

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, MARCH 9, 2020, AT 6:30 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, IL, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITORS' BUSINESS - Public Comment is Limited to Three Minutes Per Person
5. OMNIBUS VOTE AGENDA:
 - a. Waive Reading of Minutes (APPROVE)
 - b. Minutes - Regular Board Meeting - February 24, 2020 (APPROVE)
 - c. Minutes - Special Joint Meeting of the Finance & Administration, Laws & Ordinances, Municipal Services, and Public Safety Committees - February 17, 2020 (APPROVE)
 - d. Warrants - \$157,171.99 (APPROVE)
 - e. Monthly Financial Report - February 2020 (APPROVE)
 - f. RECEIVE - Receive Plan Commission Recommendation - Public Hearing 20-03: Consideration of a Petition for Approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to Allow for Major Changes Under Section 9-13-4(C)6(a) (A Greater Than Five Percent (5%) Increase in Gross Floor Area, a Greater Than Five Percent (5%) Decrease in Landscape Area, Changes in the Location of Points of Ingress or Egress, Changes in the Types of Permitted Land Use, Changes in the Approved Development Schedule, Increases in the Approved Deviations) Including Certain Relief, Exceptions and Waivers from Title 9 of the Village Code, and Approval of a Final Plat of PUD. Willowbrook 2012 LLC (Compass Arena) 625 Joliet Road (RECEIVE)

- g. RECEIVE - Receive Plan Commission Recommendation - Public Hearing 20-01: Ducky's Car Wash Addition - Maqpoon Management Inc., 7000 S. Kingery Highway, Willowbrook, Illinois. Consideration of a Petition Requesting Approval of an Amendment to a Special Use Permit Within the B-2 Community Shopping District Zoning Classification, including certain variations from Title 9 of the Village Code. The Applicant Seeks to Modernize and Enlarge the Existing Car Wash with Associated Site Improvements at the Property Located at the Northwest Corner of the Intersection of Illinois Route 83 and Plainfield Road. (RECEIVE)

NEW BUSINESS

6. PROCLAMATION - A Proclamation Recognizing September 2020 as National Suicide Prevention + Action Month in the Village of Willowbrook (PASS)
7. ORDINANCE - An Ordinance Amending Section 4-2-21 Entitled "Building Code Adopted" and Section 4-2-28 Entitled "Fire Code Adopted" of Chapter 2 Entitled "Building Code" of Title 4 Entitled "Municipal Services" of the Village Code of Ordinances of the Village of Willowbrook, DuPage County, Illinois (PASS)
8. RESOLUTION - A Resolution Approving and Accepting a Proposal and Authorizing the Village Administrator to Execute an Agreement with HBK Water Meter Service, Inc. to Provide Water Meter Testing Services to the Village of Willowbrook at a Cost Not-To-Exceed \$11,250.00 (ADOPT)

PRIOR BUSINESS

9. TRUSTEE REPORTS
10. ATTORNEY'S REPORT
11. CLERK'S REPORT
12. ADMINISTRATOR'S REPORT
13. MAYOR'S REPORT

14. CLOSED SESSION
15. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, FEBRUARY 24, 2020 AT THE WILLOWBROOK POLICE DEPARTMENT, 7760 QUINCY STREET, VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Gayle Neal and Paul Oggerino.

ABSENT: Michael Mistele.

Also present were Village Attorney Andrew Acker, Village Administrator Brian Pabst, Assistant Village Administrator Michael Mertens, Director of Finance Carrie Dittman, Chief of Police Robert Schaller, Deputy Chief Laruen Kasper and Superintendent of Public Works Joseph Coons.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Aaron and Christine to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None presented.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - February 10, 2020 (APPROVE)
- c. Warrants - \$302,435.34 (APPROVE)
- d. Motion - Board Authorization for Staff to Process Current Delinquent Water Bills in Accordance with Past Practices (PASS)
- e. Motion - A Motion to Approve an Application to Hold a Raffle on March 7, 2020 for the West Suburban Symphony (PASS)

Mayor Trilla asked the Board if there were any items to be removed from Omnibus Vote Agenda.

MOTION: Made by Trustee Kelly and seconded by Trustee Oggerino to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Neal, and Oggerino. NAYS: None. ABSENT: Mistele.

MOTION DECLARED CARRIED

NEW BUSINESS

6. RECEIVE - A Presentation to Recognize the Officer of the Year for the Willowbrook Police Department (RECEIVE)

Chief Schaller stated, On July 8, 2019 the Public Safety Committee approved establishing an annual awards program in which recipients would be recognized annually at a Village Board meeting for the Officer of the Year along with, any letters of recognition, employment, meritorious service, or other awards given to officers during the prior year to be formally recognized.

Deputy Chief Kasper then went over anniversaries in the department Which include:

Chief Schaller with 25 years
Sergeant Scott Eisenbeis 30 years
Sergeant Tim Kobler 25 years
Honorable Mention Othello Rosal with 5 years

Many officers have received letters of recognition throughout the year. The letters demonstrated a diverse Police Department with many great contributions to the community.

Chief Schaller related the requirements for the officer of the year, to be awarded this honor, an officer should be an outstanding police officer who has had an excellent work record over the past year, including good self-initiated field activity, arrests, citations, contacts, etc. This honor shall be awarded to the officer who has made the most significant contribution to the Willowbrook Police Department throughout the year, and who, through their dedication and consistent high quality of work, is admired by his/her peers.

The officer should also exhibit stellar professionalism, compassion, and understanding during their interactions with offenders and the community. This award is decided upon by the officer's peers. The award is presented to Aron Porter. Deputy Kasper presented an additional award to his wife Christine and Luke for there support.

Mayor Trilla thanked Officer Porter and the entire police department.

Trustee Neal spoke on behalf of the Public Safety Committee commending the Police Department on what they do on a day to day basis.

7. RECEIVE - A Presentation to Recognize the Government Finance Officers Association (GFOA) Distinguished Budget Presentation Award (RECEIVE)

Mayor Trilla presented Director Dittman with the Government Finance Officers Association (GFOA) Distinguished Budget Presentation Award for FY 2019/2020 Budget. Congratulations to Director Dittman for her knowledge, hard work and thoroughness in receiving this award.

Director Dittman thanked the Mayor and the Board for the opportunity to serve the Village.

Administrator Pabst thanked Director Dittman stating in all his 36 years as an administrator Director Dittman is by far the best Finance Director he has ever worked with.

PRIOR BUSINESS

8. TRUSTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele was not present.

Trustee Berglund had no report.

Trustee Davi commented on the letters of recognition had three incidents of saving lives.

Trustee Oggerino congratulations to the police officers on so many outstanding letters.

10. ATTORNEY'S REPORT

Attorney Acker had no report.

11. CLERK'S REPORT

Clerk Hansen had no report.

12. ADMINISTRATOR'S REPORT

Village Administrator Pabst had no report.

13. MAYOR'S REPORT

Mayor Trilla attended the DMMC and meet the Mayor Lightfoot of Chicago and was impressed on her message to unite.

14. CLOSED SESSION

A) - Litigation - Pending or Imminent 5 ILCS 120/2 (c)

ADJOURNMENT INTO CLOSED SESSION

MOTION: Made by Trustee Neal and seconded by Trustee Kelly, to adjourn the Regular Meeting at the hour of 6:53 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Neal, and Oggerino. NAYS: None. ABSENT: Misteale.

CLOSED SESSION: ended at the hour of 7:17 p.m.

MOTION DECLARED CARRIED

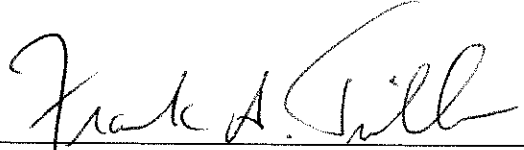
15. ADJOURNMENT

MOTION: Made by Trustee Oggerino and seconded by Trustee Berglund, to adjourn the Regular Meeting at the hour of 7:18 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Neal, and Oggerino. NAYS: None. ABSENT: Misteale.

PRESENTED, READ and APPROVED.

March 9, 2020.



Mayor

Minutes transcribed by Deputy Clerk Christine Mardegan.

MINUTES OF THE SPECIAL JOINT MEETING OF THE FINANCE AND ADMINISTRATION, LAWS & ORDINANCES, MUNICIPAL SERVICES, AND PUBLIC SAFETY COMMITTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, FEBRUARY 17, 2020 AT 5:30 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order by Mayor Trilla at 5:30 p.m. The Pledge of Allegiance was said.

2. ROLL CALL

Those present at roll call were Mayor Frank A. Trilla, Chairman Sue Berglund, Trustee Umberto Davi, Chairman Terrence Kelly, Trustee Michael Mistele, Chairman Gayle Neal, Village Administrator Brian Pabst, Director of Finance Carrie Dittman, Assistant Village Administrator Michael Mertens, Police Chief Robert Schaller, Deputy Chief Lauren Kasper, Superintendent of Public Works Joe Coons, Public Works Foreman AJ Passero, Building Official Roy Giuntoli, and Interim Supt. of Parks John Fenske.

3. REVIEW – Fiscal Year 2020/21 Budget

Director Dittman welcomed the group to the meeting to review the work that staff has performed to date on the Village's FY 2020/21 budget. With regard to departmental spending, each line item of every fund was analyzed and amounts budgeted were based on maintaining current programs; no automatic escalations were assumed for the FY 2020/21.

Beginning in late November, staff began meeting and working on next year's budget. Each department head has entered amounts into their respective budgets based on their department's needs for next year, and they have also projected current year actual expenditures. A little more adjusting to departmental budgets will follow after this meeting, and by the March 16th budget workshop we should have firm numbers for the Village expenditures. A second workshop could be held on April 13th if needed, and the final budget will be adopted at the April 27th Village board meeting.

The proposed budget maintains all current services and programs. The proposed FY 2020/21 days Operating Expense reserves (in General Fund, as of 4/30/21) is 202 Days, fund balance is projected at \$5,166,172. The 1 "day" projected cost to operate the General Fund is \$25,579. A five-year forecast summary and line item detail for each of the Village's funds (except police pension) were created and are presented later in the packet for your reference.

The FY 2019/20 budget as adopted included a General Fund drawdown of \$1,722,288 and 136 days of reserves, however the FY 2019/20 estimated actual will be a surplus of \$41,159 and 207 days of reserves. The variance will be explained later. The FY 2020/21 proposed budget presents a General Fund drawdown of \$130,712 and 202 days of reserves. The minimum target days of reserves set by the Board is 120 days.

Director Dittman continued that the proposed budget does not include salary increases for non-union (union increases are included based on tentative contract). Preliminary health insurance figures include a 5.4% increase; Police Pension Contribution is an increase in contribution amount of 8.9% (\$87,855); and IMRF Pension Contribution is an increase in rate of 1.18% from 12.23% to 13.41% of payroll (about \$15,000).

Director Dittman presented the General Fund drawdown of \$130,712 broken down by department. BOPC, Administration, Finance, Public Works, and transfers out of the General Fund all decreased compared to the prior year's budget. Village Board and Clerk, Planning, Parks, Police and Building & Zoning all have increases compared to last year. Hotel/Motel is a new department in the General Fund this year, having previously been reported as its own fund.

General Fund revenues are projected to increase by \$1.2 million overall, which is a 13.71% increase compared to the current budget. Major changes include income taxes (up \$54,800), of which \$279,000 is pledged to pay debt payments; local gas tax, which was newly implemented in FY 2019/20; hotel/motel tax, which was increased by 1% and will now be reported in the General Fund beginning next year; and a one-time transfer from the Hotel/Motel Tax Fund to the General Fund to close out that fund. The new self-storage facility tax has not been budgeted as we have not received any collections on it to date. That amount may be updated by the March budget workshop.

As we've seen in prior years, the General Fund days of operating expense are progressively declining. Days of fund balance for the 20/21 budget have improved over the FY 2019/20 budget, but that isn't likely to offset our spending over time. The new revenue sources implemented by the Board have pushed the fund balance days up each year, however it still isn't enough to keep pace with spending and we have deficit spending in the General Fund each of the next 5 years. This is further illustrated on page 44 of the packet.

Within the Water Fund, we are projecting a draw of reserves for FY 2020/21 of \$61,065. We do not have a transfer to the Water Capital Improvement Fund budgeted this year, unlike prior years. We have not raised water rates to customers since 1/1/2015, although we have received increases in water purchase costs from DuPage Water Commission each year. Mayor Trilla noted that we should consider passing on the increased costs to users of the water system. A discussion ensued about a senior freeze and the effect on those customers that pay a minimum bill that don't use that much water. The Water Capital Improvement Fund has \$136,380 in water system improvements budgeted for next year, which are being funded by reserves of that fund.

In the MFT Fund, this year's scheduled Roadway Maintenance Program includes replacement of defective concrete (i.e., sidewalks & curbs), full-depth patching, overlays of roadways, and replacement of pavement markings within the Waterford Subdivision. There will be approximately \$487,000 of fund balance at 4/30/2020 available in the Motor Fuel Tax (MFT) Fund to complete the FY 2020/21 Road Program, although only \$300,000 is budgeted to spend. As we have done in the past, prior to finalizing the contract for this year's program, all Village roads will be visually evaluated after the winter season.

Director Dittman continued by discussing the financial performance of the Water and MFT Funds. Water Fund working capital and days reserve at April 30, 2020 (FY 2019/20) was budgeted at \$1,029,064 and 111 days; the projected amounts are \$1,527,172 and 166 days. The FY 2020/21 proposed budget is \$1,466,107 and 160 days. The Board's minimum is 90 days for the Water Fund. The MFT fund balance was budgeted to be \$303,253 at 4/30/2020; actual will be about \$486,862. At 4/30/2021, fund balance will be \$503,291. MFT is coming in higher due to the State of IL's \$.19/gallon transportation fund tax that was implemented 7/1/2019.

Next, Director Dittman discussed fixed costs of the Village: pension and debt payments. For police pension, under the statutory minimum (projected unit credit method), the annual contribution would be \$720,154. Under the entry age normal method (which is the method used historically and is the amount included in the budget), the contribution would be \$1,074,713; this is an 8.9% increase (\$87,855) over last year. The rate of payroll is 49.74%. Over the past 15 years, the contribution has increased from about \$300,000 to about \$1.1 million; this will continue to increase as beneficiaries are added. A discussion ensued about the staffing level in the police department and recent departures of 2 officers. 2 officers are needed now to get to the 23 officers dictated by ordinance. Chief Schaller noted that a sergeant may be retiring soon, and the need now is 4 officers due to the lag time in hiring, going to the police academy, and completing field training. Staff was directed to investigate succession planning options for Village Board consideration.

Under the IMRF pension, the contribution rate for FY 2020/21 will increase 1.18%, and the contribution amount is expected to be about \$180,000. Until this year, the contribution rate to IMRF has actually been going down every year since 2013. The rate of payroll for 2020 is 13.41%. For the last 12 years, annual contributions have hovered just under \$200,000 nearly every year.

Other fixed costs of the Village are debt payments. The Village has one true bond issue, the Series 2015 GO ARS Bonds; next year is year 6 of 20 payments and will be \$347,050, with \$279,851 coming from the General Fund (income taxes) and \$67,199 from the Water Fund. These bonds are repaid with alternate revenue sources; if those sources become insufficient, a general property tax would be levied for repayment. The outstanding principal balance is currently \$4.135 million.

Another debt instrument is the IEPA Loan, used to repaint the standpipe. The outstanding principal balance is \$770,565. Next year is year 4 of 20 of payments, and the annual payment is \$54,448.

The Village also authorized two developer incentive notes, however only one has been issued so far. The maximum of that note is \$2.0 million, to be repaid only by Business District sales taxes generated by Marshall's and Skechers over a maximum 20-year term. The first payment will be made by 4/30/2020, and next year's payment is estimated at \$84,515. The second note, which hasn't been issued yet, is on the Pete's Development, and the maximum is \$5,000,000. The note (once issued) may be paid only until the expiration of the Business District (7/11/2039).

A final debt issue is the Special Service Area (SSA) Bonds, Series 2007. The debt is not Village debt, the Village merely acts as a pass-through to collect the taxes that repay the bonds. The final

payment is due 1/1/2029; next year's payment will be \$321,925.

Director Dittman summarized that the General Fund's 2019/20 budget included a draw of \$1,722,288; estimated actual is a surplus of \$41,159, which is a \$1.763 million swing to the positive. The 2020/21 budget includes a draw of \$130,712. One reason for the better performance is that revenues are projected to exceed budget by \$1.2 million. Director Dittman went over the details of the revenues. Also, General Fund expenditures of about \$1.0 million (mostly capital) have either been deferred or determined not to be needed at all.

Director Dittman moved to the departmental details, highlighting the major expenditures planned for FY 2020/21 for the Village Board & Clerk, Board of Police Commissioners, Administration and Planning & Economic Development. Asst. Administrator Mertens also commented on the Admin. expenses and the work of the outsourced planner. Next Director Dittman and Parks Supt. Fenske commented on the Parks and Recreation budget. Director Dittman relayed the highlights of the Finance budget, noting that we achieved a savings of \$17,000+ with the salary of the new Financial Analyst. Chief Schaller gave an overview of the Police Department major expenditures, including pension and staffing, overtime, EDP licenses/equipment, radio dispatching, 2 replacement vehicles and body cameras. A police squad car would be funded by drug forfeiture/NARCINT funds. A discussion ensued about FOIA and body cameras.

Director Dittman and Supt. of Public Works Coons gave an overview of the Public Works budget, including two new dump trucks (split with the Water Fund), engineering fees, tree maintenance and salt. Some questions were raised by the trustees about how the tree maintenance/trimming program is run. Foreman Passero gave an overview of the process. Staff was directed to investigate warranty options for the vehicle purchases and cost estimates for fence screening behind the Police Department.

Director Dittman and Building Official Giuntoli discussed the Building & Zoning budget, which largely consists of outside consultant fees. A new F-150 truck for the Building Official was also included in the budget.

Director Dittman described that the Hotel/Motel Tax Fund is being closed and will now be reported as a department in the General Fund. 2 minor recurring expenditures are included; Director Dittman asked for direction regarding 1) participation in the DuPage Convention & Visitor's Bureau (DCVB) and 2) advertising. A discussion took place about the current hotels and the type of advertising that has been done by DCVB. The consensus was that, due to the uncertainty of the Village's hotel brands and timing of the re-opening of the 4th hotel as a new brand, the Village would have a moratorium this year of participating in DCVB, and would instead budget \$20,000 for advertising by the Village itself and not through DCVB. Trustee Neal noted that we may need to install a privacy fence around the police dept. vehicle parking once the Delta-Marriott hotel opens.

Director Dittman briefly reiterated the Water Fund debt expenses and capital expenses, and Supt. Coons discussed the current vehicle needs. Supt. Coons also discussed the three largest expenses planned from the Water Capital Improvement Fund. Director Dittman touched on the other funds of

the Village, which have been discussed earlier in the presentation, and discussed the anticipated cost of the Community Resource Center (CRC) renovation, which totals about \$1.42 million. Grants are being solicited, but so far, no revenue has been officially secured. Finally, Director Dittman reiterated the Business District Fund expenditures.

Director Dittman concluded the presentation by discussing the other potential (discretionary) projects that have not yet been included in the budget line items; these total \$332,500. Also, wage increases for non-union employees have not been included in the budget. These items will be discussed further at the March budget workshop.

4. VISITOR'S BUSINESS

There were no visitors present.

5. ADJOURNMENT

Mayor Trilla adjourned the Meeting at the hour of 7:32 p.m.

WARRANTS

March 9, 2020

GENERAL CORPORATE FUND	-----	\$138,090.82
WATER FUND	-----	\$19,081.17
TOTAL WARRANTS	-----	\$157,171.99

e.p.

Carrie Dittman, Director of Finance

APPROVED:
Frank A. Trilla, Mayor

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
CHECK DATE FROM 02/26/2020 - 03/10/2020

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
03/10/2020	APCH	161(E)*#	INTERGOVERNMENTAL PERSONNEL	EMP DED PAY- INSURANCE	210-204	00	14,985.98
				LIFE INSURANCE - ELECTED OFFICIALS	410-141	05	63.84
				LIFE INSURANCE - COMMISSIONERS	435-148	07	18.48
				HEALTH/DENTAL/LIFE INSURANCE	455-141	10	83.84
				HEALTH/DENTAL/LIFE INSURANCE	455-141	10	3,633.00
				HEALTH/DENTAL/LIFE INSURANCE	510-141	15	588.89
				LIFE INSURANCE - PLAN COMMISSION	510-340	15	70.56
				LIFE INSURANCE - COMMISSIONERS	550-148	20	72.24
				HEALTH/DENTAL/LIFE INSURANCE	610-141	25	1,106.09
				HEALTH/DENTAL/LIFE INSURANCE	630-141	30	23,423.51
				HEALTH/DENTAL/LIFE INSURANCE	710-141	35	4,195.04
				HEALTH/DENTAL/LIFE INSURANCE	810-141	40	1,792.43
				CHECK APCHK 161(E) TOTAL FOR FUND 01:			50,033.90
03/10/2020	APCH	162(E)*#	WEX BANK	FUEL/MILEAGE/WASH	455-303	10	36.00
				FUEL/MILEAGE/WASH	630-303	30	3,596.50
				FUEL/MILEAGE/WASH	710-303	35	970.90
				FUEL/MILEAGE/WASH	810-303	40	31.88
				CHECK APCHK 162(E) TOTAL FOR FUND 01:			4,635.28
03/10/2020	APCH	95356	ALICE TRAINING INSTITUTE, LLC	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	695.00
03/10/2020	APCH	95357	ARAMARK UNIFORMS SERVICES	UNIFORMS	710-345	35	167.86
03/10/2020	APCH	95358	ARTHUR CLESEN, INC.	SALT	755-331	35	1,151.50
03/10/2020	APCH	95359	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING	725-418	35	350.00
03/10/2020	APCH	95360	BUTTREY RENTAL SERVICE, INC.	EQUIPMENT RENTAL	750-290	35	72.00
03/10/2020	APCH	95361	CALL THE UNDERGROUND OASIS IRRIG	LANDSCAPE - VILLAGE HALL	466-293	10	150.00
03/10/2020	APCH	95362	CAROLINE DITTMAN	FUEL/MILEAGE/WASH	610-303	25	11.27
03/10/2020	APCH	95363	CHICAGO SUN-TIMES, INC	PRINTING & PUBLISHING	810-302	40	315.00
03/10/2020	APCH	95364	CHOICE OFFICE EQUIP & SUPPLIES IN	COPY SERVICE	455-315	10	537.16
03/10/2020	APCH	95365	CHRISTINE MARDEGAN	FUEL/MILEAGE/WASH	455-303	10	24.03
03/10/2020	APCH	95366#	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	1,120.32
				MAINTENANCE - BUILDING	630-228	30	237.69
				CHECK APCHK 95366 TOTAL FOR FUND 01:			1,358.01
03/10/2020	APCH	95367	COMCAST CABLE	INTERNET/WEBSITE HOSTING	715-225	35	108.35

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
CHECK DATE FROM 02/26/2020 - 03/10/2020

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
03/10/2020	APCH	95368*#	COMED	ENERGY - STREET LIGHTS	745-207	35	602.21
				ENERGY - STREET LIGHTS	745-207	35	544.99
				ENERGY - STREET LIGHTS	745-207	35	870.94
				ENERGY - STREET LIGHTS	745-207	35	609.08
				ENERGY - STREET LIGHTS	745-207	35	457.76
				ENERGY - STREET LIGHTS	745-207	35	82.99
				CHECK APCHK 95368 TOTAL FOR FUND 01:			3,167.97
03/10/2020	APCH	95369	COMPASS MINERALS AMERICA	SALT	755-331	35	8,775.51
03/10/2020	APCH	95370	CONRAD POLYGRAPH INC	EXAMS - POLYGRAPH	440-545	07	160.00
				EXAMS - POLYGRAPH	440-545	07	160.00
				CHECK APCHK 95370 TOTAL FOR FUND 01:			320.00
03/10/2020	APCH	95371*#	DELTA DENTAL PLAN OF ILLINOIS	EMP DED PAY- INSURANCE	210-204	00	1,654.77
				HEALTH/DENTAL/LIFE INSURANCE	455-141	10	271.09
				HEALTH/DENTAL/LIFE INSURANCE	610-141	25	114.32
				HEALTH/DENTAL/LIFE INSURANCE	630-141	30	2,054.40
				HEALTH/DENTAL/LIFE INSURANCE	710-141	35	271.09
				HEALTH/DENTAL/LIFE INSURANCE	810-141	40	228.64
				CHECK APCHK 95371 TOTAL FOR FUND 01:			4,594.31
03/10/2020	APCH	95373	FEDERAL EXPRESS CORP.	POSTAGE & METER RENT	455-311	10	89.66
03/10/2020	APCH	95374	FIRESTONE TIRE & SERVICE	MAINTENANCE - VEHICLES	630-409	30	512.44
03/10/2020	APCH	95375#	FIRST NATIONAL BANK OMAHA	SCHOOLS/CONFERENCES/TRAVEL	410-304	05	115.91
				SCHOOLS/CONFERENCES/TRAVEL	455-304	10	33.92
				SCHOOLS/CONFERENCES/TRAVEL	455-304	10	54.43
				COMMISSARY PROVISION	455-355	10	50.89
				EDP LICENSES	615-263	25	420.00
				EDP LICENSES	640-263	30	212.49
				POSTAGE & METER RENT	810-311	40	17.70
				CHECK APCHK 95375 TOTAL FOR FUND 01:			905.34
03/10/2020	APCH	95376	GEWALT HAMILTON ASSOCIATES INC	PLAN REVIEW - TRAFFIC CONSULTANT-REIM	520-258	15	1,539.00
				PLAN REVIEW - TRAFFIC CONSULTANT-REIM	520-258	15	243.00
				CHECK APCHK 95376 TOTAL FOR FUND 01:			1,782.00

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
CHECK DATE FROM 02/26/2020 - 03/10/2020

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
03/10/2020	APCH	95378*#	H AND R CONSTRUCTION INC.	STREET & ROW MAINTENANCE	750-328	35	3,700.00
				STORM WATER IMPROVEMENTS MAINTENANCE	750-381	35	3,280.00
				CHECK APCHK 95378 TOTAL FOR FUND 01:			6,980.00
03/10/2020	APCH	95380#	HOME DEPOT CREDIT SERVICES	OPERATING SUPPLIES (INACTIVE AFTER 19	630-331	30	24.43
				MAINTENANCE - PW BUILDING	725-418	35	38.44
				MAINTENANCE - PW BUILDING	725-418	35	62.38
				CHECK APCHK 95380 TOTAL FOR FUND 01:			125.25
03/10/2020	APCH	95381	ILLINOIS TRUCK ENFORCEMENT ASSOC	FEES/DUES/SUBSCRIPTIONS	630-307	30	100.00
03/10/2020	APCH	95382	INTN'L CODE COUNCIL INC	FEES/DUES/SUBSCRIPTIONS	810-307	40	135.00
03/10/2020	APCH	95383	JOE COONS	SCHOOLS/CONFERENCES/TRAVEL	710-304	35	40.00
03/10/2020	APCH	95384	JOHN J. HANDZIK	UNIFORMS	630-345	30	327.68
03/10/2020	APCH	95385	KLEIN, THORPE & JENKINS, LTD.	FEES - SPECIAL ATTORNEY	470-241	10	306.00
03/10/2020	APCH	95386	LAUREN KASPAR	UNIFORMS	630-345	30	36.71
03/10/2020	APCH	95387	LAURIE SCHMITZ	FUEL/MILEAGE/WASH	630-303	30	18.98
03/10/2020	APCH	95388	LAW OFFICES STORINO RAMELLO&DURK	FEES - VILLAGE ATTORNEY	470-239	10	547.70
				FEES - VILLAGE ATTORNEY	470-239	10	7,958.90
				FEES - LABOR COUNSEL	470-242	10	76.00
				FEES - LABOR COUNSEL	470-242	10	2,587.80
				CRISIS MANAGEMENT	475-367	10	38.00
				CHECK APCHK 95388 TOTAL FOR FUND 01:			11,208.40
03/10/2020	APCH	95389	LORI RINELLA	FUEL/MILEAGE/WASH	630-303	30	18.98
03/10/2020	APCH	95390	MAILFINANCE	POSTAGE & METER RENT	630-311	30	476.97
03/10/2020	APCH	95391	METRO REPORTING SERVICE LTD.	FEES - COURT REPORTER	520-246	15	366.00
03/10/2020	APCH	95394	MIDCO	PHONE - TELEPHONES	455-201	10	397.50
				MAINTENANCE - BUILDING	466-228	10	320.00
				CHECK APCHK 95394 TOTAL FOR FUND 01:			717.50
03/10/2020	APCH	95395#	NICOR GAS	NICOR GAS (835 MIDWAY)	466-236	10	307.07
				NICOR GAS (825 MIDWAY)	570-235	20	258.03
				NICOR GAS (7760 QUINCY)	630-235	30	538.08
				NICOR GAS	725-415	35	481.82

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
CHECK DATE FROM 02/26/2020 ~ 03/10/2020

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
03/10/2020	APCH	95396	NJ RYAN TREE & LANDSCAPE LLC	CHECK APCHK 95395 TOTAL FOR FUND 01:			1,585.00
				SNOW REMOVAL CONTRACT	740-287	35	4,887.50
				SNOW REMOVAL CONTRACT	740-287	35	2,422.50
				SNOW REMOVAL CONTRACT	740-287	35	10,180.00
				SNOW REMOVAL CONTRACT	740-287	35	3,240.00
				CHECK APCHK 95396 TOTAL FOR FUND 01:			20,730.00
03/10/2020	APCH	95397	PIRTEK - SOUTH HOLLAND INC	MAINTENANCE - VEHICLES	735-409	35	187.53
				MAINTENANCE - VEHICLES	735-409	35	228.10
				CHECK APCHK 95397 TOTAL FOR FUND 01:			415.63
03/10/2020	APCH	95398#	RAGS ELECTRIC, INC	LANDSCAPE MAINTENANCE SERVICES	565-342	20	291.30
				MAINTENANCE - TRAFFIC SIGNALS	745-224	35	133.00
				CHECK APCHK 95398 TOTAL FOR FUND 01:			424.30
03/10/2020	APCH	95399	RAY O'HERRON CO., INC.	UNIFORMS	630-345	30	89.97
03/10/2020	APCH	95400	ROY GIUNTOLI	FEES/DUES/SUBSCRIPTIONS	810-307	40	55.00
03/10/2020	APCH	95401	RUSH TRUCK CENTER -CHICAGO	MAINTENANCE - VEHICLES	735-409	35	225.00
03/10/2020	APCH	95402	SAFETY KLEEN	MAINTENANCE - VEHICLES	735-409	35	404.73
03/10/2020	APCH	95403	STALKER RADAR APPLIED CONCEPTS I	MAINTENANCE - VEHICLES	630-409	30	134.00
03/10/2020	APCH	95404	STAPLES	COMMISSARY PROVISION	455-355	10	121.05
03/10/2020	APCH	95405	STERLING CODIFIERS INC.	CODIFY ORDINANCES	455-266	10	3,064.00
03/10/2020	APCH	95406	SUNNY BUNNY EASTER EGGS	CHILDRENS SPECIAL EVENTS - OTHER	585-150	20	528.00
03/10/2020	APCH	95407	THOMPSON ELEV. INSPECT. SERVICE	PLAN REVIEW - BUILDING CODE-REIMB	820-258	40	200.00
03/10/2020	APCH	95408	TRAFFIC CONTROL & PROTECTIONS	ROAD SIGNS	755-333	35	59.85
03/10/2020	APCH	95409	UNITED STATE POSTAL SERVICE	PREPAID POSTAGE	190-102	00	5,000.00
03/10/2020	APCH	95410	UNIVERSITY OF ILLINOIS	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	414.00
03/10/2020	APCH	95411*#	VERIZON WIRELESS	PHONE - TELEPHONES	410-201	05	56.74
				PHONE - TELEPHONES	455-201	10	47.00
				PHONE - TELEPHONES	630-201	30	873.76
				TELEPHONES	710-201	35	140.85
				TELEPHONES	810-201	40	71.81
				CHECK APCHK 95411 TOTAL FOR FUND 01:			1,190.16

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
CHECK DATE FROM 02/26/2020 - 03/10/2020

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
03/10/2020	APCH	95412#	WAREHOUSE DIRECT	OFFICE SUPPLIES	455-301	10	142.20
				OFFICE SUPPLIES	630-301	30	108.58
				OFFICE SUPPLIES	630-301	30	160.69
				CHECK APCHK 95412 TOTAL FOR FUND 01:			411.47
03/10/2020	APCH	95413#	WESTERN FIRST AID & SAFETY	MAINTENANCE - BUILDING	630-228	30	679.75
				OPERATING EQUIPMENT	630-401	30	50.39
				MAINTENANCE - PW BUILDING	725-418	35	42.79
				CHECK APCHK 95413 TOTAL FOR FUND 01:			772.93
03/10/2020	APCH	95414	WESTFIELD FORD	MAINTENANCE - VEHICLES	735-409	35	1,549.57
				MAINTENANCE - VEHICLES	735-409	35	15.78
				CHECK APCHK 95414 TOTAL FOR FUND 01:			1,565.35
03/10/2020	APCH	95415	WESTOWN AUTO SUPPLY COMPANY	MAINTENANCE - PW BUILDING	725-418	35	60.89
				MAINTENANCE - VEHICLES	735-409	35	17.89
				CHECK APCHK 95415 TOTAL FOR FUND 01:			78.78
03/10/2020	APCH	95416	WILLOWBROOK FORD INC.	MAINTENANCE - VEHICLES	630-409	30	7.54
				Total for fund 01 GENERAL FUND			138,090.82

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK
 CHECK DATE FROM 02/26/2020 - 03/10/2020

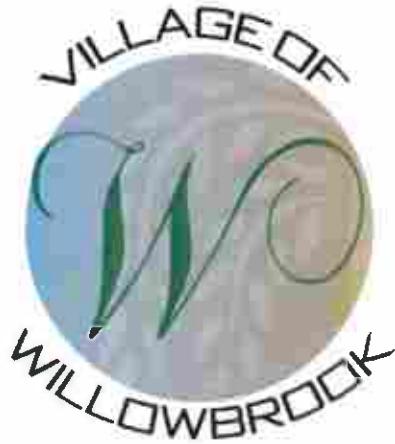
Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND							
03/10/2020	APCH	161(E)*#	INTERGOVERNMENTAL PERSONNEL	HEALTH/DENTAL/LIFE INSURANCE	401-141	50	4,267.95
03/10/2020	APCH	162(E)*#	WEX BANK	FUEL/MILEAGE/WASH	401-303	50	970.90
03/10/2020	APCH	95353	ACI PAYMENTS, INC	FEES DUES SUBSCRIPTIONS	401-307	50	25.35
03/10/2020	APCH	95354	ACLARA TECHNOLOGIES LLC	EDP LICENSES	417-263	50	4,712.00
03/10/2020	APCH	95355	ALARM DETECTION SYSTEMS INC	REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	425-485	50	345.03
				REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	425-485	50	238.56
				REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	425-485	50	205.38
				CHECK APCHK 95355 TOTAL FOR FUND 02:			788.97
03/10/2020	APCH	95368*#	COMED	ENERGY - ELECTRIC PUMP	420-206	50	1,185.22
03/10/2020	APCH	95371*#	DELTA DENTAL PLAN OF ILLINOIS	HEALTH/DENTAL/LIFE INSURANCE	401-141	50	271.09
03/10/2020	APCH	95372	ETP LABS INC	SAMPLING ANALYSIS	420-362	50	100.00
03/10/2020	APCH	95377	GYANN, GREGORY	CUSTOMER OVERPAYMENT	280-135	00	124.50
03/10/2020	APCH	95378*#	H AND R CONSTRUCTION INC.	WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	2,610.00
03/10/2020	APCH	95379	HACH CHEMICAL COMPANY	SAMPLING ANALYSIS	420-362	50	3,000.00
03/10/2020	APCH	95392	METROPOLITAN INDUSTRIES INC	EDP LICENSES	417-263	50	138.00
03/10/2020	APCH	95393	MID AMERICAN WATER	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	671.28
03/10/2020	APCH	95411*#	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	75.06
				PHONE - TELEPHONES	401-201	50	140.85
				CHECK APCHK 95411 TOTAL FOR FUND 02:			215.91
				Total for fund 02 WATER FUND			19,081.17
				TOTAL - ALL FUNDS			157,171.99

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

Payroll Liability Check Register
For Check Dates 02/01/2020 to 02/29/2020

Check Number	Vendor Name	Check Date	Check Amount
EFT281	EFTPS	02/14/2020	24,310.43
53663	COMMUNITY BANK OF WILLOWBROOK	02/14/2020	539.58
53664	I C M A RETIREMENT TRUST - 457	02/14/2020	825.00
53665	ILLINOIS STATE DISBURSEMENT UNIT	02/14/2020	1,190.00
53666	NATIONWIDE RETIREMENT SOLUTIONS	02/14/2020	7,434.96
53667	VILLAGE OF WILLOWBROOK	02/14/2020	45,321.19
EFT282	ILLINOIS DEPT. OF REVENUE	02/14/2020	5,291.53
53674	AFLAC	02/28/2020	2,042.82
EFT283	EFTPS	02/28/2020	47,984.23
53675	COMMUNITY BANK OF WILLOWBROOK	02/28/2020	539.58
53676	I C M A RETIREMENT TRUST - 457	02/28/2020	825.00
53677	ILLINOIS STATE DISBURSEMENT UNIT	02/28/2020	2,437.00
53678	ILLINOIS FRATERNAL	02/28/2020	912.00
EFT284	I.M.R.F. PENSION FUND	02/28/2020	22,480.07
53679	NATIONWIDE RETIREMENT SOLUTIONS	02/28/2020	7,627.54
53680	VILLAGE OF WILLOWBROOK	02/28/2020	45,321.19
EFT285	ILLINOIS DEPT. OF REVENUE	02/28/2020	6,349.28
Total Checks: 17		Total Paid:	\$221,431.40



MONTHLY FINANCIAL REPORT
FEBRUARY 2020

RESPECTFULLY SUBMITTED BY:

Frank A. Trilla, Mayor
Carrie Dittman, Director of Finance

VILLAGE OF WILLOWBROOK FINANCIAL REPORT MUNICIPAL SALES AND USE TAXES

MONTH DIST	SALE MADE		15-16	16-17	17-18	18-19	19-20	% increase from prior year
MAY	FEB	\$	253,282	\$ 267,882	\$ 264,472	\$ 276,118	\$ 320,221	15.97%
JUNE	MAR		301,469	312,681	304,436	334,282	360,870	7.95%
JULY	APR		267,013	269,580	304,925	309,957	343,577	10.85%
AUG	MAY		328,251	331,887	345,478	376,154	397,471	5.67%
SEPT	JUNE		349,847	398,196	354,582	364,229	408,372	12.12%
OCT	JULY		306,409	316,266	313,701	320,062	380,773	18.97%
NOV	AUG		337,896	315,293	361,826	339,020	389,765	14.97%
DEC	SEPT		360,843	325,374	334,582	342,467	363,388	6.11%
JAN	OCT		318,340	289,208	312,400	329,103	375,088	13.97%
FEB	NOV		304,839	304,898	319,012	362,572	368,379	1.60%
MARCH	DEC		393,072	371,080	416,900	428,214		
APRIL	JAN		266,970	263,392	285,192	296,927		
TOTAL		\$	3,788,231	\$ 3,765,737	\$ 3,917,506	\$ 4,079,105	\$ 3,707,904	
MTH AVG		\$	315,686	\$ 313,811	\$ 326,459	\$ 339,925	\$ 370,790	
BUDGET		\$	3,600,000	\$ 3,600,000	\$ 3,600,000	\$ 3,600,000	\$ 4,000,000	

YEAR TO DATE LAST YEAR : \$ 3,353,964
YEAR TO DATE THIS YEAR : \$ 3,707,904
DIFFERENCE : \$ 353,940

PERCENTAGE CHANGE :

10.55%

CURRENT FISCAL YEAR :

BUDGETED REVENUE : \$ 4,000,000
PERCENTAGE OF YEAR COMPLETED : 83.33%
PERCENTAGE OF REVENUE TO DATE : 92.70%
PROJECTION OF ANNUAL REVENUE : \$ 4,509,568
EST. DOLLAR DIFF ACTUAL TO BUDGET \$ 509,568
EST. PERCENT DIFF ACTUAL TO BUDGET 12.74%

VILLAGE OF WILLOWBROOK
MONTHLY CASH AND INVESTMENT BALANCE BY FUND
FOR THE MONTH ENDED 02/29/2020

ACCOUNT	BALANCE
Fund 01 GENERAL FUND	
CHECKING - 0283	0.00
COMMUNITY BANK OF WB - 0275	626,094.59
IL FUNDS - 5435	3,151,030.84
COMMUNITY BANK OF WB MM - 1771	305,684.99
COMMUNITY BANK RD LGHT - 0243	21,740.27
COMMUNITY BANK OF WB FSA - 3804	12,096.72
U.S. BANK RED LIGHT - 4216	14,500.00
COMMUNITY BANK DRUG ACCT - 4171	82,937.56
PETTY CASH REVLING	950.00
IMET - GENERAL	29.18
Total For Fund 01:	<u>4,215,064.15</u>
Fund 02 WATER FUND	
IL FUNDS WATER - 5914	815,285.54
COMMUNITY BANK OF WB WTR - 4163	636,978.42
COMMUNITY BANK OF WB - 0275	0.00
Total For Fund 02:	<u>1,452,263.96</u>
Fund 03 HOTEL/MOTEL TAX FUND	
IL FUNDS HOTEL/MOTEL - 5948	622,858.13
COMMUNITY BANK OF WB - 0275	61,207.84
Total For Fund 03:	<u>684,065.97</u>
Fund 04 MOTOR FUEL TAX FUND	
IL FUNDS MFT - 5443	434,770.21
Total For Fund 04:	<u>434,770.21</u>
Fund 06 SSA ONE BOND & INTEREST FUND	
IL FUNDS SSA BOND - 4621	18,475.53
Total For Fund 06:	<u>18,475.53</u>
Fund 07 POLICE PENSION FUND	
COMMUNITY BANK OF WB PP - 4155	65,031.61
COMMUNITY BANK OF WB - 0275	0.00
SCHWAB - PP MONEY MARKET	153,899.49
US TREASURIES	649,219.14
US AGENCIES	5,854,970.15
MUNICIPAL BONDS	918,880.06
CORPORATE BONDS	1,800,182.95
MUTUAL FUNDS	12,943,376.76
MARKET VALUE CONTRA	845,085.07
Total For Fund 07:	<u>23,230,645.23</u>
Fund 09 WATER CAPITAL IMPROVEMENTS FUND	
IL FUNDS WTR CAP - 1206	644,185.21
Total For Fund 09:	<u>644,185.21</u>
Fund 10 CAPITAL PROJECT FUND	
IL FUNDS CAP PROJECTS - 3133	678.32
Total For Fund 10:	<u>678.32</u>
Fund 11 DEBT SERVICE FUND	
IL FUNDS BOND PROCEEDS DS - 2756	11.25
Total For Fund 11:	<u>11.25</u>
Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &	
IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
IL FUNDS - 5435	18,369.00
Total For Fund 14:	<u>18,369.02</u>
Fund 15 RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX	
IL FUNDS BUSINESS DISTRICT - 5435	1,491,668.38
Total For Fund 15:	<u>1,491,668.38</u>
TOTAL CASH & INVESTMENTS:	<u>32,190,197.23</u>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

