DRIVE THRU ELEV. (NORTH) 1,305 SF
BRICK	12%	33%	10%	30%
	116 SF	282 SF	137 SF	392 SF
EPS	38%	49%	10%	40%
	362 SF	418 SF	138 SF	521 SF
STONE	19%	9%	19%	19%
	174 SF	76 SF	262 SF	248 SF
IRON/STEEL	15%	8%	14%	11%
	142 SF	68 SF	193 SF	143 SF



"SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE"

SOUTH ELEVATION 2

Scale: 1/4" = 1'-0" A-201



"SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE"

NORTH ELEVATION 1

Scale: 1/4" = 1'-0" A-201



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REVISIONS

NO.	DESCRIPTION	DATE
1	FOR SUBMITTAL	11-04-2020

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FOR SUBMITTAL 11-04-2020

DRAWN BY

CP

PANDA PROJECT # 07008

ARCH PROJECT # JC07180453

NORR

PANDA EXPRESS

TRUE WARM & WELCOME 200
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

A-201

EXTERIOR
ELEVATIONS

TRUE WARM & WELCOME 2300 RS

FACADE COVERAGE

	FRONT ELEV. (WEST) 877 SF	REAR ELEV. (EAST) 854 SF	ENTRY ELEV. (SOUTH) 1,358 SF	DRIVE THRU ELEV. (NORTH) 1,355 SF
GLAZING	12%	26%	39%	26%
	116 SF	223 SF	537 SF	358 SF
WALLS	25%	40%	19%	40%
	219 SF	342 SF	258 SF	541 SF
ROOFING	16%	8%	14%	16%
	144 SF	72 SF	193 SF	218 SF
LANDSCAPE	15%	7%	14%	17%
	132 SF	62 SF	194 SF	230 SF



PERSPECTIVE FACING SOUTHWEST 2

Scale = NTS | A-202



PERSPECTIVE FACING NORTHEAST 1

Scale = NTS | A-202



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REVISIONS

ISSUE DATE

PC SUBMITTAL 11.01.2020

DRAWN BY CP

PANDA PROJECT # 07058

ARCH PROJECT # ACOT/NO/55

NORR

PANDA EXPRESS

TRUE WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
MILLWATER, IL 60127

A-202

EXTERIOR
PERSPECTIVES

TRUE WARM & WELCOME 2300 RS



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NO.	DESCRIPTION

ISSUE DATE

PC SUBMITTAL 11-04-2020

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PANDA PROJECT # 07055
ARCH PROJECT # JCD110655

NORR

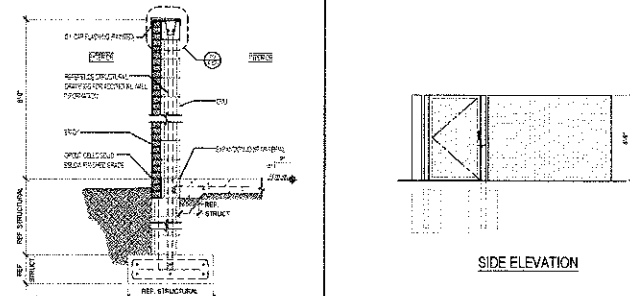
PANDA EXPRESS

TRUE WARM & WELCOME 2300
7506 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

A-300

TRASH ENCLOSURE
DETAILS

TRUE WARM & WELCOME 2300 PG

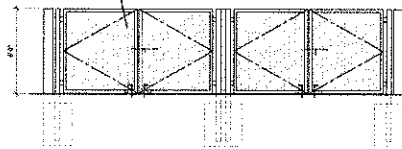


SIDE ELEVATION

TRASH ENCLOSURE WALL SECTION 4
Scale: 1/2" = 1'-0" A-300

SIDE ELEVATION 3
Scale: 1/4" = 1'-0" A-300

1.34" 18 GA CORRUGATED GALV. W/STEEL
STEEL DOORS WELDED TO FRAME. PRIME
INTERIOR ALL SIDES TO MATCH
ADJACENT SURFACE

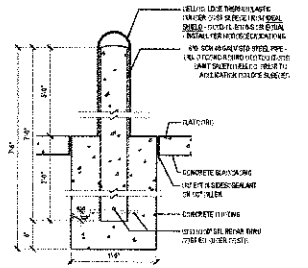


FRONT ELEVATION

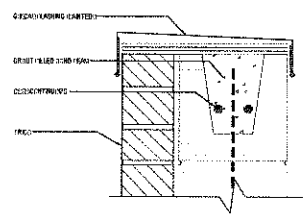
FRONT ELEVATION 2
Scale: 1/4" = 1'-0" A-300

NOTE:
DUE TO TRASH ENCLOSURE EXTERIOR CMU
WALLS TO HAVE BRICK PATTERN TO MATCH
BRICK TEXTURE - SEE A-106
TRASH ENCLOSURE WALLS AND GATE
COLOR SHALL MATCH
INTERIOR WALLS SHALL BE SMOOTH
CEMENT AND SEALED WITH AN
APPROVED EPOXY CEMENT SEALER
COLOR TO MATCH EXTERIOR

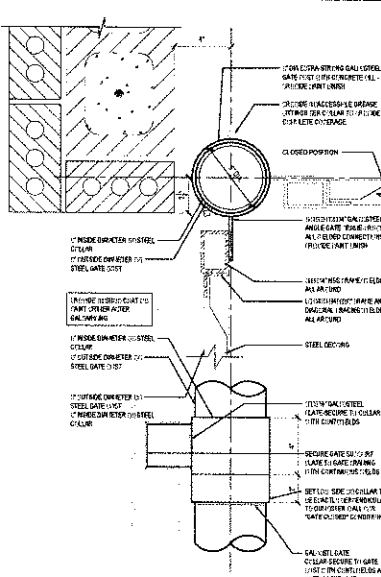
NOTE:
FLOOR OF DUMPSTER AREA MUST BE
PROOF PAVED AND SEALED WITH POLY-
URETHANE FINISH. COLOR CEMENT
SEALER



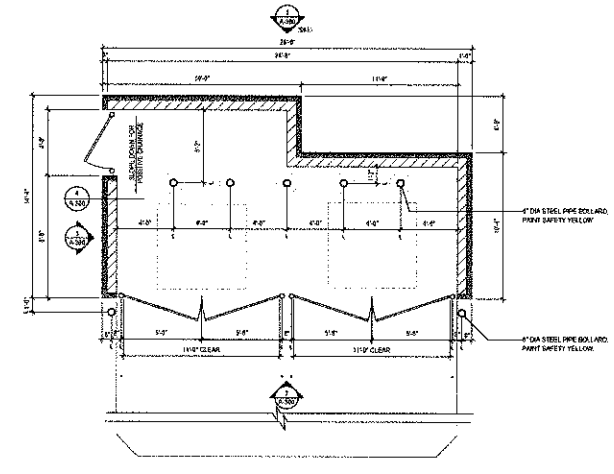
BOLLARD / POST BASE 18
Scale: 1" = 1'-0" A-300



DUMPSTER CAP DETAIL 17
Scale: 3" = 1'-0" A-300



HINGE DETAIL
Scale: 3" = 1'-0"



TRASH ENCLOSURE 1
Scale: 1/4" = 1'-0" A-300



Proposed Sign Package
Willowbrook, IL
7505 S. Kingery
D7058

12.19.2018

Revisions:

01.07.2019		Added new site plan, removed rear and drive thru wall signs
01.08.2019		Added new site plan, added S8, added new elevations
03.04.2019		Added new site plan and changed S2 placement
03.12.2019		Added new site plan and added signs
03.27.2019		Removed short storefront lockup logo and drive thru left side lockup logo
03.28.2019		Added new site plan
10.30.2020		Added new site plan
11.02.2020		Adjusted code balances for S3, S4, S9
12.16.2020		Added S11
01.19.2021		Revised size of D8 faces, added brick base to monument

C59897

Code Summary

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	STACKED RED LETTERSET	2'-6"	13'-5 1/2"	320	53.19	266.81
S2	ENTRANCE	LOCKUP LOGO	6'-0"	6'-0"	266.81	36	230.81
S3	BUILDING REAR	LOCKUP LOGO	6'-0"	6'-0"	230.81	36	194.81
S4	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	194.81	36	158.81
S9	STREET	MONUMENT	12'-0"	6'-0"	158.81	72	86.81

NOTE: Exception required for two additional wall signs

Code Allowance

1.25 sq ft X 256 = 320 sq ft
allowed for entire lot.

Elevation

Allowed

Long Storefront 320 aggregate
Short Storefront 320 aggregate

Elevation

Allowed

Drive Thru 320 aggregate
Rear 320 aggregate



Revisions:

Removed S3 & S4 / KB / 1.7.19

Added red note / KB / 3.4.19

Added new signs / KB / 3.13.19

Removed S2 and S3 / KB / 3.27.19

Added illuminated cabinets (10/30/20) PB

Adjusted code balances / PV / 11.02.2020

X

File Location:

Drive/Clients/

STND

CSTM

☐ AS

☐ CR

☒ EN

Date: 12.19.2018

Designer: KB

PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

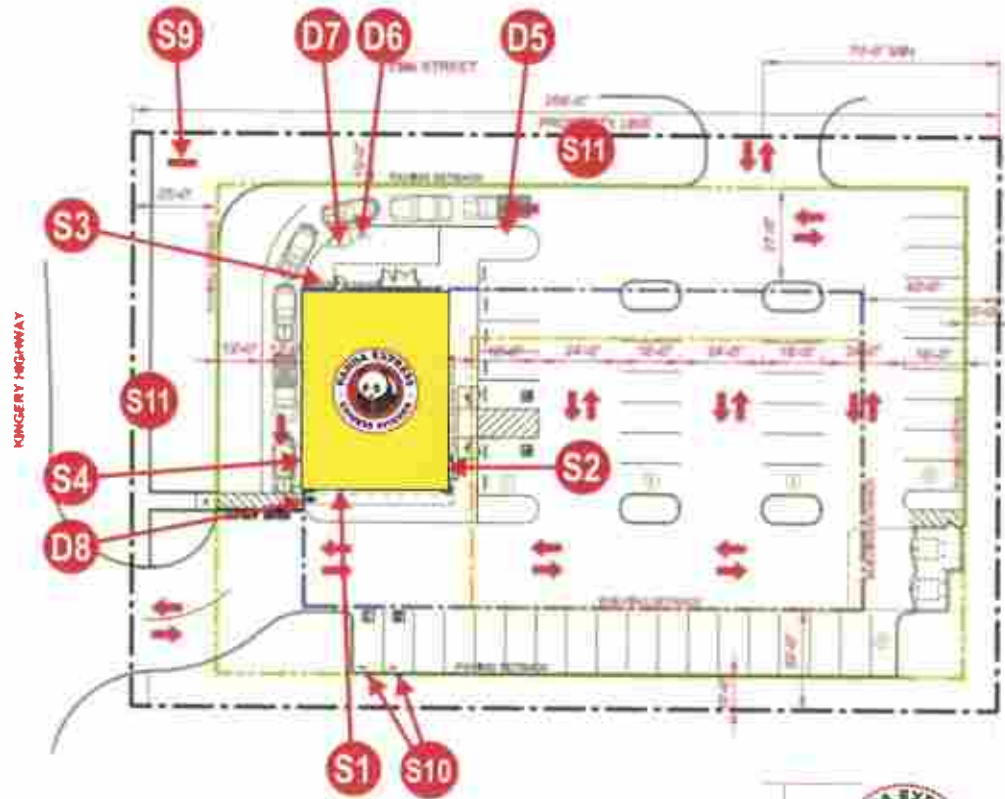
Drawing #

C59897 - 6

OE #

12/20/18

Site Plan



PANDA
EXPRESS

S1 2'-6" stacked red letterset

S2

S3

S4



6' Lock Up Logo



D5



D6



D7



D8

3'-6"



12'-0"

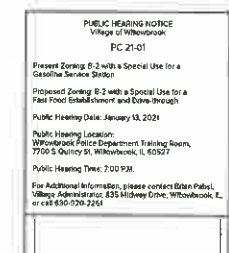
S9

Monument



S10

S11



Revisions:

Added new site plan / KB / 3.13.19

Added new site plan / KB / 1.7.19

Added new site plan / KB / 1.8.19

Added new site plan / KB / 3.4.19

Added new site plan / KB / 3.13.19

Removed S2 and S3 / KB / 3.27.19

Added new site plan / KB / 3.28.19

Added new site plan (10/30/20) PB

File Location:

Drive/Clients/

STND

CSTM

☐ AS

☐ CR

☐ EN

Date: 12.19.2018

Designer: KB

PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

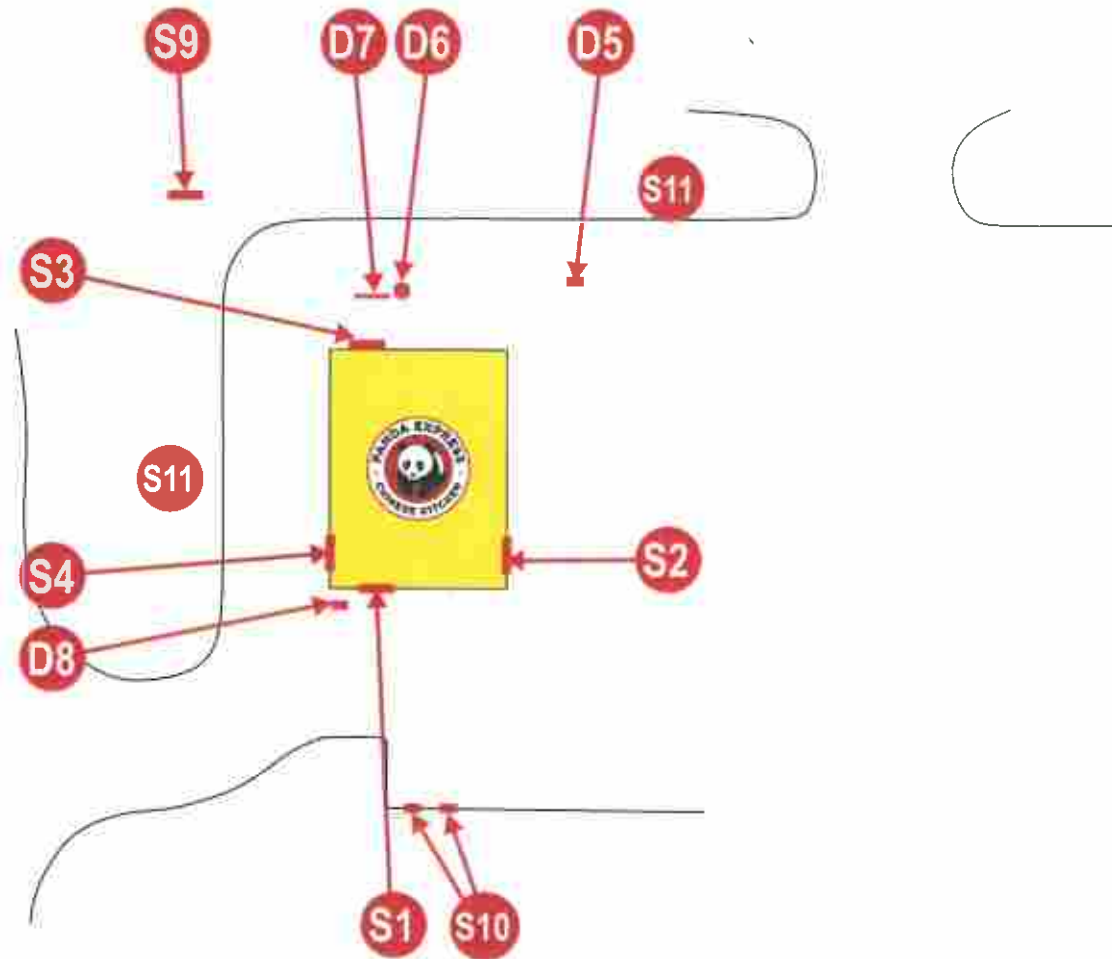
Drawing #

C59897-7

OE #

1/20/2021

Site Plan



Revisions:

Added new site plan / KB / 1.7.19
Added new site plan / KB / 1.8.19
Added new site plan / KB / 3.4.19

Removed S2 and S3 / KB / 3.27.19
Added new site plan / KB / 3.28.19
Added new site plan (10/30/20) PB
X

File Location:
Drive/Clients/

STND
CSTM

☐ AS ☐ CR ☐ EN

Date: 12.19.2018

Designer: KB PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

Drawing #

OE #

C59897-6

12/23/19

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	STACKED RED LETTERSET	2'-6"	13'-5 1/2"	320	53.19	266.81



Revisions:

Added new elevation / KB / 1.8.19
X
Added S2 / KB / 3.13.19
X
Removed lockup logo, made letters red / KB / 3.27.19
X

Added new elevation (10/30/20) PB

X

X

X

File Location:
Drive/Clients/

STND
CSTM

AS CR EN

Date: 12.19.2018

Designer: KB PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

Drawing #

C59897-4

OE #

120390

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S2	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	205.81	36	169.81



Revisions:

Added new elevation / KB / 1.8.19
 Changed to drive thru elevation / KB / 3.4.19
 Added S3 & S4 / KB / 3.13.19

Removed 5' lockup logo on left / KB / 3.27.19

Added new elevation (10/30/20) PB

X

X

File Location:
 Drive/Clients/

STND
 CSTM

AS CR EN

Date: 12.19.2018

Designer: KB PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

Drawing #

OE #

C59897-5

12/20/18

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S3	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	230.81	36	194.81



Revisions:

Revised code balance | PV | 11.02.2020

x
x
x

x
x
x

File Location:
Drive/Clients/

STND
CSTM

AS CR EN

Date: 10.30.2020

Designer: PB PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

Drawing #

C59897-1

OE #

100000

Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S4	DRIVE THRU	LOCKUP LOGO	6'-0"	6'-0"	194.81	36	158.81

Revisions:

Revised code balance | PV | 11.02.2020

x
x
x

File Location:
Drive/Clients/

STND
CSTM

AS CR EN

Date: 10.30.2020

City/State: Willowbrook, IL

Designer: PB PM: MC

Address: 7505 S. Kingery

Drawing #

C59897-1

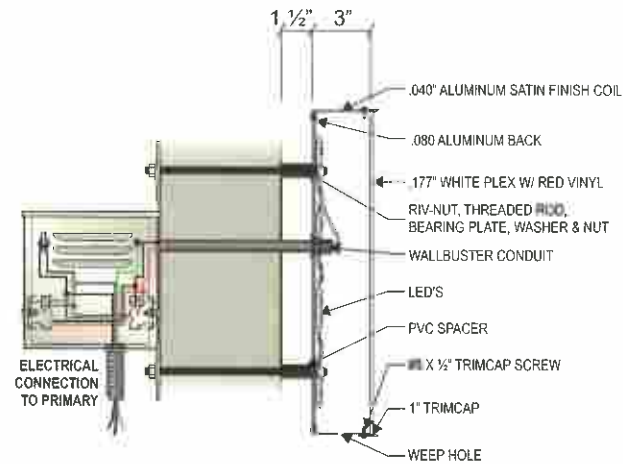
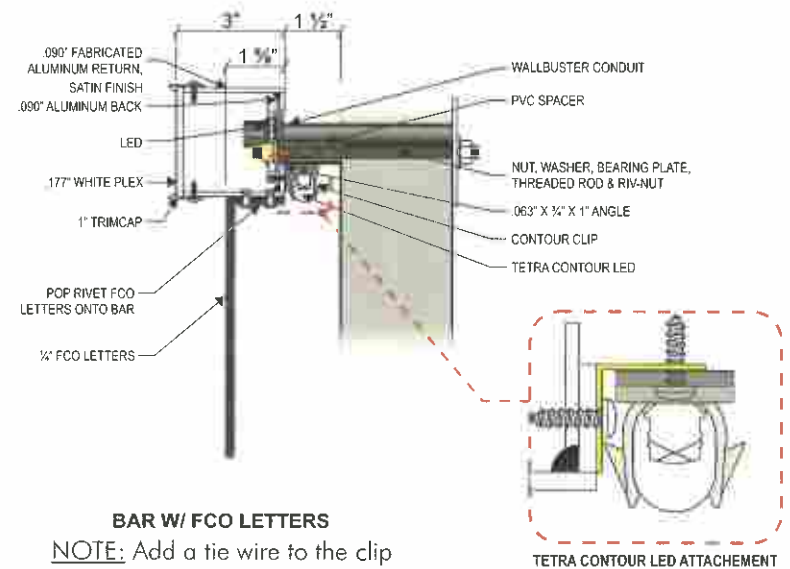
OE #

12/2/20

S1

Red Face-Lit Letterset - Qty: 1

Install new face-lit illuminated letterset pin-mounted to wall with aluminum FCO tagline.

**DUAL LIT CHANNEL LETTER****BAR W/ FCO LETTERS**

NOTE: Add a tie wire to the clip that holds the LED strip in

GENERAL SPECIFICATIONS:**FACE-LIT LETTERS:**

FACES..... .177" WHITE #7328 PLEX W/ 1ST SURFACE 3M #3630-33 RED

TRIMCAP.... 1" BLACK

RETURNS.. .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C, SATIN FINISH

BACKS..... .080" ALUMINUM

BAR W/ FCO LETTERS:

FACES......177" WHITE #7328 PLEX

TRIMCAP.....1" WHITE

RETURNS.....125" X 3" FABRICATED WHITE COIL RETURN, SATIN FINISH

BACKS......090" ALUMINUM, INTERIOR PAINTED WHITE

DOWNLIGHT....063" BRAKE FORMED ALUMINUM BOX BEHIND THE BAR WITH DOWNLIGHT LENS AND WHITE LED'S

EXPRESS.....25" FCO ALUMINUM LETTER PAINTED TO MATCH BLACK 7C SATIN FINISH



	A	B	C	D	E	F	SF (F x D)
PE-CL-30R	2'-6"	13'-5 1/2"	9 1/8"	7'-7 11/16"	2 13/16"	3'-11 1/4"	53.19



Revisions:	x
x	x
x	x
x	x

File Location:	STND
Drive/Clients/	CSTM
AS	CR
EN	

Date: 10.30.2020

City/State: Willowbrook, IL

Designer: PB

PM: MC

Address: 7505 S. Kingery

Drawing #

C59697

OE #

10/30/20

S2

Face Illuminated Lockup Logo - Qty: 1

S3

Install new face-lit lockup logo as shown

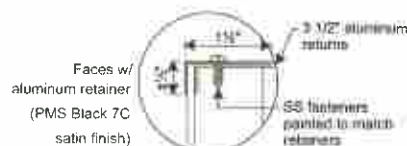
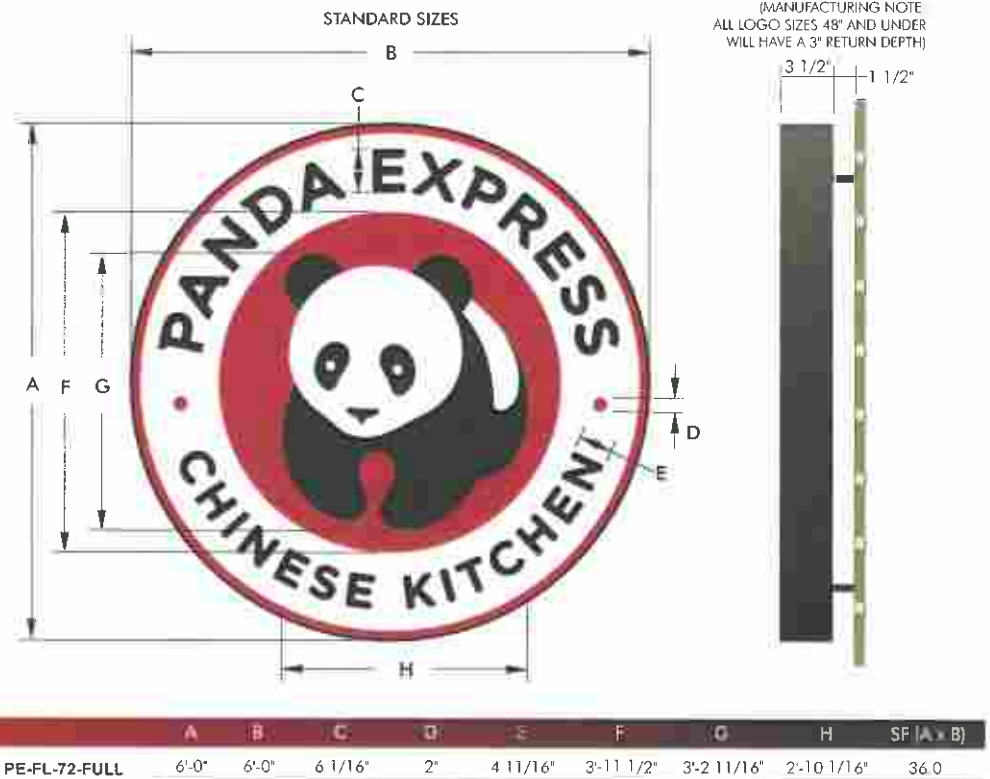
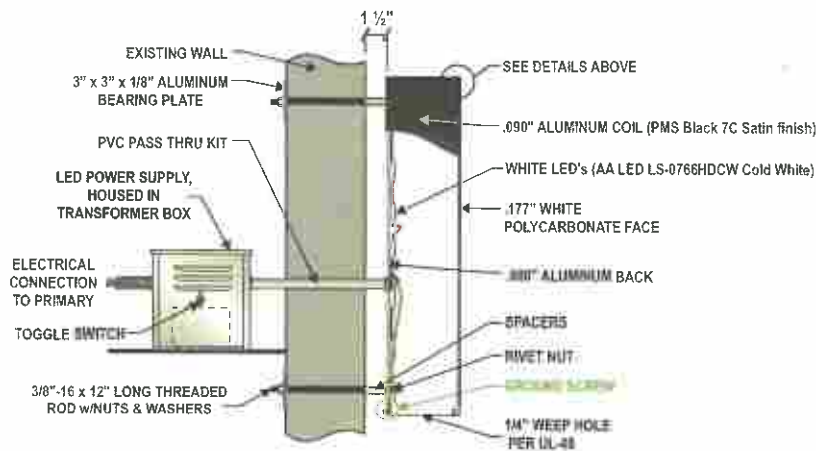
S4

GENERAL SPECIFICATIONS:

FACES:..... 177" WHITE POLYCARBONATE W/APPLIED VINYL GRAPHICS

RETAINER: 1" BLACK TRIMCAP / 1 1/2" ALUMINUM RETAINER (SEE DETAILS BELOW)

RETURNS: 040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C SATIN FINISH

COLOR SPECIFICATIONS FOR FACE**4'-0" AND OVER LOGO****Revisions:**

x		x
x		x
x		x
x		x

File Location:
Drive/Clients/STND
CSTM

Date: 10.30.2020

City/State: Willowbrook, IL

Designer: PB PM: MC

Address: 7505 S. Kingery

Drawing #

C59897

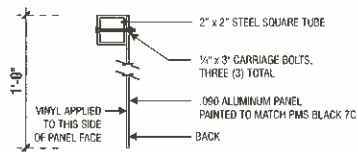
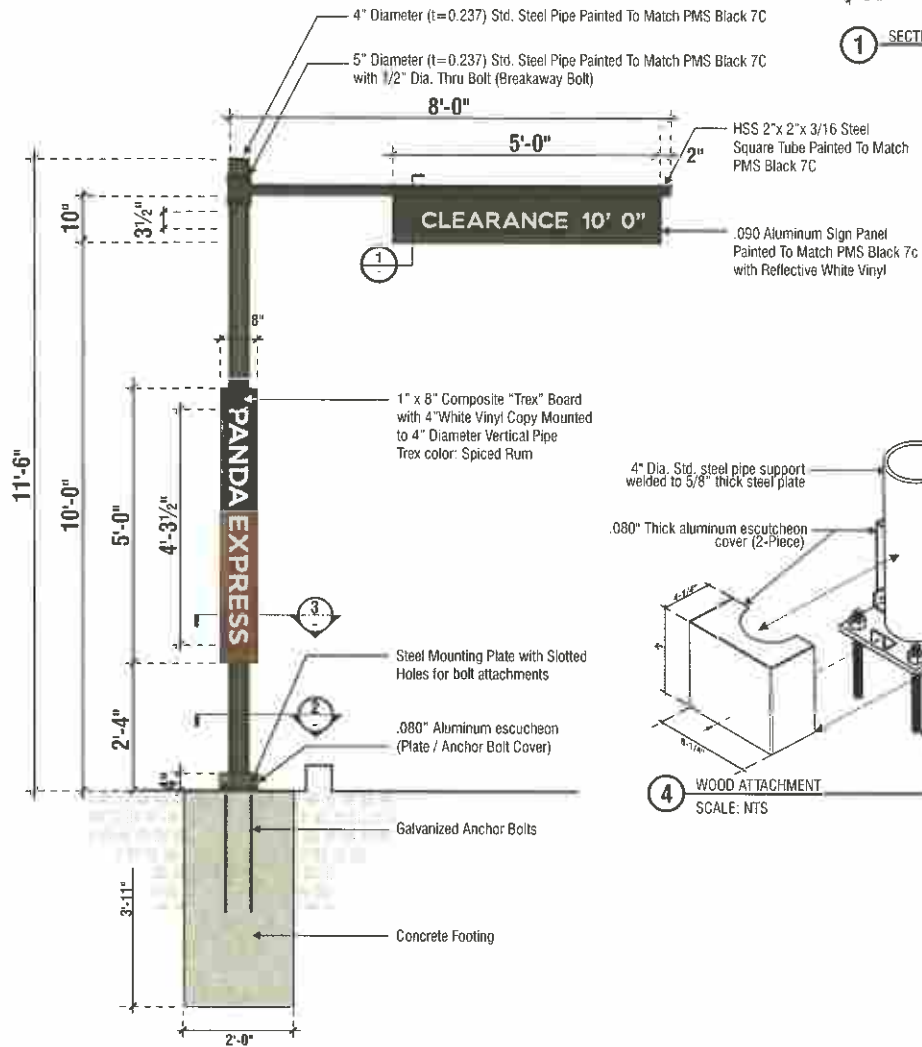
OE #

120390

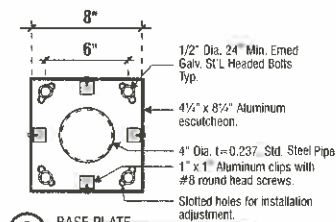
D5

DT-L Clearance Bar - (Qty: 1)

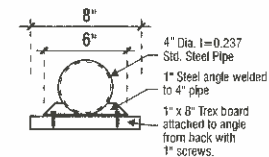
Install new DT-L Clearance Bar sign. Refer to site plan for exact location.



SECTION DETAIL



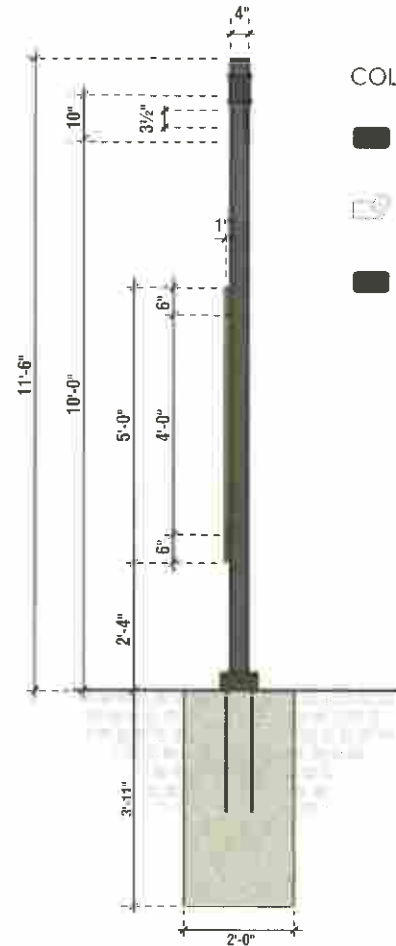
② RASF PI ATF



3 WOOD ATTACHMENT

COLOR SPECIFICATIONS

- Painted to match PMS Black 7C
- Arlon #4100-02
Reflective White Film
- Composite "Trex" Board



SIDE VIEW - NON-ILLUMINATED CLEARANCE BAR




SCALE: 1:40

J NON-ILLUMINATED CLEARANCE BAR
QUANTITY: ONE (1) SET REQUIRED

SCALE: 1:40

Revisions:	X
X	X
X	X
X	X

File Location: STND ____
Drive/Clients/ CSTM ____

 AS  CR  EN

Date: 10.30.2020	City/State: Willowbrook, IL
Designer: PB PM: MC	Address: 7505 S. Kingery

Drawing #	C59897
OE #	130304

D6

DT COD Canopy - (Qty: 1)

Install new DT COD Canopy per site plan for exact location.

REFER TO CONSTRUCTION DRAWINGS FOR EXACT FOUNDATION & MANUFACTURING SPECIFICATIONS

COLOR SPECIFICATIONS

Trex Board
<https://www.lowes.com/pd/Trex-Transcend-12-ft-Spiced-Rum-Composite-Fascia-Deck-Board/1000712838>

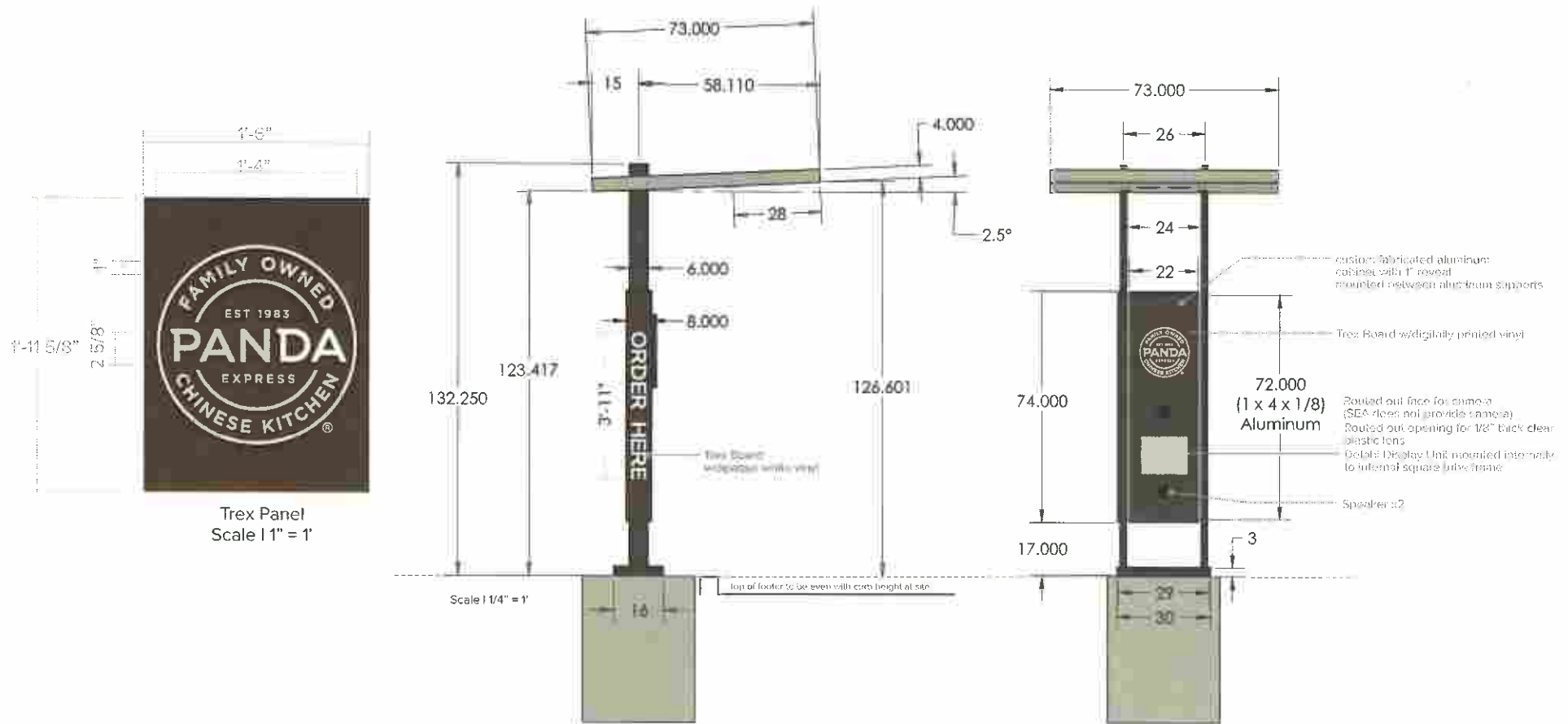
☐ Clear Vinyl Digitally Printed (FAMILY SEAL)

☐ Opaque White Vinyl (ORDER HERE TEXT ONLY)

CABINET CANOPY PAINT COLORS

■ Aluminum painted to match PMS Black 7C

Aluminum painted to match Matthews Brushed Silver



Revisions:	
x	x
x	x
x	x

File Location: STND ____
Drive/Clients/ CSTM ____

Date: 10.30.2020

Designer: PB PM: MC

City/State: Willowbrook, IL

Address 7505 S. Kingery

Drawing # C59897

OE #	120390
------	--------

D7

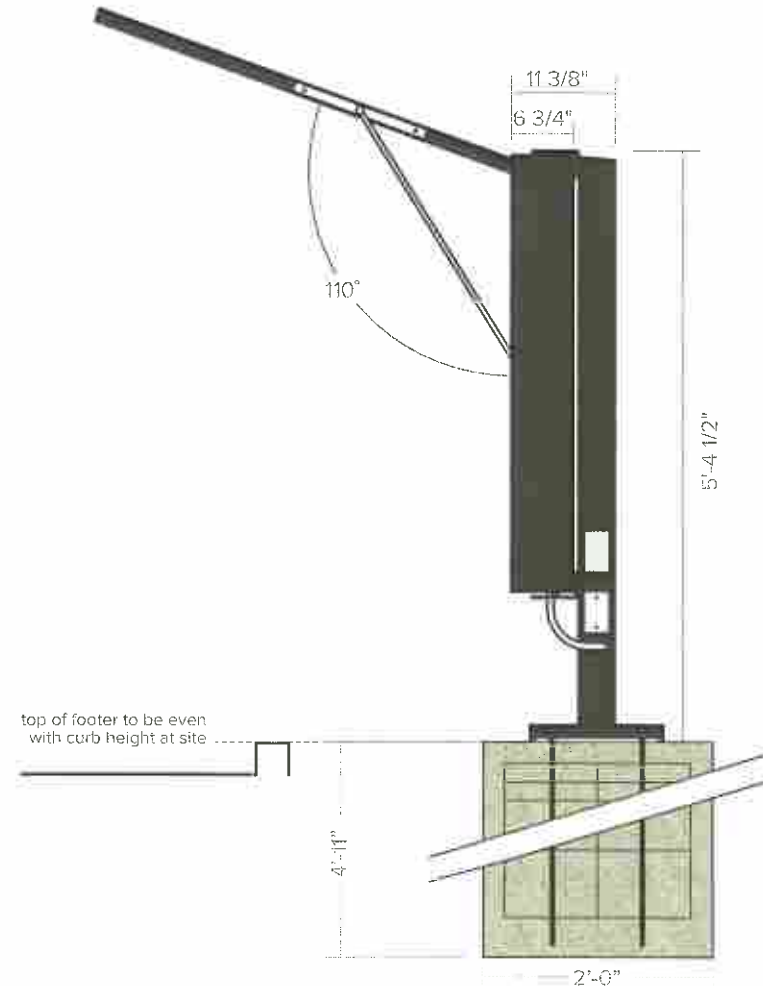
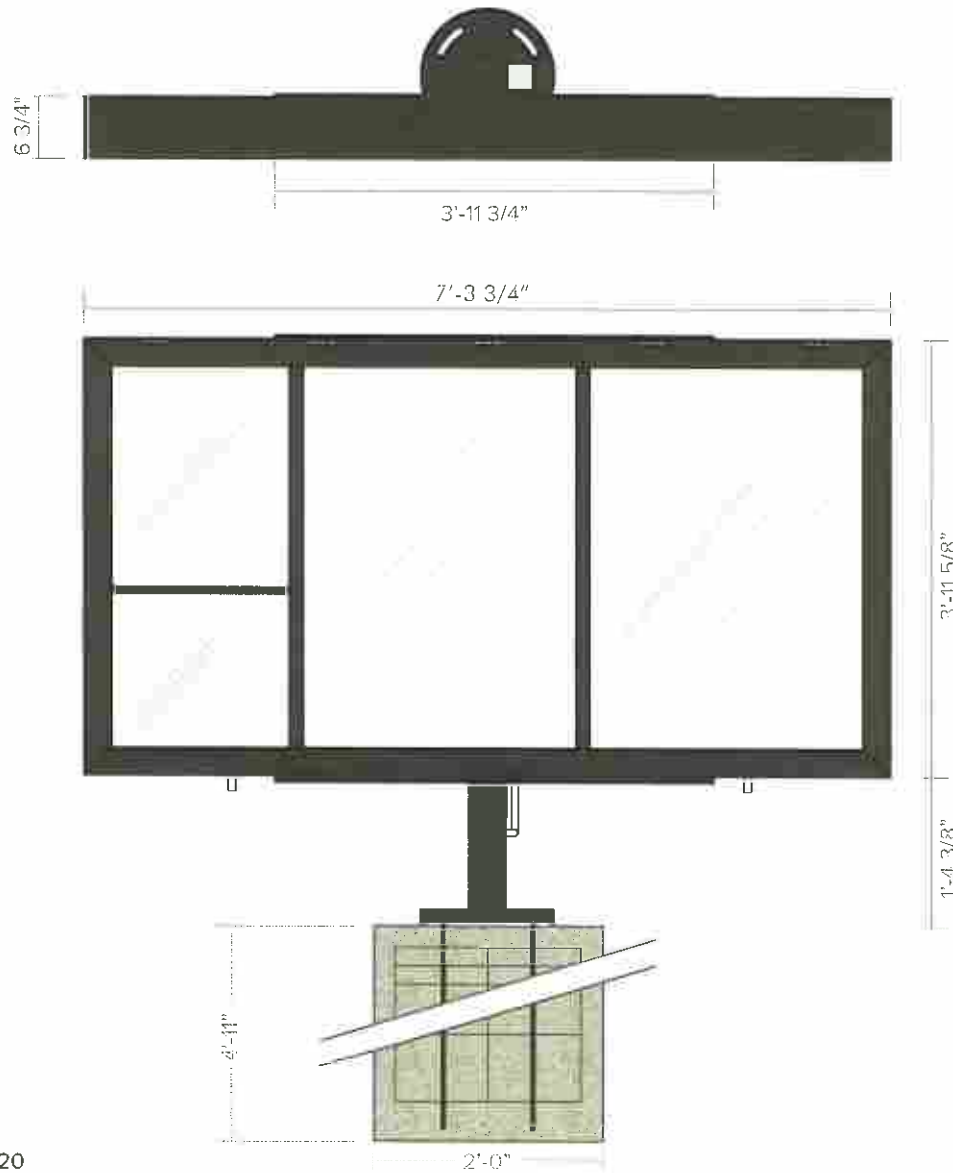
DT Menu Board - (Qty: 1)

Install new DT Menu Board. Refer to site plan for exact location.

COLOR SPECIFICATIONS

MAIN CABINET

Painted to match PMS Black 7C



Scale 1:20



Revisions:	
x	
x	
x	
x	

File Location:	STND
Drive/Clients/	CSTM
AS	CR
EN	

Date:	10.30.2020
Designer:	PB
PM:	MC

City/State:	Willowbrook, IL
Address:	7505 S. Kingery

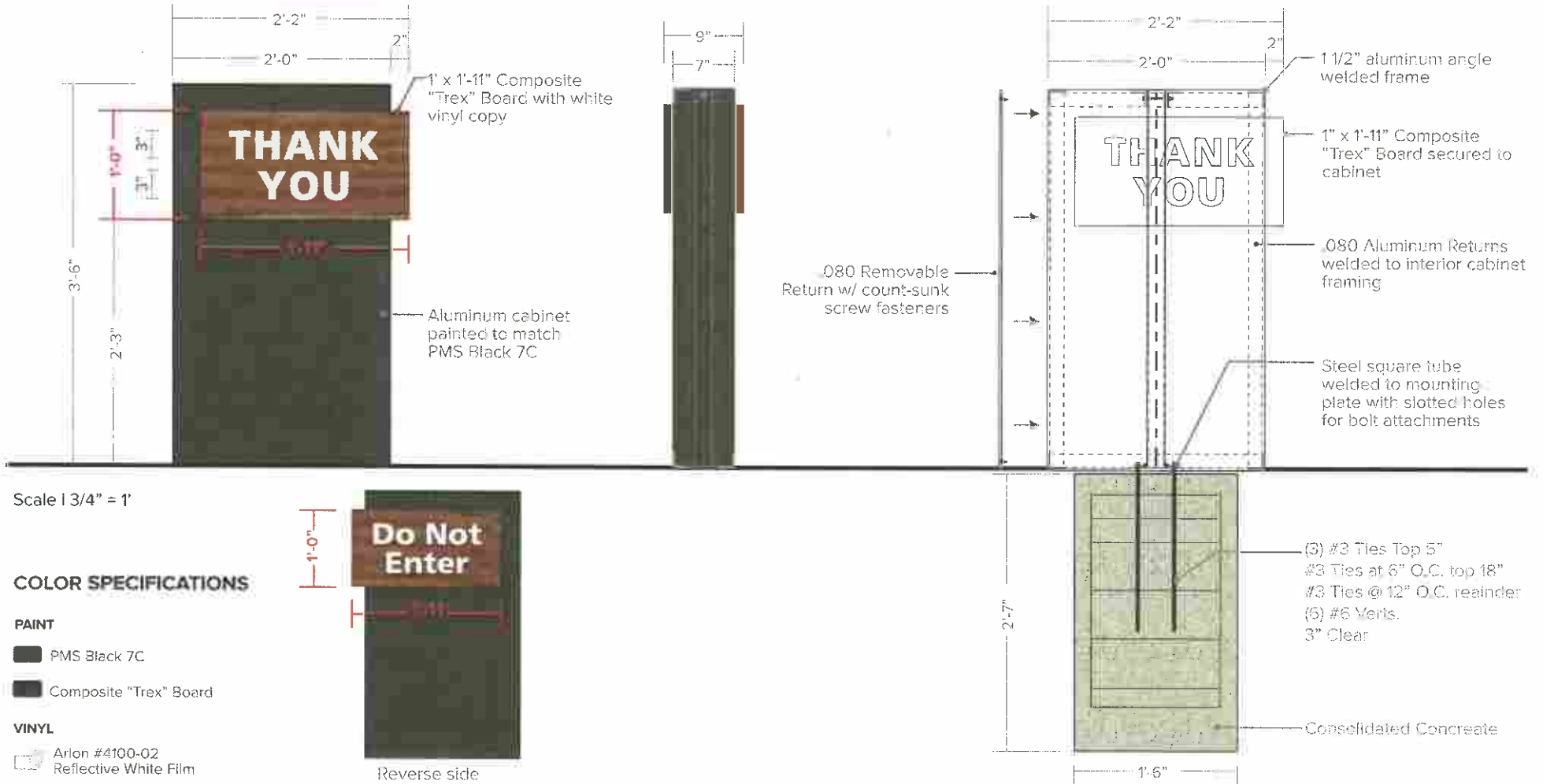
Drawing #	C59897
OE #	123456

D8

Non-Illuminated Directional - (Qty: 1)

Install new non-illuminated directional. Refer to site plan for exact location.

1'-0" x 1'-11" = 1.92 sq.ft.
1.92 sq.ft. x 2 = **3.84 sq. ft. total**



Revisions:

Calculated face sq ft - KB - 119.21

x

x

x

x

x

x

x

File Location:

Drive/Clients/

STND

CSTM

AS

CR

EN

Date: 10.30.2020

Designer: PB

PM: MC

City/State: Willowbrook, IL

Address: 7505 S. Kingery

Drawing #

C59897-1

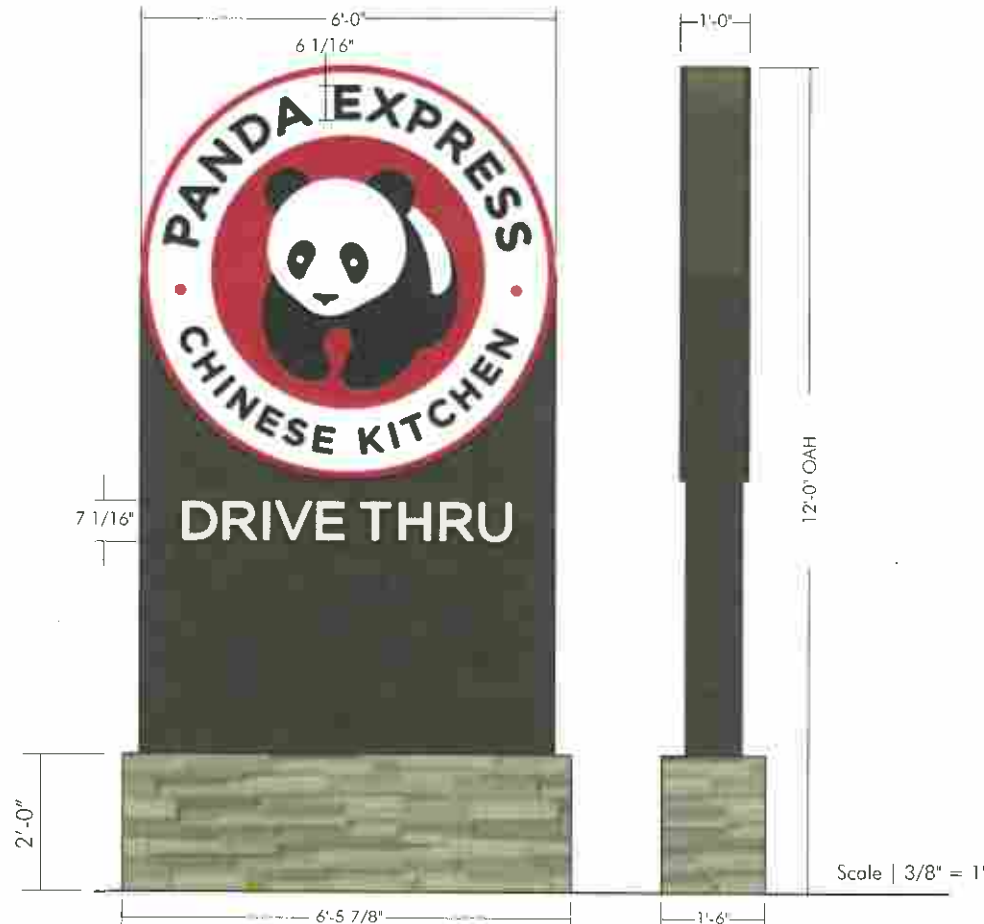
OE #


11/10/20

S9

Custom Illuminated Monument - (Qty: 1)

Install new internally illuminated double-faced monument sign.
Refer to site plan for exact location.
Sign is custom due to height.