Page: 1/2

GL NUMBER	DESCRIPTION	END BALANCE 02/29/2020
Fund 01 - GENERAL FUND		
MONEY MARKET		
01-00-110-322	IL FUNDS - 5435	3,151,030.84
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	305,684.99
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	21,740.27
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	82,937.56
01-00-120-155	IMET - GENERAL	29.18
	Net MONEY MARKET	3,561,422.84
PETTY CASH		
01-00-110-911	PETTY CASH REVLVING	950.00
	Net PETTY CASH	950.00
SAVINGS		
01-00-110-257	COMMUNITY BANK OF WB - 0275	626,094.59
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	12,096.72
01-00-110-335	U.S. BANK RED LIGHT - 4216	14,500.00
	Net SAVINGS	652,691.31
Fund 02 - WATER FUND		
MONEY MARKET		
02-00-110-113	IL FUNDS WATER - 5914	815,285.54
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	636,978.42
	Net MONEY MARKET	1,452,263.96
Fund 03 - HOTEL/MOTEL TAX FUND		
MONEY MARKET		
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	622,858.13
	Net MONEY MARKET	622,858.13
SAVINGS		
03-00-110-257	COMMUNITY BANK OF WB - 0275	61,207.84
	Net SAVINGS	61,207.84
Fund 04 - MOTOR FUEL TAX FUND		
MONEY MARKET		
04-00-110-116	IL FUNDS MFT - 5443	434,770.21
	Net MONEY MARKET	434,770.21
Fund 06 - SSA ONE BOND & INTEREST FUND		
MONEY MARKET		
06-00-110-117	IL FUNDS SSA BOND - 4621	18,475.53
	Net MONEY MARKET	18,475.53
Fund 07 - POLICE PENSION FUND		
MONEY MARKET		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	65,031.61
07-00-110-336	SCHWAB - PP MONEY MARKET	153,899.49
	Net MONEY MARKET	218,931.10
AGENCY CERTIFICATES		
07-00-120-260	US AGENCIES	5,854,970.15
	Net AGENCY CERTIFICATES	5,854,970.15
CORPORATE BONDS		
07-00-120-288	CORPORATE BONDS	1,800,182.95
	Net CORPORATE BONDS	1,800,182.95
MUNICIPAL BONDS		
07-00-120-270	MUNICIPAL BONDS	918,880.06
	Net MUNICIPAL BONDS	918,880.06
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	12,943,376.76
	Net MUTUAL FUNDS	12,943,376.76

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

Page: 2/2

GL NUMBER	DESCRIPTION	END BALANCE 02/29/2020
Fund 07 - POLICE PENSION FUND		
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	845,085.07
	Net MARKET VALUE	845,085.07
TREASURY NOTES		
07-00-120-250	US TREASURIES	649,219.14
	Net TREASURY NOTES	649,219.14
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		
09-00-110-324	IL FUNDS WTR CAP - 1206	644,185.21
	Net MONEY MARKET	644,185.21
Fund 10 - CAPITAL PROJECT FUND		
MONEY MARKET		
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	678.32
	Net MONEY MARKET	678.32
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
	Net MONEY MARKET	11.25
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
14-00-110-322	IL FUNDS - 5435	18,369.00
	Net MONEY MARKET	18,369.02
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRCT TAX		
MONEY MARKET		
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,491,668.38
	Net MONEY MARKET	1,491,668.38

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020
CASH & INVESTMENTS BY INSTITUTION

Page: 1/1

GL NUMBER	DESCRIPTION	END BALANCE 02/29/2020
COMMUNITY BANK OF WB		
01-00-110-257	COMMUNITY BANK OF WB - 0275	626,094.59
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	305,684.99
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	21,740.27
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	12,096.72
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	82,937.56
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	636,978.42
03-00-110-257	COMMUNITY BANK OF WB - 0275	61,207.84
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	65,031.61
	Net COMMUNITY BANK OF WB	1,811,772.00
ILLINOIS FUNDS		
01-00-110-322	IL FUNDS - 5435	3,151,030.84
02-00-110-113	IL FUNDS WATER - 5914	815,285.54
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	622,858.13
04-00-110-116	IL FUNDS MFT - 5443	434,770.21
06-00-110-117	IL FUNDS SSA BOND - 4621	18,475.53
09-00-110-324	IL FUNDS WTR CAP - 1206	644,185.21
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	678.32
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
14-00-110-322	IL FUNDS - 5435	18,369.00
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,491,668.38
	Net ILLINOIS FUNDS	7,197,332.43
IMET		
01-00-120-155	IMET - GENERAL	29.18
	Net IMET	29.18
U.S. BANK		
01-00-110-335	U.S. BANK RED LIGHT - 4216	14,500.00
	Net U.S. BANK	14,500.00
VILLAGE OF WILLOWBROOK		
01-00-110-911	PETTY CASH REVLING	950.00
	Net VILLAGE OF WILLOWBROOK	950.00
CHARLES SCHWAB		
07-00-110-336	SCHWAB - PP MONEY MARKET	153,899.49
07-00-120-250	US TREASURIES	649,219.14
07-00-120-260	US AGENCIES	5,854,970.15
07-00-120-270	MUNICIPAL BONDS	918,880.06
07-00-120-288	CORPORATE BONDS	1,800,182.95
07-00-120-290	MUTUAL FUNDS	12,943,376.76
07-00-120-900	MARKET VALUE CONTRA	845,085.07
	Net CHARLES SCHWAB	23,165,613.62
Total - All Funds:		32,190,197.23

INTERFUND ACTIVITY REPORT FOR WILLOWBROOK
Period Ending 02/29/2020
Due To/From Other Funds

Page:

1/1

GL Number	Description	Balance
Fund 01: GENERAL FUND		
Due From Other Funds		
01-00-140-102	DUE TO/FROM WATER FUND	1,311.95
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	139,607.38
	Total Due From Other Funds	140,919.33
Fund 02: WATER FUND		
Due From Other Funds		
02-00-140-101	DUE TO/FROM GENERAL FUND	(1,311.95)
	Total Due From Other Funds	(1,311.95)
Fund 07: POLICE PENSION FUND		
Due From Other Funds		
07-00-140-101	DUE TO/FROM GENERAL FUND	(139,607.38)
	Total Due From Other Funds	(139,607.38)

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CHARGES & FEES

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/2020	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
01-00-310-700	PLANNING APPLICATION FEES	2,500.00	7,825.00	10,000.00	78.25	2,175.00
01-00-310-701	PUBLIC HEARING FEES	3,000.00	12,050.00	2,550.00	472.55	(9,500.00)
01-00-310-702	PLANNING REVIEW FEES	0.00	0.00	2,500.00	0.00	2,500.00
01-00-310-704	ACCIDENT REPORT COPIES	555.00	2,786.00	2,000.00	139.30	(786.00)
01-00-310-705	VIDEO GAMING TERMINAL INCOME	3,628.14	42,821.30	36,000.00	118.95	(6,821.30)
01-00-310-706	COPIES-ORDINANCES & MAPS	0.00	0.00	50.00	0.00	50.00
01-00-310-723	ELEVATOR INSPECTION FEES	7,125.00	19,775.00	5,000.00	395.50	(14,775.00)
01-00-310-724	BURGLAR ALARM FEES	0.00	0.00	10,000.00	0.00	10,000.00
Net CHARGES & FEES		16,808.14	85,257.30	68,100.00	125.19	(17,157.30)
PARK & RECREATION CHARGES						
01-00-310-813	PARK & REC CONTRIBUTION	3,300.00	5,600.00	2,500.00	224.00	(3,100.00)
01-00-310-814	PARK PERMIT FEES	0.00	412.00	3,000.00	13.73	2,588.00
01-00-310-815	SUMMER RECREATION FEES	0.00	1,985.00	8,750.00	22.69	6,765.00
01-00-310-817	SPECIAL EVENTS	0.00	1,490.00	3,600.00	41.39	2,110.00
01-00-310-818	FALL RECREATION FEES	0.00	0.00	200.00	0.00	200.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL R	0.00	6,072.50	6,500.00	93.42	427.50
01-00-310-820	HOLIDAY CONTRIBUTION	200.00	2,700.00	4,000.00	67.50	1,300.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	200.00	0.00	200.00
Net PARK & RECREATION CHARGES		3,500.00	18,259.50	28,750.00	63.51	10,490.50
OTHER REVENUE						
01-00-310-901	REIMBURSEMENTS - IRMA	5,157.99	13,084.87	0.00	100.00	(13,084.87)
01-00-310-909	SALE - FIXED ASSETS	0.00	8,000.00	7,500.00	106.67	(500.00)
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	0.00	900.00	500.00	180.00	(400.00)
01-00-310-911	REIMBURSEMENTS - RED LIGHT ENERGY	123.85	1,335.93	1,320.00	101.21	(15.93)
01-00-310-912	REIMBURSEMENTS - BRUSH PICK-UP	0.00	8,290.08	11,600.00	71.47	3,309.92
01-00-310-913	OTHER RECEIPTS	(2,035.19)	12,102.35	20,000.00	60.51	7,897.65
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DET	711.00	7,493.00	4,000.00	187.33	(3,493.00)
01-00-310-916	DONATIONS	0.00	1,000.00	0.00	100.00	(1,000.00)
01-00-310-917	REIMBURSEMENTS - PUBLIC WORKS OTHE	0.00	23,600.00	0.00	100.00	(23,600.00)
01-00-310-921	OTHER GRANTS	0.00	4,000.00	0.00	100.00	(4,000.00)
01-00-310-922	FEDERAL/STATE GRANTS	2,033.98	4,946.48	72,788.00	6.80	67,841.52
01-00-310-925	NICOR GAS ANNUAL PAYMENT	0.00	15,301.29	14,000.00	109.29	(1,301.29)
01-00-310-926	CABLE FRANCHISE FEES	37,012.09	187,619.97	216,000.00	86.86	28,380.03
01-00-310-928	DRUG FORFEITURES - STATE	0.00	0.00	5,000.00	0.00	5,000.00
01-00-310-929	DRUG FORFEITURES - FEDERAL	0.00	0.00	6,000.00	0.00	6,000.00
Net OTHER REVENUE		43,003.72	287,673.97	358,708.00	80.20	71,034.03
NON-OPERATING						
01-00-320-108	INTEREST INCOME	8,613.86	79,048.91	24,000.00	329.37	(55,048.91)
Net NON-OPERATING		8,613.86	79,048.91	24,000.00	329.37	(55,048.91)

Fund 01 - GENERAL FUND:

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/2020	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
TOTAL REVENUES		835,558.81	8,425,093.74	8,829,128.00	95.42	404,034.26
Fund 02 - WATER FUND						
CHARGES & FEES						
02-00-310-712	WATER USAGE	247,635.66	2,694,844.64	3,200,000.00	84.21	505,155.36
02-00-310-713	WATER PENALTIES	1,016.17	10,981.75	5,000.00	219.64	(5,981.75)
02-00-310-718	SHUTOFF/NSF FEE	1,240.00	7,760.00	2,500.00	310.40	(5,260.00)
Net CHARGES & FEES		249,891.83	2,713,586.39	3,207,500.00	84.60	493,913.61
OTHER REVENUE						
02-00-310-714	WATER METER SALES	410.43	6,405.28	3,000.00	213.51	(3,405.28)
02-00-310-716	WATER METER READING FEES	0.00	5,397.25	5,000.00	107.95	(397.25)
02-00-310-717	CONSTRUCTION USAGE	200.00	1,435.00	1,000.00	143.50	(435.00)
Net OTHER REVENUE		610.43	13,237.53	9,000.00	147.08	(4,237.53)
NON-OPERATING						
02-00-320-108	INTEREST INCOME	1,176.32	17,905.80	12,000.00	149.22	(5,905.80)
02-00-320-713	WATER CONNECTION FEES	600.00	4,800.00	3,000.00	160.00	(1,800.00)
Net NON-OPERATING		1,776.32	22,705.80	15,000.00	151.37	(7,705.80)
Fund 02 - WATER FUND:						
TOTAL REVENUES		252,278.58	2,749,529.72	3,231,500.00	85.09	481,970.28
Fund 03 - HOTEL/MOTEL TAX FUND						
OTHER TAXES						
03-00-310-205	HOTEL/MOTEL TAX	15,871.03	195,269.41	248,000.00	78.74	52,730.59
Net OTHER TAXES		15,871.03	195,269.41	248,000.00	78.74	52,730.59
NON-OPERATING						
03-00-320-108	INTEREST INCOME	819.42	9,297.65	6,000.00	154.96	(3,297.65)
Net NON-OPERATING		819.42	9,297.65	6,000.00	154.96	(3,297.65)
Fund 03 - HOTEL/MOTEL TAX FUND:						
TOTAL REVENUES		16,690.45	204,567.06	254,000.00	80.54	49,432.94
Fund 04 - MOTOR FUEL TAX FUND						
OTHER TAXES						
04-00-310-216	MFT RECEIPTS	26,564.09	255,231.73	217,343.00	117.43	(37,888.73)

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Fund 07 - POLICE PENSION FUND:

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/2020	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 07 - POLICE PENSION FUND						
TOTAL REVENUES		(877,753.52)	1,764,002.94	1,693,342.00	104.17	(70,660.94)
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
NON-OPERATING						
09-00-320-108	INTEREST INCOME	847.47	8,293.91	6,000.00	138.23	(2,293.91)
Net NON-OPERATING		847.47	8,293.91	6,000.00	138.23	(2,293.91)
TRANSFERS IN						
09-00-330-102	TRANSFER FROM WATER	0.00	200,000.00	400,000.00	50.00	200,000.00
Net TRANSFERS IN		0.00	200,000.00	400,000.00	50.00	200,000.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:						
TOTAL REVENUES		847.47	208,293.91	406,000.00	51.30	197,706.09
Fund 10 - CAPITAL PROJECT FUND						
NON-OPERATING						
10-00-320-108	INTEREST INCOME	0.87	11.17	0.00	100.00	(11.17)
Net NON-OPERATING		0.87	11.17	0.00	100.00	(11.17)
Fund 10 - CAPITAL PROJECT FUND:						
TOTAL REVENUES		0.87	11.17	0.00	100.00	(11.17)
Fund 11 - DEBT SERVICE FUND						
TRANSFERS IN						
11-00-330-101	TRANSFER FROM GENERAL FUND	0.00	278,873.00	278,873.00	100.00	0.00
11-00-330-102	TRANSFER FROM WATER	0.00	47,471.00	47,471.00	100.00	0.00
Net TRANSFERS IN		0.00	326,344.00	326,344.00	100.00	0.00
Fund 11 - DEBT SERVICE FUND:						
TOTAL REVENUES		0.00	326,344.00	326,344.00	100.00	0.00
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &						
TRANSFERS IN						
14-00-330-101	TRANSFER FROM GENERAL FUND	0.00	24,769.25	120,000.00	20.64	95,230.75
Net TRANSFERS IN		0.00	24,769.25	120,000.00	20.64	95,230.75

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/2020	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &						
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & :						
TOTAL REVENUES		0.00	24,769.25	120,000.00	20.64	95,230.75
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX						
OTHER TAXES						
15-00-310-201	BUSINESS DISTRICT SALES TAX TOWN CE	56,670.71	553,165.84	485,000.00	114.05	(68,165.84)
Net OTHER TAXES		56,670.71	553,165.84	485,000.00	114.05	(68,165.84)
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX:						
TOTAL REVENUES		56,670.71	553,165.84	485,000.00	114.05	(68,165.84)
TOTAL REVENUES - ALL FUNDS		311,447.58	14,845,224.70	15,890,122.00	93.42	1,044,897.30

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GL NUMBER		DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND									
Dept 05 - VILLAGE BOARD & CLERK									
GENERAL MANAGEMENT									
01-05-400-147		MEDICARE	90.47	756.75	922.00	82.08	165.25	1,844.00	1,087.25
01-05-400-161		SOCIAL SECURITY	386.79	3,235.73	3,943.00	82.06	707.27	7,886.00	4,650.27
01-05-410-101		SALARY - MAYOR & VILLAGE BO	5,400.00	43,500.00	56,400.00	77.13	12,900.00	112,800.00	69,300.00
01-05-410-125		SALARY - VILLAGE CLERK	600.00	6,000.00	7,200.00	83.33	1,200.00	14,400.00	8,400.00
01-05-410-141		LIFE INSURANCE - ELECTED OF	63.84	650.16	816.00	79.68	165.84	1,632.00	981.84
01-05-410-201		PHONE - TELEPHONES	0.00	508.67	696.00	73.08	187.33	1,392.00	883.33
01-05-410-301		OFFICE SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-05-410-302		PRINTING & PUBLISHING	0.00	40.00	0.00	100.00	(40.00)	0.00	(40.00)
01-05-410-303		FUEL/MILEAGE/WASH	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-05-410-304		SCHOOLS/CONFERENCES/TRA	0.00	1,097.46	5,770.00	19.02	4,672.54	11,540.00	10,442.54
01-05-410-305		STRATEGIC PLANNING	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-05-410-307		FEES/DUES/SUBSCRIPTIONS	0.00	1,349.30	2,341.00	57.64	991.70	4,682.00	3,332.70
GENERAL MANAGEMENT			6,541.10	57,138.07	83,688.00	68.28	26,549.93	167,376.00	110,237.93
COMMUNITY RELATIONS									
01-05-420-365		PUBLIC RELATIONS	0.00	47.95	500.00	9.59	452.05	1,000.00	952.05
COMMUNITY RELATIONS			0.00	47.95	500.00	9.59	452.05	1,000.00	952.05
DATA PROCESSING									
01-05-417-212		EDP EQUIPMENT/SOFTWARE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
DATA PROCESSING			0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
Total Dept 05 - VILLAGE BOARD & CLERK			6,541.10	57,186.02	90,188.00	63.41	33,001.98	180,376.00	123,189.98
Dept 07 - BOARD OF POLICE COMMISSIONERS									
ADMINISTRATION									
01-07-400-147		MEDICARE	0.00	7.23	9.00	80.33	1.77	18.00	10.77
01-07-400-161		SOCIAL SECURITY	0.00	30.93	37.00	83.59	6.07	74.00	43.07
01-07-435-148		LIFE INSURANCE - COMMISSIO	18.48	222.98	274.00	81.38	51.02	548.00	325.02
01-07-435-239		FEES - BOPC ATTORNEY	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-07-435-301		OFFICE SUPPLIES	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-07-435-302		PRINTING & PUBLISHING	546.00	546.00	4,000.00	13.65	3,454.00	8,000.00	7,454.00
01-07-435-304		SCHOOLS/CONFERENCES/TRA	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-07-435-307		FEES/DUES/SUBSCRIPTIONS	0.00	375.00	500.00	75.00	125.00	1,000.00	625.00
01-07-435-311		POSTAGE & METER RENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION			564.48	1,182.14	12,420.00	9.52	11,237.86	24,840.00	23,657.86
OTHER									
01-07-440-542		EXAMS - WRITTEN	0.00	3,500.00	20,000.00	17.50	16,500.00	40,000.00	36,500.00
01-07-440-543		EXAMS - PHYSICAL	0.00	307.00	2,000.00	15.35	1,693.00	4,000.00	3,693.00
01-07-440-544		EXAMS - PSYCHOLOGICAL	550.00	1,050.00	2,500.00	42.00	1,450.00	5,000.00	3,950.00
01-07-440-545		EXAMS - POLYGRAPH	0.00	160.00	1,000.00	16.00	840.00	2,000.00	1,840.00
OTHER			550.00	5,017.00	25,500.00	19.67	20,483.00	51,000.00	45,983.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
Total Dept 07 - BOARD OF POLICE COMMISSIONERS								
		1,114.48	6,199.14	37,920.00	16.35	31,720.86	75,840.00	69,640.86
Dept 10 - ADMINISTRATION								
GENERAL MANAGEMENT								
01-10-400-147	MEDICARE	391.91	5,064.41	4,299.00	117.80	(765.41)	8,598.00	3,533.59
01-10-400-151	IMRF	3,693.00	44,085.56	35,038.00	125.82	(9,047.56)	70,076.00	25,990.44
01-10-400-161	SOCIAL SECURITY	1,675.78	19,127.19	15,738.00	121.54	(3,389.19)	31,476.00	12,348.81
01-10-400-171	SUI - UNEMPLOYMENT	86.41	851.76	233.00	365.56	(618.76)	466.00	(385.76)
01-10-455-101	SALARIES - MANAGEMENT STA	13,192.32	170,800.51	134,137.00	127.33	(36,663.51)	268,274.00	97,473.49
01-10-455-102	OVERTIME	319.29	2,212.48	5,000.00	44.25	2,787.52	10,000.00	7,787.52
01-10-455-105	ASSISTANT VILLAGE ADMINIST	9,769.28	87,923.52	91,750.00	95.83	3,826.48	183,500.00	95,576.48
01-10-455-107	ADMINISTRATIVE INTERN	0.00	0.00	9,984.00	0.00	9,984.00	19,968.00	19,968.00
01-10-455-126	SALARIES - CLERICAL	4,257.13	46,789.81	55,342.00	84.55	8,552.19	110,684.00	63,894.19
01-10-455-131	PERSONNEL RECRUITMENT	0.00	6,544.80	700.00	934.97	(5,844.80)	1,400.00	(5,144.80)
01-10-455-141	HEALTH/DENTAL/LIFE INSURAN	3,807.47	38,055.24	70,135.00	54.26	32,079.76	140,270.00	102,214.76
01-10-455-201	PHONE - TELEPHONES	721.28	11,705.85	25,051.00	46.73	13,345.15	50,102.00	38,396.15
01-10-455-266	CODIFY ORDINANCES	0.00	7,049.00	2,500.00	281.96	(4,549.00)	5,000.00	(2,049.00)
01-10-455-301	OFFICE SUPPLIES	512.13	5,072.55	10,000.00	50.73	4,927.45	20,000.00	14,927.45
01-10-455-302	PRINTING, PUBLISHING & TRAN	94.32	2,064.96	2,500.00	82.60	435.04	5,000.00	2,935.04
01-10-455-303	FUEL/MILEAGE/WASH	54.79	461.98	1,500.00	30.80	1,038.02	3,000.00	2,538.02
01-10-455-304	SCHOOLS/CONFERENCES/TRA	0.00	70.00	2,000.00	3.50	1,930.00	4,000.00	3,930.00
01-10-455-305	STRATEGIC PLANNING	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-306	CONSULTING	1,650.00	34,134.36	0.00	100.00	(34,134.36)	0.00	(34,134.36)
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	2.00	11,343.44	13,000.00	87.26	1,656.56	26,000.00	14,656.56
01-10-455-311	POSTAGE & METER RENT	702.35	3,470.24	5,000.00	69.40	1,529.76	10,000.00	6,529.76
01-10-455-315	COPY SERVICE	429.61	4,928.89	4,800.00	102.69	(128.89)	9,600.00	4,671.11
01-10-455-355	COMMISSARY PROVISION	215.49	2,221.99	1,500.00	148.13	(721.99)	3,000.00	778.01
01-10-455-409	MAINTENANCE - VEHICLES	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-411	MAINTENANCE - EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		41,574.56	503,978.54	494,707.00	101.87	(9,271.54)	989,414.00	485,435.46
COMMUNITY RELATIONS								
01-10-475-365	PUBLIC RELATIONS	100.00	2,602.40	5,000.00	52.05	2,397.60	10,000.00	7,397.60
01-10-475-366	NEWSLETTER	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-10-475-367	CRISIS MANAGEMENT	399.00	185,589.05	300,000.00	61.86	114,410.95	600,000.00	414,410.95
01-10-475-370	MEALS-ON-WHEELS	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-475-372	SENIOR CITIZEN TAXI PROGRA	0.00	10.00	0.00	100.00	(10.00)	0.00	(10.00)
COMMUNITY RELATIONS		499.00	188,201.45	307,500.00	61.20	119,298.55	615,000.00	426,798.55
CAPITAL IMPROVEMENTS								
01-10-485-602	BUILDING IMPROVEMENTS	0.00	24,500.00	460,507.00	5.32	436,007.00	921,014.00	896,514.00
01-10-485-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
CAPITAL IMPROVEMENTS		0.00	24,500.00	463,007.00	5.29	438,507.00	926,014.00	901,514.00
DATA PROCESSING								
01-10-460-212	EDP EQUIPMENT/SOFTWARE	0.00	26,871.41	27,863.00	96.44	991.59	55,726.00	28,854.59
01-10-460-225	INTERNET/WEBSITE HOSTING	627.41	9,368.47	8,343.00	112.29	(1,025.47)	16,686.00	7,317.53

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROV.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
01-10-460-263	EDP LICENSES	0.00	10,013.87	2,325.00	430.70	(7,688.87)	4,650.00	(5,363.87)
01-10-460-267	DOCUMENT STORAGE/SCANNI	0.00	2,945.00	2,740.00	107.48	(205.00)	5,480.00	2,535.00
01-10-460-305	EDP PERSONNEL TRAINING	0.00	200.00	500.00	40.00	300.00	1,000.00	800.00
01-10-460-331	OPERATING SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
DATA PROCESSING		627.41	49,398.75	42,271.00	116.86	(7,127.75)	84,542.00	35,143.25
BUILDINGS								
01-10-466-228	MAINTENANCE - BUILDING	5,557.99	54,385.92	50,000.00	108.77	(4,385.92)	100,000.00	45,614.08
01-10-466-236	NICOR GAS (835 MIDWAY)	303.68	1,106.99	2,000.00	55.35	893.01	4,000.00	2,893.01
01-10-466-240	ENERGY/COMED (835 MIDWAY)	1,107.43	2,493.65	2,500.00	99.75	6.35	5,000.00	2,506.35
01-10-466-251	SANITARY (835 MIDWAY)	25.36	92.44	800.00	11.56	707.56	1,600.00	1,507.56
01-10-466-293	LANDSCAPE - VILLAGE HALL	0.00	150.00	1,500.00	10.00	1,350.00	3,000.00	2,850.00
01-10-466-351	BUILDING MAINTENANCE SUPP	401.72	886.36	5,000.00	17.73	4,113.64	10,000.00	9,113.64
BUILDINGS		7,396.18	59,115.36	61,800.00	95.66	2,684.64	123,600.00	64,484.64
LEGAL								
01-10-470-239	FEES - VILLAGE ATTORNEY	8,698.10	112,161.68	70,000.00	160.23	(42,161.68)	140,000.00	27,838.32
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	475.00	7,500.00	6.33	7,025.00	15,000.00	14,525.00
01-10-470-242	FEES - LABOR COUNSEL	2,279.90	8,626.50	0.00	100.00	(8,626.50)	0.00	(8,626.50)
LEGAL		10,978.00	121,263.18	77,500.00	156.47	(43,763.18)	155,000.00	33,736.82
RISK MANAGEMENT								
01-10-480-272	INSURANCE - IRMA	850.00	234,001.00	230,960.00	101.32	(3,041.00)	461,920.00	227,919.00
01-10-480-273	SELF INSURANCE - DEDUCTIBL	0.00	11,111.50	10,000.00	111.12	(1,111.50)	20,000.00	8,888.50
01-10-480-276	WELLNESS	0.00	0.00	4,870.00	0.00	4,870.00	9,740.00	9,740.00
RISK MANAGEMENT		850.00	245,112.50	245,830.00	99.71	717.50	491,660.00	246,547.50
TRANSFERS TO OTHER FUNDS								
01-10-900-112	TRANSFER TO DEBT SERVICE -	0.00	278,873.00	278,873.00	100.00	0.00	557,746.00	278,873.00
01-10-900-114	TRANSFER TO LAFER	0.00	24,769.25	120,000.00	20.64	95,230.75	240,000.00	215,230.75
TRANSFERS TO OTHER FUNDS		0.00	303,642.25	398,873.00	76.13	95,230.75	797,746.00	494,103.75
Total Dept 10 - ADMINISTRATION			1,495,212.03	2,091,488.00	71.49	596,275.97	4,182,976.00	2,687,763.97
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT								
GENERAL MANAGEMENT								
01-15-400-147	MEDICARE	22.22	298.55	338.00	88.33	39.45	676.00	377.45
01-15-400-151	IMRF	215.85	2,367.64	2,852.00	83.02	484.36	5,704.00	3,336.36
01-15-400-161	SOCIAL SECURITY	94.99	1,276.96	1,446.00	88.31	169.04	2,892.00	1,615.04
01-15-400-171	SUI - UNEMPLOYMENT	31.01	82.74	31.00	266.90	(51.74)	62.00	(20.74)
01-15-510-102	OVERTIME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-15-510-126	SALARIES - CLERICAL	1,609.62	18,950.19	22,816.00	83.06	3,865.81	45,632.00	26,681.81
01-15-510-141	HEALTH/DENTAL/LIFE INSURAN	588.89	6,073.32	7,804.00	77.82	1,730.68	15,608.00	9,534.68
01-15-510-232	CONSULTANTS - DESIGN & OTH	0.00	0.00	45,000.00	0.00	45,000.00	90,000.00	90,000.00
01-15-510-301	OFFICE SUPPLIES	0.00	10.61	250.00	4.24	239.39	500.00	489.39
01-15-510-302	PRINTING & PUBLISHING	0.00	1,674.92	2,000.00	83.75	325.08	4,000.00	2,325.08

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Fund 01 - GENERAL FUND								
01-15-510-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	0.00	323.15	500.00	64.63	176.85	1,000.00	676.85
01-15-510-311	POSTAGE & METER RENT	14.50	71.82	500.00	14.36	428.18	1,000.00	928.18
01-15-510-340	LIFE INSURANCE - PLAN COMMI	70.56	890.47	1,002.00	88.87	111.53	2,004.00	1,113.53
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		2,647.64	32,020.37	86,039.00	37.22	54,018.63	172,078.00	140,057.63
DATA PROCESSING								
01-15-515-305	EDP PERSONNEL TRAINING	0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
DATA PROCESSING		0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
ENGINEERING								
01-15-520-229	RENT - MEETING ROOM	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-15-520-245	FEES - ENGINEERING	1,203.20	1,203.20	2,500.00	48.13	1,296.80	5,000.00	3,796.80
01-15-520-246	FEES - COURT REPORTER	0.00	1,758.50	1,500.00	117.23	(258.50)	3,000.00	1,241.50
01-15-520-254	PLAN REVIEW - ENGINEER	0.00	2,725.32	5,000.00	54.51	2,274.68	10,000.00	7,274.68
01-15-520-257	PLAN REVIEW - PLANNER	12,603.79	114,437.72	80,000.00	143.05	(34,437.72)	160,000.00	45,562.28
01-15-520-258	PLAN REVIEW - TRAFFIC CONS	0.00	939.60	3,000.00	31.32	2,060.40	6,000.00	5,060.40
ENGINEERING		13,806.99	121,064.34	92,250.00	131.24	(28,814.34)	184,500.00	63,435.66
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMEN		16,454.63	153,084.71	180,089.00	85.01	27,004.29	360,178.00	207,093.29
Dept 20 - PARKS & RECREATION								
CAPITAL IMPROVEMENTS								
01-20-595-692	LANDSCAPING	0.00	4,630.00	1,000.00	463.00	(3,630.00)	2,000.00	(2,630.00)
01-20-595-693	COURT IMPROVEMENTS	0.00	679.15	1,500.00	45.28	820.85	3,000.00	2,320.85
01-20-595-695	PARK IMPROVEMENTS - NEIGH	0.00	17,099.40	2,000.00	854.97	(15,099.40)	4,000.00	(13,099.40)
CAPITAL IMPROVEMENTS		0.00	22,408.55	4,500.00	497.97	(17,908.55)	9,000.00	(13,408.55)
ADMINISTRATION								
01-20-400-147	MEDICARE	31.60	566.70	762.00	74.37	195.30	1,524.00	957.30
01-20-400-151	IMRF	292.20	4,144.31	4,649.00	89.14	504.69	9,298.00	5,153.69
01-20-400-161	SOCIAL SECURITY	135.10	2,423.15	3,259.00	74.35	835.85	6,518.00	4,094.85
01-20-400-171	SUI - UNEMPLOYMENT	44.12	134.57	131.00	102.73	(3.57)	262.00	127.43
01-20-550-101	SALARIES - PERMANENT EMPL	2,178.97	27,175.91	34,596.00	78.55	7,420.09	69,192.00	42,016.09
01-20-550-104	PART TIME - CLERICAL	0.00	0.00	10,973.00	0.00	10,973.00	21,946.00	21,946.00
01-20-550-148	LIFE INSURANCE - COMMISSIO	72.24	923.20	1,113.00	82.95	189.80	2,226.00	1,302.80
01-20-550-201	EMERGENCY TELEPHONE LINE	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-20-550-301	OFFICE/GENERAL PROGRAM S	0.00	278.81	0.00	100.00	(278.81)	0.00	(278.81)
01-20-550-302	PRINTING & PUBLISHING	0.00	6,354.40	16,500.00	38.51	10,145.60	33,000.00	26,845.60
01-20-550-303	FUEL/MILEAGE/WASH	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-20-550-311	POSTAGE & METER RENT	63.00	351.60	2,500.00	14.06	2,148.40	5,000.00	4,648.40
ADMINISTRATION		2,817.23	42,352.65	74,833.00	56.60	32,480.35	149,666.00	107,313.35
DATA PROCESSING								
01-20-555-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00

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Fund 01 - GENERAL FUND								
01-20-555-306	CONSULTING SERVICES	15,000.00	15,000.00	7,500.00	200.00	(7,500.00)	15,000.00	0.00
DATA PROCESSING		15,000.00	15,000.00	13,500.00	111.11	(1,500.00)	27,000.00	12,000.00
LANDSCAPING								
01-20-565-341	PARK LANDSCAPE SUPPLIES	0.00	3,202.07	7,400.00	43.27	4,197.93	14,800.00	11,597.93
01-20-565-342	LANDSCAPE MAINTENANCE SE	0.00	73,738.29	54,900.00	134.31	(18,838.29)	109,800.00	36,061.71
LANDSCAPING		0.00	76,940.36	62,300.00	123.50	(14,640.36)	124,600.00	47,659.64
MAINTENANCE								
01-20-570-102	OVERTIME	0.00	6,592.34	7,000.00	94.18	407.66	14,000.00	7,407.66
01-20-570-103	PART TIME - LABOR	0.00	2,915.42	1,500.00	194.36	(1,415.42)	3,000.00	84.58
01-20-570-228	MAINTENANCE - PARK BUILDIN	471.88	10,583.02	2,386.00	443.55	(8,197.02)	4,772.00	(5,811.02)
01-20-570-234	RENT - EQUIPMENT	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-20-570-235	NICOR GAS (825 MIDWAY)	244.57	896.75	1,200.00	74.73	303.25	2,400.00	1,503.25
01-20-570-240	ENERGY/COMED (825 MIDWAY)	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-20-570-250	SANITARY (825 MIDWAY)	4.16	16.64	50.00	33.28	33.36	100.00	83.36
01-20-570-278	SANITARY USER CHARGE - PAR	4.16	77.00	3,000.00	2.57	2,923.00	6,000.00	5,923.00
01-20-570-280	BALLFIELD MAINTENANCE/SUP	0.00	7,634.97	6,500.00	117.46	(1,134.97)	13,000.00	5,365.03
01-20-570-281	CONTRACTED MAINTENANCE	265.00	43,459.37	46,000.00	94.48	2,540.63	92,000.00	48,540.63
01-20-570-331	MAINTENANCE SUPPLIES	0.00	4,882.07	9,500.00	51.39	4,617.93	19,000.00	14,117.93
01-20-570-411	MAINTENANCE - EQUIPMENT	0.00	2,042.40	5,000.00	40.85	2,957.60	10,000.00	7,957.60
MAINTENANCE		989.77	79,099.98	83,436.00	94.80	4,336.02	166,872.00	87,772.02
SUMMER PROGRAM								
01-20-575-119	SUMMER PROGRAM MATERIAL	0.00	5,028.95	8,000.00	62.86	2,971.05	16,000.00	10,971.05
01-20-575-517	SENIORS PROGRAM	5,333.33	5,333.33	5,333.00	100.01	(0.33)	10,666.00	5,332.67
SUMMER PROGRAM		5,333.33	10,362.28	13,333.00	77.72	2,970.72	26,666.00	16,303.72
FALL PROGRAM								
01-20-580-118	FALL PROGRAM MATERIALS & S	0.00	0.00	550.00	0.00	550.00	1,100.00	1,100.00
01-20-580-517	SENIORS PROGRAM	5,333.33	5,333.33	5,333.00	100.01	(0.33)	10,666.00	5,332.67
FALL PROGRAM		5,333.33	5,333.33	5,883.00	90.66	549.67	11,766.00	6,432.67
WINTER/SPECIAL PROGRAMS								
01-20-585-112	RECREATION INSTRUCTORS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-585-121	WINTER PROGRAM MATERIALS	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-20-585-150	CHILDRENS SPECIAL EVENTS -	0.00	578.89	2,800.00	20.67	2,221.11	5,600.00	5,021.11
01-20-585-151	FAMILY SPECIAL EVENT - MOVI	0.00	923.00	1,800.00	51.28	877.00	3,600.00	2,677.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE	0.00	4,173.65	4,000.00	104.34	(173.65)	8,000.00	3,826.35
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	0.00	8,467.99	10,425.00	81.23	1,957.01	20,850.00	12,382.01
01-20-585-155	CHILDREN'S HOLIDAY PARTY	0.00	4,326.03	4,700.00	92.04	373.97	9,400.00	5,073.97
01-20-585-157	COMMUNITY PICNIC	0.00	2,655.50	3,000.00	88.52	344.50	6,000.00	3,344.50
01-20-585-517	SENIORS PROGRAM	5,333.34	5,333.34	5,333.00	100.01	(0.34)	10,666.00	5,332.66
WINTER/SPECIAL PROGRAMS		5,333.34	26,458.40	36,058.00	73.38	9,599.60	72,116.00	45,657.60
SPRING PROGRAM								

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Fund 01 - GENERAL FUND								
01-20-586-112	RECREATION INSTRUCTORS - S	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-20-586-121	SPRING PROGRAM MATERIALS	0.00	0.00	400.00	0.00	400.00	800.00	800.00
SPRING PROGRAM		0.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00
SPECIAL RECREATION								
01-20-590-518	SPECIAL RECREATION ASSOC	0.00	39,310.86	38,540.00	102.00	(770.86)	77,080.00	37,769.14
01-20-590-519	ADA PARK MAINTENANCE	0.00	7,234.40	4,750.00	152.30	(2,484.40)	9,500.00	2,265.60
01-20-590-520	ADA RECREATION ACCOMMOD	0.00	0.00	7,700.00	0.00	7,700.00	15,400.00	15,400.00
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	0.00	95,000.00	0.00	95,000.00	190,000.00	190,000.00
SPECIAL RECREATION		0.00	46,545.26	145,990.00	31.88	99,444.74	291,980.00	245,434.74
Total Dept 20 - PARKS & RECREATION								
		34,807.00	324,500.81	440,433.00	73.68	115,932.19	880,866.00	556,365.19
Dept 25 - FINANCE DEPARTMENT								
GENERAL MANAGEMENT								
01-25-400-147	MEDICARE	252.61	3,385.34	3,531.00	95.87	145.66	7,062.00	3,676.66
01-25-400-151	IMRF	2,050.08	24,028.26	23,675.00	101.49	(353.26)	47,350.00	23,321.74
01-25-400-161	SOCIAL SECURITY	1,080.16	14,475.21	14,987.00	96.59	511.79	29,974.00	15,498.79
01-25-400-171	SUI - UNEMPLOYMENT	145.21	752.52	248.00	303.44	(504.52)	496.00	(256.52)
01-25-610-101	SALARIES - MANAGEMENT STA	10,359.04	113,861.36	134,666.00	84.55	20,804.64	269,332.00	155,470.64
01-25-610-102	OVERTIME	0.00	344.34	1,500.00	22.96	1,155.66	3,000.00	2,655.66
01-25-610-104	PART TIME - CLERICAL	2,241.96	24,462.58	30,202.00	81.00	5,739.42	60,404.00	35,941.42
01-25-610-126	SALARIES - CLERICAL	4,615.52	94,122.20	77,127.00	122.04	(16,995.20)	154,254.00	60,131.80
01-25-610-141	HEALTH/DENTAL/LIFE INSURAN	1,419.33	18,587.24	37,453.00	49.63	18,865.76	74,906.00	56,318.76
01-25-610-301	OFFICE SUPPLIES	25.29	784.87	3,300.00	23.78	2,515.13	6,600.00	5,815.13
01-25-610-302	PRINTING & PUBLISHING	0.00	883.00	1,000.00	88.30	117.00	2,000.00	1,117.00
01-25-610-303	FUEL/MILEAGE/WASH	0.00	184.88	250.00	73.95	65.12	500.00	315.12
01-25-610-304	SCHOOLS/CONFERENCES/TRA	0.00	283.40	2,000.00	14.17	1,716.60	4,000.00	3,716.60
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	0.00	1,179.90	1,415.00	83.39	235.10	2,830.00	1,650.10
01-25-610-311	POSTAGE & METER RENT	14.45	97.26	500.00	19.45	402.74	1,000.00	902.74
GENERAL MANAGEMENT		22,203.65	297,432.36	331,854.00	89.63	34,421.64	663,708.00	366,275.64
CAPITAL IMPROVEMENTS								
01-25-625-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
CAPITAL IMPROVEMENTS		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
DATA PROCESSING								
01-25-615-212	EDP EQUIPMENT/SOFTWARE	0.00	94.25	2,400.00	3.93	2,305.75	4,800.00	4,705.75
01-25-615-263	EDP LICENSES	0.00	24,710.12	36,738.00	67.26	12,027.88	73,476.00	48,765.88
01-25-615-267	DOCUMENT STORAGE/SCANNI	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-25-615-305	EDP PERSONNEL TRAINING	0.00	0.00	2,600.00	0.00	2,600.00	5,200.00	5,200.00
01-25-615-306	IT - CONSULTING SERVICES	0.00	37,500.00	25,000.00	150.00	(12,500.00)	50,000.00	12,500.00
DATA PROCESSING		0.00	62,304.37	68,738.00	90.64	6,433.63	137,476.00	75,171.63
FINANCIAL AUDIT								
01-25-620-251	AUDIT SERVICES	0.00	33,017.00	28,488.00	115.90	(4,529.00)	56,976.00	23,959.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROV. AVAIL.
Fund 01 - GENERAL FUND							
01-25-620-252 FINANCIAL SERVICES							
01-25-620-252	FINANCIAL SERVICES	0.00	7,562.50	7,225.00	104.67	(337.50)	6,887.50
01-25-620-252	FINANCIAL AUDIT	0.00	40,579.50	35,713.00	113.63	(4,866.50)	30,846.50
Total Dept 25 - FINANCE DEPARTMENT							
		22,203.65	400,316.23	436,805.00	91.65	36,488.77	473,293.77
Dept 30 - POLICE DEPARTMENT							
CAPITAL IMPROVEMENTS							
01-30-680-622	RADIO EQUIPMENT	0.00	0.00	5,200.00	0.00	5,200.00	10,400.00
01-30-680-625	NEW VEHICLES	0.00	158,475.50	167,773.00	94.46	9,297.50	177,070.50
CAPITAL IMPROVEMENTS							
		0.00	158,475.50	172,973.00	91.62	14,497.50	187,470.50
ADMINISTRATION							
01-30-400-147	MEDICARE	2,583.31	31,460.66	39,257.00	80.14	7,796.34	47,053.34
01-30-400-151	IMRF	1,876.35	19,651.75	21,075.00	93.25	1,423.25	22,498.25
01-30-400-161	SOCIAL SECURITY	880.85	9,904.03	10,684.00	92.70	779.97	11,463.97
01-30-400-171	SUI - UNEMPLOYMENT	609.06	6,518.35	1,612.00	404.36	(4,906.35)	(3,294.35)
01-30-630-101	SALARIES - PERMANENT EMPL	149,934.99	1,771,014.32	2,150,593.00	82.35	379,578.68	2,530,171.68
01-30-630-102	OVERTIME	17,327.74	269,411.69	285,000.00	94.53	15,588.31	300,588.31
01-30-630-103	OVERTIME - SPECIAL DETAIL &	228.51	7,546.60	8,000.00	94.33	453.40	8,453.40
01-30-630-126	SALARIES - CLERICAL	13,391.68	146,842.37	163,325.00	89.91	16,482.63	179,807.63
01-30-630-127	OVERTIME - CLERICAL	287.31	7,257.48	9,000.00	80.64	1,742.52	10,742.52
01-30-630-131	PERSONNEL RECRUITMENT	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00
01-30-630-141	HEALTH/DENTAL/LIFE INSURAN	26,228.78	287,620.89	374,763.00	76.75	87,142.11	749,526.00
01-30-630-155	POLICE PENSION	75,912.16	835,033.76	986,858.00	84.62	151,824.24	1,138,682.24
01-30-630-201	PHONE - TELEPHONES	898.03	15,827.80	27,000.00	58.62	11,172.20	38,172.20
01-30-630-202	ACCREDITATION	0.00	5,320.00	8,000.00	66.50	2,680.00	10,680.00
01-30-630-238	FIAT (INACTIVE AFTER 19/20)	0.00	4,000.00	3,500.00	114.29	(500.00)	3,000.00
01-30-630-241	FEES - FIELD COURT ATTORNE	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00
01-30-630-242	DUPAGE CHILDREN'S CENTER (0.00	3,000.00	3,000.00	100.00	0.00	6,000.00
01-30-630-245	FIRING RANGE	0.00	331.58	2,500.00	13.26	2,168.42	5,000.00
01-30-630-301	OFFICE SUPPLIES	1,185.77	2,430.20	7,000.00	34.72	4,569.80	11,569.80
01-30-630-302	PRINTING & PUBLISHING	0.00	3,003.91	5,450.00	55.12	2,446.09	10,900.00
01-30-630-303	FUEL/MILEAGE/WASH	4,490.36	40,024.54	65,000.00	61.58	24,975.46	89,975.46
01-30-630-304	SCHOOLS/CONFERENCES/TRA	1,071.81	13,247.79	30,207.00	43.86	16,959.21	47,166.21
01-30-630-305	TUITION REIMBURSEMENT	0.00	2,439.00	6,000.00	40.65	3,561.00	9,561.00
01-30-630-306	REIMB PERSONNEL EXPENSES	0.00	63.63	0.00	100.00	(63.63)	(63.63)
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	946.43	9,802.59	17,485.00	56.06	7,682.41	25,167.41
01-30-630-308	CADET PROGRAM	0.00	472.00	4,000.00	11.80	3,528.00	7,528.00
01-30-630-311	POSTAGE & METER RENT	215.10	2,931.84	4,000.00	73.30	1,068.16	5,068.16
01-30-630-315	COPY SERVICE	425.38	3,722.73	4,000.00	93.07	277.27	4,277.27
01-30-630-331	OPERATING SUPPLIES (INACTIV	20.00	3,784.56	3,500.00	108.13	(284.56)	3,215.44
01-30-630-345	UNIFORMS	326.60	16,141.46	33,000.00	48.91	16,858.54	49,858.54
01-30-630-346	AMMUNITION	0.00	4,266.70	13,000.00	32.82	8,733.30	21,733.30
01-30-630-401	OPERATING EQUIPMENT	1,991.33	19,233.01	26,900.00	71.50	7,666.99	34,566.99
01-30-630-402	BODY CAMERAS	0.00	0.00	33,846.00	0.00	33,846.00	67,692.00
01-30-630-405	FURNITURE & OFFICE EQUIPME	0.00	802.91	7,500.00	10.71	6,697.09	14,197.09
01-30-630-409	MAINTENANCE - VEHICLES	3,953.36	31,665.95	70,000.00	45.24	38,334.05	108,334.05

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Fund 01 - GENERAL FUND								
01-30-630-421	MAINTENANCE - RADIO EQUIPM	0.00	8,391.86	12,250.00	68.50	3,858.14	24,500.00	16,108.14
ADMINISTRATION		304,784.91	3,583,165.96	4,451,805.00	80.49	868,639.04	8,903,610.00	5,320,444.04
DATA PROCESSING								
01-30-640-212	EDP EQUIPMENT/SOFTWARE	472.50	20,226.68	22,000.00	91.94	1,773.32	44,000.00	23,773.32
01-30-640-225	INTERNET/WEBSITE HOSTING	400.00	1,743.85	1,968.00	88.61	224.15	3,936.00	2,192.15
01-30-640-263	EDP LICENSES	5,000.00	23,685.85	28,315.00	83.65	4,629.15	56,630.00	32,944.15
01-30-640-267	DOCUMENT STORAGE/SCANNI	0.00	10,702.00	18,000.00	59.46	7,298.00	36,000.00	25,298.00
DATA PROCESSING		5,872.50	56,358.38	70,283.00	80.19	13,924.62	140,566.00	84,207.62
BUILDINGS								
01-30-630-228	MAINTENANCE - BUILDING	19,798.45	24,411.00	7,180.00	339.99	(17,231.00)	14,360.00	(10,051.00)
01-30-630-235	NICOR GAS (7760 QUINCY)	494.66	2,320.35	3,000.00	77.35	679.65	6,000.00	3,679.65
01-30-630-250	SANITARY (7760 QUINCY)	29.60	572.08	400.00	143.02	(172.08)	800.00	227.92
BUILDINGS		20,322.71	27,303.43	10,580.00	258.07	(16,723.43)	21,160.00	(6,143.43)
RISK MANAGEMENT								
01-30-645-273	SELF INSURANCE - DEDUCTIBL	0.00	15,007.06	20,000.00	75.04	4,992.94	40,000.00	24,992.94
RISK MANAGEMENT		0.00	15,007.06	20,000.00	75.04	4,992.94	40,000.00	24,992.94
CONSTRUCTION								
01-30-635-288	BUILDING CONSTR & REMODEL	0.00	996.20	112,900.00	0.88	111,903.80	225,800.00	224,803.80
CONSTRUCTION		0.00	996.20	112,900.00	0.88	111,903.80	225,800.00	224,803.80
PATROL								
01-30-650-268	ANIMAL CONTROL	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
01-30-650-340	K-9 PROGRAM (INACTIVE AFTE	0.00	160.00	1,000.00	16.00	840.00	2,000.00	1,840.00
01-30-650-343	JAIL SUPPLIES	58.62	628.52	1,500.00	41.90	871.48	3,000.00	2,371.48
01-30-650-348	DRUG FORFEITURE EXP - STAT	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-30-650-349	DRUG FORFEITURE EXP - FEDE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
PATROL		58.62	788.52	14,300.00	5.51	13,511.48	28,600.00	27,811.48
INVESTIGATIVE								
01-30-655-339	CONFIDENTIAL FUNDS	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
INVESTIGATIVE		0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
TRAFFIC SAFETY								
01-30-660-105	PART TIME - CROSSING GUARD	577.90	4,147.31	5,300.00	78.25	1,152.69	10,600.00	6,452.69
TRAFFIC SAFETY		577.90	4,147.31	5,300.00	78.25	1,152.69	10,600.00	6,452.69
ESDA COORDINATOR								
01-30-665-263	SIREN MAINTENANCE	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ESDA COORDINATOR		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
CRIME PREVENTION								

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Fund 01 - GENERAL FUND								
01-30-670-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-670-331	COMMODITIES	0.00	2,678.86	5,000.00	53.58	2,321.14	10,000.00	7,321.14
	CRIME PREVENTION	0.00	2,678.86	6,000.00	44.65	3,321.14	12,000.00	9,321.14
TELECOMMUNICATIONS								
01-30-675-235	RADIO DISPATCHING	0.00	289,564.61	308,058.00	94.00	18,493.39	616,116.00	326,551.39
	TELECOMMUNICATIONS	0.00	289,564.61	308,058.00	94.00	18,493.39	616,116.00	326,551.39
RED LIGHT								
01-30-630-246	RED LIGHT - ADJUDICATOR	0.00	3,124.00	6,000.00	52.07	2,876.00	12,000.00	8,876.00
01-30-630-247	RED LIGHT - CAMERA FEES	157,325.00	202,275.00	275,000.00	73.55	72,725.00	550,000.00	347,725.00
01-30-630-248	RED LIGHT - COM ED	123.85	1,234.74	2,000.00	61.74	765.26	4,000.00	2,765.26
01-30-630-249	RED LIGHT - MISC FEE	17,442.50	22,199.00	22,000.00	100.90	(199.00)	44,000.00	21,801.00
	RED LIGHT	174,891.35	228,832.74	305,000.00	75.03	76,167.26	610,000.00	381,167.26
Total Dept 30 - POLICE DEPARTMENT								
		506,507.99	4,367,318.57	5,478,699.00	79.71	1,111,380.43	10,957,398.00	6,590,079.43
Dept 35 - PUBLIC WORKS DEPARTMENT								
CAPITAL IMPROVEMENTS								
01-35-765-625	VEHICLES - NEW & OTHER	8.00	34,062.36	56,196.00	60.61	22,133.64	112,392.00	78,329.64
01-35-765-640	VILLAGE ENTRY SIGNS	0.00	0.00	66,667.00	0.00	66,667.00	133,334.00	133,334.00
01-35-765-685	STREET IMPROVEMENTS	330.00	5,688.61	85,000.00	6.69	79,311.39	170,000.00	164,311.39
	CAPITAL IMPROVEMENTS	338.00	39,750.97	207,863.00	19.12	168,112.03	415,726.00	375,975.03
ADMINISTRATION								
01-35-400-147	MEDICARE	276.76	2,579.68	4,322.00	59.69	1,742.32	8,644.00	6,064.32
01-35-400-151	IMRF	2,598.24	22,178.52	33,766.00	65.68	11,587.48	67,532.00	45,353.48
01-35-400-161	SOCIAL SECURITY	1,183.10	10,958.09	17,062.00	64.23	6,103.91	34,124.00	23,165.91
01-35-400-171	SUI - UNEMPLOYMENT	268.96	840.39	186.00	451.82	(654.39)	372.00	(468.39)
01-35-710-101	SALARIES - PERMANENT EMPL	12,414.67	161,556.10	251,109.00	64.34	89,552.90	502,218.00	340,661.90
01-35-710-102	OVERTIME	4,986.17	16,332.89	22,500.00	72.59	6,167.11	45,000.00	28,667.11
01-35-710-103	PART TIME - LABOR	300.84	6,155.97	25,000.00	24.62	18,844.03	50,000.00	43,844.03
01-35-710-126	SALARIES - CLERICAL	1,974.48	21,700.03	25,666.00	84.55	3,965.97	51,332.00	29,631.97
01-35-710-141	HEALTH/DENTAL/LIFE INSURAN	4,195.04	43,753.32	45,538.00	96.08	1,784.68	91,076.00	47,322.68
01-35-710-201	TELEPHONES	91.48	1,634.33	2,500.00	65.37	865.67	5,000.00	3,365.67
01-35-710-301	OFFICE SUPPLIES	0.00	391.26	500.00	78.25	108.74	1,000.00	608.74
01-35-710-302	PRINTING & PUBLISHING	0.00	330.12	600.00	55.02	269.88	1,200.00	869.88
01-35-710-303	FUEL/MILEAGE/WASH	943.30	7,001.23	9,150.00	76.52	2,148.77	18,300.00	11,298.77
01-35-710-304	SCHOOLS/CONFERENCES/TRA	0.00	371.90	2,000.00	18.60	1,628.10	4,000.00	3,628.10
01-35-710-306	REIMB PERSONNEL EXPENSES	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	0.00	283.00	310.00	91.29	27.00	620.00	337.00
01-35-710-311	POSTAGE & METER RENT	1.15	891.35	1,500.00	59.42	608.65	3,000.00	2,108.65
01-35-710-345	UNIFORMS	0.00	1,997.87	5,000.00	39.96	3,002.13	10,000.00	8,002.13
01-35-710-401	OPERATING SUPPLIES & EQUIP	0.00	3,272.77	3,500.00	93.51	227.23	7,000.00	3,727.23
01-35-710-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION								
		29,234.19	302,228.82	451,009.00	67.01	148,780.18	902,018.00	599,789.18

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Fund 01 - GENERAL FUND								
DATA PROCESSING								
01-35-715-212	EDP EQUIPMENT/SOFTWARE	0.00	509.49	3,700.00	13.77	3,190.51	7,400.00	6,890.51
01-35-715-225	INTERNET/WEBSITE HOSTING	108.35	984.65	1,370.00	71.87	385.35	2,740.00	1,755.35
DATA PROCESSING								
		108.35	1,494.14	5,070.00	29.47	3,575.86	10,140.00	8,645.86
ENGINEERING								
01-35-720-245	FEES - ENGINEERING	11,430.74	75,701.67	55,000.00	137.64	(20,701.67)	110,000.00	34,298.33
01-35-720-254	PLAN REVIEW - ENGINEER	563.95	563.95	1,500.00	37.60	936.05	3,000.00	2,436.05
ENGINEERING								
		11,994.69	76,265.62	56,500.00	134.98	(19,765.62)	113,000.00	36,734.38
BUILDINGS								
01-35-725-413	MAINTENANCE - GARAGE	661.88	2,831.20	5,000.00	56.62	2,168.80	10,000.00	7,168.80
01-35-725-414	MAINTENANCE - SALT BINS	1,170.16	1,303.16	1,500.00	86.88	196.84	3,000.00	1,696.84
01-35-725-415	NICOR GAS	440.54	1,439.69	3,000.00	47.99	1,560.31	6,000.00	4,560.31
01-35-725-417	SANITARY USER CHARGE	25.36	79.04	200.00	39.52	120.96	400.00	320.96
01-35-725-418	MAINTENANCE - PW BUILDING	448.28	7,604.90	10,000.00	76.05	2,395.10	20,000.00	12,395.10
BUILDINGS								
		2,746.22	13,257.99	19,700.00	67.30	6,442.01	39,400.00	26,142.01
EQUIPMENT REPAIR								
01-35-735-409	MAINTENANCE - VEHICLES	1,417.72	11,460.29	20,000.00	57.30	8,539.71	40,000.00	28,539.71
01-35-735-411	MAINTENANCE - EQUIPMENT	0.00	996.39	500.00	199.28	(496.39)	1,000.00	3.61
EQUIPMENT REPAIR								
		1,417.72	12,456.68	20,500.00	60.76	8,043.32	41,000.00	28,543.32
SNOW REMOVAL								
01-35-740-287	SNOW REMOVAL CONTRACT	0.00	4,590.00	60,000.00	7.65	55,410.00	120,000.00	115,410.00
01-35-740-306	REIMB PERSONAL EXPENSES-D	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	0.00	2,442.42	4,000.00	61.06	1,557.58	8,000.00	5,557.58
SNOW REMOVAL								
		0.00	7,032.42	64,200.00	10.95	57,167.58	128,400.00	121,367.58
STREET LIGHTING								
01-35-745-207	ENERGY - STREET LIGHTS	613.61	13,419.40	21,000.00	63.90	7,580.60	42,000.00	28,580.60
01-35-745-223	MAINTENANCE - STREET LIGHT	11,745.22	20,369.25	17,000.00	119.82	(3,369.25)	34,000.00	13,630.75
01-35-745-224	MAINTENANCE - TRAFFIC SIGN	0.00	3,141.00	4,000.00	78.53	859.00	8,000.00	4,859.00
STREET LIGHTING								
		12,358.83	36,929.65	42,000.00	87.93	5,070.35	84,000.00	47,070.35
STORM WATER IMPROVEMENTS								
01-35-750-286	JET CLEANING CULVERT	0.00	13,682.50	15,000.00	91.22	1,317.50	30,000.00	16,317.50
01-35-750-289	SITE IMPROVEMENTS	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00	30,000.00
01-35-750-290	EQUIPMENT RENTAL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-35-750-328	STREET & ROW MAINTENANCE	4,357.90	137,606.42	160,000.00	86.00	22,393.58	320,000.00	182,393.58
01-35-750-329	MAINTENANCE - SAW MILL CRE	0.00	1,754.80	2,000.00	87.74	245.20	4,000.00	2,245.20
01-35-750-338	TREE MAINTENANCE	0.00	146,318.20	85,000.00	172.14	(61,318.20)	170,000.00	23,681.80
01-35-750-381	STORM WATER IMPROVEMENT	0.00	51,551.46	50,000.00	103.10	(1,551.46)	100,000.00	48,448.54
STORM WATER IMPROVEMENTS								
		4,357.90	350,913.38	329,500.00	106.50	(21,413.38)	659,000.00	308,086.62
STREET MAINTENANCE								
01-35-755-279	TRASH REMOVAL	0.00	1,870.00	1,250.00	149.60	(620.00)	2,500.00	630.00

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Fund 01 - GENERAL FUND								
01-35-755-281	ROUTE 83 BEAUTIFICATION	0.00	29,702.54	52,500.00	56.58	22,797.46	105,000.00	75,297.46
01-35-755-282	REIMB EXP - CONSTRUCTION	0.00	500.00	500.00	100.00	0.00	1,000.00	500.00
01-35-755-283	REIMB EXP - OTHER	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	0.00	31,800.00	20,000.00	159.00	(11,800.00)	40,000.00	8,200.00
01-35-755-290	EQUIPMENT RENTAL	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE	0.00	12,076.88	20,000.00	60.38	7,923.12	40,000.00	27,923.12
01-35-755-331	SALT	46,026.76	55,373.76	55,000.00	100.68	(373.76)	110,000.00	54,626.24
01-35-755-332	J.U.L.I.E.	0.00	2,128.32	2,400.00	88.68	271.68	4,800.00	2,671.68
01-35-755-333	ROAD SIGNS	444.10	3,750.74	10,000.00	37.51	6,249.26	20,000.00	16,249.26
01-35-755-401	OPERATING EQUIPMENT	0.00	1,080.21	1,500.00	72.01	419.79	3,000.00	1,919.79
STREET MAINTENANCE		46,470.86	138,282.45	168,900.00	81.87	30,617.55	337,800.00	199,517.55
NUISANCE CONTROL								
01-35-760-258	PEST CONTROL	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-35-760-259	MOSQUITO ABATEMENT	0.00	29,780.00	35,300.00	84.36	5,520.00	70,600.00	40,820.00
NUISANCE CONTROL		0.00	29,780.00	36,300.00	82.04	6,520.00	72,600.00	42,820.00
Total Dept 35 - PUBLIC WORKS DEPARTMENT		109,026.76	1,008,392.12	1,401,542.00	71.95	393,149.88	2,803,084.00	1,794,691.88
Dept 40 - BUILDING & ZONING DEPARTMENT								
GENERAL MANAGEMENT								
01-40-400-147	MEDICARE	131.50	1,501.10	1,921.00	78.14	419.90	3,842.00	2,340.90
01-40-400-151	IMRF	1,247.13	13,226.24	16,200.00	81.64	2,973.76	32,400.00	19,173.76
01-40-400-161	SOCIAL SECURITY	562.31	6,418.10	8,213.00	78.15	1,794.90	16,426.00	10,007.90
01-40-400-171	SUI - UNEMPLOYMENT	55.64	340.75	93.00	366.40	(247.75)	186.00	(154.75)
01-40-810-101	SALARIES - PERMANENT EMPL	7,280.64	79,629.80	94,648.00	84.13	15,018.20	189,296.00	109,666.20
01-40-810-102	OVERTIME	409.54	7,280.65	15,000.00	48.54	7,719.35	30,000.00	22,719.35
01-40-810-126	SALARIES - CLERICAL	1,609.78	18,951.60	22,816.00	83.06	3,864.40	45,632.00	26,680.40
01-40-810-141	HEALTH/DENTAL/LIFE INSURAN	1,792.43	19,849.41	23,521.00	84.39	3,671.59	47,042.00	27,192.59
01-40-810-201	TELEPHONES	0.00	672.00	500.00	134.40	(172.00)	1,000.00	328.00
01-40-810-301	OFFICE SUPPLIES	7.28	308.09	1,000.00	30.81	691.91	2,000.00	1,691.91
01-40-810-302	PRINTING & PUBLISHING	91.17	1,778.36	750.00	237.11	(1,028.36)	1,500.00	(278.36)
01-40-810-303	FUEL/MILEAGE/WASH	37.89	603.73	1,000.00	60.37	396.27	2,000.00	1,396.27
01-40-810-304	SCHOOLS/CONFERENCES/TRA	500.00	550.00	1,000.00	55.00	450.00	2,000.00	1,450.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	53.95	248.95	1,000.00	24.90	751.05	2,000.00	1,751.05
01-40-810-311	POSTAGE & METER RENT	86.75	219.51	350.00	62.72	130.49	700.00	480.49
01-40-810-315	COPY SERVICE	234.71	3,409.36	2,640.00	129.14	(769.36)	5,280.00	1,870.64
01-40-810-345	UNIFORMS	0.00	0.00	350.00	0.00	350.00	700.00	700.00
01-40-810-401	OPERATING EQUIPMENT	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-40-810-409	MAINTENANCE - VEHICLES	288.09	288.09	2,000.00	14.40	1,711.91	4,000.00	3,711.91
GENERAL MANAGEMENT		14,388.81	155,275.74	193,252.00	80.35	37,976.26	386,504.00	231,228.26
DATA PROCESSING								
01-40-815-212	EDP EQUIPMENT/SOFTWARE	0.00	17.42	0.00	100.00	(17.42)	0.00	(17.42)
01-40-815-267	DOCUMENT STORAGE/SCANNI	0.00	0.00	9,800.00	0.00	9,800.00	19,600.00	19,600.00
01-40-815-305	EDP PERSONNEL TRAINING	0.00	0.00	2,600.00	0.00	2,600.00	5,200.00	5,200.00
01-40-815-306	CONSULTING SERVICES	0.00	2,081.10	0.00	100.00	(2,081.10)	0.00	(2,081.10)

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
DATA PROCESSING								
		0.00	2,098.52	12,400.00	16.92	10,301.48	24,800.00	22,701.48
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	1,471.10	1,911.10	5,000.00	38.22	3,088.90	10,000.00	8,088.90
01-40-820-246	FEES - DRAINAGE ENGINEER	1,739.00	2,762.04	10,000.00	27.62	7,237.96	20,000.00	17,237.96
01-40-820-247	REIMB EXP - ENGINEERING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-40-820-254	PLAN REVIEW - CIVIL ENGINEER	1,807.50	11,235.46	5,000.00	224.71	(6,235.46)	10,000.00	(1,235.46)
01-40-820-255	PLAN REVIEW - STRUCTURAL	535.48	9,011.73	5,000.00	180.23	(4,011.73)	10,000.00	988.27
01-40-820-258	PLAN REVIEW - BUILDING CODE	16,026.52	156,171.72	90,000.00	173.52	(66,171.72)	180,000.00	23,828.28
01-40-820-259	PLAN REVIEW - DRAINAGE ENGI	0.00	2,777.08	15,000.00	18.51	12,222.92	30,000.00	27,222.92
ENGINEERING		21,579.60	183,869.13	130,500.00	140.90	(53,369.13)	261,000.00	77,130.87
INSPECTION								
01-40-830-109	PART TIME - INSPECTOR	1,617.00	33,015.00	40,000.00	82.54	6,985.00	80,000.00	46,985.00
01-40-830-115	PLUMBING INSPECTION	800.00	14,425.00	7,500.00	192.33	(6,925.00)	15,000.00	575.00
01-40-830-117	ELEVATOR INSPECTION	3,067.00	6,091.00	5,000.00	121.82	(1,091.00)	10,000.00	3,909.00
01-40-830-119	CODE ENFORCEMENT INSPECT	1,741.25	2,114.00	4,000.00	52.85	1,886.00	8,000.00	5,886.00
INSPECTION		7,225.25	55,645.00	56,500.00	98.49	855.00	113,000.00	57,355.00
Total Dept 40 - BUILDING & ZONING DEPARTMENT								
		43,193.66	396,888.39	392,652.00	101.08	(4,236.39)	785,304.00	388,415.61
TOTAL EXPENDITURES								
		801,774.42	8,209,098.02	10,549,816.00	77.81	2,340,717.98	21,099,632.00	12,890,533.98

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Fund 02 - WATER FUND								
Dept 50 - WATER DEPARTMENT								
CAPITAL IMPROVEMENTS								
02-50-440-626	VEHICLES - NEW & OTHER	8.00	34,062.36	56,196.00	60.61	22,133.64	112,392.00	78,329.64
02-50-440-694	DISTRIBUTION SYSTEM REPLA	0.00	6,415.59	10,000.00	64.16	3,584.41	20,000.00	13,584.41
CAPITAL IMPROVEMENTS								
ADMINISTRATION								
02-50-400-147	MEDICARE	208.52	2,675.72	3,968.00	67.43	1,292.28	7,936.00	5,260.28
02-50-400-151	IMRF	2,002.61	23,201.41	32,246.00	71.95	9,044.59	64,492.00	41,290.59
02-50-400-161	SOCIAL SECURITY	891.80	11,398.04	16,967.00	67.18	5,568.96	33,934.00	22,535.96
02-50-400-171	SUI - UNEMPLOYMENT	199.49	681.02	186.00	366.14	(495.02)	372.00	(309.02)
02-50-401-101	SALARIES - PERMANENT EMPL	12,163.97	158,095.89	221,179.00	71.48	63,083.11	442,358.00	284,262.11
02-50-401-102	OVERTIME	795.46	28,988.44	40,000.00	72.47	11,011.56	80,000.00	51,011.56
02-50-401-103	PART TIME - LABOR	15.75	4,519.54	10,000.00	45.20	5,480.46	20,000.00	15,480.46
02-50-401-126	SALARIES - CLERICAL	1,974.32	21,698.53	25,666.00	84.54	3,967.47	51,332.00	29,633.47
02-50-401-141	HEALTH/DENTAL/LIFE INSURAN	4,267.95	44,617.41	46,620.00	95.70	2,002.59	93,240.00	48,622.59
02-50-401-201	PHONE - TELEPHONES	258.15	5,374.18	7,500.00	71.66	2,125.82	15,000.00	9,625.82
02-50-401-239	FEES - VILLAGE ATTORNEY	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-401-301	OFFICE SUPPLIES	422.27	564.11	750.00	75.21	185.89	1,500.00	935.89
02-50-401-302	PRINTING & PUBLISHING	311.00	5,160.59	4,000.00	129.01	(1,160.59)	8,000.00	2,839.41
02-50-401-303	FUEL/MILEAGE/WASH	943.30	7,001.19	8,500.00	82.37	1,498.81	17,000.00	9,998.81
02-50-401-304	SCHOOLS CONFERENCE TRAV	133.20	1,068.05	1,500.00	71.20	431.95	3,000.00	1,931.95
02-50-401-306	REIMB PERSONNEL EXPENSES	0.00	0.00	150.00	0.00	150.00	300.00	300.00
02-50-401-307	FEES DUES SUBSCRIPTIONS	27.90	279.11	600.00	46.52	320.89	1,200.00	920.89
02-50-401-311	POSTAGE & METER RENT	1,311.95	3,622.45	6,000.00	60.37	2,377.55	12,000.00	8,377.55
02-50-401-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION								
			318,945.68	427,332.00	74.64	108,386.32	854,664.00	535,718.32
OTHER								
02-50-449-102	INTEREST EXPENSE	0.00	9,406.00	9,406.00	100.00	0.00	18,812.00	9,406.00
02-50-449-104	BOND PRINCIPAL EXPENSE	0.00	10,800.00	10,800.00	100.00	0.00	21,600.00	10,800.00
02-50-449-105	INTEREST EXPENSE - IEPA LOA	0.00	14,885.24	14,885.00	100.00	(0.24)	29,770.00	14,884.76
02-50-449-106	PRINCIPAL EXPENSE - IEPA LO	0.00	39,562.96	39,563.00	100.00	0.04	79,126.00	39,563.04
OTHER								
			74,654.20	74,654.00	100.00	(0.20)	149,308.00	74,653.80
DATA PROCESSING								
02-50-417-212	EDP EQUIPMENT/SOFTWARE	0.00	502.98	2,800.00	17.96	2,297.02	5,600.00	5,097.02
02-50-417-263	EDP LICENSES	0.00	2,589.50	8,000.00	32.37	5,410.50	16,000.00	13,410.50
02-50-417-305	EDP PERSONNEL TRAINING	0.00	0.00	1,300.00	0.00	1,300.00	2,600.00	2,600.00
DATA PROCESSING								
			3,092.48	12,100.00	25.56	9,007.52	24,200.00	21,107.52
ENGINEERING								
02-50-405-245	FEES - ENGINEERING	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
ENGINEERING								
			0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
RISK MANAGEMENT								
02-50-415-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00

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Fund 02 - WATER FUND								
RISK MANAGEMENT								
		0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
TRANSFERS TO OTHER FUNDS								
02-50-410-501	REIMBURSE OVERHEAD GENER	47,972.25	479,722.50	575,667.00	83.33	95,944.50	1,151,334.00	671,611.50
02-50-900-109	TRANSFER TO WATER CAPITAL	0.00	200,000.00	400,000.00	50.00	200,000.00	800,000.00	600,000.00
02-50-900-112	TRANSFER TO DEBT SERVICE -	0.00	47,471.00	47,471.00	100.00	0.00	94,942.00	47,471.00
	TRANSFERS TO OTHER FUNDS	47,972.25	727,193.50	1,023,138.00	71.07	295,944.50	2,046,276.00	1,319,082.50
WATER PRODUCTION								
02-50-420-206	ENERGY - ELECTRIC PUMP	2,673.97	13,565.92	14,000.00	96.90	434.08	28,000.00	14,434.08
02-50-420-294	LANDSCAPING - WELLS 1 & 3 - D	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE - D	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-420-361	CHEMICALS	0.00	941.63	1,500.00	62.78	558.37	3,000.00	2,058.37
02-50-420-362	SAMPLING ANALYSIS	90.00	845.00	5,000.00	16.90	4,155.00	10,000.00	9,155.00
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-491	PUMP INSPECTION REPAIR MAI	0.00	21.94	500.00	4.39	478.06	1,000.00	978.06
02-50-420-575	PURCHASE OF WATER	124,448.80	1,239,657.16	1,739,500.00	71.27	499,842.84	3,479,000.00	2,239,342.84
	WATER PRODUCTION	127,212.77	1,255,031.65	1,762,500.00	71.21	507,468.35	3,525,000.00	2,269,968.35
WATER STORAGE								
02-50-425-473	WELLHOUSE REPAIRS & MAINT	0.00	2,400.00	1,500.00	160.00	(900.00)	3,000.00	600.00
02-50-425-474	WELLHOUSE REPAIRS & MAIN -	0.00	994.42	1,000.00	99.44	5.58	2,000.00	1,005.58
02-50-425-475	MATERIALS & SUPPLIES- STAN	113.84	2,425.79	2,500.00	97.03	74.21	5,000.00	2,574.21
02-50-425-485	REPAIRS & MAINTENANCE-STA	0.00	5,430.99	5,000.00	108.62	(430.99)	10,000.00	4,569.01
	WATER STORAGE	113.84	11,251.20	10,000.00	112.51	(1,251.20)	20,000.00	8,748.80
TRANSPORTATION/DISTRIBUTION								
02-50-430-276	LEAK SURVEYS	0.00	5,166.00	9,000.00	57.40	3,834.00	18,000.00	12,834.00
02-50-430-277	WATER DISTRIBUTION REPAIRS	4,230.00	184,742.55	150,000.00	123.16	(34,742.55)	300,000.00	115,257.45
02-50-430-299	LANDSCAPING - OTHER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
02-50-430-401	OPERATING EQUIPMENT	0.00	3,480.45	3,000.00	116.02	(480.45)	6,000.00	2,519.55
02-50-430-425	J. U. L. I. E. MAINTENANCE & SU	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRI	0.00	32,619.16	35,000.00	93.20	2,380.84	70,000.00	37,380.84
	TRANSPORTATION/DISTRIBUTION	4,230.00	226,008.16	199,000.00	113.57	(27,008.16)	398,000.00	171,991.84
METERS & BILLING								
02-50-435-278	METERS FLOW TESTING	0.00	0.00	11,746.00	0.00	11,746.00	23,492.00	23,492.00
02-50-435-461	NEW METERING EQUIPMENT	47.50	7,330.51	15,000.00	48.87	7,669.49	30,000.00	22,669.49
02-50-435-462	METER REPLACEMENT	0.00	345.00	1,500.00	23.00	1,155.00	3,000.00	2,655.00
02-50-435-463	MAINTENANCE - METER EQUIP	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
	METERS & BILLING	47.50	7,675.51	30,746.00	24.96	23,070.49	61,492.00	53,816.49
Total Dept 50 - WATER DEPARTMENT								
		205,512.00	2,664,330.33	3,618,166.00	73.64	953,835.67	7,236,332.00	4,572,001.67

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		MONTH 02/29/20							
		205,512.00		2,664,330.33	3,618,166.00	73.64	953,835.67	7,236,332.00	4,572,001.67
Fund 02 - WATER FUND									
TOTAL EXPENDITURES									

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GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 02/29/20							
Fund 03 - HOTEL/MOTEL TAX FUND									
Dept 53 - HOTEL/MOTEL									
COMMUNITY RELATIONS									
03-53-435-303	WILLOWBROOK MOBILE PHONE	0.00	1,244.38	1,200.00	103.70	(44.38)	2,400.00		1,155.62
03-53-435-308	GRANT PILOT PROGRAM	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00		10,000.00
03-53-435-316	LANDSCAPE BEAUTIFICATION	0.00	7,460.00	10,460.00	71.32	3,000.00	20,920.00		13,460.00
03-53-435-317	ADVERTISING - DCVB	9,044.00	14,650.99	25,000.00	58.60	10,349.01	50,000.00		35,349.01
03-53-435-318	ADVERTISING - VILLAGE	0.00	0.00	50,000.00	0.00	50,000.00	100,000.00		100,000.00
03-53-435-319	CHAMBER DIRECTORY	0.00	3,000.00	3,000.00	100.00	0.00	6,000.00		3,000.00
COMMUNITY RELATIONS									
		9,044.00	26,355.37	94,660.00	27.84	68,304.63	189,320.00		162,964.63
ADMINISTRATION									
03-53-401-307	FEES DUES SUBSCRIPTIONS	5,000.00	8,300.00	12,000.00	69.17	3,700.00	24,000.00		15,700.00
03-53-401-311	POSTAGE & METER RENT	0.00	0.65	250.00	0.26	249.35	500.00		499.35
ADMINISTRATION									
		5,000.00	8,300.65	12,250.00	67.76	3,949.35	24,500.00		16,199.35
SPECIAL EVENTS									
03-53-436-378	WINE & DINE INTELLIGENTLY	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00		4,000.00
03-53-436-379	SPECIAL PROMOTIONAL EVENT	0.00	2,500.00	2,500.00	100.00	0.00	5,000.00		2,500.00
SPECIAL EVENTS									
		0.00	2,500.00	4,500.00	55.56	2,000.00	9,000.00		6,500.00
Total Dept 53 - HOTEL/MOTEL									
		14,044.00	37,156.02	111,410.00	33.35	74,253.98	222,820.00		185,663.98
TOTAL EXPENDITURES									
		14,044.00	37,156.02	111,410.00	33.35	74,253.98	222,820.00		185,663.98

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. 530,896.00	APPROP. AVAIL. 390,485.51
Fund 04 - MOTOR FUEL TAX FUND								
Dept 56 - MOTOR FUEL TAX								
CAPITAL IMPROVEMENTS								
04-56-430-684	STREET MAINTENANCE CONTR	0.00	140,410.49	265,448.00	52.90	125,037.51	530,896.00	390,485.51
CAPITAL IMPROVEMENTS		0.00	140,410.49	265,448.00	52.90	125,037.51	530,896.00	390,485.51
Total Dept 56 - MOTOR FUEL TAX		0.00	140,410.49	265,448.00	52.90	125,037.51	530,896.00	390,485.51
TOTAL EXPENDITURES		0.00	140,410.49	265,448.00	52.90	125,037.51	530,896.00	390,485.51

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROP.	APPROP. AVAIL.
Fund 06 - SSA ONE BOND & INTEREST FUND								
Dept 60 - SSA BOND								
OTHER								
06-60-550-401	BOND PRINCIPAL EXPENSE	0.00	170,000.00	170,000.00	100.00	0.00	340,000.00	170,000.00
06-60-550-402	BOND INTEREST EXPENSE	0.00	152,465.00	152,465.00	100.00	0.00	304,930.00	152,465.00
OTHER		0.00	322,465.00	322,465.00	100.00	0.00	644,930.00	322,465.00
Total Dept 60 - SSA BOND		0.00	322,465.00	322,465.00	100.00	0.00	644,930.00	322,465.00
TOTAL EXPENDITURES		0.00	322,465.00	322,465.00	100.00	0.00	644,930.00	322,465.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROX.	APPROP. AVAIL.
Fund 07 - POLICE PENSION FUND								
Dept 62								
ADMINISTRATION								
07-62-401-242	LEGAL FEES	0.00	700.00	4,000.00	17.50	3,300.00	8,000.00	7,300.00
07-62-401-251	AUDIT FEES	0.00	3,413.00	3,413.00	100.00	0.00	6,826.00	3,413.00
07-62-401-252	ACTUARY SERVICES	0.00	4,400.00	4,400.00	100.00	0.00	8,800.00	4,400.00
07-62-401-253	FINANCIAL ADVISORY FEES	0.00	21,979.00	27,500.00	79.92	5,521.00	55,000.00	33,021.00
07-62-401-254	FIDUCIARY INSURANCE	3,187.00	3,187.00	3,175.00	100.38	(12.00)	6,350.00	3,163.00
07-62-401-304	SCHOOLS CONFERENCE TRAV	0.00	2,669.08	4,210.00	63.40	1,540.92	8,420.00	5,750.92
07-62-401-307	FEES DUES SUBSCRIPTIONS	0.00	795.00	800.00	99.38	5.00	1,600.00	805.00
07-62-401-531	DEPT OF INSURANCE FILING FE	0.00	4,316.18	4,381.00	98.52	64.82	8,762.00	4,445.82
07-62-401-543	EXAMS - PHYSICAL	0.00	750.00	2,500.00	30.00	1,750.00	5,000.00	4,250.00
ADMINISTRATION								
		3,187.00	42,209.26	54,379.00	77.62	12,169.74	108,758.00	66,548.74
PENSION BENEFITS								
07-62-401-581	PENSION BENEFITS	109,328.85	1,095,622.47	1,289,460.00	84.97	193,837.53	2,578,920.00	1,483,297.53
07-62-401-582	WIDOW'S PENSION	6,931.86	27,727.44	0.00	100.00	(27,727.44)	0.00	(27,727.44)
07-62-401-583	NON-DUTY DISABILITY BENEFIT	5,992.97	59,166.10	71,057.00	83.27	11,890.90	142,114.00	82,947.90
07-62-401-584	DUTY DISABILITY BENEFITS	6,007.61	60,076.10	72,091.00	83.33	12,014.90	144,182.00	84,105.90
07-62-401-586	SEPARATION REFUNDS	11,346.09	11,346.09	0.00	100.00	(11,346.09)	0.00	(11,346.09)
PENSION BENEFITS								
		139,607.38	1,253,938.20	1,432,608.00	87.53	178,669.80	2,865,216.00	1,611,277.80
Total Dept 62								
		142,794.38	1,296,147.46	1,486,987.00	87.17	190,839.54	2,973,974.00	1,677,826.54
TOTAL EXPENDITURES								
		142,794.38	1,296,147.46	1,486,987.00	87.17	190,839.54	2,973,974.00	1,677,826.54

EXPENDITURE REPORT FOR WILLOWBROOK
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND								
Dept 65 - WATER CAPITAL IMPROVEMENTS								
CAPITAL IMPROVEMENTS								
09-65-440-600	WATER SYSTEM IMPROVEMENT	0.00	0.00	60,000.00	0.00	60,000.00	120,000.00	120,000.00
09-65-440-602	MTU REPLACEMENT	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
CAPITAL IMPROVEMENTS		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00
Total Dept 65 - WATER CAPITAL IMPROVEMENTS								
		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00
TOTAL EXPENDITURES								
		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 11 - DEBT SERVICE FUND								
Dept 70 - DEBT SERVICE FUND								
OTHER								
11-70-550-401	BOND PRINCIPAL EXPENSE	0.00	214,200.00	214,200.00	100.00	0.00	428,400.00	214,200.00
11-70-550-402	BOND INTEREST EXPENSE	0.00	112,144.00	112,144.00	100.00	0.00	224,288.00	112,144.00
OTHER		0.00	326,344.00	326,344.00	100.00	0.00	652,688.00	326,344.00
Total Dept 70 - DEBT SERVICE FUND								
		0.00	326,344.00	326,344.00	100.00	0.00	652,688.00	326,344.00
TOTAL EXPENDITURES								
		0.00	326,344.00	326,344.00	100.00	0.00	652,688.00	326,344.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & Dept 75 - LAND ACQUISITION/EXPANSION/RENOVATION CAPITAL IMPROVEMENTS								
14-75-930-412	CRC REMODEL (825 MIDWAY D	0.00	28,419.25	120,000.00	23.68	91,580.75	240,000.00	211,580.75
CAPITAL IMPROVEMENTS		0.00	28,419.25	120,000.00	23.68	91,580.75	240,000.00	211,580.75
Total Dept 75 - LAND ACQUISITION/EXPANSION/RENOV		0.00	28,419.25	120,000.00	23.68	91,580.75	240,000.00	211,580.75
TOTAL EXPENDITURES		0.00	28,419.25	120,000.00	23.68	91,580.75	240,000.00	211,580.75

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 02/29/2020

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 02/29/20	YTD BALANCE 02/29/2020	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX								
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT								
CONTINGENCIES								
15-15-401-242	LEGAL FEES	0.00	1,387.90	10,000.00	13.88	8,612.10	20,000.00	18,612.10
15-15-510-232	CONSULTANTS-DESIGN & OTHE	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
CONTINGENCIES		0.00	1,387.90	12,500.00	11.10	11,112.10	25,000.00	23,612.10
ADMINISTRATION								
15-15-455-513	SALES TAX REBATE- TOWN CE	0.00	0.00	100,000.00	0.00	100,000.00	200,000.00	200,000.00
15-15-455-514	SALES TAX REBATE - PFM	0.00	0.00	170,000.00	0.00	170,000.00	340,000.00	340,000.00
ADMINISTRATION		0.00	0.00	270,000.00	0.00	270,000.00	540,000.00	540,000.00
STREET MAINTENANCE								
15-15-745-224	MAINT TRAFFIC SIGNALS	0.00	3,141.00	4,000.00	78.53	859.00	8,000.00	4,859.00
STREET MAINTENANCE		0.00	3,141.00	4,000.00	78.53	859.00	8,000.00	4,859.00
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMEN		0.00	4,528.90	286,500.00	1.58	281,971.10	573,000.00	568,471.10
TOTAL EXPENDITURES								
		0.00	4,528.90	286,500.00	1.58	281,971.10	573,000.00	568,471.10
TOTAL EXPENDITURES - ALL FUNDS								
		1,164,124.80	13,028,899.47	17,148,136.00	75.98	4,119,236.53	34,296,272.00	21,267,372.53

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

5f

ITEM TITLE:

AGENDA NO.

AGENDA DATE:
03/09/20

Receive Plan Commission Recommendation – Public Hearing 20-03: Consideration of a petition for approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) (a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD. – Willowbrook 2012 LLC, 625 Joliet Road.

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: Ann Choi

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: Tom Bastian / mm

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst / mm

REVIEWED & APPROVED BY COMMITTEE:

YES ☐

NO ☐

N/A ☒

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

The applicant is requesting an amendment to their existing PUD approval (approved January 23, 2017) to allow for the changes in the building footprint, change of certain uses, and modifications to the landscaping originally approved. In addition, the applicant is requesting additional relief from the bulk regulations, a reduction in landscaping requirements, and increases to the previously approved deviations as the building has been substantially constructed. As the building footprint has changed from the previously approved PUD, as-built drawings of the topography and utilities have been reviewed by the Village Engineer. The applicant has submitted this petition because a greater than five percent (5%) increase in gross floor area, a greater than 5% decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, and increases in the approved deviations are created by the requested petition and therefore constitutes a "Major" change to a PUD per Section 9-13-4(C)6(a). While minor changes to a PUD only require administrative approval, major changes require a new application for a PUD.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

In October 2019, the Village of Willowbrook received a set of proposed revised drawings for the Compass Arena seeking a building permit to complete building construction. The proposed revised drawings proposed a change in the approved uses on the second floor which increased the parking requirement, but this discovery led to a realization that numerous changes were made and significant enough to require a PUD amendment. It is important to note that a set of building plans that reflected the mirrored building footprint, which departed significantly from the approved Final PUD Plat, was approved by the Village on March 31, 2018.

The development is currently under construction but the majority of the building has been completed. Only the remaining interior build-out of the arena and some exterior work remains. Many of the changes made during the previous three years should have been considered major changes to the PUD and approvals should have been obtained under a proper PUD amendment process. But for various reasons such as a high turnover rate in Village staff overseeing zoning compliance and the Village's focus on controversial projects, a PUD amendment was never sought and changes that required Board action were instead approved administratively without Board approval. The Plan Commission discussed this petition at the March 4, 2020, regular meeting of the Plan Commission and voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board.

ACTION PROPOSED: March 9, 2020: Receive Plan Commission Recommendation.