**COLOR SPECIFICATIONS****TOP CLADDING**

 .080" Aluminum sign cladding
Color: To match PMS Black 7C

RETAINER

 .080" Routed aluminum ring with .040" welded return
Color: To match PMS Black 7C *on return edge only*
To match PMS 711C on face

FACE

 .125" Routed aluminum cladding
Color: To match PMS Black 7C

BASE/SKIRT

 Brick to match building

ILLUMINATED PANDA LOGO

 Bayer Makrolon .77"
#7328 White LD Polycarbonate

 3M Scotchcal #3630-33 Red film

 3M #3630-22 Black film

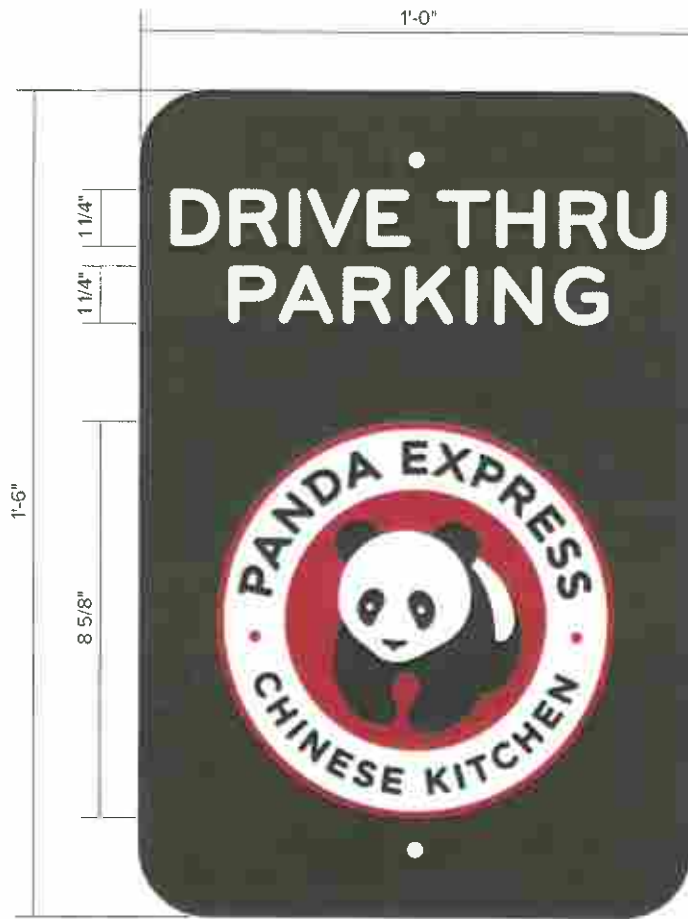
"DRIVE THRU" COPY

 Bayer Makrolon .77"
#7328 White LD Polycarbonate

S10

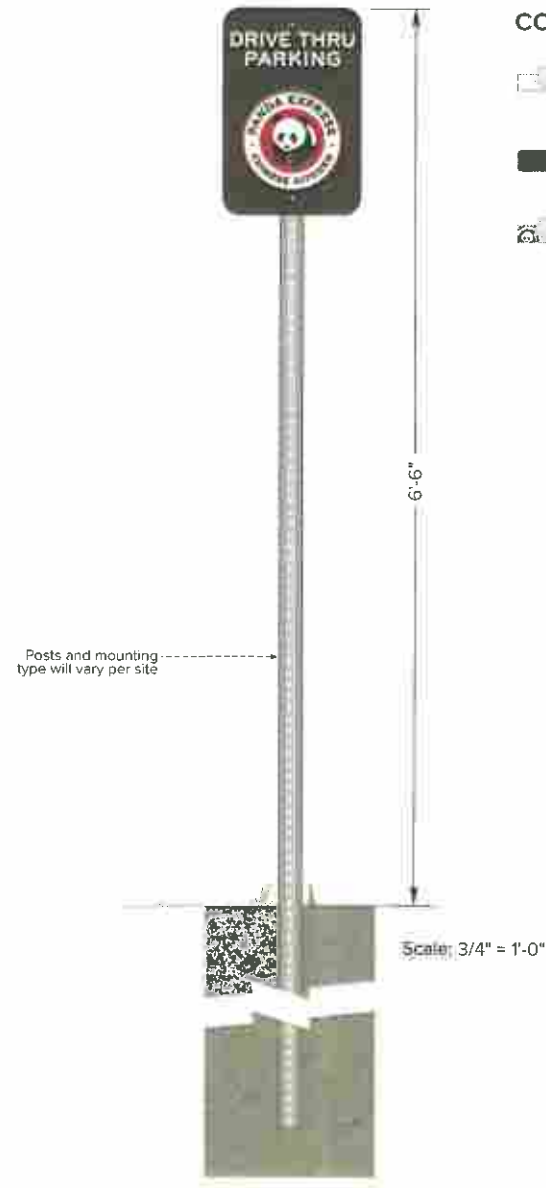
Aluminum Parking Panel - (Qty: 2)

Install new aluminum parking panels to existing posts OR with new posts.
Refer to site plan for exact location.
Verify ground mounting type.



Scale | 1:4

PE-Park-DT



COLOR SPECIFICATIONS

-  3M #680-10 White Scotchlite reflective vinyl
-  Background printed to match FMS Black 7C
-  Digitally printed graphics



Revisions:	X
Revised copy / KB / 3.27.19	X
X	X
X	X

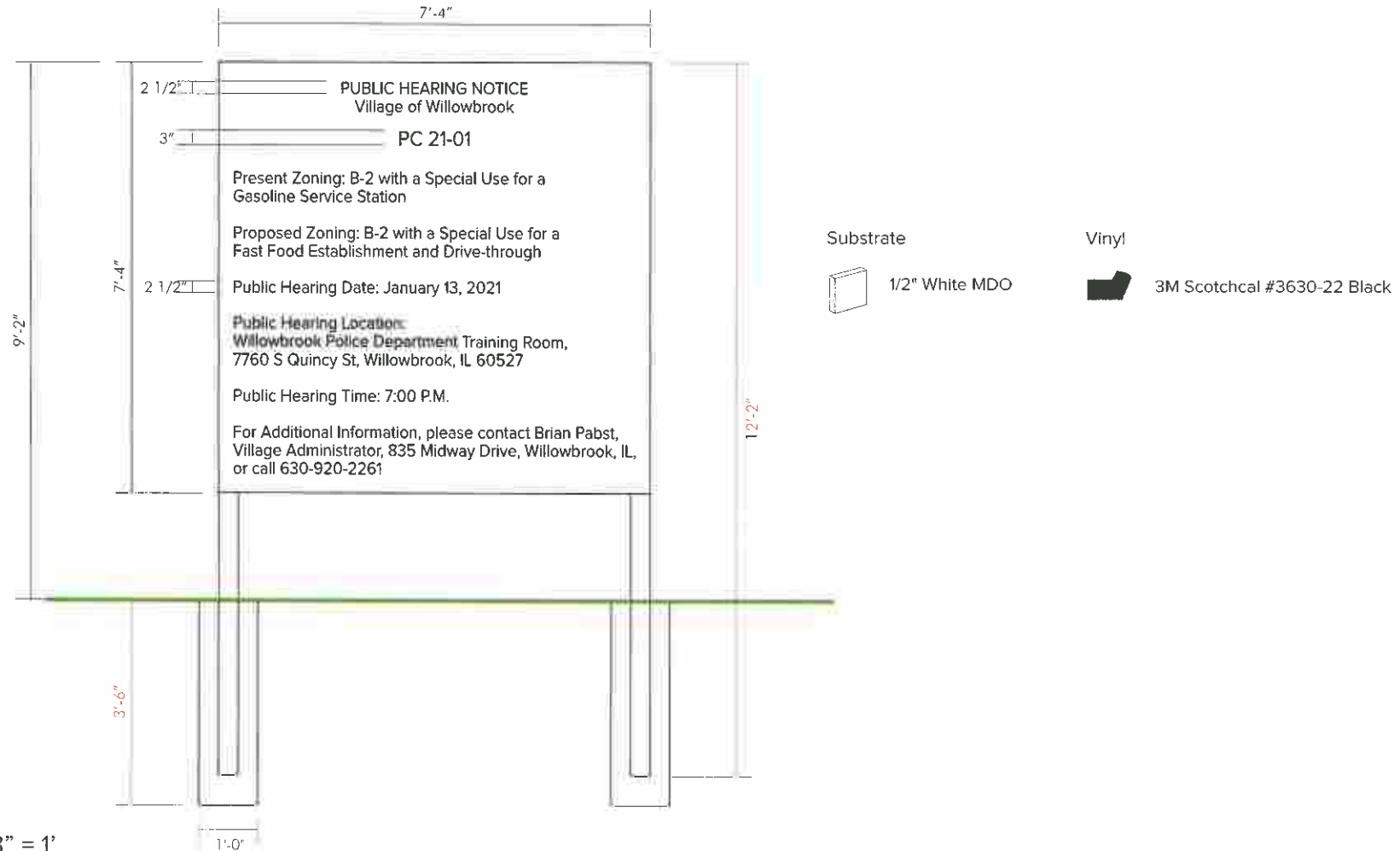
File Location:	STND
Drive/Clients/	CSTM
AS	CR
EN	

Date: 12.19.2018	City/State: Willowbrook, IL	Drawing #	C59897-1
Designer: KB	PM: MC	Address: 7505 S. Kingery	OC # 120390

S11

Custom S/F Post and Panel Sign (Qty. 2)

Install new custom s/f post and panel signs as shown. 4" square wood posts painted white with 1/2" thick white MDO panel with black vinyl graphics applied. Faces to be screw mounted to posts. Direct bury.



Revisions:	X
Added to book - KB 12.16.2020	X
X	X
X	X

File Location:	STND
Drive/Clients/	CSTM
<input type="checkbox"/> AS	<input checked="" type="checkbox"/> CR
<input type="checkbox"/> EN	

Date: 12.19.2018
Designer: KB PM: MC

City/State: Willowbrook, IL
Address: 7505 S. Kingery

Drawing # **C59897**
OE # 120090



WILLOWBROOK PANDA EXPRESS

PANDA PROJECT #D7058

7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

FINAL ENGINEERING PLANS

DEVELOPMENT TEAM

CURRENT OWNER
TRUE NORTH ENERGY, LLC
10348 BRECKSVILLE ROAD
BRECKSVILLE, OH 44141
PHONE: (440) 792-4200
CONTACT: RYAN HOWARD

DEVELOPER
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMead, CA 91770
PHONE: (847) 477-5125
FAX: (626) 372-8288
CONTACT: HAKIM YALA

CIVIL ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT
ATWELL, LLC
1250 EAST DIEHL ROAD, SUITE 300
NAPERVILLE, IL 60563
PHONE: (630) 577-0800
FAX: (630) 577-0900
CONTACT: BRIAN STYCK, P.E.

ARCHITECT
NORR
150 W. JEFFERSON AVENUE, SUITE 1300
DETROIT, MI 48226
PHONE: (313) 324-3085
CONTACT: DINA MEKAWY

GOVERNING AGENCIES & UTILITY CONTACTS

MUNICIPALITY/ZONING
VILLAGE OF WILLOWBROOK
835 MIDWAY DRIVE
WILLOWBROOK, IL 60527
PHONE: (630) 920-2233
CONTACT: ANN CHOI

SOIL EROSION/STORMWATER
ENGINEERING DEPARTMENT
835 MIDWAY DRIVE
WILLOWBROOK, IL 60527
PHONE: (630) 920-2238
CONTACT: DAN LYNCH

WATER SEWER
VILLAGE OF WILLOWBROOK WATER
DIVISION
835 MIDWAY DRIVE
WILLOWBROOK, IL 60527
PHONE: (630) 920-2238
CONTACT: ANDREW PASSERO

SEWER
DUPAGE COUNTY PUBLIC WORKS
421 N. COUNTY FARM ROAD
WHEATON, IL 60187
PHONE: (630) 407-6800
CONTACT: EDWARD BUGA

ELECTRIC
COMMON WEALTH EDISON
PHONE: 1 (877) 429-6331

GAS
NICOR - WATCH AND PROTECT
REPRESENTATIVE
PHONE: (847) 344-0111
CONTACT: RAHUL

TELEPHONE
AT&T
PHONE: (630) 573-5687
CONTACT: ROBERT GILBERT

COMCAST
PHONE: (224) 229-5849
CONTACT: ROBERT STROLL

PANDA EXPRESS STANDARD NOTES:

- THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC. DATED 12/28/2020 AND ANY SUBSEQUENT ~~REVISIONS~~ IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO: NCS-968541-CLE
COMMITMENT DATE: AUGUST 28, 2020

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4, THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4, THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

BENCHMARKS:

SOURCE BENCHMARK:

NGS 0135 - PD (DK3296)

TO REACH THE STATION FROM THE INTERSECTION OF SR 83 AND PLAINFIELD ROAD, GO EAST ALONG PLAINFIELD ROAD FOR APPROXIMATELY 0.5 MI (0.8 KM) TO THE STATION ON THE RIGHT. THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET.

THE STATION IS 70.0 FT (21.3 M) SOUTH OF THE CENTERLINE OF PLAINFIELD ROAD AND 38.5 FT (11.7 M) EAST OF THE CENTERLINE OF MADISON STREET. THE MONUMENT IS A 3/8" INCH (9.5 CM) BRASS DISK ON THE BASE OF A TRAFFIC SIGNAL, 0.8 FT (0.2 M) ABOVE GRADE.

ELEVATION: 732.18 (NAVD 88)

SITE BENCHMARKS AND CONTROL

BM #204

SET BENCHMARK ON THE SOUTHERLY BOLT, UNDER THE WORD "CITY" ON A HYDRANT ON THE SOUTH SIDE OF 75TH STREET, 308' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY. ELEVATION: 719.58 (NAVD 88)

CONTROL #1

SET CAPPED IRON ROD AT THE SOUTHEAST CORNER OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY. 15' SOUTHEAST OF A TRAFFIC SIGNAL AND 18' EAST OF THE BACK OF CURB OF ROUTE 83.

N: 18525689.52 (NAD 83)

E: 1090379.82 (NAD 83)

CONTROL #2

SET CUT "X" IN A CONCRETE SIDEWALK ON THE EAST SIDE OF ROUTE 83, ROBERT KINGERY HIGHWAY, 235' SOUTH OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY. 26' EAST OF THE BACK OF CURB OF ROUTE 83.

N: 1852417.41 (NAD 83)

E: 1090392.03 (NAD 83)

CONTROL #5

SET CUT "X" IN A CONCRETE SIDEWALK ON THE SOUTH SIDE OF 75TH STREET, 315' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, AND 7' NORTH OF A FIRE HYDRANT.

N: 1852623.35 (NAD 83)

E: 1090603.32 (NAD 83)

SITE INFORMATION:

THESE MARKED WITH AN asterisk VARY FROM THE VILLAGE CODE AND WILL REQUIRE A VARIANCE

JURISDICTION: VILLAGE OF WILLOWBROOK
ZONING DISTRICT: B-2 COMMUNITY SHOPPING

SITE AREA CALCULATIONS:

TOTAL SITE AREA	1.0 ACRES
PERVIOUS AREA	0.29 ACRES
IMPERVIOUS AREA	0.71 ACRES

RESTAURANT BUILDING AREA	2,300 SF
TRASH ENCLOSURE AREA	307 SF
TOTAL BUILDING AREA	2,607 SF

MIN. LOT AREA	REQUIRED	PROVIDED
MIN. LOT WIDTH	2.0 ACRES	1.00 ACRES (43,561 SF)
MIN. LOT DEPTH	200'	170'
		256.24'

MAX. LOT COVERAGE	50%	6.0%
MAX. BUILDING HEIGHT	30'	23'
MAX. FLOOR AREA RATIO	0.30	0.06

EXISTING BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	60'	61.5'
ROUTE 83 (WEST)	100'	100'
SIDE EXTERIOR (NORTH)	40'	52.2'
SIDE INTERIOR (SOUTH)	100'	56.7'
REAR (EAST)	30'	127.5'

PROPOSED BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	60'	50.0'
ROUTE 83 (WEST)	100'	50.0'
SIDE EXTERIOR (NORTH)	60'	43.4'
SIDE INTERIOR (SOUTH)	30'	63.6'
REAR (EAST)	40'	162.8'

PARKING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	25'	25'
SIDE EXTERIOR (NORTH)	15'	15'
SIDE INTERIOR (SOUTH)	10'	10'
REAR (EAST)	10'	10.3'

DRIVE AISLE WIDTH: 24' UNLESS OTHERWISE NOTED

FLOOD HAZARD: ZONE X
FIRM MAP NO. 17043C0169J, DATED 8/11/2019

EXISTING INFORMATION:
EXISTING SITE CONDITIONS ARE BASED ON AN ALTAIRNSPS LAND TITLE SURVEY BY ATWELL, LLC DATED 9/23/2020

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

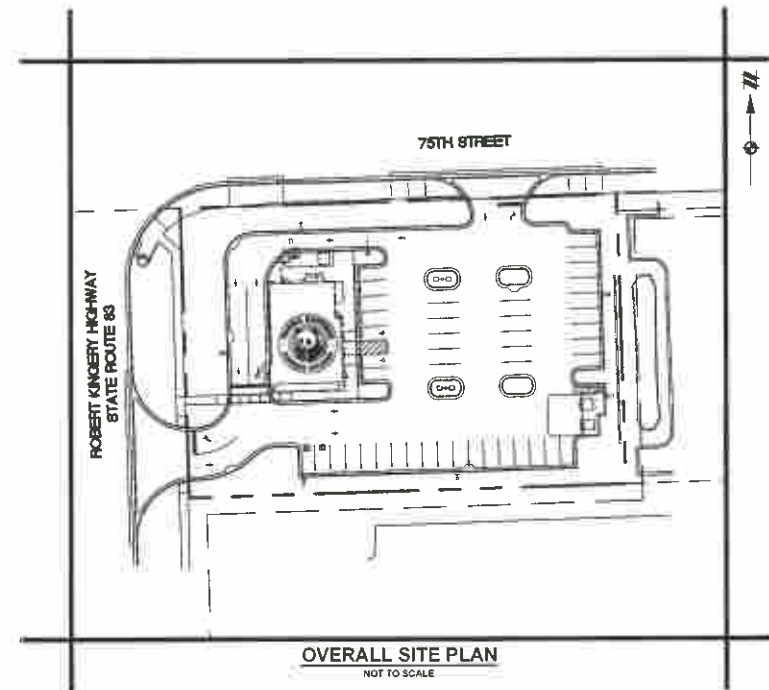
PARKING DATA

LOADING BERTHS	REQUIRED	PROVIDED
	0	0

REQUIRED PARKING CALCULATION:
1 PARKING SPACE PER 100 SF OF FLOOR AREA
1 SPACE/100 SF * 2,300 SF = 23 SPACES

TOTAL REQUIRED SPACES 23 SPACES

PROVIDED	
REGULAR (9' X 18')	42 SPACES
DRIVE THRU PICKUP (9' X 18')	2 SPACES
ADA (9' X 18')	2 SPACES
TOTAL PROVIDED SPACES	46 SPACES



SHEET INDEX

- | | |
|-------|--|
| C01.0 | COVER SHEET |
| C01.1 | GENERAL NOTES |
| C01.2 | GENERAL NOTES |
| C02.0 | EXISTING CONDITIONS |
| C02.1 | DEMOLITION PLAN |
| C03.0 | SOIL EROSION AND SEDIMENTATION CONTROL PLAN |
| C03.1 | SOIL EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS |
| C04.0 | SITE LAYOUT PLAN |
| C04.1 | DETAILED SITE LAYOUT PLAN |
| C05.0 | GRADING PLAN |
| C05.1 | DETAILED GRADING |
| C06.0 | STORM SEWER PLAN |
| C07.0 | UTILITY PLAN |
| C07.1 | DETAILED UTILITY PLAN |
| C08.0 | CONSTRUCTION DETAILS |
| C08.1 | CONSTRUCTION DETAILS |
| C08.2 | CONSTRUCTION DETAILS |
| C08.3 | CONSTRUCTION DETAILS |
| C08.4 | CONSTRUCTION DETAILS |
| L01.0 | LANDSCAPE PLAN |
| L01.1 | LANDSCAPE NOTES AND DETAILS |



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
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Facsimile: 626.372.8288

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REVISIONS:

VILLAGE PLAN REV. #1	01/19/2021
----------------------	------------

ISSUE DATE:

IPC SUBMITTAL	11/20/2020
---------------	------------

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
ARCHITECTS PLANNERS ENGINEERS

ATWELL
866.850.4200 www.atwell-group.com
1250 EAST DIEHL ROAD, SUITE 300
NAPERVILLE, IL 60563
DESIGN FIRM #164-065876

PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

COVER SHEET

C01.0

TRUE WARM & WELCOME 2300



Know what's below.
Call before you dig.

THE LOCATIONS OF CHANGING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROPRIATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL CHANGING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE COVERED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS. COPYRIGHT © 2021 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

24-HOUR CONTACT:
PANDA FM
HAKIM YALA
847-477-5125



DATE: 1/19/2021
EXP: 11/30/2021

24

EXISTING CONDITIONS LEGEND

	BOUNDARY LINE
	EXISTING ROW
	BOUNDARY ADJACENT LINE
	EXISTING EASEMENT LINE
	EXISTING CONTOUR
	EXISTING CURB AND GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	EXISTING CENTERLINE OF DITCH
	EXISTING GRAVEL
	EXISTING FENCE
	EXISTING VEGETATION LINE
	EXISTING MONITORING WELL
	SOIL BORING, REFER TO GEOTECHNICAL REPORT
	FOUND IRON ROD
	SITE CONTROL POINT
	EXISTING BOLLARD
	EXISTING FENCE POST
	EXISTING SIGN
	EXISTING TREE
	EXISTING CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING FLARED END SECTION
	EXISTING STORM CATCH BASIN/MANHOLE
	EXISTING WATER SHUTOFF
	EXISTING WATER VALVE
	EXISTING HYDRANT WITH SHUTOFF
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING IRRIGATION CONTROL VALVE
	UNDERGROUND GAS PIPE WARNING POST
	EXISTING TELEPHONE RISER
	EXISTING TRAFFIC SIGNAL
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC METER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING CABLE RISER
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING BUILDING

DEMOLITION LEGEND

	BOUNDARY LINE
	EXISTING ROW
	REMOVE CONCRETE CURB AND GUTTER
	FULL DEPTH SAWCUT LIMITS
	TREE PROTECTION FENCE, SEE DETAIL SHEET C03.1
	EXISTING FENCE/UTILITY TO BE REMOVED
	REMOVE EXISTING ASPHALT/CONCRETE PAVEMENT
	REMOVE GRAVEL
	REMOVE EXISTING VEGETATION
	EXISTING BUILDING (TO BE REMOVED BY OTHERS)

LAYOUT LEGEND

	BOUNDARY LINE
	EXISTING ROW
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	EXISTING EASEMENT LINE
	PROPOSED LANDSCAPE BERM
	SETBACK LINE
	PARKING SPACE COUNT
	ADA RAMP
	DIMENSION TO BACK OF CURB
	DIMENSION TO PROPERTY LINE
	DIMENSION TO CENTER LINE
	DIMENSION TO EDGE OF PAVEMENT
	DIMENSION TO BUILDING
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	PROPOSED SIGN
	PROPOSED ACCESSIBLE PARKING SPACE SIGN
	PROPOSED STOP SIGN
	PROPOSED DO NOT ENTER SIGN
	PROPOSED RIGHT TURN ONLY SIGN
	PROPOSED REINFORCED CONCRETE PAVEMENT, SEE DETAIL SHEET C08.2
	PROPOSED CONCRETE SIDEWALK, SEE DETAIL SHEET C08.2
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C08.2
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C08.2
	TRASH ENCLOSURE PAVEMENT, SEE DETAIL SHEET C08.2

SOIL EROSION AND SEDIMENTATION CONTROL LEGEND

	BOUNDARY LINE
	EXISTING ROW
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE, SEE DETAIL SHEET C03.1
	PROPOSED RIDGE LINE
	TREE PROTECTION FENCE, SEE DETAIL SHEET C03.1
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	TEMPORARY CONSTRUCTION ENTRANCE, SEE DETAIL SHEET C03.1
	EROSION CONTROL BLANKET WITH PERMANENT STABILIZATION PER LANDSCAPE PLAN
	PERMANENT STABILIZATION PER LANDSCAPE PLAN
	TEMPORARY DROP-IN INLET PROTECTION, SEE DETAIL SHEET C03.1

GRADING LEGEND

	BOUNDARY LINE
	EXISTING ROW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED PITCH-OUT CURB AND GUTTER
	EXISTING STORM CATCH BASIN/MANHOLE
	PROPOSED STORM CATCH BASIN/MANHOLE
	PROPOSED SPOT ELEVATION
	PROPOSED RIM ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EDGE OF PAVEMENT ELEVATION
	PROPOSED FINISHED GRADE AT TOP OF WALL
	PROPOSED FINISHED GRADE AT BOTTOM OF WALL

STORM LEGEND

	BOUNDARY LINE
	EXISTING ROW
	EXISTING EASEMENT LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING UNDERGROUND GAS
	PROPOSED UNDERGROUND GAS
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	PROPOSED UNDERGROUND CABLE
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	EXISTING MANHOLE/CATCH BASIN
	PROPOSED MANHOLE/CATCH BASIN/INLET
	PROPOSED CLEANOUT
	EXISTING END SECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

UTILITY LEGEND

	BOUNDARY LINE
	EXISTING ROW
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING UNDERGROUND GAS
	PROPOSED UNDERGROUND GAS
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	PROPOSED UNDERGROUND CABLE
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	EXISTING MANHOLE/CATCH BASIN
	PROPOSED MANHOLE/CATCH BASIN/INLET
	PROPOSED CLEANOUT
	EXISTING END SECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED TV PULL BOX
	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

LANDSCAPE LEGEND

	BOUNDARY LINE
	EXISTING ROW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING EASEMENT LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING UNDERGROUND GAS
	PROPOSED UNDERGROUND GAS
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	PROPOSED UNDERGROUND CABLE
	PROPOSED IRRIGATION CONDUIT
	PROPOSED ALUMINUM EDGING
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	PROPOSED SHRUBS
	PROPOSED EVERGREEN TREES
	PROPOSED ORNAMENTAL TREES
	PROPOSED DECIDUOUS TREES
	PROPOSED KENTUCKY BLUE GRASS SOD
	PROPOSED STONE MULCH



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REVISIONS:

VILLAGE PLAN REV. #1	01/19/2021

ISSUE DATE:

PC SUBMITTAL	11/20/2020

DRAWN BY: LEH

PANDA PROJECT # D7058
ATWELL PROJECT # 18003769



PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

GENERAL NOTES

C01.2

TRUE WARM & WELCOME 2300

1/19/2021 4:42 PM LARSEN:VLS



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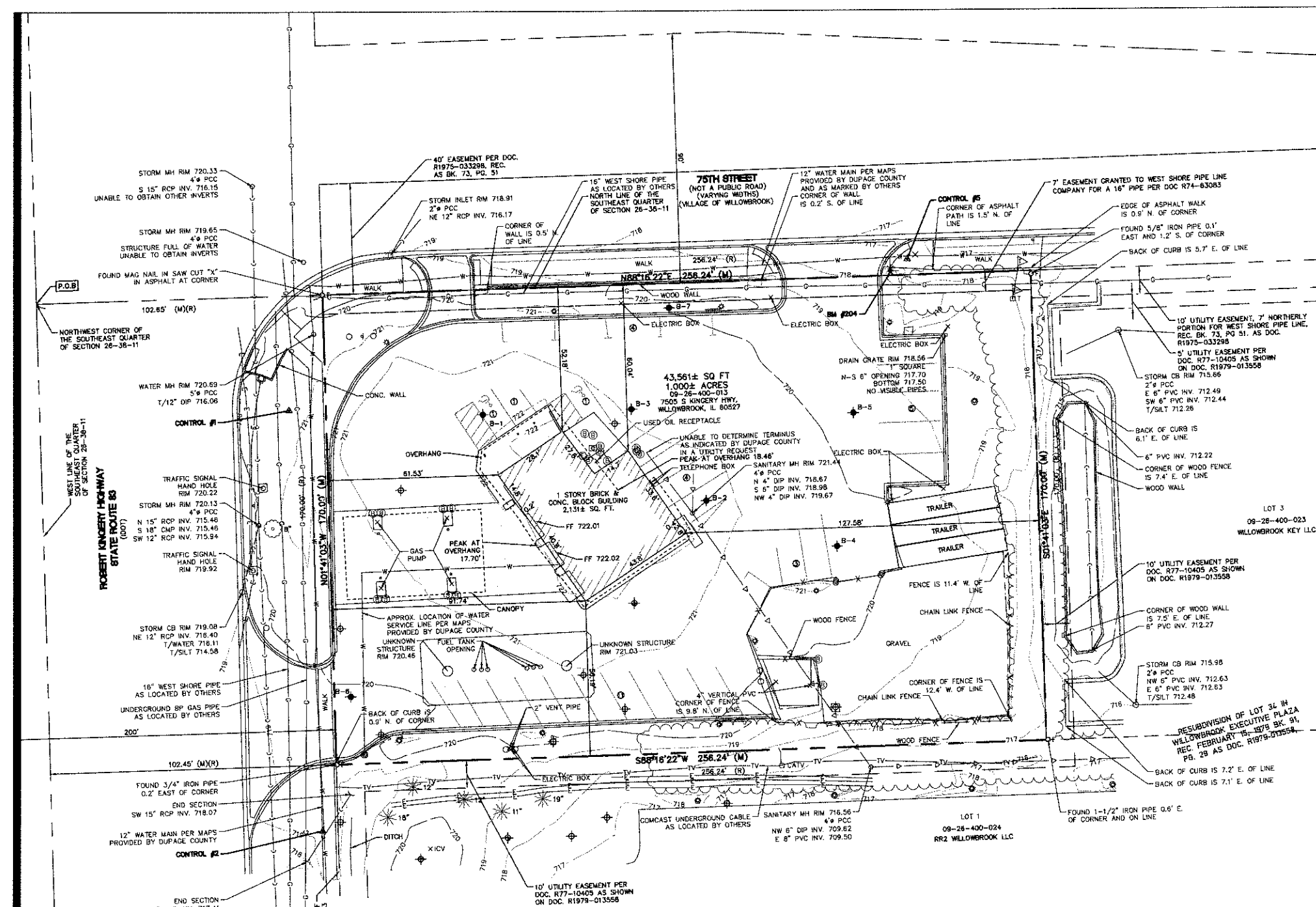
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND RESPECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OR ANY OTHER PERSONS.

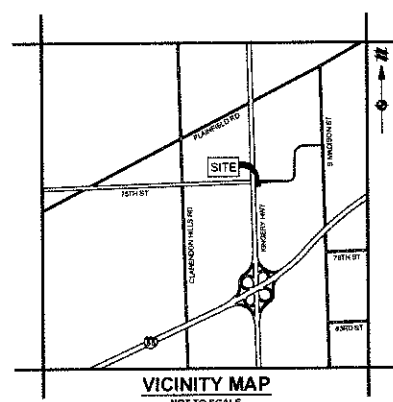
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PANDA FM
HAKIM YALA
647-477-5125



DATE: 1/19/2021
EXP: 11/30/2021



EXISTING CONDITIONS LEGEND	
	BOUNDARY LINE
	EXISTING ROW
	BOUNDARY ADJACENT LINE
	EXISTING EASEMENT LINE
	EXISTING CONTOUR
	EXISTING CURB AND GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	EXISTING CENTERLINE OF DITCH
	EXISTING GRAVEL
	EXISTING FENCE
	EXISTING VEGETATION LINE
	EXISTING MONITORING WELL
	SOIL BORING, REFER TO GEOTECHNICAL REPORT
	FOUND IRON ROD
	SITE CONTROL POINT
	EXISTING BOLLARD
	EXISTING FENCE POST
	EXISTING SIGN
	EXISTING TREE
	EXISTING CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING FLARED END SECTION
	EXISTING STORM CATCH BASIN/MANHOLE
	EXISTING WATER SHUTOFF
	EXISTING WATER VALVE
	EXISTING HYDRANT WITH SHUTOFF
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING IRRIGATION CONTROL VALVE
	UNDERGROUND GAS PIPE WARNING POST
	EXISTING TELEPHONE RISER
	EXISTING TRAFFIC SIGNAL
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC METER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING CABLE RISER
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING BUILDING



LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO.: NCS-988541-CLE
COMMITMENT DATE: AUGUST 28, 2020

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

GENERAL NOTES

- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES IN SAME TO SURVEYOR AT ONCE.
- CALL 811 ("COMMON GROUND ALLIANCE") NATIONAL UNDERGROUND UTILITY LOCATOR SERVICE FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- NO DIMENSIONS SHOULD BE ASSUMED BY SCALING.
- BASES OF BEARING: STATE PLANE COORDINATES - ILLINOIS EAST ZONE, NAD 83 (2011 ADJ.), NAVD 88.

SOURCE BENCHMARK

NGS 0135 - PID (DK3290)
TO REACH THE STATION FROM THE INTERSECTION OF SR 83 AND PLAINFIELD ROAD, GO EAST ALONG PLAINFIELD ROAD FOR APPROXIMATELY 0.5 MI (0.8 KM) TO THE STATION ON THE RIGHT. THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET.

THE STATION IS 70.0 FT (21.3 M) SOUTH OF THE CENTERLINE OF PLAINFIELD ROAD AND 38.5 FT (11.7 M) EAST OF THE CENTERLINE OF MADISON STREET. THE MONUMENT IS A 3.5 INCH (9 CM) BRASS DISK ON THE BASE OF A TRAFFIC SIGNAL, 0.8 FT (0.2 M) ABOVE GRADE.

ELEVATION: 732.18 (NAVD 88)

SITE BENCHMARKS AND CONTROL

- BM #204 - SET BENCHMARK ON THE SOUTHERLY BOLT, UNDER THE WORD "CITY", ON A HYDRANT ON THE SOUTH SIDE OF 75TH STREET, 308' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY. ELEVATION - 719.58 (NAVD 88)
- CONTROL #1 - SET CAPPED IRON ROD AT THE SOUTHEAST CORNER OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, 15' SOUTHEAST OF A TRAFFIC SIGNAL AND 18' EAST OF THE BACK OF CURB OF ROUTE 83.
N: 1852569.52 (NAD 83)
E: 1090379.82 (NAD 83)
- CONTROL #2 - SET CUT "X" IN A CONCRETE SIDEWALK ON THE EAST SIDE OF ROUTE 83, ROBERT KINGERY HIGHWAY, 235' SOUTH OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, 26' EAST OF THE BACK OF CURB OF ROUTE 83.
N: 1852417.41 (NAD 83)
E: 1090392.03 (NAD 83)
- CONTROL #5 - SET CUT "X" IN A CONCRETE SIDEWALK ON THE SOUTH SIDE OF 75TH STREET, 315' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, AND 7' NORTH OF A FIRE HYDRANT.
N: 1852623.35 (NAD 83)
E: 1090803.32 (NAD 83)



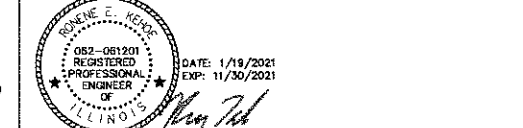
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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WITHIN THE OWNER, THE ENGINEER SHALL BE EXCEPTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY OTHER PERSONS, OR OF ANY OTHER PERSONS.

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HAKIM YALA
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SCALE 0 10 20
1" = 20 FEET



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REV.	DESCRIPTION	DATE
VILLAGE PLAN REV. #1		01/19/2021
PC SUBMITTAL		11/20/2020

ISSUE DATE:

11/20/2020

DRAWN BY: LEH

PANDA PROJECT # D7058

ATWELL PROJECT # 18003769



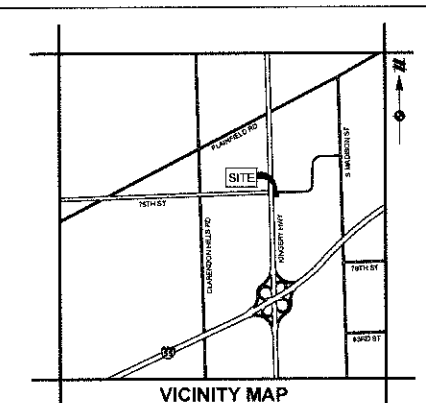
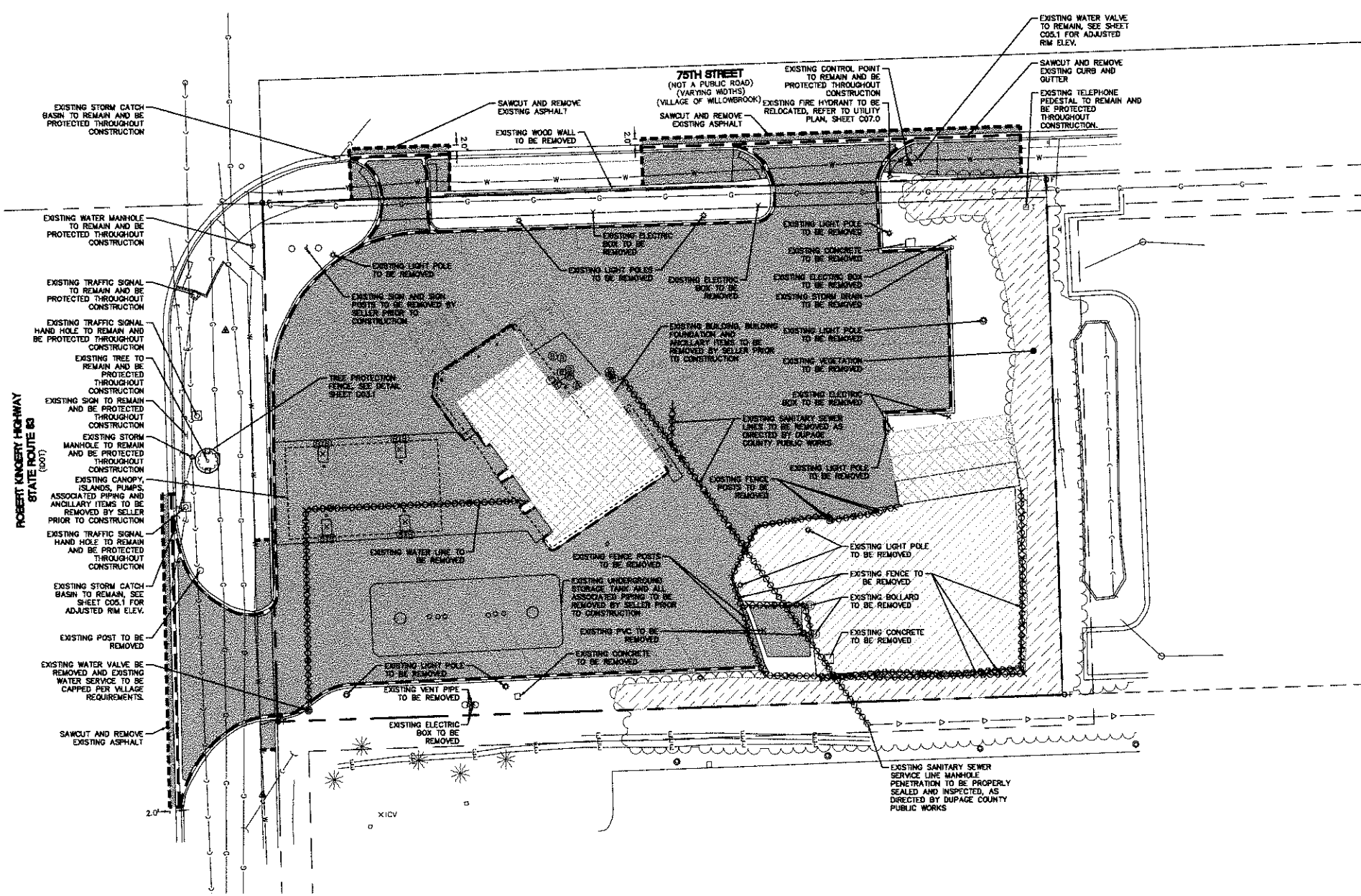
PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

EXISTING CONDITIONS

C02.0

TRUE WARM & WELCOME 2300



DEMOLITION LEGEND

---	BOUNDARY LINE
---	EXISTING ROW
---	REMOVE CONCRETE CURB AND GUTTER
---	FULL DEPTH SAWCUT LIMITS
---	TREE PROTECTION FENCE, SEE DETAIL SHEET C02.1
---	EXISTING FENCE/UTILITY TO BE REMOVED
---	REMOVE EXISTING ASPHALT/CONCRETE PAVEMENT
---	REMOVE GRAVEL
---	REMOVE EXISTING VEGETATION
---	EXISTING BUILDING (TO BE REMOVED BY OTHERS)

- NOTES:**
- SEE SHEET C01.1 FOR DEMOLITION NOTES.
 - PROTECT ALL ITEMS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THE INTEGRITY OF ALL ITEMS DEDICATED TO BE PROTECTED THAT ARE ADJACENT TO ITEMS DEDICATED TO BE DEMOLISHED AND WILL SAFELY REPAIR ANY SUCH ITEMS TO THE REQUIRED JURISDICTIONAL STANDARDS.
 - SAWCUT AND REMOVAL OF EXISTING CONCRETE/ASPHALT PAVEMENT, SIDEWALK, CURB AND GUTTER AND ASSOCIATED APPURTENANCES SHALL INCLUDE, BUT NOT BE LIMITED TO, REINFORCEMENT AND STONE BASE.
 - REMOVAL OF EXISTING ON-SITE LANDSCAPE SHALL INCLUDE STUMPS.
 - ANY ITEM NOT INDICATED AS BEING REMOVED SHALL REMAIN.
 - CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL AND ABANDONMENT ACTIVITIES WITH LOCAL GOVERNING AGENCY OR UTILITY COMPANY PRIOR TO STARTING DEMOLITION TO ENSURE COMPLIANCE WITH GOVERNING AGENCY AND UTILITY COMPANY REMOVAL AND ABANDONMENT STANDARDS.
 - TREES TO BE REMOVED ARE DESIGNATED ON THIS PLAN FOR REFERENCE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TREES AND VEGETATION NECESSARY TO ACCOMMODATE CONSTRUCTION.
 - CONTRACTOR MUST PROVIDE A BARRIER FROM PUBLIC ACCESS TO THE SITE PRIOR TO THE START OF DEMOLITION ACTIVITY AND UNTIL SITE CONSTRUCTION HAS BEEN COMPLETED.
 - REMOVAL OF DEMO ITEMS THAT REQUIRE EXCAVATION DEPTHS BELOW EXISTING TOPSOIL SHALL BE BACKFILLED ACCORDING TO THE GEOTECHNICAL REPORT.
 - PRIOR TO CONSTRUCTION OF THE PANDA EXPRESS SITE, THE SELLER SHALL REMOVE EXISTING ITEMS SHOWN ON THIS PLAN AND OBTAIN A "NO FURTHER REMEDIATION" (NFR) LETTER FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) THAT IS ACCEPTABLE TO PANDA EXPRESS FOR ITS INTENDED USE OF THE PROPERTY.



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PANDA PROJECT # D7058
ATWELL PROJECT # 18003769



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WILLOWBROOK, IL 60527

DEMOLITION PLAN

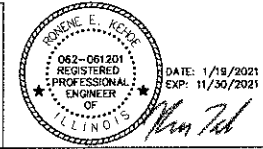
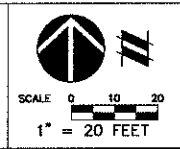
C02.1

TRUE WARM & WELCOME 2300



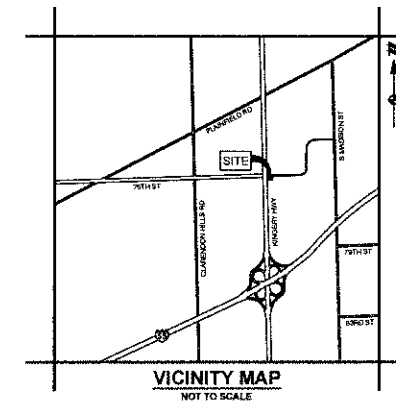
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING UTILITIES AND STRUCTURES TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING UTILITIES AND STRUCTURES TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING UTILITIES AND STRUCTURES TO BE DEMOLISHED.

24-HOUR CONTACT:
PANDA FM
HAKIM YALA
847-477-5125



CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.



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VILLAGE PLAN REV. #1 01/19/202

ISSUE DATE:

PC SUBMITTAL	11/20/2020
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ATWELL PROJECT #: 18003769

NORR



PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

DETAILED SITE LAYOUT PLAN

C04.1

TRUE WARM & WELCOME 2300

CONTRACTOR SHALL PROTECT ALL
ITEMS OUTSIDE LIMITS OF
CONSTRUCTION UNLESS OTHERWISE
NOTED IN THE CONSTRUCTION PLANS
OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.



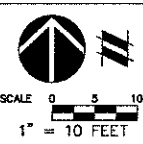
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NOTICE:
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SOLE RESPONSIBILITY OF THE
CONTRACTOR. NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF THE
WORK OF PERSONS ENGAGED IN THE
WORK OF ANY NEARBY STRUCTURES
OR OF ANY OTHER PERSONS.

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DATE: 1/19/2021
EXP: 11/30/2021

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NORR
NORTHWESTERN ENGINEERING & CONSTRUCTION, INC.

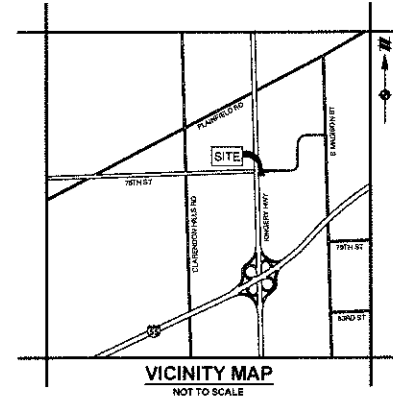
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865.650.4200 www.atwell-group.com
1250 EAST DUELL ROAD, SUITE 300
NAPERVILLE, IL 60563
DESIGN TEAM #184-00875

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WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

GRADING PLAN

C05.0

TRUE WARM & WELCOME 2300



GRADING LEGEND	
---	BOUNDARY LINE
---	EXISTING ROW
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED RIDGE LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED PITCH-OUT CURB AND GUTTER
---	EXISTING STORM CATCH BASIN/MANHOLE
---	PROPOSED STORM CATCH BASIN/MANHOLE
---	PROPOSED SPOT ELEVATION
---	PROPOSED RIM ELEVATION
---	MATCH EXISTING ELEVATION
---	PROPOSED FINISHED GRADE ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED EDGE OF PAVEMENT ELEVATION
---	PROPOSED FINISHED GRADE AT TOP OF WALL
---	PROPOSED FINISHED GRADE AT BOTTOM OF WALL

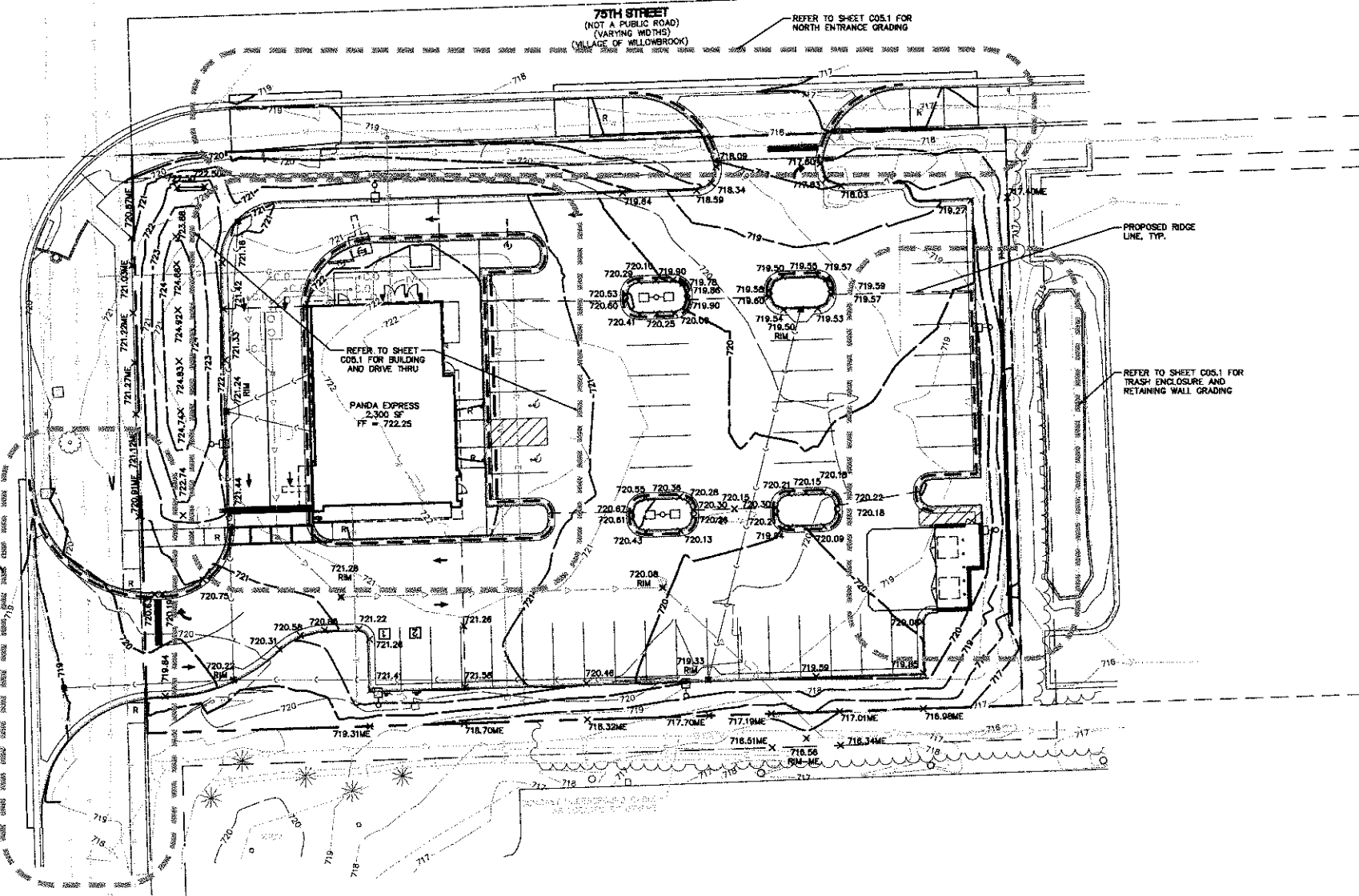
- NOTES:
- SEE SHEET C01.1 FOR GENERAL NOTES.
 - SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
 - SLOPE OF SURFACE GRADE WITHIN LANDSCAPED AREAS SHALL BE A MINIMUM OF 1.00%.
 - MAXIMUM CUT OF FILL SLOPES IS 3:1V.
 - THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
 - ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 9-INCH) AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 98 PERCENT. COMPACTION MUST BE CERTIFIED BY AN ILLINOIS REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
 - JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

BUILDING AREA NOTES:

- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. I.E. IN TIMES OF RAIN OR MUD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC. WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-1).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING.

HYDROLOGY STATEMENT:

ON-SITE STORMWATER RUN-OFF WILL BE COLLECTED VIA PROPOSED CATCH BASINS. A PROPOSED STORM PIPE SYSTEM WILL CONVEY STORMWATER TO AN EXISTING STORM PIPE LOCATED ALONG ROUTE 83. THE EXISTING 18" PIPE WILL CONVEY THE STORMWATER SAWMILL CREEK.



LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. NC5-988541-01
COMMITMENT DATE: AUGUST 28, 2020

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 258.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 258.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

SOURCE BENCHMARK

NGS 0135 - PID (DK3298)
TO REACH THE STATION FROM THE INTERSECTION OF SR 83 AND PLAINFIELD ROAD, GO EAST ALONG PLAINFIELD ROAD FOR APPROXIMATELY 0.5 MI (0.8 KM) TO THE STATION ON THE RIGHT. THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET.

THE STATION IS 70.0 FT (21.3 M) SOUTH OF THE CENTERLINE OF PLAINFIELD ROAD AND 38.5 FT (11.7 M) EAST OF THE CENTERLINE OF MADISON STREET. THE MONUMENT IS A 3.5 INCH (9 CM) BRASS DISK ON THE BASE OF A TRAFFIC SIGNAL, 0.8 FT (0.2 M) ABOVE GRADE.

ELEVATION - 732.18 (NAVD 88)

SITE BENCHMARKS AND CONTROL

- BM #204 - SET BENCHMARK ON THE SOUTHERLY BOLT, UNDER THE WORD "CITY", ON A HYDRANT ON THE SOUTH SIDE OF 75TH STREET, 300' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY.
ELEVATION - 719.58 (NAVD 88)
- CONTROL #1 - SET CAPPED IRON ROD AT THE SOUTHEAST CORNER OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, 15' SOUTHEAST OF A TRAFFIC SIGNAL AND 18' EAST OF THE BACK OF CURB OF ROUTE 83.
N: 1852417.41 (NAD 83)
E: 1090379.82 (NAD 83)
- CONTROL #2 - SET OUT "X" IN A CONCRETE SIDEWALK ON THE EAST SIDE OF ROUTE 83, ROBERT KINGERY HIGHWAY, 235' SOUTH OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, 28' EAST OF THE BACK OF CURB OF ROUTE 83.
N: 1852417.41 (NAD 83)
E: 1090392.03 (NAD 83)
- CONTROL #3 - SET OUT "X" IN A CONCRETE SIDEWALK ON THE SOUTH SIDE OF 75TH STREET, 315' EAST OF THE INTERSECTION OF 75TH STREET AND ROUTE 83, ROBERT KINGERY HIGHWAY, AND 7' NORTH OF A FIRE HYDRANT.
N: 1852523.35 (NAD 83)
E: 1090603.32 (NAD 83)

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK. IF PERSONS INJURED IN THE WORK OF ANY HEAVY STRUCTURES, OR OF ANY OTHER PERSONS.

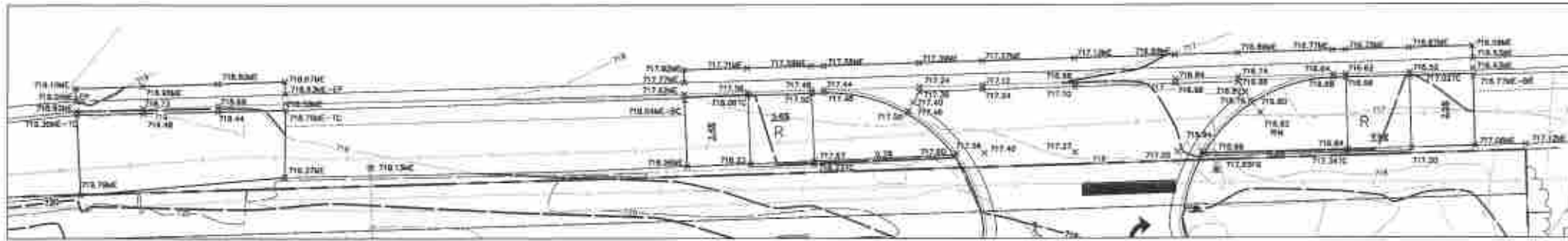
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24-HOUR CONTACT:
PANDA FM
HAKM YALA
847-477-5125

SCALE 0 10 20
1" = 20 FEET

ROBERT E. KEOP
062-061201
REGISTERED
PROFESSIONAL
ENGINEER
OF
ILLINOIS

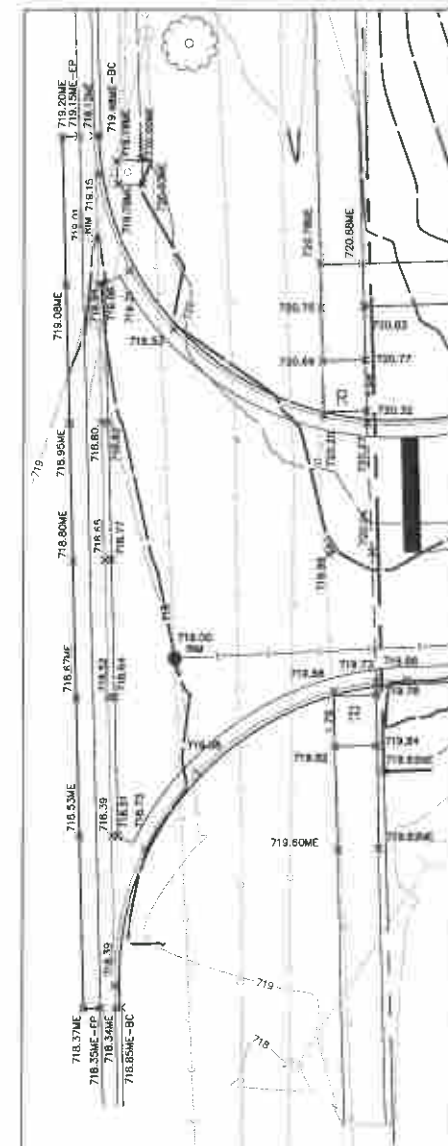
DATE: 1/19/2021
EXP: 11/30/2021
HAKM YALA



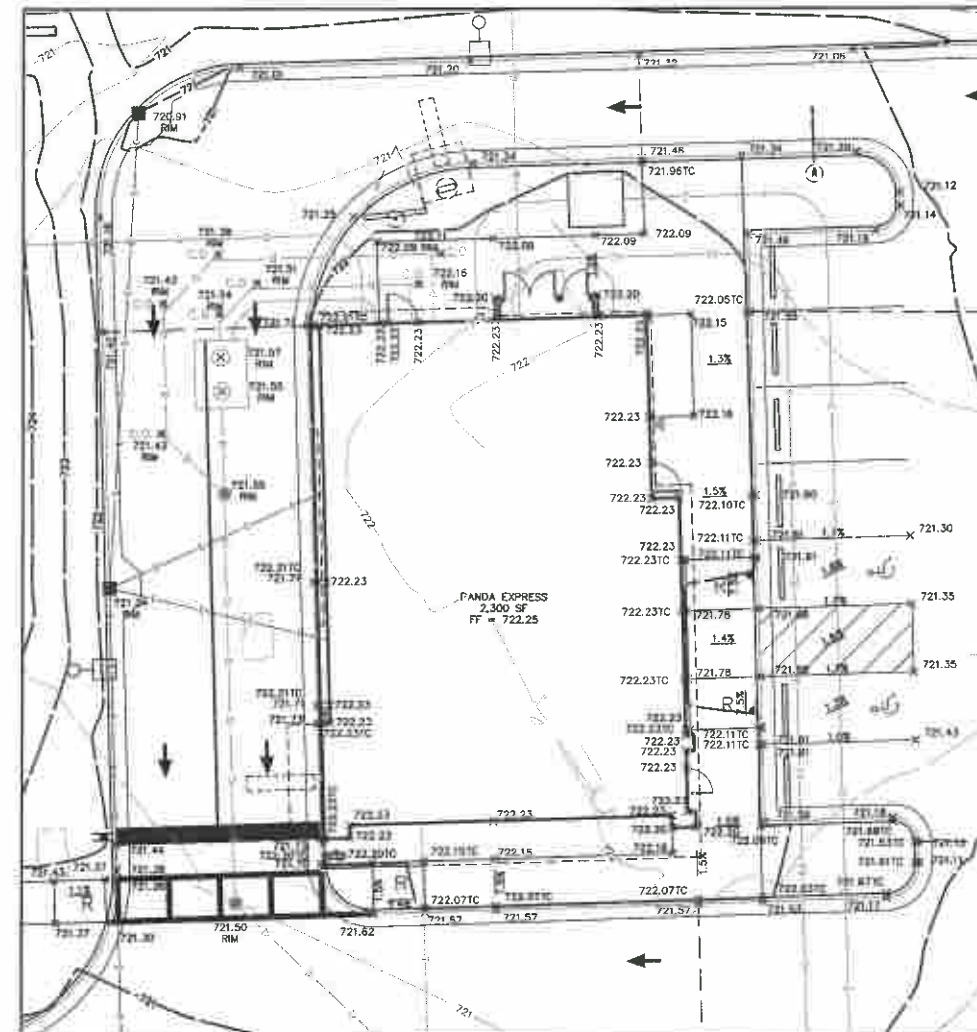
NORTH ENTRANCE GRADING DETAIL
SCALE 1" = 10'



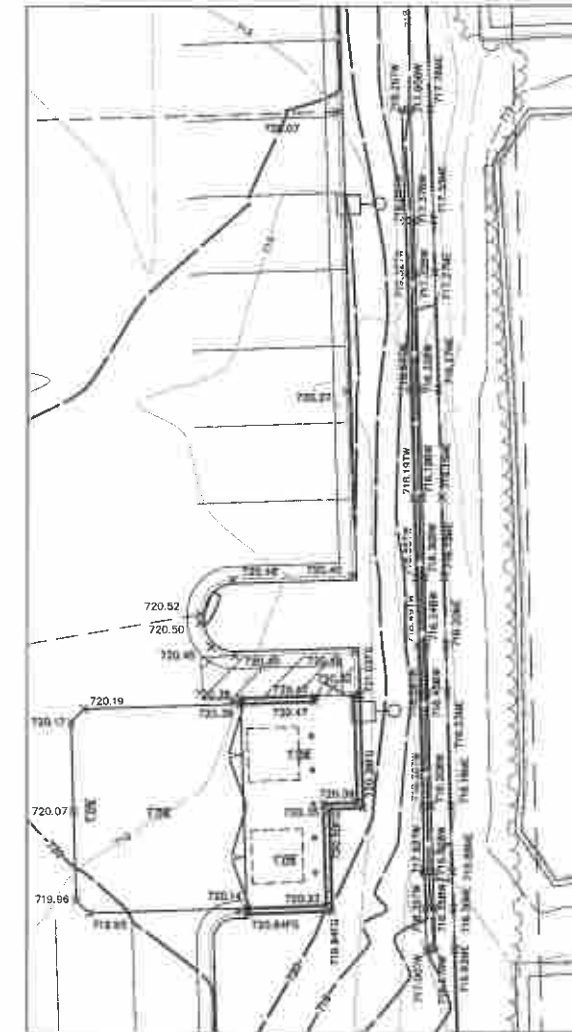
VICINITY MAP
NOT TO SCALE



WEST ENTRANCE GRADING DETAIL
SCALE 1" = 10'



BUILDING AND DRIVE THRU GRADING DETAIL
SCALE 1" = 10'



TRASH ENCLOSURE AND RETAINING WALL GRADING DETAIL
SCALE 1" = 10'

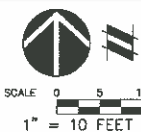


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847-477-5125



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CONSTRUCTION AND ALERT ENGINEER
TO ANY DISCREPANCIES IMMEDIATELY.



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Facsimile: 626.372.8288

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REVISIONS:
[VILLAGE PLAN REV #1 01/19/2021]

ISSUE DATE:
LPC SUBMITTAL 11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
ARCHITECTS ENGINEERS

ATWELL
966.850.4200 www.atwell-group.com
1250 EAST OAKH ROAD, SUITE 300
RAPOSAVILLE, IL 60563
DESIGN FIRM #14-00875

PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

DETAILED GRADING

C05.1

TRUE WARM & WELCOME 2300



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NORR
ARCHITECTS ENGINEERS PLANNERS



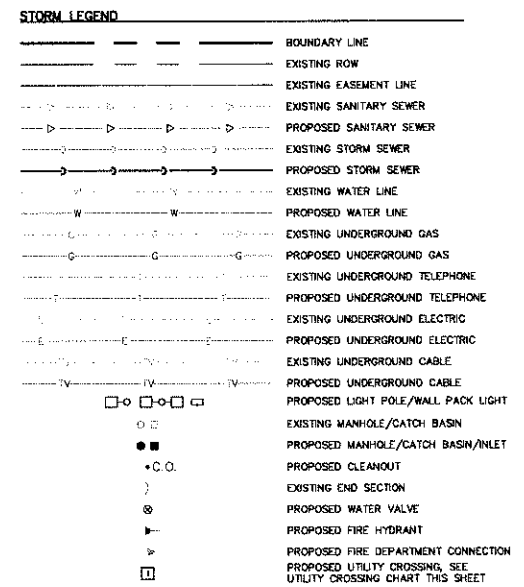
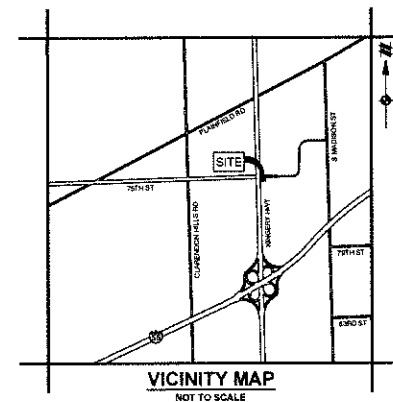
PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

STORM SEWER PLAN

C06.0

TRUE WARM & WELCOME 2300



CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH APPROPRIATE UTILITY COMPANIES TO ENSURE THAT THE REQUIRED VERTICAL AND HORIZONTAL CLEARANCES AT ALL LOCATIONS WHERE ANY UTILITY LINE CROSSES AN EXISTING OR PROPOSED GAS, TELEPHONE OR ELECTRIC LINE ARE MET.

NOTES:

1. SEE SHEET C01.1 FOR GENERAL NOTES.
2. SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
6. CONTROLLED BACK FILL TO BE PLACED IN 9" LOOSE LIFT AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF $\pm 2'$ ABOVE THE CROWN ELEVATION OF THE PIPE.
7. STORM SEWER AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
8. ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
9. ALL STORM SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING TO DETAIL ON SHEET C08.3 UNLESS SPECIFICALLY NOTED OTHERWISE.
10. UNFOUNDED SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY UPON IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
11. EXISTING GRADES SHOWN ARE APPROXIMATE, AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
12. THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT PREPARED FOR THE OWNER FOR ALL UTILITIES. THE GEOTECHNICAL REPORT IS NOT A PART OF THE CONTRACT DOCUMENTS.
13. EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.

CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

CONTRACTOR SHALL PROTECT ALL
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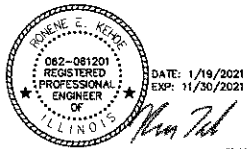
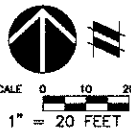
UTILITY CROSSING CHART							
CROSSING NUMBER	FINISHED GROUND	TOP UTILITY	BP ELEVATION	BOTTOM UTILITY	TIP ELEVATION	CLEARANCE	COMMENT
1	721.54	8" STORM	717.32	8" SANITARY	715.73	1.59	FIELD VERIFY DEPTH OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION OF STORM SEWER. DIP 12" WATER MAIN AS NEEDED TO MAINTAIN 1' VERTICAL SEPARATION CLEARANCE.
2	721.51	6" STORM	717.33	8" SANITARY	715.40	1.93	
3	719.53	12" STORM	715.83	6" SANITARY	712.17	3.66	
4	719.76	12" STORM	714.01	12" WATERMAIN	713.41	1.50	

STRUCTURE NUMBER	STRUCTURE TYPE AND SIZE	GRATE TYPE	NOTES
ST-1	4 DIA. TYPE 1 MANHOLE	NEENAH R 1713	CLOSED LID
ST-2	4 DIA. TYPE 1 CATCH BASIN	NEENAH R 3381-A	
ST-3	4 DIA. TYPE A CATCH BASIN	NEENAH R 3281-A	
ST-4	4 DIA. TYPE A CATCH BASIN	NEENAH R 3281-A	
ST-5	4 DIA. TYPE A CATCH BASIN	NEENAH R 3281-A	
ST-6	4 DIA. TYPE A CATCH BASIN	NEENAH R 3281-A	

NOTICE:
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SOLE RESPONSIBILITY OF THE
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NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF THE
WORK, OF PERSONS ENGAGED IN THE
WORK, OF ANY HEAVY STRUCTURES,
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24-HOUR CONTACT:
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847-477-5125



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DRAWN BY: LEH
PANDA PROJECT # D7058
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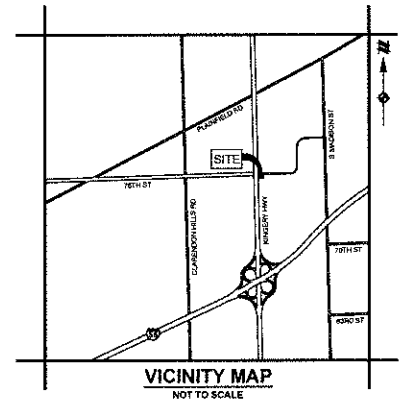


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WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

UTILITY PLAN

C07.0

TRUE WARM & WELCOME 2300



UTILITY LEGEND	
---	BOUNDARY LINE
---	EXISTING ROW
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING UNDERGROUND GAS
---	PROPOSED UNDERGROUND GAS
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING OVERHEAD TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND CABLE
---	PROPOSED UNDERGROUND CABLE
---	PROPOSED LIGHT POLE/WALL PACK LIGHT
---	EXISTING MANHOLE/CATCH BASIN
---	PROPOSED MANHOLE/CATCH BASIN/INLET
---	PROPOSED CLEANOUT
---	EXISTING END SECTION
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED FIRE DEPARTMENT CONNECTION
---	PROPOSED TV PULL BOX
---	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH APPROPRIATE UTILITY COMPANIES TO ENSURE THAT THE REQUIRED VERTICAL AND HORIZONTAL CLEARANCES AT ALL LOCATIONS WHERE ANY UTILITY LINE CROSSES AN EXISTING OR PROPOSED GAS, TELEPHONE OR ELECTRIC LINE ARE MET.

- NOTES:
- SEE SHEET C01.1 FOR GENERAL NOTES.
 - SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
 - SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1.00%.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
 - THE FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. NFPA CODES SHALL BE ADHERED TO.
 - THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
 - UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS.
 - CONTRACTOR TO BUILD CONCRETE TRANSFORMER PAD AND COORDINATE THE INSTALLATION OF THE CONDUITS WITH THE UTILITY COMPANY.
 - CONTROLLED BACK FILL TO BE PLACED IN 9" LOOSE LIFT AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF ±2" ABOVE THE CROWN ELEVATION OF THE PIPES.
 - STORM SEWER AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
 - ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
 - ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING TO DETAIL ON SHEET C08.3 UNLESS SPECIFICALLY NOTED OTHERWISE.
 - UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
 - EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
 - THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT PREPARED FOR THE OWNER FOR SUBSURFACE CONDITIONS. THE GEOTECHNICAL REPORT IS NOT A PART OF THE CONTRACT DOCUMENTS.
 - EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.

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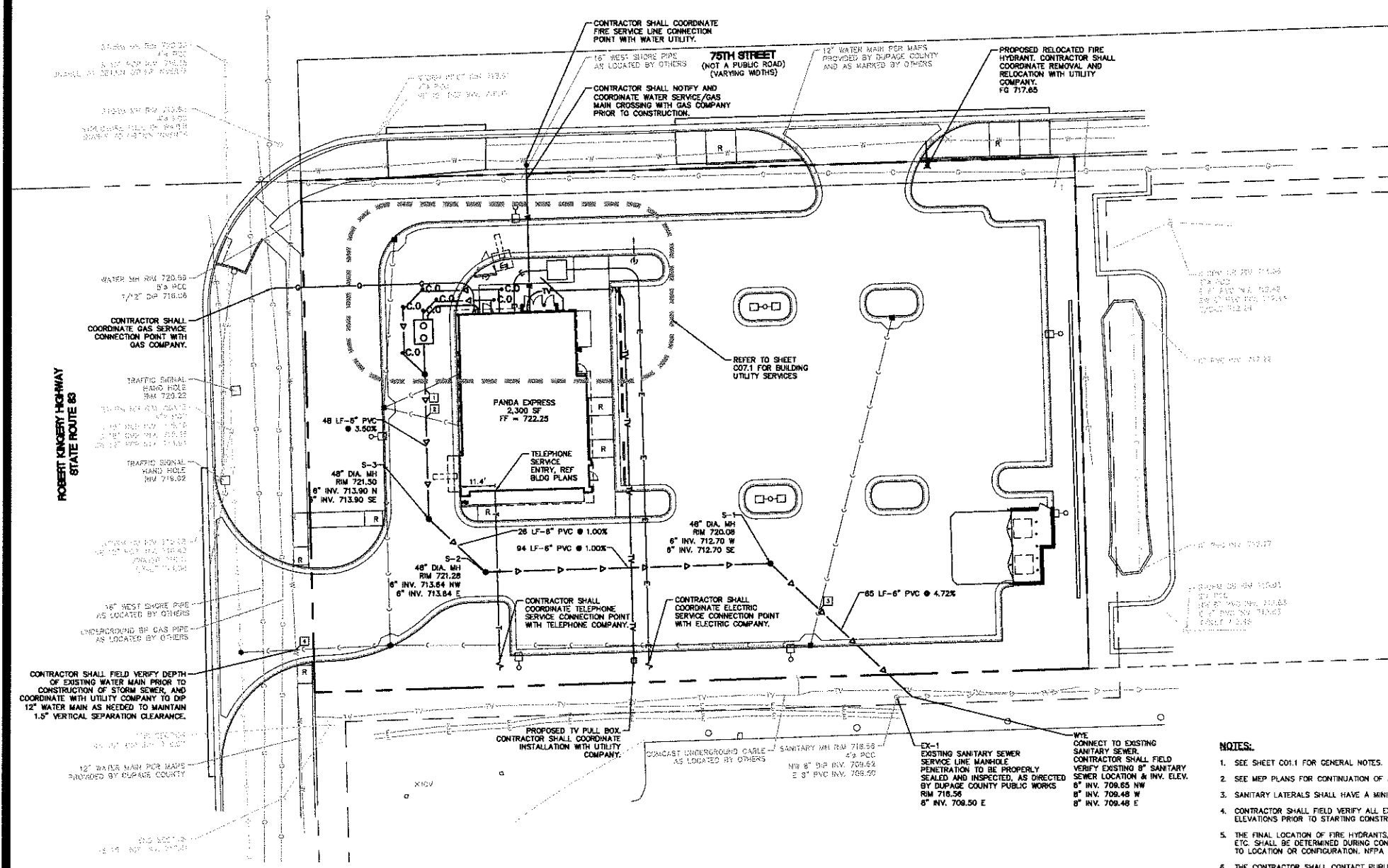
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UTILITY CROSSING CHART					
CROSSING NUMBER	FINISHED GROUND	TOP UTILITY	B/P ELEVATION	BOTTOM UTILITY	TIP ELEVATION
1	721.54	6" STORM	717.92	6" SANITARY	715.73
2	721.91	6" STORM	717.30	6" SANITARY	715.40
3	719.53	12" STORM	715.83	6" SANITARY	712.17
4	719.78	12" STORM	714.91	12" WATERMAIN	713.41

FIELD VERIFY DEPTH OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION OF STORM SEWER. DIP 12" WATER MAIN AS NEEDED TO MAINTAIN 1.5' VERTICAL SEPARATION CLEARANCE.



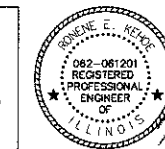
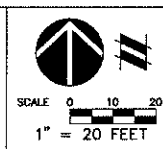
ROBERT KINGSLEY HIGHWAY
STATE ROUTE 83

CONTRACTOR SHALL FIELD VERIFY DEPTH OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION OF STORM SEWER, AND COORDINATE WITH UTILITY COMPANY TO DIP 12" WATER MAIN AS NEEDED TO MAINTAIN 1.5' VERTICAL SEPARATION CLEARANCE.

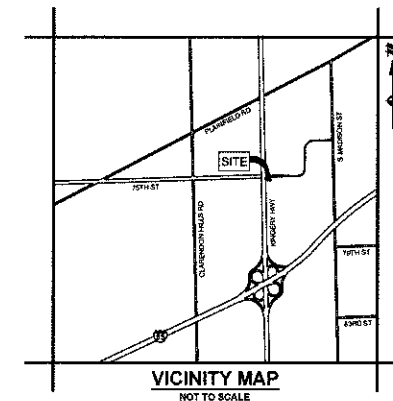


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24-HOUR CONTACT:
PANDA PM
HAKIM YALA
847-477-5125



DATE: 1/19/2021
EXP: 11/30/2021



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865.850.4200 www.atwell-group.com
1250 EAST DILL ROAD, SUITE 300
HAVERHILL, IL 60523
DESIGN FIRM #184-005876

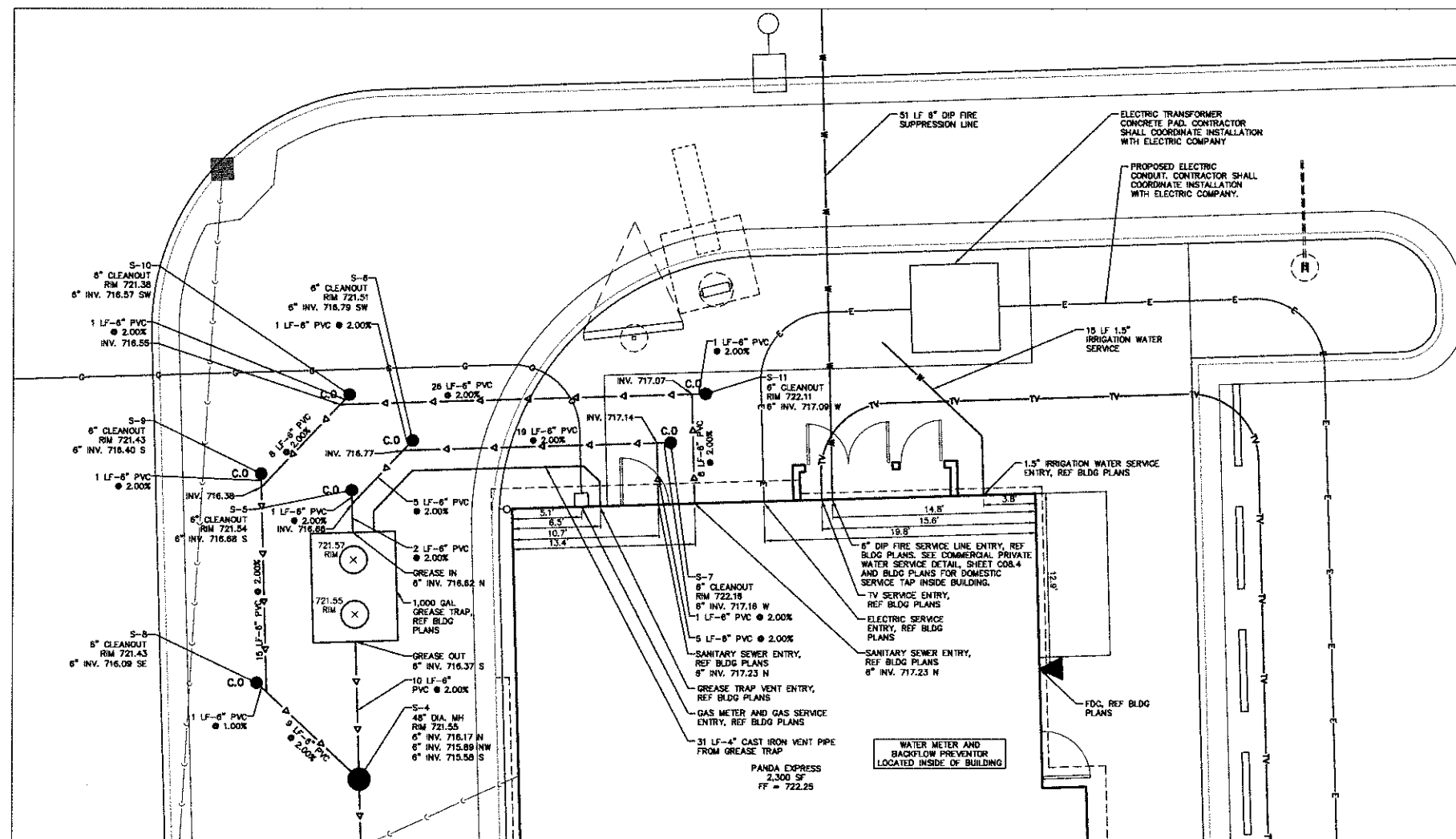
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**DETAILED UTILITY
PLAN**

C07.1

TRUE WARM & WELCOME 2300



CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

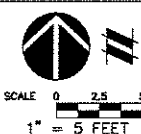


Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND ARE NOT BEING REPRESENTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO CORRECTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

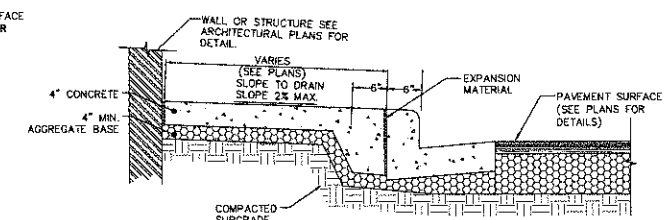
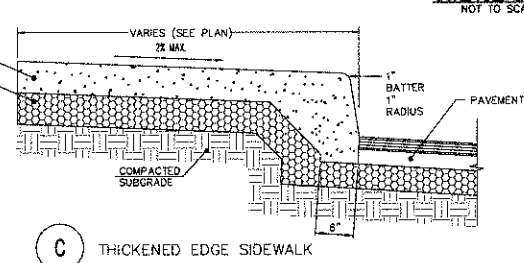
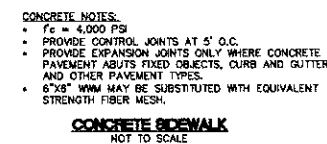
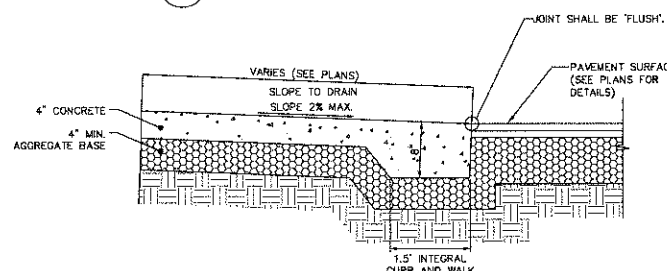
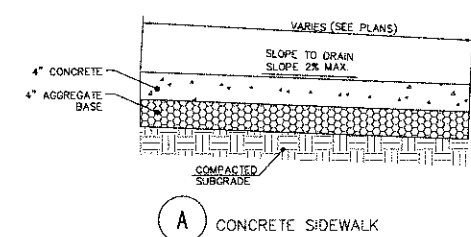
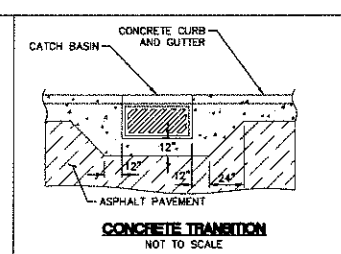
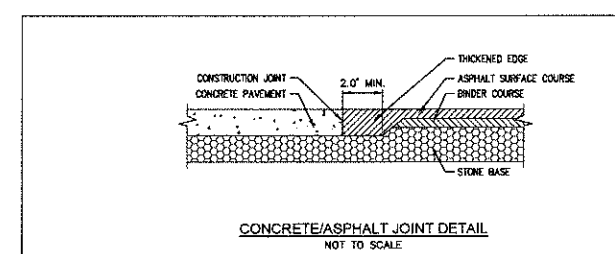
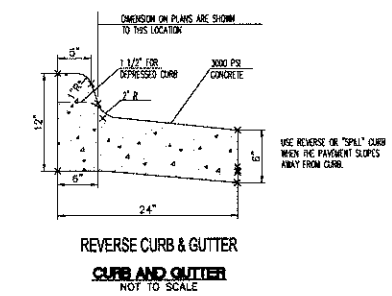
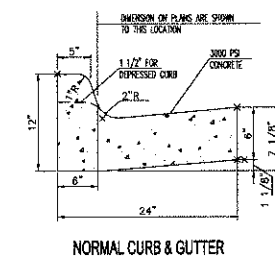
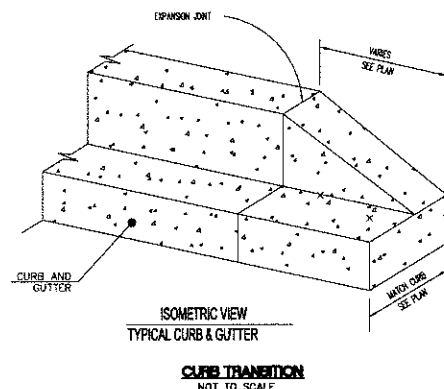
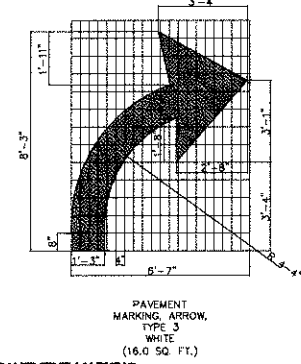
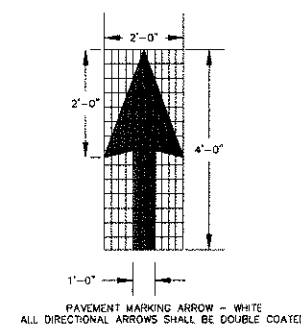
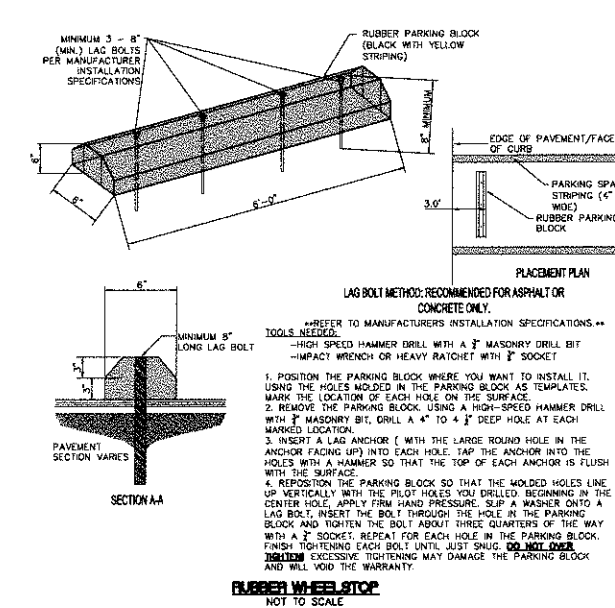
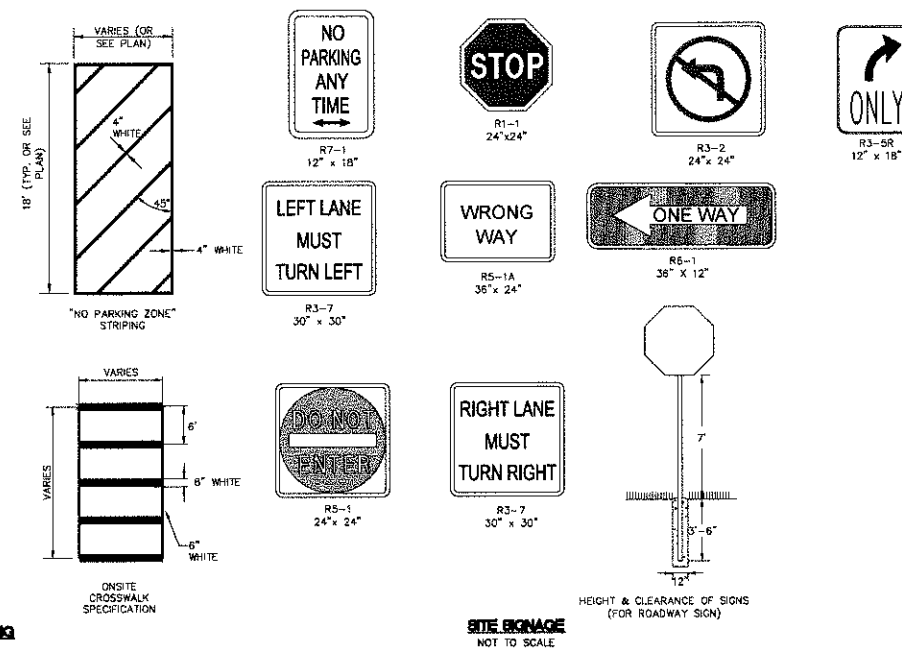
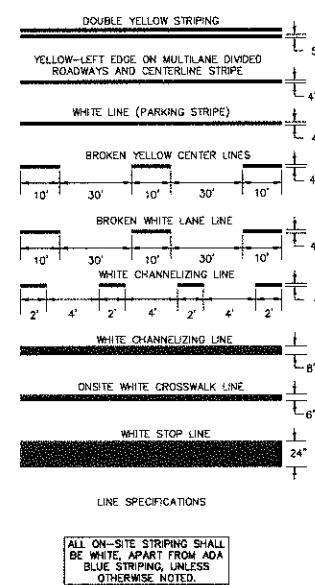
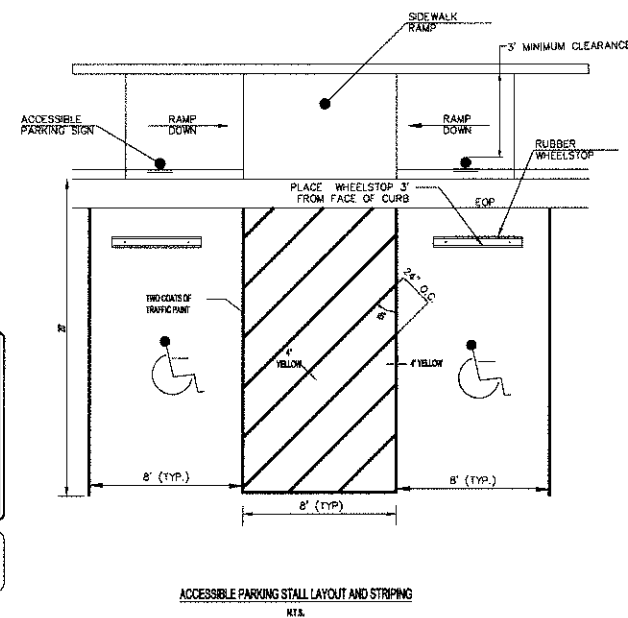
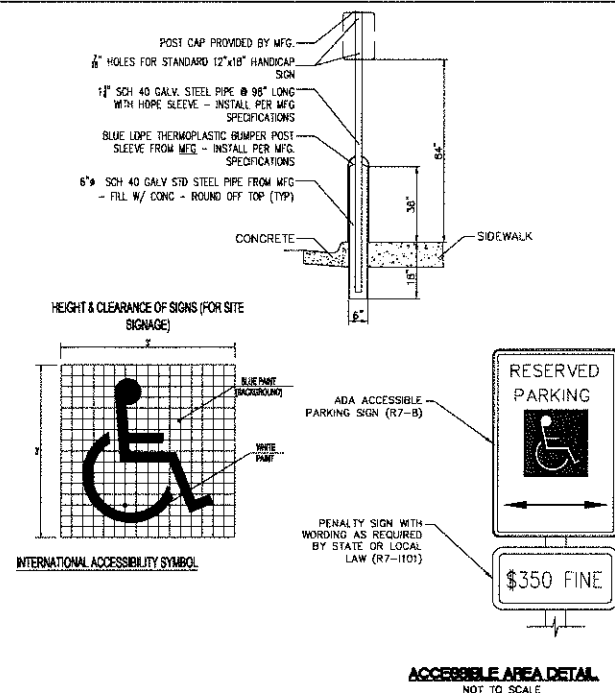
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24-HOUR CONTACT:
PANDA PM
HAKIM YALA
847-477-5125



DATE: 1/19/2021
EXP: 11/30/2021

PROFESSIONAL
ENGINEER
ILLINOIS



CONCRETE NOTES:

- $f_c = 4,000$ PSI
- PROVIDE CONTROL JOINTS AT 5' O.C.
- PROVIDE EXPANSION JOINTS ONLY WHERE CONCRETE PAVEMENT ABUTS FIXED OBJECTS, CURB AND GUTTER AND OTHER PAVEMENT TYPES.
- 6"x8" WMM MAY BE SUBSTITUTED WITH EQUIVALENT STRENGTH FIBER MESH.

CONCRETE SIDEWALK
NOT TO SCALE

CONCRETE SIDEWALK ADJACENT
TO CURB AND GUTTER

811 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROPRIATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE OWNER SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE OCCURRED BY THE CONTRACTORS' FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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24-HOUR CONTACT:
PANDA PM
HAKIM VALA
847-477-5125

CONSTRUCTION SHALL BE MADE WITHOUT STOPPING OR DELAYING REPRODUCTION SHALL BE MADE WITHOUT STOPPING OR DELAYING THE CONSENT OF ATTORNEY LOU

Professional Engineer Seal for Ronene E. Kehoe, State of Illinois, DB2-061201, dated 1/19/2021.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

VILLAGE PLAN REV. #1	01/19/
----------------------	--------

ISSUE DATE: _____

DRAWN BY: LEH
[REDACTED]
PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
NORTH RIVER



ATWELL
866.850.4200 www.atwell-group.com
1250 EAST DIXIE ROAD, SUITE 300
NAPERVILLE, IL 60563
DESIGN: ATWELL_1164-005076

PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

CONSTRUCTION DETAILS

C08.0

TRUE WARM & WELCOME 2300



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REVISIONS:

VILLAGE PLAN REV #1 01/19/202

ISSUE DATE

IPC SUBMITTED 11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR

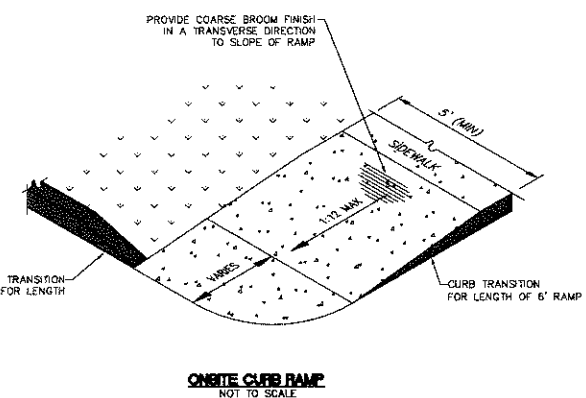
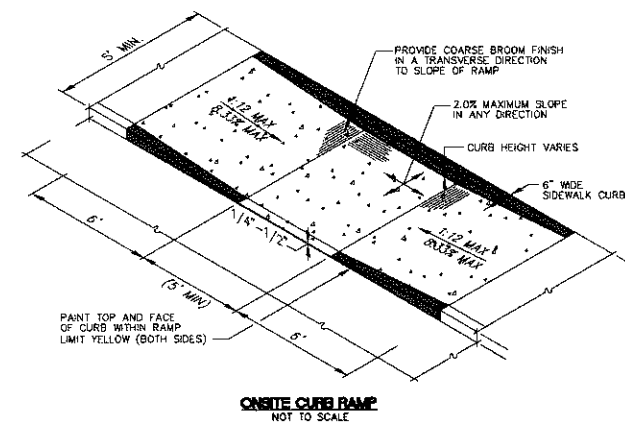
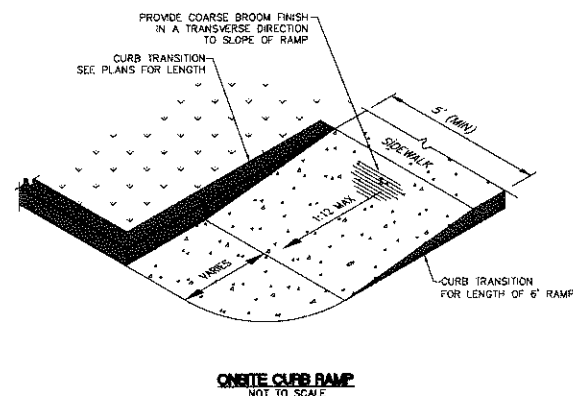
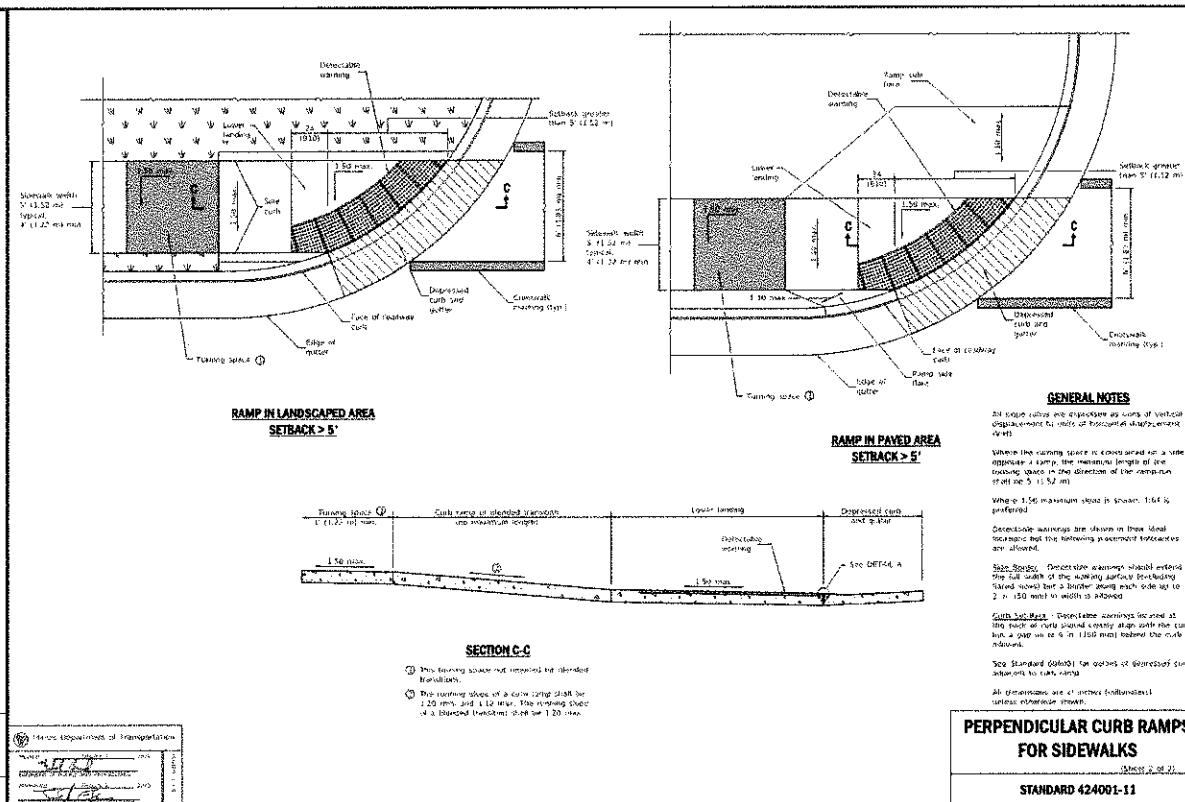
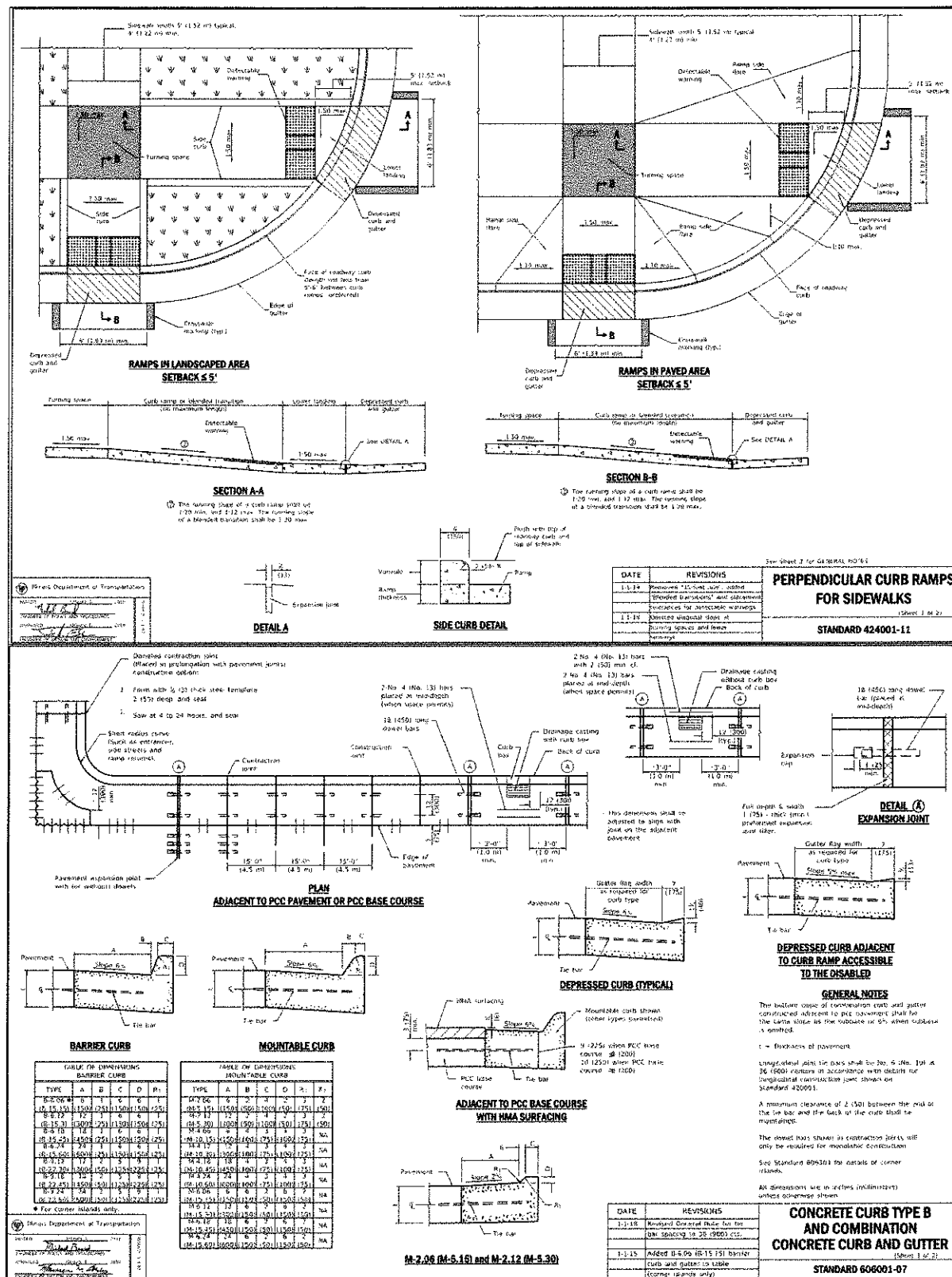


PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

CONSTRUCTION DETAILS

C08.1

TRUE WARM & WELCOME 2300



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WORK OF PERSONS ENGAGED IN THE
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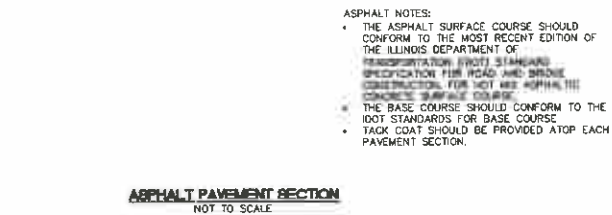
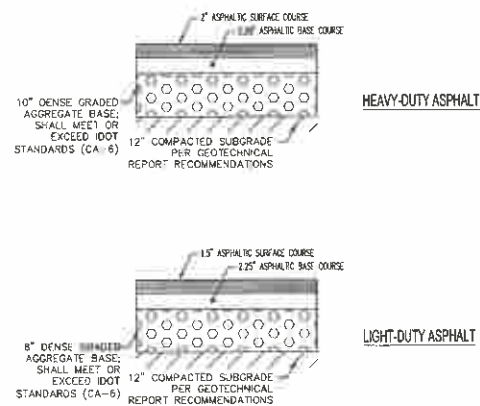
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PANDA PM
HAKIM YALA
847-477-5125



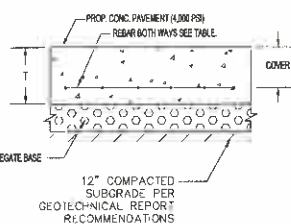
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EXP: 11/30/2021

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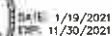
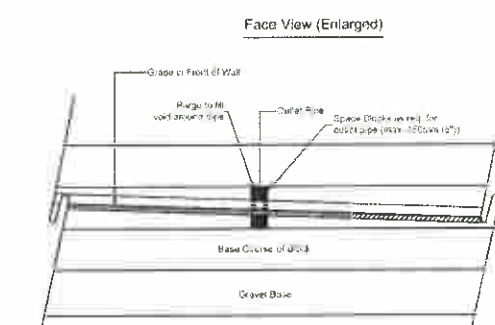
22



REINFORCEMENT TABLE				
CONCRETE SECTION DESCRIPTION	(F) SLAB THICKNESS (IN.)	COVER COVER (IN.) (2" MIN)	MAX. EXPANSION JOINT SPACING (FT.)	60,000 PSI STEEL REINFORCING STEEL BAR SIZE & SPACING
PARKING STALLS	5	2	15	#3 @ 24" C.C.
DRIVE THRU	6	2	15	#3 @ 24" C.C.
TRUCK COMPACTOR	7	2	15	#3 @ 24" C.C.