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: March 9, 2020

SUBJECT: **Zoning Hearing Case 20-03: Compass Event Center and Arena PUD Amendment** – 625 Joliet Road, Willowbrook, Illinois. Consideration of a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) (a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD for the project located at 625 Joliet Road.

At the regular meeting of the Plan Commission held on March 4, 2020 the above referenced application was discussed and the following motion was made:

MOTION: Made by Kaucky seconded by Remkus that based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact for a Special Use and Findings of Fact for a Planned Unit Development referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting and recommend approval of an Amendment to the existing special use for a Planned Unit Development and Amendment to the Planned Unit Development to allow for all major changes listed under Section 9-13-4(C)6(a), including relief, exceptions and waivers from Title 9 of the Village Code referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting, with the exception of the request for reduced parking, and recommend approval of an Amended Final Plat of PUD with requested revisions, according to the plans listed in the Staff Report for PC 20-03 and subject to the following conditions:

1. The Amended Final Plat of PUD shall be revised and restriped to accommodate a total of 177 parking spaces.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.

4. Any outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.

ROLL CALL:

AYES: Chairman Kopp, Vice Chairman Wagner, Commissioners Kaucky, Walec, and Remkus;
NAYS: None.
ABSENT: Commissioners Ruffolo and Soukup.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:nz

FINDINGS OF FACT

9-14-4(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Finding: The proposed special use and planned unit development for Compass Arena will not be detrimental to or endanger the public health, safety, comfort or general welfare of persons residing or working in the vicinity of the campus or the community. In contrast, the proposed improvement of Compass Arena should improve the general welfare of the community by providing additional venues for athletic and recreational events and social activities for area residents. Further, Compass Arena will cause real estate taxes collected against the property to be increased. Accordingly, Compass Arena will benefit the local taxing districts. Further, with a limited retail component, Compass Arena should create additional sales tax revenue creating a further benefit to the community.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Finding: We are confident that there will be no harmful effects to the community based upon the development of Compass Arena. If there were any such harmful effects, they would be mitigated by the distance that Compass Arena will sit from any neighboring residential properties. The Applicant has worked with the Village in preparing this application and will work with its neighbors to complete Compass Arena in the least intrusive manner for the community. Based on the foregoing, the Applicant is confident that the establishment of Compass Arena will have a beneficial and not harmful effect on the neighboring community.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

Finding: It is important to note that the proposed site of Compass Arena sits not immediately adjacent to any other improved residential properties in the Village. Those

Finding: The PUD provides reasonable access for intended users. The development has been constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site has been developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site. The site has been designed to accommodate a substantial amount of landscaping and a number of outdoor areas for patrons in the form of large balconies and decks with outdoor seating to provide access to light and air, recreation and visual enjoyment.

(E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)

Finding: Adjacent properties neighboring Compass Arena include a restaurant and gas station/retail convenient store, which are uses that will be complimented by Compass Arena.

(F) The desirability of the proposed plan with respect to the physical development, tax base and economic well being of the Village.

Finding: The Compass Arena and Event Center will bring new people to the area to experience indoor spectator sports and to utilize its restaurants, bars and lounges, which will benefit the local tax base.

(G) The conformity with the intent and spirit of the current planning objectives of the Village. (Ord. 97-O-05, 1-27-1997)

Finding: The plan and amendment to the PUD conforms to the spirit and intent of the Village's current planning objective if developed as recommended by the Plan Commission.



Village of Willowbrook

Staff Report to the Village Board

Village Board																
Receive Date:	March 9, 2020															
Public Hearing Date:	March 4, 2020															
Prepared By:	Ann Choi, Planning Consultant															
Case Title:	PC 20-03: Compass Event Center and Arena PUD Amendment															
Petitioner:	Willowbrook 2012 LLC 15W580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527															
Action Requested by Applicant:	Consideration of a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) (a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD.															
Location:	625 Joliet Road, Willowbrook Illinois 60516															
PINs:	09-26-401-007															
Existing Zoning:	B-3 with a Special Use Permit for a Planned Unit Development															
Existing Land Use:	Indoor Recreational Facility - <i>Under Construction</i>															
Property Size:	3.66 acres															
Surrounding Land Use:	<table><tr><td></td><td>Use</td><td>Zoning</td></tr><tr><td>North</td><td>Vacant Lot</td><td>M-1</td></tr><tr><td>South</td><td>I-55 Expressway</td><td>I-55</td></tr><tr><td>East</td><td>7-11</td><td>B-2</td></tr><tr><td>South</td><td>Del Rhea’s Chicken Basket</td><td>B-3</td></tr></table>		Use	Zoning	North	Vacant Lot	M-1	South	I-55 Expressway	I-55	East	7-11	B-2	South	Del Rhea’s Chicken Basket	B-3
	Use	Zoning														
North	Vacant Lot	M-1														
South	I-55 Expressway	I-55														
East	7-11	B-2														
South	Del Rhea’s Chicken Basket	B-3														

Necessary Action by Village Board:	Receive Plan Commission Recommendation.
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Documents Attached:

- Attachment 1:** Notice of Public Hearing (2 pages)
- Attachment 2:** Findings of Fact, Standards for Special Use
- Attachment 3:** Findings of Fact for Planned Unit Development
- Attachment 4:** Legal Description
- Attachment 5:** Architectural As-built Drawings, Sheet A-1 to A-8, prepared by Architects by Design, and bearing the latest revision date of 01-2-2020 (8 Sheets)
- Attachment 6:** Elevations (Site Photos)
- Attachment 7:** Foundation As-Built Survey, prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on March 22, 2018 (1 Sheet)
- Attachment 8:** Amended Final Plat of PUD, prepared by Krisch Land Surveying LLC, and bearing the latest revision date of 02/17/2020 (2 Sheets)
- Attachment 9:** Parking Grade As-Built Survey, signed by Sean T. Krisch on February 18, 2020 (1 Sheet)
- Attachment 10:** Site/Utility As-built Survey, prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020 (1 Sheet)
- Attachment 11:** Landscape Plan, prepared by Robert Fleck, and dated January 29, 2020 (2 Sheets)
- Attachment 12:** Engineering Review Letter, prepared by Christopher B. Burke Engineering Ltd., and dated February 27, 2020 (1 page)
- Attachment 13:** Construction Schedule, dated January 24, 2020 (2 pages)
- Attachment 14:** Planning Review Letter, issued by the Village of Willowbrook, and dated February 27, 2020 (2 pages)
- Attachment 15:** Ordinance No. 17-O-02 including Final Plat of PUD, Architectural Plans and Landscape Plan (10 Sheets)



Site Description

The development site is located on the south side of Frontage Road at the south end of Quincy Drive, between Del Rhea's Chicken Basket and the 7-11. The site consists of 3.657 acres. It is a shallow site with around 200 feet of depth, with over 500 feet of frontage along Frontage Road. The site's southern boundary is the I-55 expressway. Approximately 51,695 square feet of space is being constructed within three stories that include indoor soccer fields, restaurant, bar and lounge areas.

Exhibit 1 Site Location



Aerial Source: Google Earth, 2014 Imagery.

Development Request

The development is currently under construction and the building's foundation has been poured, the structure of the building has been erected, the building is cladded, all site work including curbing, placement of the driveways, striping of the parking, site landscaping, and interior wall studs for the most part have already been completed. Only the remaining interior build-out of the arena remains. Since the approval of the original Compass Arena and Event Center Planned Unit Development (PUD), the property owner made numerous changes while the building and site were under construction. A list of changes can be found on the following pages, and many were significant enough to be considered a major change to the originally approved PUD. Per Section 9-13-4(C)6(a), a major change to a PUD shall require a new application for preliminary and final plat of a planned unit development, unless otherwise restricted by the ordinance granting the special use for the planned unit development. Many of these changes made during the previous three years should have been considered major changes to the PUD, and approvals should have been obtained under a proper PUD amendment process.

A major change to a PUD is further classified under this section of the zoning code as any of the following:



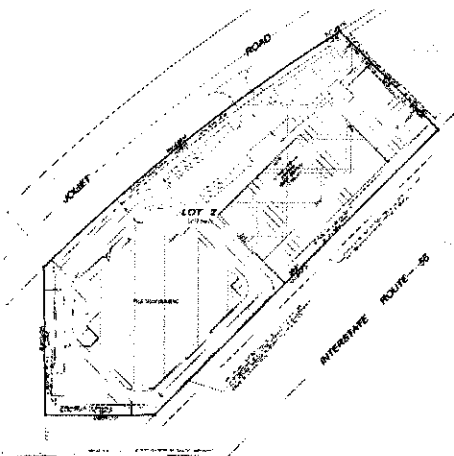
- A. A greater than five percent (5%) increase in density, gross floor area or building height.
- B. A greater than five percent (5%) decrease in the number of parking spaces, landscaped area or open space.
- C. Changes in the location of points of ingress or egress.
- D. A greater than twenty foot (20') change in the location of principal buildings, roadways or parking areas.
- E. Changes in the types of permitted land use.
- F. Changes in the approved development schedule.
- G. Increases in the approved deviations.

In October 2019, the Village of Willowbrook received a set of proposed revised drawings for the Compass Arena seeking a building permit to complete building construction. The proposed revised drawings proposed a change in the approved uses on the second floor which increased the parking requirement, but this discovery led to a realization that the previously aforementioned changes were significant enough to require a PUD amendment. It is important to note that the property owner hired a new architect at this time, who was not aware of the numerous changes that occurred prior to his engagement. Since then, the property owner and his representatives have been working diligently on rectifying the situation.

Under Staff's recommendation, the applicant is requesting an amendment to their existing PUD approval to allow for the changes in the building footprint, change of certain uses, and modifications to the landscaping originally approved. In addition, the applicant is requesting additional relief from the bulk regulations, a reduction in landscaping requirements, and increases to the previously approved deviations as the building has been substantially constructed. The applicant has submitted this petition in order to record the changes that were made in an Amended Final Plat of PUD to be approved by the Village Board.

PUD History

On January 23, 2017, the Village Board approved the following ordinances: Ordinance Nos. 17-O-02, 17-O-03 and 17-O-04. These ordinances approved the construction of a multi-use facility consisting of approximately 46,000 square feet to accommodate two "mini" indoor soccer fields of approximately 29,000 square feet and approximately 16,500 square feet of restaurant, bar and lounge uses. The previous plans approved a restaurant/bar on the first floor (a special use in the B-3 zoning district), golf simulators on the second floor (a special use in the B-3 zoning district), and party rooms and golf simulators on the third floor (special uses in the B-3 zoning district).



Ordinance 17-O-02

An ordinance approved a special use permit for a planned unit development, including approval of a Final Plat of PUD, and granted certain waivers from the Zoning Ordinance.

Ordinance No. 17-O-03

An ordinance approving and authorizing the execution of a planned unit development agreement for the development of the Compass Event Center and Arena.

Ordinance No. 17-O-04

An ordinance granting an amendment to the zoning map of the Village of Willowbrook for a special use for a planned unit development in a B-3 zoning district.



Meeting Dates:

- *May 18, 2016* – Invalid Public Hearing (re-noticed to July 20, 2016)
- *July 20, 2016* – Plan Commission Discussion and Plan Commission Recommendation for Approval
- *January 23, 2017* - Village Board Approval

Timeline:

- *April 25, 2018* –A revised Final Plat of PUD indicating a revised building footprint and increased deviations was signed by Village Staff and eventually recorded at DuPage County; however, no Board action was taken to approve these changes.
- *March 31, 2019* – The Village approved permit drawings bearing a revision date of 1/03/2018 by R. Vari and Associates (the Architect of Record).
- *October 15, 2019* – Architects by Design (ABD), the new architect, submitted new as-built drawings dated 10/15/2019, Sheets A-1 through A-8, to help facilitate progress of the project.
- *November 13, 2019* – Village staff conduct an informal site visit of Compass Arena.
- *November 14, 2019* – The planning department issued a planning review letter with a determination that the proposed drawings dated 10/15/2019, Sheets A-1 through A-8, and the Landscape Plan are not in compliance with Ordinance No. 17-O-02.
- *November 26, 2019* – The planning department met with Mario Magliano, the project's construction manager, and the project's landscaper on-site to review the elimination of landscaped areas and the addition of hardscaped areas.
- *December 3, 2019* – Village staff meeting including the building department, planning department and Village administration to review changes to the PUD.
- *December 5, 2019* – Village staff reviewed itemized list of changes with Village administration.
- *December 6, 2019* – Village staff instructed to consult with legal counsel; Village staff requests more information from the property owner and ABD on the parking counts and the reduction of landscaped area.
- *December 19, 2019* – Village consulted with legal counsel.
- *December 23, 2019* – Village staff (Planning Consultant Ann Choi, Building Official Roy Giuntoli, and Assistant Village Administrator Michael Mertens) met with Compass Arena team including ABD, Mario Magliano, and Bob Fleck (landscape architect) to discuss the PUD amendment process and requiring zoning approval prior to the issuance of any building permits. Larry Link and Chris Drews from Tri-State Fire Protection District were also in attendance.
- *January 7, 2020* – Village consulted with legal counsel and issues memo to Village staff.
- *January 15, 2020* – Village planning consultant sent the requirements for the documents and fees required for a formal PUD amendment application.
- *January 30, 2020* – Village receives an incomplete planning application.
- *February 5, 2020* – Village planning consultant requests Final Plat of PUD, and as-built drawings of the topography and utilities as these were missing from the application.
- *February 6, 2020* – Village receives revised landscape plan.
- *February 20, 2020* – Village receives the Amended Final Plat of PUD and associated as-built surveys.
- *February 27, 2020* – The Village issues a planning review letter.



List of Changes

The applicant offered the following list of changes that were made:

1. The building layout is mirrored from its original design. This has impacts on all four building elevations.
2. An additional one thousand square feet (1,000 sq.ft.) of new storage space and stairs to access this new storage space were added above the locker room on the west side of the arena.
3. The main entrance to the arena was relocated to from the north building façade to the northeast side of the arena.
4. The balcony was relocated from the northwest corner of the arena to the northeast corner of the arena.
5. The sports lounge on the northeast side of the first floor of the arena was eliminated.
6. The coffee bar was switched and remodified.
7. The exterior doors were rearranged due to ADA requirements and "Village" reasons.
8. The access road surrounding the arena was adjusted per Village request.
9. A generator was added.
10. The front entry was adjusted for ADA resulting in the elimination of two feet of width of foundation landscaping along the north building façade.
11. Under the semi-circular balcony on the northeast corner of the arena, all grass was eliminated and replaced with brick pavers since this area is now the new main entrance.
12. The golf simulators were eliminated on the mezzanine level and third floor.
13. The bar was relocated from the third floor to the mezzanine level.
14. The outdoor bar was eliminated from the third floor balcony.

Staff Analysis

As previously discussed, a major change to the Compass Event Center and Arena PUD was determined based on the following criteria:

A Greater than 5% Increase in the Gross Floor Area

Ordinance No. 17-O-02 approved a gross floor area of 45,934 square feet and this has increased to 51,695 square feet. The difference of 5,761 square feet equates to a 12.5% increase.

Determination: The 12.5% increase in gross floor area constitutes a major change under Section 9-13-4(C)6(a)1.

A Greater Than 5% Decrease in the Landscape Area

The petitioner is seeking an amendment to their PUD due to a greater than 5% decrease in the landscape area. The total landscape area that was previously approved was approximately 36,349 square feet. During the project's construction, ADA ramps were added along the north, west and east building facades. The fire department also required an exterior fire connection at the northwest portion of the building resulting in the need to remove all plants from that location. Thus the foundation landscaping in many areas were eliminated and the landscape area was reduced to approximately 32,665 square feet. The elimination of 3,684 square feet of landscape area is equal to a 10.1% decrease. The areas in green in **Exhibit 3** on the following page illustrate the amount of landscape area that was reduced.

Determination: The 10.1% decrease in landscape area constitutes a major change under Section 9-13-4(C)6(a)2.



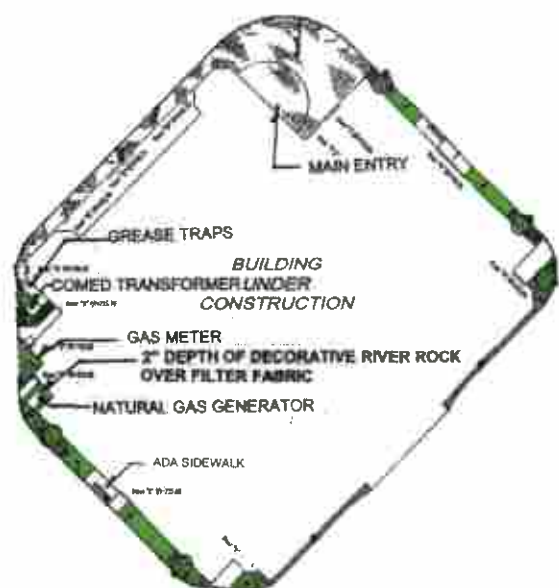
Exhibit 2 Addition of ADA ramps and fire connection



Exhibit 3 Approved Landscape Plan via Ordinance No. 17-O-02 v. Constructed Landscape Plan (right)



2017 Approved Landscape Plan (left)
36,349 SF



Constructed Landscape Plan (right)
32,665 SF

Changes in the Location of Points of Ingress and Egress

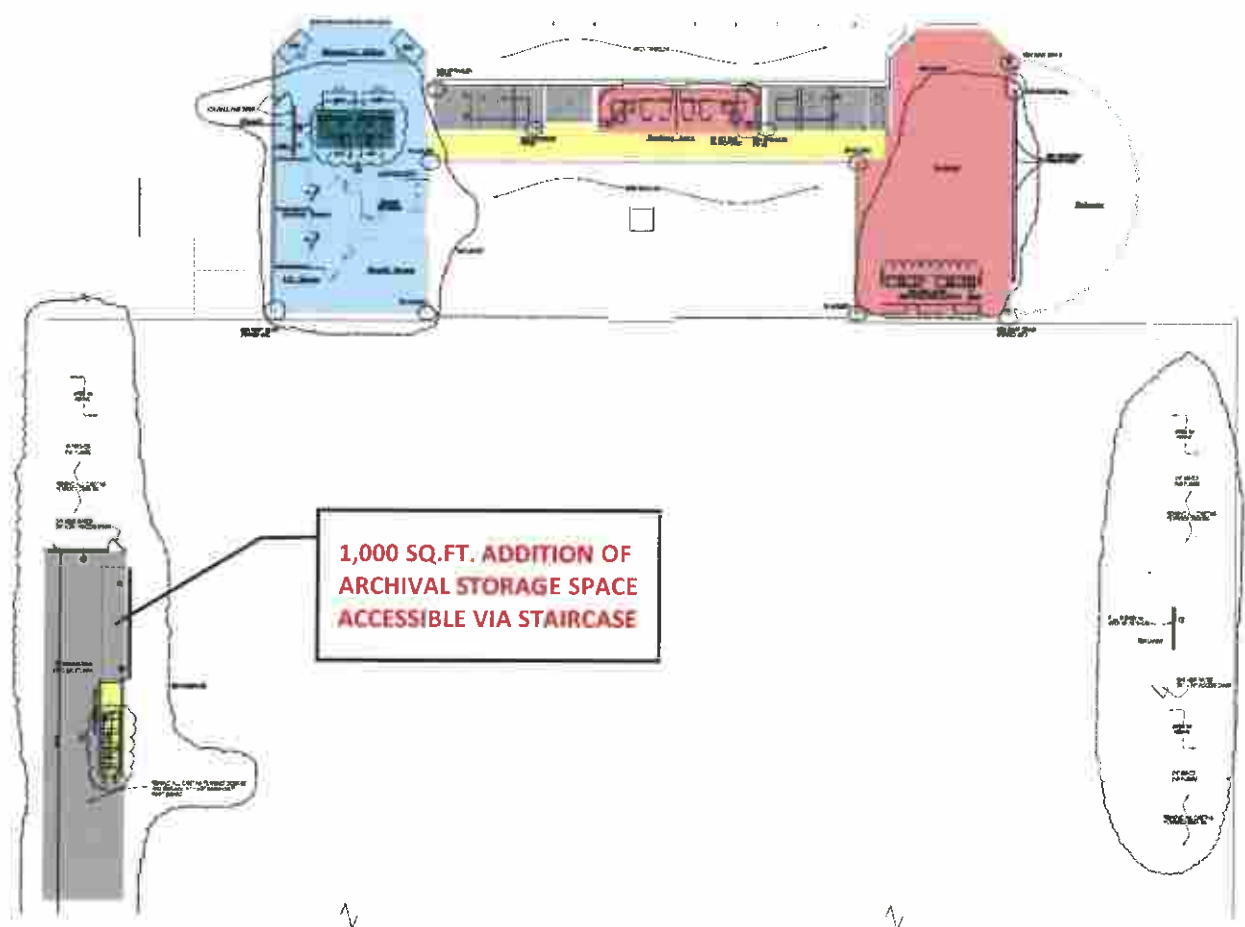
The footprint of the building has departed considerably from the approved 2017 Final Plat of PUD since the building footprint was essentially "mirrored", affecting all four approved elevations. The new plan shows the relocated balcony from the northwest side of the arena to the northeast side of the arena. Additional new doors for ingress and egress to Outdoor Patio #1 (Exit 3 and Exit 4) serve as the main ingress and egress for the arena and are located below this balcony. What was previously the kitchen service area and sprinkler/mechanical room on the first floor of the northeast side of the arena has been changed to a sports lounge/private dining. (The kitchen service area has replaced the private dining and storage areas at the northwest side of the arena.) An additional set of egress-only doors is located along the east wall of the new sports lounge. Six (6) entry/exit doors along the north wall of the easternmost soccer field have been added to



Exhibit 6 Approved Partial Mezzanine/2nd Floor Plan via Ordinance No. 17-O-02



Exhibit 7 Proposed Partial Mezzanine/2nd Floor Plan



It is important to note that one thousand square feet (1,000 sq.ft.) of archival storage was added above the locker rooms along the west side of the soccer fields as shown in **Exhibit 7**. This archival storage is accessible



by a staircase and an elevator is not required as long as this space remains as storage space with a maximum floor area of 1,000 square feet.

Exhibit 8 Approved Partial 3rd Floor Plan (north) via Ordinance No. 17-O-02

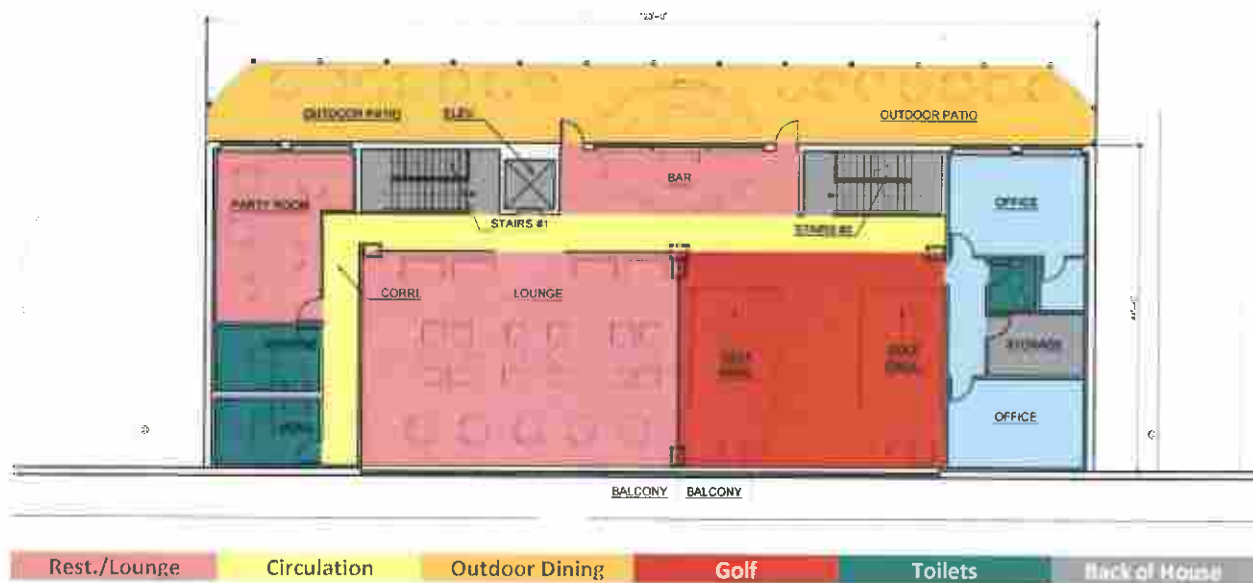
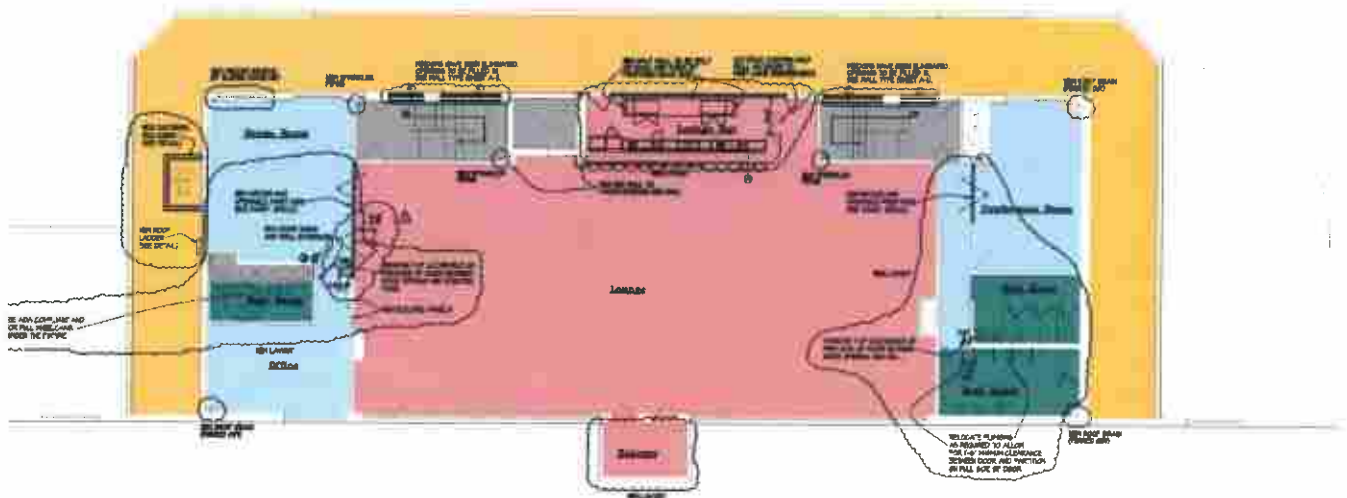


Exhibit 9 Proposed Partial 3rd Floor Plan



A new variation for reduced parking is required due to the changes in the permitted land uses. Changes in the approved uses result in an increase to the required parking to 177 parking spaces. The project currently only provides 175 parking spaces. A parking analysis is provided in **Table 1** of the following section. If the property owner can accommodate two additional parking spaces, this variation will not be required. Staff recommends that as a condition of approval, the parking lot be restriped to accommodate two additional parking spaces, eliminating the need for a reduced parking variation.

Determination: The elimination of the golf simulators and the addition of lounge area and archival storage area on the mezzanine/second floor constitutes a major change under Section 9-13-4(C)6(a)5.



Changes in the Approved Development Schedule

The projected completion date of the arena and event center was February 15, 2018. The applicant has indicated that the construction schedule was delayed for many reasons. Materials ordered from China were delivered late due to the current political climate which had an impact on shipping and resulted in incomplete orders. Construction was also stalled due to inclement weather, changes to the project, and an absence of the general contractor due to a critical illness. The applicant claims that the biggest reason for the delayed construction schedule is the issue date of March 31, 2018 for the building permits, which was forty-five (45) days after the project's original completion date.

Increases in the Approved Deviations

As previously discussed, the PUD amendment requests a variation from the requirements of foundation landscaping to eliminate the requirement for foundation landscaping along the north and northwest portions of the arena. Due to several ADA ramps that were never contemplated in the 2017 approval, the addition of these ramps now occupy a significant amount of area along the main entrances/exits requiring the removal of some plantings that were previously approved via Ordinance No. 17-O-02.



Ordinance No. 17-O-02 previously approved a waiver to reduce the minimum front yard setback from sixty feet (60') to forty-five point two six feet (45.26'). As illustrated in **Attachment 7**, the foundation as-built survey indicates that the northeast corner of the building has been constructed closer to than what was allowed. Thus, the PUD amendment also requests a waiver for the front yard setback to be reduced to forty-three point seven four feet (43.74').



Parking Analysis

The proposed uses for the Compass Event Center and Arena will increase the parking requirements. Due to the increase in square footage, the parking requirement has been recalculated. Refer to **Table 1** below for a comparison for the parking requirement calculated for the previously approved PUD and the parking requirement with the proposed changes. The Village requests that the Amended Final Plat of PUD be revised to accommodate the required number of parking spaces.

Table 1 Comparison of Approved vs. Proposed

Approved PUD (2017)	Area (SF)	Parking Req'd	Parking Ratio	Proposed PUD	Area (SF)	Parking Req'd
1st Floor						
Bar/Restaurant	3,952	39.52	1/100 SF	Bar/Restaurant	3,658	36.58
Kitchen/Carry Out	1,183	11.83	1/100 SF	Kitchen/Carry Out	1,045	10.45
Storage	660	n/a	n/a	Storage	660	n/a
Private Dining	542	5.42	1/100 SF	Private Dining (New Sports Bar)	1,513	15.13
Soccer Field	23,824	8	1/3 ppl	Soccer Field	23,806	8
Soccer Seating	2,480	8	1/3 seats	Soccer Seating	2,480	8
Mens Locker Room	1,344	10.66	Design Capacity / 3	Mens Locker Room	1,551	10.66
Womens Locker Room	1,344	10.66	Design Capacity / 3	Womens Locker Room	1,538	10.66
Outdoor Dining	860	8.6	1/100 SF			
Subtotal	36,189	102.69		Subtotal	36,251	99.48
2nd Floor/Mezzanine						
Storage	1,654	0	n/a	Storage	604	0
Golf Simulators*	1,571	5.3	1/225 SF	Office (New)	472	2.1
			n/a	Catwalk (Not Included)	512	0
			1/100 SF	Dining at Catwalk (New)	290	2.9
			1/100 SF	Balcony (Outside)	843	8.43
			n/a	West Mezz. Storage (New)	1,000	n/a
			n/a	Break Room	240	n/a
			1/100 SF	New Lounge (Old Golf)	1,526	15.26
Subtotal	3,225	5.3		Subtotal	5,487	28.69
3rd Floor						
Bar and Lounge	2,306	23.1	1/100 SF	Bar and Lounge	3,048	30.48
Party Room	428	4.28	1/100 SF	Conference (Party Room)	361	3.6
Golf Simulators*	1,215	2.66	1/225 SF	Office	291	1.29
Office Wing	908	4.03	1/225 SF	Green Room (Old Golf)	479	2.13
Outdoor Patio	1,283	12.83	1/100 SF	Outdoor Patio	1,085	10.85
Subtotal	6,140	46.90		Subtotal	5,264	48.35
Grand Total	45,554				44,522	
Total Spaces Required		154.89				176.52
Total Spaces Provided						175



Elevation & Façade Improvements

In addition to the building footprint and change of uses, the petitioner is seeking an amendment to their PUD to allow changes to the building elevations. Since the arena's floor plan was essentially mirrored, this has impacts on all four elevations. As the area has already been substantially constructed, and the building did not depart from the approved building materials and colors, the Village waived the requirement of revised architectural elevation line drawings and was amenable to accepting site photos of the building's elevations in lieu of revised building elevations. These site photos are included in **Attachment 6** and are shown below.

Exhibit 10 North Elevation (Main Entrance on Joliet Road)



Exhibit 11 West Elevation (Adjacent to Chicken Basket)





Exhibit 12 East Elevation (Adjacent to Mobil Gas Station)



Exhibit 13 South Elevation (Facing I-55 Freeway)



Changed Bulk Regulations

All previously approved bulk regulations (building setbacks, floor to area ratio, lot coverage, etc.) will remain unchanged with the exception of the front yard building setback.

Front Yard Setback. The building has been constructed forty-three point seven four feet (43.74') from the north property line. Ordinance No. 17-O-02 provided relief from the sixty foot (60') requirement and permitted a



front yard setback of forty-five point two six feet (45.26') so the PUD amendment is requesting a further reduction in the front yard setback.

Construction Schedule

Following the issuance of building permits, the projected timeline for the construction of the buildings is seven (7) to eight (8) months based on the construction schedule submitted by the applicant in **Attachment 13**.

Special Use and Planned Development Standards

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the standards is provided in **Attachments 2** and **Attachment 3**, along with a "finding" that can be referenced in the Plan Commission's motion. Please note that the "findings" assume acceptance of the required changes and proposed conditions in this report. Modifying a required change or proposed condition may require changing a listed finding.

Standards for Planned Unit Development

Section 9-13-6 of the Willowbrook Zoning Ordinance establishes twelve (12) standards for planned unit developments that must be met. Responses are provided below:

Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the Village Comprehensive Plan.

Finding: The proposed uses fit the type of uses intended by "highway commercial" uses classified in the Comprehensive Plan, and conforms to the other objectives identified in the Plan. These objectives include ensuring the site is accommodated with adequate roadways, access, parking and circulation. Other objectives suggest that the Village should promote site design considerations that suggests tasteful landscaping, sensible signage and screening of unsightly rooftop mechanical equipment. The Compass Arena PUD provides substantial landscaping, and has been previously approved for a waiver for signage height on the north and south elevations of the building. As shown in the site photos (elevations) in **Attachment 6**, unsightly rooftop mechanical equipment is not visible from street level or from the I-55 freeway because of the addition of parapet walls. At the request of the Village, the kitchen hood fan exhaust on the west elevation was also covered with materials/color to match the rest of the building. Substantial landscaping was also provided along the Stevenson Expressway (east of the building) to lend a pleasing appearance to the development.

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

Finding: The proposed development contains 3.66 acres and is currently under single ownership.

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Finding: Compass Arena is a comprehensive 51,695 square foot square foot recreational center with indoor soccer fields, restaurants, bars and lounges. The proposed increases in deviations will not have detrimental influence upon surrounding properties.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.



Finding: The site is designed with underground vaulted detention under the parking lot. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

Finding: There is only one building within the Planned Unit Development.

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Finding: The maximum height that was granted in Ordinance No. 17-O-02(C) was forty-nine point eight feet (49.8'), thus the building is required to be setback 49.8' from any property line. Ordinance No. 17-O-02(A) and (B) granted waivers for reduced front and rear yard setbacks. The applicant is seeking approval of waivers as part of this PUD amendment for the building setbacks.

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Finding: Parking is not adequate due to the change of uses. The parking requirement has been increased to 177 parking spaces and the site can only accommodate 175 parking spaces. As a condition of approval, the applicant is required to restripe the parking lot to accommodate an additional two parking spaces on-site as part of this PUD amendment.

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Traffic is controlled and located to minimize traffic congestion along Joliet Road. A Traffic Regulation Agreement was required as part of the previous approval and remains unchanged. The project was fully evaluated by the Village Traffic Engineer to evaluate traffic issues as part of the previous approval in 2017.

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

Finding: While none of the existing plant material in the middle of the site is being preserved, additional new landscape materials as required by the Zoning Ordinance will ensure compliance with the ordinance.

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

Finding: No variations to the Willowbrook Subdivision regulations are required.



- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

Finding: The PUD is less than 5 acres.

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Finding: Exceptions are incorporated into the PUD as identified in the staff report prepared for the March 4, 2020 Plan Commission meeting, however, the development does comply with standards (A), (B), (C), (D), (H), (I) and (K) as required.

Summary of Relief Requested

In order to maintain compliance with the Village Zoning Code, the proposed PUD amendment will require additional relief, exceptions, and waivers as outlined below.

Zoning Ordinance

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance include but are not limited to:

1. That Section 9-6C-3(E)1, Minimum Front Yard Setback, be varied to reduce the minimum front yard setback from sixty feet (60') to forty-three point seven four feet (43.74').
2. That Section 9-10-5(K) Off-Street Parking, Required Spaces, be varied to permit a reduction in the minimum parking requirements from one hundred seventy-seven (177) parking spaces to one hundred seventy-four (175) parking spaces.

Note: If the parking lot can be restriped to accommodate two additional parking spaces, this variation is not required.

3. That Section 9-14-2(D)2(c)4, Border Plantings and Foundation Plantings, be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the south building façade, and from seven feet (7') to zero feet at the north and northeast building facades.



PUD Standards

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Planned Unit Development Regulations include but are not limited to:

1. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Recommended Conditions of Approval

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a motion for this case:

1. All plans depicting parking shall be revised and restriped to accommodate a total of 177 parking spaces prior to final zoning approval.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
4. All outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.

Staff Recommendation

Staff recommends that the Plan Commission recommend to the President and Village Board adoption of the attached findings and approval of the request for an Amendment to the Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for the following major changes under Section 9-13-4(C)6(a): a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations, including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of an Amended Final Plat of PUD for the Compass Arena and Event Center – subject to the plans listed below.

1. Amended Final Plat of PUD – Compass Arena Planned Unit Development – as prepared by Krisch Land Surveying LLC. The Amended Final Plat shall be further revised to reflect the requested revisions to the P.U.D. Site Data Table and restriping to the parking lot to accommodate 177 parking spaces (2 Sheets).
2. Architectural As-built Drawings – Sheets A-1 to A-8, prepared by Architects by Design, PC, and bearing the latest revision date of 01-02-2020 (8 Sheets).
3. Elevations, Site Photos of Existing Conditions as of 2/13/2020 (4 pages).
4. Landscape Plan, prepared by Bob Fleck, and dated January 29, 2020 (2 Sheets).



Public Hearing and Recommendation

The Plan Commission conducted a public hearing on this petition at their March 4, 2020 meeting. The following members of the Plan Commission were in attendance: Chairman Dan Kopp, Vice Chairman John Wagner, Commissioners Leonard Kaucky, William Remkus, and Maciej Walec. Planning Consultant, Ann Choi, and Building Official, Roy Giuntoli, from the Village, were in attendance. Randy King, the project architect, Mario Magliano, the project's finance manager, Gary Grasso, the property owner's attorney, and the property owner, were also in attendance. There were no members of the public that came forward with public comments.

Chairman Kopp questioned the increase in gross floor area and how the additional four thousand square feet (4,000 SF) was derived. Mr. King explained that mechanical equipment from the basement that was never constructed could have been relocated to the upper floor adding to the increase. Mr. King further explained that the additional floor area could be attributed to exiting and circulation that was never counted in the previously approved plans. Mr. King explained that one thousand square feet (1,000 SF) of storage area was added above the locker rooms in the precast concrete building since there was so much "void" space, and the area was limited to 1,000 SF to eliminate the need for an elevator. Chairman Kopp also asked why the ADA ramps were added recently and were not included in the previously approved plans. Mr. King stated that not every element was worked out in the previous approval and the previous architect assumed people could exit straight to parking lot grade. Mr. King noted that 50% of people must exit the same way they entered, and pointed out that the building provides more exits than needed for a typical assembly building. Using the building for larger events such as concerts would require the additional exits. Mr. King guessed that the amount of people needed to get from the ground floor of the building down to the level of the parking lot was never anticipated, and the 6" to 8" curb that was never factored into the plans.

Chairman Kopp expressed concern over the large footprint of the building. When the Plan Commission reviewed the preliminary concepts for the Compass Arena, the large footprint was a concern because of the lack of room for sufficient landscaping around the building, and the current petition as currently constructed proposes virtually no landscaping around the building. Chairman Kopp also indicated that parking was always a concern, and with the mention of concerts, he questioned if the site could accommodate more parking. Mr. King responded by stating that there is a separate parking agreement in place. In the event of large-scale gatherings such as concerts, the Village would need to issue approval for off-site parking for temporary events. Mr. King also addressed the landscaping that was eliminated under the canopy and that the property owner intends to provide landscaping in movable planters to create a more attractive entrance to the building.

Chairman Kopp then directed his questioning to Building Official Giuntoli and asked if there was a stop work order issued. Building Official Giuntoli confirmed that a stop work order was issued two months ago, but allowed the property owner to install doors and windows to close up the exterior of the building. The building department also notified the property owner that they would no longer conduct inspections back in July 2018 when it was apparent that many changes had occurred. Building Official Giuntoli also noted that during this time, the building permits expired in October 2018. Planning Consultant Choi noted that the



property owner has already applied for new building permits which amount to over \$135,000, a substantial fee.

Chairman Wagner asked the applicant to provide an explanation for the change in the front yard setback. Mr. King explained that the as-built survey measured the setback to the foundation wall that is one foot below grade and is thicker than the at-grade building wall, so the actual difference is less than half of a foot. The Amended PUD plat notes that the dimension is taken from the outer limit of the foundation wall and not to the building wall.

Chairman Kopp welcomed any comments from the applicant team.

Mr. Grasso stated that the petitioner is eager to get the construction done and will move this as rapidly as possible. Mr. Grasso also noted that the Village has a very harsh rule about building permit fees where other villages might have provided some relief. The property owner is willing to put up \$135,000 required to complete the construction, so his client is committed financially and professionally to see to the project's completion.

Chairman Kopp expressed disappointment but acknowledged this would still end up a good project so he indicated he would be in favor of recommending approval of the amendment. The Plan Commission voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board. Their motion included four (4) conditions of approval.

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Sample Motion

The following sample motion was provided in the staff report for the Plan Commission.

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact for a Special Use and Findings of Fact for a Planned Unit Development referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting and recommend approval of an Amendment to the existing special use for a Planned Unit Development and Amendment to the Planned Unit Development to allow for all major changes listed under Section 9-13-4(C)6(a), including relief, exceptions and waivers from Title 9 of the Village Code referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting, and recommend approval of an Amended Final Plat of PUD with requested revisions, according to the plans listed in the Staff Report for PC 20-03 and subject to the following conditions:

1. The Amended Final Plat of PUD shall be revised and restriped to accommodate a total of 177 parking spaces.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
4. Any outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.

Revised Motion

The following revised motion made by Kaucky was seconded by Remkus and approved unanimous 5-0 roll call vote of the members present:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact for a Special Use and Findings of Fact for a Planned Unit Development referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting and recommend approval of an Amendment to the existing special use for a Planned Unit Development and Amendment to the Planned Unit Development to allow for all major changes listed under Section 9-13-4(C)6(a), including relief, exceptions and waivers from Title 9 of the Village Code referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting, with the exception of the request for reduced parking, and recommend approval of an Amended Final Plat of PUD with requested revisions, according to the plans listed in the Staff Report for PC 20-03 and subject to the following conditions:

1. The Amended Final Plat of PUD shall be revised and restriped to accommodate a total of 177 parking spaces.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
4. Any outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.



Attachment 1
Notice of Public Hearing
(2 pages)

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 20-03

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 4th of March, 2020 at the hour of 7:00 P.M. in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527.

The purpose of this public hearing shall be to consider a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD on property legally described as follows:

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT R2002-078679, IN DUPAGE COUNTY, ILLINOIS.

PINs: 09-26-401-007

ADDRESS: 625 Joliet Road, Willowbrook IL 60516

The applicant for this petition is Willowbrook 2012, LLC, 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527.

Copies of the application and related documentation are on file in the office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Roy Giuntoli, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the February 17, 2020 edition of *The Chicago Sun Times* Newspaper.

Storage - Public

Storage - Legal

Public Hearings

Public Hearings

NOTICE OF PUBLIC SALE

To satisfy the owner's storage lien, PS Orange Co. Inc. will sell at public sale on February 28, 2020, the personal property in the below listed units, which may include but are not limited to: household and personal items, office and other equipment. The public sale of these items will begin at 10:00 AM and continue until all units are sold.