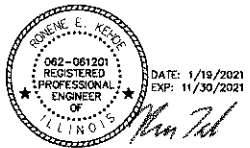
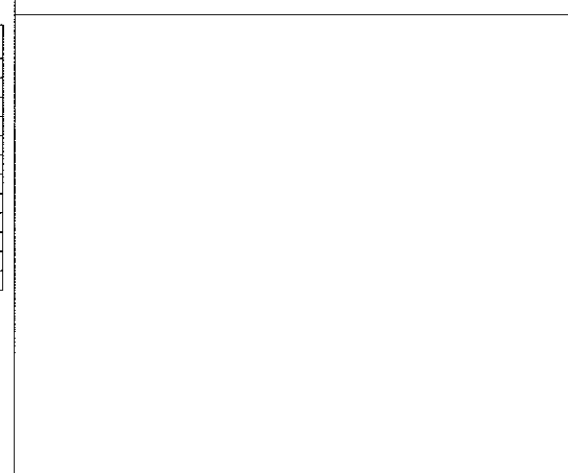
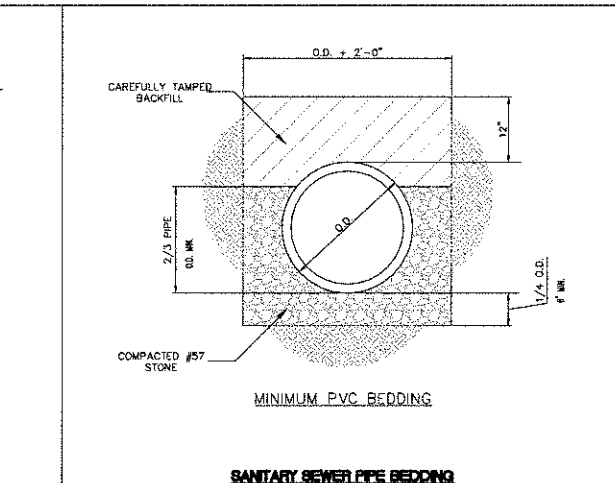
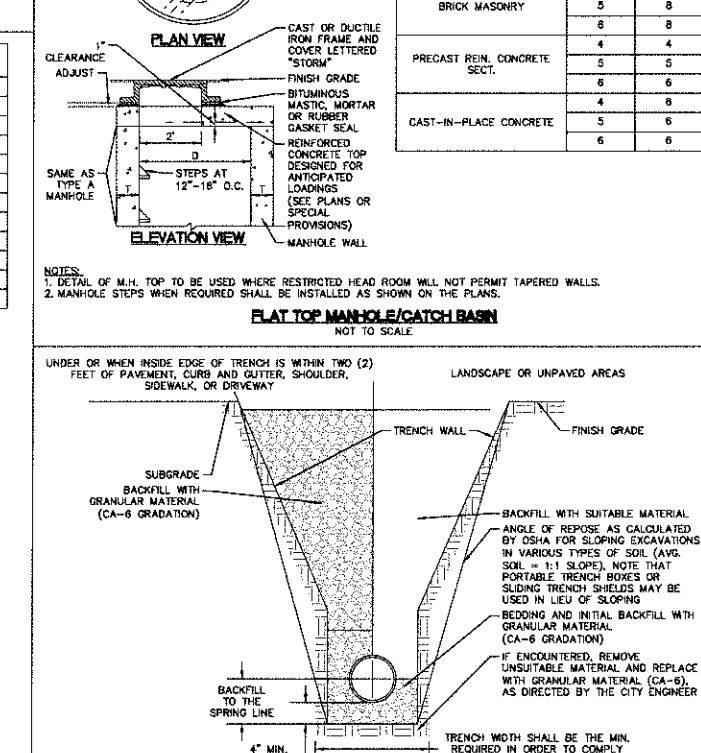
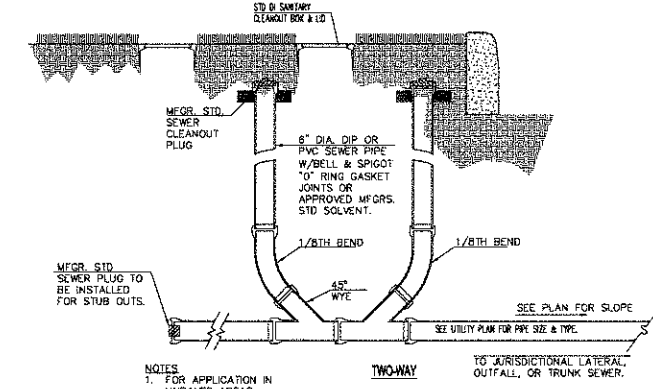
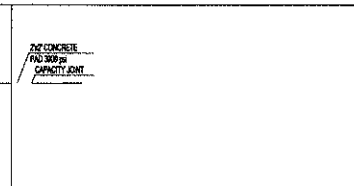
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PANDA FM
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847-477-5125

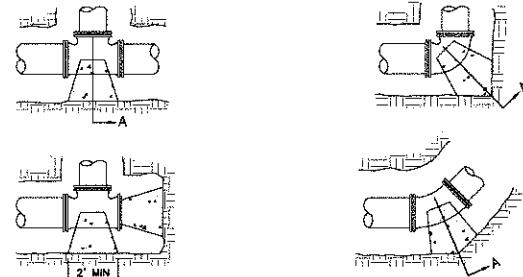
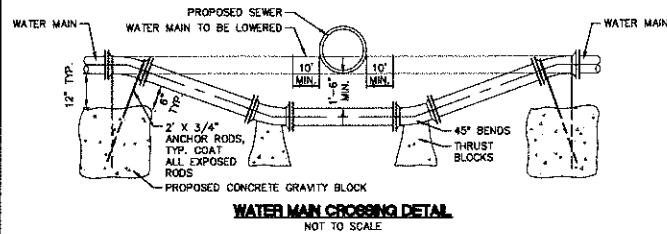
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RisiStone
resin wall systems

<http://www.risistone.com>

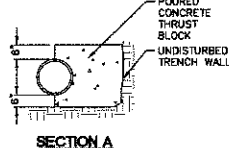
TRUE WARM & WELCOME 2300





MINIMUM SQ. FT. AREA OF VERTICAL CROSS SECTION AGAINST 2000 PSF UNDISTURBED EARTH

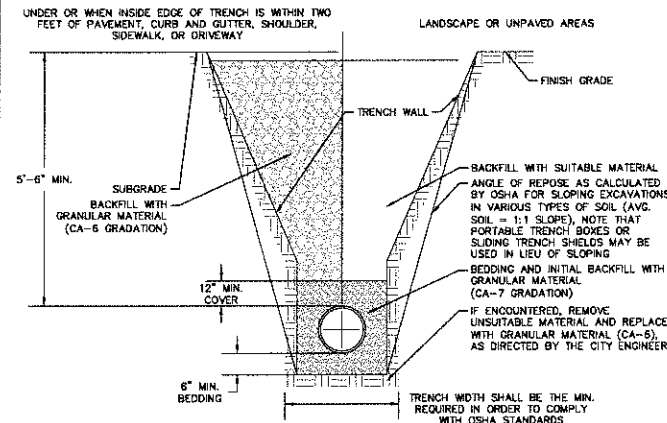
	6"	8"	10"	12"
90° BEND	5.5	9.4	15.4	21.8
45° BEND	3.0	5.1	8.4	11.9
22.5° BEND	1.5	2.6	4.3	6.1
11.25° BEND	1.5	2.6	4.3	6.1
TEE	3.9	6.7	10.9	15.5



NOTES:
1. THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS, TEES, CAPS, VALVES, HYDRANTS AND AT POINTS SPECIFIED BY THE ENGINEER SHALL BE CLASS "50" CONCRETE, A MINIMUM OF 12" THICK, PLACED BETWEEN SOILS AND FITTING, AND SHALL BE ANCHORED IN SUCH A MANNER THAT PIPE AND FITTING WILL BE ACCESSIBLE FOR REPAIRS. THRUST BLOCKS SHALL BE PLACED AT BENDS OF 11-1/4 DEGREES OR MORE. RETAINER GLANDS MAY BE USED IN PLACE OF THRUST BLOCKS. THE COST OF THRUST BLOCKS OR RETAINER GLANDS SHALL BE INCLUDED IN THE COST OF THE FITTING.

THRUST BLOCKS

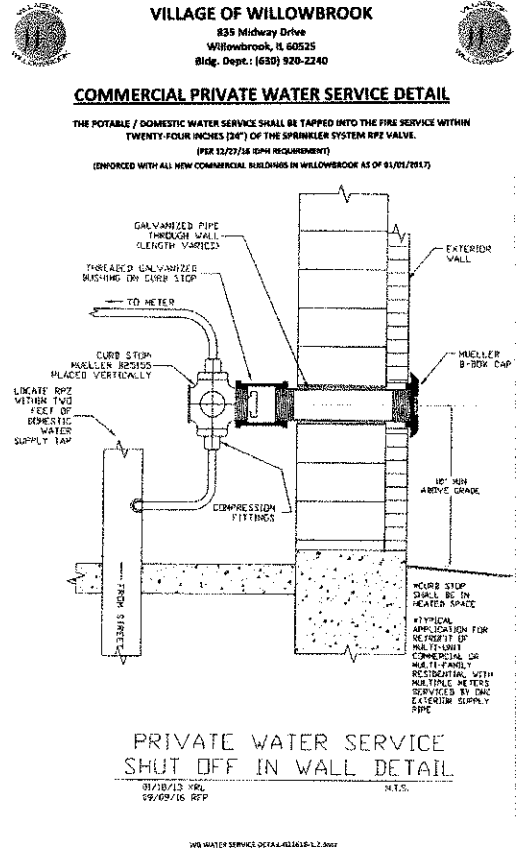
NOT TO SCALE



- NOTES:
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A SAFE MANNER AT ALL TIMES AND SHALL COMPLY WITH ALL APPLICABLE GOVERNING REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA SAFETY STANDARDS.
 - ALL BACKFILL MATERIAL UP TO A HEIGHT OF 12 INCHES ABOVE THE PIPE SHALL BE CAREFULLY DEPOSITED IN UNIFORM LAYERS NOT EXCEEDING 8 INCHES THICK (LOOSE MEASURE). THE MATERIAL IN EACH LAYER SHALL BE FIRMLY COMPACTED BY RAMMING OR TAMPING WITH TOOLS APPROVED BY THE CITY ENGINEER IN SUCH A MANNER AS NOT TO DISTURB OR INJURE THE PIPE. THE BACKFILLING ABOVE THIS HEIGHT SHALL BE DONE AS NOTED BELOW.
 - GRANULAR BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN NOTE 2. ABOVE. THE USE OF JETTING SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE CITY ENGINEER. IT SHALL BE THE DESIGN ENGINEER OR CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROPRIATE JUSTIFICATION AND DOCUMENTATION (SOIL INVESTIGATION REPORTS, ETC.) TO THE CITY ENGINEER WITH THE REQUEST FOR APPROVAL OF JETTING. NO RECYCLED CONCRETE SHALL BE ALLOWED.
 - BACKFILL MATERIAL CONSISTING OF SUITABLE EXCAVATED MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING TWELVE (12) INCHES THICK (LOOSE MEASURE) AND EACH LAYER SHALL BE COMPACTED BY RAMMING OR TAMPING TO ACHIEVE THE REQUIRED COMPACTION. JETTING OF THIS MATERIAL MAY BE PERMITTED WHEN AUTHORIZED IN WRITING BY THE CITY ENGINEER. IT SHALL BE THE DESIGN ENGINEER OR THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT APPROPRIATE JUSTIFICATION AND DOCUMENTATION (SOIL INVESTIGATION REPORTS, ETC.) TO THE CITY ENGINEER WITH THE REQUEST FOR APPROVAL OF JETTING.
 - GRANULAR MATERIAL FOR BACKFILL AND BEDDING SHALL BE GRAVEL, CRUSHED GRAVEL OR STONE MEETING THE REQUIREMENTS OF THE I.DOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" FOR COURSE AGGREGATE.

WATER MAIN TRENCH SECTION

NOT TO SCALE



PRIVATE WATER SERVICE SHUT OFF IN WALL DETAIL

N.T.S.

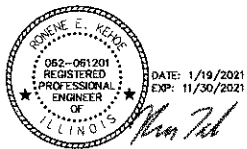
WS WATER SERVICE DETAIL-4021618-1.2.2021

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24-HOUR CONTACT:
PANDA PM
HAKIM YALA
847-477-5125



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
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REVISIONS:

REV.	DESCRIPTION	DATE
1	VILLAGE PLAN REV. #1	01/19/2021

ISSUE DATE:

REV.	DESCRIPTION	DATE
1	PC SUBMITTAL	11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
CONCRETE & FOUNDATION SPECIALISTS



PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

CONSTRUCTION
DETAILS

C08.4

TRUE WARM & WELCOME 2300



Project: Willowbrook, IL - Panda Express
Location: 7505 S. Kingery Hwy.
Willowbrook, IL 60527

Date: 11/20/2020

1250 East Diehl Road, Suite 300

Naperville, IL 60563

Ph: 630-577-0800

Engineer's Opinion of Probable Construction Cost

This EOPC was prepared in accordance with Final Site Plans for Willowbrook, IL Panda Express, prepared by Atwell dated 11/20/2020.

	Quantity	Unit	Unit Cost	Total
SITework				
Erosion Control				
Construction Entrance	1	EACH	\$5,000.00	\$5,000.00
Concrete Washout	1	EACH	\$500.00	\$500.00
Tree Protection Fence	12	LF	\$4.00	\$48.00
Silt Fence (Wire Back)	880	LF	\$2.50	\$2,200.00
Inlet Filter	7	EACH	\$200.00	\$1,400.00
Erosion Control Sub-Total				\$9,148.00
Demolition and Earthwork				
Clear and Grub	0.08	ACRES	\$5,000.00	\$400.00
Remove Existing Sanitary Sewer Pipe	154	LF	\$10.00	\$1,540.00
Remove Existing Water Service Pipe	138	LF	\$10.00	\$1,380.00
Relocate Existing Hydrant	1	EACH	\$1,750.00	\$1,750.00
Remove Existing Wood Wall	99	LF	\$2.00	\$198.00
Remove Existing Light Pole	11	EACH	\$225.00	\$2,475.00
Remove Existing Bollard	2	EACH	\$100.00	\$200.00
Remove Existing Fence	346	LF	\$3.00	\$1,038.00
Remove Existing Concrete	17	SF	\$1.50	\$25.50
Topsoil Stripping and Stockpiling	199	CY	\$2.25	\$447.75
Topsoil Respread (4")	1772	SY	\$1.50	\$2,658.00
Excavation to Stockpile	211	CY	\$3.00	\$633.00
Fill from Stockpile	211	CY	\$3.00	\$633.00
Fill from Import	396	CY	\$18.00	\$7,128.00
Fine Grade Pad	256	SY	\$2.50	\$640.00
Subgrade Preparation - Rough Grade	2910	SY	\$1.00	\$2,910.00
Remove Existing Pavement	4437	SY	\$5.25	\$23,294.25
Sawcut Pavement, Full Depth	341	LF	\$3.50	\$1,193.50
Remove Existing Curb and Gutter	1195	LF	\$5.00	\$5,975.00
Demolition & Earthwork Sub-Total				\$54,519.00
Utilities				
<u>Sanitary Sewer</u>				
6" PVC Service	348	LF	\$32.00	\$11,136.00
6" Clean Out	10	EACH	\$500.00	\$5,000.00
4'-0" Diameter Manhole	1	EACH	\$4,500.00	\$4,500.00
Connect to Existing Sanitary Sewer Manhole	1	EACH	\$800.00	\$800.00
Grease Trap (1,000 gal - precast concrete)	1	EACH	\$5,500.00	\$5,500.00
Testing & Inspections	1	EACH	\$1,000.00	\$1,000.00
Sanitary Sewer Sub-Total				\$27,936.00

	Quantity	Unit	Unit Cost	Total
Water				
1.5" Irrigation Water Service	10	LF	\$18.00	\$180.00
6" DIP Fire Water Service	73	LF	\$30.00	\$2,190.00
Dip Exiting Water Main	1	EACH	\$4,000.00	\$4,000.00
Connection to Existing Water Main	1	EACH	\$1,000.00	\$1,000.00
Water Sub-Total				\$7,370.00
Storm Sewer				
6" HDPE Storm Sewer Pipe	54	LF	\$20.00	\$1,080.00
12" HDPE Storm Sewer Pipe	436	LF	\$38.00	\$16,568.00
4'-0" Diameter Type "A" Catch Basin	5	EACH	\$3,800.00	\$19,000.00
4'-0" Diameter Manhole	1	EACH	\$4,500.00	\$4,500.00
Storm Sewer Sub-Total				\$41,148.00
Other Utilities				
Area Lights	8	EACH	\$1,500.00	\$12,000.00
Other Utilities Sub-Total				\$12,000.00
Paving				
Subgrade Preparation - Fine Grading	2959	SY	\$1.50	\$4,438.50
Aggregate Base Course (CA-6), 4" (Curb & Gutter)	24	SY	\$5.50	\$132.00
Aggregate Base Course (CA-6), 5" (Drive Thru)	285	SY	\$6.00	\$1,710.00
Aggregate Base Course (CA-6), 5" (PCC Parking)	121	SY	\$6.00	\$726.00
Aggregate Base Course (CA-6), 5" (Dumpster)	83	SY	\$6.00	\$498.00
Aggregate Base Course (CA-6), 8" (Asphalt Parking)	680	SY	\$7.75	\$5,270.00
Aggregate Base Course (CA-6), 10" (Asphalt drive Aisles)	1766	SY	\$8.50	\$15,011.00
Hot Mix Asphalt Binder Course, N50, 2-1/2" (Parking)	680	SY	\$11.75	\$7,990.00
Hot Mix Asphalt Binder Course, N50, 2-1/2" (Drive Aisles)	1766	SY	\$11.75	\$20,750.50
Hot Mix Asphalt Surface Course, 1-1/2" (Parking)	680	SY	\$9.00	\$6,120.00
Hot Mix Asphalt Surface Course, 2" (Drive Aisles)	1766	SY	\$11.25	\$19,867.50
PCC Pavement, 5" (Parking)	121	SY	\$28.00	\$3,388.00
PCC Pavement, 6" (Drive thru)	285	SY	\$32.00	\$9,120.00
PCC Pavement, 7" (Dumpster)	83	SY	\$36.00	\$2,988.00
Concrete Curb and Gutter Type B-6:12	1512	LF	\$12.00	\$18,144.00
PCC Sidewalk with Subbase, 4"	294	SY	\$45.00	\$13,230.00
Pavement Marking, ADA Parking Symbol	2	EACH	\$250.00	\$500.00
Pavement Marking, ADA Striping	1	EACH	\$350.00	\$350.00
Pavement Marking, Crosswalk	1	EACH	\$750.00	\$750.00
Pavement Marking, Drive Thru Parking Space	2	EACH	\$350.00	\$700.00
Pavement Marking, 4" Solid White	913	LF	\$3.00	\$2,739.00
Pavement Marking, 24" Solid White	54	LF	\$9.50	\$513.00
Rubber Wheel Stops	7	EACH	\$325.00	\$2,275.00
Signage	5	EACH	\$200.00	\$1,000.00
Paving Sub-Total				\$138,210.50
Landscaping				
Retaining Wall	248	SF	\$27.50	\$6,820.00
Sod	1472	SY	\$5.00	\$7,360.00
Mulch	36	CY	\$50.00	\$1,800.00
Tree	46	EACH	\$350.00	\$16,100.00
Shrub	203	EACH	\$40.00	\$8,120.00
Landscaping Sub-Total				\$40,200.00
TOTAL				\$330,531.50

Quantity	Unit	Unit Cost	Total
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This Engineer's Opinion of Probable Cost is made on the basis of Engineer's experience and qualifications using estimated quantities and represents Engineer's best judgment as an experienced and qualified professional Engineer generally familiar with the construction industry. However, since Engineer has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, or over quantities of work actually performed, Engineer cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from Opinions of Probable Construction Cost prepared by Engineer. This Opinion of Probable Construction Cost is limited to those items stated herein.

Notes:

1. The EOCP includes site work only and does not include the building, monument sign, or drive-thru equipment.
2. Demolition of the existing building, underground storage tank, fuel pumps, fuel piping, canopy and monument sign are to be completed by the Seller and are not included in this EOCP.



CONSULTING. ENGINEERING. CONSTRUCTION.

To: Hakim Yala
Panda Express

From: Brian A. Styck, P.E.
Project Manager

Michael Keith, P.E.
Project Manager

Date: January 5, 2021

Subject: Willowbrook, IL Panda Express
Site Traffic Study
Special Use Permit

This memorandum report summarizes the findings and recommendations of the Site Traffic Study performed by Atwell, LLC for the Site Plan Review, Special Use Permit and Variations requested for a proposed Panda Express located at 7505 Kingery Highway (IL Route 83), Willowbrook, IL. The proposed project includes demolition of an existing 2,131 SF Shell Gasoline and Service Station with Convenience Mart and construction of a 2,300 SF Panda Express Restaurant. A Special Use Permit is requested to allow for a proposed drive-thru within the Village of Willowbrook B-2 Community Shopping Zoning District.

EXISTING CONDITIONS

Location

The subject property is a ±1.0 acre parcel located at the southeast corner of the Kingery Highway and 75th Street intersection. The site address is 7505 Kingery Highway, Willowbrook, IL 60527.



Figure 1 – Site Location Aerial View

Site Accessibility

The subject property is currently accessed from both Kingery Highway (IL Route 83) and 75th Street (see Figure 1).

Kingery Highway (IL Route 83) is a north-south principle arterial roadway under the jurisdiction of the Illinois Department of Transportation (IDOT). Adjacent to the site, Kingery Highway is a four-lane divided roadway section. At the signalized intersection with 75th Street, there are two north bound left turn lanes, one north bound right turn lane, one south bound left turn lane and one south bound right turn lane. Kingery Highway has a median consequently requiring right in/right out access at the site driveway. Based on IDOT's Traffic Data Map (year: 2019), Kingery Highway carries approximately 50,000 average daily trips.

75th Street is an east-west major collector roadway under the jurisdiction of the Village of Willowbrook. East of the project site, 75th Street is a two-lane undivided roadway section. West of the project site (west of the Kingery Highway intersection), 75th Street is a four-lane undivided roadway section. At the signalized intersection with Kingery Highway, there is an eastbound left and right turn lane and a westbound left and right turn lane. The current site does allow a full movement access on 75th Street. Based on IDOT's Traffic Data Map (year: 2019), 75th Street carries approximately 3,000 average daily trips (east of the Kingery Highway intersection).

Existing Land Use Traffic Generation

The existing site land use is a developed Shell Gasoline and Service Station with Convenience Mart (ITE Code 945). In accordance with the ITE Trip Generation Manual 10th Edition, the existing site generates the following traffic counts:

- Average Daily Trips = 2,131 SF x 1,440.02 Trips/KSF = 3,069 Trips

- AM Peak Hour Total Trips = 2,131 SF x 75.99 Trips/KSF = 162 Trips
- PM Peak Hour Total Trips = 2,131 SF x 88.35 Trips/KSF = 188 Trips

PROPOSED CONDITIONS

Site Accessibility

The Panda Express site layout proposes constructing new access driveways in the approximate location of the existing access driveways, with the exception of the westernmost right-in only site access drive on 75th Street which will be closed off and curbed. The access on 75th Street will be a full movement for inbound traffic and limited to a right-out only. The access on Kingery Highway will remain to be a right-in/right-out access.

75th Street – The proposed site access driveway on 75th Street meets the Village requirement of 70' from the nearest lot line, however, it does not meet the minimum spacing from the ROW intersection of 500' (or outside the functional area), therefore a variation will be required. This variation was previously granted for the existing site access driveway.

Kingery Highway – The proposed site access driveway on Kingery Highway neither meets the Village requirement of 70' from the nearest lot line, nor the minimum spacing from the ROW intersection of 500' (or outside the functional area), therefore variations will be required for both requirements. These variations were previously granted for the existing site access driveway.

Proposed Land Use Traffic Generation

The proposed site land use is a Fast Food Restaurant with Drive-Thru (ITE Code 934). In accordance with the ITE Trip Generation Manual 10th Edition, the proposed site will generate the following traffic counts:

- Average Daily Trips = 2,300 SF x 470.95 Trips/KSF = 1,083 Trips
- AM Peak Hour Total Trips = 2,300 SF x 40.19 Trips/KSF = 92 Trips*
 - *NOTE: Panda Express typical hours of operation are 10 AM to 10 PM, therefore, the AM peak hour total trips listed above are not anticipated for this site. The AM Peak Hour Total Trips information for a Fast Food Restaurant with Drive-Thru is provided for reference only.
- PM Peak Hour Total Trips = 2,300 SF x 32.67 Trips/KSF = 75 Trips

Based on trip calculations from the ITE Trip Generation Manual 10th Edition, the proposed site land use will generate approximately 60%-65% less traffic (trips) than the existing site land use.

	Existing Land Use Shell Gasoline/Service Station with Convenience Mart (ITE Code 945)	Proposed Land Use Panda Express Fast Food Restaurant with Drive-Thru (ITE Code 934)	Total Trip Decrease	% Decrease
Average Daily Trips	3,069	1,083	-1,986	-64.71%
AM Peak Hour Trips	162	92*	-70	-43.21%
PM Peak Hour Trips	188	75	-113	-60.11%

*NOTE: Panda Express typical hours of operation are 10 AM to 10 PM, therefore, the AM peak hour total trips listed above are not anticipated for this site. The AM Peak Hour Total Trips information for a Fast Food Restaurant with Drive-Thru is provided for reference only.

Drive-Thru Queueing

Data was collected from three (3) similar nearby Panda Express drive-thru restaurants for the purpose of estimating peak drive-thru queueing for the proposed Willowbrook, IL Panda Express. The three similar nearby Panda Express drive-thru restaurants include the following locations:

Panda Express #1054
185 Countryside Plaza
Countryside, IL 60525

Panda Express #2685
6501 S Cicero Ave
Chicago, IL 60638

Panda Express #2969
1010 Ogden Ave
Downers Grove, IL 60515



Figure 2 – Similar Nearby Panda Express Drive-Thru Restaurants

The data collected from three (3) similar nearby Panda Express drive-thru restaurants included seven (7) consecutive days of drive-thru transaction counts, divided into 30-minute time spans. Copies of the drive-thru transaction information for each nearby location is included in the attachments. At the request of Panda Express, the net sales information has been removed from the drive-thru transaction tables. An average service time of 5 minutes (information provided by Panda Express) starting with the food order at the menu board and ending with food pickup at the drive-thru window was used for the drive-thru queueing analysis.

	Panda #1054	Panda #2685	Panda #2969
Avg. Daily Total (10 AM - 10 PM)	345	327	174
Max. One Day Total (10 AM - 10 PM)	397	386	201
Peak 7 Day Avg./30 Min.	22	18	12
Peak Total/30 Min.	25	23	15
Estimated Max Queueing	5	4	3

Panda Express #1054 had the highest drive-thru traffic counts in all categories. Both the peak 7-day average transactions/30 minutes and the peak total transactions/30-minutes occurred during lunch hours (11 AM – 2 PM). The peak total transactions/30-minute span (25 cars) occurred on three (3) separate occasions during

the one-week data collection. The maximum drive-thru queueing estimate for the proposed Willowbrook, IL Panda Express, based on counts from Panda Express #1054, is not expected to exceed five (5) cars during peak business hours.

The Willowbrook, IL Panda Express proposed site layout is designed to provide a total storage length of seven (7) vehicles for the drive-thru window queue, with placement of the menu/order board at the fifth car. Furthermore, two (2) drive-thru parking pick up spaces are proposed which will help reduce drive-thru queueing as needed during peak business hours. A copy of the Traffic Plan showing the proposed drive-thru queueing and drive-thru parking pick up spaces is provided in the attachments.

Parking Evaluation

The Village of Willowbrook Ordinance 9-10-5(K) requires 1 parking space for each 100 square feet of floor area which equals 23 parking spaces (2,300 SF x 1 parking space/100 SF). For comparison, the nearby similar Panda Express Drive-Thru Restaurant #2969 also requires 23 parking spaces (2,300 SF x 10 parking spaces/1,000 SF) in accordance with the Village of Downers Grove Municipal Code (Sec 28.7.030). The proposed Panda Express site layout provides a total of 46 parking spaces which is double the Village of Willowbrook parking requirement and should be more than adequate to meet current and future parking needs. The 46 total parking spaces are broken down as follows:

- Regular = 42 Spaces
- Drive-Thru Pickup = 2 Spaces
- ADA (Van Accessible) = 2 Spaces

Truck Turn Analysis

A truck turn analysis was completed for the proposed Panda Express site layout with the following vehicles:

- Fire Truck: 40' Overall Length (22' wheel base)
- Front Load Garbage Truck: 33.75' Overall Length (22.167' wheel base)
- Delivery Truck: 45.5' Overall Length (40' wheel base)

No issues are anticipated with truck access in and out of the site. A copy of the Truck Turn Analysis Exhibit is provided in the Attachments.

CONCLUSION

Conclusion

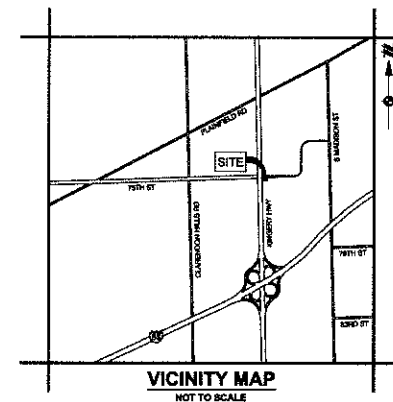
Based on the proposed Panda Express Drive-Thru Restaurant development plans and the preceding findings, the following conclusions and recommendations are made:

- The proposed site access is more than adequate to serve the site and will provide for safer traffic flow by eliminating the westernmost driveway on 75th Street and requiring a right turn only onto 75th Street.
- The proposed Panda Express Drive-Thru Restaurant is estimated to generate less traffic than the existing Shell Gasoline and Service Station with Convenience Mart; therefore, the proposed development will have no additional impact on adjacent roadways and/or land uses.
- The proposed drive-thru is designed to provide a total storage length that exceeds the estimated peak drive-thru queueing. Furthermore, two drive-thru parking pick up spaces are proposed which will help to reduce drive-thru queueing as needed during peak business hours.
- The proposed site layout is designed to provide sufficient parking spaces that exceed the Village of Willowbrook off street parking requirements.

ATTACHMENTS

Attachments

1. Traffic Plan
2. Nearby Panda Express Drive-Thru Transaction Counts:
 - a. Panda #1054 (Countryside)
 - b. Panda #2685 (Chicago)
 - c. Panda #2969 (Downers Grove)
3. Truck Turn Analysis



PROVIDED	
REGULAR (9' X 18')	42 SPACES
DRIVE THRU PICKUP (9' X 18')	2 SPACES
<u>ADA (8' X 18')</u>	<u>2 SPACES</u>
TOTAL PROVIDED SPACES	46 SPACES

TRUE WARM & WELCOME 2300

Panda Express #1054 (Countryside, IL)

Store	Day of Week		Sun		Mon		Tue		Wed		Thu		Fri		Sat		Average Daily	
	Daypart Detail		DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)
1054	Breakfast	10:00 - 10:29		0		0		1		1		1		0		0		0
1054	Breakfast	10:30 - 10:59		4		5		9		8		8		7		3		6
1054	Lunch	11:00 - 11:29		10		14		18		17		14		14		12		14
1054	Lunch	11:30 - 11:59		13		17		21		19		20		21		15		18
1054	Lunch	12:00 - 12:29		18		25		22		25		22		23		17		22
1054	Lunch	12:30 - 12:59		16		21		22		22		20		25		19		21
1054	Lunch	13:00 - 13:29		16		22		18		20		19		23		19		20
1054	Lunch	13:30 - 13:59		15		20		16		19		17		23		20		18
1054	Afternoon	14:00 - 14:29		16		18		15		18		16		20		21		18
1054	Afternoon	14:30 - 14:59		16		15		11		14		14		19		18		15
1054	Afternoon	15:00 - 15:29		18		16		14		14		12		16		20		16
1054	Afternoon	15:30 - 15:59		20		13		17		16		17		16		17		16
1054	Afternoon	16:00 - 16:29		18		14		12		15		14		17		20		16
1054	Afternoon	16:30 - 16:59		18		13		17		16		17		17		18		17
1054	Dinner	17:00 - 17:29		21		21		17		19		19		21		18		19
1054	Dinner	17:30 - 17:59		17		18		22		21		19		20		20		20
1054	Dinner	18:00 - 18:29		19		17		18		22		17		20		19		19
1054	Dinner	18:30 - 18:59		16		18		15		18		22		20		20		18
1054	Dinner	19:00 - 19:29		12		15		14		19		18		20		16		16
1054	Dinner	19:30 - 19:59		8		11		14		13		16		19		12		13
1054	Evening	20:00 - 20:29		7		11		12		15		13		16		14		12
1054	Evening	20:30 - 20:59		4		6		5		9		6		11		7		7
1054	Evening	21:00 - 21:29		1		3		3		2		2		8		6		3
1054	Evening	21:30 - 21:59		1		1		1		1		1		3		1		1
1054	Evening	22:00 - 22:29		0		0		0		0		0		1		1		0
1054	Evening	22:30 - 22:59		0		0		0		0		0		0		0		0
1054	Evening	23:00 - 23:29		0		0		0		0		0		0		0		0
1054	Evening	23:30 - 23:59		0		0		0		0		0		0		0		0
				300		330		332		361		341		397		351		345

Panda Express #2685 (Chicago, IL)

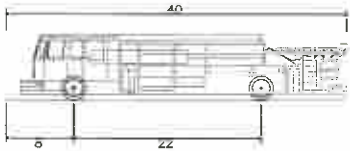
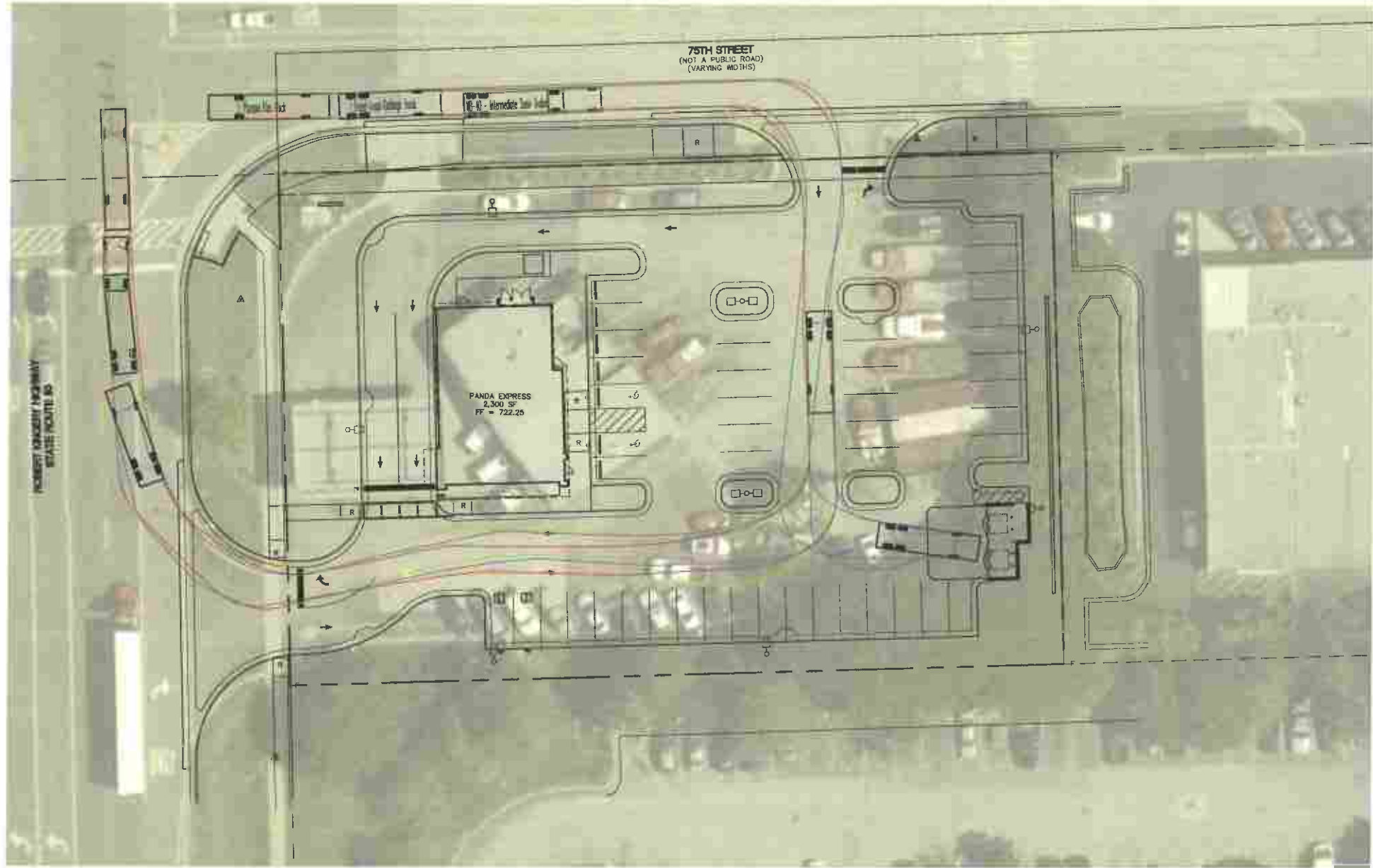
Day of Week			Sun		Mon		Tue		Wed		Thu		Fri		Sat		Average Daily	
Store	Daypart Detail		DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)
2685	Breakfast	10:00 - 10:29		1		2		6		3		3		5		2		3
2685	Breakfast	10:30 - 10:59		7		6		9		6		8		9		5		7
2685	Lunch	11:00 - 11:29		9		8		10		7		12		13		10		10
2685	Lunch	11:30 - 11:59		13		10		15		12		16		15		13		13
2685	Lunch	12:00 - 12:29		15		13		17		14		16		21		13		15
2685	Lunch	12:30 - 12:59		15		11		18		15		16		20		17		16
2685	Lunch	13:00 - 13:29		15		11		13		18		18		21		18		16
2685	Lunch	13:30 - 13:59		20		14		9		16		13		19		15		15
2685	Afternoon	14:00 - 14:29		16		13		14		14		16		23		11		15
2685	Afternoon	14:30 - 14:59		15		16		10		14		14		16		20		15
2685	Afternoon	15:00 - 15:29		13		13		13		16		11		12		18		14
2685	Afternoon	15:30 - 15:59		11		14		10		18		17		18		20		15
2685	Afternoon	16:00 - 16:29		12		14		12		18		13		16		16		14
2685	Afternoon	16:30 - 16:59		10		15		13		14		17		16		17		14
2685	Dinner	17:00 - 17:29		13		17		16		20		17		19		20		17
2685	Dinner	17:30 - 17:59		15		20		15		21		18		22		17		18
2685	Dinner	18:00 - 18:29		15		15		14		20		19		19		16		17
2685	Dinner	18:30 - 18:59		13		17		11		20		22		14		12		15
2685	Dinner	19:00 - 19:29		12		17		12		17		20		15		11		15
2685	Dinner	19:30 - 19:59		12		19		14		18		19		16		13		16
2685	Evening	20:00 - 20:29		10		16		12		18		17		15		13		14
2685	Evening	20:30 - 20:59		12		12		9		16		14		15		13		13
2685	Evening	21:00 - 21:29		12		11		11		12		11		18		11		12
2685	Evening	21:30 - 21:59		6		4		3		3		6		10		8		6
2685	Evening	22:00 - 22:29		0		0		1		0		1		2		3		1
2685	Evening	22:30 - 22:59		0		0		0		0		0		0		0		0
				289		304		283		347		350		386		329		327

Panda Express #2969 (Downers Grove, IL)

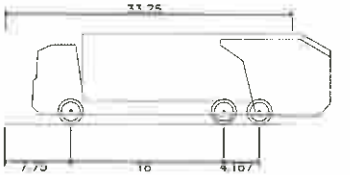
Store	Day of Week		Sun		Mon		Tue		Wed		Thu		Fri		Sat		Average Daily	
	Daypart Detail		DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)	DT Net Sales	DT Total Cars (Good Data)
2969	Breakfast	10:00 - 10:29		1		0		0		1		1		0		1		0
2969	Breakfast	10:30 - 10:59		3		3		5		5		5		8		4		4
2969	Lunch	11:00 - 11:29		4		7		10		12		9		10		6		8
2969	Lunch	11:30 - 11:59		7		10		11		11		12		15		8		10
2969	Lunch	12:00 - 12:29		8		13		14		14		12		14		8		12
2969	Lunch	12:30 - 12:59		8		11		13		12		12		13		6		11
2969	Lunch	13:00 - 13:29		7		12		12		11		12		13		9		11
2969	Lunch	13:30 - 13:59		7		10		11		10		11		11		7		9
2969	Afternoon	14:00 - 14:29		7		7		9		8		8		9		9		8
2969	Afternoon	14:30 - 14:59		8		7		6		7		7		8		7		7
2969	Afternoon	15:00 - 15:29		7		10		8		7		9		9		7		8
2969	Afternoon	15:30 - 15:59		6		8		7		4		8		6		6		7
2969	Afternoon	16:00 - 16:29		6		8		7		6		6		10		7		7
2969	Afternoon	16:30 - 16:59		7		7		7		10		10		7		5		7
2969	Dinner	17:00 - 17:29		9		10		10		7		11		11		6		9
2969	Dinner	17:30 - 17:59		8		9		9		10		11		12		10		10
2969	Dinner	18:00 - 18:29		10		10		8		12		12		9		6		9
2969	Dinner	18:30 - 18:59		9		9		10		7		13		10		8		9
2969	Dinner	19:00 - 19:29		10		8		8		10		9		9		6		9
2969	Dinner	19:30 - 19:59		5		5		8		7		7		9		6		7
2969	Evening	20:00 - 20:29		4		7		6		6		5		6		6		6
2969	Evening	20:30 - 20:59		4		3		4		4		4		4		4		4
2969	Evening	21:00 - 21:29		0		3		1		3		1		2		1		2
2969	Evening	21:30 - 21:59		1		1		1		1		0		0		1		0
2969	Evening	22:00 - 22:29		0		0		0		0		0		0		0		0
2969	Evening	22:30 - 22:59		0		0		0		0		0		0		0		0
2969	Evening	23:00 - 23:29		0		0		0		0		0		0		0		0
2969	Evening	23:30 - 23:59		0		0		0		0		0		0		0		0
			145		175		183		183		193		201		141		174	

LEGEND

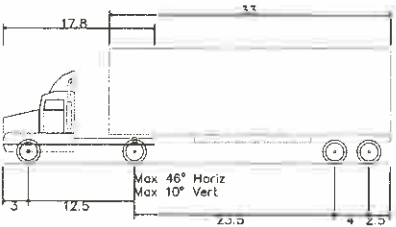
- PUMPER FIRE TRUCK
FRONT-LOAD GARBAGE TRUCK
WB-40 DELIVERY TRUCK



Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°



Front-Load Garbage Truck
Overall Length 33.750ft
Overall Width 8.375ft
Overall Body Height 10.568ft
Min Body Ground Clearance 1.022ft
Track Width 8.500ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 29.300ft



WB-40 — Intermediate Semi-Trailer
Overall Length 45.499ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.334ft
Track Width 8.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 20.30°



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9699
Facsimile: 626.372.8286

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REVISIONS:

ISSUE DATE:

PC SUBMITTAL 11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
ARCHITECTS ENGINEERS INTERIORS

ATWELL
366.650.4200 www.atwell-group.com
1250 EAST DUGL ROAD, SUITE 300
NAPERVILLE, IL 60563
DESIGN PROJ #18-003769

PANDA EXPRESS
WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

TRUCK TURN
ANALYSIS

EX-01

TRUE WARM & WELCOME 2300

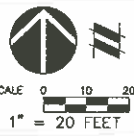


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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WITHIN THE CHAIN OF RESPONSIBILITY FOR SAFETY OF THE WORK, OF ANY HEAVY STRUCTURES, OR OF ANY OTHER PERSONS.

24-HOUR CONTACT:
PANDA FM
HAKIM YALA
847-477-5125





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REVISIONS:

ISSUE DATE:

PC SUBMITTAL 11/20/2020

DRAWN BY: LEH

PANDA PROJECT #: D7058
ATWELL PROJECT #: 18003769

NORR
ARCHITECTS ENGINEERS PLANNERS



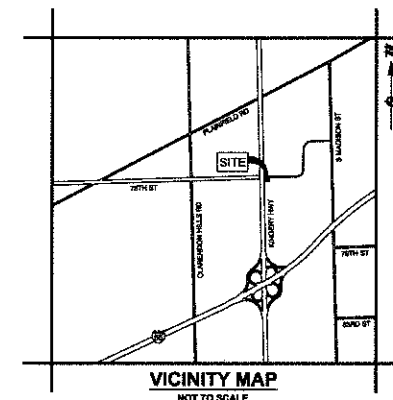
PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

TRAFFIC PLAN

EX-02

TRUE WARM & WELCOME 2300



LEGEND

---	BOUNDARY LINE
---	EXISTING ROW
④	PARKING SPACE COUNT
4	PROPOSED SIGN
4ADA	PROPOSED ACCESSIBLE PARKING SPACE SIGN
4S	PROP. STOP SIGN

SITE TRAFFIC DATA

EXISTING LAND USE: GASOLINE/SERVICE STATION W/CONVENIENCE MART (ITE CODE 945)
PROPOSED LAND USE: FAST FOOD RESTAURANT W/ DRIVE-THRU (ITE CODE 934)

DAILY RATE	EXISTING LAND USE	PROPOSED LAND USE
PEAK HOUR TOTAL PM (4-6)	3,069 TRIPS 188 TRIPS	1,083 TRIPS 75 TRIPS

*TRAFFIC RATES ARE BASED ON ITE TRIP GENERATION, 10TH EDITION

SITE DRIVE-THRU DATA

DRIVE-THRU QUEUEING PROVIDED: 7 CARS
ESTIMATED PEAK DRIVE-THRU QUEUEING NEEDED: 4 CARS

EXISTING NEARBY PANDA EXPRESS DRIVE-THRU DATA:

	PANDA #1054	PANDA #2885	PANDA #2368
AVG. DAILY TOTAL (10AM-10PM)	345 CARS	327 CARS	174 CARS
TOTAL PM (4-6)	71 CARS	64 CARS	33 CARS
AVG. PEAK TOTAL/30 MIN SPAN	22 CARS	18 CARS	12 CARS
ESTIMATED MAX QUEUEING	4 CARS	3 CARS	2 CARS

DRIVE-THRU DATA COLLECTED FROM THE FOLLOWING NEARBY PANDA EXPRESS DRIVE-THRU RESTAURANTS:

PANDA #1054
S LA GRANGE RD & JOLIET RD
COUNTRYSIDE, IL

PANDA #2885
W 65TH ST & S CICERO AVE
CHICAGO, IL

PANDA #2368
MAIN ST & OGDEN AVE
DOWNERS GROVE, IL

PARKING DATA

REQUIRED PARKING CALCULATION:
1 PARKING SPACE PER 100 SF OF FLOOR AREA
1 SPACE/100 SF * 2,300 SF = 23 SPACES

TOTAL REQUIRED SPACES 23 SPACES

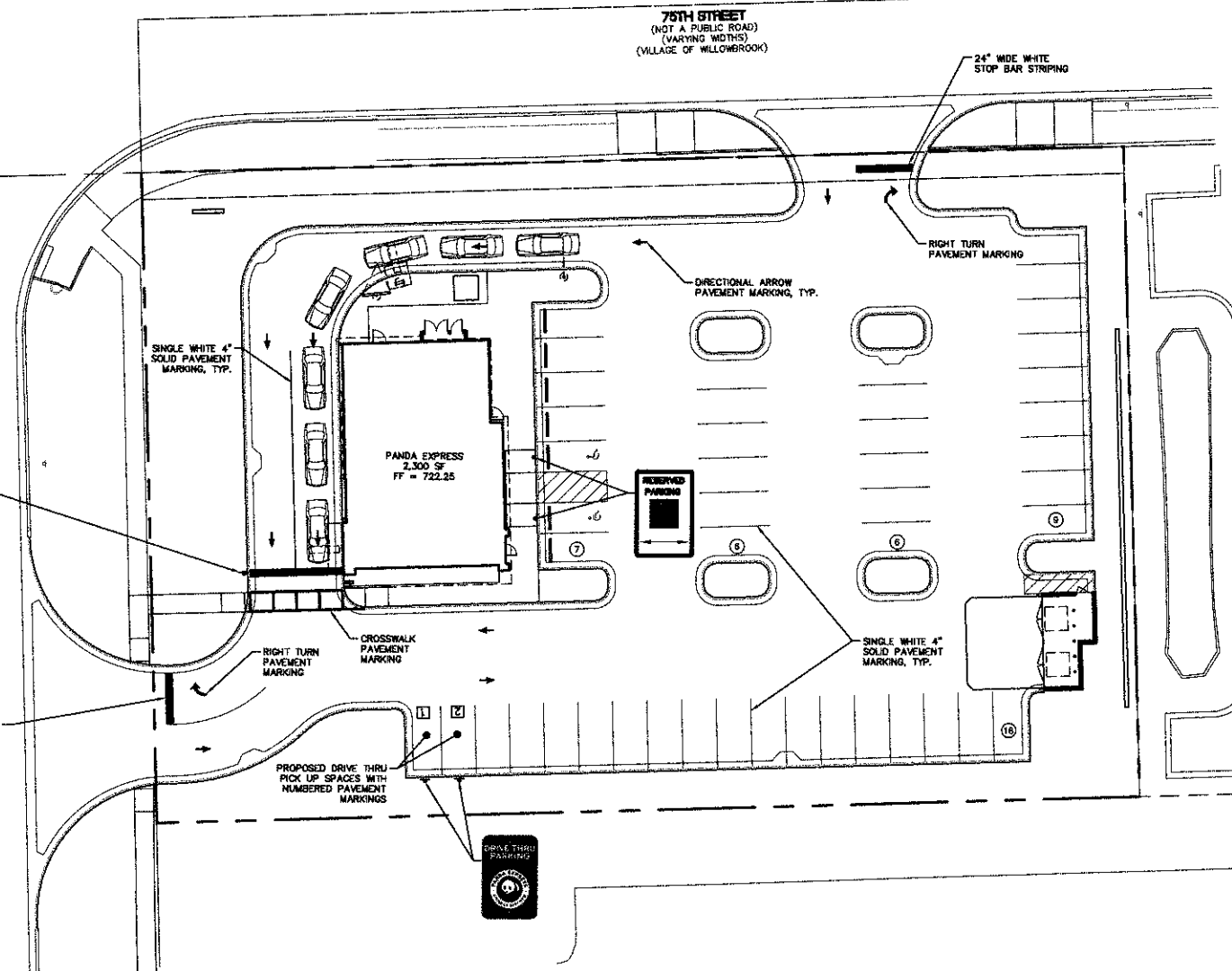
PROVIDED	
REGULAR (9' X 18')	42 SPACES
DRIVE THRU PICKUP (9' X 18')	2 SPACES
ADA (8' X 18')	2 SPACES
TOTAL PROVIDED SPACES	46 SPACES

ITE PEAK HOUR PM (4-6) PARKING REQUIRED = 35 SPACES

ROBERT KINGERY HIGHWAY
STATE ROUTE 83
(600T)



24" WIDE WHITE
STOP BAR STRIPING



SINGLE WHITE 4" SOLID PAVEMENT MARKING, TYP.

PANDA EXPRESS
2,300 SF
FF = 722.25



RIGHT TURN PAVEMENT MARKING

24" WIDE WHITE
STOP BAR STRIPING

DIRECTIONAL ARROW PAVEMENT MARKING, TYP.

CROSSWALK PAVEMENT MARKING

SINGLE WHITE 4" SOLID PAVEMENT MARKING, TYP.

PROPOSED DRIVE THRU PICKUP SPACES WITH NUMBERED PAVEMENT MARKINGS

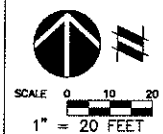


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24-HOUR CONTACT:
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HAKIM YALA
847-477-5125





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REVISIONS:

VILLAGE PLAN REV. #1 01/19/2021

ISSUE DATE:

PC SUBMITTAL 11/20/2020

DRAWN BY: LEH

PANDA PROJECT # D7058
ATWELL PROJECT # 18003769

NORR
REGISTERED PROFESSIONAL ENGINEER



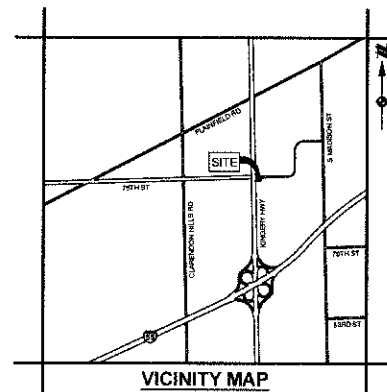
PANDA EXPRESS

WARM & WELCOME 2300
7505 KINGSLEY HIGHWAY
WILLOWBROOK, IL 60527

LANDSCAPE PLAN

L01.0

TRUE WARM & WELCOME 2300



LANDSCAPE LEGEND

720	BOUNDARY LINE
721	EXISTING CONTOUR
722	PROPOSED CONTOUR
723	EXISTING ROW
724	EXISTING EASEMENT LINE
725	EXISTING SANITARY SEWER
726	PROPOSED SANITARY SEWER
727	EXISTING STORM SEWER
728	PROPOSED STORM SEWER
729	EXISTING WATER LINE
730	PROPOSED WATER LINE
731	EXISTING UNDERGROUND GAS
732	PROPOSED UNDERGROUND GAS
733	EXISTING UNDERGROUND TELEPHONE
734	EXISTING UNDERGROUND ELECTRIC
735	PROPOSED UNDERGROUND ELECTRIC
736	EXISTING UNDERGROUND CABLE
737	PROPOSED UNDERGROUND CABLE
738	PROPOSED IRRIGATION CONDUIT
739	PROPOSED ALUMINUM EDGING
740	EXISTING LIGHT POLE
741	PROPOSED LIGHT POLE/WALL PACK LIGHT
742	PROPOSED SHRUBS
743	PROPOSED EVERGREEN TREES
744	PROPOSED ORNAMENTAL TREES
745	PROPOSED DECIDUOUS TREES
746	PROPOSED KENTUCKY BLUE GRASS SOD
747	PROPOSED STONE MULCH

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS/SPEC.
AR	4	Acer rubrum	Red Maple	2 1/2" Cal.	B&B
PD	5	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	2 1/2" Cal.	B&B
EVERGREEN TREES					
PA	19	Picea abies	Norway Spruce	5'-6' Ht.	B&B
ORNAMENTAL TREES					
SR	12	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Lilac	1 1/2" Cal. (6' Ht. min)	B&B, Multi-stem, 3 stems
DECIDUOUS SHRUBS					
EA	9	Euconymus alata 'Compacta'	Dwarf Burningbush	36"H., No. 5 Cont.	Trim to hedge
RA	85	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	No. 3 Cont.	
SB	6	Spiraea x bumalda 'Gold Mound'	Gold Mound Spiraea	No. 3 Cont.	
EVERGREEN SHRUBS					
IC	19	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	24"-36"H., No. 5 Cont.	
IG	22	Ilex glabra 'Shamrock'	Shamrock Inhberry	48"H., No. 5 Cont.	
TH	18	Taxus x media 'Hicksii'	Hicks Yew	No. 3 Cont.	Trim to hedge

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE FOR 90 DAYS FOLLOWING INSTALLATION.

Section 9-10.04 and 9-10.05, OFF STREET LOADING & PARKING LANDSCAPING REQUIREMENTS

Section 9-10.04(G): DESIGN AND MAINTENANCE

requirement	required	provided
1. Front Yards and Exterior Side Yards: Permanent peripheral screening at least four (4) feet high shall be constructed and maintained in interior side and rear yards adjacent to parking areas. This screen shall consist of a planted earth berm, densely planted shrubs or trees. Intermediate islands of a minimum six foot (6') width shall be provided between every twenty (20) parking spaces. Center dividing islands of a minimum ten foot (10') width shall be provided between every three (3) parking bays. Each island shall be effectively landscaped with appropriately sized plantings at a minimum ratio of one shade tree and nine (9) dwarf variety shrubs per island and/or fifty (50) linear feet of planting area. Shade tree distribution shall provide a minimum of one tree in the area occupied by each twenty (20) parking spaces.	4' berm/screen 5' berm/screen 10 % 9 trees 81 shrubs	4' evergreen screen 5' evergreen screen 25 % 9 trees 81 shrubs
*Two of the interior landscape island trees have been provided at the ends of the southern parking bay, and one in the exterior side yard due to layout constraints.		

Section 9-11.14, MONUMENT SIGN LANDSCAPING REQUIREMENTS

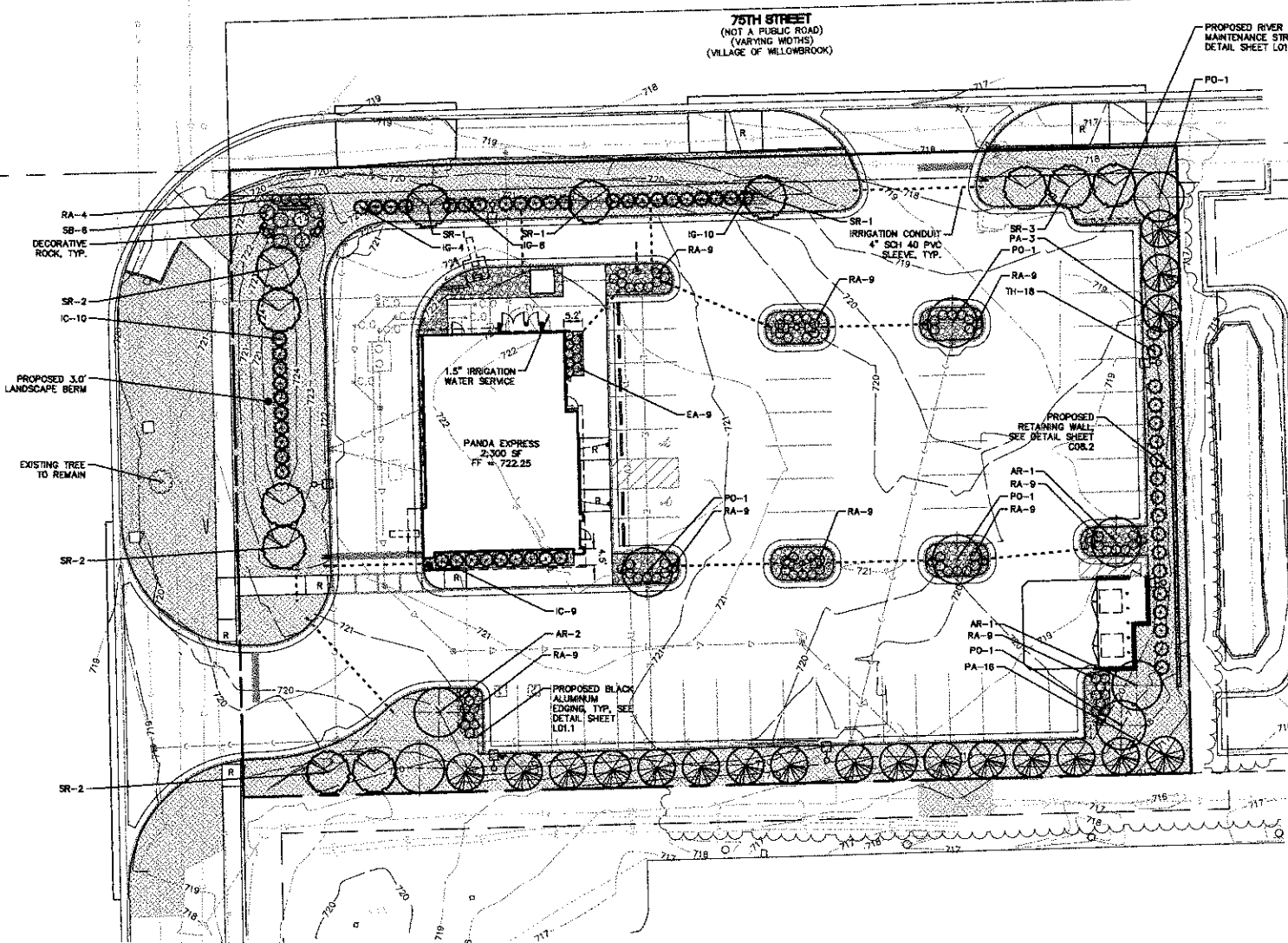
Section 9-11.14(A):

requirement	required	provided
1. For every square foot of sign surface area, there shall be provided one and one-half (1 1/2) plants.	261 SF	261 SF

Section 9-14.2.23, GENERAL LANDSCAPING REQUIREMENTS

Section 9-14.2.23(B): DESIGN AND MAINTENANCE

requirement	required	provided
1. Minimum Plantings: The applicant shall minimally provide one approved planting of each seven hundred twenty five (725) square feet of gross lot area. For each required planting, the applicant shall provide a result of separate requirements (i.e. front and side yard, screening, off street parking, monument sign, and foundation requirements) and satisfies the minimum requirement of 60 plantings.	80 Plantings 800 SF ground cover	150 Plantings 2625 SF ground
2. Approved Plantings and Ground Cover		
Not less than 2 1/2" in caliper and comprise a minimum of 5% of the required plantings, excluding pathway trees.	5% Min.	15%
Shade Trees: Shall be at least 1 1/2" caliper not less than 8' in height, and comprise at minimum 20% of the landscape plantings.	10% Min.	32%
Conifers: Shall be at least 1 1/2" caliper not less than 8' in height, and comprise at minimum 20% of the landscape plantings.	20% Min.	20%
3. Border Plantings and Foundation Plantings: A landscaped area having a minimum width of seven feet (7') shall be provided around all buildings except for building entrances and the front of retail business facilities to permit appropriate foundation plantings. Border plantings and foundation plantings shall be provided and shall comprise the remainder of the required landscape plantings, of which a minimum of one-half (1/2) shall be deciduous shrubs at a minimum height of three feet (3') and the remaining one-half (1/2) shall be evergreen shrubs at a minimum height of two feet (2').	7 Foot foundation planting width 50% Deciduous Shrubs 50% Evergreen Shrubs	4.5 Foot foundation planting width 50% Deciduous Shrubs 50% Evergreen Shrubs
*A variance is requested on the required foundation planting width.		



PLANT CALCULATION

ORDINANCE COMPLIANCE MATRIX

Zoning: B-2 COMMUNITY SHOPPING	acres
Area: 1.00	acres
Parking: 46	spaces
Street Frontage (Route 83): 176.00	feet
Street Frontage (75th St): 284.00	feet
Sign Surface Area: 174.00	square feet
USDA Zone: 9 (-20 degrees to -10 degrees)	

Section 9-14.1, BUSINESS DISTRICT LANDSCAPING REQUIREMENTS

Section 9-14.1(D): FRONT AND EXTERIOR SIDE YARD LANDSCAPE PLANTING REQUIREMENTS

requirement	required	provided
1. Landscape plantings shall be provided within any yard adjoining a street within a business district. In conformance with the standards contained within section 9-14.2.23 of the zoning ordinance, the quantity of plantings required within all yards adjacent to a street, in addition to required parking trees, shall be based upon a point system ratio according to five (5) times the linear length of the specific yard frontage, measured at the property line.	850 Points (Route 83) 1280 Points (75th St)	960 Points 1290 Points
Route 83		
Shade Tree	100	2
Conifer Tree	50	1
Ornamental Tree	50	6
Evergreen Shrub	15	14
Deciduous Shrub	10	19
Total	225	36
75th Street		
Shade Tree	100	2
Conifer Tree	50	1
Ornamental Tree	50	6
Evergreen Shrub	15	14
Deciduous Shrub	10	19
Total	225	36

3. Earth berms constructed in a continuous and/or undulating configuration, which perform a screening function and are within a minimum height range of two and one-half feet (2 1/2') to three feet (3'), may be credited up to a maximum of fifty percent (50%) of the total landscape planting points required within a yard. The maximum percentage of points credited for berms shall be equal to ten (10) times the average berm height where said berm extends across a minimum of seventy five percent (75%) of the yard's frontage.

2.5 to 3 Feet Min Berm Ht. (Route 83)

3 Feet Berm Ht. (Route 83)

46 Feet Berm Length (Route 83)

75 Feet Min Berm Length (Route 83)

No point adjustment applied as Berm length is <75% of the street frontage.

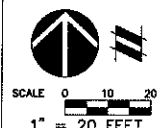
No berm provided along 75th Street



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24-HOUR CONTACT:
PANDA PM
HAKIM YALA
847-477-5125



Schedule								
Symbol	Label	Qty	Part Number	Description	Number Loops	Filename	Power (VA)	Wattage
	A	6	SLM-LED-18L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	1	SLM-LED-18L-SIL-FT-40-70CRI-IL.ies	12046	148.5
	B	0	SLM-LED-18L-SIL-3-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	1	SLM-LED-18L-SIL-3-40-70CRI-IL.ies	13767	148.5
	D	2	SLM-LED-18L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	1	SLM-LED-18L-SIL-FT-40-70CRI-IL.ies	12046	297

Statistics						
Symbol	Qty	Max	Min	Max/Min	Avg/Min	Avg/Max
CALC SUMMARY- PAVED SURFACE	+	3.4 fc	6.1 fc	1.0 fc	6.1:1	3.4:1
CALC SUMMARY- PROPERTY LINE	+	0.3 fc	1.5 fc	0.0 fc	N/A	N/A
TRASH ENCLOSURE	+	3.7 fc	4.7 fc	2.6 fc	1.8:1	1.4:1

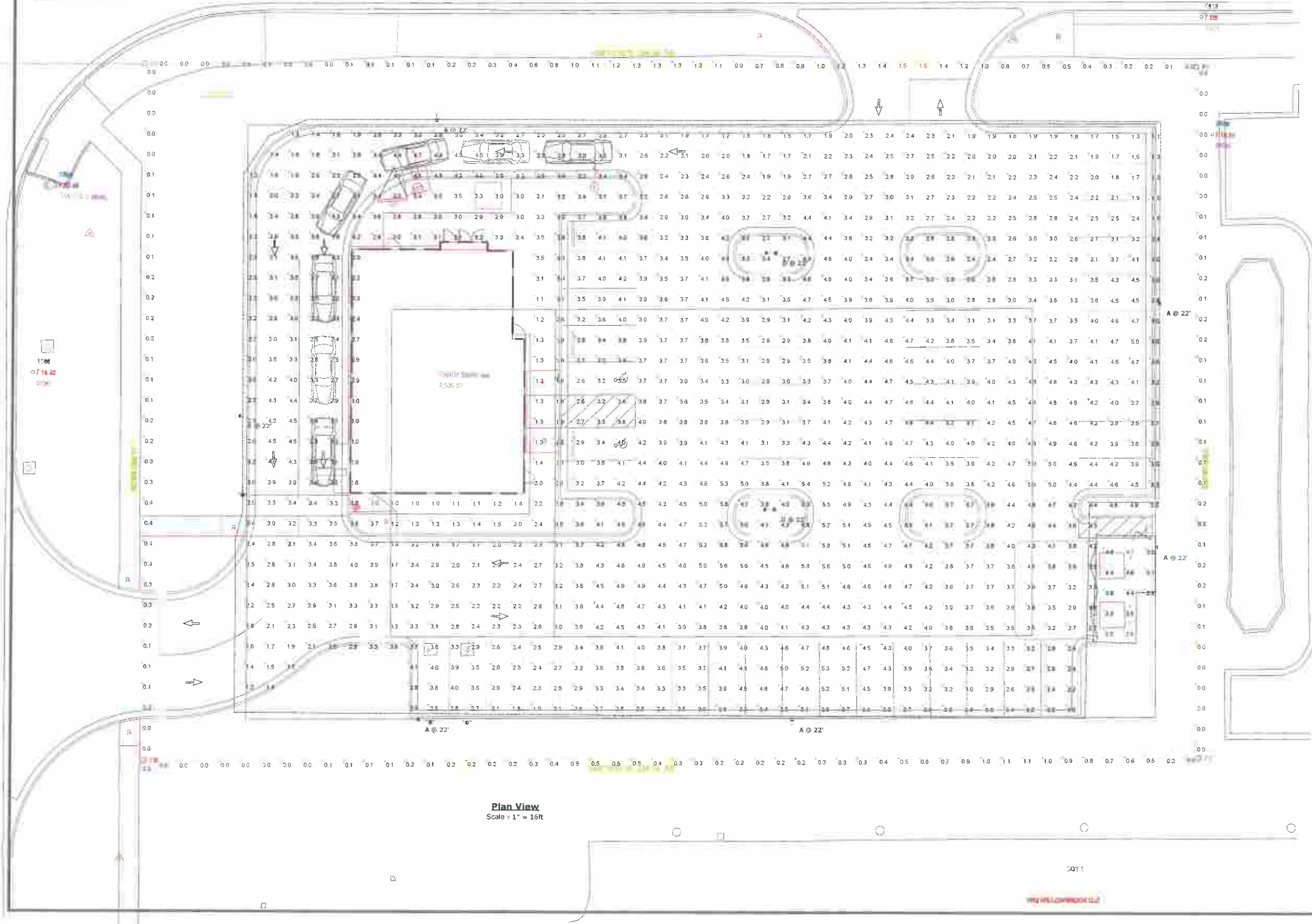
(NOT A PROJECTION)
(VARYING WIDTHS)

Note
1. MOUNTING HEIGHT OF 22' (20' POLE)
2. CALCULATIONS TAKEN AT GROUND LEVEL
3. CONTACT VILLA LIGHTING- RYAN ZINSELMEIER- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600



PANDA EXPRESS
WILLOWBROOK, IL

Designer
R. ZINSELMEIER
Date
10/29/2020
Scale
NOTED
Drawing No.
Summary





WILLOWBROOK, IL PANDA EXPRESS – PROPOSED CONSTRUCTION SCHEDULE

Item	Description	2021						
		Jun	Jul	Aug	Sep	Oct	Nov	Dec
1	Mobilization / Begin Construction		X					
2	Demolition		X					
3	Earthwork		X					
4	Building - Foundation/Slab		X					
5	Site Utilities			X	X			
6	Building - Vertical Construction			X	X	X		
7	Site Concrete/Paving				X	X		
8	Landscaping					X		
9	Site Signage / Parking Lot Striping					X		
10	Final Completion / Store Opening						X	



Attachment 3
Findings of Fact
Standards for Special Use Permits (2 pages)

9-14-5(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Applicant Finding: Panda Express is a nationwide, experienced restaurateur that has developed many sites prior to this one. Establishment, maintenance, or operation of the proposed Panda Express Drive-Thru Restaurant will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Applicant Finding: The proposed Panda Express Drive-Thru Restaurant will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed improvements made to an old site will be a major upgrade to what exists there now.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

Applicant Finding: Establishment of the proposed Panda Express Drive-Thru Restaurant will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The entire surrounding area is already developed.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.**

Applicant Finding: Adequate utilities, access (drives), drainage, and/or other necessary facilities will be engineered, permitted and constructed in accordance with local requirements for the proposed Panda Express Drive-Thru Restaurant.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

Applicant Finding: Site layout, access drives, parking, signage, pavement markings and estimated drive-thru queueing were analyzed to provide ingress and egress so designed as to minimize traffic congestion in the public streets for the proposed Panda Express Drive-Thru Restaurant. Furthermore, in accordance with the ITE Trip Generation 10th Edition, traffic generated from the proposed land use will be substantially lower than existing traffic generated from the current land use.



- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is isolated, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Applicant Finding: The proposed Panda Express Drive-Thru Restaurant shall conform to the applicable regulations of the "B-2" Zoning District with the exception of Variations approved by the Village Board pursuant to the recommendation of the Plan Commission.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Applicant Finding: The proposed Panda Express Drive-Thru Restaurant has not previously been submitted for a Special Use Permit.



Attachment 4
Findings of Fact
Standards for Variations (2 pages)

9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.**

Applicant Finding: The subject property for the proposed Panda Express Drive-Thru Restaurant is a substandard size lot for the B-2 district and cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located. The requested variations are needed to provide a site which has economic viability and can be operated safely with good access and parking.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.**

Applicant Finding: The requested variations will not merely serve as a convenience for the proposed Panda Express Drive-Thru Restaurant, but rather are necessary for any business development on the existing substandard lot. The small size of this lot creates a hardship that can only be remedied with the variations requested so that a safe efficient operation can be maintained.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.**

Applicant Finding: The alleged hardships were not created by any person presently having a proprietary interest in the premises and proposed Panda Express Drive-Thru Restaurant. Previous Variations approved for the site under Ordinance 94-O-16 are similar to the variations being requested herein so that the site could yield a reasonable return. The size and dimensions of the lot were preexisting.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**

Applicant Finding: Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood as they were previously granted for the existing uses on the property with no negative impacts on surrounding property.



- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.**

Applicant Finding: Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, substantially increase the danger of fire, or endanger the public safety.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)**

Applicant Finding: Proposed Variations for the proposed Panda Express Drive-Thru Restaurant will not alter the essential character of the locality as the restaurant will conform to the existing surrounding area uses. As they were previously granted for this site so the new development is consistent with was previously existing as far as variations.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)**

Applicant Finding: Proposed Variations for the proposed Panda Express Drive-Thru Restaurant are in harmony with the spirit and intent of Title 9 of this Code. The subject property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located. Previous variations approved for the subject site under Ordinance 94-O-16 changed the driveways and also noted that a portion of the lot was taken by the widening of Route 83. Variations are necessary for development on the existing substandard lot.



Attachment 5
Public Hearing Notice (3 pages)

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 21-01

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January, 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available:

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition requesting approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including certain variations from Title 9 of the Village Code. The applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements on the property legally described as follows:

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-26-400-013

ADDRESS: 7505 S. Kingery Highway, Willowbrook IL 60527.

The applicant for this petition is Hakim Yala of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The property owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday, between 8:30 A.M. and 4:30 P.M. All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the December 24, 2020 edition of *The Doings* Newspaper.

EQUAL HOUSING UNITIES

is advertised in is subject to the Housing Act, it illegal to ad- ference, limita- tion based on religion, sex, al status, or in the sale, ing of housing. The Illinois Act prohibits based on age, status, sexual unfavorable

is not knowingly arising for real in violation of ons are hereby al dwellings available on an y basis.

we you have ted against in the sale, rental ousing. Call:

nd Suburbs: using Center 6-8800

nd Suburbs: Housing Center 7-4674

nd Suburbs: using Center m Suburbs 7-8780

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LEGAL

Legal Notices

Notice of Public Sale of Personal Property Metro Self Storage

Notice is hereby given that the undersigned self storage units will be sold at a public sale by competitive bidding, in their entirety, to the highest bidder to satisfy the lien of the Lessor, with Metro Self Storage LLC as managing agent for Lessor, for rental and other charges due from the undersigned. The said property has been stored and is located at the respective address below. The sale will be conducted under the guidance of Christopher Rosa (441.002059) on behalf of the facility's management. Units will be available for viewing and bidding five (5) days prior to the sale on www.StorageTreasures.com. The bidding will close on January 20, 2021 beginning at 9:30 AM. The terms of the sale will be cash only to the highest bidder. A 10% buyer's premium will be charged per unit. All sales are final. Metro Self Storage LLC reserves the right to withdraw any or all units, partial or entire, from the sale at any time before the sale or to refuse any bids. The property to be sold is described as "general household items" unless otherwise noted. All contents must be removed completely from the property within 48 hours or sooner.

Metro Self Storage - 3220 West Touhy Ave, Skokie, IL 60076, 847-265-1006
Unit 783 Amado Guillarte.

Metro Self Storage - 2121 Shermer Road, Northbrook, IL 60062, 847-265-0200
Unit 568 Carl Dunham.

12/24, 12/31/2020 6840829

Notice of Public Sale

Notice is hereby given that the undersigned will sell, to satisfy lien of the owner, according to (770 ILCS 75/) Self-Service Storage Facility Act, at public sale by competitive bidding on www.StorageTreasures.com ending on January 6, 2021 at 10:00am or after for units located at:

Compass Self Storage
3000 N River Rd.
River Grove, IL 60171

The personal goods stored therein by the following may include, but are not limited to general household, furniture, boxes, clothes and appliances. Purchases must be made with cash only and paid at the time of sale. All goods are sold as is and must be removed at time of purchase. Compass Self Storage reserves the right to refuse any bid. Sale is subject to adjournment.

Unit	Tenants Name
1015	Angela F Roberts
163	Anne Hessel
222	Michael Jordan
365	Helen Larnus
461	Tremell Richard

12/17, 12/24/20 6834208

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ONLINE

Go to placeanad.tribunesuburbs.com to order and pay for your classified ad. Online. Anytime. It's fast! It's easy!

Public Hearings

NOTICE OF PUBLIC HEARING ZONING HEARING CASE NO. 21-01

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January, 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St., Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available.

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition requesting approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2 Community Shopping District, including certain variations from Title 9 of the Village Code. The applicant seeks to demolish the existing gas-service station and construct a one-story building and drive-through with associated site improvements on the property legally described as follows:

THE NORTH 170.0 FEET OF THAT PART OF SECTION 26, TOWNSHIP 38 N., RANGE 11 E., EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTH-QUARTER-THENCE EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET, THEN SOUTH 1/4 ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET, THENCE WEST ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER, THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-26-400-013

ADDRESS: 7505 S. Jangery Highway, Willowbrook IL 60527.

The applicant for this petition is Halden Vale of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The property owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday between 8:30 A.M. and 4:30 P.M. All persons desiring to be heard in support of or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

12/24/2020 6839354

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Public Hearings

NOTICE OF PUBLIC HEARING ZONING HEARING CASE NO. 21-02

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January, 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St., Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available.

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition for approval of a variation from Section 9-59-3024 to reduce the rear yard setback from thirty feet (30') to twenty-five feet (25') and approval of a variation from Section 9-59-3163 to increase the maximum FAR from 0.30 to 0.39 to allow construction of a 1,081 square foot addition to house an indoor swimming pool, and other such relief from Title 9 of the Village Code necessary on the property legally described as follows:

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTH 1/4 WEST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1978 AS DOCUMENT 878-108411, IN DUPAGE COUNTY ILLINOIS.

PIN: 09-24-112-035

ADDRESS: 6401 Meadow Lane, Willowbrook, Illinois 60527

The applicant for this petition is Pete Barfin (and Jain Bhagwan as property owner), 55541 Radcliffe Road, Naperville, Illinois 60563.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday between 8:30 A.M. and 4:30 P.M.

All persons desiring to be heard in support of or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

12/24/2020 6839375

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Public Notices

FLAGG CREEK WATER RECLAMATION DISTRICT 2021 BOARD MEETING SCHEDULE

All meetings are scheduled to start at 7:00 A.M. (CST) on the dates stated below at the District's main office located at 7001 North Frontage Road, Burr Ridge, Illinois 60527.

January 29, 2021 (Friday)
February 26, 2021 (Friday)
March 26, 2021 (Friday)
April 16, 2021 (Friday) - Budget Study Session
April 30, 2021 (Friday)
May 28, 2021 (Friday)
June 25, 2021 (Friday)
July 30, 2021 (Friday)
August 27, 2021 (Friday)
September 24, 2021 (Friday)
October 29, 2021 (Friday)
November 19, 2021 (Friday)
December 17, 2021 (Friday)

Any changes in meeting dates, times or location of the meeting will be published on the District's website, posted on the front door of the District's main office and published in the Hinsdale Downs per the Open Meeting Act requirements. This schedule was approved at the District's regularly scheduled Board meeting on September 25, 2020.
12/24/2020 6841716

AUTOMOTIVE

Cars/Trucks

Hyundai Elantra 2003 10K
Great, \$900. Call:
847-297-2546

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APARTMENT FOR RENT?

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Notice of Sign on Illinois Route 83/Kingery Highway frontage (posted on December 30, 2020)



Notice of Sign on 75th Street frontage (posted on December 30, 2020)





Attachment 6
Traffic Regulation Agreement (11 pages)

Return Recorded Document

to:

Brian Pabst
Village Administrator
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

TRAFFIC REGULATION AGREEMENT

THIS TRAFFIC REGULATION AND ENFORCEMENT AGREEMENT (the "Agreement") is made as of this _____ day of _____, 2019, by and between True North Energy, LLC, a Delaware limited liability company authorized to conduct business in the State of Illinois (the "Owner"), and the Village of Willowbrook, an Illinois home-rule municipal corporation (the "Village"), within which the "Complex" (as defined in Section 1.1 below) is located, for the regulation of traffic and other matters within the Complex and for the enforcement of said regulations by the assigned traffic law enforcement personnel of the Village.

WITNESSETH:

ARTICLE 1. DEFINITIONS: As used in this Agreement, the following definitions apply:

1.1 Complex: The land, buildings and other improvements commonly known as 7505 S. Kingery Highway, situated in the Village of Willowbrook, DuPage County, Illinois, and legally described in the attached Exhibit "A".

1.2 Permanent Index Numbers (PINs): 09-26-400-013.

- 1.3 Manager: Those persons or entity employed or retained by Owner from time to time with authority to administer, manage and operate the Complex for the purposes of this Agreement.
- 1.4 Owner: True North Energy, LLC.
- 1.5 Village: Village of Willowbrook, DuPage County, Illinois.

ARTICLE 2. RECITAL OF FACTS: The following recitals of fact are an integral part of this Agreement.

- 2.1 Owner holds record title to the Complex.
- 2.2 The Complex is located within the corporate jurisdiction of the Village.
- 2.3 It is the mutual desire of the parties hereto that the Village shall have the authority, but not the obligation, to regulate the parking of vehicles, traffic, roller skating, bicycle riding, skateboarding and/or other recreational activities within the Complex, and to enforce said regulations by the assigned traffic law enforcement personnel of the Village.
- 2.4 The Illinois Vehicle Code (625 ILCS 5/11-209), the Illinois Municipal Code (65 ILCS 5/1-1-7) and the Village's home rule authority provide authority for such agreement between the Village and the Owner and said statutory authorization enumerated on those matters which may be included in such agreement. Further, additional matters may be included in such agreements pursuant to Article VII, Section 6 and Section 10 of the Illinois Constitution.
- 2.5 Manager, in its capacity with Owner, is empowered to enter into this Agreement.

ARTICLE 3. COVENANTS: In consideration of the foregoing premises and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, each of the respective parties hereto covenants and agrees as follows:

- 3.1 The Owner will cause the Manager or its designated representative to cooperate with the Chief of Police of the Village or his designated representative in inspecting the parking area of the Complex to determine what, if any, stop signs, yield signs, person with disabilities parking area signs, or any other traffic markers are to be erected, and to determine what, if any, areas are to be marked as stop intersections, yield intersections, person with disabilities parking areas or pedestrian crossings, in order to provide for the safe and efficient trafficking of the parking area of the Complex. Further, such determination may include the regulation and/or prohibition of roller skating, the riding of bicycles, the riding or

operation of skateboards and/or other recreational activities in and upon the Complex, and the posting of the signs with the respect thereto.

- 3.2 If it be determined, pursuant to Section 3.1 of this Agreement, that stop signs, yield signs, person with disabilities parking area signs, or any other markers are to be erected or that specified intersections are to be marked as stop intersections, yield intersections, or pedestrian crossings, the Owner agrees to erect such signs and markers at the indicated places on the Complex, in accordance with all applicable regulations and specifications promulgated by the State of Illinois. The Owner shall bear the costs and expenses of obtaining, erecting and maintaining any and all such signs and markers necessary for enforcement of the regulations agreed to by the parties herein.
- 3.3 The Owner shall cause the Manager to mark such fire lanes as the local Fire Protection District Chief or his designated representatives shall recommend as necessary for effective movement of Fire Department and other emergency vehicles.
- 3.4 Signs or other devices providing for the regulation of traffic and parking, or the regulation or prohibition of roller skating, bicycle riding, skateboarding and/or other recreational activities, within the Complex, as well as a designation of the exact regulations to be imposed thereon, shall be installed as shown in the Traffic Regulation Plan for (Project Name) Willowbrook, IL Panda Express as prepared by (Consultant) Atwell, LLC, (Address) 1250 East Diehl Road, Suite 300, Naperville, IL 60563, referenced as Project No. 18003769.01, consisting of 1 sheet, dated November 16, 2020 and revised through N/A, _____ a copy of which is attached hereto as Exhibit "B" and by this reference incorporated herein.
- 3.5 The Village has the authority, but not the obligation, to enforce all regulations in the parking areas of the Complex by use of assigned traffic enforcement personnel of the Village; to issue citations to any and all violators of such regulations; and to adopt and enforce any additional reasonable rules and regulations with respect to traffic and parking in the parking area as local conditions may require or the safety and convenience of the public or the users of the parking area.
- 3.6 The Owner hereby agrees to provide for the removal of vehicles that are abandoned or parked in areas where stopping, standing or parking is prohibited. Such removal shall be done pursuant to a towing agreement and in accordance with the requirements of 625 ILCS 5/4-203, including, but not limited to, posting of the notice required therein.
- 3.7 Neither the Owner nor the Manager shall permit any person to park a vehicle at any location in the Complex for the purpose of displaying such vehicle for sale, lease or ride-share. The owner of any such vehicle may be ticketed by the Village.

- 3.8 The Owner has named the Village as an additional insured on a primary non-contributory basis on its Comprehensive General Liability Insurance Policy and on their Excess Liability Insurance Policy and a copy of said Certificate of Insurance is attached hereto as Exhibit "C" and incorporated herein. Such liability insurance shall provide that the Village, its officers, agents, agencies, employees, and departments shall be additional insured under such insurance. Said insurance shall be in the minimum amount of one million dollars (\$1,000,000) combined single limit or in such amounts acceptable to the Village and shall be in such form and with such Company as shall be approved by the corporate authorities.

The Owner hereby agrees to keep said policies in full force and effect throughout the terms of this Agreement. A mandatory written notice must be provided upon the cancellation of any policy as outlined under the Certificate of Insurance evidencing the coverage provided for herein.

- 3.9 In the event the Owner changes Managers, the Owner shall notify in writing the Village within ten (10) days of such change.

ARTICLE 4. TERM:

- 4.1 This Agreement shall be in full force and effect from and after the date of its execution for a period of twenty (20) years of the date thereof, and may, by further agreement of the parties, be continued for additional periods of like duration.

Notwithstanding any provision contained herein to the contrary, after this Agreement has been in effect for a term of one (1) year, this Agreement may be canceled upon the giving of thirty (30) days prior written notice by either party hereto, except to the extent that the Owner may be required to maintain this Agreement pursuant to any zoning relief granted by the Village.

- 4.2 The sole remedy available to the Owner, upon any breach of this Agreement by the Village, shall be the cancellation of the Agreement under its terms. It is of the essence of this Agreement that the Village shall not be liable in money damages for any breach of this Agreement.

ARTICLE 5. SUCCESSORS: This Agreement shall be binding upon and inure to benefit the respective assigns, successors and personal representatives of each of the parties hereto, and this Agreement shall run with title to the Complex and the obligations of the Owner shall be and are binding on future owners of any portion of the Complex.

ARTICLE 6. GOVERNING LAW: This Agreement shall be governed by the laws of the State of Illinois.

ARTICLE 7. EXECUTION AND RECORDING: This Agreement shall be executed by the parties' prior to the commencement of operations of the Complex. A fully executed copy of the Agreement shall be recorded in the Office of the Recorder of Deeds of the County of DuPage of the State of Illinois against title to the Complex, and it is agreed, pursuant to the statutes set forth above, that no regulation made pursuant to this Agreement shall be effective or enforceable until three (3) days after this Agreement is recorded.

ARTICLE 8. NOTICES: All notices hereunder shall be in writing and sent by Certified Mail, addressed to the Manager at EC Developments II, LLC, 1120 North Town Center Drive, Suite 150, Las Vegas, NV 89144 and, if to the Village, at the Office of the Village Administrator of Willowbrook, 7760 Quincy Street, Willowbrook, Illinois 60527.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed, as of the date and year first above mentioned.

OWNER True & North Energy, LLC
By: [Signature]

BY:

MARK E. LYNN, President/CEO
(Managing Agent or Owner)

VILLAGE OF WILLOWBROOK

BY:

President

ATTEST:

Village Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF COMPLEX

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST 1/4; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT "B"

TRAFFIC REGULATION PLAN

Pursuant to the attached agreement, the Willowbrook Police Department has the authority, but not the obligation, to enforce the following areas as designated on the traffic control plan attached hereto.

1. Traffic control signs including posted speed limit signs, stop signs, yield signs, and one-way signs.
2. No parking within 15 feet of hydrant locations as marked.
3. Handicap parking areas as marked with an official sign.
4. Prohibition of parking along all streets between 2:00 a.m. and 6:00 a.m.
5. Enforcement of yellow curb markings with adjacent "No Parking" signs indicating no parking areas.
6. Enforcement of posted, "No Trespassing" signs.
7. Posted "No Parking" zones.
8. Parking of vehicles for the purpose of being displayed for sale.
9. Enforcement of Village ordinance violations.
10. Prohibition of roller skating, bicycle riding, skateboarding and/or other recreational activities within the complex as posted.

Any future signs, crosswalks, and so forth may be agreed upon at a later date.

Tamara Korman Egan, LLC

By: [Signature]

Owners' Representative

Chief of Police

[ATTACH PLAN]

EXHIBIT "C"

CERTIFICATE OF INSURANCE



Attachment 7
Village Review Letters (20 pages)



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Deborah Hahn

Village Trustees

Sue Berglund

Umberto Davi

Michael Mistele

Gayle Neal

Paul Oggerino

Gregory Ruffolo

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman



Proud Member of the
Illinois Route 66 Scenic Byway

January 13, 2021

Atten: Hakim Yala
Panda Express, Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770

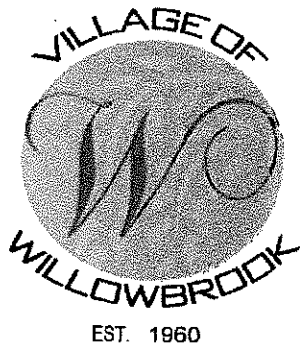
Brian A. Styck
Atwell, LLC

Re: **7505 Kingery (Panda Express & Drive-Through) Planning Review #1**

Mr. Yala and Styck,

Planning staff has reviewed the submitted application, submitted on November 25, 2020, for the Panda Express Fast-Food Restaurant and Drive-Through development on the lot currently occupied by Shell Oil gas station on 7505 Kingery Highway in Willowbrook, IL 60527. The following plan has been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. "Legal Description" – 1 page, undated and prepared by Atwell Group.
2. "ALTA-NSPS Land Title Survey" – 2 sheets (Job. No. 18003769), dated 8/10/2020 and bearing the latest revision date of 9/23/2020, and prepared by NORR LLC.
3. "Site Layout Plan" – 1 sheet, Sheet C04.0, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
4. "Architectural Drawings" – 5 sheets, Sheets A-101, A-200, A-201, A-202, A-300, Panda Project #: D7058, Arch. Project #: JCDT180453, bearing an issue date of 11-04-2020, and prepared by NORR Architects Engineers Planners.
5. "Proposed Sign package" – 16 pages, Project #: C59897, dated 12.19.2018, bearing the latest revision date of 11.02.2020, and prepared by Priority Sign.
6. "Final Engineering Plans" – 21 sheets, Panda Project #: D7058, Arch. Project #: JCDT180453, bearing an issue date of 11-20-2020, and prepared by NORR Architects Engineers Planners.
7. "Engineer's Opinion of Probable Construction Cost" – 3 pages, dated 11/20/2020, and prepared by Atwell Group.
8. "Traffic Turn Analysis" – 1 sheet, Sheet EX-01, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
9. "Traffic Plan" – 1 sheet, Sheet EX-02, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
10. "Traffic Regulation Agreement" – 9 pages, dated 11/20/2020, and prepared by Atwell Group.
11. "Landscape Plan" – 1 sheet, Sheet L01.0, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, and prepared by NORR Architects Engineers Planners.
12. "Photometric Plan" – 1 sheet, Sheet L01.0, dated 10/29/2020, and prepared by Villa Lighting.
13. "Lighting Cut Sheets" – 1 sheet, Sheet A-400, Panda Project #: D7058, Arch. Project #: JCDT180453, dated 10/29/2020, and prepared by NORR Architects Engineers Planners.



Willowbrook

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14. "Construction Schedule" – 1 page, dated 11/17/2020, and prepared by Atwell Group.
15. "Standards for Special Use Permits" – 2 pages, prepared by Atwell Group.
16. "Standards for Variations" – 2 pages, prepared by Atwell Group.
17. "Variations Requested" – 1 page, dated 11/22/2020, and prepared by Atwell Group.
18. "Kane-DuPage Soil and Water Conservation District (SWCD) Land Use Opinion" – 1 page, dated December 14, 2020.
19. "Illinois Department of Conservation, Endangered Species Consultation" – 3 pages, dated 11/17/2020.

Staff offers the following comments:

General Comments

1. Revise Standards for Variations according to the new list of variations noted at the end of this review letter.

ALTA-NSPS Land Title Survey

2. The survey should be signed by a registered Illinois Professional Land Surveyor (missing signature).

Site Layout Plan

3. Include the distances from the center of the driveway on Route 83 to the center of the driveway on the adjacent property to the south.
4. Include the distances from the center of the driveway on 75th Street to the center of the driveway on the adjacent property to the east.
5. Label the width of all parking islands.
6. Identify and label the land uses adjacent to the subject property to the north, south, east, and west. Include the name of development and the zoning district.
7. Label the three shapes indicated in dashed and solid lines located north of the proposed building. (Are these menu boards?) Add dimensions from the north and west lot lines.

Traffic

Per your request, Gewalt Hamilton Associates, Inc. (GHA) has reviewed the following material provided for the above captioned project pertaining to traffic, parking, and on-site circulation:

- A. Site Traffic Study, prepared by Atwell dated January 5, 2021, which includes Traffic Plan, Sheet EX-02.
- B. Response to Comments Letter, prepared by Atwell dated January 5, 2021.
- C. Truck Turn Analysis, Sheet EX-01, prepared by Atwell dated November 20, 2020.

Conclusions of this effort and recommendations for consideration are presented below:

8. The TIS prepared by Atwell is generally in conformance with the guidelines published by the Institute of Transportation Engineers (ITE).
9. GHA has found the documentation and/or responses provided, in general, to adequately address the comments made and concerns raised in our previous Project Traffic Review dated September 30, 2020. An updated Site Traffic Study is not required.



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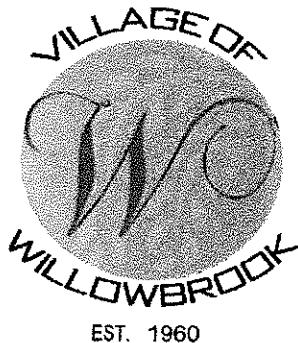
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10. Employees should be encouraged to park in remote spaces (furthest from the site entrance) to provide convenient parking for customers.
11. The Site Traffic Study references ITE Land Use Code (LUC) 945, Gasoline/Service Station with Convenience Market using the building size to estimate traffic generated by the existing site use. Based on the existing site parameters (8 vehicle fueling positions, a convenience store less than 2,000 SF and ancillary vehicle service center), LUC 944, Gasoline/Service Station would be a more appropriate use. However, the trip generation estimates for the existing site use based on multiple independent variables (building size and number of vehicle fueling positions) would still result in a traffic estimate that is greater than the proposed Panda Express, fast-food restaurant with drive thru. Accordingly, no modifications to the study are required.
12. 75th Street to the west of Kingery Highway is under the jurisdiction of the DuPage County Division of Transportation.
13. Kingery Highway (IL Route 83) is also designated as a Strategic Regional Arterial (SRA) route. SRA routes are designed to carry higher traffic volumes at higher travel speeds through access control and increased access and traffic signal installation/spacing requirements.

14. A Certificate of Insurance will be required as an attachment to the Traffic Regulation Agreement.

Bulk Regulations & Landscaping

15. The Landscape Plan, Sheet L01.0, incorrectly labels the nine shrubs in the parking island immediately to the southeast of the buildings as "HR-9" when it should be labeled "RA-9". Revise to correct the typo.
16. Revise the "Ordinance Compliance Matrix" under the "Plant Calculation" table in the Landscape Plan to reflect that the Route 83 frontage is 170 feet and the 75th Street frontage is 256 feet.
17. Revise the "Section 9-6-1(D)" requirement 1. table in the Landscape Plan to reflect that 1,280 points is required for 75th Street and that 850 points is required for Route 83.
18. Differentiate between the evergreen and the deciduous shrubs under the Plant Schedule.
19. Section 9-6-1(D) of the Village Code provides that the front yard (Route 83) requires a minimum of 850 points. The Landscape Plan indicates 2 shade trees = 200 pts, 5 conifer trees = 300 pts, 6 ornamental trees = 300 pts, 19 evergreen shrubs = 285 pts and 76 deciduous shrubs = 760 pts, for a total of 1,845 pts. The total of 1845 pts. Exceeds the minimum requirement of 850 points.
20. Section 9-6-1(D) of the Village Code provides that the exterior side yard (75th Street) provides a minimum of 1,280 points. The Landscape Plan indicates 1 shade trees = 100 pts, 4 conifer trees = 240 pts, 6 ornamental trees = 300 pts, 16 evergreen shrubs = 240 pts, 24 deciduous shrubs = 240 pts, for a total of 1,120 points. The exterior side yard setback is deficient 160 points. **A variation from this requirement will be required unless you can provide more plantings.** A berm may be credited up to a maximum of fifty percent (50%) of the total landscape planting points required within a yard pursuant to Section 9-6-1(D)3.
21. The existing conditions plan (Sheet C02.0) calls out a 16-inch diameter underground gas pipe within a 7-foot easement along the north lot line. Typically, when a gas main is this large, Nicor Gas would send Watch and Protect when anyone is digging in close proximity to the main. Since it is such a large main, coordination with the gas company should be



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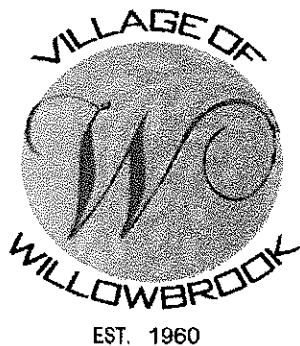
initiated during the design phase to understand how close any trees or landscape plantings with large root balls should be planted.

Photometric Plan

22. The photometric plans, consisting of two sheets and prepared by Villa Lighting and dated October 29, 2020 are in general compliance with Village Code and standard engineering methods. Please note that the Village reserves the right to require glare shields to be installed, should it deem appropriate.

Loading & Parking

23. Section 9-10-5(G) of the Village code requires that a landscaped earth berm of a minimum three-foot (3') height shall be required and appropriately landscaped with densely planted evergreen trees or shrubs to an effective minimum height of four feet (4') upon installation. **Staff requests that the Site Plan (Sheet C04.0) and Landscape Plan (Sheet L01.0) be revised to reflect this requirement.**
24. In addition, Section 9-10-5(G) requires that in all non-residential districts, parking shall be permitted in required front, side and/or rear yards, provided that the following screening and landscaping standards are met:
1. Front Yards and Exterior Side Yards: Permanent peripheral screening at least four feet (4') high shall be constructed and maintained in front yard and exterior side yard areas adjacent to parking areas. This screening shall consist of a planted earth berm, densely planted evergreen shrubs or trees or a combination of both. **Staff requests that the Site Plan (Sheet C04.0) and Landscape Plan (Sheet L01.0) be revised to reflect a berm within the front yard and exterior side yard to comply with this requirement and Section 9-6-1(D)3 (since the exterior side yard area was deficient by 160 points).**
 2. Interior Side and Rear Yards: Permanent peripheral screening at least five feet (5') high shall be constructed and maintained in interior side and rear yards adjacent to parking areas. This screening shall consist of a planted earth berm, densely planted evergreen shrubs or trees, or a combination of both. In interior side and rear yards, the screening shall be so located and constructed as not to interfere or conflict with the use of any utility easement or utility installations existing or planned to be installed in these easement areas. **The proposed Chadwick Yews in the rear yard only grow to a maximum height of 3' to 4'. Staff requests that these be replaced to comply with Section 9-10-5(G)2.**
 3. Interior Parking Lot Landscaping: Section 9-10-5(G)3 requires that each island shall be effectively landscaped with appropriately sized plantings at a minimum ratio of one shade tree and nine (9) dwarf variety shrubs per island and/or fifty (50) linear feet of parking area. Shade tree distribution shall provide a minimum of one tree in the area occupied by each twenty (20) parking spaces. **Add landscape plantings to the end island located to the northeast of the proposed building.**
25. Section 9-10-5(L)2(e) provides for spacing between separate driveway entrances requirements. **Staff requests to include these on the revised site plan to verify. A variation from this code section will be required.**



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26. Section 9-10-5(L)2(f) provides for spacing between driveway entrance and right-of-way of an adjacent intersecting street requirements. **Staff requests to include these on the revised site plan to verify or to indicate the functional area of the intersection. A variation from this code section may be required.**

Signage

27. Section 9-11-12(B)1(a) permits 1.25 square feet of sign surface area for each 1' of business site frontage up to a maximum of 350 square feet of sign surface area. In the case of a corner lot, "Business Site Frontage" is defined under Section 9-2-2 as the length of the exterior side lot line, measured in feet. The permitted sign surface area is 320 square feet.
28. Section 9-11-12(B)1(b)1 permits a total of four (4) wall signs.
29. Section 9-11-12(B)1(d)6 further reduces the sign surface area by seven and one-half (7 1/2) square feet per each foot of sign height for any freestanding or ground sign constructed in excess of eight feet (8') above average surrounding grade. The proposed ground sign S9 is twelve feet (12') tall and therefore in excess of 4 feet (4') above average surrounding grade. Therefore, the allowable sign surface area is reduced to 290 square feet.
30. Private traffic direction signs directing traffic movement onto a premises or within a premises, not exceeding four (4) square feet in area and four feet (4') in height for each sign shall be exempt under Section 9-11-6(L). Illumination of these signs shall be permitted in accordance with the regulations contained in this chapter. Sign D8 has two faces and the sum of these two faces is 4.33 square feet which exceeds the 4 square foot maximum. Please include a table that indicates compliance with the minimum area requirement for private directional signs.
31. Signs must contain brick or other similar material in keeping with the design of the principal structure under Section 9-11-12(B)1(d)1.

Fences

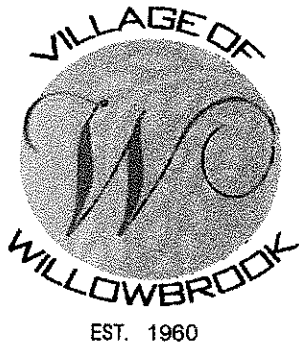
32. Section 9-12-4(D)2 requires that fences not greater than 3' in height and at least eighty percent (80%) open may be located anywhere on a lot. Based on Sheet C0.82, Staff calculates that the retaining wall located within the rear yard has a maximum height of 1.68' up to a height of 33". **Staff requests that the applicant confirm this dimension by providing a note to this effect on the Site Plan.**

Trash Enclosure

33. No comments.

Zoning Certificates and Occupancy Certificates

34. Section 9-14-2(D)2(a) requires that all areas of the development not proposed to be improved with structures, paved areas, walks, retention or detention areas, lighting or other approved landscaping shall be improved with Kentucky blue grass sod or seed. Sheet L01.1, Lawn Note No.1 indicates locally grown sod. **Please specify Kentucky blue grass sod or seed on the Landscape Plan (Sheet L01.0).**
35. Section 9-14-2(D)2(c)4 requires that a landscaped area having a minimum width of seven feet (7') shall be provided around all buildings except for building entrances and the front of retail business facilities to permit appropriate foundation plantings. Border plantings and



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foundation plantings shall be provided and shall comprise the remainder of the required landscape plantings, of which Please revise the sizes of the evergreen and deciduous shrubs in compliance with 9-14-2(D)2(c)4 which requires a minimum of one-half of the required landscape plantings shall be deciduous shrubs at a minimum height of three feet (3') and the remaining one-half (1/2) shall be evergreen shrubs at a minimum height of two feet (2').

36. Consider adding foundation planting along the north portion of the east façade to comply with Section 9-14-2(D)2(c)4. A variation for a reduced foundation planting width will be required along the west façade.

37. Add the dimension of a 4.5' wide foundation planting with on the Landscape Plan.

Engineering

38. Sheet C01.0: No comments.

39. Sheet C01.1:

- In Storm Sewer Note 4, add that the grates must have the "Dump No Waste – Drains to Creek" emblem.
- Watermain Note 11 should be revised to state that the contractor shall verify with the Public Services Department for specific make and model of fire hydrants, however there are no proposed hydrants on the plans.
- Add to the Watermain Notes "The contractor shall coordinate with the Public Services Department at least two working days prior to making the service tap to coordinate schedule, verify materials, and schedule required inspections."

40. Sheet C01.2: No comments.

41. Sheet C02.0: No comments.

42. Sheet C02.1

- Add to the note regarding the sanitary service note "as directed by Du Page County Public Works". Additional comments may be generated as more information is provided.

43. Sheet C03.0, L03.1: No comments.

44. Sheet C04.0, 4.1:

- The path along 75th Street is an asphalt path with concrete curb ramps at the driveways. Modify how the new pavement is shown at the proposed 75th Street driveway to only show the curb ramps to be concrete, with the remainder to be asphalt (up to first joint shown).
- We presume that the signs shown at the two handicapped accessible stalls are the required signs although not matching the legend.

45. Sheet C05.0, 5.1: No comments.

46. Sheet C06.0, 7.0, 7.1:

- The proposed water service should be as close as possible to a direct route from the main to the point of entry into the building.
- The Building Department will review the details of the water service, as it is considered plumbing under the Illinois Plumbing Code. Hydrocarbon resistant gaskets may be required since the service will cross a petroleum pipeline.
- Modify the note for the connection of the sanitary service to the existing manhole to refer to Du Page County requirements, not Village requirements.
- Show where the retaining wall underdrain will discharge.

47. Sheet C08.0 – 8.4:



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- a. For the handicapped sign detail, specify that the fine is \$350. The signage must be in compliance with the Illinois Accessibility Code standards.
48. Sheet L01.0, 1.1: Refer to Bulk Regulations & Landscaping, Loading & Parking and Zoning Certificates and Occupancy Certificates sections above.
49. General Comments:
 - a. An abbreviated Stormwater Submittal is required. We foresee this document being one to two pages with a project narrative and statements that the site does not contain floodplain or wetlands, and the development does not reach the net new impervious thresholds to trigger Best Management Practices or Detention.
 - b. A permit is required from IDOT prior to any work in the Route 83 right of way.
 - c. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.
 - d. The applicant must file a Notice of Intent with the IEPA prior to the start of construction.