PUBLIC STORAGE # 28501, 706 W Central Road, Mount Prospect, IL 60056, (847) 584-3233
Time: 10:00 AM
051 - Childress, Richard; 198 - Gar, Marc
PUBLIC STORAGE # 33005, 1500 E Davis St, Arlington Heights, IL 60005, (847) 788-5185
Time: 10:15 AM
1074 - Mead, Donald; 2077 - Rabin, Robert
PUBLIC STORAGE # 23310, 993 E Algonquin Road, Arlington Heights, IL 60005, (847) 788-5185
Time: 10:30 AM
A041 - MILLER, ROGE; A046 - Vismari, Guadalupe; C015 - Garbisa, Guptava; C006 - Hernandez Jr, Carlos; E051 - Mena, Marco Antonio; E072 - Cohen, Daniel; E082 - Wamener, John; F004 - Mosley, Lashonda; F040 - Prosenko, Laura; F115 - DUNRAVAND, OMIRY; G253 - Stock, Eric; H154 - Barker, Ed; L040 - Mawasa, Mohit; L107 - Gali, Payal
PUBLIC STORAGE # 27231, 2401 Lolo Drive, Rolling Meadows, IL 60008, (847) 497-8814
Time: 10:45 AM
B017 - Nasser, Andrew; E001 - Fraden, Anne; E026 - Ramirez, Vanessa; F115 - Mosier, Andrew; G018 - Sharif, Azah; G073 - Gonzalez, Jose
PUBLIC STORAGE # 28155, 3400 Palmer Drive, Schaumburg, IL 60173, (847) 905-9910
Time: 11:00 AM
1037 - Landwehr, Nathaniel; 1156 - Lee, IVORY; 135 - Nelson, Jessica; 213 - Calhoun, Aaron; 353 - Gershteyn, Casey; 415 - Lomax, Thomas; 434 - Latham, Kristin; 553 - Pashner, Sean; 703 - Baughman, Thomas; 805 - Gershteyn, Frankmar; 827 - Nelson, Benjamin; 843 - Jaramas, Graciele; 855 - Calhoun, Cezile; 860 - Colbert, Crisp; 858 - Jaramas, Graciele
Public sale terms, rules, and regulations will be made available prior to the sale. All sales are subject to cancellation. We reserve the right to refuse any bid. Payment must be in cash or credit card-no checks. Bidders must secure the units with their own personal locks. To claim tax-exempt status, original RESALE certificates for each space purchased is required by PS Orange Co. Inc. 701 Western Avenue, Gardendale, CA 91201, (618) 244-8003, 2/19, 2/17/20 #1102367

NOTICE OF PUBLIC HEARING

ZONING HEARING CASE NO. 20-03

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 4th of March, 2020 at the hour of 7:00 P.M. in the Willowbrook Police Department Training Room, 7760 S. Quincey St. Willowbrook, IL 60527.

The purpose of this public hearing shall be to consider a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for minor changes under Section 9-19-4(C)(8)(a) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD on property legally described as follows:

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 25 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT R2201-007928 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT R0002-078570, IN DUPage COUNTY, ILLINOIS.

PLNS: 09-26-401-007

ADDRESS: 625 Joliet Road, Willowbrook IL 60516

The applicant for this petition is Willowbrook 2012, LLC, 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527.

Copies of the application and related documentation are on file in the office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Pety Gurel, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (800) 920-2255, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpretation should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the February 17, 2020 edition of The Chicago Sun Times Newspaper.
2/17/20 #1102391

Public Notices

Public Notices

The Metropolitan Water Reclamation District of Greater Chicago will be accepting applications for the following classification(s):

AV Administrator (Original & Promotional)

Application Filing Period: February 7, 2020 through March 6, 2020. Examination Date: March 14, 2020 at St. Rita High School, 7740 S. Western Ave., Chicago, IL. Scope of Examination: Knowledge of AV Administrator practices. Nature of Position and Duties: Under general supervision, analyzes the network audio and video infrastructure needs of the District and recommends corrections or improvements; and oversees or provides technical audio-visual, multi-media, video and related technology support services for business meetings, conferences, training sessions or other live or recorded District events. Pay: \$80,000.00 per year

Pipecoverer (Original)

Application Filing Period: February 14, 2020 through March 13, 2020. Examination Date: March 21, 2020 at Chicago High School for Agricultural Sciences (CHAS), 3557 West 111th Street, Chicago, IL. Scope of Examination: Knowledge of pipecoverer practices. Nature of Position and Duties: Performs skilled manual work in connection with the installation, maintenance and repair of all types of insulation or protective covering for piping, pipe fittings, valves, mechanical equipment and machinery. Pay: \$50.50 per hour

Senior Safety Specialist (Promotional)

Application Filing Period: February 14, 2020 through February 28, 2020. Examination Date: March 20, 2020 at MWRD Main Office Building Annex, 111 East Erie Street, Chicago, IL. Scope of Examination: Knowledge of senior safety specialist practices. Nature of Position and Duties: Under general supervision, plans and coordinates the safety program throughout the District. Pay: \$80,100.00 per year

Applications can be submitted online only at www.districtjobs.org.

Additional information may be found at www.mwrdd.org or call 312-751-5100.

Mailed, Emailed, Hand delivered or
Faxed Applications will Not Be Accepted
Reasons Will Not Be Accepted in
Place of Application Form
An Equal Opportunity Employer - M/F/D

2/14 - 202020 #1102320

LIST YOUR RENTAL WITH THE HARDEST- WORKING CLASSIFIEDS IN CHICAGO.

Call 312-321-2345 to place your listing.

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Entail The 2020 Times



Attachment 2
Special Use Standards and Findings for PC 20-03 Compass Arena PUD Amendment

Special Use Standards

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed special use and planned unit development for Compass Arena will not be detrimental to or endanger the public health, safety, comfort or general welfare of persons residing or working in the vicinity of the campus or the community. In contrast, the proposed improvement of Compass Arena should improve the general welfare of the community by providing additional venues for athletic and recreational events and social activities for area residents. Further, Compass Arena will cause real estate taxes collected against the property to be increased. Accordingly, Compass Arena will benefit the local taxing districts. Further, with a limited retail component, Compass Arena should create additional sales tax revenue creating a further benefit to the community.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: We are confident that there will be no harmful effects to the community based upon the development of Compass Arena. If there were any such harmful effects, they would be mitigated by the distance that Compass Arena will sit from any neighboring residential properties. The Applicant has worked with the Village in preparing this application and will work with its neighbors to complete Compass Arena in the least intrusive manner for the community. Based on the foregoing, the Applicant is confident that the establishment of Compass Arena will have a beneficial and not harmful effect on the neighboring community.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: It is important to note that the proposed site of Compass Arena sits not immediately adjacent to any other improved residential properties in the Village. Those improved properties neighboring Compass Arena include a restaurant and retail convenient store, which are two uses that will be complimented by Compass Arena. As such, Compass Arena will be very hospitable to the surrounding uses, and will not impede the normal and orderly development of any surrounding properties.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: Compass Arena has been developed from unimproved and vacant property. As depicted on the as-built surveys, the subject property has been improved with adequate utilities, access roads, and drainage to service the site.



- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: As reflected in the previously reviewed Traffic Impact study conducted by Keniq, Lingren, O'Hara, Aboona, Inc. ("KLOA"), the development has been constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site has been developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: Compass Arena in all material regards conforms to the applicable regulations and standards in the B-3, General Business District, the underlying zoning district. As you are aware, Compass Arena will be a comprehensive 51,695 (FAR) square foot recreational center which the Applicant requests to have zoned as a planned unit development. As you are also aware, permitted uses in the B-3 District include, "...Physical culture and health service gymnasiums." Further special uses include "Restaurants and banquet halls..." and "catering establishments..." Essentially, Compass Arena is composed of a series of allowed uses in the B-3 zoning district. Noting the congruity between the proposed uses for Compass Arena and the terms of the zoning code, Compass Arena will fit in the essential character of the community and is compatible with the B-3 zoning district.

However, there are several requirements of the B-3 District that Compass is seeking relief from through the PUD amendment. Under the setback requirements for the B-3 District, a minimum front yard of sixty (60) feet is required. The Compass Arena will only have a front yard setback of forty-four point six three feet (44.63'). A significant amount of foundation landscaping has been eliminated along the north and northeast portions of the building façade. Additionally, due to the changes of uses within the building, the parking requirement has also been increased.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Finding: The Village Board has not denied a special use permit on this property in the last year.



Attachment 3

Findings of Fact, Planned Unit Development for PC 20-03 Compass Arena PUD Amendment

Planned Unit Development Findings

Section 9-13-7 of the Willowbrook Zoning Ordinance requires that the following seven (7) Findings of Fact must be evaluated by the Plan Commission and the Village board.

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: The PUD amendment provides relief from the 2017 approving ordinance that is required in order to facilitate the on-going construction of the Compass Arena and Event Center. The amendment to the PUD would provide environmental design in the development of land that is better than what is possible through the strict application of ordinance requirements. The PUD also provides a diversification in the uses permitted in the relationship of uses and open space. The Compass Arena also provides substantial landscaping for functional, aesthetic and beneficial use of open areas.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

Finding: For the reasons stated in the Special Use and Planned Unit Development findings and the staff report prepared for the March 4, 2020 meeting, the proposed plan meets the requirements and standards of the Planned Unit Development.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: The PUD amendment includes exceptions as identified in the Staff Report for the March 4, 2020 Plan Commission meeting. The prior approval documents a detailed list of departures from the zoning regulations. Requests for relief granted in the past in addition to the requested relief contained in this petition will serve the public interest as it will allow the construction of a building to continue as the building is nearly complete.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: The PUD provides reasonable access for intended users. The development has been constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site has been developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site. The site has been designed to accommodate a substantial amount of landscaping and a number of outdoor areas for patrons in the form of large balconies and decks with outdoor seating to provide access to light and air, recreation and visual enjoyment.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.



Finding: Adjacent properties neighboring Compass Arena include a restaurant and gas station/retail convenient store, which are uses that will be complimented by Compass Arena.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well being of the village.

Finding: The Compass Arena and Event Center will bring new people to the area to experience indoor spectator sports and to utilize its restaurants, bars and lounges, which will benefit the local tax base.

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

Finding: The plan and amendment to the PUD conforms to the spirit and intent of the Village's current planning objective if developed as recommended by the Plan Commission.



Attachment 4
Legal Description

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT R2002-078679, IN DUPAGE COUNTY, ILLINOIS.

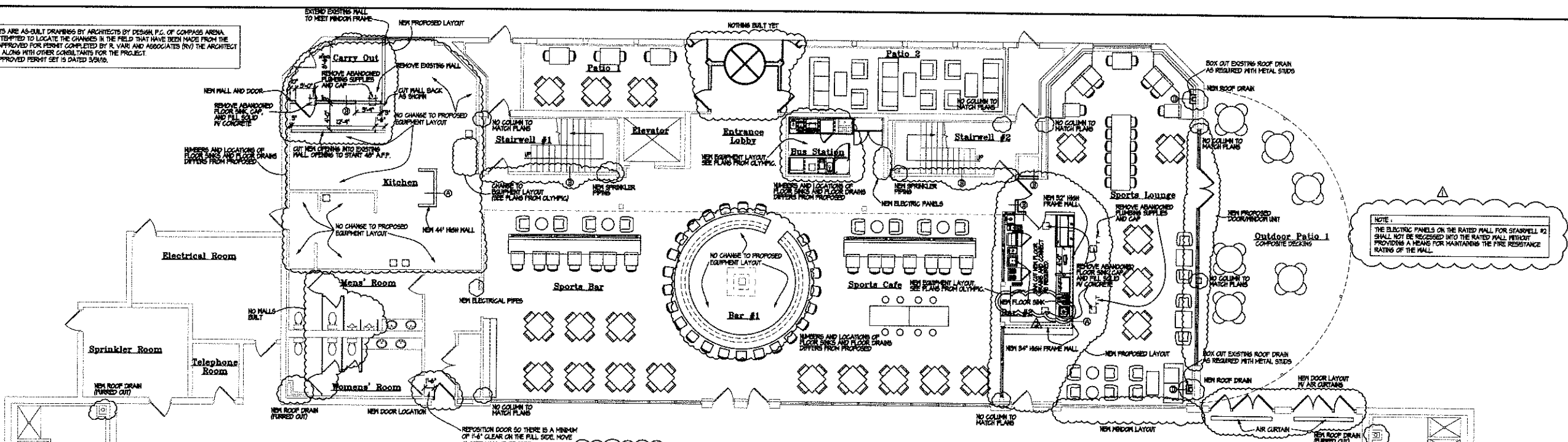
PIN: 09-26-401-007

ADDRESS: 625 Joliet Road, Willowbrook IL 60516

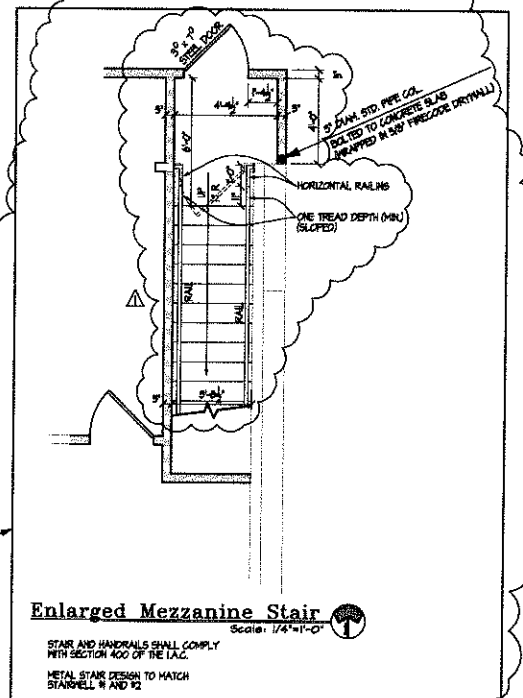
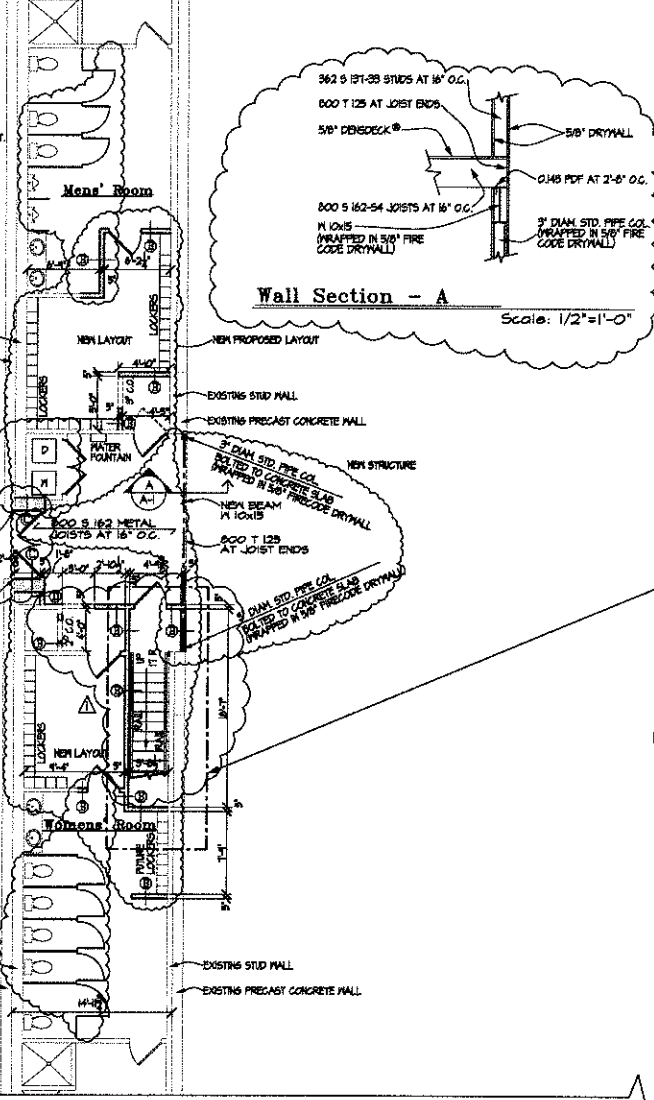


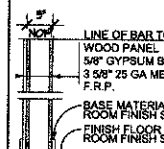
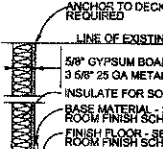
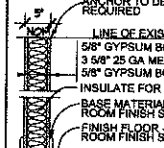
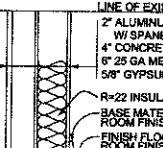
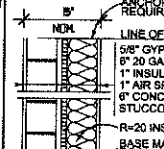
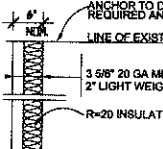
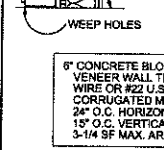
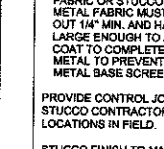
Attachment 5
Architectural As-built Drawings, Sheets A-1 to A-8
Prepared by Architects by Design
Bearing the latest revision date of 01-02-2020 (8 Sheets)

THESE SHEETS ARE AS-BUILT DRAWINGS BY ARCHITECTS BY DESIGN, P.C. OF COMPASS ARENA. WE HAVE ATTEMPTED TO LOCATE THE CHANGES IN THE FIELD THAT HAVE BEEN MADE FROM THE DRAWINGS APPROVED FOR PERMIT COMPLETED BY R. VANDERKAM AND ASSOCIATES (RVA) THE ARCHITECT OF RECORD ALONG WITH OTHER CONSULTANTS FOR THE PROJECT. ORIGINAL APPROVED PERMIT SET IS DATED 5/20/14.



NOTE:
THE ELECTRICAL PANELS ON THE RATED WALL FOR STAIRWELL #2 SHALL NOT BE RECESSED INTO THE RATED WALL WITHOUT PROVIDING A MEANS FOR MAINTAINING THE FIRE RESISTANCE RATING OF THE WALL.



WALL TYPES SCALE: N.T.S.	
 LINE OF BAR TOP WOOD PANEL 5/8" GYPSUM BOARD 3 5/8" 25 GA METAL STUDS @ 16" O.C. W/ F.R.P. BASE MATERIAL - SEE ROOM FINISH SCHEDULE FINISH FLOOR - SEE ROOM FINISH SCHEDULE	 ANCHOR TO DECK ABOVE AS REQUIRED LINE OF EXISTING METAL DECK 5/8" GYPSUM BOARD 3 5/8" 25 GA METAL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD INSULATE FOR SOUND - OPTIONAL BASE MATERIAL - SEE ROOM FINISH SCHEDULE FINISH FLOOR - SEE ROOM FINISH SCHEDULE 1 HOUR U.L. V450
 ANCHOR TO DECK ABOVE AS REQUIRED LINE OF EXISTING METAL DECK 5/8" GYPSUM BOARD 3 5/8" 25 GA METAL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD INSULATE FOR SOUND - OPTIONAL BASE MATERIAL - SEE ROOM FINISH SCHEDULE FINISH FLOOR - SEE ROOM FINISH SCHEDULE 1 HOUR U.L. V450	 LINE OF EXISTING OPENING 2" ALUMINUM FRAMING W/ SPANDREL GLASS 4" CONCRETE BLOCK 6" 25 GA METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD R-22 INSULATION BASE MATERIAL - SEE ROOM FINISH SCHEDULE FINISH FLOOR - SEE ROOM FINISH SCHEDULE
 ANCHOR TO DECK ABOVE AS REQUIRED AND FIRE CAULK LINE OF EXISTING METAL DECK 5/8" GYPSUM BOARD 3 5/8" 25 GA METAL STUDS @ 16" O.C. W/ 1" AIR SPACE 9" CONCRETE BLOCK STUCCO FINISH R-20 INSULATION BASE MATERIAL - SEE ROOM FINISH SCHEDULE FINISH FLOOR - SEE ROOM FINISH SCHEDULE 2 HOUR U.L. #906	 ANCHOR TO DECK ABOVE AS REQUIRED AND FIRE CAULK LINE OF EXISTING METAL DECK 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 2" LIGHT WEIGHT PRECAST WALL PANEL R-20 INSULATION FINISH FLOOR - SEE ROOM FINISH SCHEDULE 1 HOUR U.L. #207
 6" CONCRETE BLOCK W/ VENEER WALL TIES: #9 U.S. GAGE WIRE OR #22 U.S. GAGE BY 18" CORRUGATED METAL SPACED: 24" O.C. HORIZONTAL 18" O.C. VERTICAL 3-1/4" SF MAX. AREA SUPPORTED	
 STUCCO VENEER APPLIED OVER WIRE FABRIC OR STUCCO MESH. METAL FABRIC MUST BE FURRED OUT 1/4" MIN. AND HAVE OPENINGS LARGE ENOUGH TO ALLOW SCRATCH COAT TO COMPLETELY EMBED THE METAL TO PREVENT CORROSION W/ METAL BASE SCREED PROVIDE CONTROL JOINTS AS REQUIRED. STUCCO CONTRACTOR TO VERIFY LOCATIONS IN FIELD. STUCCO FINISH TO MATCH PRECAST CONCRETE PANEL FINISH	

AS-BUILT SHEET INDEX	
A-1	First Floor Plan, Enlarged Mezzanine Stair, Sheet Index, Wall Types
A-2	First Floor Plan (Continued), Occupancy Calculations, Exit Notes, Occupancy Placard Note, New Door and Hardware Descriptions
A-3	Second Floor/Mezzanine Level Plan, Design Loads
A-4	Second Floor/Mezzanine Level Plan (Continued)
A-5	Third Floor Plan, Hood Ductwork Plan and Elevations
A-6	First Floor Reflected Ceiling Plan, Lighting Fixture Schedule
A-7	Second Floor Reflected Ceiling Plan
A-8	Third Floor Reflected Ceiling Plan

WALL LEGEND	
	NEW INTERIOR PARTITION WALL
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED

First Floor Plan Scale: 1/8"=1'-0"


Continued on Next Sheet

Architects By Design, PC
109 Ogden Avenue
Clarendon Hills
Illinois 60614
(830) 323-8804 (p)
(830) 323-9815 (f)
randy@architectsbydesign.com

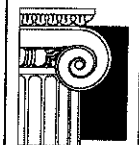
As-Built Drawings of
Compass Arena
625 Joliet Road
Wilmette, Illinois

File No: 14-2621 Date: 10-5-14
Checked: R.J.K. Drawn: M.J.H.

CODE	DESCRIPTION	DATE	BY
1	AS-BUILT	10-5-14	R.J.K.
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

STAMP:


SHEET NO:
A-1
1 OF 8 SHEETS
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ARCHITECTS BY DESIGN, P.C.



Architects
By
Design, PC

109 Ogden Avenue
Clarendon Hills
Illinois 60514

(830) 323-9804 (p)
(830) 323-9815 (f)

randy@architectsbydesign.com
architectsbydesign.com

As-Built Drawings of
Compass Arena

625 Joliet Road
Niles, Illinois

File No: 14-2621 Date: 10-15-14

Checked: M.J.H. Drawn: M.J.H.

DATE	REVISION	BY	DESCRIPTION
10-15-14	1	M.J.H.	INITIAL DESIGN
10-15-14	2	M.J.H.	REVISED DESIGN
10-15-14	3	M.J.H.	REVISED DESIGN
10-15-14	4	M.J.H.	REVISED DESIGN
10-15-14	5	M.J.H.	REVISED DESIGN
10-15-14	6	M.J.H.	REVISED DESIGN
10-15-14	7	M.J.H.	REVISED DESIGN
10-15-14	8	M.J.H.	REVISED DESIGN
10-15-14	9	M.J.H.	REVISED DESIGN
10-15-14	10	M.J.H.	REVISED DESIGN

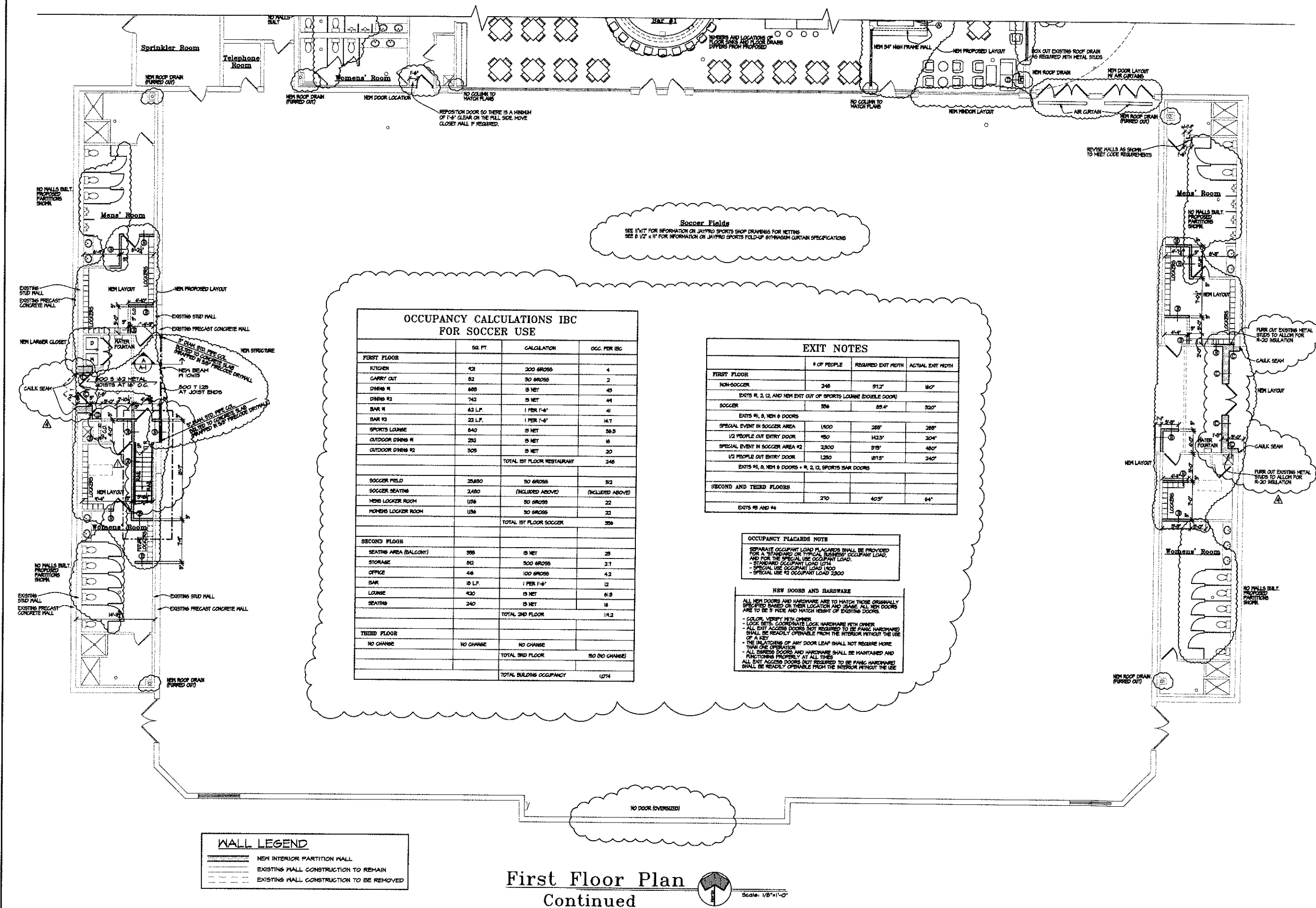
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A-2

2 OF 8 SHEETS

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randy@architectsbydesign.com

As-Built Drawings of
Compass Arena

625 Joliet Road
Morton, Illinois

File No: 14-262 Date: 10-15-14

Checked: RJK Drawn: MJK

DATE	DESCRIPTION	BY	CHK
10-15-14	AS-BUILT DRAWING	RJK	MJK
10-15-14	REVISION		
10-15-14	REVISION		
10-15-14	REVISION		
10-15-14	REVISION		
10-15-14	REVISION		
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10-15-14	REVISION		

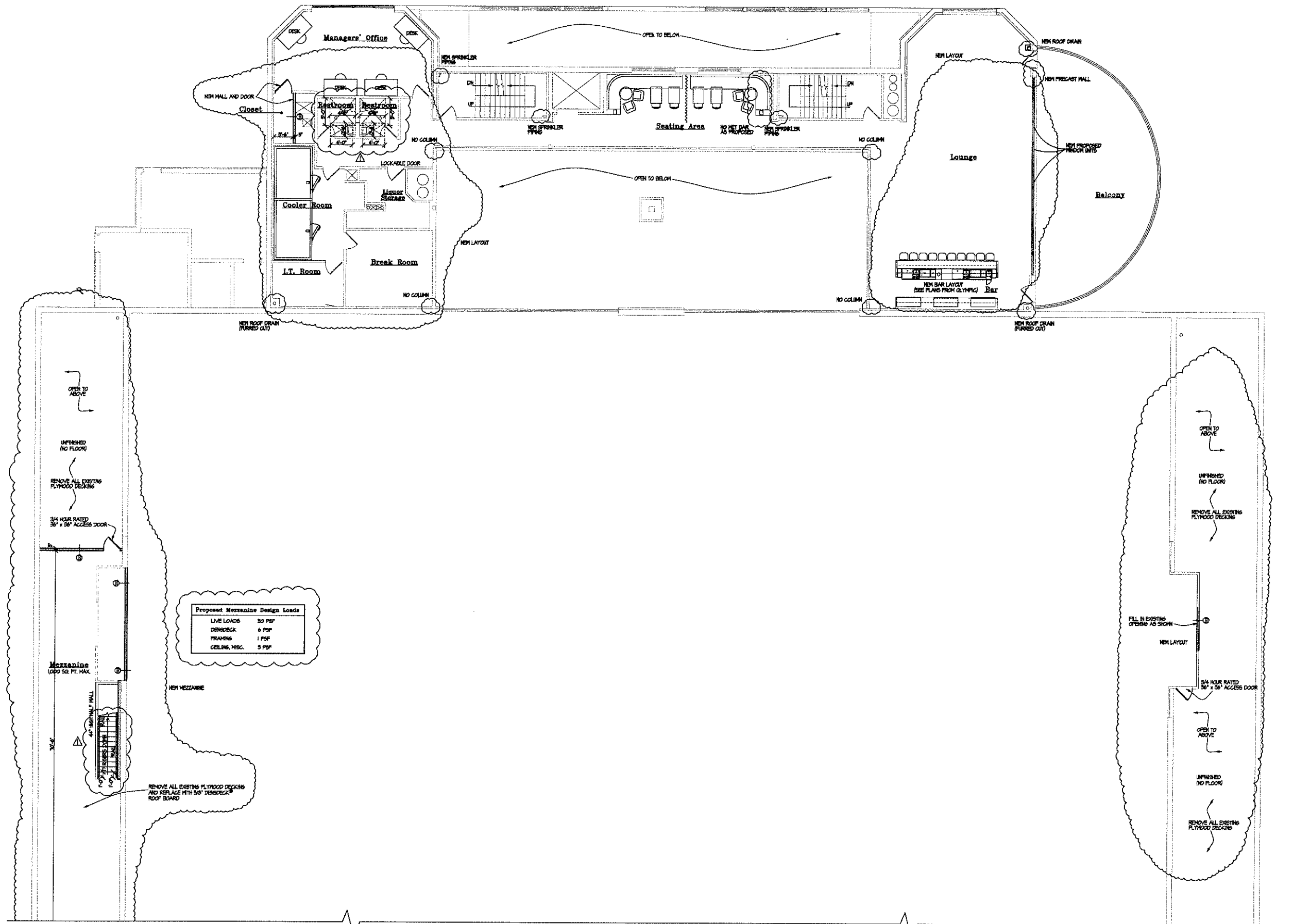
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A-3

3 OF 8 SHEETS

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Second Floor Plan

Continued on Next Sheet



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As-Built Drawings of
Compass Arena

625 Juliet Road
Millbrook, Illinois

File No: 14-2621 Date: 10-15-14

Checked: RJK Drawn: WJH

REVISIONS	DATE	DESCRIPTION
1	10-15-14	ISSUED FOR PERMIT
2	10-15-14	ISSUED FOR PERMIT
3	10-15-14	ISSUED FOR PERMIT
4	10-15-14	ISSUED FOR PERMIT
5	10-15-14	ISSUED FOR PERMIT
6	10-15-14	ISSUED FOR PERMIT
7	10-15-14	ISSUED FOR PERMIT
8	10-15-14	ISSUED FOR PERMIT
9	10-15-14	ISSUED FOR PERMIT
10	10-15-14	ISSUED FOR PERMIT

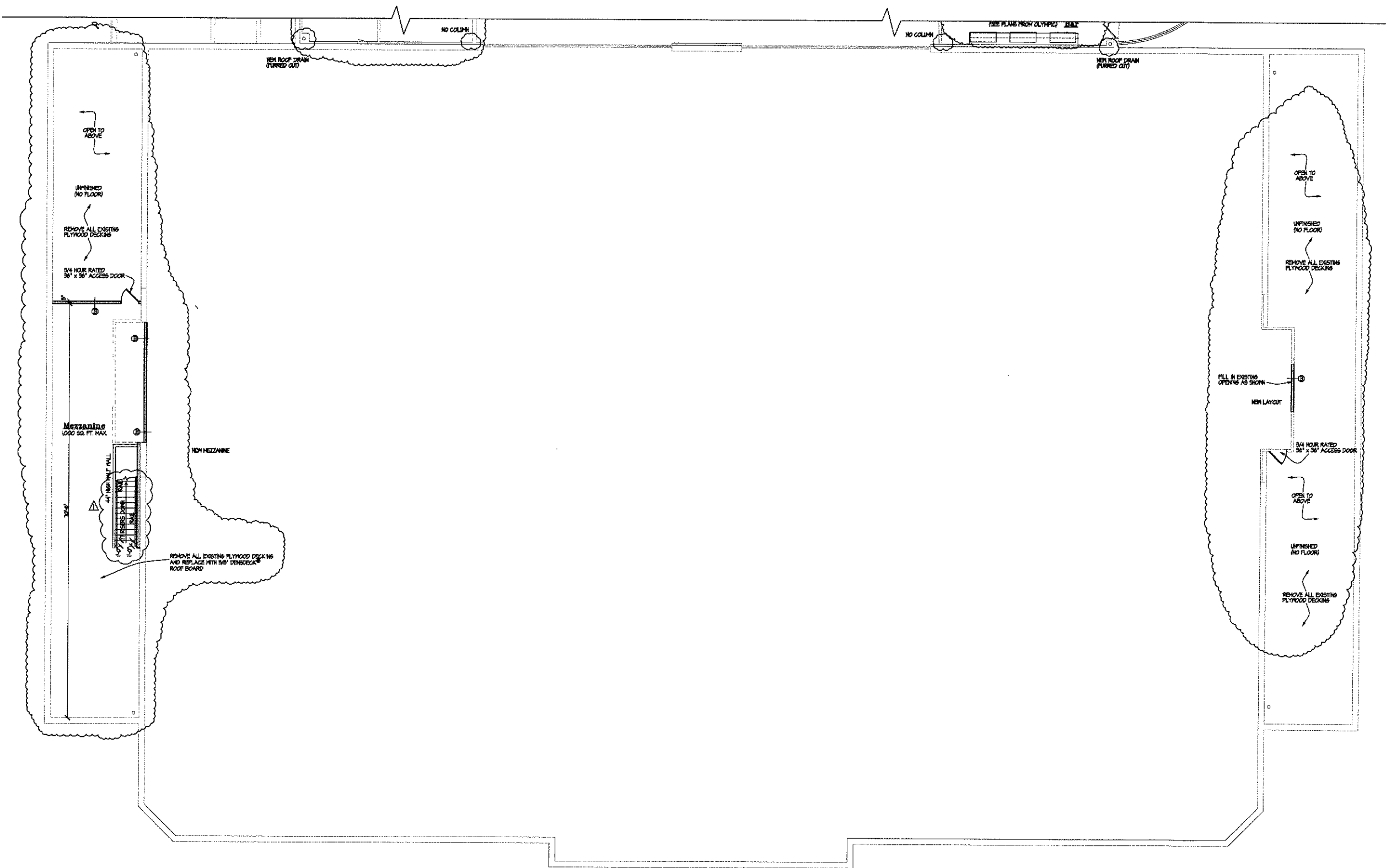
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SHEET NO:

A-4

4 OF 8 SHEETS

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WALL LEGEND	
	NEW INTERIOR PARTITION WALL
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED

Second Floor Plan
Continued



Scale: 1/8"=1'-0"



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As-Built Drawings of
Compass Arena

625 Juliet Road
Niles, Illinois

File No: 19-2621 Date: 10-15-19

Checked: R.M.K. Drawn: M.J.H.

CODE	REVISION	DATE	BY	APP
1	1	10-15-19	M.J.H.	
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6	6	10-15-19	M.J.H.	
7	7	10-15-19	M.J.H.	
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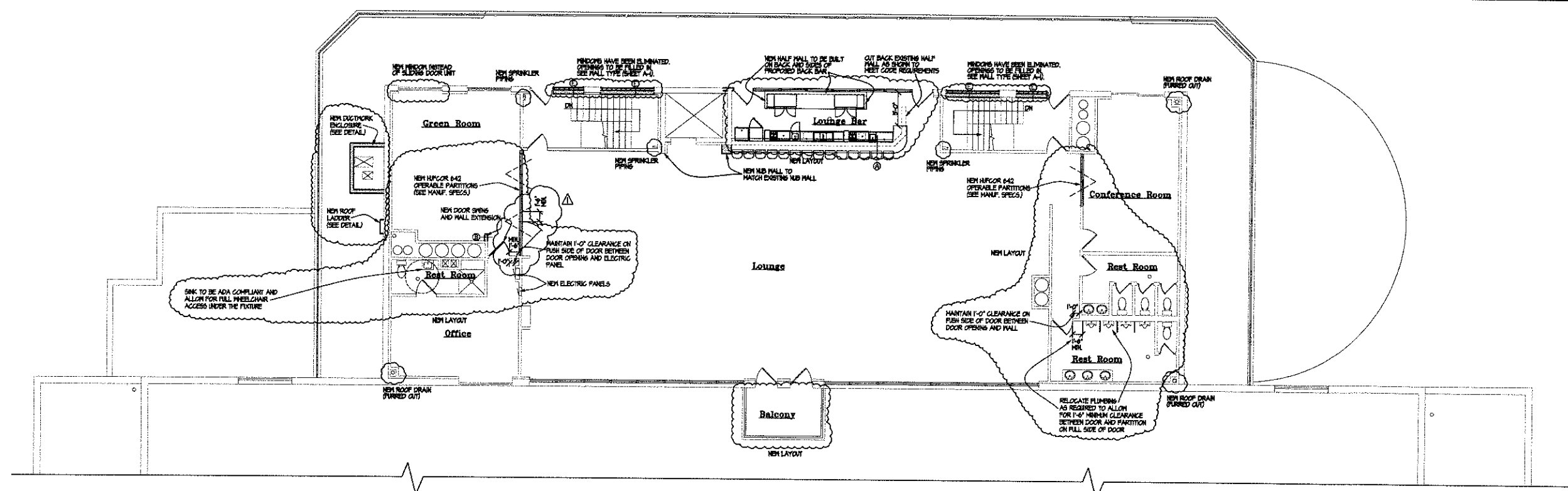
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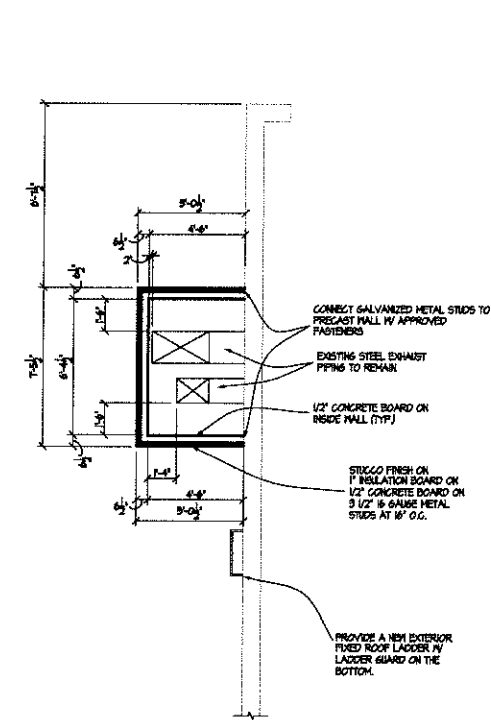
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5 OF 8 SHEETS

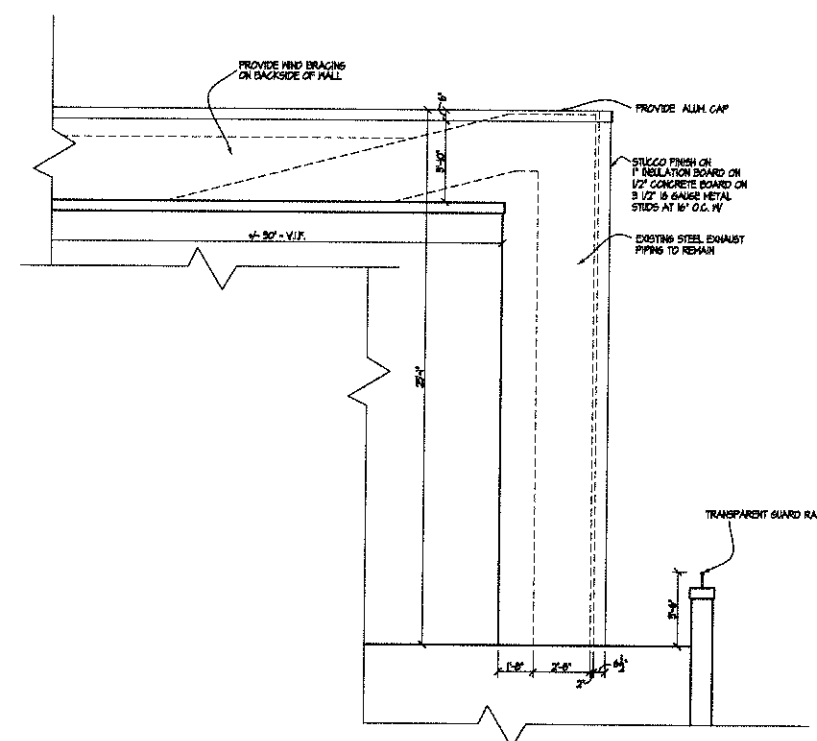
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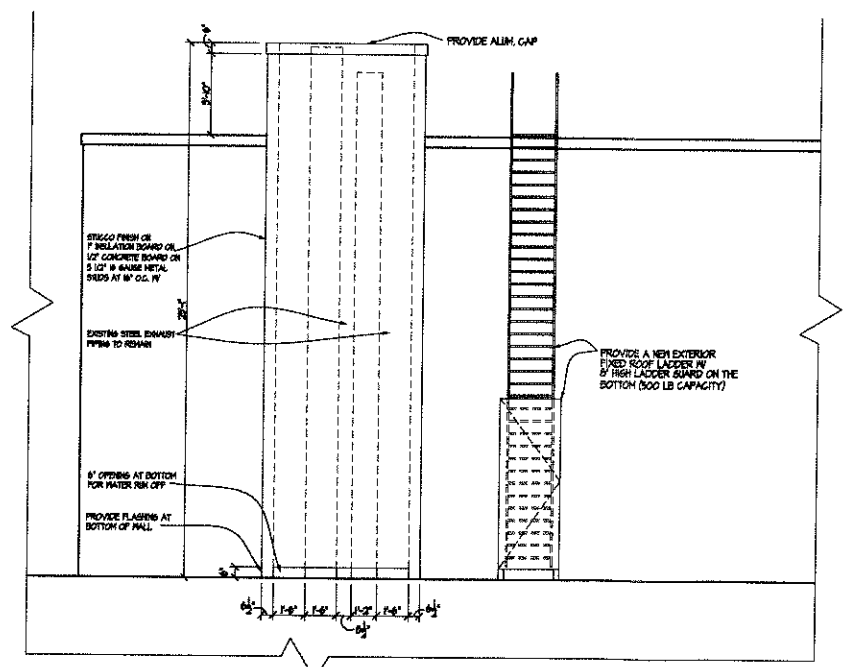
Third Floor Plan
Scale: 1/8"=1'-0"



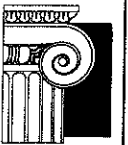
Hood Ductwork Plan
Scale: 1/4"=1'-0"



North Elevation of Hood
Ductwork Screening Detail
Scale: 1/4"=1'-0"



West Elevation of Hood
Ductwork Screening Detail
Scale: 1/4"=1'-0"



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Compass Arena

625 Jelliet Road
Morton, Illinois

File No: 14-2621 Date: 10-15-14

Checked: RJK Drawn: M.J.H.