Tri-State Fire Protection District

50. The Bureau of Fire Prevention has received a resubmitted copy of the proposed site, traffic, and auto turn plans for the above listed project. After review, the plans are found to be in apparent compliance with applicable standards relative to fire prevention and life safety.
51. Necessary inspections are to be performed along with any outstanding fees paid before occupancy is granted.
52. The Bureau of Fire Prevention has been asked to review the plans, specifications or other documents submitted to see if compliance has been made with the Fire Prevention Codes and Ordinances of the Tri-State Fire Protection District. Errors or omissions by representatives of the Bureau of Fire Prevention do not constitute permission to cancel, set aside or waive any provision of any applicable Code or Ordinance of the Tri-State Fire Prevention District. Approvals by the Bureau of Fire Prevention will be in writing only.

Illinois Department of Conservation, Endangered Species Consultation

53. The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Zoning Requests

Approval of a Special Use Permit for the construction of a one-story restaurant in the B-2 zoning district including a drive-through lane and associated site improvements. The approval of the special use permit will include, but is not limited to, the following variations:

1. A variation from Section 9-3-3(C) to decrease the minimum lot area for two (2) or more special uses from two acres (2 AC) to one acre (1 AC).
2. A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet (50') for the proposed building.
3. A variation from Section 9-6-1(A) to decrease the minimum lot area for two (2) or more special uses (fast food establishment and drive-through) from two acres (2 AC) to one acre (1 AC).
4. A variation from Section 9-6-1(D)1 to decrease the required exterior side yard landscape planting requirements from 1,280 points to 1,120 points. **STAFF RECOMMENDS REVISING THE LANDSCAPE PLAN TO ELIMINATE THIS VARIATION**



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5. A variation from Section 9-6B-3(A) to decrease the minimum lot area for all uses from two acres (2 AC) to one acre (1 AC).
6. A variation from Section 9-6B-3(C)1 to decrease the minimum lot width of 200 feet for restaurants from two hundred feet (200') to one hundred seventy feet (170'). *(Existing Condition)*
7. A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to fifty feet (50').
8. A variation from Section 9-6B-3(E)3 to decrease the minimum exterior side yard setback on 75th Street from sixty feet (60') to forty-three point four feet (43.4') for the proposed building.
9. *A variation from Section 9-10-5(G) to eliminate the requirement of a 3' tall berm within the front yard adjacent to Illinois Route 83. (May not need if plan is revised)*
10. *A variation from Section 9-10-5(G)2 to eliminate the permanent peripheral screening at least five feet (5') high to be constructed and maintained in interior side and rear yards adjacent to parking areas. (May not need if plan is revised)*
11. A variation from Section 9-10-5(L)2(b)(2)a to decrease the radius connecting street pavement edge and driveway edge on 75th street from 35' to 25'. *(Existing Condition)*
12. A variation from Section 9-10-5(L)2(d) to decrease the driveway location on Route 83 from seventy feet (70') to twenty-five point seven feet (25.7'). *(Existing Condition)*
13. A variation from Section 9-10-5(L)2(e) to decrease the minimum spacing between separate driveway entrances from four hundred feet (400') to approximately three hundred thirteen feet (+/- 313') on Illinois Route 83 and to approximately one hundred sixty-nine feet (+/- 169') on 75th Street. *(Existing Condition)* **APPLICANT TO PROVIDE DIMENSIONS ON SITE PLAN**
14. A variation from Section 9-10-5(L)2(f) to decrease the minimum spacing between driveway entrance and right-of-way of an adjacent intersecting street from five hundred feet (500') to ninety-four point three feet (94.3') on Illinois Route 83 and to one hundred forty-six point two feet (146.2') on 75th Street. *(Existing Condition)*
15. A variation from Section 9-10-5(L)2(g) to eliminate the requirement of a concrete median separation and to reduce the driveway storage from one hundred feet (100') to zero feet on Illinois Route 83 and 75th Street.
16. A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to four point five feet (4.5') along the southern façade, and from seven feet (7') to zero feet along the western building façade and the northern portion of the eastern building façade.



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If you have any questions, you may contact me at planning@willowbrook.il.us or 630.920.2233.

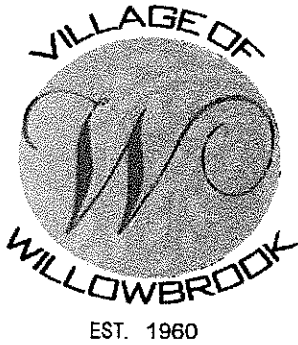
Sincerely,

Ann Choi
Village Planning Consultant
WBK Engineering, LLC

Cc: Brian Pabst
Michael S. Mertens
Dan Lynch
Roy Giuntoli



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January 22, 2021

Atten: Hakim Yala
Panda Express, Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770

Brian A. Styck
Atwell, LLC

Re: **7505 Kingery (Panda Express & Drive-Through) Planning Review #2**

Mr. Yala and Styck,

Planning staff has reviewed the revised application materials submitted on January 19, 2021, for the Panda Express Fast-Food Restaurant and Drive-Through development on the lot currently occupied by Shell Oil gas station on 7505 Kingery Highway in Willowbrook, IL 60527. The following plan has been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. **"ALTA-NSPS Land Title Survey"** – 2 sheets (Job. No. 18003769), dated 8/10/2020, bearing the latest revision date of 9/23/2020, resubmitted on January 19, 2021 and prepared by NORR LLC.
2. **"Site Layout Plan"** – 1 sheet, Sheet C04.0, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
3. **"Final Engineering Plans"** – 18 sheets, Panda Project #: D7058, Atwell Project #: 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
4. **"Stormwater Management Summary"** – 3 pages, bearing an issue date of January 19, 2021, and prepared by Atwell, LLC.
5. **"Traffic Regulation Agreement"** – 11 pages, resubmitted by Atwell Group on 01/19/2021.
6. **"Landscape Plan"** – 2 sheets, Sheets L01.0 and L01.1, Panda Project #: D7058, Atwell Project No. 18003769, bearing an issue date of 11/20/2020, bearing the latest revision date of 01/19/2021 and prepared by NORR Architects Engineers Planners.
7. **"Proposed Sign Package"** – 17 pages, Project #: C59897, dated 12.19.2018, bearing the latest revision date of 01.19.2020, and prepared by Priority Sign.
8. **"Standards for Variations"** – 3 pages, submitted by Atwell Group on 01/21/2021.

Staff offers the following comments:

Site Layout Plan

1. Label the width of all parking islands. End parking islands closest to proposed building are missing dimensions.



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Paul Oggerino

Gregory Ruffolo

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman



Proud Member of the
Illinois Route 66 Scenic Byway

Traffic

GHA has reviewed the response letter and supporting documentation prepared by Atwell dated January 19, 2021 and found it to adequately address our comments, questions, and concerns. No further response is needed.

Loading & Parking

2. In addition, Section 9-10-5(G) requires that in all non-residential districts, parking shall be permitted in required front, side and/or rear yards, provided that the following screening and landscaping standards are met:
 1. Front Yards and Exterior Side Yards: Permanent peripheral screening at least four feet (4') high shall be constructed and maintained in front yard and exterior side yard areas adjacent to parking areas. This screening shall consist of a planted earth berm, densely planted evergreen shrubs or trees or a combination of both. **To comply with Section 9-10-5(G)1, add a row of Shamrock Inkberry shrubs on the east side of the 75th Street driveway within the exterior side yard.**
 2. Interior Parking Lot Landscaping: Section 9-10-5(G)3 requires that each island shall be effectively landscaped with appropriately sized plantings at a minimum ratio of one shade tree and nine (9) dwarf variety shrubs per island and/or fifty (50) linear feet of parking area. Shade tree distribution shall provide a minimum of one tree in the area occupied by each twenty (20) parking spaces. **Add one shade tree to each of the two (2) interior parking lot islands.**

Engineering

Our previous comments have been addressed, and we have no objection to the project moving forward subject to the following items:

- a. A permit is required from IDOT prior to any work in the Route 83 right of way.
- b. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.
- c. The applicant must file a Notice of Intent with the IEPA prior to the start of construction.
- d. It is our understanding that the property owner will provide the Village with a letter of No Further Remediation (NFR) from the IEPA prior to a building permit being issued.
- e. Prior to building permit, the Village will require a Plat of Easement to grant access to the B-Box at the building. This can be a 10 foot wide non-exclusive easement over the water service from 75th Street to the building.

Zoning Requests

Approval of a Special Use Permit for the construction of a one-story restaurant in the B-2 zoning district including a drive-through lane and associated site improvements. The approval of the special use permit will include, but is not limited to, the following variations:

1. A variation from Section 9-3-3(C) to decrease the minimum lot area for two (2) or more special uses from two acres (2 AC) to one acre (1 AC).



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Deborah Hahn

Village Trustees

Sue Berglund

Umberto Davi

Michael Mistele

Gayle Neal

Paul Oggerino

Gregory Ruffolo

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

2. A variation from Section 9-3-7(A)1 to decrease the minimum special setback on Illinois Route 83 from one hundred feet (100') to fifty feet (50') for the proposed building, to fifty-six and six tenths feet (56.6') for the proposed menu board, and to sixty-two and four tenths feet (62.4') to the order canopy.
3. A variation from Section 9-6-1(A) to decrease the minimum lot area for two (2) or more special uses (fast food establishment and drive-through) from two acres (2 AC) to one acre (1 AC).
4. A variation from Section 9-6B-3(A) to decrease the minimum lot area for all uses from two acres (2 AC) to one acre (1 AC).
5. A variation from Section 9-6B-3(C)1 to decrease the minimum lot width of 200 feet for restaurants from two hundred feet (200') to one hundred seventy feet (170').
6. A variation from Section 9-6B-3(E)1 to decrease the minimum front yard setback on Illinois Route 83 from sixty feet (60') to fifty feet (50') for the proposed building and to fifty-six and six tenths feet (56.6') for the proposed menu board.
7. A variation from Section 9-6B-3(E)3 to decrease the minimum exterior side yard setback on 75th Street from sixty feet (60') to forty-three and four tenths feet (43.4') for the proposed building, to thirty-two and seven tenths feet (32.7') for the proposed menu board, and to twenty-five feet (25') to the order canopy.
8. A variation from Section 9-10-5(L)2(b)(2)a to decrease the radius connecting street pavement edge and driveway edge on 75th street from thirty-five (35') to twenty-five (25').
9. A variation from Section 9-10-5(L)2(d) to decrease the driveway location on Route 83 from seventy feet (70') to twenty-five and seven tenths feet (25.7').
10. A variation from Section 9-10-5(L)2(e) to decrease the minimum spacing between separate driveway entrances from four hundred feet (400') to approximately three hundred thirteen feet (+/- 313') on Illinois Route 83 and to approximately one hundred sixty-nine feet (+/- 169') on 75th Street.
11. A variation from Section 9-10-5(L)2(f) to decrease the minimum spacing between driveway entrance and right-of-way of an adjacent intersecting street from five hundred feet (500') to ninety-four and three tenths feet (94.3') on Illinois Route 83 and to one hundred forty-six and two tenths feet (146.2') on 75th Street.
12. A variation from Section 9-10-5(L)2(g) to eliminate the requirement of a concrete median separation and to reduce the driveway storage from one hundred feet (100') to zero feet on Illinois Route 83 and 75th Street.
13. A variation from Section 9-14-2(D)2(c)4 to decrease the minimum foundation landscape area from seven feet (7') to four and five tenths feet (4.5') along the southern façade, to five and two tenths feet (5.2') along the northern portion of the eastern building façade and from seven feet (7') to zero feet along the western building façade and remaining portion of the eastern building façade.



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Illinois Route 66 Scenic Byway



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

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Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

If you have any questions, you may contact me at planning@willowbrook.il.us or 630.920.2233.

Sincerely,

Ann Choi
Village Planning Consultant
WBK Engineering, LLC

Cc: Brian Pabst
Michael S. Mertens
Dan Lynch
Roy Giuntoli



Proud Member of the
Illinois Route 66 Scenic Byway

FOUNDED IN 1946



TRI-STATE
FIRE PROTECTION DISTRICT

419 PLAINFIELD ROAD • DARIEN, ILLINOIS 60561 • (630) 323-6445

December 8, 2020

Village of Willowbrook
Attn: Ann Choi
835 Midway Drive
Willowbrook, IL 60527
630-323-8215

planner@willowbrook.il-us

RE: Site Plan Review #2
7505 Kingery Highway
Willowbrook, IL 60527

To whom it may concern,

We have received a resubmitted copy of the proposed site, traffic, and auto turn plans for the above listed project. After review, we find the plans to be in apparent compliance with applicable standards relative to fire prevention and life safety.

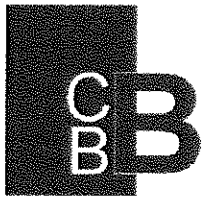
Necessary inspections are to be performed along with any outstanding fees paid before occupancy is granted.

The Bureau of Fire Prevention has been asked to review the plans, specifications or other documents submitted to see if compliance has been made with the Fire Prevention Codes and Ordinances of the Tri-State Fire Protection District. Errors or omissions by representatives of the Bureau of Fire Prevention do not constitute permission to cancel, set aside or waive any provision of any applicable Code or Ordinance of the Tri-State Fire Prevention District. Approvals by the Bureau of Fire Prevention will be in writing only.

Sincerely,

A handwritten signature in blue ink, appearing to read "Chris Drews".

Chris Drews
Plan Review Specialist
Bureau of Fire Prevention
cdrews@tristatefd.com
630-654-6284



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

December 21, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: 7505 Kingery – Final Engineering Plans
First Review
(CBBEL Project No. 900144.H212)

Dear Ann:

As requested on December 4, 2020, we have reviewed the Final Engineering Plans and supporting documents for the above property prepared by Atwell, and dated November 20, 2020. The following comments must be addressed before we can recommend approval:

Engineering Plans

Sheet C01.0

1. No Comments

Sheet C01.0

1. In Storm Sewer Note 4, add that the grates must have the "Dump No Waste – Drains to Creek" emblem.
2. Watermain Note 11 should be revised to state that the contractor shall verify with the Public Services Department for specific make and model of fire hydrants, however there are no proposed hydrants on the plans.
3. Add to the Watermain Notes "The contractor shall coordinate with the Public Services Department at least two working days prior to making the service tap to coordinate schedule, verify materials, and schedule required inspections."

Sheet C01.2

1. No Comments

Sheet C02.0

1. No Comments

Sheet C02.1

1. Add to the note regarding the sanitary service note "as directed by Du Page County Public Works".

Sheet C03.0, L03.1

1. No Comments

Sheet C04.0, 4.1

1. The path along 75th Street is an asphalt path with concrete curb ramps at the driveways. Modify how the new pavement is shown at the proposed 75th Street driveway to only show the curb ramps to be concrete, with the remainder to be asphalt (up to first joint shown).
2. We presume that the signs shown at the two handicapped accessible stalls are the required signs although not matching the legend.

Sheet C05.0, 5.1

1. No comments

Sheet C06.0, 7.0, 7.1

1. The proposed water service should be as close as possible to a direct route from the main to the point of entry into the building.
2. The Building Department will review the details of the water service, as it is considered plumbing under the Illinois Plumbing Code. Hydrocarbon resistant gaskets may be required since the service will cross a petroleum pipeline.
3. Modify the note for the connection of the sanitary service to the existing manhole to refer to Du Page County requirements, not Village requirements.
4. Show where the retaining wall underdrain will discharge.

Sheet C08.0 – 8.4

1. For the handicapped sign detail, specify that the fine is \$350. The signage must be in compliance with the Illinois Accessibility Code standards.

Sheet L01.0, 1.1

1. No Comments

Photometric Plans

The photometric plans, consisting of two sheets and prepared by Villa Lighting and dated October 29, 2020 are in general compliance with Village Code and standard engineering methods. Please note that the Village reserves the right to require glare shields to be installed, should it deem appropriate.

General Comments

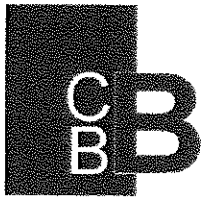
1. An abbreviated Stormwater Submittal is required. We foresee this document being one to two pages with a project narrative and statements that the site does not contain floodplain or wetlands, and the development does not reach the net new impervious thresholds to trigger Best Management Practices or Detention.
2. A permit is required from IDOT prior to any work in the Route 83 right of way.
3. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.
4. The applicant must file a Notice of Intent with the IEPA prior to the start of construction.

If there are any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Lynch". The signature is fluid and cursive, with a large initial "D" and a stylized "L".

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

January 20, 2021

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: 7505 Kingery – Final Engineering Plans
Second Review
(CBBEL Project No. 900144.H212)

Dear Ann:

As requested on January 19, 2021, we have reviewed the Final Engineering Plans and supporting documents for the above property prepared by Atwell, and dated January 19, 2021. Our previous comments have been addressed, and we have no objection to the project moving forward subject to the following items:

1. A permit is required from IDOT prior to any work in the Route 83 right of way.
2. A permit is required from the Du Page County Public Works Department for the sanitary sewer connection.
3. The applicant must file a Notice of Intent with the IEPA prior to the start of construction.
4. It is our understanding that the property owner will provide the Village with a letter of No Further Remediation (NFR) from the IEPA prior to a building permit being issued.
5. Prior to building permit, the Village will require a Plat of Easement to grant access to the B-Box at the building. This can be a 10 foot wide non-exclusive easement over the water service from 75th Street to the building.

If there are any questions, please do not hesitate to contact me.

Sincerely,

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Project Traffic Review #2

To: Ms. Ann Choi
Planning Consultant, Village of Willowbrook

625 Forest Edge Drive, Vernon Hills, IL 60061

TEL 847.478.9700 ■ FAX 847.478.9701

From: Lynn M. Means, P.E., PTOE
Senior Transportation Engineer

www.gha-engineers.com

Date: January 13, 2021

Subject: Panda Express Restaurant with Drive-Thru
7505 Kingery Highway (IL Route 83)
Willowbrook, Illinois

Per your request, Gewalt Hamilton Associates, Inc. (GHA) has reviewed the following material provided for the above captioned project pertaining to traffic, parking and on-site circulation:

1. Site Traffic Study, prepared by Atwell dated January 5, 2021, which includes Traffic Plan, Sheet EX-02.
2. Response to Comments Letter, prepared by Atwell dated January 5, 2021.
3. Truck Turn Analysis, Sheet EX-01, prepared by Atwell dated November 20, 2020.

Conclusions of this effort and **recommendations** for consideration are presented below:

1. The TIS prepared by Atwell is generally in conformance with the guidelines published by the Institute of Transportation Engineers (ITE).
2. GHA has found the documentation and/or responses provided, in general, to adequately address the comments made and concerns raised in our previous Project Traffic Review dated September 30, 2020. An updated Site Traffic Study is not required.
3. Employees should be encouraged to park in remote spaces (furthest from the site entrance) to provide convenient parking for customers.
4. The Site Traffic Study references ITE Land Use Code (LUC) 945, Gasoline/Service Station with Convenience Market using the building size to estimate traffic generated by the existing site use. Based on the existing site parameters (8 vehicle fueling positions, a convenience store less than 2,000 SF and ancillary vehicle service center), LUC 944, Gasoline/Service Station would be a more appropriate use. However, the trip generation estimates for the existing site use based on multiple independent variables (building size and number of vehicle fueling positions) would still result in a traffic estimate that is greater than the proposed Panda Express, fast-food restaurant with drive thru. Accordingly, no modifications to the study are required.
5. 75th Street to the west of Kingery Highway is under the jurisdiction of the DuPage County Division of Transportation.
6. Kingery Highway (IL Route 83) is also designated as a Strategic Regional Arterial (SRA) route. SRA routes are designed to carry higher traffic volumes at higher travel speeds through access control and increased access and traffic signal **installation/spacing** requirements.

* * * * *

We hope you find these comments helpful in your assessment of the proposed development. Should you have any questions please do not hesitate to contact GHA at 847-478-9700.

5503.900_Panda Express_7505 Kingery_Traffic Review 2_01.13.21

Project Traffic Review #3



To: Ms. Ann Choi
Planning Consultant, Village of Willowbrook

625 Forest Edge Drive, Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

From: Lynn M. Means, P.E., PTOE
Senior Transportation Engineer

www.gha-engineers.com

Date: January 22, 2021

Subject: Panda Express Restaurant with Drive-Thru
7505 Kingery Highway (IL Route 83)
Willowbrook, Illinois

GHA has reviewed the response letter and supporting documentation prepared by Atwell dated January 19, 2021 and found it to adequately address our comments, questions and concerns. No further response is needed.

Should you have any questions please do not hesitate to contact GHA at 847-478-9700.

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**AN ORDINANCE DENYING CERTAIN VARIATIONS FROM TITLE 9 ENTITLED
"ZONING REGULATIONS" OF THE MUNICIPAL CODE OF THE VILLAGE OF
WILLOWBROOK – 6401 MEADOW LANE**

AGENDA NO. 7.

AGENDA DATE:
02/08/21

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

The petitioner, Pete Baftiri ("Applicant"), on behalf of the property owner, Jain Bhagwan, desires to construct a 26'-6" x 42'-10" addition off the rear exterior wall of the residence. The addition is proposed to a maximum height of twenty-one feet (21') and would house an indoor swimming pool for therapeutic purposes to serve its elderly residents. The construction of the addition of the size desired would encroach approximately five point fifty-four feet (5.54') into the required rear yard setback of the property and increase the allowable floor area. As such, the Applicant on behalf of the property owner, has applied for the two following variations from the rear yard setback and floor to area ratio (FAR) requirement within the R-2 Zoning District:

1. Approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-four point forty-six feet (24.46'); and
2. Approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Staff did not object to the requested variations. Due to the current climate of Covid-19 and the unprecedented shutdown of many businesses including health clubs that are only able to provide limited services and access to its facilities, and the increased risks to the elderly population associated with congregating in public places, a hardship that was not previously contemplated, is present. The granting of these variations would allow the property owners, who are elderly, to benefit from the therapeutic purposes of a private indoor swimming pool.

The proposed variation requests were discussed at the January 13, 2021 regular meeting of the Plan Commission. There were two members of the public, the petitioner's representatives, that came forward in support of the petition. There were four members of the public, nearby residents, that came forward to oppose the petitions. The Village also received three letters, including sixteen signatures from fifteen different households, opposing the petition. These letters and a summary of the public hearing discussion are included in the staff report.

The Plan Commission voted 7-0 denying the proposed petition, to forward a negative recommendation to the Village Board.

ACTION PROPOSED: January 25, 2021: Receive Plan Commission Recommendation.
February 3, 2021: Consideration of Attached Ordinance.

ORDINANCE NO. 21-O- _____

**AN ORDINANCE DENYING CERTAIN VARIATIONS FROM TITLE 9 ENTITLED
“ZONING REGULATIONS” OF THE MUNICIPAL CODE OF THE VILLAGE OF
WILLOWBROOK – 6401 MEADOW LANE**

WHEREAS, on or about November 30, 2020, Pete Baftiri, as applicant, filed an application with the Village of Willowbrook with respect to the property legally described on Exhibit "A" attached hereto, which is, by this reference, incorporated herein ("SUBJECT REALTY"). Said application requested that the Village grant certain variations from the requirements of the zoning ordinance, which is found in Title 9, entitled “Zoning Regulations”, of the Willowbrook Municipal Code (the “Zoning Ordinance”) to allow variations for a reduced rear yard setback and an increase to the maximum floor to area ratio (“FAR”) to construct an addition that would accommodate an indoor swimming pool of a detached single family residence in the R-2 zoning district; and

WHEREAS, a public notice was published in compliance with Section 9-15-3(A) of the Zoning Ordinance, in The Doings newspaper on December 24, 2020, which is more than fifteen (15) days but less than thirty (30) days prior to the public hearing date; a public notice was mailed to all adjacent owners within two hundred-fifty (250) feet in each direction of the location of the SUBJECT REALTY via certified mail, return receipt requested, more than fifteen (15) days but less than thirty (30) days prior to the public hearing date, in compliance with Section 9-15-3(B) of the Zoning Ordinance and state law; and public notice was provided by posting on the property a sign visible to the general public complying with the requirements of Sections 9-15-3(D) of the Zoning Ordinance, for at least fifteen (15) consecutive days prior to the public hearing date; and

WHEREAS, pursuant to the public notice, the Plan Commission of the Village of Willowbrook conducted a public hearing on or about January 13, 2021, all as required by the statutes of the State and the ordinances of the Village; and

WHEREAS, at the public hearing, the applicant provided testimony in support of the proposed amendments to the Zoning Ordinance, four (4) residents testified in opposition to the proposed amendments and three (3) letters/e-mails in opposition to the proposed amendments were presented; and

WHEREAS, the Plan Commission, by a unanimous 7-0 vote, failed to recommend approval of the aforesaid variations; and

WHEREAS, the President and Board of Trustees of the Village of Willowbrook (the “Corporate Authorities”) have received the negative recommendation of the Plan Commission pursuant to a memorandum dated January 25, 2021, a copy of which is attached hereto as Exhibit “B”, which is by this reference, incorporated herein.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION TWO: That pursuant to Section 9-14-4 of the Village Code, the following variations from the provisions of the Zoning Ordinance be and the same are hereby denied for the SUBJECT REALTY:

- A. A variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30’) to twenty-four point forty-six feet (24.46’); and
- B. A variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool.

The Board of Trustees makes the following findings with respect to the above variations:

- 1. The property in question can yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.
- 2. The proposed variation will serve as a convenience to the applicant.

3. The alleged or perceived hardship is of a temporary nature and, as such, is not a hardship as contemplated by the Zoning Code for the approval of the requested variations.
4. The proposed variation may be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood as the expansion of the floor area ratio
5. May exasperate the flooding problems of the area.
6. The proposed variation will alter the essential character of the locality in that the subject property is smaller in size than surrounding properties and the proposed use will further reduce green space.
7. The proposed variation is not in harmony with the spirit and intent of this title.

SECTION THREE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FOUR: That this Ordinance shall be in full force and effect from and after its passage and approval, as provided by law.

PASSED and APPROVED this 8th day of February, 2021.

ROLL CALL VOTE:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

APPROVED:

Frank A. Trilla, Mayor

ATTEST:

Deborah A. Hahn, Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF SUBJECT REALTY

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTH WEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1978 AS DOCUMENT R78-108411, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-24-112-035

EXHIBIT B

PLAN COMMISSION RECOMMENDATION

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Daniel Kopp, Chairman, Plan Commission

DATE: January 25, 2021

SUBJECT: **Zoning Hearing Case 21-02: 6401 Meadow Lane Addition** – Pete Baftiri on behalf of Jain Bhagwan, 6401 Meadow Lane, Willowbrook IL 60527. Consideration of a petition for approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-four point forty-six feet (24.46') and approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool, and other such relief from Title 9 of the Village Code, as necessary.

At the regular meeting of the Plan Commission held on January 13, 2021, the above referenced application was discussed, and the following motion was made:

MOTION: Made by Remkus and seconded by Wagner that based on the submitted petition and testimony provided, I move that the Plan Commission forward a negative recommendation to the Village Board for the approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback requirement from 30 feet to 24.46 feet and approval of a variation from Section 9-5B-3(G) to increase the FAR requirement from 0.30 to 0.39 for the property located at 6401 Meadow Lane as outlined in the Staff Report prepared for PC 21-02 for the January 13, 2021 Plan Commission meeting.

ROLL CALL: AYES: Chairman Kopp, Vice Chairman Wagner, Commissioners Kaczmarek, Kaucky, Remkus, Soukup, and Walec; NAYS: None; ABSENT: None.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp



Village of Willowbrook
Staff Report to the Village Board

Plan Commission

Public Hearing Date: January 13, 2021

Village Board Receive: January 25, 2021

Village Board Vote: February 8, 2021

Prepared By: Ann Choi, Village Planning Consultant

Case Title: Zoning Hearing Case No. 21-02: 6401 Meadow Lane Addition

Applicant: Pete Baftiri
55541 Radcliff Rd, Naperville IL 60563

Property Owner: Jain Bhagwan
6401 Meadow Lane, Willowbrook IL 60527

Action Requested: Consideration of a petition for approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-four point forty-six feet (24.46') and approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool, and other such relief from Title 9 of the Village Code as necessary.

Applicable Regulations: Zoning Ordinance

Location: 6401 Meadow Lane, Willowbrook IL 60527

PINs: 09-24-112-035

Existing Zoning: R-2 Single Family Residence District

Proposed Zoning: R-2 Single Family Residence District

Existing Land Use: Low Density Residential (1-4 du/acre)

Property Size: 0.28 acres

Surrounding Land Use:	Use	Zoning
North	Single Family Residential	R-2
South	Single Family Residential	R-2
East	Single Family Residential	R-2
West	Single Family Residential	R-2

Necessary Action by Village Board: Consideration of Attached Ordinance.



Documents Attached:

- Attachment 1: Findings of Fact –Variations
- Attachment 2: Public Hearing Notice
- Attachment 3: Legal Description
- Attachment 4: Boundary and Topographic Survey – 1 sheet (Job. No. 1612705), dated 06/09/2016, prepared by Professional Land Surveying, Inc., and prepared for Koziol Engineering Services
- Attachment 5: Site Plan – 1 sheet, Sheet A1 (Job. No. 20-058), dated 09-21-20 and bearing the latest revision date of 9/23/2020, and prepared by Agama Design Architecture
- Attachment 6: Architectural Drawings – 4 sheets, Sheets A1, A-2, A-4, A-5 (Job. No. 20-058), dated 09-21-20, prepared by Agama Design Architecture
- Attachment 7: Site Engineering Plan – 1 sheet, Sheet A1 (Job. No. 20-058), bearing the latest revision date of 01/05/21, and prepared by Koziol Engineering Services
- Attachment 8: Engineer’s Review Letter (CBBEL), dated December 11, 2020
- Attachment 9: Letters Received

Background

Site Description

The 0.28-acre subject property is currently improved with a single-family home. The parcel measures approximately 85' by 146' with a total approximate lot area of 12,383 square feet. The parcel was platted in DuPage County as part of the Gallagher and Henry's Waterford Unit No. 2 Subdivision according to the plat recorded on November 9, 1978 as Document No. R78-108411 in DuPage County, Illinois. The subject property is zoned R-2 Single Family Residence District.

Exhibit 1: Map View of the Subdivisions

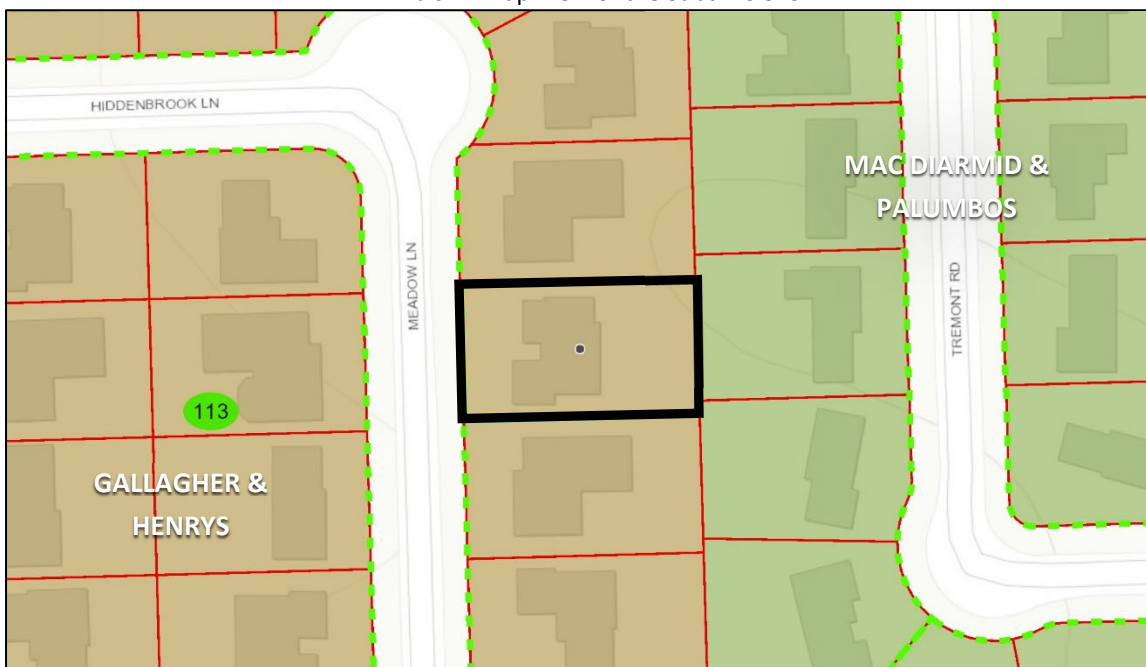


Exhibit 2: Aerial View of the Subject Property





Exhibit 3: Zoning Map (R-2 Single Family Residence District)



Development Proposal

The petitioner, Pete Baftiri ("Applicant"), on behalf of the property owner, Jain Bhagwan, desires to construct a 26'-6" x 42'-10" addition off the rear exterior wall of the residence. The addition is proposed to a maximum height of twenty-one feet (21') and would house an indoor swimming pool for therapeutic purposes to serve its elderly residents. The construction of the addition of the size desired would encroach approximately five point fifty-four feet (5.54') into the required rear yard setback of the property and increase the allowable floor area. As such, the Applicant on behalf of the property owner, has applied for the two following variations from the rear yard setback and floor to area ratio (FAR) requirement within the R-2 Zoning District:

1. Approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-four point forty-six feet (24.46'); and
2. Approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow for the construction of a 1,081 square foot addition to house an indoor swimming pool.

It should be noted that the public hearing notice that was sent to property owners within a 250-foot radius and was noticed in the December 24, 2020 edition of the Doings newspaper incorrectly stated that the variation for the reduce rear yard setback was 25 feet. **The correct variation for a reduced rear yard setback is 24.46 feet.**

Staff Analysis

Appropriateness of Use

Single-family detached homes are permitted uses in the R-2 district. The existing lot currently does not conform to current zoning regulations in terms of the required minimum lot area, lot width and lot depth under the R-2 Single Family District. The subject property is part of the Gallagher and Henry's Waterford Unit No. 2 Subdivision, platted in 1978, and the minimum requirements for lot area and lot depth may have been modified over the years. The minimum required lot depth according to current zoning regulations is 150 feet. The existing lot length along the subject property's north lot line measures 145.91 feet long and along the south lot line measures 146.02 feet long, indicating that the lot depth is deficient by a minimum of 3.98 feet



to 4.09 feet. If the subject property had been platted to current zoning standards and complied with the minimum required lot depth requirement, the variation for the reduced rear yard setback would likely not be required, and only the variation for increased FAR would be needed.

The departures from the bulk regulations for the R-2 district are provided in the following chart:

Bulk Regulation	Code Section	Requirement	Proposed	% Variation
Min. Lot Area	9-5B-3(A)1	13,000 SF	12,377.75 SF	Existing Condition
Min. Lot Width	9-5B-3(B)1	75 feet	85 feet	Existing Condition
Min. Lot Depth	9-5B-3(C)	150 feet	145.91 feet	Existing Condition
Front Yard	9-5B-3(D)1	40 feet	< 40 feet but relief granted by Section 9-5B-3(D)5	Complies
Interior Side Yard	9-5B-3(D)2	8.5 feet	> 8.5 feet	Complies
Rear Yard Setback	9-5B-3(D)4	30 feet	24.46 feet	18.5%
Max. Lot Coverage	9-5B-3(E)	30%	27.59%	Complies
Max. Height	9-5B-3(F)	35 feet or 2 stories	21 feet	Complies
FAR	9-5B-3(G)	0.30	0.39	130%
Min. Habitable Area	9-5B-3(H)	900 SF on 1 st Floor	3,419 SF	Complies

Findings of Fact

Standards for Variations

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. A list of the variation standards is provided in **Attachment 1**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Staff Recommendation

Staff does not object to the requested variations to reduce the rear yard setback requirement and to increase the FAR to accommodate the proposed addition for an enclosed pool. Due to the current climate of Covid-19 and the unprecedented shutdown of many businesses including health clubs that are only able to provide limited services and access to its facilities, and the increased risks to the elderly population associated with congregating in public places, a hardship that was not previously contemplated, is present. The granting of these variations would allow the property owners, who are elderly, to benefit from the therapeutic purposes of a private indoor swimming pool.

Staff therefore recommends approval of the proposed variations from Title 9 of the Village Code for the subject property as legally described in **Attachment 3**, subject to the following conditions:

Recommended Conditions of Approval:

1. The applicant shall revise the Site Plan, included as **Attachment 5**, to reflect the correct variation to reduce the rear yard from twenty feet (25') to twenty-four point forty-six feet (24.46').
2. The variations granted shall only apply to the proposed addition to accommodate an indoor swimming pool. The proposed addition shall not be used as habitable space and/or non-recreational purposes, including, but not limited to, bedrooms, living room, kitchens, etc.



3. The variation shall be null and void if construction of the proposed use is not commenced and a certificate of completion is not granted within twelve (12) months of the date of any approval of the variation by the Village Board.

Planning staff would also recommend acceptance of the submitted written findings of fact in response to the standards of the variations from the zoning ordinance sought, which are included as **Attachment 1** of this report. If the Plan Commission concurs, the following sample recommendation is offered for consideration.

Public Hearing and Communications

The Plan Commission conducted a public hearing on this petition at a regular meeting of the Plan Commission on January 13, 2021. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting was held virtually via Zoom.

Summary of Public Hearing and Communications

Six (6) individuals from the public were sworn in at the public hearing.

1. Present: Approximately seventeen (17) individuals were present. The following members of the Plan Commission were in attendance: Chairman Dan Kopp, Vice Chairman John Wagner, Commissioners Catherine Kaczmarek, Leonard Kaucky, James Soukup, William Remkus, and Maciej Walec. The following Village staff members were present: Planning Consultant Ann Choi, Building Official Roy Giuntoli, and Building and Zoning Secretary Lisa Shemroske. Court Reporter Robin Hejnar was also in attendance.
2. Speakers: Six (6) individuals presented testimony.
3. The project owner's representatives provided testimony in support of the petition.
4. There were four members (4) of the public, that provided testimony in opposition of the petition.

Public Hearing Testimony Notes

Village of Willowbrook Planning & Development Department

Planning Consultant Choi did not object to the requested variations to reduce the rear yard setback requirement and to increase the FAR to accommodate the proposed addition for an enclosed pool. Planning Consultant Choi acknowledged that due to the current climate of Covid-19 and the unprecedented shutdown of many businesses including health clubs that are only able to provide limited services and access to its facilities, and the increased risks to the elderly population associated with congregating in public places, a hardship that was not previously contemplated was present. The granting of these variations would allow the property owners, who are elderly, to maximize the use of their property and benefit from the therapeutic purposes of a private indoor swimming pool.

SPEAKERS COMMENTS SUPPORTING THE PETITION

A total of two speakers supported the petition.

- The property owner's representatives, Ardi Baftiri of AE Luxury Homes, spoke in support of the project because they asserted that the neighborhood is in transition including many new constructed homes and some remodeling. The proposed addition would revitalize one of the older homes in the area and add value to the neighborhood. The proposed addition would include a new roof, new tile,



new stucco, and generally high-quality construction materials. Overall, Mr. Baftiri stated that the proposed addition would increase the value of the surrounding properties. Mr. Baftiri indicated that the purpose of the addition is for therapeutic purposes as the residents are elderly who are unable to go to public health facilities and seems like the only reasonable alternative because of the risks posed to their health. Mr. Baftiri pointed out that the rear yard setback would not be required if the addition were built on a lot that conformed to the current zoning lot depth standard. Mr. Baftiri guaranteed that the requested rear yard setback reduction would be minor, vegetation would be preserved and protected, and additional vegetation would be added for privacy and screening. If approved, their engineering drawings would conform to any Village regulations to address any water drainage issues, so Mr. Baftiri did not believe that drainage would be a future issue.

- Pete Baftiri of AE Luxury Homes, also spoke in support of the project, and asserted that the property owners already invested a significant amount of money into remodeling their home and assured the Plan Commission that the remodeling was very “high-end”. Adding a pool to the property would add value to the neighborhood. Mr. Baftiri added that he has been a builder in Willowbrook and in the western suburbs for over twenty-three (23) years and this neighborhood has seen many changes over the years. Mr. Baftiri assured the Plan Commission that drainage issues would be addressed during the engineering review to lessen concerns related to further exacerbating existing flooding issues.

QUESTIONS POSED BY PLAN COMMISSION

Chairman Kopp requested clarification on the Village Engineer’s review letter and asked Planning Consultant Choi if the Village Engineer provided an opinion on whether the proposed addition would affect the existing drainage. Planning Consultant Choi indicated she had followed up with the Village Engineer after receiving complaints about the proposed petition. Planning Consultant Choi stated that the grading plan that is included in the staff report was not for the currently proposed project. The applicant (or one of their design professionals) presumably took a plan from a 2016 submittal and superimposed the proposed addition on that plan. As noted in the Village’ Engineer’s letter dated December 11, 2020, the applicant would be required to submit a detailed grading plan at the time of building permit if the variation is approved. Based on what was submitted, it is difficult to provide more than general comments on what code requires. Planning Consultant Choi acknowledged that the Village appreciates the neighboring residents’ input on existing drainage problems at the northeast corner of the site and assured the Plan Commission that this will be considered during the engineering review if the project moves forward.

Chairman Kopp noted that when looking at an aerial of the surrounding properties, many of the homes in the area appeared to have much larger footprints than the subject property including the proposed addition. Planning Consultant Choi explained that the surrounding properties in the area with the larger footprints appear to be one to two stories, whereas the subject property is a full two stories. Planning Consultant Choi believes that the surrounding properties conform to current FAR and lot coverage requirements since a property history search did not produce any previous planning petitions requesting variations for increased FAR or lot coverage in this area.

Commissioner Remkus asked whether the Village should be granting variations because of the Covid-19 pandemic. Personally, Commissioner Remkus was concerned that granting variations due to Covid-19 would be a slippery slope since the pandemic is impermanent and will not be here to stay, but the variations would be granted in perpetuity.



Commissioner Wagner pointed out that the subdivision in which the subject property is located was developed within the guidelines of Willowbrook and may not meet current zoning standards as these standards typically change over time. Commissioner Wagner also pointed out that the public hearing may be moot because of the hearing notice is incorrect and the request was greater than what was published. Commissioner Wagner also questioned the Findings of Fact made in response to the Standards for Variations, and specifically questioned the finding that the property cannot have a reasonable return if the variations were not granted. He also agreed with Commissioner Remkus and did not agree with the reason for granting the variations due to the pandemic.

Commissioner Kaczmarek asked the question if the applicant had reached out to a relator to confirm that the proposed addition would add value to the property. Mr. Baftiri (Pete) responded that as he is a real estate agent and asserted that the improvements made to the property would not just add value to the neighborhood but would increase the values of the surrounding properties. Commissioner Kaczmarek asked Village staff if there were other homes in the area with indoor swimming pools. Building Official Giuntoli responded that he was not aware of permits for indoor pools within this particular neighborhood but there have been indoor pools permitted outside of the Waterford Subdivision.

SPEAKERS COMMENTS NOT SUPPORTING THE PETITION

A total of four speakers opposed the petition.

- Kevin Webb, a nearby resident who resides at 6410 Tremont Street, collected sixteen signatures (15 different households) objecting this petition. Mr. Webb indicated that the neighbors did not believe any value was added to the neighborhood through the finished exterior remodeling (roof and pink walls) which are a matter of personal taste. Mr. Webb also objected to the request for increased FAR as the intention of the zoning ordinance is to preserve the open space in the community and approving the proposed variations would set a dangerous precedent for the area. Mr. Webb also disagreed with the applicants' testimony that the neighborhood is in transition. Mr. Webb also indicated that there were major improvements made to the storm drainage pipe along the property line of the subject property approximately three years ago, and that many residents in the area have also made improvements on their properties to alleviate some of the flooding during heavy rains. Mr. Webb indicated there is a high water table in the area and that he has two sump pumps that run constantly during heavy rains. Mr. Webb objected to the petition because of the displacement of permeable area by a considerable amount of concrete that would force water into the neighboring properties and basements.
- Frederick Stein, a nearby who resides at 6353 Tremont Street, attested to the flooding issues. During heavy rainstorms, water flows were seen coming into his property and resembled an irrigation ditch. Mr. Stein attests that he spent a considerable amount of time and effort to mediate his flooding issues by adding drain tiles and a rain garden and would hate to see all that effort go to waste by the proposed addition. Mr. Stein also added that no indoor pools exist in the area.
- Jerry and Laurie Zeman, nearby residents of 32 years who resides at 6404 Meadow Lane, both concur with Mr. Webb's and Mr. Stein's notations of the problem that were experienced by the previous two speakers. Mr. Zeman attested to the flooding issues and indicated that his sump pump also runs constantly, and during an instance of sump pump failure, his basement was flooded. Mr. Zeman also repeated that there is an extremely high water table in the area and that they experience seepage during heavy rains already. Mr. Zeman indicated that additional weeping tiles per Village code were added to their recent code-compliant basement addition to deal with the additional



water. Mr. Zeman also pointed out that neighbors do not recognize the improvements that have already been completed on the subject property as being consistent with the character of the surrounding homes, and they do not understand the assertion that this will add value to their properties.

- Martin Pennino, a nearby resident who lives on Hidden Brook Lane, conferred that his two sump pumps are running constantly during heavy rains and emphasized that there is a flooding issue in the area despite his property that is located at a high point. Mr. Pennino questioned the size of the proposed pool, stating it is extremely large, and a smaller pool be more appropriate if it is truly intended for therapeutic purposes.

Communications Received

Letters – Concerns Identified

The Village received three (3) letters emails opposing the proposed petition and were presented at the public hearing held on January 13, 2021. These letters are included in this report as **Attachment 9**.

PLAN COMMISSION DISCUSSION

Chairman Kopp views the zoning ordinance as a contract that protects the neighborhood and that there is some expectation of how much can be built based on the zoning ordinance. Chairman Kopp is not in favor of approving the variations because the immediate neighbors are opposed to the petition. Chairman Kopp believes drainage is an issue but explained the drainage issue is not the reason he is opposed to the petition. Chairman Kopp pointed out that if this petition is ultimately not approved and the property owners decide to scale down the size of the addition to comply with the zoning ordinance, the property owners can obtain a building permit without any zoning review to construct the addition. Planning Consultant Choi indicated that the current property already maximized the FAR and that any addition could not bypass zoning review. The property owners would be required to submit a new application for a variation for increased FAR, at a minimum. Chairman Kopp stated that if this is the case, he would likely recommend denial of any application for increased FAR on the subject property.

Commissioner Remkus acknowledged that drainage is a constant and worsening issue. Commissioner Remkus expressed that he would have been more favorable to support the petition if the property owners would have proposed a solution to the excess water that would be displaced by the swimming pool, but since no solutions were presented, Commissioner Remkus opposes the petition.

Motion

The following sample motions were provided in the staff report for the Plan Commission:

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Findings of Fact made to the Standards for Variations outlined in the Staff Report for PC 21-02 for the January 13, 2021 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback requirement from 30 feet to 24.46 feet and approval of a variation from Section 9-5B-3(G) to increase the FAR requirement from 0.30 to 0.39 for the property located at 6401 Meadow Lane as outlined in the Staff Report dated for the January 13, 2021 Plan Commission meeting and as deliberated by the Plan Commission, subject to the recommended “Conditions of Approval” listed in the Staff Report prepared for PC 21-02 for the January 13, 2021 Plan Commission meeting.



The following motion made by Remkus was seconded by Wagner and approved unanimously, a 7-0 roll call vote of the members present:

Based on the submitted petition and testimony provided, I move that the Plan Commission forward a negative recommendation to the Village Board for the approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback requirement from 30 feet to 24.46 feet and approval of a variation from Section 9-5B-3(G) to increase the FAR requirement from 0.30 to 0.39 for the property located at 6401 Meadow Lane as outlined in the Staff Report prepared for PC 21-02 for the January 13, 2021 Plan Commission meeting.



Attachment 1

Findings of Fact and Standards For Variations (2 pages)

9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.**

Applicant Finding: The variance request does not seek a change in zoning and will retain the character of the zoning district. The request for variance is only for a minor allowance to the FAR so that a pool addition may be built for therapeutic purposes of its elderly residents. The addition is allowed, but a minor size variance is requested in order to accommodate the pool in an orientation that best suits the property lighting and privacy.

Staff Finding: The existing lot currently does not conform to current zoning regulations in terms of the required minimum lot area, lot width and lot depth under the R-2 Single Family District. The subject property is part of the Gallagher and Henry's Waterford Unit No. 2 Subdivision which was platted in 1978 and the minimum requirements for lot area and lot depth may have been modified over the years. The minimum required lot depth according to current zoning regulations is 150 feet. The existing lot length along the subject property's north lot line measures 145.91 feet long and along the south lot line measures 146.02 feet long, indicating that the lot depth is deficient by a minimum of 3.98 feet to 4.09 feet. If the subject property had been platted to current zoning standards and complied with the minimum required lot depth requirement, the variation for the reduced rear yard setback would likely not be required. Therefore, the existing conditions do not allow the property to be used to yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the R-2 zoning district.

- (B) **The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.**

Applicant Finding: The proposed variation is not merely for the convenience of the property owner, but rather, if granted, will allowed for a more appropriate orientation to the building that suits the property better. Thus, the regulations without variation would create a hardship to the owner and neighbors.

Staff Finding: The requested variations are necessary to alleviate an unusual hardship in making reasonable use of the property. The subject property is a sub-standard lot according to the current zoning regulations as the subject property does not meet the minimum lot area and lot depth requirements. If the subject property had been platted to current zoning standards and complied with the minimum required lot depth requirement, the variation for the reduced rear yard setback would likely not be required.



Additionally, a new wave of Covid-19 is surging across the state of Illinois and the nation and DuPage County has been operating under the Tier 3 Mitigation requirements under the Restore Illinois resurgence plan since November 20, 2020. Under the Tier 3 Resurgence Mitigations, health and fitness centers are not allowed to operate beyond a 25% capacity, no indoor group classes are permitted, and locker room areas are closed. The current health crisis and the increased risks to the elderly population associated with congregating in public places such as health clubs may be considered a demonstrable and unusual hardship.

- (C) **The alleged hardship has not been created by any person presently having a proprietary interest in the premises.**

Applicant Finding: The hardship is not created by any person presently having a proprietary interest in the premises.

Staff Finding: The hardship to the applicant is created by the subject property's sub-standard lot depth that currently does not conform to current zoning regulations. The hardship can also be attributed to the current health crisis and its increased risk to the elderly population. The desire to use the rear yard for recreational purposes and the lack of access to adequate health facilities has not been created by any person having a proprietary interest in the premises.

- (D) **The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**

Applicant Finding: The variation will not be materially detrimental to the public welfare or injurious other properties.

Staff Finding: During the building permit review, a set of detailed grading plans will also be required and reviewed by the Village Engineer before a building permit is issued. These reviews will ensure compliance with required codes so that the proposed addition will not be detrimental to the public welfare nor injurious to other property or improvements in the neighborhood.

- (E) **The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.**

Applicant Finding: Adjacent neighbors are far enough away that the proposed addition will not impact their light and air nor will it substantially increase traffic or the risk of fire.

Staff Finding: The proposed variations will not impair the supply of light and air to adjacent properties, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety. The height of the proposed one-story addition is 21 feet and is well below the permitted maximum height of 35 feet or two stories.

- (F) **The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)**

Applicant Finding: The proposed variation will not alter the essential character of the locality. It is a construction that will enhance the area and fit the character of the neighborhood.



Staff Finding: The proposed variations will accommodate an indoor swimming pool and is consistent with single-family residential development and compatible with the development in the area.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Applicant Finding: The proposed variation is in harmony with the spirit and intent of Title 9 of the Code.

Staff Finding: The conditions of approval will allow utilization of the rear yard solely for recreational and therapeutic purposes for its elderly residents and will result in a convenient and safe use of the property. The proposed variation is in harmony with the spirit and intent of Title 9 of the Code.



Attachment 2
Public Hearing Notice (3 pages)

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 21-02

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available:

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition for approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-five feet (25') and approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow construction of a 1,081 square foot addition to house an indoor swimming pool, and other such relief from Title 9 of the Village Code necessary, on the property legally described as follows:

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTH WEST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1978 AS DOCUMENT R78-108411, IN DUPAGE COUNTY ILLINOIS.

PIN: 09-24-112-035

ADDRESS: 6401 Meadow Lane, Willowbrook, Illinois 60527

The applicant for this petition is Pete Baftiri (and Jain Bhagwan as property owner), 5S541 Radcliffe Road, Naperville, Illinois 60563.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday, between 8:30 A.M. and 4:30 P.M.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the December 24, 2020 edition of *The Doings* Newspaper.