CODE	DESCRIPTION	REVISION	DATE
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2	14-2621	2	10-15-14
3	14-2621	3	10-15-14
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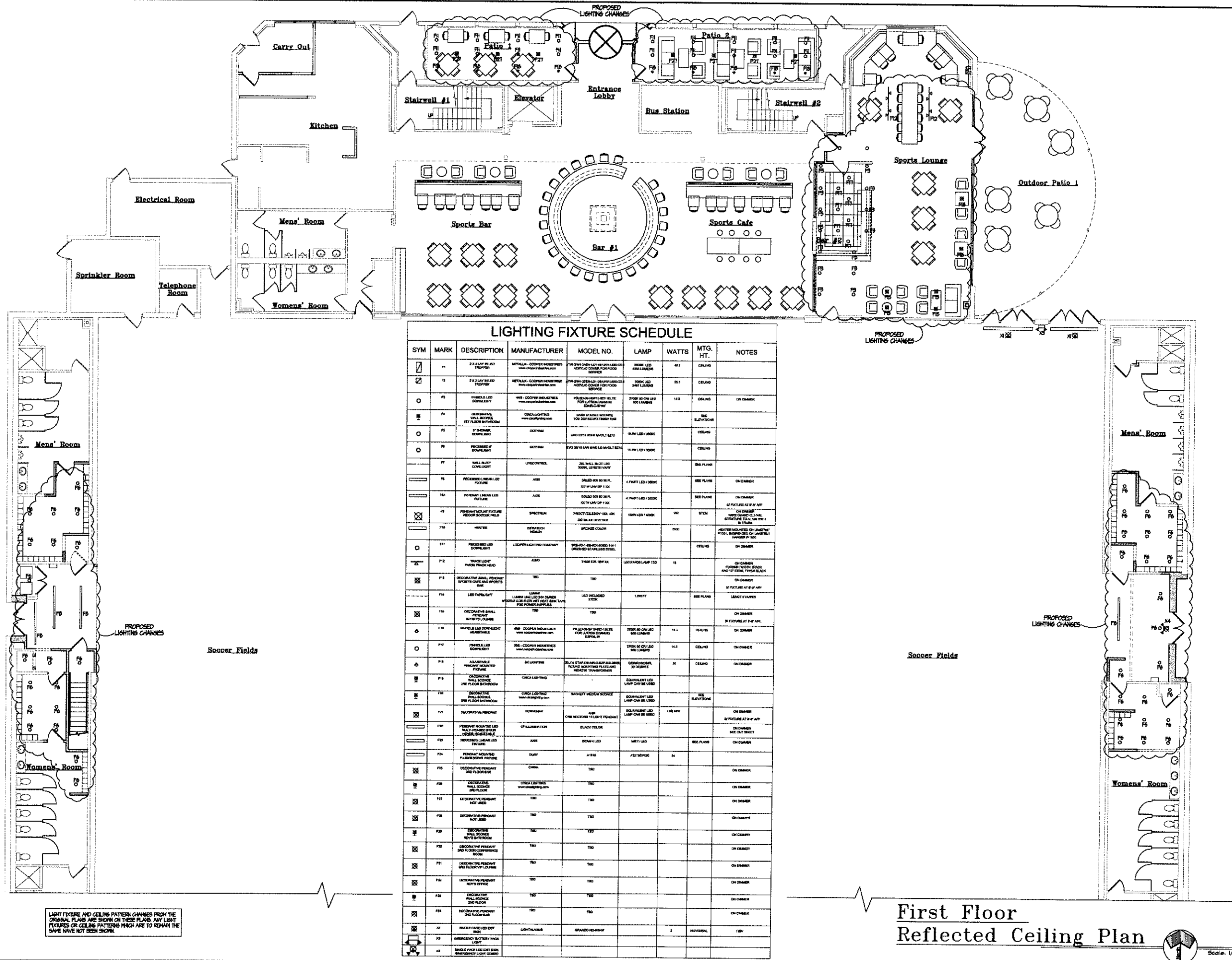
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6 OF 8 SHEETS

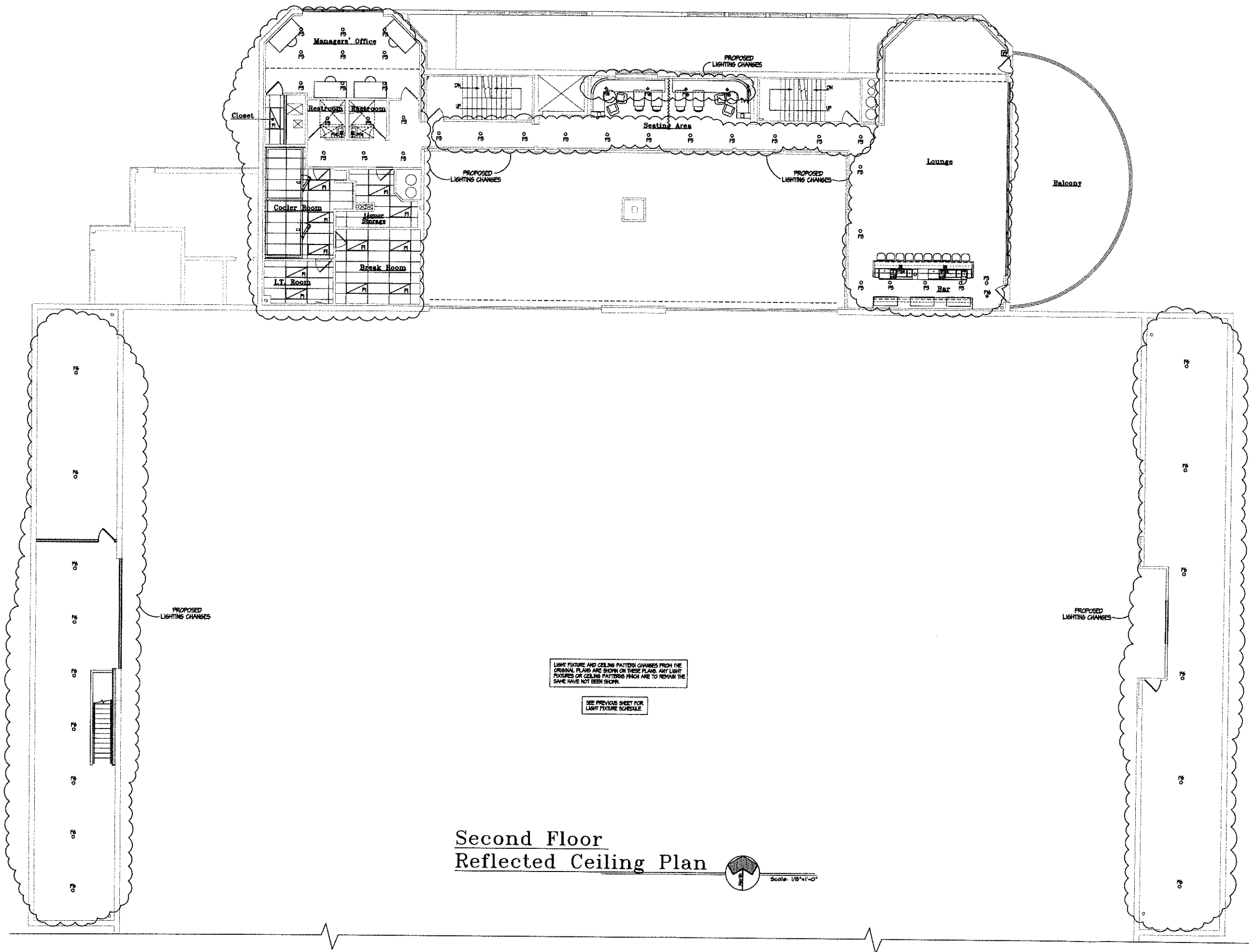
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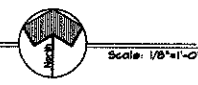
LIGHT FIXTURE AND CEILING PATTERN CHANGES FROM THE ORIGINAL PLANS ARE SHOWN ON THESE PLANS. ANY LIGHT FIXTURES OR CEILING PATTERNS WHICH ARE TO REMAIN THE SAME HAVE NOT BEEN SHOWN.

First Floor Reflected Ceiling Plan

Scale: 1/8"=1'-0"



Second Floor
Reflected Ceiling Plan



LIGHT FIXTURE AND CEILING PATTERN CHANGES FROM THE ORIGINAL PLANS ARE SHOWN ON THESE PLANS. ANY LIGHT FIXTURES OR CEILING PATTERNS WHICH ARE TO REMAIN THE SAME HAVE NOT BEEN SHOWN.

SEE PREVIOUS SHEET FOR LIGHT FIXTURE SCHEDULE.



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As-Built Drawings of
Compass Arena

625 Joliet Road
Nilesbrook, Illinois

File No: 19-2621 Date: 10-15-14

Checked: R.M.K. Drawn: M.J.H.

CODE	DESCRIPTION	DATE	BY
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2-1	2-1	2-1	2-1
3-1	3-1	3-1	3-1
4-1	4-1	4-1	4-1
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6-1	6-1	6-1	6-1
7-1	7-1	7-1	7-1
8-1	8-1	8-1	8-1
9-1	9-1	9-1	9-1
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SHEET NO:

A-7

1 OF 8 SHEETS

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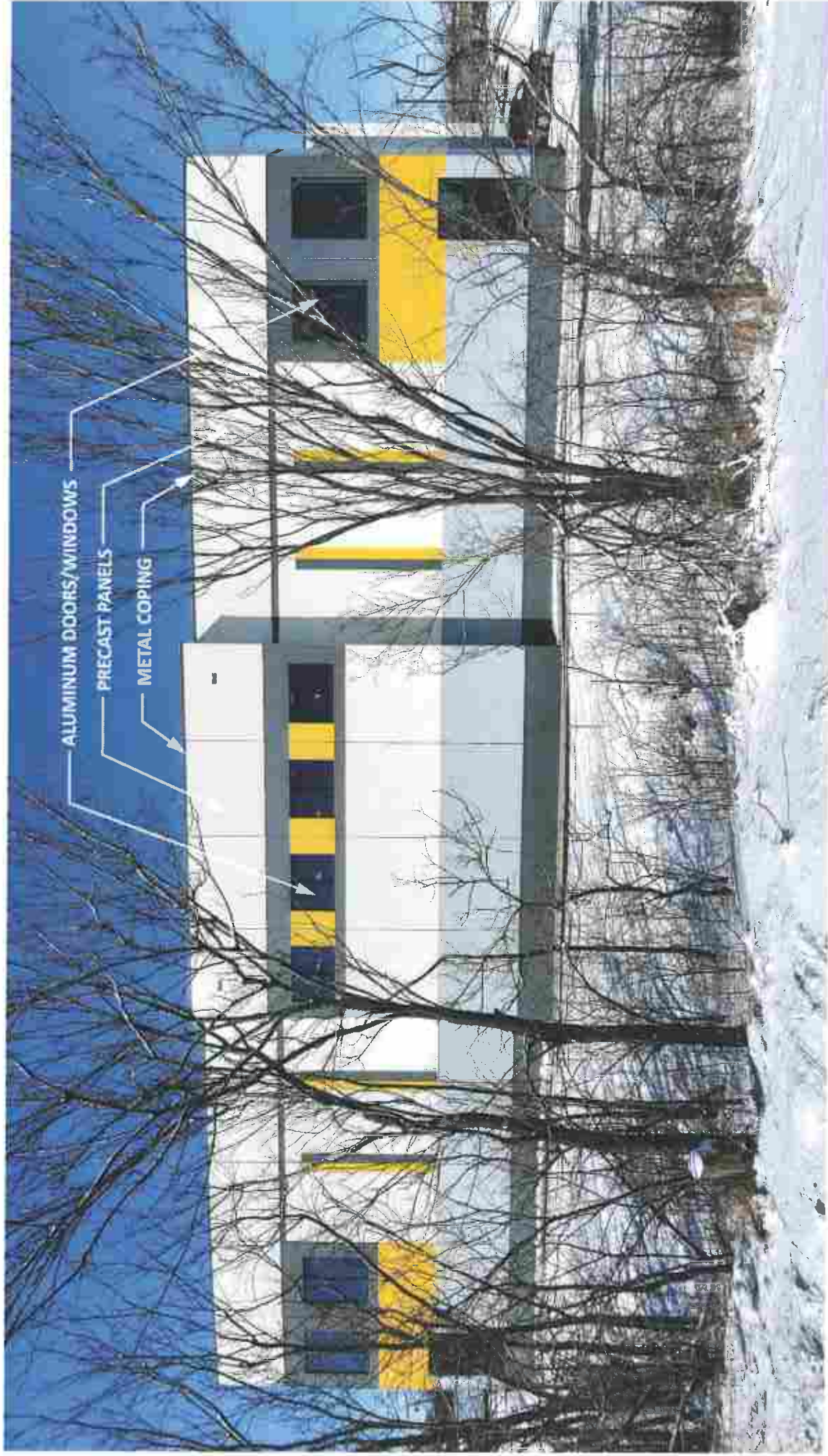
SEE PREVIOUS SHEET FOR
LIGHT FIXTURE SCHEDULE



Attachment 6
Elevations (Site Photos 8 pages)



FRONT (NORTH) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



REAR (SOUTH) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



LEFT (EAST) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



RIGHT (WEST) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



Attachment 7
Foundation As-Built Survey (1 Sheet)

FOUNDATION AS-BUILT SURVEY

OF LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE 11TH PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT NUMBER R2001-007980, IN DUPage COUNTY, ILLINOIS. RE-RECORDED MARCH 20, 2002 AS DOCUMENT NUMBER R2002-078679, IN DUPage COUNTY, ILLINOIS.

INGRESS & EGRESS EASEMENT PER DOCUMENT R2001-007980 RECORDED JANUARY 12, 2001. NOTE: THE GEOMETRICS OF THE EASEMENT SHOWN APPROXIMATES THAT AREA WHICH IS CROSS-HATCHED UPON THE SUBJECT PROPERTY AS SHOWN PER "EXHIBIT C: SITE PLAN" OF THE ABOVE RECORDED DOCUMENT. NO DIMENSIONS OF THE EASEMENT OR ITS LOCATION REFERENCED TO THE BOUNDARY LINES OF THE SUBJECT PROPERTY ARE SHOWN UPON "EXHIBIT C: SITE PLAN" OF SAID RECORDED DOCUMENT.

SOUTHEASTERN RIGHT-OF-WAY LINE OF JOLIET ROAD ACCORDING TO PLAT OF DEDICATION RECORDED APRIL 16, 1984 IN BOOK 23 OF PLATS ON PAGE 81 AS DOC. NO. 808885

SITE BENCHMARK
KEY SONNET BOLT
OF FIRE HYDRANT
ELEVATION = 714.14

LOT 2
3.657 Acres

FOUNDATION

INTERSTATE ROUTE 55



State of Illinois } S.S.
County of Will }
I, SEAN T. KRISCH, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
Given under my hand and seal at Plainfield, Illinois, this 22nd day of March A.D. 2018.

Sean T. Krisch
Sean T. Krisch Illinois Professional Land Surveyor No. 35-3082.
My License Expires November 30, 2018.
Refer to deed or guarantee policy for building line restrictions and easements with relation to plat of survey.
Compare description and points between building and report any apparent difference to the surveyor at all times.
This survey and plat of survey are void without our embossed surveyor seal shown hereon.
No dimensions are to be assumed by scaling.



1527.67' (Deed)

SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26-38-11

KRISCH LAND SURVEYING LLC
P.O. Box 925 PLAINFIELD, IL 60544-0929
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www.krishchlandsurveying.com
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No.	Date	Revision Description	By

PREPARED FOR:
COMPASS REAL ESTATE HOLDINGS, LLC
15200 N. FARMHOUSE ROAD
BLOOMINGDALE, IL 60017

PROJECT:
FOUNDATION AS-BUILT SURVEY
COMPASS ARENA
335 JOLIET ROAD
WILLOWBROOK, IL 60097

PROJECT NO.:
DATE: 03/22/2018
DRAWN BY: SK
CHECKED BY: SK
DATE: 03/22/2018
SHEET: 1 OF 1
TYPED BY: SK



Attachment 8
Amended Final Plat of PUD (2 Sheets)

AMENDED
Final Plat Of

COMPASS ARENA PLANNED UNIT DEVELOPMENT

BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,
LYING SOUTH OF THE PUBLIC HIGHWAY KNOWN AS THE CHICAGO AND JOLIET ROAD LYING NORTH OF THE NORTHWESTERLY RIGHT-OF-WAY
LINE OF F.A.I. ROUTE 55, IN DUPAGE COUNTY, ILLINOIS.
P.I.N.: 09-26-401-005

INGRESS & EGRESS EASEMENT PER DOCUMENT
R2001-007880 RECORDED JANUARY 12, 2001.
NOTE: THE GEOMETRICS OF THE EASEMENT SHOWN
APPROXIMATES THAT AREA WHICH IS CROSS-HATCHED
UPON THE SUBJECT PROPERTY AS SHOWN PER
"EXHIBIT C: SITE PLAN" OF THE ABOVE RECORDED
DOCUMENT. NO DIMENSIONS OF THE EASEMENT OR
ITS LOCATION REFERENCED TO THE BOUNDARY
LINES OF THE SUBJECT PROPERTY ARE SHOWN
UPON "EXHIBIT C: SITE PLAN" OF SAID
RECORDED DOCUMENT.

SOUTHEASTERLY RIGHT-OF-WAY LINE OF JOLIET
ROAD ACCORDING TO PLAT OF DEDICATION
RECORDED APRIL 18, 1940 IN BOOK 23 OF
PLATS ON PAGE 81 AS DOC. NO. 409845

S. QUINCY STREET
1/2 MILE ROW

JOLIET

ROAD

LOT 2
3.657 Acres

Tall Precast Panel
Building
(Dimensions & Ties Taken to Outside Face of Precast Panels)
1/7thrd = 734.91

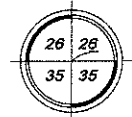
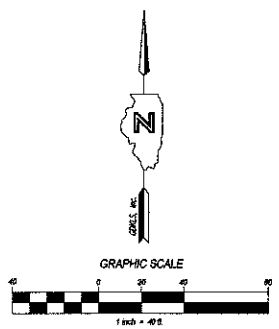
INTERSTATE ROUTE 55

P.U.D. SITE DATA TABLE:

SITE:
LOT AREA = 159,324 S.F. (3.657 ACRES)
TOTAL BUILDING AREA = 38,350 S.F.
FLOOR AREA RATIO = 0.2407

TOTAL PARKING PROVIDED: 175 SPACES

SOUTH WEST CORNER	10
EAST PL	11
NORTH AISLE + H.C.	32
CENTER AISLE	56
SOUTH AISLE	60
TOTAL SPACES PROVIDED + H.C.	169



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www.krishlandsurveying.com
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KRISCH
LAND SURVEYING LLC

No.	Date	Revision Description	By
4)	02/17/20	Amended P.U.D. Plat	STK
3)	02/20/18	Add Municipal Easement Provisions	STK
2)	01/30/18	Add Utility Easement to B-box Wall	STK
1)	12/12/16	Per Village Review & Comment	STK

PREPARED FOR:
COMPASS REAL ESTATE HOLDINGS, LLC
16W680 N. FRONTAGE ROAD
BURR RIDGE, IL 60527

PROJECT:
COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, IL 60527

PROJECT
18-085
CAD NAME
18-085_P.U.D.dwg
SCALE
1" = 40'
SHEET
1 of 2
DRAWN BY
STK

AMENDED

Final Plat Of

COMPASS ARENA PLANNED UNIT DEVELOPMENT

BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE PUBLIC HIGHWAY KNOWN AS THE CHICAGO AND JOLIET ROAD LYING NORTH OF THE NORTHWESTERLY RIGHT-OF-WAY LINE OF F.A.I. ROUTE 55, IN DUPAGE COUNTY, ILLINOIS.
P.L.N.: 09-26-401-005

SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

THIS IS TO CERTIFY THAT I, SEAN T. KRISCH, ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3082, HAVE SURVEYED AND PLATTED THE PLANNED UNIT DEVELOPMENT DESCRIBED AS FOLLOWS:

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT NUMBER R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT NUMBER R2002-078675, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE FOREGOING DESCRIBED PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WILLOWBROOK, WHICH HAS ADOPTED AN OFFICIAL PLAN.

THE PROPERTY DESCRIBED HEREIN FALLS WITHIN ZONE "X" DEFINED AS AN AREA TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FRM), MAP NUMBER 17043C0909H (VILLAGE OF WILLOWBROOK COMMUNITY PANEL NUMBER 170222 0909 H), EFFECTIVE DATE OF DECEMBER 16, 2004.

GIVEN UNDER MY HAND AND SEAL AT PLAINFIELD, ILLINOIS, THIS 17th DAY OF FEBRUARY A.D., 2020.

SEAN T. KRISCH
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3082
MY LICENSE EXPIRES NOVEMBER 30, 2020.



OWNERS CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT THEY HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____ A.D. 2020.

NOTARY CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D.

2020, AT _____, ILLINOIS.

NOTARY PUBLIC

RECORDER OF DEEDS CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

THIS INSTRUMENT No. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS AFORESAID ON THE _____ DAY OF _____ A.D. 2020, AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

COUNTY CLERK CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLANNED UNIT DEVELOPMENT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS,

THIS _____ DAY OF _____ A.D. 2020.

COUNTY CLERK

PLAN COMMISSION CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS THIS _____ DAY

OF _____ A.D. 2020.

CHAIRMAN

BOARD OF TRUSTEES CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY,

ILLINOIS AT A MEETING HELD THIS _____ DAY OF _____ A.D. 2020.

By: _____ PRESIDENT

Attest: _____ VILLAGE CLERK

SPECIAL ASSESSMENT CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

I, _____, VILLAGE CLERK OF THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY

OF _____ A.D. 2020.

VILLAGE CLERK

VILLAGE ENGINEER'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT THE PUBLIC IMPROVEMENTS FOR THIS PLANNED UNIT DEVELOPMENT AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREOF, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY

OF _____ A.D. 2020.

VILLAGE ENGINEER

SURFACE WATER DRAINAGE CERTIFICATE:

WE CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE PLAT ACT, 765 ILCS ACT 205, AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED THIS _____ DAY OF _____ A.D. 2020.

REGISTERED PROFESSIONAL ENGINEER

LICENSE No. _____

OWNER(S) OR DULY AUTHORIZED ATTORNEY

SCHOOL DISTRICT CERTIFICATE:

THIS IS TO CERTIFY THAT I, _____, AS OWNER OF THE PROPERTY DESCRIBED AS COMPASS ARENA PLANNED UNIT DEVELOPMENT AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH PLANNED UNIT DEVELOPMENT IS SITUATED WITHIN.

ELEMENTARY SCHOOL DISTRICT
DISTRICT 62

HIGH SCHOOL DISTRICT
DISTRICT 86

DATED THIS _____ DAY OF _____ A.D. 2020.

PROPERTY OWNER

STATE OF ILLINOIS)
COUNTY OF) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D.

2020, AT _____, ILLINOIS.

NOTARY PUBLIC

UTILITY EASEMENT PROVISIONS

ALL EASEMENTS FOR SERVING THE SUBDIVISION AND OTHER PROPERTY INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT ON THIS PLAT ARE HEREBY RESERVED FOR, AND GRANTED TO THE VILLAGE OF WILLOWBROOK, AND TO UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, AMERITECH, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN, RENEW, RELOCATE, AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH STORMWATER, SANITARY SEWER AND ANY OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE IN, UNDER, ACROSS, ALONG, AND UPON THE SURFACE OF THE PROPERTY BOUNDED BY THE LOT LINES AND DOTTED LINES ON THE PLAT MARKED AS SUCH EASEMENTS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVISION PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY BOUNDED BY THE LOT LINES AND DOTTED LINES MARKED EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. THE ABOVE DESCRIBED EASEMENT PROVISIONS ALSO APPLY TO THOSE PUBLIC COMMUNICATION SYSTEMS UNDER FRANCHISE TO THE VILLAGE OF WILLOWBROOK.

MUNICIPAL UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES ON THIS PLAT AND INDICATED AS MUNICIPAL UTILITY EASEMENT AND/OR MUNICIPAL UTILITY AND DRAINAGE EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF POTABLE WATER AND STORMWATER, INCLUDING ANY AND ALL GRADING AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL, REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEES' OTHER RIGHTS PROVIDED HEREIN.

STORMWATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNER OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

A PERPETUAL EASEMENT FOR STORMWATER DETENTION AND DRAINAGE PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN, OVER, UNDER, THROUGH, AND UPON THE AREAS MARKED DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT AS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT OF SUBDIVISION. SAID GRANT OF EASEMENT SHALL INCLUDE THE RIGHT TO KEEP, MAINTAIN, CONSTRUCT, IMPROVE, REPAIR AND/OR REPLACE DRAINAGE FACILITIES AND APPURTENANCES THEREIN IN, OVER, UNDER, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THOSE PURPOSES.

THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS UPON SUCH LOT, AND NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPEDIE OR DIMINISH STORMWATER DRAINAGE OR DETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT DUTY, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATION ARE CORRECTED.

EASEMENT PROVISIONS
NORTHERN ILLINOIS GAS COMPANY

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON COMPANY
AND
AMERITECH, GRANTEES,

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN, AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS IN, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DOTTED LINES ON THE PLAT AND MARKED "EASEMENT", THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS A "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DOTTED LINES MARKED "EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THAT MEANING SET FORTH FOR SUCH TERM IN 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS, "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING AND COMMON AREA", THE TERMS "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT, RELOCATION OF FACILITIES WILL BE DONE BY GRANTEES AT COST OF GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

KRISCH LAND SURVEYING LLC

P.O. Box 929 PLAINFIELD, IL 60544-0929
PHONE: 618-454-4384
www.krischlandsurveying.com
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Amended P.U.D. Plat	STK	By:
4.) 02.17.20	STK	
3.) 02.20.18	STK	
2.) 01.30.18	STK	
1.) 12.12.16	STK	
No.	Date	Revision Description

PREPARED FOR:
COMPASS REAL ESTATE HOLDINGS, LLC
159580 N. FRONTAGE ROAD
BURR RIDGE, IL 60527

PROJECT:
COMPASS ARENA
685 JOLIET ROAD
WILLOWBROOK, IL 60527

PROJECT NAME 15-085 P.U.D. Plat	SCALE 1"=40'	SHEET 2 of 2	DRAWN BY STK
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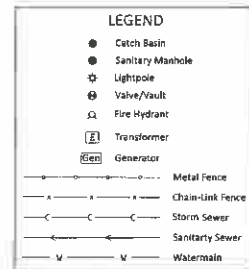
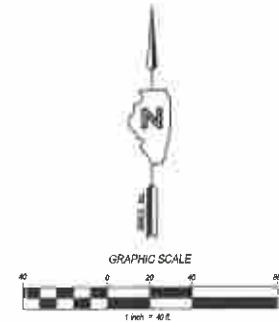


Attachment 9
Parking Grade As-Built Survey (1 Sheet)

OF LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT NUMBER R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT NUMBER R2002-07B679, IN DuPAGE COUNTY, ILLINOIS.

SOUTHEASTERNLY RIGHT-OF-WAY LINE OF JOULET
ROAD ACCORDING TO PLAT OF DEDICATION
RECORDED APRIL 18, 1940 IN BOOK 22 OF
PLATS ON PAGE 21 IN 200. NO. 409945

SITE BENCHMARK:
NEW BONNET BOLT
OF FIRE HYDRANT
ELEVATION = 714.14



Tall Precast Panel Building
T/Fnd.=714.91 / F/Pt.=715.9

I, SEAN T. KRISCH, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

Given under my hand and seal at Plainfield, Illinois, this 18th day of February A.D. 2020.

Sean T. Krisch Illinois
Professional Land Surveyor No. 35-3082.
My License Expires November 30, 2020.

STORM STRUCTURE AS-BUILT DATA						
Structure #	Size	Rem. (As-Blt)	Inv. (1991)	Inv. (As-Blt)	Notes	
A2	24" Inlet	714.00	714.10	713.00		
A4	48" Catch Basin O.L.	714.00	714.56	710.52	710.56	
B1A		N/A	N/A	710.45	N/A	
S1A	24" Inlet	714.00	713.89	711.00	710.39	
S1B		N/A	N/A	711.12	N/A	
C1	24" Inlet	714.00	713.15	711.00	710.15	
C2	36" Manhole O.L.	714.00	714.05	710.28	710.35	
C3	48" Manhole O.L.	714.00	713.85	710.01	709.85	
C4	48" Catch Basin O.L.	714.20	714.15	711.00 S.E.	710.86	
				709.75	709.78	
STC		N/A	N/A	709.86	N/A	
S1C		715.18	715.23	706.75	N/A	
S1D		716.10	715.92	706.75	N/A	
S1E		715.68	716.11	706.75	N/A	
S1F		714.00	716.85	706.75	N/A	
S1S		716.00	716.09	706.75	N/A	
S1T		716.00	717.88	709.75	N/A	
J1	12" FES w/ Grate			709.50		
D1	24" Inlet	714.15	714.07	711.06 S.E.	710.92	
D2	48" Catch Basin O.L.	714.05	714.14	711.00 S.E.	Not Visible	
	(See Inspector MHI)			710.18		
				710.85 S.E. FWC	710.54	
				(w/ 2.5" Rain Pipe)		
O3	48" Manhole O.L.	713.90	713.99	711.00 S.W.	Not Visible	
USA	36" Manhole O.L.	714.15	714.14	710.13	710.09	
				709.99	709.34	
D4	48" Catch Basin O.L.	714.00	714.00	711.00 S.W.	711.40	
				709.64	709.75	
S1D		N/A	N/A	709.75	N/A	
	Exit-Tree Structure		709.67	707.69	706.57	
K1	24" Inlet	713.85	713.74	712.00	711.74	
K2	48" Manhole O.L.	713.85	713.84	712.45	711.80	
K3	40" Catch Basin O.L.	713.75	713.57	712.02	N/A	
K4	12" FES w/ Grate			711.00	Water-filled	

KRISCH LAND SURVEYING LLC
P.O. Box 526 PLAINFIELD, IL 60544-0026
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www.krischlandsurveying.com
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COMPASS REAL ESTATE HOLDINGS, LLC
10900 M. PROFFER ROAD
BURN HOVE, N. 02027

**AS-BUILT SURVEY
COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, IL 60527**

PROJECT	15-085
CAD NAME	9-085_Asbldwg
SCALE	1" = 40'
SHEET	1 of 1
DRAWN BY	STK



Attachment 10
Site/Utility As-Built Survey (1 Sheet)



Attachment 11
Landscape Plan

(January 29, 2020 plant list)

PLANT LIST

ID QTY SIZE (AT INSTALLATION)

TREES
A 3 3"
B 4 2 1/2"
C 3 2 1/2"
D 9 2 1/2"
E 5 3"

DESCRIPTION
A: Aconitum (Aconitum) 'Mortoni'
B: Aconitum (Aconitum) 'Mortoni'
C: Aconitum (Aconitum) 'Mortoni'
D: Aconitum (Aconitum) 'Mortoni'
E: Aconitum (Aconitum) 'Mortoni'

EVERGREEN TREES

F 27 6"

DESCRIPTION
F: American Arborvitae (Thuja occidentalis) Full skirt specimen trees only

ORNAMENTAL TREES

J 4 8"

K 8 7"

L 9 7"

M 1 7"

N 14 5"

DESCRIPTION
J: Flame Amur Maple (Acer ginnala) 'Flame'
K: Profusion Crabapple (Malus 'Profusion')
L: Zuni Crabapple (Malus 'Zuni')
M: Eastern Redbud (Cercia canadensis)
N: Prince William Serviceberry (Amelanchier x grandiflora 'Prince William')

SHRUBS

O 6 36" (removed)

P 24 4"

Q 17 24"

R 445 16"

S 82 3 gal.

T 13 18"

DESCRIPTION
O: Compact Burning Bush (Euonymus alatus 'Compactus')
P: Cheyenne Privet (Ligustrum vulgare 'Cheyenne')
Q: Dense Yew (Taxus x media 'Densiformis')
R: Gro-low Sumac (Rhus aromatica 'Gro-low')
S: Red Knock Out Rose (Rosa 'Radrazz')
T: Annabelle Hydrangea (Hydrangea aborescens 'Annabelle')

PERENNIALS

U 77 1 gal.

V 54 1 gal.

W 98 1 gal.

X 146 1 gal.

Y 50 1 gal.

Z 90 1 gal.

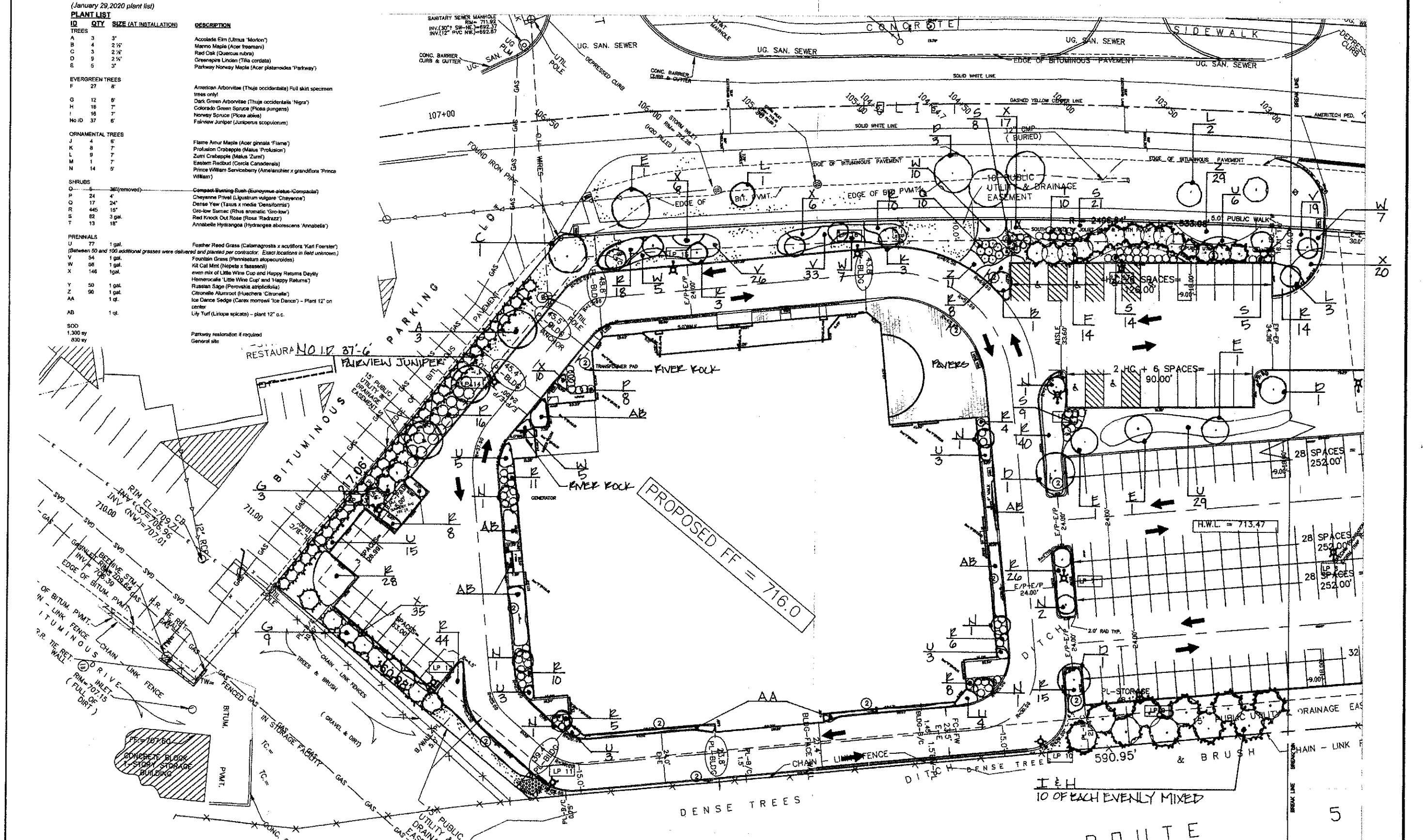
AA 1 qt.

AB 1 qt.

DESCRIPTION
U: Feather Reed Grass (Calamagrostis x acutiflora 'Karl Foerster')
V: Between 50 and 100 additional grasses were delivered and planted per contractor. Exact locations in field unknown.
W: Fountain Grass (Pennisetum alopecuroides)
X: Kit Cat Mint (Nepeta x faassenii)
Y: even mix of Little Wisp Cup and Happy Returns Daylily
Z: Homocaulis 'Little Wisp Cup' and 'Happy Returns'
AA: Russian Sage (Perovskia atriplicifolia)
AB: Citronelle Alumroot (Hueschera 'Citronelle')
AC: Ice Dance Sedge (Carex morrowii 'Ice Dance') - Plant 12" on center
AD: Lily Turf (Lilium spicata) - plant 12" o.c.

Parade restoration if required

General site



LANDSCAPE ARCHITECT:
Robert Fleck
218 N. Warwick Ave.
Westmont, IL 60559

LEGEND

- = FOUND IRON PIPE (F.I.P.)
- = SET IRON PIPE
- = CONCRETE MONUMENT
- = TOP OF FOUNDATION
- = TOP OF CURB
- = UTILITY AND DRAINAGE EASEMENT
- = PUBLIC UTILITY EASEMENT
- = UTILITY EASEMENT
- = EXISTING GRADES
- = PROPOSED GRADES

REVISIONS

18	REMOVED ADA RAMP AND SIDEWALK BUILDING 8-27-19
20	REVISED NO PARKING SIGNS PER FIRE DEPT. 12-22-19

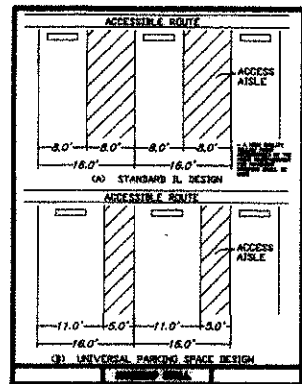
COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL

FINAL
LANDSCAPE PLAN
January 29, 2020

CLIENT:
COMPASS REAL ESTATE HOLDINGS LLC
15W580 N. FRONTAGE RD.
BURR RIDGE ILLINOIS 60527
CONTACT: MARIO MAGLIANO
PHONE: 630-788-4934

PROJECT NO. 071014
DATE 07-10-14
SCALE 1" = 20'
DESIGNED BY
DRAWN BY
CHECKED BY

SHEET
1
OF
2

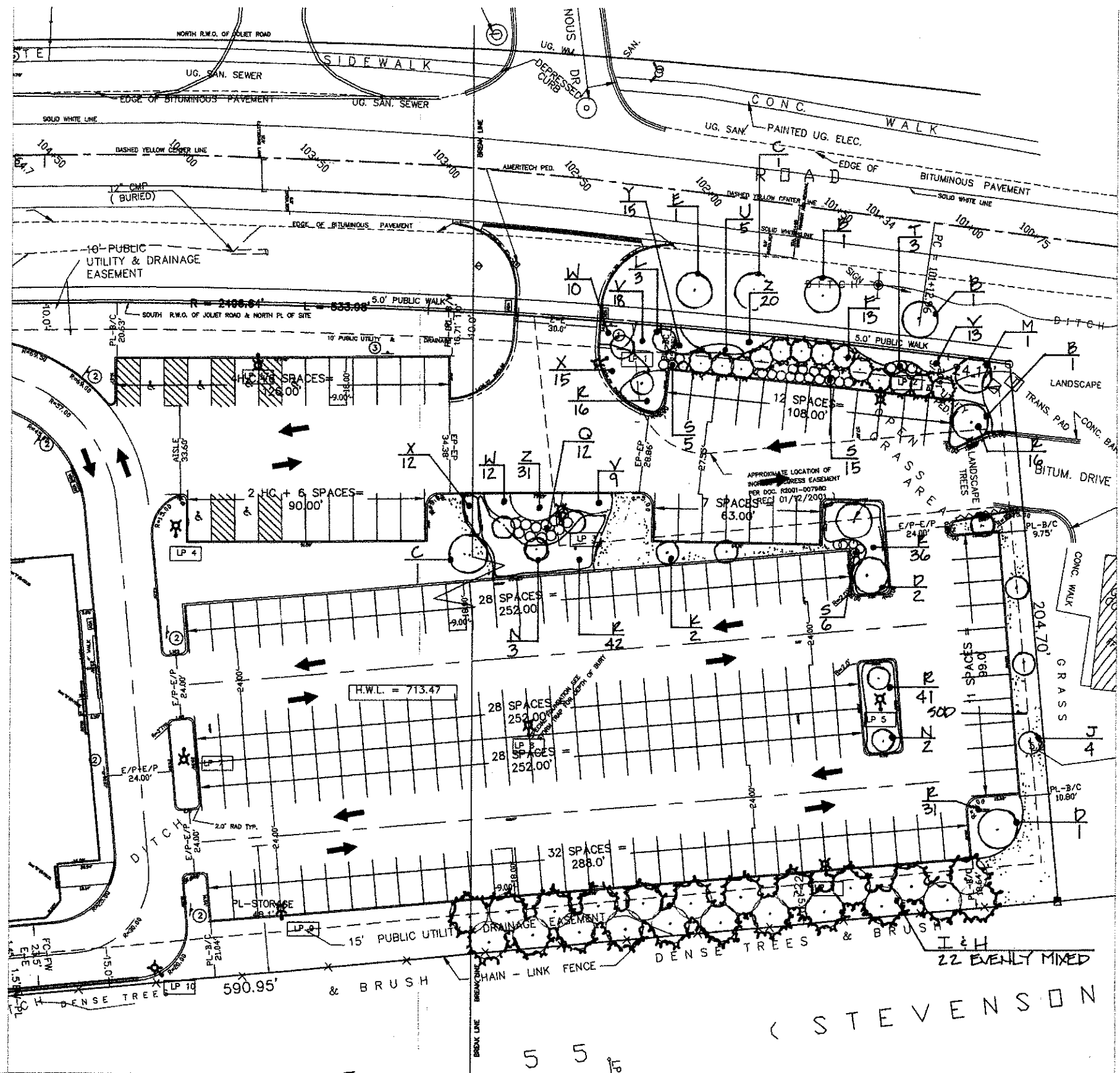


SIGNS

- 1 STOP R1-1 STOP
- 2 NO PARKING R8-3 NO PARKING 12" X 18"
- 3 EXPOSED

PARKING PROVIDED 180 SPACES

SOUTH WEST CORNER	10	
EAST PL	11	
NORTH AISLE + H.C.	31	6
CENTER AISLE	56	
SOUTH AISLE	60	
TOTAL SPACES PROVIDED + H.C.	168	6



LANDSCAPE ARCHITECT:
Robert Fleck
218 N. Warwick Ave.
Westmont, IL 60559

LEGEND
O = FOUND IRON PIPE (F.I.P.)
S = SET IRON PIPE
C = CONCRETE MONUMENT
TF = TOP OF FOUNDATION
TC = TOP OF CURB
U = U.G. = UTILITY AND ORDNANCE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
U.E. = UTILITY EASEMENT
X = EXISTING SPACES
X = PROPOSED SPACES

REVISIONS

18. REVISED ADA RAMP AND SIDEWALK BUILDING 9-27-16	
30. REVISED NO PARKING SIGN PER FIRE DEPT. 12-23-18	

COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL

FINAL
LANDSCAPE PLAN
January 29, 2020

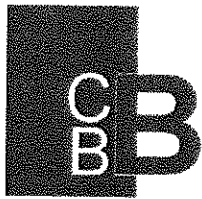
CLIENT:
COMPASS REAL ESTATE HOLDINGS LLC
15W580 N. FRONTAGE RD.
BURR RIDGE ILLINOIS 60527
CONTACT: MARIO MAGLIANO
PHONE: 630-788-4934

PROJECT NO. _____
DATE _____
SCALE 1" = 20'
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____

SHEET
2
OF
2



Attachment 12
Engineering Review Letter (2 pages)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

February 27, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: Compass Events Center
(CBBEL Project No. 900144 H131)

Dear Ann:

As requested on February 20, 2020, we have reviewed the following documents associated with the above project:

1. Amended Final Plat of Compass Arena Planned Unit Development prepared by Krisch Land Surveying, LLC and dated February 17, 2020
2. As-Built Survey for Compass Arena prepared by Krisch Land Surveying, LLC and dated February 18, 2020

It is our understanding that the need for the amended PUD is a result of the building being built in a different configuration than on the original PUD. The site engineering improvements are generally consistent with the original approval. It is our understanding that the Amended PUD Plat is based on actual construction as surveyed by Krisch Land Surveying. We would note that we have not reviewed the revised building or landscape plans (nor do we need to) nor have we reviewed any requests relative to building uses. Finally, please note that the review of the As-Built Survey was with respect to the minimum content required under the Village Code for PUD Plat and should not be considered an approval or acceptance of the as-built survey for construction or development security purposes.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Roy Giuntoli, Village of Willowbrook



Attachment 13
Construction Schedule (2 pages)

COMPASS ARENA – COMPLETED TASKS AND PROJECT SCHEDULE – As of January 24, 2020

1. ARCHITECTURAL, CIVIL ENG., STRUCTURAL ENG., MEP, LANDSCAPE DESIGN	COMPLETED
2. TRAFFIC STUDY, BUSINESS STUDY, TOPAL AND SURVEYING, SOIL TESTS	COMPLETED
3. EXCAVATION, SITE WORK	COMPLETED
4. STORM TRAP INSTALLATION	COMPLETED
5. FOOTINGS, FOUNDATION WALLS	COMPLETED
6. PRECAST BUILDING	COMPLETED
7. STEEL CONSTRUCTION	COMPLETED
8. FLAT WORK, CURBS, GUTTERS, CONCRETE TOPPINGS	COMPLETED
9. SEWER, WATER SERVICE, STORM	COMPLETED
10. STEEL STAIRS, RAILINGS	COMPLETED
11. ROOF	COMPLETED
12. RETAINING WALLS	COMPLETED
13. ROUGH STEEL FRAMING	COMPLETED
14. ROUGH PLUMBING	COMPLETED
15. ROUGH HVAC	COMPLETED
16. ROUGH ELECTRIC	COMPLETED
17. LOW VOLTAGE, ALARMS, CAMERAS WIRING	COMPLETED
18. FIRE ALARM PIPING/WIRING	COMPLETED
19. SPRINKLER SYSTEM	COMPLETED
20. ALL UTILITIES INSTALLED	COMPLETED
21. ALL GLAZING, RAILING SYSTEMS	COMPLETED

22. ALL EXTERIOR DOORS PROVIDED AND INSTALLED	COMPLETED
23. PARKING-ASPHALT,STRIPING	COMPLETED
24. LANDSCAPING	COMPLETED
<u>STARTING MARCH 2,2020</u>	
25. INSULATION , STARTING MARCH 2,2020 -	7 DAYS TO COMPLETE
26. DRYWALL INSTALATION , TAPING, MARCH 9,2020	21 DAYS TO COMPLETE
27. PRIMING, PAINTING WALLS – MARCH 30,2020	7 DAYS TO COMPLETE
28. FLOORING- TILING, CAPRETING VYNIL TILING.EPOXY – APRIL 6,2020	21 DAYS TO COMPLETE
29. CEILING INSTALLATION, 13 APRIL 2020	14 DAYS TO COMPLETE
30. PLUMBING TRIM OUT , APRIL 13,2020	21 DAYS TO COMPLETE
31. ELECTRICAL TRIM OUT, APRIL 6, 2020	21 DAYS TO COMPLETE
32. HVAC TRIM OUT, APRIL 6,2020	7 DAYS TO COMPLETE
33. LOW VOLTAGE ,CAMERAS, FIRE ALARM , SECURITY SYSTEM, TV'S INSTALLATION, APRIL 6 2020	21 DAYS TO COMPLETE
34. MILLWORK INTERIOR DOORS, QUARTZ TOPS INSTALLATION , WALL PAPER, APRIL 6,2020	21 DAYS TO COMPLETE
35. ARTIFICIAL TURF, NETS INSTALLATION , APRIL 6,2020	10 DAYS TO COMPLETE
36. KITCHEN EQUIPMENT, BAR EQUIPMENT INSTALLATION, APRIL 13,2020	7 DAYS TO COMPLETE
37. BATHROOM PARTITIONS, APRIL 20,2020	7 DAYS TO COMPLETE
38. FINAL CLEAN UP, APRIL 27,2020	7 DAYS TO COMPLETE
39. ALL FINAL INSPECTIONS, VILLAGE, FIRE DEPARTMENT, HEALTH DEPARTMENT ... MAY 4 ,2020	5 DAYS TO COMPLETE



Attachment 14
Planning Review Letter (2 pages)



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

February 27, 2020

Atten: Mario Magliano and Randy King

Re: **Compass PUD Amendment Planning Review**

Mr. Magliano and Mr. King,

Planning staff has reviewed the planning application and exhibits, submitted on February 20, 2020, for the Compass Arena and Event Center PUD Amendment on 625 Joliet Road in Willowbrook, IL 60527. The following documents have been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. "Foundation As-Built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on March 22, 2018.
2. "Amended Final Plat of Compass Arena Planned Unit Development" – 2 sheets (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and bearing the latest revision date of 02-17-2020.
3. "Parking Grade As-Built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020.
4. "Site/Utility As-built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020.
5. "Architectural As-built Drawings" – 8 sheets (Sheets A-1 to A-8), prepared by Architects by Design, PC, and bearing the latest revision date of 01-02-2020.
6. "Site Photos of Constructed Building Elevations" – 4 pages.
7. "Landscape Plan" – 2 sheets (prepared by Robert Fleck, and dated January 29, 2020).
8. "Completed Tasks and Project Schedule" – 2 pages.

Staff offers the following comments:

Amended Final Plat of PUD

1. Restripe parking in the Amended Final Plat of PUD to provide a total of 177 parking spaces.
2. Revise the PUD Site Data Table to include the following correct information:

Total Building Area:	51,695 SF
Floor Area Ratio:	0.32
Total Parking Provided:	177 spaces
North Aisle + H.C.:	34 spaces + 6 (if this is the area to be restriped)
3. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".

Zoning Requests

Approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a): a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved



Proud Member of the
Illinois Route 66 Scenic Byway



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

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Robert Schaller

Director of Finance

Carrie Dittman

deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of an Amended Final Plat of PUD. The amendment to the special use permit and planned unit development will include, but is not limited to, the following waivers:

1. That Section 9-6C-3(E)1, Minimum Front Yard Setback, be varied to reduce the minimum front yard setback from sixty feet (60') to forty-three point seven four feet (43.74').
2. That Section 9-14-2(D)2(c)4, Border Plantings and Foundation Plantings, be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the south building façade, and from seven feet (7') to zero feet at the north and northeast building facades.
3. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

If you have any questions, you may contact me at planner@willowbrook.il.us or 630.920.2233.

Sincerely,

Ann Choi
Planning Consultant
Village of Willowbrook
WBK Engineering, LLC



Proud Member of the
Illinois Route 66 Scenic Byway



Attachment 15
Ordinance No. 17-O-02 (10 Sheets)

ORDINANCE NO. 17-0- 02

AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, INCLUDING APPROVAL OF A FINAL PLAT OF PUD, GRANTING CERTAIN WAIVERS FROM THE ZONING ORDINANCE, AND RELATED MATTERS - PC 16-07: 635 JOLIET ROAD - COMPASS EVENT CENTER AND ARENA

WHEREAS, on or about January 12, 2016, Willowbrook 2012 LLC, as applicant, filed an application with the Village of Willowbrook ("VILLAGE") with respect to the property legally described on Exhibit "A", attached hereto and incorporated herein by reference ("SUBJECT REALTY"). Said application requested that the Village grant a special use permit for a Final Planned Unit Development for the construction development and operation of a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment spaces on SUBJECT REALTY ("Project"), grant certain waivers from the requirements of the Zoning Ordinance of the Village, and authorize off-site improvements to adjoining Joliet Road, and related matters; and,

WHEREAS, Notice of Public Hearing on said application was published on or about April 27, 2016, in a newspaper having general circulation within the Village, to-wit, The Suburban Life newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about May 18, 2016, and on July 20, 2016, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the applicant presented testimony in support of said application for the Project and requested relief and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendations, including its Findings of Fact for the Project, in a report dated July 21, 2016 to the Mayor and Board of Trustees on or about July 25, 2016, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

WHEREAS, all other public hearings required by law have been conducted, in all respects conforming to law and pursuant to notice duly given in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Findings of Fact for the Project pursuant to 9-14-5.2 of the Village Code of the Village of Willowbrook made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION TWO: That passage of this Ordinance shall constitute approval of the Final Planned Unit Development, pursuant to the "Compass Area Planned Unit Development" plans, as prepared by Krisch Land Surveying LLC, consisting of two (2) sheets, with a latest revision date of December 12, 2016 for the Project and attached hereto as Exhibit "C".

SECTION THREE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY pursuant to Section 9-6C-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit a planned unit development strictly for the Project.

SECTION FOUR: That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted to strictly permit the Project:

- A. That Section 9-6C-3(E)1 "Minimum Front Yard Setback", be varied to reduce the minimum front yard setback from sixty feet (60') to forty-five point two six (45.26'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- B. That Section 9-6C-3(E)4 "Minimum Rear Yard Setback", be varied to reduce the minimum rear yard setback from forty feet (40') to twenty-four feet (24'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- C. That Section 9-6C-3(F) "Maximum Height", be varied to increase the maximum building height from thirty feet (30') to forty-nine point eight feet (49.8'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".

- D. That Section 9-6C-3(H) "Maximum Floor Area Ratio", be varied to increase the maximum floor area ratio from 0.3 to 0.33, per the "Compass Arena Architectural Plans", attached hereto as Exhibit "D".
- E. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the east property line from ten feet (10') to nine point seven five feet (9.75'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- F. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the rear yard parking lot setback from the south property line for the driveway pavement around the building from ten feet (10') to zero feet (0'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- G. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the front yard parking lot setback from the north property line for the driveway pavement around the building of the building from fifteen feet (15') to twelve point five feet (12.5'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- H. That Section 9-10-5(G)3 "Interior Parking Lot Landscaping" be varied to reduce the amount of open space and number of interior parking lot landscape islands from one every 20 spaces in accordance with the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- I. That Section 9-10-5(G)3 "Interior Parking Lot Landscaping" be varied to allow ornamental tree plantings instead of shade tree plantings for landscaped parking islands in accordance with the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".
- J. That Section 9-11-11(B)2 "Sign Location", be varied to allow building mounted sign to exceed a height of twenty feet (20') for the signage on the north and south elevations of the building, per the "Compass Arena Architectural Plans", attached hereto as Exhibit "D".
- K. That Section 9-14-2.23(B)3(d) "Border Plantings and Foundation Plantings" be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the north and south building facades, per the

"Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".

- L. That Section 9-14-2.23(B)3(c) "Ornamental Trees" be varied to reduce the minimum ornamental tree requirements from forty-four (44) trees to thirty-five (35), per the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".
- M. That the applicable landscape provision in Sections 9-6-1(D), 9-10-5(G), and 9-14-2.23 be varied pursuant to the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".

SECTION FIVE: That the Mayor and Village Clerk are hereby authorized to execute the Planned Unit Development Agreement strictly for the Project in substantially the form attached hereto as Exhibit "E".

SECTION SIX: That the relief granted in Section Four of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained strictly for this Project in accordance with the following terms, conditions and provisions:

- (A) Construction on the SUBJECT REALTY is subject to the issuance of building permits, which shall not be authorized by the Village until the Owner submits the following:
 - 1. An executed Planned Unit Development Agreement in substantially the form attached hereto and incorporated herein as Exhibit "E", and tender the security required by such Agreement.
 - 2. Executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs approved by the Village Engineer.

3. Prior to the issuance of any construction permits, the Owner shall submit an executed "Traffic Regulation Agreement", attached hereto as Exhibit "F" .
 4. Mylars of the Plat of PUD, including all signatures except Village Signatures.
- (B) The special use permit for the Final Planned Unit Development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use for the Final Planned Unit Development by the Village Board.
 - (C) Cigar Lounge use is not allowed.
 - (D) Delivery trucks and other vehicles along the driveway of the west side of the principal building may not be left idling at any time, and must leave the loading dock area immediately after loading and/or unloading is complete.
 - (E) Outdoor dining and restaurant seating is not allowed on the Subject Realty except where identified as "Outdoor Dining" on the "Compass Arena" architectural plans (as hereinafter defined).
 - (F) All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the SUBJECT REALTY, or such earlier time as is reasonably practical.
 - (G) Construction of any off-site improvements to the adjoining Joliet Road rights-of-way is subject to final written approval by the Illinois Department of Transportation and the Village of Willowbrook, payment of any related fees, and shall not be authorized by the Village until the Owner supplies the Village with an executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs for the off-site improvements, approved by the Village Engineer.
 - (H) The Owner shall obtain all necessary permits from IDOT prior to perform any work within the Joliet Road right of way.

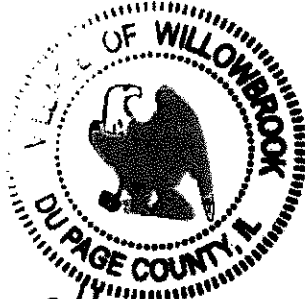
- (I) Prior to the issuance of any temporary or final certificate of occupancy, Owner shall complete the improvements to the south side of Joliet Road along the frontage of the SUBJECT REALTY as shown in the "Compass Arena" engineering plans.
- (J) All public improvements in the Joliet Road rights-of way shall be installed by the Owner pursuant to the "Planned Unit Development Agreement", attached hereto as Exhibit "E", and are subject to Illinois Department of Transportation ("IDOT") inspection and approval.
- (K) Parking Lot Striping shall be completed as indicated on Exhibit "B" of the Traffic Regulation Agreement, attached hereto as Exhibit "F".
- (L) A permit is required from DuPage County Public Works for the sanitary sewer connection "prior to the Village issuing a building permit.
- (M) The design and construction of the potable water and fire suppression system shall be in conformance with Village Code.
- (N) Signed and sealed shop drawings for the parking lot light foundation over the underground detention vault must be submitted for review.
- (O) Signed and sealed shop drawings for the underground detention vault must be submitted for review.
- (P) Once the owner selects an electrical contractor for the project, complete parking lot light catalog cuts and photometric analysis must be submitted for review.
- (Q) Signed and sealed design drawings must be submitted for review for all retaining walls.
- (R) A separate sign permit shall be obtained for the signage on the north and south building elevations pursuant to the Village Code.
- (S) That all construction, use, development and maintenance related to the Compass Event Center & Arena Development Project be in strict accordance with the evidence, testimony and documents provided, however, that to the extent there is any conflict between such documents and

the terms and provisions in this Ordinance, the most restrictive provision shall apply.

SECTION SEVEN: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 23rd day of January, 2017.



ATTEST:

Leroy R. Hansen
Village Clerk

APPROVED:

Frank A. Tuth
Mayor

ROLL CALL VOTE:

AYES: Berglund, DAVI, Kelly, Mistele, NEA, Oggerswo

NAYS: 0

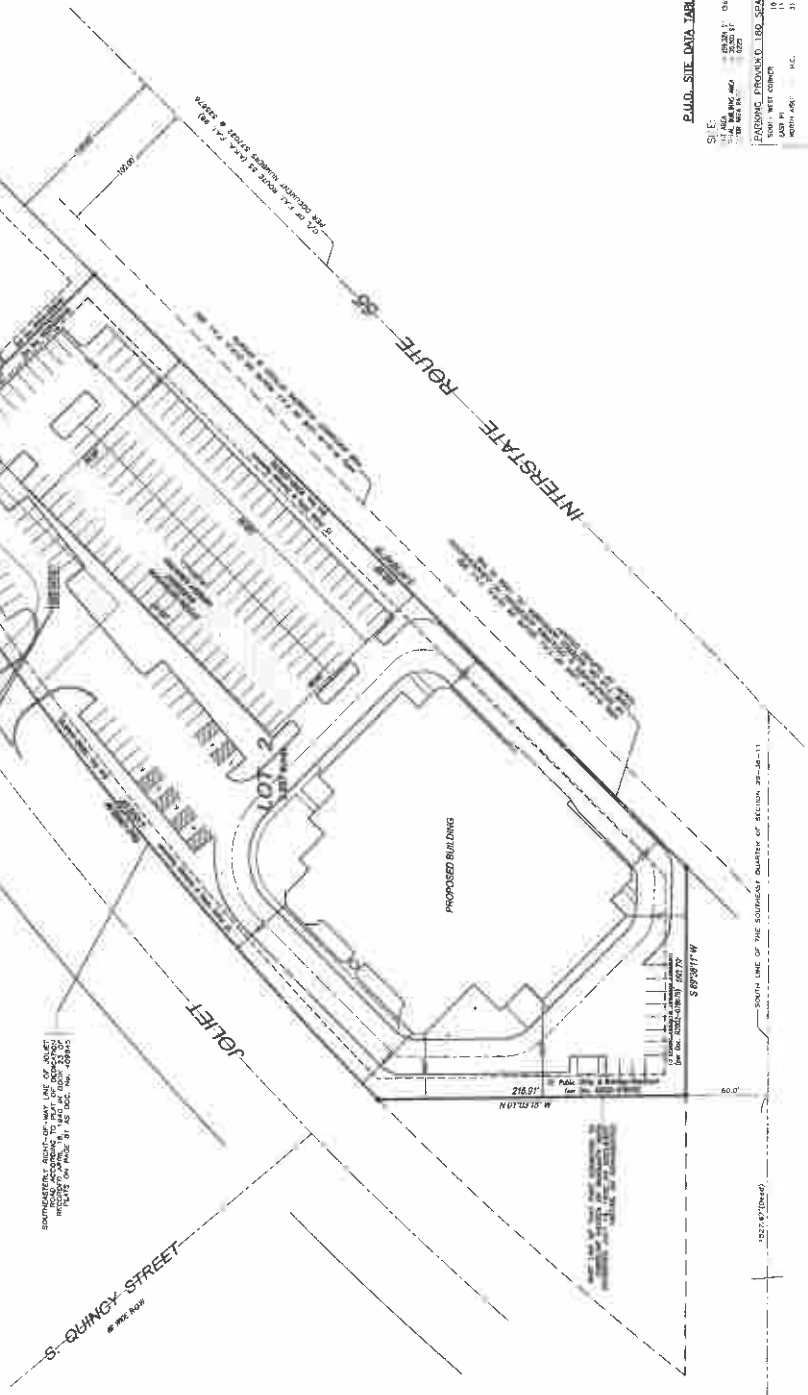
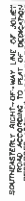
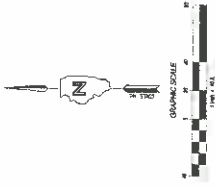
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ABSENT: 0

**Final Part Of
COMPASS ARENA PLANNED UNIT DEVELOPMENT**

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PJN: 09-26-401-005

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GENERAL NOTES

- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL INSPECT THE CONSTRUCTION SITE IN ITS ENTIRETY TO DETERMINE ALL SITE RESTRICTIONS AND CONDITIONS.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND FINISHES OF EXISTING WORK AND OBTAIN PERMITS FOR COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- DO NOT SCALE DRAWINGS. VERIFY DIMENSIONING ON SITES BY MEASUREMENTS TO BUILDING CODE REQUIREMENTS OR ADDITIONS.
- ALL SKIDS AND PENETRATIONS IN THE BUILDING MUST BE DAMAGED SURFACES OF ASPHALT CARGO AREAS THAT HAVE BEEN PREVIOUSLY INTERRUPTED OR OTHERWISE SEALED IN AN APPROPRIATE MANNER.
- ALL PROFILES TO BE GLASS 1/2" TYP.
- DOOR DOORS TO BE KETTLER IN THE
- ALL GLAZES IN DOORS, TERRAZZO, GLAZED PANELS & SKYLIGHTS TO BE TEMPERED SAFETY GLAZING.

SCOPE OF WORK

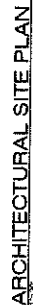
NEW CONSTRUCTION OF RECREATIONAL FACILITY WITH ATTACHED

SQ. FOOTAGE:	
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1ST FLOOR:	36,218
MEZZANINE:	3,280
2ND FLOOR:	5,394

PARKING CALCULATION PER

[illegible]

NOTE: ALL S.F. AREAS ARE GROSS w/ THE EXCLUSION OF ONLY 5 STAR CORERS AND ELEVATOR
DOORWAYS.



LAKEVIEW MOTEL: LAKEVIEW MOTEL IS
A 100% SMOKING FREE MOTEL.
CALL 1-800-368-3688

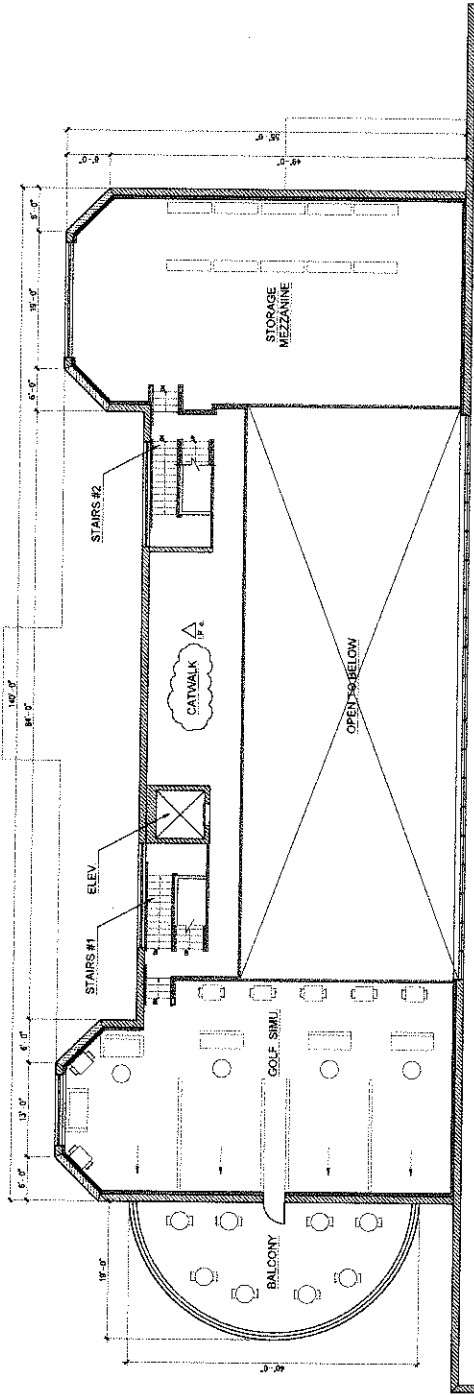
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INDEX OF DRAWINGS	
SHEET	DESCRIPTION
T	INTS PLAN, ROOFCOVERS & SHEDS, ETC.
A-1	FIRST FLOOR RESTAURANT PLAN & MEZZANINE PLAN
A-2	SECOND FLOOR RESTAURANT PLAN
A-3	THIRD FLOOR ROOFSIDE FACILITY PLAN
A-4	FOURTH FLOOR & SOUTH ELEVATION
A-5	EAST ELEVATION & WEST ELEVATION
A-6	SIGNAGE DETAIL

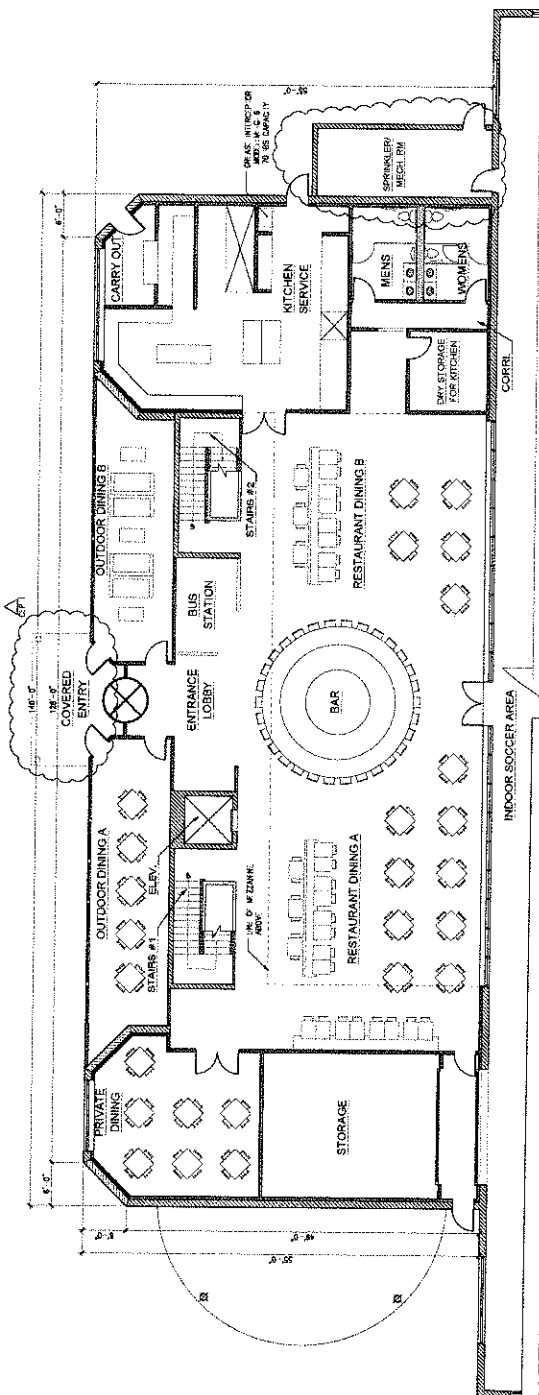
THIS IS TO CERTIFY THAT THESE DRAWINGS WERE
PREPARED UNDER MY DIRECT SUPERVISION AND TO
THE BEST OF MY KNOWLEDGE CONFORM TO THE
APPLICABLE CODES OF MICHIGAN, ILLINOIS.

Ronald A. [Signature]





FIRST FLOOR MEZZANINE PLAN



PARTIAL FIRST FLOOR RESTAURANT PLAN

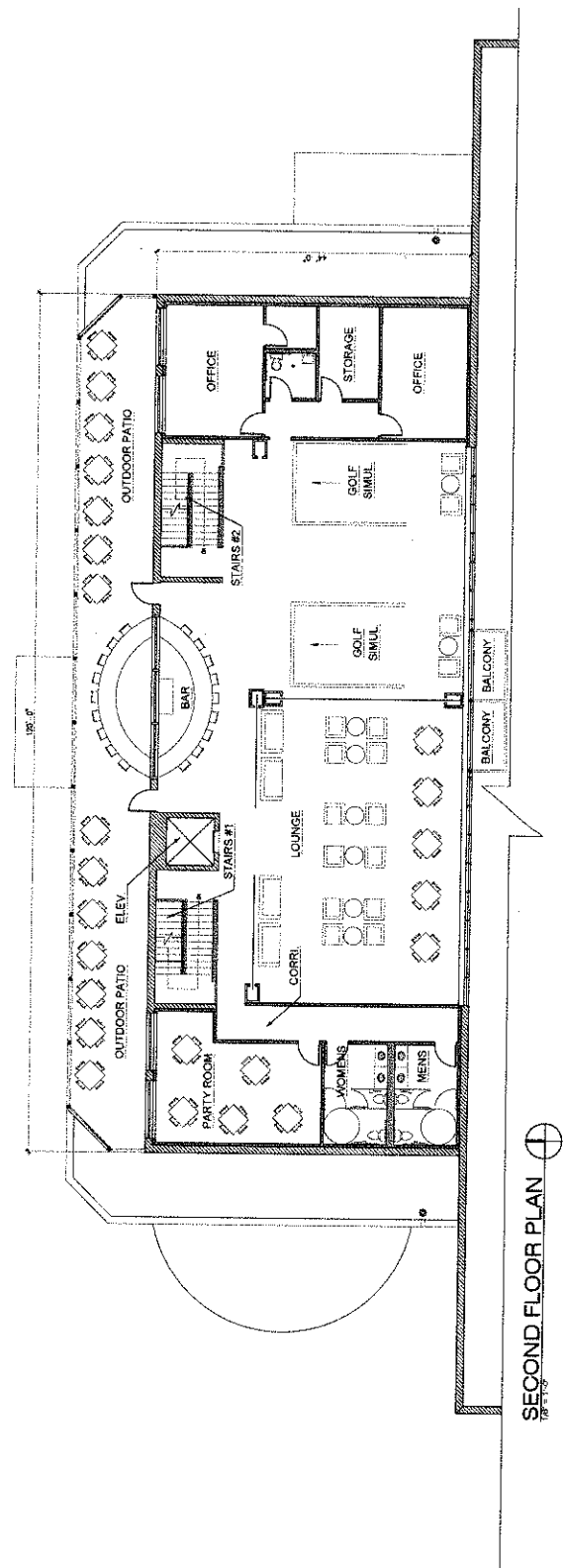
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COMPASS ARENA
 635 JOLIET ROAD
 WILLOWBROOK, ILLINOIS

AND ASSOCIATES
 312.735.0401
 OAKBROOK, IL 60523

VARI
 708.354.4005 OFFICE
 1100 JORE & W. SUITE 280

R.
 A1.1



A1.3

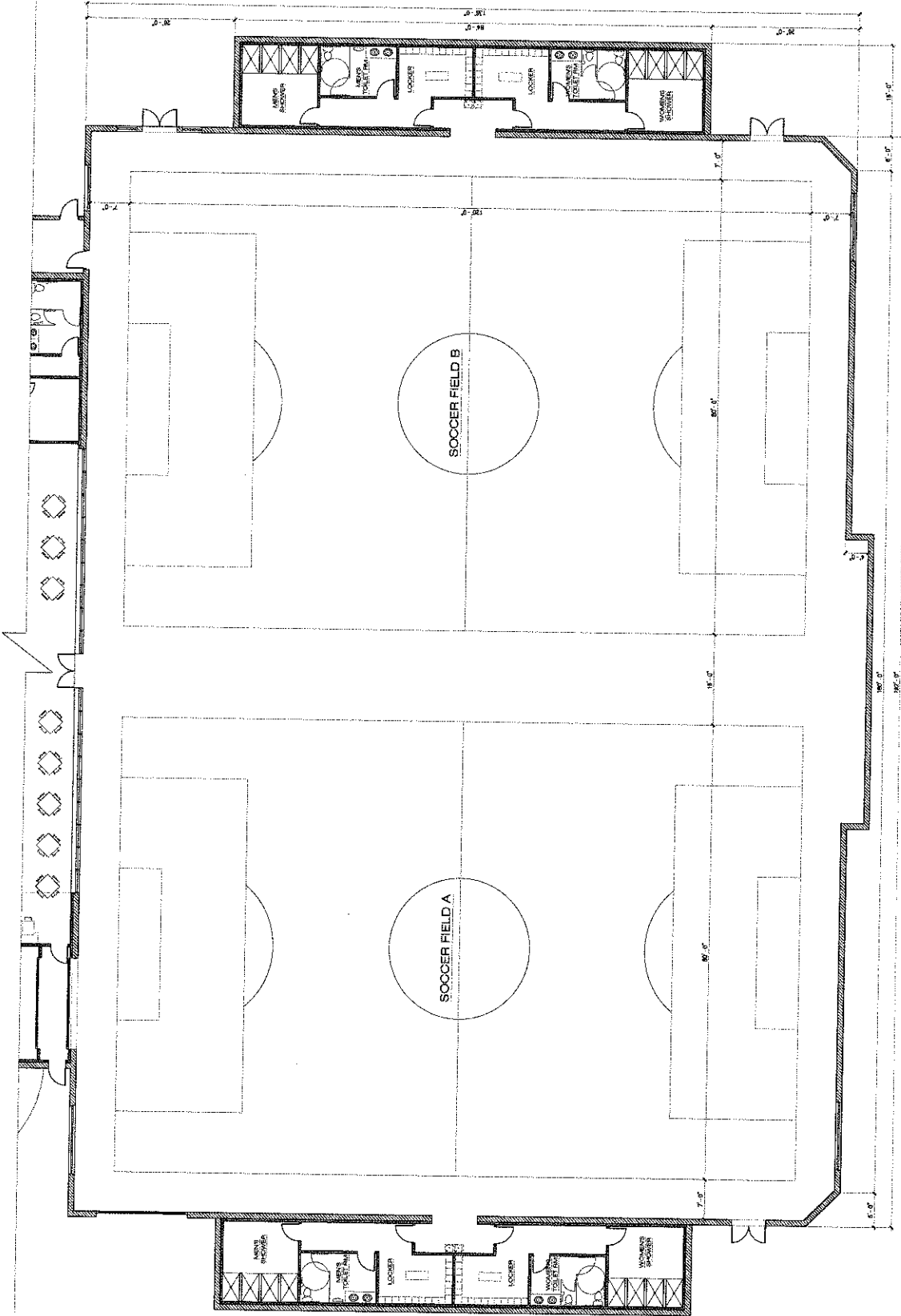
1100 40th St. Suite 260
708.354.4005 OFFICE
CELL 312.735.0401
DANBROOK, IL 60525

R. VARI
AND ASSOCIATES

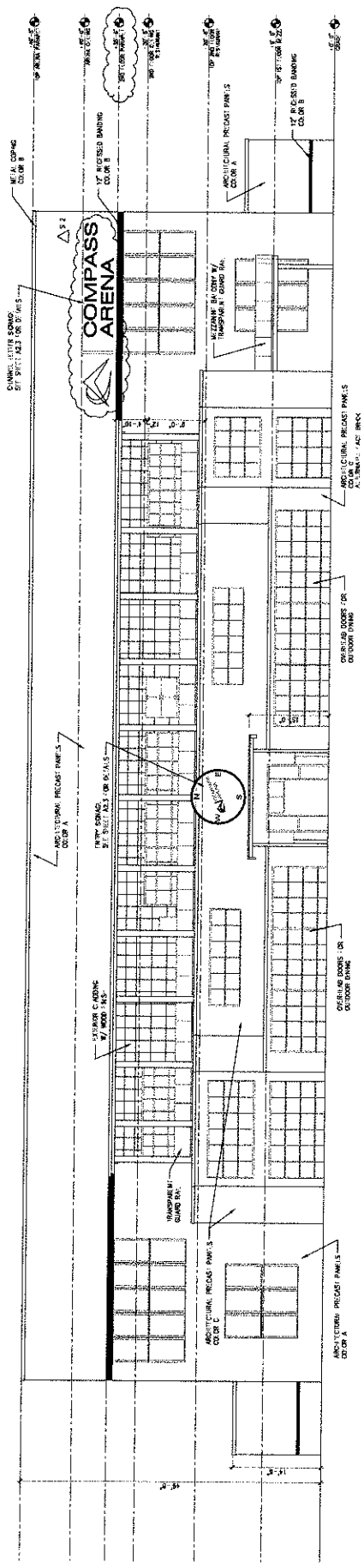
COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, ILLINOIS

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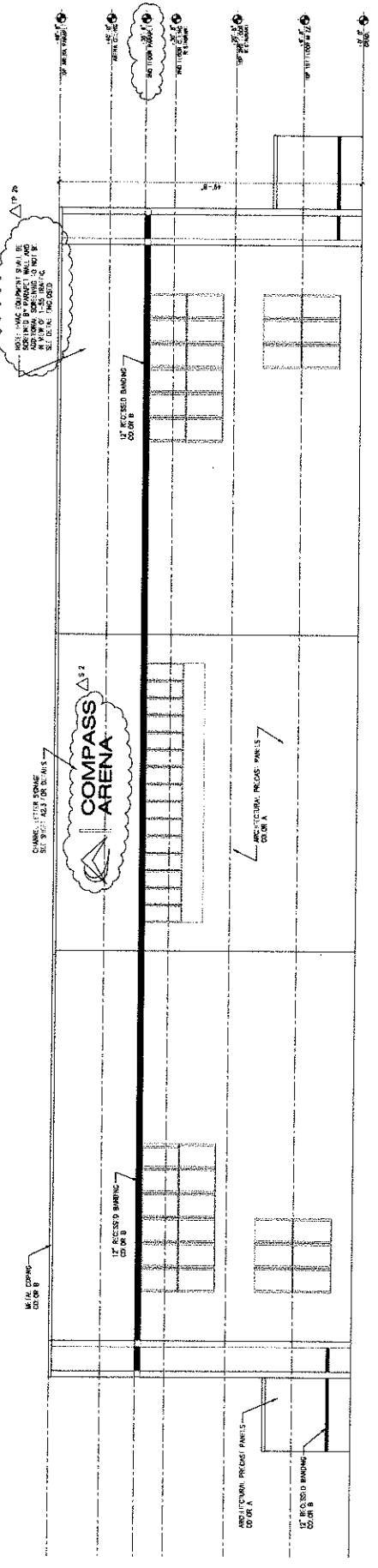
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REVISION	11-11-14
NO.	11-11-14



PARTIAL FIRST FLOOR SOCCER FIELD PLAN



NORTH ELEVATION (FRONT)
1/8" = 1'-0"



SOUTH ELEVATION (REAR)
1/8" = 1'-0"

SIGNAGE S.F. CALCULATION

WALL SIGNAGE:

SOUTH ELEVATION

(1) COMPASS ARENA SIGN: 100 S.F. OF SURFACE AREA = 100 S.F.

NORTH ELEVATION

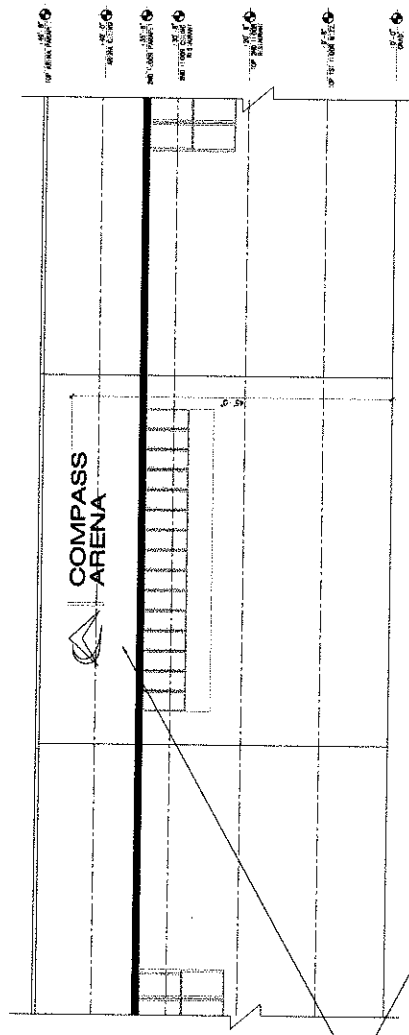
(1) COMPASS ARENA SIGN: 100 S.F. OF SURFACE AREA = 100 S.F.

(2) ENTRY SIGN: 10 S.F. OF SURFACE AREA = 10 S.F.

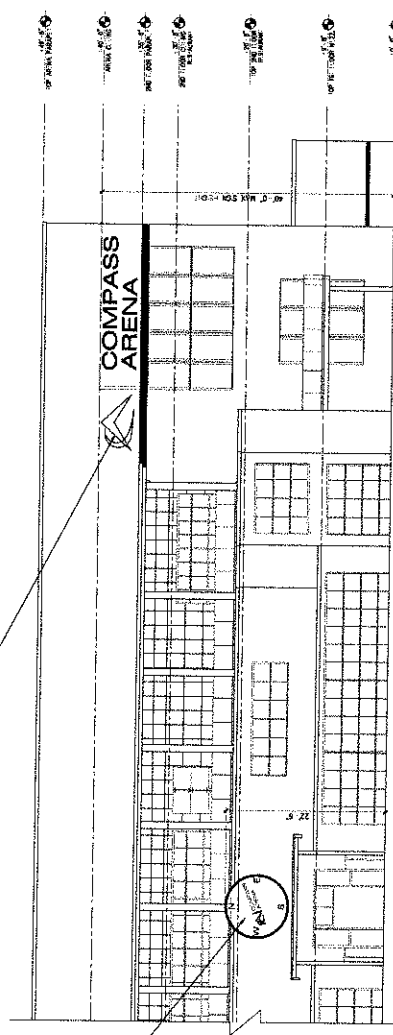
TOTAL SIGNAGE: 210 S.F.

ALLOWED: TOTAL SURFACE AREA OF WALL SIGNAGE: 450 S.F.

ALLOWED: TOTAL SURFACE AREA OF WALL SIGNAGE: 450 S.F.

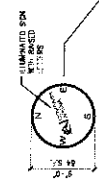


PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



PARTIAL NORTH ELEVATION
1/8" = 1'-0"

COMPASS ARENA SIGN



ENTRY SIGN



EXTERIOR PERSPECTIVE A
NTS.



EXTERIOR PERSPECTIVE B
NTS.



EXTERIOR PERSPECTIVE C
NTS.

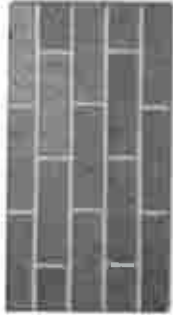
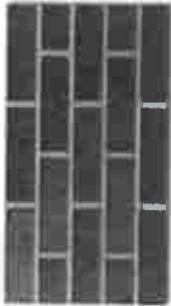


EXTERIOR PERSPECTIVE D
NTS.

COMPASS ARENA

635 JOLIET RD, WILLOWBROOK, IL

R. VARI AND ASSOCIATES
OAK BROOK, CHICAGO 708.354.4005



FACE BRICK SAMPLES

NOTE: SAMPLES FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.

EXTERIOR 'WOOD TYPE' CLADDING

NOTE: SAMPLES FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



OVERHEAD DOOR

NOTE: IMAGE FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



EXTERIOR PERSPECTIVE NTS



GLASS GUARDRAIL

NOTE: IMAGE FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



SIMILAR PRECAST WALL PANEL DESIGN

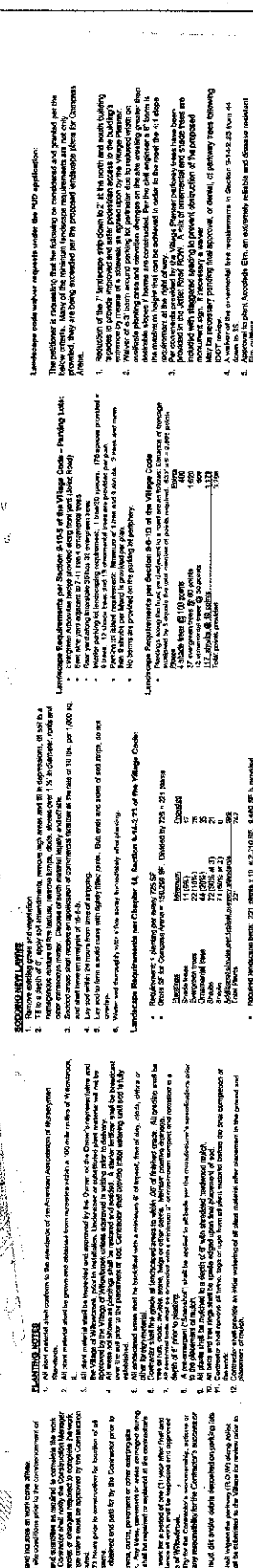
NOTE: IMAGES FOR REFERENCE ONLY. FINAL PANEL DESIGN TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



COMPASS ARENA

635 JOLIET RD, WILLOWBROOK, IL

R. VARI AND ASSOCIATES
OAK BROOK - CHICAGO 708.354.4005



<div>COMPASS ARENA</div> <div>835 JOLIET ROAD WILLOWBROOK, IL</div>	<div>LANDSCAPE PLAN</div>		NO.	REVISION	<div>SHEET</div> <div>1</div> <div>OF</div> <div>1</div>
			1	1/1/15 Site plan revision	
			2	2/2/15 Village comments	
			3	3/22/16 Village comments	
			4	9/13/2016 - Per CME Engineering, Site Plan Revisions	
			5	8/14/2018 - Village comments	
			DATE: 12/10/19		

LANDSCAPE ARCHITECT:
Robert Fleck
218 N. Warwick Ave.
Westmont, IL 60559

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

Receive Plan Commission Recommendation – Public Hearing Case 20-01: Ducky's Car Wash Addition – Maqpoon Management Inc., 7000 S. Kingery Highway, Willowbrook, Illinois. Consideration of a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code. The applicant seeks to modernize and enlarge the existing car wash with associated site improvements at the property located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.

AGENDA NO.

5g

AGENDA DATE:

03/09/20

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE:

YES ☐

NO ☐

N/A ☒

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Ordinance No. 77-O-14 – Original special use ordinance establishing the use, but without specific bulk standards.

Ordinance No. 78-O-43 – Amended original special use to provide for signage and construction of a canopy within required IL Rt. 83 front yard, without specific standards.