EQUAL HOUSING UNITIES

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LEGALS

Legal Notices

Notice of Public Sale of Personal Property Metro Self Storage

Notice is hereby given that the undersigned self storage units will be sold at a public sale by competitive bidding, in their entirety to the highest bidder to satisfy the lien of the Lessor, with Metro Storage LLC as managing agent for Lessor, for rental and other charges due from the undersigned. The said property has been stored and is located at the respective address below. The sale will be conducted under the guidance of Christopher Rosa (441.002059) on behalf of the facility's management. Units will be available for viewing and bidding five (5) days prior to the sale on www.StorageTreasures.com. The bidding will close on January 20, 2021 beginning at 9:30 AM. The terms of the sale will be cash only to the highest bidder. A 10% buyer's premium will be charged per unit. All sales are final. Metro Self Storage LLC reserves the right to withdraw any or all units, partial or entire, from the sale at any time before the sale or to refuse any bids. The property to be sold is described as "general household items" unless otherwise noted. All contents must be removed completely from the property within 48 hours or sooner.

Metro Self Storage - 3220 West Touhy Ave, Skokie, IL 60076, 847-265-1006
Unit 763 Amado Guilarte.

Metro Self Storage - 2121 Shermer Road, Northbrook, IL 60062, 847-265-0200
Unit 568 Carl Dunham.

12/24, 12/31/2020 6840829

Notice of Public Sale

Notice is hereby given that the undersigned will sell, to satisfy lien of the owner, according to (770 ILCS 95) Self-Service Storage Facility Act, at public sale by competitive bidding on www.storage-treasures.com, ending on, January 6, 2021 at 10:00am or after for units located at:

Compass Self Storage
3000 N River Rd.
River Grove, IL 60171

The personal goods stored therein by the following may include, but are not limited to: general household, furniture, boxes, clothes and appliances. Purchases must be made with cash only and paid at the time of sale. All goods are sold as is and must be removed at the time of purchase. Compass Self Storage reserves the right to refuse any bid. Sale is subject to adjournment.

Unit#	Tenants Name
1015	Angela F Roberts
163	Anha Hesse
124	Michael Jordan
365	Heier Lemus
461	Tramell Richard

12/17, 12/24/20 6834208

APARTMENT FOR RENT?

The search begins here! Many apartment and home hunters check the Classifieds before looking for a new place to live. Advertise your rental units with us to get a jump on the competition! Call 866-399-0537 or visit placeanad.tribunesuburbs.com

ONLINE

Go to placeanad.tribunesuburbs.com to order and pay for your classified ad. Online. Anytime. It's fast! It's easy!

Public Hearings

NOTICE OF PUBLIC HEARING ZONING HEARING CASE NO. 21-01

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January, 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St. Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available:

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition for approval of a special use permit for a fast food establishment and a special use permit for a drive-through in the B-2, Community Shopping District including certain variations from Title 9 of the Village Code. The applicant seeks to demolish the existing gas/service station and construct a one-story building and drive-through with associated site improvements on the property legally described as follows:

THE NORTH 170.0 FEET OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST RIGHT OF WAY OF STATE ROUTE 83, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 102.65 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET; THENCE SOUTH, ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170 FEET; THENCE WEST, ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 256.24 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE EAST RIGHT OF WAY OF SAID STATE ROUTE 83, WHICH POINT IS 102.45 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH, ALONG THE EAST RIGHT OF WAY LINE OF SAID STATE ROUTE 83, A DISTANCE OF 170.0 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-26-400-013

ADDRESS: 7505 S. Kingery Highway, Willowbrook IL 60527.

The applicant for this petition is Hakin Yala of Panda Express, Inc., 1683 Walnut Grove Avenue, Rosemead CA 91770. The property owner is True North Energy, LLC, 10346 Brecksville Road, Brecksville OH 44141.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday, between 8:30 A.M. and 4:30 P.M. All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

12/24/2020 6839354

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Public Hearings

NOTICE OF PUBLIC HEARING ZONING HEARING CASE NO. 21-02

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 13th of January, 2021 at the hour of 7:00 P.M. This meeting would typically take place in the Willowbrook Police Department Training Room, 7760 S. Quincy St. Willowbrook, IL 60527. However, due to the current circumstances concerning Covid-19, this meeting will be held virtually. Internet address and access instructions will be provided on the Village of Willowbrook's Plan Commission website once available:

<https://www.willowbrookil.org/Archive.aspx?AMID=44>

The purpose of this public hearing shall be to consider a petition for approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow construction of a 1,081 square foot addition to house an indoor swimming pool, and other relief from Title 9 of the Village Code necessary, on the property legally described as follows:

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTH WEST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1978 AS DOCUMENT R78-108411, IN DUPAGE COUNTY ILLINOIS.

PIN: 09-24-112-035

ADDRESS: 6401 Meadow Lane, Willowbrook, Illinois 60527

The applicant for this petition is Pete Bafiri (and Jain Bhagwan as property owner), 55541 Radcliffe Road, Naperville, Illinois 60563.

A copy of the Village's petition is on file in the Office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and is available for public inspection.

Any Individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Ann Choi, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2233, Monday through Friday, between 8:30 A.M. and 4:30 P.M.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. Written comments may be submitted up to the hour of 6:00pm on January 13, 2021 to planner@willowbrook.il.us. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

12/24/2020 6839375

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Public Notices

FLAGG CREEK WATER RECLAMATION DISTRICT 2021 BOARD MEETING SCHEDULE

All meetings are scheduled to start at 10:00 A.M. (CST) on the dates stated below at the District's main office located at 7001 North Frontage Road, Burr Ridge, Illinois 60527.

January 29, 2021 (Friday)
February 26, 2021 (Friday)
March 26, 2021 (Friday)
April 16, 2021 (Friday) - Budget Study Session
April 30, 2021 (Friday)
May 28, 2021 (Friday)
June 25, 2021 (Friday)
July 30, 2021 (Friday)
August 27, 2021 (Friday)
September 24, 2021 (Friday)
October 29, 2021 (Friday)
November 19, 2021 (Friday)
December 17, 2021 (Friday)

Any changes in meeting dates, times or location of the meeting will be published on the District's website, posted on the front door of the District's main office and published in the Hinsdale Doings per the Open Meeting Act requirements. This schedule was approved at the District's regularly scheduled Board meeting on September 25, 2020.
12/24/2020 6841716

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The search begins here! Many apartment and home hunters check the Classifieds before looking for a new place to live. Advertise your rental units with us to get a jump on the competition! Call 866-399-0537 or visit placeanad.tribunesuburbs.com

go online
placeanad.tribunesuburbs.com

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PLACE
AN AD!

Call: 866-399-0537





Attachment 3
Legal Description (1 page)

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTH WEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1978 AS DOCUMENT R78-108411, IN DUPAGE COUNTY, ILLINOIS.

Property Address: 6401 Meadow Lane, Willowbrook, IL 60527

PIN #: 09-24-112-035

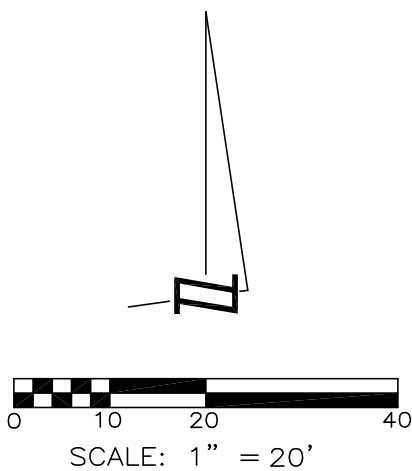


Attachment 4
Boundary and Topographic Survey (1 sheet)

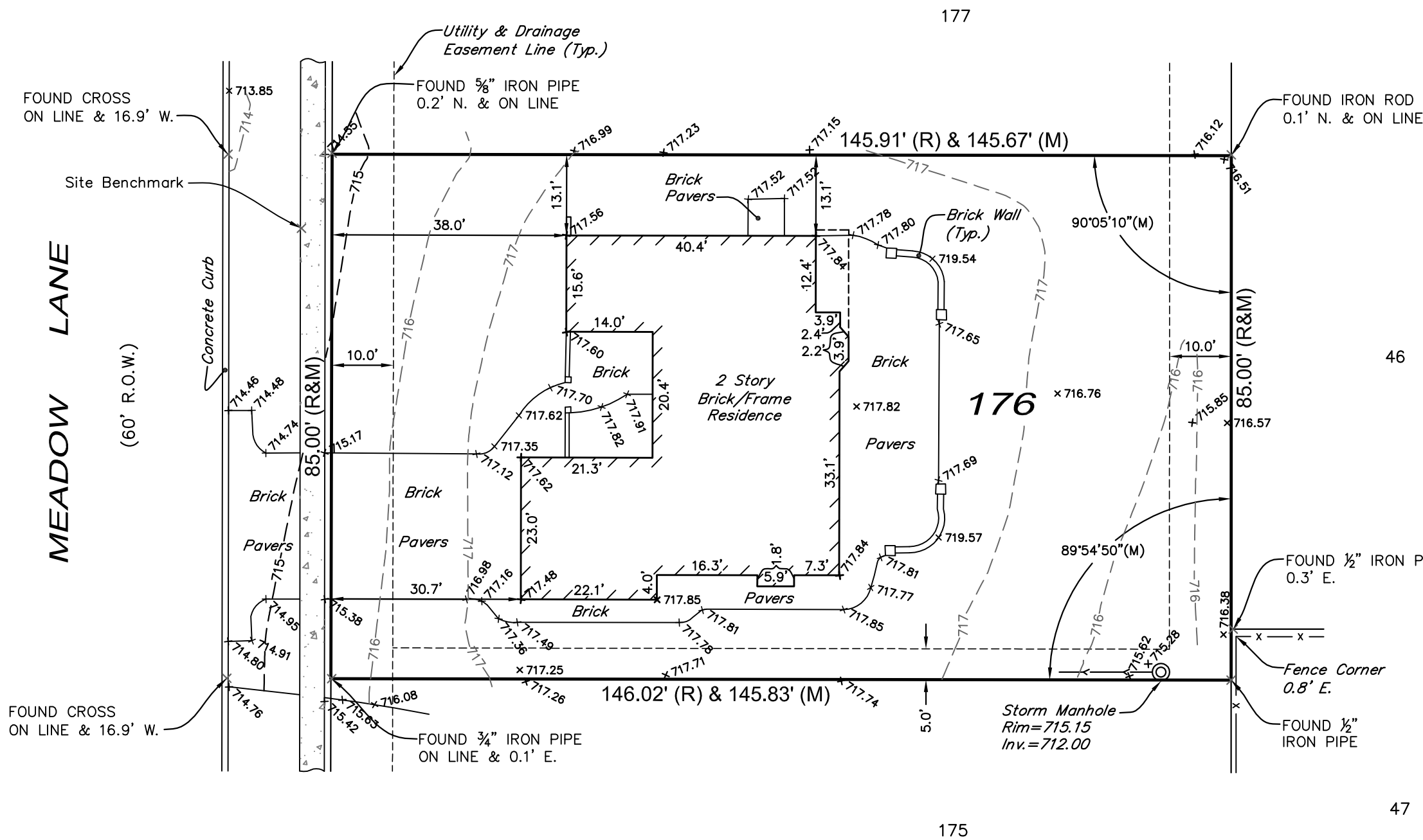
BOUNDARY AND TOPOGRAPHIC SURVEY

PROFESSIONAL LAND SURVEYING, INC.

3080 OGDEN AVENUE SUITE 307
LISLE, ILLINOIS 60532
PHONE: 630-778-1757
PROF. DESIGN FIRM # 184-004196
E-MAIL: info@plsllsle.com



PERMANENT TAX INDEX NUMBER
09-24-112-035



BENCHMARK

DUPAGE COUNTY BM DK3296 - BRONZE DISK ON THE BASE OF A TRAFFIC SIGNAL LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET.

ELEVATION = 732.18 (NAVD 88)

PLSI 01 - NGS OPUS PID BDDM17: CUT CROSS IN TOP OF CURB AT NOSE OF NORTHERLY CURB ISLAND BETWEEN 3080 AND 3060 OGDEN AVE IN LISLE, ILLINOIS.

ELEVATION = 733.51 (NAVD 88)

SITE BENCHMARK:

CROSS CUT IN CONCRETE WALK, APPROXIMATELY 12 FEET SOUTH OF NORTH LINE OF SUBJECT PROPERTY, AS SHOWN HEREON.

ELEVATION = 714.64

LEGAL DESCRIPTION

LOT 176 IN GALLAGHER AND HENRY'S WATERFORD UNIT NO. 2, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1978 AS DOCUMENT R78-108411, IN DUPAGE COUNTY, ILLINOIS.

NOTES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND DRAWINGS IN SURVEYOR'S POSSESSION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



PREPARED FOR: KOZIOL ENGINEERING
ADDRESS: 6401 MEADOW LANE, WILLOWBROOK, ILLINOIS
BOOK & PG: 97/36 DATE: 06/09/16 JOB NO.: 1612705
DRAWN BY: JLK CHECK BY: JHH
REVISED: _____

SYMBOL LEGEND

- ⊙ - MANHOLE
- ▒ - CONCRETE SURFACE
- *** - FENCE LINE
- xxx.xx - EXISTING ELEVATION
- (R) - RECORD DATA
- (M) - MEASURED DATA
- > - STORM SEWER
- - EXIST. CONTOURS

SURVEYED AREA: 12,389± SQ. FT.

REFER TO YOUR DEED, ABSTRACT, TITLE POLICY AND LOCAL BUILDING AND ZONING ORDINANCE FOR ITEMS OF RECORD NOT SHOWN.

NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING

STATE OF ILLINOIS ss
COUNTY OF DUPAGE)

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.



FIELD WORK COMPLETED AND DATED
THIS 7TH DAY OF JUNE, 2016.

IPLS No. 3483
MY LICENSE EXPIRES 11/30/16

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



Attachment 5
Site Plan (1 sheet)



PROJECT: PROPOSED SWIMMING POOL ADDITION
6401 MEADOW LANE
WILLOWBROOK, IL 60527
CLIENT: A&E LUXURY HOMES
PHONE: 630-696-7431

JOB NO.: 20-058
DATE: 09-21-20

SHEET TITLE
POOL HOUSE
SITE PLAN

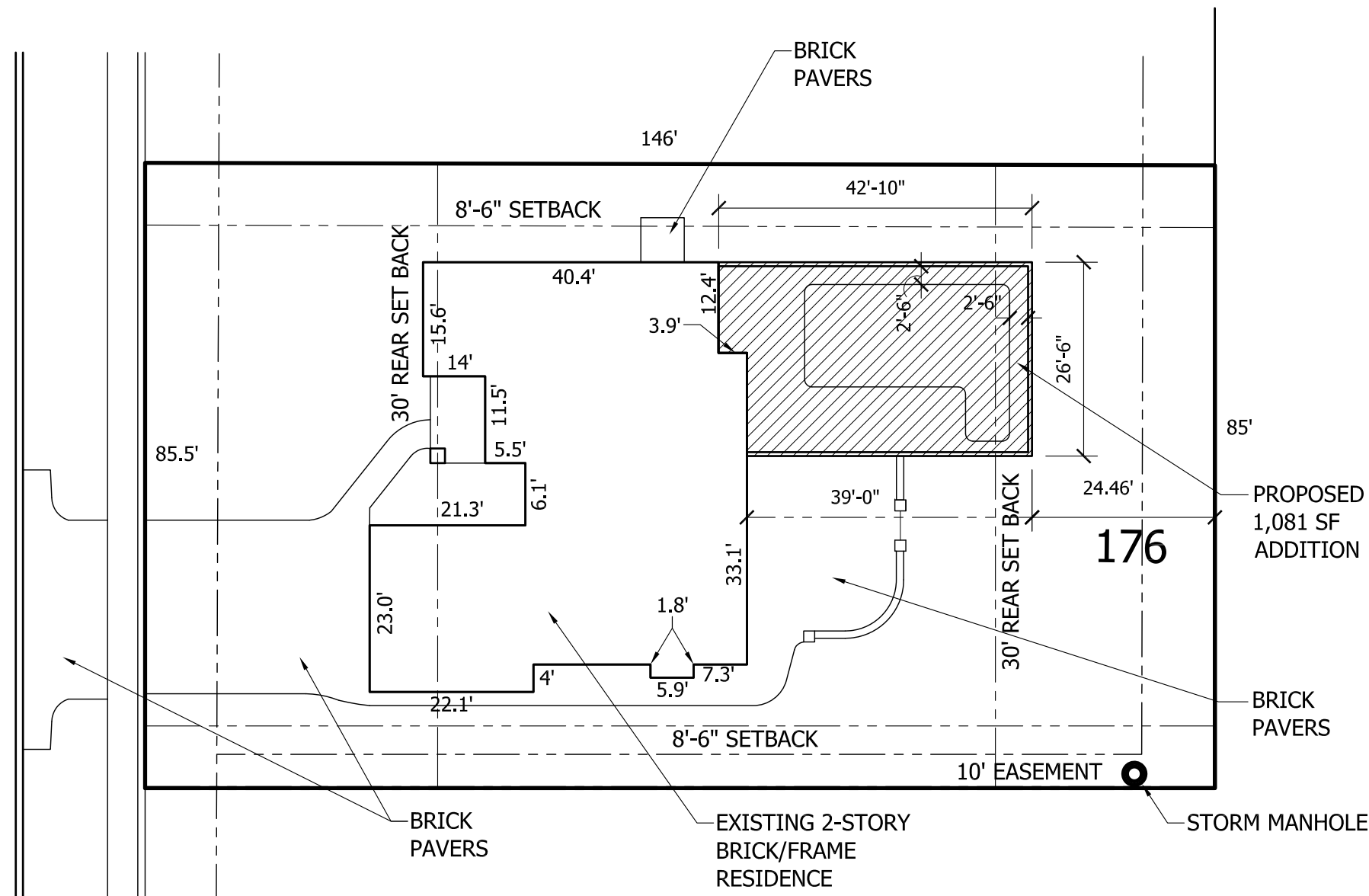
SHEET NUMBER

A1

SITE INFORMATION	
ZONING CODE =	R2
LOT AREA =	12,388.75
MAX. ALLOWABLE LOT COVERAGE =	30%
EXISTING HOUSE AND GARAGE FOOTPRINT =	2,338 SF
PROPOSED ADDITION FOOTPRINT =	1,081 SF
TOTAL LOT COVERAGE =	3,419 SF
PROPOSED LOT COVERAGE =	27.59%
MAXIMUM F.A.R. =	0.30
MAX. AREA ALLOWED=	3,717 S.F.
EXIST. 1ST FLOOR =	2,338 S.F.
EXIST. 2ND FLOOR =	1,446 S.F.
TOTAL EXISTING AREA =	3,784 S.F.
ADDITION AREA =	1,081 S.F.
TOTAL AREA =	4,865 S.F.
REQUESTED VARIANCE	1,148 S.F.
IMPERVIOUS AREAS	
SIDEWALK AND PORCH =	1,646 SF
BUILDING LOT COVERAGE =	2,761 SF
TOTAL IMPERVIOS AREA =	4,407 SF
SETBACK REQUIREMENTS	
MIN. FRONT YARD=	40'
MIN. INTERIOR SIDE YARD =	8.5'/10%
MIN. EXTERIOR SIDE YARD =	40'
MIN. REAR YARD =	30'
SETBACK REQUESTED CHANGE	
REAR YARD	25'

1ST STORY ADDITION
POOL ADDITION
TOTAL: 1,081 S.F.

MEADOW LANE



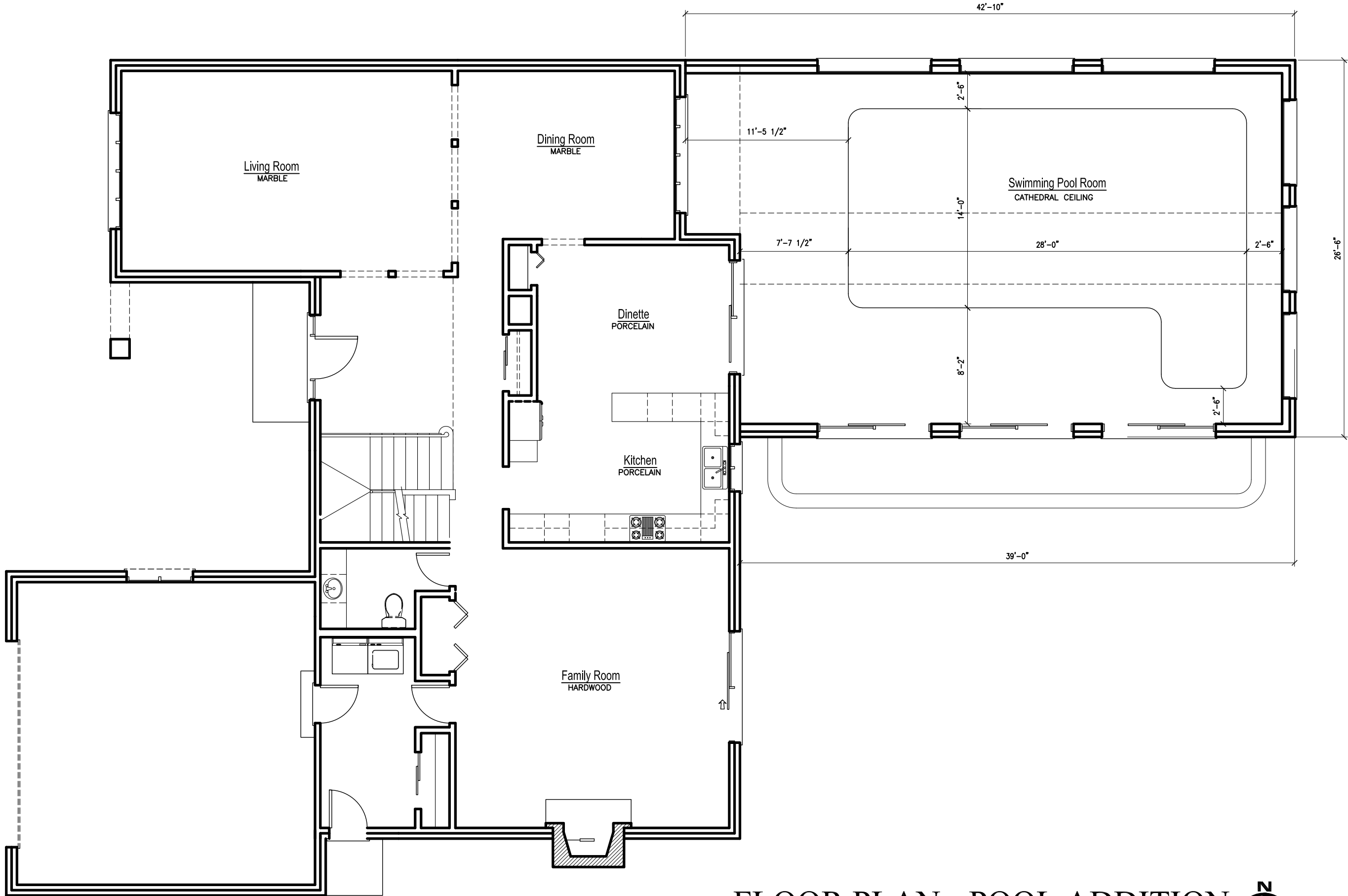
- NOTES:
1. AN UPDATED TOPOGRAPHY AND PLAT OF SURVEY WILL BE REQUIRED PRIOR TO SCHEDULING FINAL INSPECTIONS
 2. A TEMPORARY PERIMETER CONSTRUCTION FENCE WILL BE NEEDED THRUOUT THE PROJECT UNTIL THE ADDITIONS ARE SECURED. AN ORANGE SNOW FENCE WITH METALLIC STANCHIONS IS ACCEPTABLE

SITE PLAN - 6401 MEADOW LANE, WILLOWBROOK, IL





Attachment 6
Architectural Drawings (4 sheets)



THESE DRAWINGS, INCLUDING ALL DESIGNS, DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS



PROJECT: **PROPOSED SWIMMING POOL ADDITION**
6401 MEADOW LANE
WILLOWBROOK, IL 60527
CLIENT: **A&E LUXURY HOMES**
PHONE: 630-696-7431

JOB NO.: 20-058
DATE: 09-21-20

SHEET TITLE
SWIMMING POOL FLOOR PLAN

SHEET NUMBER

A1

FLOOR PLAN - POOL ADDITION



THESE DRAWINGS, INCLUDING ALL DESIGNS, DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS



REAR ELEVATION - EAST

PROJECT: PROPOSED SWIMMING POOL ADDITION
6401 MEADOW LANE
WILLOWBROOK, IL 60527
CLIENT: A&E LUXURY HOMES
PHONE: 630-696-7431

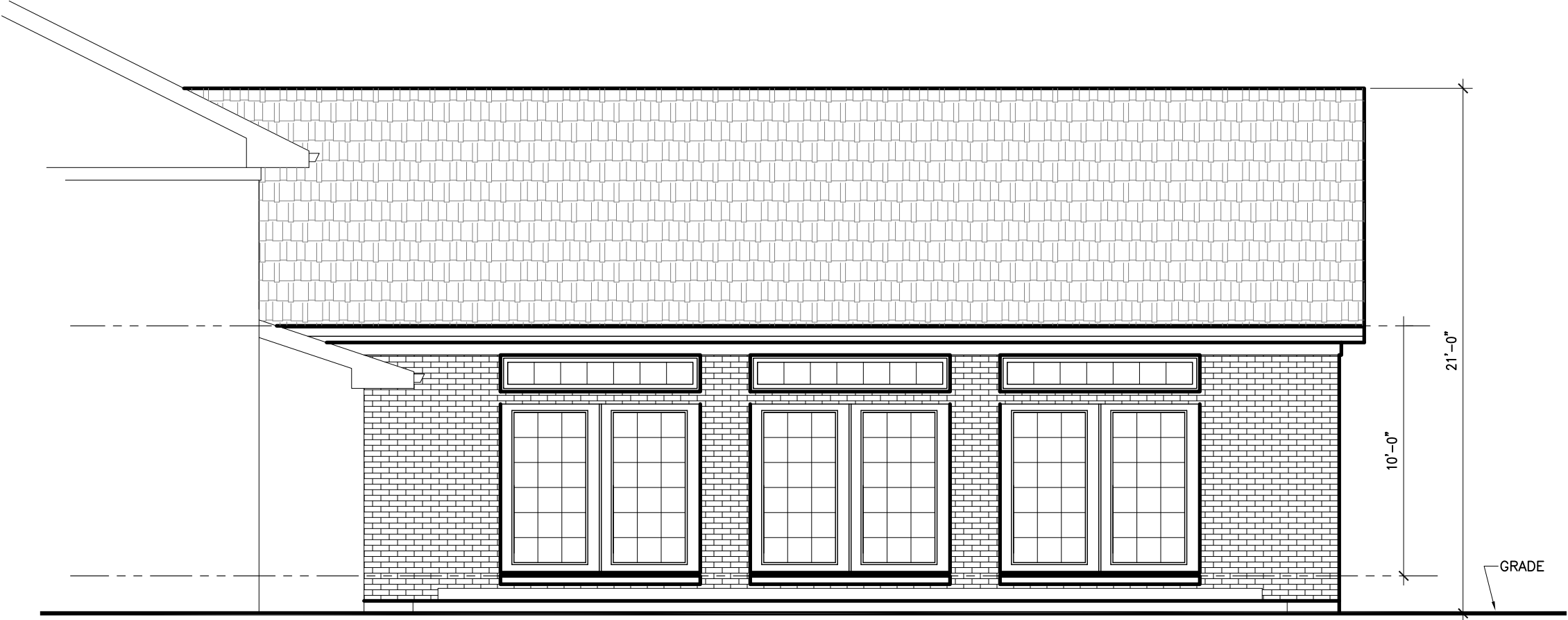
JOB NO.: 20-058
DATE: 09-21-20

SHEET TITLE
POOL HOUSE
REAR ELEVATION

SHEET NUMBER

A2

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RIGHT SIDE ELEVATION - SOUTH

PROJECT: PROPOSED SWIMMING POOL ADDITION
6401 MEADOW LANE
WILLOWBROOK, IL 60527
CLIENT: A&E LUXURY HOMES
PHONE: 630-696-7431

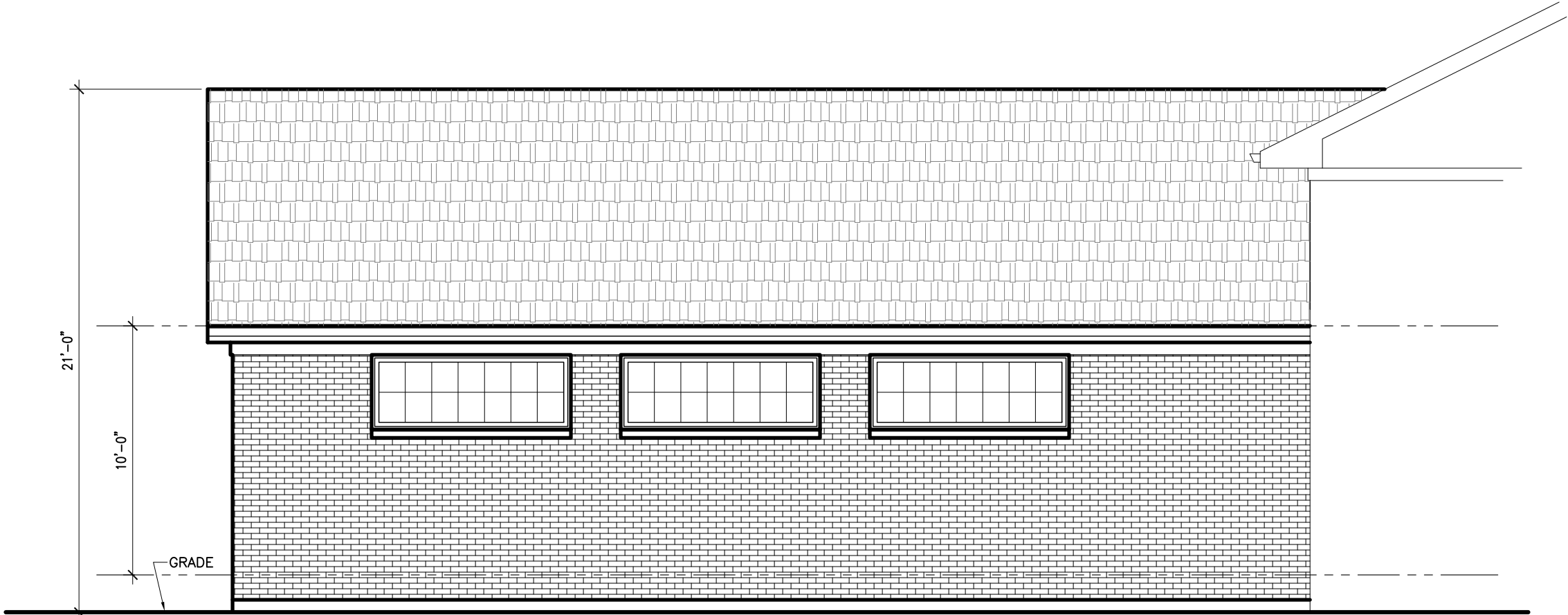
JOB NO.: 20-058
DATE: 09-21-20

SHEET TITLE
POOL HOUSE
RIGHT SIDE ELEVATION

SHEET NUMBER

A4

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LEFT SIDE ELEVATION - NORTH

PROJECT:
PROPOSED SWIMMING POOL ADDITION
6401 MEADOW LANE
WILLOWBROOK, IL 60527

CLIENT:
A&E LUXURY HOMES
PHONE: 630-696-7431

JOB NO.: 20-058
DATE: 09-21-20

SHEET TITLE
POOL HOUSE
LEFT SIDE ELEVATION

SHEET NUMBER

A5



Attachment 7
Engineering Drawings (1 sheet)



Attachment 8
Engineer's Review Letter (1 page)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

December 11, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: 6401 Meadow Lane – Home Addition
(CBBEL Project No. 900144 LR295)

Dear Ann:

As requested, I have reviewed the Pool House Site Plan and supporting documents for the above property prepared by Agama Design Architecture and dated September 21, 2020. You had also provided previous grading plans from a proposed addition in 2016 which was never constructed. My review was with respect to the requested zoning variation only and is not for building permit or final approval. The project consists of an approximately 41.5' by 26.5' home addition to house an indoor swimming pool. The 1100 square foot addition is less than the threshold to trigger stormwater improvements and does not encroach into easements on the lot. We have no objection, from an engineering standpoint, to a variation being granted. Please note that if the variation is granted, the building permit application should include a grading plan prepared by a licensed professional engineer

If you have any questions, please do not hesitate to contact me.

Sincerely,

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Roy Giuntoli – Village of Willowbrook



Attachment 9
Letters Received (4 pages)

From: [Robert Goodridge](#)
To: [Ann Choi](#)
Subject: Zoning Hearing case #21-02
Date: Wednesday, January 13, 2021 6:00:28 PM

Dear Mr. Pabst

We would prefer to maintain the rear yard setback remain at 30 feet and the maximum FAR of 0.30.

Thank you,

Rob

Rob Goodridge
6354 Meadow Ln
Willowbrook IL, 60527

January 12, 2021

Re: Zone Hearing Case No. 21-02: 6401 Meadow Lane Addition

We are a neighboring property owner of the subject property, offering the following two concerns for consideration in review of the Case# PC 21-02

Our first concern relates to the drainage of water in the area. Having recently made an investment to finally solve a persistent drainage problem on our own property, we are concerned that the proposed construction would cause the problems to return. Therefore, we are not in favor of granting any exceptions to the ordinances unless assurances can be given that the planned construction will not cause any drainage issues on neighboring properties.

Our second concern is with the precedent that would be set by the proposed changes to the setback and FAR. Although seemingly a single home on a single street, such an accommodation could become precedent and therefore a slippery slope, which would transform the look and feel of the neighborhood incrementally, without a broader hearing of the matter, and without an explicit decision on the part of the village.

Thank you in advance for considering our inputs

Best regards

Jan and Carol Miecznikowski


6420 Tremont Street

January 12, 2021

Re: Zone Hearing Case No. 21-02: 6401 Meadow Lane Addition
Remonstrance of Adjacent/Neighboring Homeowners

To the Planning Commission of the Village of Willowbrook,

We, the adjacent and neighboring property owners of the subject property offer the following concerns for consideration in review of proposal of the following Case# PC 21-02:

A Petition for approval of a variation from Section 9-5B-3(D)4 to reduce the rear yard setback from thirty feet (30') to twenty-five feet (25') and approval of a variation from Section 9-5B-3(G) to increase the maximum FAR from 0.30 to 0.39 to allow construction of a 1,081 square foot addition to house an indoor swimming pool at the property located at 6401 Meadow Lane.

The design plans prepared by Agama Design architecture do not adequately depict or address how storm water will be controlled or the potential impact to neighboring properties. The impervious area of the rear yard will be greatly reduced, impacting the natural drainage flow. Drainage flow is a very real concern of the adjacent property owners. The plans depict graphically what seems to be a gutter with no vertical leaders indicated on the pitched gable sides of the elevations of the proposed addition. Without indication of where the storm water is running we assume the storm water will sheet flow on the existing grading, thereby increasing the flow rate of the storm water on the existing grading.

In review of the proposed engineering plans, the notation that all existing grading is to remain cannot be accurate. The proposed addition crosses a site contour line of spot elevation 719.54' to 716.51' in the north eastern corner of the site. The north eastern corner of the site is the lowest point of the site and holds the most storm water runoff currently. As indicated on the engineering plans a storm water manhole is located in the south east corner of the site, however all storm water runoff is being directed to the north east corner. Although the proposed addition shows the grade to be flat, this is not accurate nor are the engineering plans and design plans coordinated to provide same information.






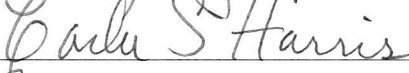
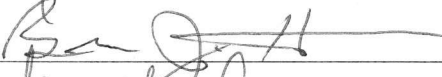


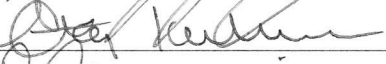


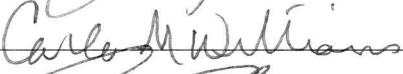

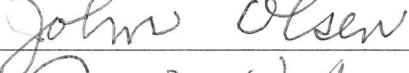




We request that consideration of this petition be continued, to allow adequate time for the Applicant/property owner to properly study and then present to the Plan Commission, the impact of the proposed variation upon stormwater drainage and what types of remedial measures, if any, might adequately prevent or mitigate the issue. In terms of whether the proposed variation will alleviate some demonstrable and unusual hardship posed by the Covid-19 outbreak, we suggest that the Plan Commission take a fresh look at this factor after a study of the stormwater drainage issue. The hardships and restrictions associated by the outbreak may be alleviated over the first half of 2021 as the vaccination program continues to ramp. Health clubs may re-open prior to completion of construction, if not prior to commencement. Finally, as part of the proposal, we would like to see a site logistics plan to ensure the limits of construction are held off the adjacent properties. The existing vegetation along the property lines is requested to be protected from any and all site disturbances.

We also object to the variation to increase the maximum FAR from .30 to .39. We believe the Village of Willowbrook intended for the maximum FAR to align with the open space and greenspace ideals a suburban community desires.

We hope you will take our concerns into consideration and make the decision to disapprove any request for variance or building that may cause harm to our properties.

Thank you.

Considered

<u>Signature</u>	<u>Printed Name</u>	<u>Address</u>
	KEVIN WEBB	6410 Tremont St.
	Annette Price	6400 Tremont St.
	Mark PRICE	6400 TREMONT ST.
	Fred Stein	6350 Tremont St.
	Bradley Scott	6340 Tremont St.
	Carla S Harris	6330 Tremont St.
	Brian J Harris	6330 Tremont St.
	Geri McCafferty	6319 Tremont St
	MICHAEL McCAFFERTY	6319 Tremont St.
	Stacy Kuthman	220 Hill Rd
	Martha Maggioro	6320 Wesley Rd, Willowbrook
	Colin MacLean	226 Sunset Ridge Rd Willowbrook
	Carla Williams	136 Sunset Ridge, Willowbrook
	Evan Williams	136 Sunset Ridge Rd, WB
	John Olsen	6409 Meadow, WB
	Julie Webb	6410 Tremont St
	FRANK YANCY JR	230 Hill Road
	JERRY J. ZEMAN, JR	6404 MEADOW LN.
	Laurie A. Zeman	6404 Meadow Ln

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

RESOLUTION NO. 21-R-05 - A RESOLUTION OF THE VILLAGE OF WILLOWBROOK APPROVING AND ACCEPTING A PROPOSAL FROM ADS, LLC D/B/A ADS ENVIRONMENTAL SERVICE TO PROVIDE WATER LEAK DETECTION SURVEY SERVICES TO THE VILLAGE AT A COST NOT TO EXCEED TEN THOUSAND TWO HUNDRED FIFTY-SIX DOLLARS (\$10,256.00)

AGENDA NO. 8.

AGENDA DATE: 02/08/21

STAFF REVIEW: Mike Mertens, Assistant Village Administrator

SIGNATURE: *M. Mertens*

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: *T. Bastian*

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: *B. Pabst*

REVIEWED & APPROVED BY COMMITTEE: YES ☒ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

At the July 27, 2020 Municipal Service Committee staff presented a proposal from ME Simpson for a valve exercising program, a Pro-Maps Water Atlas update for a GIS system and leak detection program as all-in-one vendor proposal. Upon discussion staff was directed to seek multiple proposals for the proposed services. Over the last number of months staff investigated other vendors but was not successful in locating other vendors that provide all three services under one package. At subsequent Municipal Service Committee meetings staff advised the Municipal Services Committee that it would seek to break up the program into three separate projects in order to obtain the competitive service proposals for the Village.

The water distribution leak survey helps isolate possible leaks within our water system. The leak survey program utilizes listening points of contact, on all hydrants and selected main line valves, b-box, and service valves, to pinpoint leaks in the water distribution system. Once located the Village public works staff would work with the Village contractor to repair the leaks to reduce the Village water loss throughout the system. As discussed at a previous Board meeting, staff advised that the Village water loss was 13% last year. The Illinois Department of Natural Resources requires the water loss to be less than 10% for a municipal system. It is imperative to find the deficiencies in our system so that we can become compliant to the standards of the Illinois Department of Natural Resources as well as reduce the fiscal impact on Village water expenses.

The following is a list of proposals from three firms for the Winter / Fall 2021 water leak detection survey program:

Company	Per Mile Rate	Winter 2021	Fall 2021	Total
ADS Environmental Service	\$134.00	\$5,628.00	\$5,628.00	\$11,256.00
Associated Technical Services, LTD (ATS)	\$211.20	\$9,152.64	\$9,152.54	\$18,305.28
M.E. Simpson Co., Inc.	\$205.00	\$9,225.00	\$9,225.00	\$18,450.00

STAFF RECOMMENDATION
Staff recommends approving the proposal from ADS Environmental Services for the Winter / Fall 2021 water leak detection survey program.
ACTION PROPOSED: Adopt the Resolution.

RESOLUTION NO. 21-R-05

**A RESOLUTION OF THE VILLAGE OF WILLOWBROOK APPROVING AND
ACCEPTING A PROPOSAL FROM ADS, LLC D/B/A ADS ENVIRONMENTAL
SERVICE TO PROVIDE WATER LEAK DETECTION SURVEY SERVICES TO THE
VILLAGE AT A COST NOT TO EXCEED ELEVEN THOUSAND TWO HUNDRED
FIFTY-SIX DOLLARS (\$10,256.00)**

WHEREAS, the Public Works Department of the Village has determined that the Village experienced a thirteen percent (13%) water loss in the year 2020; and

WHEREAS, the Illinois Department of Natural Resources requires that a municipal system's water loss is to be less than ten percent (10%); and

WHEREAS, the corporate authorities of the Village have determined it is necessary, proper and in the best interest of the Village to retain the services of ADS, LLC d/b/a ADS Environmental Services to prepare a water distribution leak survey on behalf of the Village.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION 1: The proposal and agreement submitted by ADS, LLC d/b/a ADS Environmental Services to investigate and prepare a water distribution leak survey for the Village, the cost not to exceed Eleven Thousand Two Hundred Fifty-Six Dollars (\$11,256.00), is hereby accepted and approved.

SECTION 2: The Village Mayor is hereby authorized and directed to execute that certain proposal and agreement, on behalf of the Village, with ADS, LLC d/b/a ADS Environmental Services, a copy of which is attached hereto as Exhibit "A" and made a part hereof.

SECTION 3: This Resolution shall be in full force and effect upon its passage and approval in accordance with law.

PASSED and **APPROVED** this 8th day of February, 2021 by a roll call vote as follows:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

APPROVED:

Frank A. Trilla, Mayor

ATTEST:

Deborah A. Hahn, Village Clerk

EXHIBIT "A"

PROFESSIONAL OR TECHNICAL SERVICES AGREEMENT

The Parties named below hereby agree to be bound to the terms and conditions on the following pages and in accordance with the Exhibits attached to and incorporated herein to this Agreement.

ADS LLC:
340 The Bridge Street, Suite 204, Huntsville, Alabama 35806

By: _____

Printed Name: _____

Title: _____

Date: _____

CLIENT: _____

Address: _____

By: _____

Printed Name: _____

Title: _____

Date: _____

TERMS AND CONDITIONS OF AGREEMENT

NOW THEREFORE, the Parties, agreeing to be legally bound, hereby agree as follows:

ARTICLE 1 – RESPONSIBILITIES OF THE PARTIES

1.01 ADS

A. ADS shall provide the Services set forth herein and in the ADS Proposal dated 12/11/2020 attached hereto and incorporated herein as Exhibit A.

B. The standard of care for all services performed or furnished by ADS under this Agreement will be the care and skill ordinarily used by members of ADS' profession practicing under similar circumstances at the same time and in the same locality. ADS makes no warranties, express or implied, under this Agreement or otherwise, in connection with ADS' services, except as provided in section 4.01.

1.02 CLIENT

A. Client shall have the responsibilities set forth herein and in Exhibit A.

ARTICLE 2 - PAYMENTS TO ADS

2.01 Compensation

A. Client shall pay ADS in accordance with the schedule set forth in Exhibit A.

2.02 Invoices

A. Invoices will be prepared in accordance with ADS' standard invoicing practices, unless otherwise stated in Exhibit A. Invoices are due and payable within thirty (30) days after the date they are issued by ADS. If Client fails to make any payment due ADS for services and/or reimbursable expenses within thirty (30) days after issuance of ADS' invoice, the amounts due ADS will be increased at the rate of one and one-half percent (1.5%) per month (or the maximum rate of interest permitted by law) from said thirtieth day.

2.03 Credit Check and Security

A. This Agreement is contingent upon credit verification and approval of the Client by ADS. Client shall provide ADS with true and correct credit information if requested by ADS. Client authorizes ADS to make inquiries and to receive information about Client's credit history from others and to enter this information in Client's records and to disclose this information to appropriate third parties for reasonable business purposes. ADS, in its sole discretion, may deny the Services based upon an unsatisfactory credit history, or may condition the Services, which may include requiring (i) pre-payment for Services and other charges, and/or (ii) a security deposit, valid credit card on file or bank account information (EFT) to secure return of equipment and payment for Services and other charges.

ARTICLE 3 – TERMINATION

3.01 Termination

A. For Cause

1. The obligation to provide further services under this Agreement may be terminated by either party for cause upon thirty (30) days written notice in the event of a substantial failure by either party to perform in accordance with the terms of this Agreement through no fault of the terminating party. Notwithstanding the foregoing, this Agreement will not terminate as a result of such substantial failure if the Party receiving such notice begins, within seven (7) days of receipt of such notice, to correct its failure to perform and proceeds diligently to cure such failure within no more than thirty (30) days of receipt thereof.

2. In the event of termination by ADS for cause, ADS will be entitled to invoice Client and will be paid for all

services rendered and all reimbursable expenses incurred through the effective date of termination.

B. For Convenience

1. Either party may terminate this Agreement for its convenience upon sixty (60) days written notice to the other party. If this Agreement is terminated by the Client for its convenience, ADS shall be paid a reasonable amount for expenses directly attributable to termination, both before and after the effective date of termination, including, but not limited to demobilization expenses and costs associated with terminating subcontract agreements.

ARTICLE 4 - GENERAL CONSIDERATIONS

4.01 Warranty

A. All new products manufactured by ADS will be free from defects in material and workmanship for up to one (1) year following the date of shipment from ADS. Any unauthorized repair or replacement, use, installation or incorporation of unauthorized parts or accessories, including without limitation opening up a monitor, will void this product warranty. Any repair or replacement will be covered by this new product warranty for ninety (90) days from the date that such repaired or replaced product is shipped from ADS. This warranty is available to the Client as the original purchaser of the product and only if it has been installed, operated, and maintained in accordance with ADS' standards. This warranty does not apply to damage by catastrophes of nature, fire, explosion, acts of God (including, but not limited to, lightning damage and power surges), accidents, improper use or service, damage during transportation, or other similar causes beyond ADS' control. ADS expressly disclaims any and all implied warranties, including, but not limited to any warranty for fitness for a particular purpose.

2. To the extent allowed by law, ADS hereby expressly excludes any warranty for design defect. While products manufactured by ADS are designed and manufactured to meet published specifications, ADS may from time to time improve products currently in the market. However, purchased hardware manufactured to a previous design will only be replaced or upgraded at ADS' discretion.

4.02 Use of Documents

A. If required, ADS shall provide Client with a printed hard copy of the deliverable agreed upon in Exhibit A. All other deliverables shall be in the appropriate electronic media format.

B. Client agrees that it will perform acceptance tests or procedures on electronic files within thirty (30) days of receipt of same, after which the Client shall be deemed to have accepted the data thus transferred. Any errors detected within the thirty (30)-day acceptance period will be corrected by ADS.

C. Any reuse or modification of the Documents without written verification or adaptation by ADS, as appropriate for the specific purpose intended, will be at Client's sole risk and without liability or legal exposure to ADS or to ADS' Subcontractors. Client shall indemnify and hold harmless ADS

and ADS' Subcontractors from all claims, damages, losses, and expenses, including attorneys' fees arising out of such use.

4.03 Changes, Modifications and/or Amendments

A. All changes, modifications and/or amendments to this Agreement or Exhibit A hereto shall be made in writing and shall be signed by both Parties.

4.04 Insurance

A. During the term of this Agreement, ADS shall at all times procure and maintain at a minimum the following insurance coverage:

*General Liability \$1,000,000 CSL and annual aggregate
Automobile Liability \$1,000,000 CSL and annual aggregate*

Workers Compensation as required by statute

ADS will provide Evidence of Insurance upon request.

4.05 Controlling Law, Venue and Dispute Resolution

A. The Parties shall endeavor to resolve any disputes through informal negotiations between the Parties. If the dispute cannot be resolved within sixty (60) days after first notice of the dispute, the Parties agree that the dispute may be submitted to the court of competent jurisdiction in the county in which the work under this Agreement was performed, or in an alternative location upon agreement of the Parties.

B. THE PARTIES HERETO EACH HEREBY KNOWINGLY, VOLUNTARILY AND INTENTIONALLY WAIVE THE RIGHT EACH MAY HAVE TO A TRIAL BY JURY WITH RESPECT TO ANY LITIGATION BASED HEREON, OR ARISING OUT OF, UNDER OR IN CONNECTION WITH THIS AGREEMENT OR ANY COURSE OF CONDUCT, COURSE OF DEALING, STATEMENT (WHETHER ORAL OR WRITTEN) OR ACTIONS OF EITHER PARTY TO THIS AGREEMENT.

C. In the event of any dispute and/or legal action arising from an interpretation and/or the performance of any of the provisions of this Agreement, the Parties hereby agree that the prevailing Party shall be awarded reasonable attorney's fees and costs, including but not limited to, the cost of paralegals, accountants and attorney's fees and costs of appellate proceedings, if applicable.

4.06 Successors, Assigns, and Beneficiaries

A. Neither party shall assign this Agreement without the prior written consent of the other, which shall not be unreasonably withheld, except that without securing such prior consent either party shall have the right to assign this Agreement, and all obligations hereunder, to any successor by way of merger or consolidation or the acquisition of all or substantially all of the business and assets of the party relating to the subject matter of these terms. This right shall be retained provided that such successor shall expressly assume all of the obligations and liabilities of the assigning party under the Agreement. Any assignment in violation of this paragraph shall be void. The terms and conditions of this Agreement shall be binding upon and enforceable by the successor and permanent assign of the assigning party.

B. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and ADS and not for the benefit of any other third Party.

4.07 Limitation of Liability

A. TO THE EXTENT PERMITTED BY APPLICABLE LAW, IN NO EVENT SHALL ADS, OR ANY OF ITS AFFILIATES, DIRECTORS, EMPLOYEES, AGENTS OR PARENT CORPORATIONS, BE LIABLE TO ANY PERSON, FIRM OR ENTITY, INCLUDING, BUT NOT LIMITED TO CLIENT, FOR ANY INDIRECT, PUNITIVE, EXEMPLARY, SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING BUT NOT LIMITED TO LOST PROFITS, BUSINESS INTERRUPTION, LOST DATA, LOST REVENUE AND/OR LOST SAVINGS, EVEN IF CLIENT HAS BEEN ADVISED OF THEIR POSSIBLE EXISTENCE OR IF SAME WERE REASONABLY FORESEEABLE.

4.08 Force Majeure

A. Neither Client nor ADS shall hold the other responsible for damages or delays in performance caused by Force Majeure or other events beyond the control of the other Party which could not reasonably have been anticipated or prevented. Force Majeure shall include, but not be limited to, unusually severe weather, floods, power outages, epidemics, war, acts of terrorism, riots, strikes, lockouts, exercise of police power, condemnation or eminent domain. The foregoing shall not give rise to any claims or damages or be considered a waiver by either Party of the obligations of this Agreement.

4.09 Confidentiality and Non-disclosure

A. Both Parties acknowledge that, in the course of performing this Agreement, certain employees, agents or representatives may be exposed to or acquire information which is proprietary or confidential. Such proprietary and confidential information may include without limitation information related to research, development, designs, plans, reports, investigations, materials, data, pricing, trade secrets, customer lists, salaries, or business information ("Confidential and Proprietary Information").

B. Both Parties agree to hold each other's Proprietary and Confidential Information in strict confidence and not to make each other's Proprietary and Confidential Information available in any form to any third party or to use each other's Proprietary and Confidential Information for any other purpose than for the performance of work under the implementation of this Agreement.

4.10 EEO Statement

A. It is the policy of ADS to recruit, hire, train, compensate, promote, discipline, and otherwise treat its employees and applicants without regard or consideration for the individual's race, color, religious creed, sex, age, national origin, ancestry, mental or physical disability, marital status, citizenship status or any other reason prohibited by law. In addition, ADS is committed to fully complying with all

applicable laws and regulations regarding the Americans with Disabilities Act of 1990, Title VII of the Civil Rights Act, and the Vietnam Era Veterans Readjustment Assistance Act and applicable Federal, State, and Local regulations. ADS also provides equal employment opportunity in all employment practices to qualified applicants and employees without regard to disability.

4.11 Notices

A. Any notice required under this Agreement shall be in writing, addressed to the appropriate Party at its address on the signature page and given personally, by registered or certified mail postage prepaid, or by a commercial courier service. All notices shall be effective upon the date of receipt.

4.12 Survival

A. All express representations, indemnifications, limitations of liability, and assurances of confidentiality included in this Agreement shall survive its completion or termination for any reason.

4.13 Severability

A. Any provision or part of this Agreement held to be void or unenforceable under any Laws or Regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Client and ADS, who agree that the Agreement shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

4.14 Waiver

A. Non-enforcement of any provision by either Party shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.

4.15 Headings

A. The headings used in this Agreement are for general reference only and do not have special significance.

4.16 Entire Agreement

A. This Agreement constitutes the entire agreement between the Parties and exclusive statement of the terms between the Parties with respect to services to be performed hereunder. The Exhibits referenced in this Agreement and the specifications and drawings referenced therein are a part of this Agreement with the same force and effect as if fully set forth herein. No alteration, modification, or amendment of any of the provisions hereof shall be binding unless in writing and signed by duly Authorized Representatives of the Parties.

Exhibit A

PROPOSAL

ADS proposal dated 12/11/2020 containing the agreed upon Scope of Work, Compensation and Party Responsibilities is attached hereto and incorporated as if fully set forth herein.



EXHIBIT A

December 11, 2020

A.J. Passero
Public Works Foreman
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Subject: Quote for Leak Detection Services

Dear Mr. Passero,

ADS Environmental Services is pleased to submit a quote leak detection survey for the Willowbrook, IL Water Distribution System. We have assumed that this scope of work will match the current specifications, terms, and conditions of the Darien, IL water leak survey program. ADS can currently offer at a unit cost of \$134.00 per surveyed mile. It is estimated that this survey will be for approximately 42 miles and that 2 surveys will be completed in the 2021 calendar year.

Our crews are available to get started on this work within 3-5 weeks (or when scheduled by the Village Staff) of a submitted Purchase Order from the Village for this project. We look forward to your acceptance of our offer and the opportunity to continue to work with the Village of Willowbrook on this important project. Please do not hesitate to contact me directly with any questions.

Sincerely,

Steve Huggins

Steve Huggins
Chicago Project Manager
ADS Environmental Services
A Division of ADS LLC
312 243 9440 (O) 773 404 0858 (M)

Scope of Services

ADS will conduct a leak detection/location survey with sonic detection equipment on the Village's water system. We will survey the total length of water main estimated to be 42.00 miles, and monitor the system by listening directly on all hydrants and selected main line valves, b-box, and service valves with highly sensitive sound intensifying instruments. For a project of this size, we propose two days sounding of the system followed by one day of resounding and correlating at each potential leak location. This approach will provide a set of organized results for the report that can be submitted to the village each week. ADS will perform two full days of sounding the system and marking down the potential leak sounds. One day will then be taken to return to those locations to see if the sound is still present. The sound may simply be due to usage and resounding will determine whether it is a leak sound. If it is a leak sound, the location will be further investigated with the electronic correlator.

ADS will thoroughly investigate the mains, hydrants, valves and/or services with an electronic leak correlator and ground microphone to pinpoint the leaks for repair. ***Leak locations will be marked with Precautionary Blue Paint unless otherwise noted by the Village.*** We recommend that all identified leaks be repaired while ADS engineers are still working in the Village so that the immediate area can be sounded again in case another leak may have been masked by the original leak noise. ADS will also record all defective system components – such as valves, hydrants and curb stops – as well as any map errors that are noted in the course of carrying out the field activities. We will be able to conduct the vast majority of the survey during normal working hours. In areas with a high traffic volume, ADS will perform this work during off-hours and will provide the Village with the necessary notice.

Classification of Leaks

ADS classifies leaks according to the following classes, which will be shown on each individual leak sheet and in the final report.

Class	Definition
I	Leaks that are hazardous in terms of potential underground washouts, possibly resulting in surface collapse, encroachment and/or damage to nearby utilities, commercial and private properties or leaks that indicate leakage to be severe enough to warrant immediate repair by Village work forces
II	Leaks that display water losses significant enough to be placed on a regular repair schedule
III	Relatively small leaks that should be repaired as work time permits

Reporting

We will meet with the designated Village representative on daily basis and deliver any leak reports from the previous day's work. Leak sheets will be prepared with a sketch of the location, leak classification and estimated water loss. We will also prepare a progression map with symbols that indicate leaks and classification corresponding to the leak report. ADS will prepare and submit a consultant's weekly report to Village's designated representative that will include:

- Miles surveyed that week
- Miles surveyed to date
- Total estimated water loss
- Number of leaks and suspected locations
- Hours worked that week

Final Report

Our final report will summarize the project and show the results of all tests and investigations. This report will include:

- A description of the area surveyed
- An overview of the methodology and equipment used for the survey
- A comprehensive list of all leak types and locations and estimated quantity of leakage found (GPD)
- An inventory of defective system components and map errors encountered during the survey
- Sketches of the individual leak locations
- Estimated benefits-to-costs resulting from completing the leak survey effort taking into account:
 - Estimated water loss from the leaks discovered during the survey
 - Village's production/purchase price for water
 - Cost of the survey itself

Professional Staff

ADS will provide the Village a project a team of experienced professionals in water leak detection services. Experience, we believe, is the most critical factor governing the work quality in the field. Our team is well versed in the most advanced leak detection technology. Our combination of engineering expertise and field staff experience will ensure that the Village's needs are understood and met. An experienced, trained leak technician will be provided to perform the leak detection survey. The Leakage Technician will likely be either William Doyle or Omar Granciano. Each has extensive experience with leak detection investigations. Resumes for our leakage technicians as well as project experience are available upon request.

Schedule of Work

ADS will coordinate the project start date with the Village. Based on the number of miles, it is estimated that the field portion of the project will take 6 to 8 working days to complete. The technician can usually cover approximately six to eight miles of pipe per day during the sounding phase, depending on weather and traffic conditions. The time needed to pinpoint leaks depends upon the number of leaks discovered and their level of difficulty. As previously discussed, we have found that two days of sounding the system should be followed by one day of resounding and correlating at each potential leak location. The leak survey will be conducted primarily during normal working hours with additional leak detection being conducted during late evening and/or early morning hours if necessary in areas of high traffic volume. The final report will be submitted within 30 days of the end of the field work. We anticipate completing two (2) full system surveys for the Village in 2021, as requested.

Equipment

ADS will use the Fluid Conservation Systems (FCS) S-30 and/or the ADS/Primayer Mikron Leak Surveyor for sounding the leaks and the Echologics LT Leak or Guttermann Aquascan for pinpointing the leaks. Echologics, Guttermann and Primayer are leaders in the manufacture and service of leak detection equipment. Our leak technicians use this equipment for leak surveys and emergency leak calls on a daily basis and continue to have good success with it.

Safety

ADS has an integrated, comprehensive safety process that is led by a full time Safety Manager with over twenty-five years of ADS experience. The safety program encompasses training, audits, equipment and procedures necessary to meet federal, state and local safety requirements. Training includes confined space entry certification, personal protective equipment, blood borne pathogens, gas meter operation, hazard communication, defensive driving, and first aid/CPR, and a comprehensive physical biannual examination. Each field crew carries all necessary communications, safety, confined space entry and traffic control equipment that meets or exceeds NFPA specifications. A safety plan that documents ADS safety protocols can be submitted for informational purposes if requested. ADS's safety program is industry leading. Many other companies and municipalities have used our program as a model for their own.

Assumptions

Our pricing is based upon the following assumptions:

- Village personnel will ensure easy access to all main line valve vaults and valve boxes. This will include pumping out valve vaults where necessary and removing debris from boxes and vaults to make valves and water lines accessible.
- The Village will make available any and all available as-built drawings, maps, atlases, records and all other data pertaining to the water system.

- The Village will provide knowledgeable qualified personnel for consultation and assistance regarding the water system.
- The Village will be responsible for repairing the leaks.
- The Village will hold ADS harmless from all items for which the Village is responsible.

Proposed Cost Estimate

The fee to complete the Project Scope of Work is as Follows:

Task	Description	Pricing
LEAK SURVEY (#1)	Leak Survey Program as described above for approximately 42.00 miles of mains, listening directly on all hydrants, selected main line valves, b-box, and service valves	\$5,628.00
LEAK SURVEY (#2)	Leak Survey Program as described above for approximately 42.00 miles of mains, listening directly on all hydrants, selected main line valves, b-box, and service valves	\$5,628.00
Total	For 2 Full System Surveys	\$11,256.00

Insurance

Our fee includes the cost of maintaining the following insurance to cover the activities of our engineers:

- Worker's Compensation – Statutory coverage
- Comprehensive General Liability – \$1,000,000 combined single limit
- Automobile Liability – \$1,000,000 combined single limit
- Professional Liability – \$1,000,000 per single occurrence

The cost of any additional coverage required by the Client will be added to our fee.

Service Terms & Conditions

****SEE ATTACHED****

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

RESOLUTION NO. 21-R-06 - A RESOLUTION APPROVING AND AUTHORIZING THE REPLACEMENT OF TWO (2) UNDER REGISTERING PUMP HOUSE WATER METERS AT A COST NOT TO EXCEED \$9,730.00

AGENDA NO. 9.

AGENDA DATE: 02/08/21

STAFF REVIEW: Mike Mertens, Assistant Village Administrator

SIGNATURE: M. Mertens

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: T. Bastian

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst

REVIEWED & APPROVED BY COMMITTEE: YES ☒ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

As discussed at the January 25, 2021 Municipal Services Committee meeting staff advised that the Village water loss was 13% for 2019 calendar year. The Illinois Department of Natural Resources requires the water loss to be less than 10% for a municipal system. It is imperative to find the deficiencies in our system so that we can become compliant to the standards of the Illinois Department of Natural Resources as well as reduce the fiscal impact of the Village water expenses.

One area of focus that may account for our water loss is an under registering from our pump house meters. The Village has two meters in our pump house that are 8 plus years old. These meters have not been tested or replaced during this time frame. The following is a proposal from Midwest Meter to replace the two 8" badger meters.

- Badger T-3500 8 " Cast Iron Turbo Meter w/ Lead Free Bronze Cover with HRE-LCD / 4-20 Output Dual Register for Aclara 3400 Encoder MTU and SCADA at \$4,865.00 / each for a total of \$9,730.00.

Funding for these meters is available in the new meter and meter replacement line items of our FY2020 / 21 budget.

STAFF RECOMMENDATION

Staff recommends approving the proposal from Midwest Meter for the replacement of two Badger T-3500 8 " Cast Iron Turbo Meter w/ Lead Free Bronze Cover with HRE-LCD / 4-20 Output Dual Register for Aclara 3400 Encoder MTU and SCADA at \$4,865.00 / each for a total of \$9,730.00.

ACTION PROPOSED: Adopt the Resolution.

RESOLUTION NO. 21-R-06

**A RESOLUTION APPROVING AND AUTHORIZING THE REPLACEMENT OF TWO
(2) UNDERREGISTERING PUMP HOUSE WATER METERS AT A COST NOT TO
EXCEED \$9,730.00**

WHEREAS, the Village has determined that it is necessary to replace two (2) under-registering pump house water meters; and

WHEREAS, Village staff has determined that it is in the best interest of the Village to purchase two (2) Badger T-3500 8" Cast Iron Turbo Meters with HR-E LCD 4-20 Encoders.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the purchase two (2) Badger T-3500 8" Cast Iron Turbo Meters with HR-E LCD 4-20 Encoders at a cost not to exceed \$9,730.00, is hereby accepted and approved.

BE IT FURTHER RESOLVED that the Village Administrator is hereby authorized and directed to execute, on behalf of the Village, purchase order for said meters and encoders.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

This Resolution shall be in full force and effect upon its passage and approval, as required by law.

PASSED and APPROVED by the Mayor and Board of Trustees of the Village of Willowbrook this 8th day of February, 2021 by a roll call vote as follows:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

APPROVED:

Frank A. Trilla, Mayor

ATTEST:

Deborah A. Hahn,
Village Clerk

EXHIBIT “A”



Badger Meter

Recordall® Turbo Series Meters

Models 160 (1-1/2 in.), 200 (2 in.), 450 (3 in.), 1000 (4 in.), 2000 (6 in.), 3500 (8 in.), 5500 (10 in.) and 6200 (12 in.)

NSF/ANSI Standards 61 and 372 Certified

DESCRIPTION

Recordall Turbo Series meters meet or exceed the most recent revision of AWWA Standard C701 Class II Standards and are available in a lead-free bronze alloy for sizes 1-1/2 in. through 10 in. and cast iron for 12 in. meters. Turbo Series meters comply with the lead-free provisions of the Safe Drinking Water Act. Sizes 1-1/2 in. through 10 in. meters are also certified to NSF/ANSI Standards 61 and 372 (Trade Designation: Turbo Series LL-NS) and carry the NSF-61 mark on the housing. All components of the lead-free alloy meter (housing, measuring element, seals and so on) comprise the certified system.

Models 160 through 6200 are designed for 1-1/2 in. through 12 in. applications. These meters feature:

- Direct coupled turbine based on an exclusive in. floating rotor in. design that reduces bearing friction—and associated wear and tear.
- Low pressure loss for improved system efficiency.
- Exceptional registration accuracy across low flow rate, normal operating flow rate and maximum continuous operation flow.
- Permanently sealed, tamper-resistant register or encoder.
- Integral strainer option for sizes 1-1/2 in. through 4 in. help protect your system from damaging debris and related downtime.
- Meters and encoders are compatible with Badger Meter AMR/AMI meter reading systems and other approved reading technologies.

Applications: Recordall Turbo Series meters are designed for cold water, commercial and industrial applications where flows are consistent medium to high flows. Applications include hotels, apartment buildings, irrigations centers and manufacturing and processing plants. Turbo Series meters help reduce day-to-day maintenance costs while delivering accurate and efficient performance.

Operation & Performance: Direct magnetic drive is achieved when the magnet carrier is driven by a gear train coupled to the rotor. The gear train consists of two sets of gears connected by a vertical transmission shaft. One gear set is at the magnet carrier, the other is a worm gear set at the rotor shaft. When water flows into the Turbo Series meter measuring element, it contacts the multi-vaned rotor. The resulting rotor rotation is then transmitted by magnetic coupling to a sealed register or encoder. The direct magnetic drive is built to provide a reliable meter-to-registration coupling.



Tamper-Proof Features: Unauthorized removal of the register or encoder is inhibited by the option of a tamper detection seal wire screw, TORX® tamper-resistant seal screw or the proprietary tamper-resistant keyed seal screw. Each can be installed at the meter site or at the factory.

Construction: The Recordall Turbo Series meter is constructed in compliance with ANSI and AWWA C701 standards. It consists of the following basic components: meter housing, interchangeable, unitized measuring element and permanently sealed direct reading registers or encoders.

The measuring element consists of the transmission coupling, rotor, inlet and outlet straightening vanes with nose cones, and calibration ring assembly. The unique inlet and outlet straightening vanes minimize swirl from piping arrangements upstream as well as downstream.

A strainer is recommended to help ensure optimal flow conditioning and protection for the measuring element. An integral strainer is available as an option for 1-1/2 in. through 4 in. meter sizes. The stainless steel strainer is built into the inlet end and includes a removable cover plate to permit easy access for routine cleaning. External strainers are available in sizes 2 in. through 12 in.

To simplify maintenance, the registers or encoders and measuring elements can be removed without removing the meter housing. Interchangeability of certain parts between meters also minimizes spare parts inventory investment.

Meter Installation: The meter is designed for installations where flow is in one direction only. Companion flanges for installation of meters on various pipe types and sizes are available in cast iron or NL bronze as an option. See the "Recordall Turbo Series Meters User Manual" for specific instructions.

SPECIFICATIONS

Turbo Series Model	160 1-1/2 in. (40 mm)	200 2 in. (50 mm)	450 3 in. (80 mm)	1000 4 in. (100 mm)	2000 6 in. (150 mm)	3500 8 in. (200 mm)	5500 10 in. (250 mm)	6200 12 in. (300 mm)
Meter Flanges AWWA 125 Pound Class	Elliptical	Elliptical or Round	Round	Round	Round	Round	Round	Round AWWA 125 lb class
Typical Operating Range (100% ± 1.5%)	4 ... 200 gpm (0.9 ... 45.4 m³/h)	4 ... 310 gpm (0.9 ... 70.4 m³/h)	5 ... 550 gpm (1.1 ... 124.9 m³/h)	10 ... 1250 gpm (2.3 ... 284 m³/h)	20 ... 2500 gpm (4.5 ... 568 m³/h)	30 ... 4500 gpm (6.8 ... 1022 m³/h)	50 ... 7000 gpm (11.4 ... 1590 m³/h)	90 ... 8800 gpm (20.5 ... 1998 m³/h)
Typical Low Flow (95% min.)	2.5 gpm (0.6 m³/h)	2.5 gpm (0.6 m³/h)	4 gpm (0.9 m³/h)	6 gpm (1.4 m³/h)	12 gpm (2.7 m³/h)	20 gpm (4.5 m³/h)	30 gpm (6.8 m³/h)	65 gpm (14.8 m³/h)
Max. Continuous Flow	160 gpm (36 m³/h)	200 gpm (45.4 m³/h)	450 gpm (102.2 m³/h)	1000 gpm (227.1 m³/h)	2000 gpm (454 m³/h)	3500 gpm (795 m³/h)	5500 gpm (1250 m³/h)	6200 gpm (1408 m³/h)
Maximum Intermittent Flow	200 gpm (45.4 m³/h)	310 gpm (70.4 m³/h)	550 gpm (124.9 m³/h)	1250 gpm (284 m³/h)	2500 gpm (568 m³/h)	4500 gpm (1022 m³/h)	7000 gpm (1590 m³/h)	8800 gpm (1988 m³/h)
Pressure Loss at Max. Continuous Flow	3.8 psi (0.26 bar)	3.1 psi (0.21 bar)	1.8 psi (0.12 bar)	7.3 psi (0.50 bar)	4.8 psi (0.33 bar)	2.5 psi (0.17 bar)	1.6 psi (0.11 bar)	0.8 psi (0.05 bar)
Pressure Loss at Max. Continuous Flow: With Integral Strainer	9.9 psi (0.68 bar)	8.3 psi (0.57 bar)	5 psi (0.43 bar)	17.8 psi (1.2 bar)	---			
Max. Operating Pressure	150 psi (10 bar)							
Max. Operating Temperature	120° F (49° C)							
Optional Integral Strainer	Built into inlet end. Removable cover plate permits access to strainer for cleaning.				---			
Optional External Strainer	---	Available for Models 200, 450, 1000, 2000, 3500, 5500 and 6200.						
Test Plug	Standard with integral strainer; optional for other models.				Optional for Models 2000 and 3500.		---	

MATERIALS

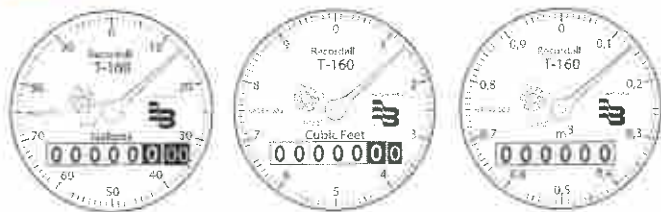
Meter Housing	Lead-free alloy (EXCEPTION: Model 6200 meter housing is blue epoxy-coated cast iron)
Turbo Head	Lead-free alloy
Nose Cone & Straightening Vanes	Thermoplastic
Rotor	Thermoplastic
Rotor Radial Bearings	Lubricated thermoplastic
Rotor Thruster Bearing	Sapphire jewels
Rotor Bearing Pivots	Passivated 316 stainless steel
Calibration Mechanism	Stainless steel & thermoplastic
Magnet	Ceramic
Trim	Stainless steel
Register Housing & Cover	Thermoplastic or bronze
Optional Strainer and Trim	Stainless steel

REGISTERS / ENCODERS

Standard—Sweep-Hand Registration

The standard register is a straight-reading, permanently sealed magnetic drive register. Dirt, moisture, tampering and lens fogging problems are eliminated. The register has a six-odometer wheel totalization display, 360° test circle with center sweep hand, and flow finder to detect leaks. Register gearing is made of self-lubricating engineered polymer, which minimizes friction and provides long life. The multi-position register simplifies meter installation and reading. The register capacity for the 1-1/2 in., 2 in., 3 in. and 4 in. meters is 100,000,000 gallons (10,000,000 ft³, 1,000,000 m³). The register capacity for the 6 in., 8 in., and 10 in. meters is 1,000,000,000 gallons (100,000,000 ft³, 10,000,000 m³). The high-flow register capacity for the 12 in. meter is 10,000,000,000 gallons (1,000,000,000 ft³, 10,000,000 m³).

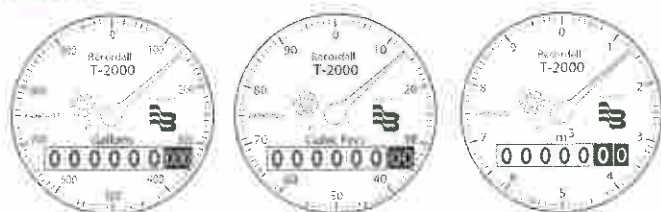
Registers for 1-1/2 in., 2 in., 3 in. and 4 in. Meters



Sweep Hand Revolution

Meter Model	Gallon	Cubic Feet	Cubic Meter
160	100	10	1
200	100	10	1
450	100	10	1
1000	100	10	1

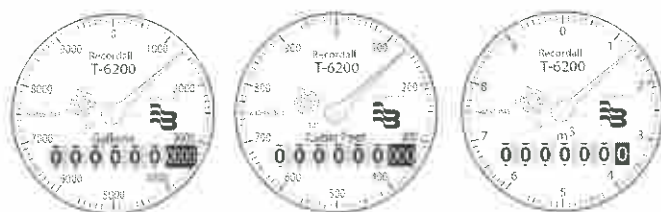
Registers for 6 in., 8 in. and 10 in. Meters



Sweep Hand Revolution

Meter Model	Gallon	Cubic Feet	Cubic Meter
2000	1000	100	10
3500	1000	100	10
5500	1000	100	10

Registers for 12 in. Meters



Sweep Hand Revolution

Meter Model	Gallon	Cubic Feet	Cubic Meter
6200	10000	1000	10

Optional—Encoders for AMR/AMI Reading Solutions

AMR/AMI solutions are available for all Recordall Disc Series meters. All reading options can be removed from the meter without disrupting water service. Badger Meter encoders provide years of reliable, accurate readings for a variety of applications and are also available pre-wired to Badger Meter approved AMR/AMI solutions. See details at www.badgermeter.com.

PHYSICAL DIMENSIONS OF METERS WITHOUT STRAINER

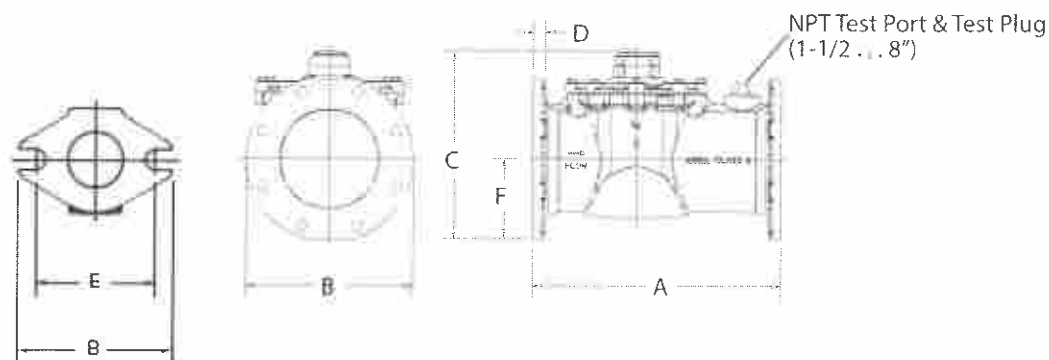


Figure 1: Sample Illustration from 8 in. Model 3500

Turbo Series Model	160	200	200	450	1000	2000	3500	5500	6200
Meter Flanges	1-1/2 in. Elliptical	2 in. Elliptical	2 in. Round	3 in. Round	4 in. Round	6 in. Round	8 in. Round	10 in. Round	12 in. Round
Meter & Pipe Size	1-1/2 in. (40 mm)	2 in. (50 mm)	2 in. (50 mm)	3 in. (80 mm)	4 in. (100 mm)	6 in. (150 mm)	8 in. (200 mm)	10 in. (250 mm)	12 in. (300 mm)
Net Weight	14.3 lb (6.5 kg)	14.9 lb (6.8 kg)	17.4 lb (7.9 kg)	31 lb (14.1 kg)	40 lb (18.1 kg)	77 lb (35 kg)	123 lb (55.7 kg)	210 lb (95.3 kg)	262 lb (118.8 kg)
Shipping Weight	16.8 lb (7.6 kg)	16.4 lb (7.4 kg)	18.9 lb (8.6 kg)	34 lb (15.4 kg)	45 lb (20.4 kg)	89 lb (40.4 kg)	147 lb (66.6 kg)	235 lb (106.6 kg)	286 lb (129.7 kg)
Qty. of Bolts	2	2	4	4	8	8	8	12	12
NPT Test Port & Test Plug (optional)	1 in. (25.4 mm)	1-1/2 in. (40 mm)	1-1/2 in. (40 mm)	2 in. (50 mm)	2 in. (50 mm)	2 in. (50 mm)	2 in. (50 mm)	—	—
Length (A)	13 in. (330 mm)	10 in. (254 mm)	10 in. (254 mm)	12 in. (305 mm)	14 in. (356 mm)	18 in. (457 mm)	20 in. (508 mm)	26 in. (660.4 mm)	19-11/16 in. (500 mm)
Width (B)	5-7/32 in. (133 mm)	5-27/32 in. (148 mm)	6 in. (152 mm)	7-1/2 in. (191 mm)	9 in. (229 mm)	11 in. (280 mm)	13-1/2 in. (343 mm)	16 in. (406.4 mm)	19 in. (482 mm)
Height (C)	6-9/32 in. (159 mm)	6-1/2 in. (165 mm)	7-3/32 in. (180 mm)	8-11/16 in. (220 mm)	9-21/32 in. (245 mm)	13-5/16 in. (338 mm)	15-3/16 in. (385 mm)	17-15/32 in. (443 mm)	19-11/16 in. (500 mm)
Flange (D)	51/64 in. (20 mm)	25/32 in. (20 mm)	5/8 in. (16 mm)	3/4 in. (19 mm)	13/16 in. (21 mm)	7/8 in. (22 mm)	1 in. (25 mm)	1-1/16 in. (27 mm)	1.26 in. (32 mm)
Bolt Circle (E)	4 in. (102 mm)	4-1/2 in. (114 mm)	4-3/4 in. (121 mm)	6 in. (152 mm)	7-1/2 in. (191 mm)	9-1/2 in. (241 mm)	11-3/4 in. (298 mm)	14-1/4 in. (362 mm)	17 in. (432 mm)
Centerline (F)	1-27/32 in. (47 mm)	2-1/16 in. (52 mm)	2-5/8 in. (67 mm)	3-11/32 in. (85 mm)	4-5/16 in. (109 mm)	5-1/4 in. (133 mm)	6-3/8 in. (162 mm)	7-7/8 in. (199.4 mm)	8-7/8 in. (226 mm)

PHYSICAL DIMENSIONS OF METERS WITH INTEGRAL STRAINER

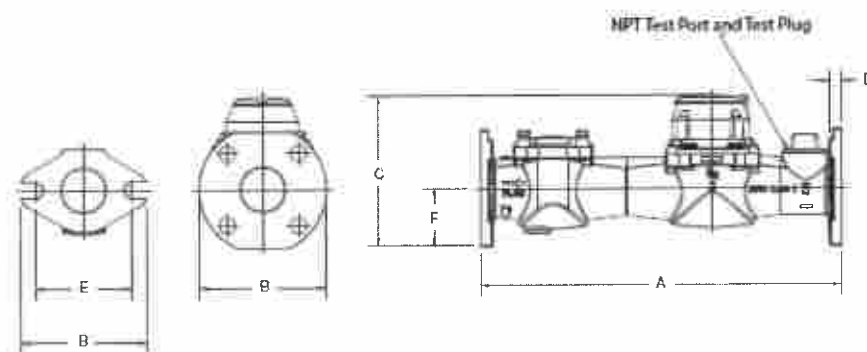
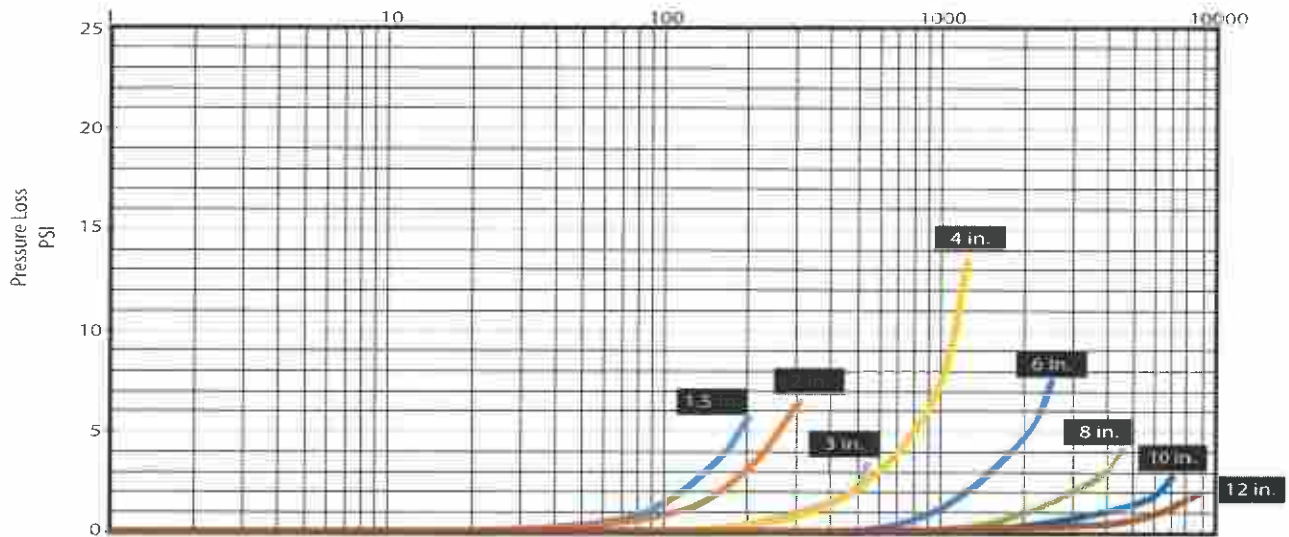


Figure 2: Physical dimensions

Turbo Series Model	160	200	200	450	1000
Meter Flanges	Elliptical	Elliptical	Round	Round	Round
Meter & Pipe Size	1-1/2 in. (40 mm)	2 in. (50 mm)	2 in. (50 mm)	3 in. (80 mm)	4 in. (100 mm)
Net Weight	14.3 lb (6.5 kg)	24 lb (11 kg)	26 lb (12 kg)	49 lb (22 kg)	60 lb (27.22 kg)
Shipping Weight	16.8 lb (7.6 kg)	28 lb (13 kg)	30 lb (14 kg)	55 lb (25 kg)	70 lb (31.75 kg)
Number of Bolts	2	2	4	4	8
NPT Test Port & Test Plug (Standard)	1 in. (25.4 mm)	1-1/2 in. (40 mm)	1-1/2 in. (40 mm)	2 in. (50 mm)	2 in. (50 mm)
Length (A)	13 in. (330 mm)	17 in. (432 mm)	17 in. (432 mm)	19 in. (483 mm)	23 in. (584 mm)
Width (B)	5-7/32 in. (133 mm)	5-27/32 in. (148 mm)	6 in. (152 mm)	7-1/2 in. (191 mm)	9 in. (229 mm)
Height (C)	6-9/32 in. (159 mm)	6-1/2 in. (165 mm)	7-3/32 in. (180 mm)	8-15/16 in. (227 mm)	9-21/32 in. (245 mm)
Flange (D)	51/64 in. (20 mm)	27/32 in. (47 mm)	5/8 in. (16 mm)	27/32 in. (21 mm)	13/16 in. (21 mm)
Bolt Circle (E)	4 in. (102 mm)	4-1/2 in. (114 mm)	4-3/4 in. (121 mm)	6 in. (152 mm)	7-1/2 in. (191 mm)
Centerline (F)	1-27/32 in. (47 mm)	2-1/16 in. (52 mm)	2-5/8 in. (67 mm)	3-19/32 in. (91 mm)	4-5/16 in. (109 mm)

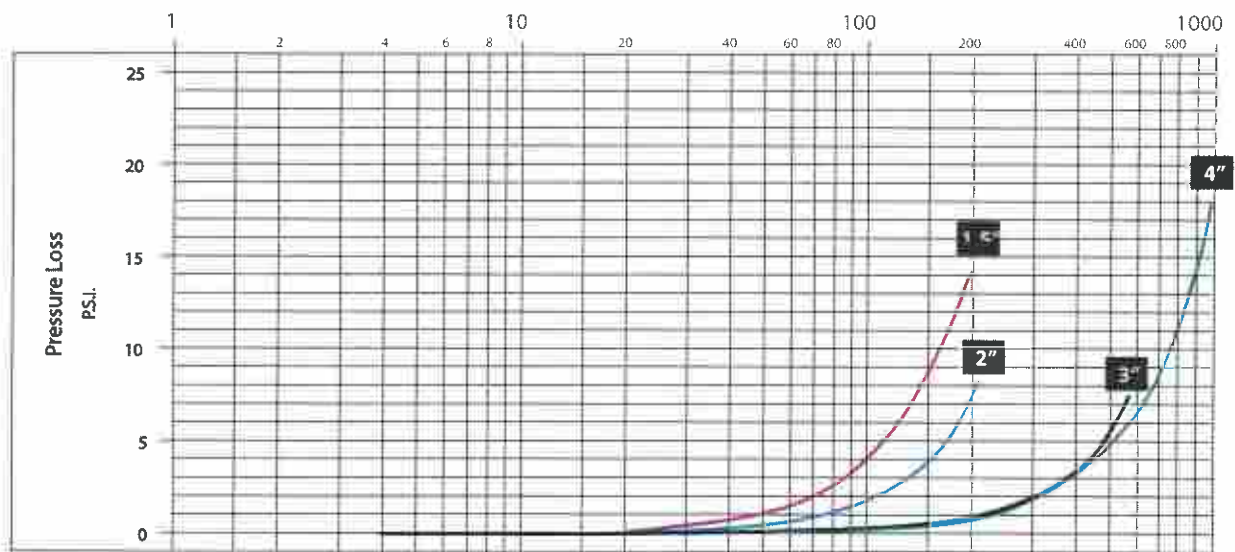
PRESSURE LOSS CHART FOR METERS WITHOUT STRAINER

Rate of flow in gallons per minute (gpm)



PRESSURE LOSS CHART FOR METERS WITH INTEGRAL STRAINER

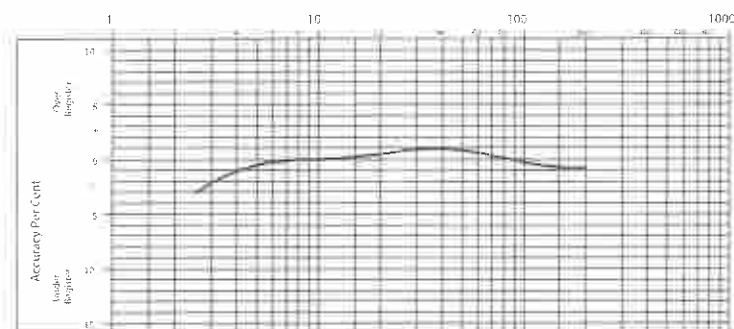
Rate of flow in gallons per minute (gpm)



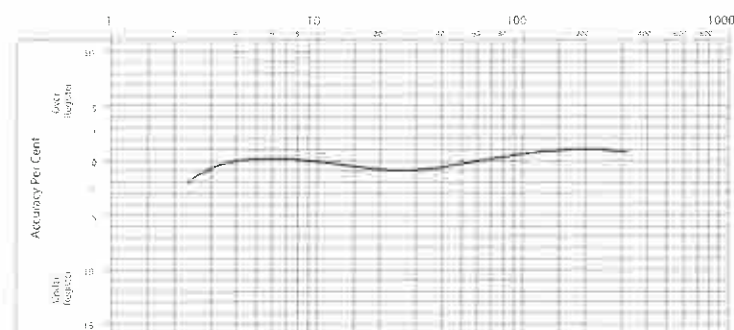
ACCURACY CHARTS FOR METERS WITHOUT STRAINER

Rate of flow in gallons per minute (gpm)

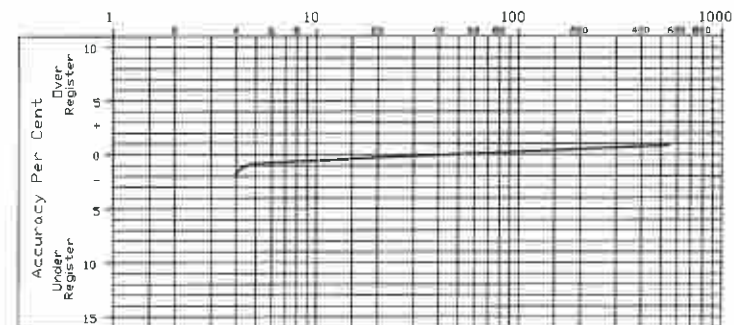
1-1/2 in. Meter



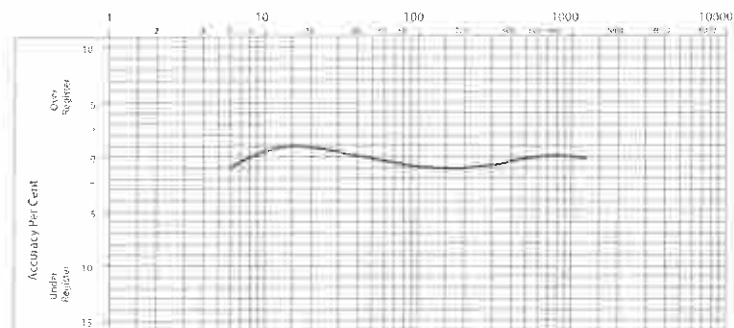
2 in. Meter



3 in. Meter



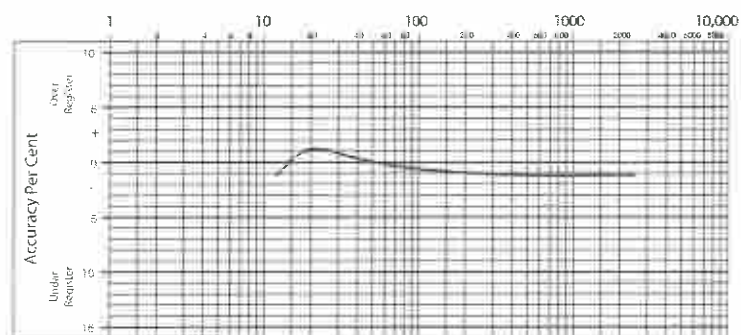
4 in. Meter



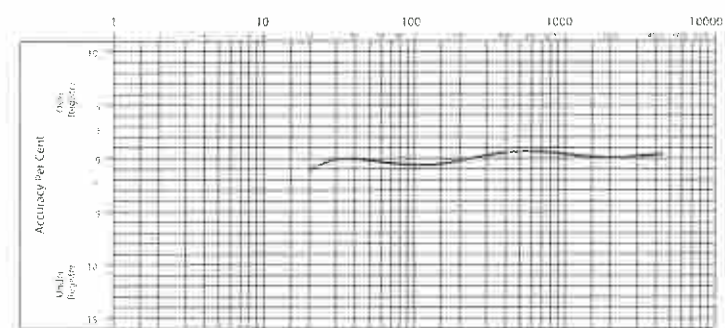
ACCURACY CHARTS FOR METERS WITHOUT STRAINER (CONTINUED)

Rate of flow in gallons per minute (gpm)

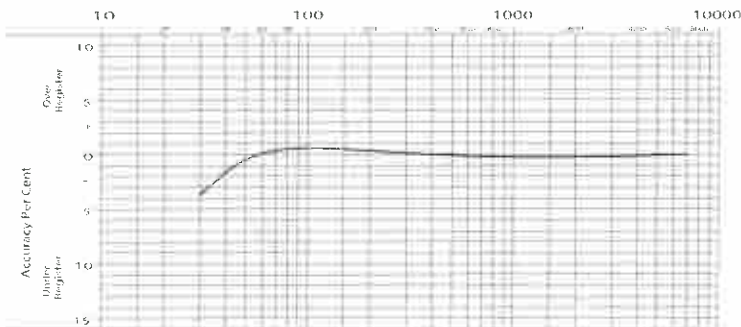
6 in. Meter



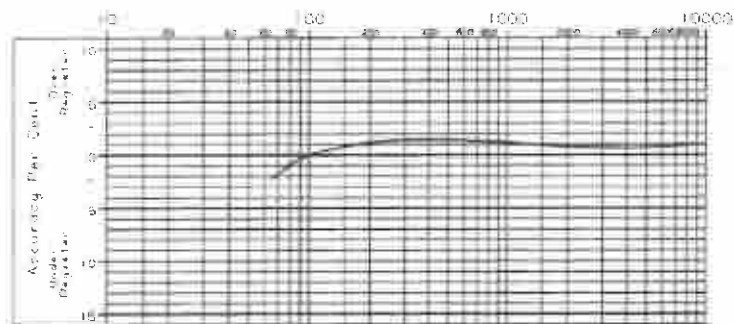
8 in. Meter



10 in. Meter



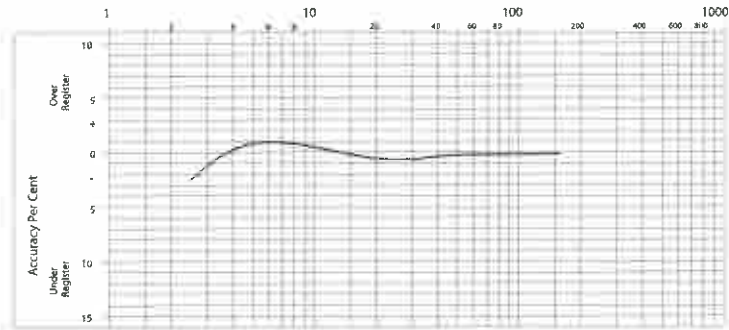
12 in. Meter



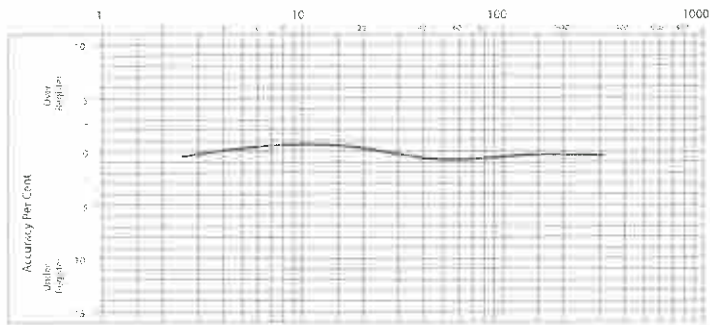
ACCURACY CHARTS FOR METERS WITH INTEGRAL STRAINER

Rate of flow in gallons per minute (gpm)

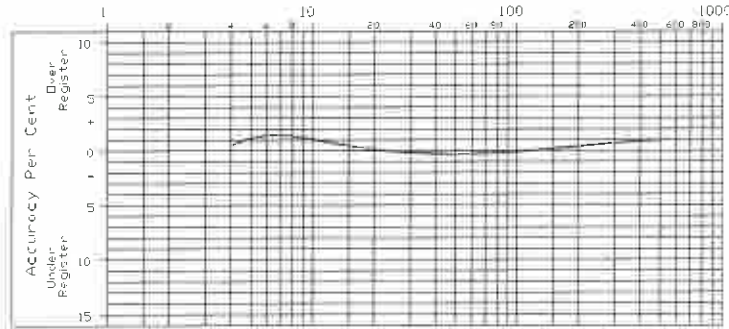
1-1/2 in. Meter



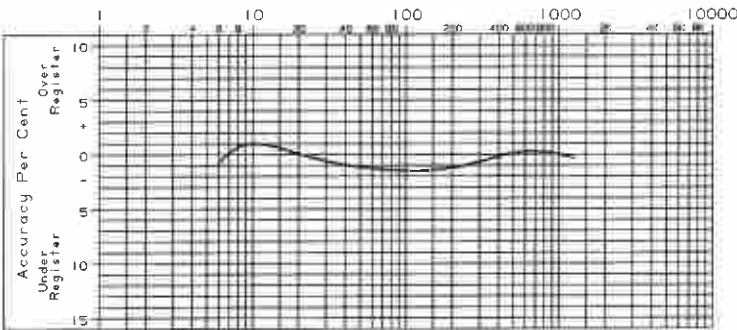
2 in. Meter



3 in. Meter



4 in. Meter



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Legend: O=Optional, M=Mandatory, TS=T-1, T-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, and 14



Badger Meter

HR-E® LCD 4-20 Encoder

DESCRIPTION

The High Resolution 4-20 encoder (HR-E LCD 4-20) is a fully electronic, solid-state encoder with no moving parts. It is designed for use with all current Badger Meter® Recordall® Disc Series, Turbo Series, Compound Series, Combo Series and Fire Service meters and assemblies. These solid-state units produce a standard encoded output as well as a 4-20 mA DC output signal through a dual output wire design. The HR-E LCD 4-20 encoder provides connectivity with Badger Meter ORION® AMR/AMI endpoints and other AMR/AMI technology solutions approved by Badger Meter.

NOTE: For more detailed information, see the user manual, *High Resolution LCD Encoders*, available at www.badgermeter.com.

Field Programmable: The HR-E LCD 4-20 encoder comes standard as factory programmed, with the option for field programming the unit of measure, meter type, meter model, digit resolution from the encoder, billing units, rate-of-flow time and units, and the analog output. Programming is performed through the IR port via a computer.

Output Resolution: Standard encoded output is 9 digits. The 4-20 signal from the encoder is proportional to the flow of fluid passing through the meter. Power for the 4-20 output signal device can be obtained from a 9...50V DC control loop. The default 20 mA setting of the signal is defined in the resolution chart.

Status Indicators: Icons on the encoder face indicate encoder status and alarm conditions. Status indicators are sent as part of the encoder extended message to AMR/AMI systems such as ORION Cellular, Fixed Network and Migratable endpoints that are capable of receiving an extended message. The details can also be read through an IR interface.

Mounting: The fully potted encoder assembly has a bayonet mount compatible with all Recordall Disc, Turbo Series, Compound Series, Combo Series and Fire Series meters and assemblies. The bayonet mount positions the encoder in any of four orientations for visual reading convenience. The encoder can be removed from the meter without disrupting water service.

Magnetic Drive Communication: The encoder detects movement of the wet side meter magnet with magnetic sensors to provide reliable and dependable meter monitoring.

Tamper-resistant Features: Unauthorized removal of the encoder is inhibited by a tamper-resistant Torx seal screw. Torx seal screws are provided as standard accessories. Optional proprietary tamper-proof screws are also available.

In addition, the encoder is resistant to magnetic tampering. The encoder detects an attempted tamper—as well as encoder removal—and displays a tamper alarm in either situation. Approved endpoints capable of receiving the alarms, such as ORION Cellular, Fixed Network and Migratable endpoints, can then report the tamper condition to the meter reading software.



Construction: The housing of the HR-E LCD 4-20 encoder is constructed of an engineered polymer enclosure and a polycarbonate lens. For long-term performance, the enclosure is fully encapsulated, weatherproof, and UV-resistant to withstand harsh environments and to protect the electronics in flooded or submerged pit applications. A patented epoxy potting comprises the encoder bottom. Due to this unique sealing, the HR-E LCD 4-20 exceeds all applicable requirements of AWWA Standard C707.

Wire Connections: The encoder is available with dual output wire connections. The encoder side wire is available with an in-line connector for easy connection to AMR/AMI endpoints, or a flying lead for field splice connection. The 4-20 side is available with a flying lead for easy connection in the field.

Operating Characteristics: The encoder is shipped in storage mode so a meter status alarm is not triggered. In storage mode, the meter model screen is displayed. Upon sensing two revolutions of the meter magnet, the encoder goes into normal operation mode. The display then automatically toggles between these four modes:

- 9-digit consumption displays for 45 seconds.
- 6-digit consumption (segmented leak detector in this mode) displays for 5 seconds.
- Rate of flow displays for 5 seconds.
- Meter model displays for 5 seconds.

SPECIFICATIONS

Encoder Type	Permanently sealed, electronic LCD absolute encoder with analog output and field-programmable option
Encoder Display	Status indicators, unit of measure, billing units, automatic toggle between 9-digit and 6-digit consumption (segmented leak detector in this mode), rate of flow, meter model
Unit of Measure	U.S. gallons, Imperial gallons, cubic feet, cubic meters and liters
Flow Rate	Seconds, minutes, and hours
Numerals	7 mm (0.28 in.) high
Weight	11 ounces
Humidity	0...100% condensing
Temperature	Storage: -40...140° F (-40...60° C) Max. ambient for 1 hr: 150° F (66° C) Electronics & Display: 14...140° F (-10...60° C)
Status Indicators	Electronic and visual icons for: meter functioning correctly, meter alarm (indicates temperature limits exceeded, magnetic tamper or encoder removal), reverse flow, suspected leak, 30-day no usage, end of battery life
Encoder Output	Industry standard ASCII format Three-wire synchronous for AMR/AMI solutions Red = clock/power; Black = ground; Green = data
Analog Output	Two-wire/passive
Input Voltage Range	9...50V DC supply
Current	4...20 mA
Max. Load Resistance (Ohms)	50 Ohms + 50 Ohms (supply voltage - 9V)
Battery	Lithium thionyl chloride AA cell, fully encapsulated within encoder housing
Battery Life	20 years (calculated)

DIMENSIONAL DRAWINGS

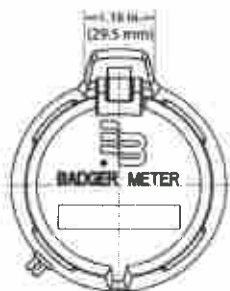


Figure 1: Top view

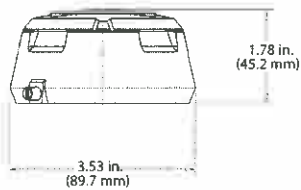


Figure 2: Front view

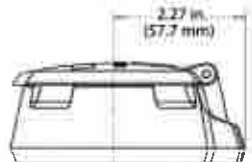


Figure 3: Left side view

MEASUREMENT RESOLUTION

The HR-E LCD 4-20 default output resolutions are as noted below.

Recordall Disc Series	Size (in.)	Encoder Output			Analog Output 20 mA Setpoint (gpm)
		9-dial (gal)	9-dial (ft³)	9-dial (m³)	
LP	5/8, 5/8 x 3/4	0.01	0.001	0.0001	20
M25	5/8, 5/8 x 3/4	0.01	0.001	0.0001	25
M35	3/4	0.01	0.001	0.0001	35
M40	1	0.01	0.001	0.0001	40
M55	1	0.01	0.001	0.0001	55
M70	1	0.01	0.001	0.0001	70
M120	1-1/2	0.1	0.01	0.001	120
M170	2	0.1	0.01	0.001	170

Recordall Turbo Series	Size (in.)	Encoder Output			Analog Output 20 mA Setpoint (gpm)
		9-dial (gal)	9-dial (ft³)	9-dial (m³)	
T160	1-1/2	0.1	0.01	0.001	200
T200	2	0.1	0.01	0.001	310
T450	3	0.1	0.01	0.001	550
T1000	4	0.1	0.01	0.001	1250
T2000	6	1	0.1	0.01	2500
T3500	8	1	0.1	0.01	4500
T5500	10	1	0.1	0.01	7000
T6200	12	10	1	0.01	8800
T6600	16	10	1	0.01	13200
T10000	20	10	1	0.01	19800

Recordall Compound Series	Size (in.)	Encoder Output			Analog Output 20 mA Setpoint (gpm)
		9-dial (gal)	9-dial (ft³)	9-dial (m³)	
High Side T200	2	0.1	0.01	0.001	310
Low Side M25	2	0.01	0.001	0.0001	25
High Side T450	3	0.1	0.01	0.001	550
Low Side M25	3	0.01	0.001	0.0001	25
High Side T1000	4	0.1	0.01	0.001	1250
Low side M35	4	0.01	0.001	0.0001	35
High Side T2000	6	1	0.1	0.01	2500
Low Side M35	6	0.01	0.001	0.0001	35
High Side T3500	8	1	0.1	0.01	—
Low side M120	8	0.1	0.01	0.001	—

NOTE: For Fire Service Meters and Assemblies, please refer to appropriate Disc and TSM information provided above.

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