Ordinance No. 80-O-40 – Amended most recent ordinance to permit a canopy encroachment along the IL Rt. 83 front yard to 6'-6" and permit a canopy height of 16'-10".

Ordinance No. 84-O-12 – Amended previous ordinance to revise the bulk standard setback for a canopy to 51 feet along both IL Rt. 83 and Plainfield Road, revise transition yard setback to 30 feet and the accessory use setback to 15 feet for the construction of a car wash facility, and the upgrading of site signage to conform to Village standards.

Ordinance No. 94-O-29 – Further amended the previous ordinance to permit the construction of a food mart and various site and landscaping improvements.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

David A. Schaefer Architects, on behalf of the property owner, is requesting approval of an amendment to an existing special use in the B-2 zoning district including certain variations to allow for the modernization and enlargement of the existing car wash with associated site improvements at the property located at 7000 S. Kingery Highway, Willowbrook, Illinois. The existing car wash has been operating since the mid-1980s. The property owner acquired the property in 2019 and wishes to modernize the existing car wash that is over 30 years old. The property owner requests an amendment to the special use to replace the existing car wash with an automated car wash tunnel that will accommodate a maximum capacity of six cars. The proposed car wash expansion will replace the existing seven parking spaces with two (2) parking spaces and six (6) vacuum stations. The property owner anticipates a top of the line car wash facility in terms of building appearance and functionality. The property owner proposes using state of the art equipment which appear to lack in many existing local Willowbrook facilities. The car wash is proposed to operate from 8:00 A.M. to 7:00 P.M. Monday through Sunday.

The Plan Commission discussed their concerns and recommendations which are summarized on page 13 of the attached staff report. The Plan Commission discussed the car wash addition petition at the February 5, 2020 regular meeting of the Plan Commission and voted a unanimous vote of 6-0 of the members present to forward a positive recommendation to the Village Board. Their motion included thirteen (13) conditions of approval.

ACTION PROPOSED: Receive Plan Commission Recommendation.



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: March 9, 2020

SUBJECT: **Zoning Hearing Case 20-01: Ducky's Car Wash Addition** – Maqpoon Management Inc., 7000 South Kingery Highway, Willowbrook, Illinois. Consideration of a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code. The applicant seeks to modernize and enlarge the existing car wash with associated site improvements at the property located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.

At the regular meeting of the Plan Commission held on February 5, 2020 the above referenced application was discussed and the following motion was made:

MOTION: Made by Remkus seconded by Walec that based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the Staff Report prepared for the February 5, 2020 Plan Commission for PC 20-01, and recommend approval of an amendment to the existing special use and requested variations, as listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting, subject to the following "Recommended Conditions of Approval" listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting:

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the February 5, 2020 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
2. All outstanding comments from the Village Engineer shall be addressed prior to final zoning approval from the Village Board.
3. All outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board. Approval of the variations for reduced stacking spaces and parking spaces shall be adjusted subject to the recommendation of the Village Traffic Engineer.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a building permit by the Village of Willowbrook.
5. The petitioner shall obtain all necessary permits from Illinois Department of Transportation (IDOT) and/or DuPage County Division of Transportation (DuDOT) prior to performing any work within the IL Route 83/Plainfield Road rights-of-way.

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

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The petitioner shall provide a copy of IDOT's and/or DuDOT's review of the car wash addition plans and copies of all correspondence with said agencies to Village Staff before final zoning approval, as applicable.

6. The construction and use of the car wash addition shall at all times be in substantial compliance with the site improvement plans, architectural floor plans, landscape plans and building elevations submitted by the petitioner.
7. The landscape plans shall be approved subject to the applicant's compliance with the planning review letter dated January 22, 2020, issued by the Village of Willowbrook, and included as Attachment 13.
8. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
9. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
10. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
11. The special use permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.
12. Striping along the front of the convenience store shall be added to designate said portion as patron parking.
13. Signage shall be added near the six parking spaces providing vacuum equipment. Signage shall say "Parking" to indicate that the parking spaces are dual purpose, and can be used by convenient store/gas station patrons in addition to individuals using the vacuum equipment.
14. The island median on Plainfield Road shall be modified with striping to enforce the restriction with traffic entering at the easterly curb cut and exiting at the westerly curb cut.

ROLL CALL:

AYES: Chairman Kopp, Vice Chairman Wagner, Commissioners Kaucky, Ruffolo, Walec, and Remkus,

NAYS: None.

ABSENT: Commissioner Soukup.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:nz



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FINDINGS OF FACT

9-14-4(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) **That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Applicant Finding: The proposed car wash addition will not be detrimental nor endanger the public. When completed, this facility will provide a benefit to the community as a service and visual gateway into Willowbrook.

Staff Finding: The Village previously approved a special use permit for a gas station on the subject property in 1977, and subsequently amended the special use permit on several occasions to approve a car wash use and food mart use in 1980, 1984 and 1994, respectively. These facilities have operated on the subject property for many years without endangering the public health, safety, morals, comfort or general welfare.

- (B) **That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Applicant Finding: The proposed car wash addition will not be injurious nor diminish property values. The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. When completed, this updated and renovated facility will improve the neighborhood and property values.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market/Willows Shopping Center, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars.

Mayor

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- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market and out-lot, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars. The car wash expansion will offer a new service that is not offered in the immediate vicinity.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. All utilities, drainage and facilities will comply with code.

Staff Finding: The site has been and will continue to be serviced by all necessary utilities and drainage facilities which are and will be adequate for the proposed expansion.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Applicant Finding: The property currently has more than adequate ingress and egress. Additional road improvements are currently being completed by IDOT.

Staff Finding: Comments regarding traffic and circulation will be addressed to minimize traffic congestion in the public streets prior to final zoning approval.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it located, except as such regulations may in



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each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Applicant Finding: The proposed addition will conform to all codes and regulations.

Staff Finding: The special use shall in all other respects conform to the applicable regulations of the district in which it is located. The car wash expansion and will comply with the regulations of the zoning ordinance, pending approval of the requested variations.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Applicant Finding: To the best of my knowledge, there have been no previous application denials within the last year.

Staff Finding: Conditions in the area have substantially changed due to the development of Pete's Fresh Market/Willows Shopping Center. The intersection of Illinois Route 83 and Plainfield Road are still under construction and additional road improvements are currently being completed by IDOT. At least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

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FINDINGS OF FACT

9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Applicant Finding: The car washing equipment and facility is outdated compared to similar nearby car wash locations. In order to improve the car washing capability, new and additional equipment is required, which is the reason for the proposed car wash addition. The owner is looking to improve both the interior car washing equipment/experience and exterior appearance.

Staff Finding: The site is highly irregular and is subject to multiple special setback requirements. After application of the 100-foot special setbacks from Illinois Route 83 (east) and Plainfield Road (south), as well as a 100-foot transition yard special setback (west), a 30-foot interior side yard setback (north) and a 40-foot rear yard setback (northwest), the buildable area of this 49,988 square foot site is limited to an area of approximately 4,200 square feet with dimensions of roughly 35 feet by 120 feet. Thus, the remaining buildable area does not allow the property to be used to yield a reasonable return. The Village approved prior special use permit requests and numerous variations on the subject property for the food mart, gasoline pump dispensers, gas station canopy, attendant kiosk, and refuse storage area as the Village has found that the property cannot yield a reasonable return on several prior occasions.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Applicant Finding: The existing building was constructed closer to the rear of the property line than currently allowed by code. It is currently an eye-sore and the first thing people see when entering Willowbrook from the South. The existing car wash tunnel is too small to effectively clean cars.

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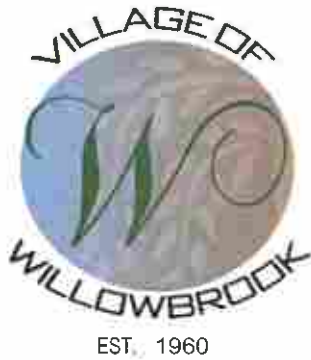
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Staff Finding: The requested variations are necessary to alleviate an unusual hardship in making reasonable use of the property. The requirements for providing eighteen parking spaces on site, sixty stacking spaces for the car wash, and complying with certain setback distances for the refuse storage area, new attendant kiosk and vacuum equipment would create a severe hardship on the property. The subject property is highly irregular in shape and is encumbered by steep grades along the western portion of the property.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Applicant Finding: The building is existing and was purchased as such by the property owner.

Staff Finding: The hardship to the applicant is created by the site's irregular site configuration and the requirement of multiple special setbacks which restrict the buildable area.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Applicant Finding: The proposed car wash addition will not be detrimental nor injurious to the neighborhood. When completed, this facility will have a new and improved appearance for the community as well as provide an improved car washing experience for its patrons.

Staff Finding: The proposed use is similar to the existing use and is compatible with nearby existing uses which are primarily commercial. The proposed car wash addition will not be detrimental to the public welfare nor injurious to other property or improvements in the neighborhood.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Applicant Finding: Adjacent neighbors are far enough away that the proposed addition will not impact their light and air nor will it substantially increase traffic or the risk of fire.

Staff Finding: The proposed variations will not impair the supply of light and air to adjacent properties. The review of the Traffic Impact Study resulted in an observation that the site access driveways currently operate at acceptable levels of service and will



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continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. The proposed variations do not create any danger to public safety or increase the danger of fire.

(F) The proposed variation will not alter the essential character of the locality.
(Ord. 77-O-4, 2-14-1977)

Applicant Finding: Approval of the proposed variation will comply with the spirit and intent of Title 9 of this code.

Staff Finding: The proposed variations will permit the expansion of a use that currently already operates and is consistent and compatible with the development in the area.

(G) The proposed variation is in harmony with the spirit and intent of this title.
(Ord. 97-O-05, 1-27-1997)

Applicant Finding: Approval of the proposed variations will comply with the intent of Title 9 as explained above.

Note: We are seeking relief from the required front and rear yard building setbacks, as well as distance relief for the new kiosk and vacuum equipment as outlined in the Village of Willowbrook's Exhibit B, dated February 15, 1994.

Staff Finding: The proposed variations will allow modernization and beautification of the existing use and will result in a convenient, safe, tax-productive and aesthetic use of the property.



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Village of Willowbrook

Staff Report to the Village Board

Village Board																						
Receive Date:	March 9, 2020																					
Public Hearing Date:	February 5, 2020																					
Prepared By:	Ann Choi, Planning Consultant																					
Case Title:	Ducky’s Car Wash Addition																					
Petitioner:	David Schaefer (and Maqpoon Management Inc. as property owner) 2500 S. Highland Avenue, Lombard, IL 60148																					
Action Requested:	Consideration of a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code, to modernize and enlarge the existing car wash with associated site improvements.																					
Purpose:	To replace the existing car wash with the construction of a one-story, 1,351 square-foot automated car wash tunnel, including six (6) new vacuum stations and a new attendant kiosk.																					
Location:	7000 S. Kingery Highway. Northwest corner of Illinois Route 83 and Plainfield Road.																					
PINs:	09-23-310-024 and 09-23-310-025																					
Existing Zoning:	B-2 Community Shopping District																					
Proposed Zoning:	B-2 Community Shopping District (No change to zoning)																					
Existing Land Use(s):	Automobile Service Station (Gas Station), Convenience Food Store and Automobile Washing and Cleaning Facility																					
Property Size:	1.147 Acres																					
Surrounding Land Use:																						
	<table><tr><th></th><th>Use</th><th>Zoning</th></tr><tr><td>North</td><td>General Business (Willowbrook Plaza Shopping Center)</td><td>B-3</td></tr><tr><td>South</td><td>Wendy’s fast food restaurant, City of Darien</td><td>B-1</td></tr><tr><td>Northeast</td><td>Community Shopping (The Willows – Pete’s Fresh Market)</td><td>B-2</td></tr><tr><td></td><td>BP Gas Station</td><td></td></tr><tr><td>Southwest</td><td>Regional Stormwater Basin, City of Darien</td><td>R-2</td></tr><tr><td>Southeast</td><td>Community Shopping (Willowbrook Town Center)</td><td>B-2</td></tr></table>		Use	Zoning	North	General Business (Willowbrook Plaza Shopping Center)	B-3	South	Wendy’s fast food restaurant, City of Darien	B-1	Northeast	Community Shopping (The Willows – Pete’s Fresh Market)	B-2		BP Gas Station		Southwest	Regional Stormwater Basin, City of Darien	R-2	Southeast	Community Shopping (Willowbrook Town Center)	B-2
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Southeast	Community Shopping (Willowbrook Town Center)	B-2																				

Necessary Action by Village Board:	Receive Plan Commission Recommendation.
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Documents Attached:

- Attachment 1:** Notice of Public Hearing (2 pages)
- Attachment 2:** Findings of Fact, Standards for Special Use
- Attachment 3:** Findings of Fact, Standards for Variations
- Attachment 4:** Legal Description
- Attachment 5:** Plat of Survey, prepared by Professional Land Surveying, Inc., and bearing a revision date of 12/18/2019 (1 Sheet)
- Attachment 6:** Site Plan, Sheet A1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 1/16/2020 (1 Sheet)
- Attachment 7:** Architectural Drawings, Sheet Nos. A2-A5, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019 (4 Sheets)
- Attachment 8:** Landscape Plan, prepared by Kestrel Design, and bearing a revision date of November 12, 2019 (1 Sheet)
- Attachment 9:** Engineer's Estimate of Improvement Costs, prepared by Bono Consulting Inc., and dated 10/29/2019 (1 Sheet)
- Attachment 10:** Engineering Plans, Sheet Nos. C0-C3, prepared by Bono Consulting Inc., and dated 10/29/2019 (4 Sheets)
- Attachment 11:** Engineering Review Letter, prepared by Christopher B. Burke Engineering Ltd., and dated January 17, 2020 (2 pages)
- Attachment 12:** Construction Schedule, dated 10/21/19 (4 pages)
- Attachment 13:** Traffic Review Letter, prepared by Gewalt Hamilton Associates, Inc., dated January 16, 2020 (2 pages)
- Attachment 14:** Traffic Control Plan, Sheet No. T1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019 (1 Sheet)
- Attachment 15:** Photometric Plan, prepared by Red Leonard Associates, and dated 10/28/19 (1 Sheet).
- Attachment 16:** Planning Review Letter, issued by the Village of Willowbrook, and dated 01/22/20 (6 pages)

It should be noted that all plan documents are still under review and require modifications, and that final documents forwarded to the Board will need to all be newly revision dated and identified "For Village Board Approval".



Background

Description of Site

The subject property is located at the northwest corner of Illinois Route 83 and Plainfield Road. The subject property has a total land area of approximately 49,988 square feet, or approximately 1.147 acres. The subject property is currently located in the B-2 Community Shopping Zoning District and consists of Lots 11, 12, 13 and 14 in the Tri-State Village Unit Number 5 Subdivision. The subject property is highly irregular in shape and is subject to multiple 100-foot special setback requirements from Illinois Route 83 to the east and Plainfield Road to the south. The subject site is currently occupied with a gas station with twelve (12) passenger vehicle fueling positions, a convenience store, and a single bay car wash. A wetland detention pond and woodland area are located off-site to the west of the subject property. The project area is located within the Sawmill Creek sub-watershed and Des Plaines River watershed.

Exhibit 1 Aerial of the Subject Property



Exhibit 2 Google 3D View of the Subject Property (Looking Northwest)



Surrounding Zones and Uses

Surrounding zoning and uses include a shopping center (Willowbrook Plaza Shopping Center) including a martial arts school, a cabinetry store, a Domino's Pizza restaurant, a mattress store, and associated parking lot in the B-3 zoning district to the north, the Willows shopping center including Pete's Fresh Market and associated parking lot in the B-2 zoning district to the northeast, the Willowbrook Town Center in the B-2 zoning district to the southeast, lots zoned for neighborhood convenience shopping uses to the south (City of Darien), and lots zoned in the R-2 zoning district to the west (City of Darien). The lot immediately to the west of the subject property is zoned R-2 but there is no residential structure on this lot and has been used as a regional storm water basin. The Village of Willowbrook's Comprehensive Plan designates the site for "Community Commercial" uses, which corresponds to the B-2 Community Shopping Zoning District.

Exhibit 3 Zoning Map (B-2 Community Shopping)



Existing Streets and Circulation

Illinois Route 83/Kingery Highway is designated as a Regional Arterial and forms the eastern boundary of the site with a required right-of-way width of 200 feet. A right-in/right-out access drive on IL Rt. 83 is located approximately 170 feet north of Plainfield Road. The access drive provides one inbound lane and one outbound lane restricted to right-turn movements by the median on IL Rt. 83.

Plainfield Road is designated as a Major Arterial and forms the southern boundary of the subject property with a required right-of-way width of 100 feet. A full movement access drive on Plainfield Road is located approximately 170 feet west of IL Rt. 83. The access drive provides one inbound lane and one outbound lane divided by a landscape median. It should be noted that as part of ongoing construction at the intersection of IL Rt. 83 with Plainfield Road, the inbound lane of this intersection is blocked, and the westbound lane is operating as an inbound and outbound lane.

Illinois Route 83 with Plainfield Road Intersection Improvements

The intersection of IL Rt. 83 with Plainfield Road is currently under construction and will be improved as follows:

- Plainfield Road will provide dual left-turn lanes on both approaches.



- Plainfield Road will provide a right-turn lane on the westbound approach.
- The northbound right-turn lane on IL Rt. 83 will be extended through the intersection to serve the retail development in the northwest quadrant.

History

Prior Zoning Request

The previous ordinances regulating this facility are as follows:

- Ordinance No. 77-O-14 – Original special use ordinance establishing the use, but without specific bulk standards.
- Ordinance No. 78-O-43 – Amended original special use to provide for signage and construction of a canopy within required IL Rt. 83 front yard, without specific standards.
- Ordinance No. 80-O-40 – Amended most recent ordinance to permit a canopy encroachment along the IL Rt. 83 front yard to 6'-6" and permit a canopy height of 16'-10".
- Ordinance No. 84-O-12 – Amended previous ordinance to revise the bulk standard setback for a canopy to 51 feet along both IL Rt. 83 and Plainfield Road, revise transition yard setback to 30 feet and the accessory use setback to 15 feet for the construction of a car wash facility, and the upgrading of site signage to conform to Village standards.
- Ordinance No. 94-O-29 – Further amended previous ordinance to revise the specific setbacks and bulk standards for a canopy to 20' and gasoline pump dispenser islands to 29'-6" along IL Rt. 83; revise the bulk standards for a canopy to 26'-10" and gasoline pump dispenser islands to 36'-4" along Plainfield Road; reduce the minimum lot area from three (3) acres to one and 147/1000th hundred (1.147) acres; reduce the rear yard setback to 29'-7" for the existing car wash, 25' feet for the existing attendant kiosk, and 30'-4" for the food mart; revise the transition yard setback to 70' for the refuse storage area, reduce the required screening to a 4' berm with the existing single row of evergreens, 6' in height spaced 5' on center, and the remainder of the transition yard screened with a double row of evergreens, 3' in height spaced 3' on center; reduce the parking area setbacks to 1' for the impervious surface setback; reduce the minimum number of stacking spaces for automobile laundries to 10 stacking spaces; reduce the required minimum access driveway curb radius for two-way driveways intersecting with IL Rt. 83 from 30' to 15'; reduce the minimum separation requirement between an access driveway entrance and an adjoining lot line from 70' to 68'; reduce the minimum access driveway spacing for separate driveways on a lot from 85' to 75'; reduce the minimum access driveway separation from the adjoining street on a corner lot from 85' to zero feet for the access driveway along Plainfield Road, and to 12' for the access driveway along IL Rt. 83; reduce the minimum building height for a sign which projects from the face of the wall upon which it is mounted from 7'-6" to 2'-6"; and reduce the minimum separation for detached accessory buildings from the principal building from 10' to 3'.

Overview

Development Proposal

The existing car wash has been operating since the mid-1980s. The property owner, Maqpoon Management Inc. acquired the property in 2019 and wishes to modernize the existing car wash which is over 30 years old. The property owner requests an amendment to the special use to replace the existing car wash with an



automated car wash tunnel that will accommodate a maximum capacity of six cars (the greatest possible number of automobiles undergoing some phase of laundering at the same time). The proposed car wash expansion will replace the existing seven parking spaces with two (2) parking spaces and six (6) vacuum stations.

The property owner anticipates a top of the line car wash facility at this location in terms of building appearance and functionality. The property owner proposes using state of the art equipment which appear to lack in many existing local Willowbrook facilities. The car wash is proposed to operate from 8:00 A.M. to 7:00 P.M. Monday through Sunday. According to the Traffic Impact Evaluation, the proposed car wash expansion is expected to process thirty-nine (39) vehicles during the weekday evening peak hour between 4:00 P.M. to 6:00 P.M.

Car Wash Circulation

The single-lane automatic car wash tunnel will be an exterior-only car wash system and will have a clockwise rotation around the site. The entrance to the car wash drive-through system is located at the southwest end of the site. Vehicles will proceed along the west edge of the site and will approach the payment kiosk at the entrance to the car wash to select and pay for their car wash options. Vehicles will then proceed forward to the entrance of the tunnel. At the entrance to the car wash tunnel, the driver will remain in the vehicle and the car wash will automatically pull the vehicle through the tunnel. After exiting the tunnel, the vehicles will turn east and then either proceed straight to the IL Rt. 83 right-in/right-out access drive or turn right to access the vacuum positions or continue to the Plainfield Road access drives. Approximately five vehicles can be accommodated between the car wash exit and the IL Rt. 83 access drive.

Car Wash Stacking

The site plan indicates there is area for approximately five vehicles to queue between the payment kiosk and the Plainfield Road access drive. In addition, there appears to be additional stacking for vehicles on site. As such, the car wash is projected to process thirty-nine (39) vehicles during the weekday evening peak hour (the peak hour with the highest traffic volumes) of adjacent roadway traffic. A majority of inbound traffic, based on the counts, will access the site from the IL Rt. 83 access drive.

Vacuum Positions and Parking

The existing gas station provides seven (7) standard parking spots for employees and patrons. With the expansion of the car wash, the number of parking spaces will be reduced to two (2) spaces, including one (1) accessible parking space. The site will provide six (6) vacuum parking positions located on the east side of the car wash tunnel.

Requested Action:

Approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code, to modernize and enlarge the existing car wash with associated site improvements.

Staff Analysis

Appropriateness of Use

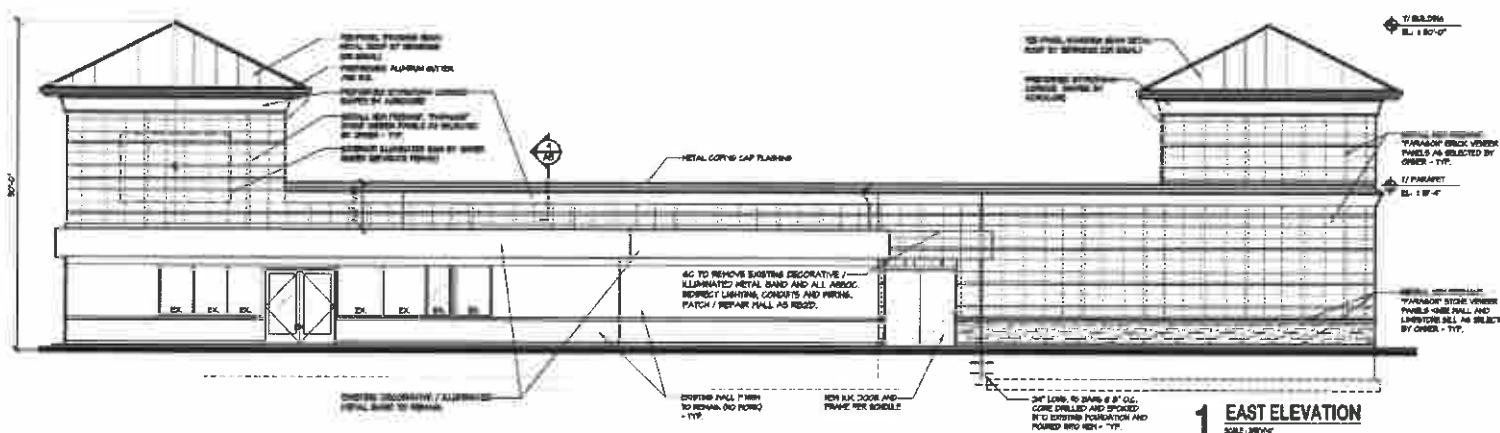
The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. The current uses on the subject property are a gas station, convenience food mart and a car wash, and the proposed uses are not changing. The special use amendment requested is only to expand the existing car wash. As the gas station, food mart and car wash have existed on the subject property for decades, the site appears to be appropriate for the expanded use.



Building Elevations

The petitioner has submitted building elevations, including the east elevation as shown in **Exhibit 4** below. **Refer to Attachment 7** for the remaining elevations. The proposed car wash expansion provides variations in the choice of building materials, and introduces a sufficient number of breaks in the façade with material changes and variations of the roof line with the use of tower elements and pyramid hip roofs. Proposed building materials include a combination of brick veneer panels, stone veneer knee walls with limestone sills, and prefabricated cornices. Glass block windows punctuate the west elevation to allow natural light to filter into the proposed facility. Furthermore, the proposed building elevations will conform to the General Conditions of the Business Districts under Section 9-6-1(E) Building Façade Materials. Since the submitted building elevations were only drawn in black and white, Staff requests that the building elevations be revised to indicate complementary, neutral colors. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

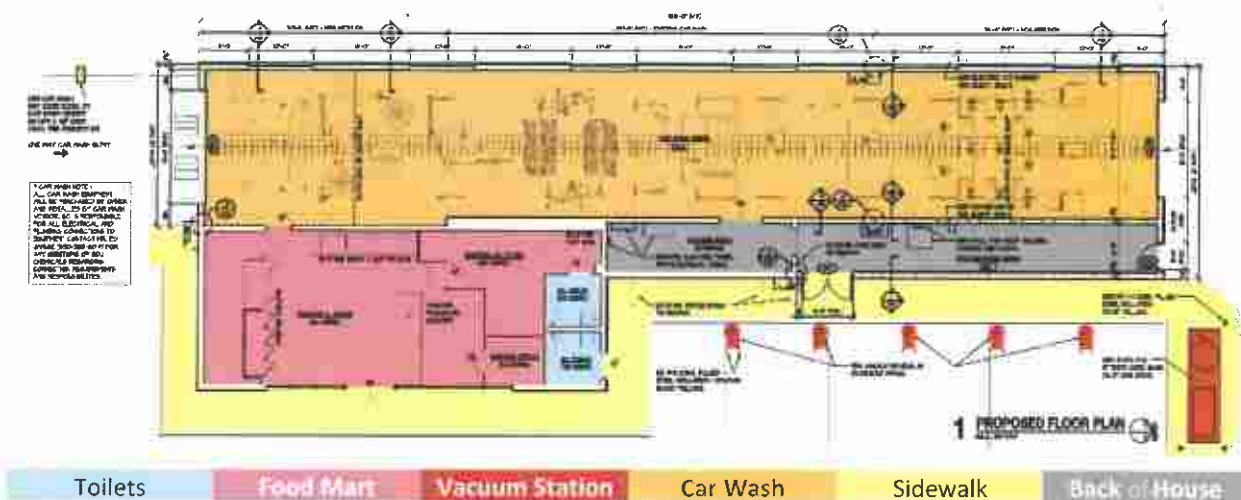
Exhibit 4 East Elevation



Building Floor Plans

The proposed car wash expansion will be one-story (with two architectural tower features) and will add approximately 1,351 gross square feet, resulting in a total gross floor area of 3,932 gross square feet for the car wash and food mart combined. A color-coded breakdown of the proposed building's first floor plan is shown below in **Exhibit 5**. Refer to **Attachment 7** for more detail.

Exhibit 5 Floor Plan





Zoning Bulk Requirements

The property is zoned B-2 (with a Special Use). The petitioner is requesting the approval of an amendment to the existing special use for several bulk exceptions and variations. A detailed discussion of specific setbacks and important bulk exceptions and variations for the car wash addition is provided in **Exhibit 6** and **Exhibit 7** shown below and on the following page. As previously discussed in the History section of this report, the subject property is further governed by Ordinance No. 94-O-29, which provided significant zoning relief from the specific setbacks and B-2 bulk regulations.

Exhibit 6 B-2 Specific Setbacks Compliance Table

Specific Setbacks				
Item	Code Section or Ordinance	Code Requirement	Proposed	Departure
Route 83 Setback	9-3-7(A)1	100'	77'-8" (NE corner of car wash addition) 56'-8", 74'-9", 80'-4", 85'-10", 91'-4" and 96'-11" for vacuum stations	Yes
	94-O-29 Sect. 3	20' (overhead canopy) 29'-6" (gas pump)	20'-0" (overhead canopy) 39'-5-3/4" (gas pump)	None
Plainfield Road Setback	9-3-7(A)4	100'	101'-0" (existing food mart) 76'-7" for refuse storage area	None Yes
	94-O-29 Sect. 4	26'-10" (overhead canopy) 36'-4" (gas pump)	20'-0" (overhead canopy) 30'-9" (gas pump)	None

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Exhibit 7 B-2 Zoning District Compliance Table

B-2 Zoning District Bulk Regulations				
Min. Lot Area	9-6B-3(A)	3 acres	1.147 acres	None
	94-O-29 Sect. 6	1.147 acres		
Min. Lot Width	9-6B-3(C)2	200'	292.85' See 9-3-12	None
Min. Lot Depth	9-6B-3(D)	200'	Less than 200' (175.00' and 143.00' lot lines)	None See 9-3-12
Min. Front Yard Setback (Kingery Hwy)	9-6B-3(E)1	60'	56'-8" for one vacuum station	Yes
	94-O-29 Sect. 8	20' (overhead canopy) 29'-6" (gas pump)	20'-0" (overhead canopy) 30'-9" (gas pump)	None
Min. Interior Side Yard Setback (175.00' and 143.00' lot lines)	9-6B-3(E)2	30'	30'-10" (car wash addition- north)	None
Min. Exterior Side Yard Setback (Plainfield Road)	9-6B-3(E)3	60'		
	94-O-29 Sect. 8	26'-10" (overhead canopy) 36'-4" (gas pump)	26'-6" (overhead canopy) 37'-7" (gas pump)	None
Min. Rear Yard Setback (88.40' and 132.05' lot lines)	9-6B-3(F)4	40'		
	94-O-29 Sect. 9	29'-7" (car wash) 25' (attendant kiosk) 30'-4" (food mart)	13'-9" (car wash addition) 16'-3" (attendant kiosk) Unchanged (food mart) 4'-7" (transformer pad)	Yes
Min. Transition Yard (from 143.00' lot line)	9-6B-3(F)5	100' 6' berm planted w/overstory trees spaced every 30' o.c.	Existing woodlands to remain	None
Min. Screening Requirements	94-O-29 Sect. 10	70' (refuse storage area) 4' berm w/single row of extg. evergreens, 6' in height spaced 5' o.c. and the remainder of the transition yard screened w/double row of evergreens, 3' in height and spaced 3' o.c.	83'-10" (refuse storage area) Existing woodlands to remain	None
Max. Lot Coverage	9-6B-3(F)	50%	45% (22,768 sq.ft.)	None
Max. Height	9-6B-3(G)	30'	30' to Top of Building Tower 15'-4" to Top of Parapet	None
Max. Floor Area Ratio	9-6B-3(H)	0.30	0.08	None

Lot Dimensions: The subject property has a minimum lot area of approximately 49,988 square feet, or 1.147 acres and a lot width of over 200 feet. The subject property has a lot depth that varies between 133 feet and approximately 175 feet. Because the lot is a preexisting condition, a variation for reduce lot depth was never requested in the previous planning requests because Section 9-3-12 provides an exemption. Therefore, the proposed lot dimensions are in compliance with the Village Zoning Ordinance.

Setbacks: The proposed car was addition will require several variations from the required minimum front yard, exterior side yard, rear yard setbacks in addition to the specific setbacks due to the location of the proposed addition, new attendant kiosk, refuse storage area and vacuum stations. Due to the highly irregular shape of



the site, and after the application of the 100-foot special setbacks from IL Rt. 83 (east) and Plainfield Rad (south), a 100-foot transition yard setback (west), a 30-foot interior side yard setback (north) and a 40-foot rear yard setback (northwest), the buildable area of this site is limited to an area of approximately 4,200 square feet with dimensions of roughly 35 feet by 120 feet. Staff therefore recommends support of the variations with reasons stated in the Findings of Fact section of the report.

Building Height: The maximum height of a building in the B-2 Zoning District is forty feet (30'). The proposed building height for the car wash is thirty (30') and is in compliance with the Zoning Ordinance.

Densitv and Coverage: The maximum lot coverage (building coverage) in the B-2 Zoning District is 50% per Section 9-6B-3(F). The proposed addition and existing food mart has a building footprint of approximately 22,768 square feet. On a 1.147-acre lot, the building coverage is approximately 45% and is below the maximum 50% threshold. As a one-story building, the floor area ratio (FAR) is approximately 0.08, which is below the minimum required 0.30 FAR. The lot coverage and FAR are in compliance with the Zoning Ordinance.

Parking & Loading

Required Parking: The existing gas station provides seven (7) standard parking spots for employees and patrons. With the expansion of the car wash, the number of parking spaces will be reduced to two (2) spaces, resulting in a loss of five (5) parking spaces. Required parking was calculated by using the parking formula outlined in Section 9-10-5(K) of the Village Code. Under the uses "Automobile laundries" and "Automobile service stations", the zoning code requires a total of eighteen (18) parking spaces based on the parking ratios summarized in **Exhibit 8** below.

Exhibit 8 Required Parking Calculation

Use	Code Section or Ordinance	Code Requirement	Req. Spaces	Proposed Spaces	Departure
Automobile laundry	9-10-5(K)	1 parking space for each 1.5 employees, and in addition, standing spaces to accommodate automobiles awaiting entrance to the facility equal in number to 10 times the max. capacity of the automobile laundry.	18 parking spaces plus 60 stacking spaces	14 parking spaces plus 10 stacking spaces	Yes (authorized)
Automobile service station	9-10-5(K)	1 parking space for each gasoline dispensing unit, plus 2 for each service bay, plus 1 space for each 200 square feet of floor area within an accessory minimart			

* One (1) accessible space are required per Code Section 9-10-5(N).

The site will provide six (6) vacuum positions located on the east side of the car wash tunnel. While these spaces will primarily serve the car wash customers, they are adjacent to the gas station and convenience store and can also be used by other gas station customers. Additionally, a majority of customers utilizing the convenience store will leave their car at the fueling positions and will therefore not require a parking space. The parking of cars at the six (6) fueling positions in addition to the two (2) parking spaces results in the provision of fourteen (14) parking spaces. Staff recommends approval of the proposed variation to reduce the parking requirement from eighteen (18) parking spaces to fourteen (14) parking spaces; however,



supporting documentation should be provided in order to verify appropriate parking and stacking will be provided. This is discussed further in the Traffic Impact Study section in the following pages.

Pavement Setbacks: Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The proposed site plan is in compliance with the pavement setback requirements required by the Village Code and Ordinance No. 94-O-29.

Landscaping

A significant amount of new landscaping is being provided site wide. The proposed landscaping is shown in **Attachment 8**. The existing woodlands located along the western exterior side yard and rear yards will remain. Staff is currently working with the applicant on a revised landscape plan that complies with Section 9-6-1(D) Front And Exterior Side Yard Landscape Planting Requirements, Section 9-6B-3(E)5 Screening in Transition Yards and Section Ten of Ordinance No. 94-O-29, Section 9-10-5(G)1 to Section 9-10-5(G)4 Screening and Landscaping Standards, and Section 9-14-2(D) Required Landscaping. Staff anticipates that only minor changes will be required as the proposed development appears to provide sufficient landscaping, but a condition has been added to ensure that the landscape plan will address the comments in the planning review letter outlined in **Attachment 16**.

Signage

Signage details have not yet been provided by the applicant. Signage shall comply with the Village Code. A condition has been added to ensure that any new signage shall comply with the sign ordinance.

Trash Enclosure

The petitioner is proposing a 8' x 8'-4" trash enclosure located near the entrance of the car wash. A trash enclosure plan and details were provided by the petitioner. The proposed trash enclosure appears to comply with Section 9-12-11 of the Village Code which requires that trash enclosures must be constructed to look like masonry and shall appear to the color and style of the building. A condition has been added to ensure compliance with the zoning code.

Lighting

The petitioner has submitted a photometric plan for the proposed self-storage facility. The photometric plan is consistent with the similar project previously approved. The photometric plan has been reviewed by the Village's Engineer, and the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance. The lighting standards in the zoning code are very strict and the Village has been a little relaxed in cases such as gas stations and car dealerships where a significant portion of the business is conducted outside, increasing the need for extra illumination. There is also no residential structure adjacent to the project, and the site is surrounded by commercial properties, with the Wendy's to the south, Willowbrook Town Center to the southeast, Pete's Fresh Market to the east, and other retail to the north. The property to the west is a regional storm water basin. Glare shield can be required if the lights are a nuisance to the houses several hundred feet to the west. These houses will not be impacted by glare, but the lights may be visible, depending on tree growth and angle of the light fixtures. The intersection has roadway lighting, so the minimal light cast into the right of way is mostly cast over the driveways.

Engineering

The civil engineering drawings have been reviewed by the Village's Civil Engineer from Christopher B. Burke Engineering, Ltd. (CBBEL) who has the following comments:

1. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 189 for Du Page County dated August 1, 2019.



2. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
3. The floodplain limits and elevation must be shown on both Sheets C-1 and C-3.
4. It appears that the grading southwest of the carwash entrance may impact the floodplain. If there is fill, compensatory storage will be required. Consideration should be given to modifying the plan to avoid floodplain fill.
5. The grass area at the north end of the site is detention from a previous expansion. The volume must be preserved. The applicant should request a copy of the previously approved plans from the Village for reference. Also, if there was a restrictor and it is now missing, it must be replaced.
6. Add a curb detail to the plan set.
7. An abbreviated Storm Water Submittal must be provided. Many sections will be noted as "Not Applicable", but because of the wetland and floodplain on site, it must be prepared.
8. The wetland delineation must be confirmed by CBBEL staff.
9. The wetland portion of the Stormwater Submittal must include a statement that the wetlands and buffer will not be impacted, or a discussion of impacts and mitigation if it is impacted.

To address the floodplain, the applicant is required to add some retaining walls to transition the grading without impacting the floodplain, but it appears this can be achieved relatively easily. The environmental review did not reveal any major concerns regarding any impacts to wetlands or buffer, as long as the Village engineer's comments are addressed.

Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

The Traffic Study has been reviewed by the Village's traffic consultant from Gewalt Hamilton Associates (GHA) and the review raised some concerns of site access from the Plainfield Road driveway. Due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), **it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.** A condition of zoning approval has been added to ensure that all outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board.

As discussed previously in the Parking & Loading section of this report, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. The Village Traffic Engineer has thus requested that the petitioner provide supporting documentation in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit was requested to illustrate the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) was also requested. Staff recommends that the approval of the variations for reduced stacking rely on and be determined by this supporting documentation.

Tri-State Fire District Review

The Tri-State Fire District reviewed the proposed site plan and did not find any significant issues with the proposed site plan.



Findings of Fact

Standards for Special Use Permit

Section 9-14-5(B) of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use permit. The applicant's responses are provided in **Attachment 2**.

Standards for Variations

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provided in **Attachment 3**.

Public Hearing and Recommendation

The Plan Commission conducted a public hearing on this petition at their February 5, 2020 meeting. The following members were in attendance: Chairman Dan Kopp, Vice Chairman Wagner, Commissioners Remkus, Ruffalo, Kaucky, and Walec. David Schaefer, the project architect, and Mahboob Abbas, the property owner, were in attendance. There were no members of the public that came forward with public comments.

The discussion by the Plan Commission centered on the overall traffic conditions on Plainfield Road and Route 83. Commissioner Wagner raised concerns about the westbound traffic on Plainfield Road, especially the build-up of traffic that occurs around Route 83/Plainfield Road intersection due to cars entering the existing gas station on Plainfield Road. The current stacking exhibit prepared by the applicant's traffic engineer (KLOA) incorrectly indicates that cars would stack across the west exit and within the right-of-way, blocking access for cars trying to make a right turn out onto Plainfield Road. A review of the traffic study by the Village traffic consultant, Gewalt Hamilton Associates (GHA), resulted in a recommendation to restrict (close off) the right-in access from Plainfield Road, a recommendation that Commissioner Kopp did not agree with. Commissioner Kopp indicated that closing off this access would be bad for business because it would result in only one access driveway into the proposed development from Route 83. Commissioner Wagner also voiced his concerns over the lack of parking directly in front of the convenience store, and questioned the need for six vacuum stations. Commissioner Wagner also suggested making the Plain Road right-in/right-out driveway wider, reconfiguring the angled access driveways to be perpendicular to Plainfield Road, and to shift the driveway on Plainfield Road as far to the west as possible.

The Plan Commission therefore had the following recommendations for the applicant to consider:

1. Add striping along the front of the convenience store to designate said portion as patron parking.
2. Signage shall be added near the six parking spaces providing vacuum equipment. Signage shall say "Parking" to indicate that the parking spaces are dual purpose, and can be used by convenient store/gas station patrons in addition to individuals using the vacuum equipment.
3. Shift the Plainfield Road entrance/exit as far west of the property as possible, and make it wider. This will improve the queuing problem on westbound Plainfield and may eliminate the potential problem of stacked cars blocking the access to the gas pumps.



Summary of New Variations Requested

The purpose of this public hearing is to consider a petition requesting approval of an amendment to an existing special use for the following variations:

- 1) Approval of a variation from Section 9-3-7(A)1 to reduce the minimum required setback on Illinois Route 83 from one hundred feet (100') to seventy-seven feet, eight inches (77'-8") for the northeast portion of the car wash addition; to fifty-six feet, eight inches (56'-8"), seventy-four feet, nine inches (74'-9"), eighty feet, four inches (80'-4"), eighty-five feet, ten inches (85'-10"), ninety-one feet, four inches (91'-4") and ninety-six feet, eleven inches (96'-11") for the six (6) vacuum stations.
- 2) Approval of a variation from Section 9-3-7(A)4 to reduce the minimum required setback on Plainfield Road from one hundred feet (100') to seventy-six feet, seven inches (76'-7") for the refuse storage area.
- 3) Approval of a variation from Section 9-6B-3(E)1 to reduce the front yard setback on Illinois Route 83 from sixty feet (60') to fifty-six feet, eight inches (56'-8") for the northernmost vacuum station.
- 4) Approval of a variation from Section 9-6B-3(E)4 to reduce the rear yard setback from forty feet (40') to thirteen feet, nine inches (13'-9") for the southwest portion of the car wash addition; to four feet, seven inches (4'-7") for the transformer pad, and to sixteen feet, three inches (16'-3") for the new attendant kiosk.
- 5) Approval of a variation from Section 9-10-5(K) to reduce the minimum parking requirements from eighteen (18) parking spaces to fourteen (14) parking spaces, and to reduce the minimum number of stacking spaces for automobile laundries from sixty (60) spaces to ten (10) spaces for the existing automobile laundry.
- 6) Approval of a variation from Section 9-14-2(D)2(c)4 "Border Plantings and Foundation Plantings" to reduce the minimum foundation landscape area from seven feet (7') to zero feet along the southern building façade of the automobile laundry.

The variations proposed by the new scope of work directly relate to non-conforming conditions already implemented on the existing site. These variations are required to allow for the modernization and expansion of the existing car wash, and to provide proper safe and secure measures for all future users at the subject property.

Recommended Conditions of Approval

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a motion for this case.

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the February 5, 2020 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
2. All outstanding comments from the Village Engineer shall be addressed prior to final zoning approval from the Village Board.
3. All outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board. Approval of the variations for reduced stacking spaces and parking spaces shall be adjusted subject to the recommendation of the Village Traffic Engineer.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a building permit by the Village of Willowbrook.



5. The petitioner shall obtain all necessary permits from Illinois Department of Transportation (IDOT) and/or DuPage County Division of Transportation (DuDOT) prior to performing any work within the IL Route 83/Plainfield Road rights-of-way. The petitioner shall provide a copy of IDOT's and/or DuDOT's review of the car wash addition plans and copies of all correspondence with said agencies to Village Staff before final zoning approval, as applicable.
6. The construction and use of the car wash addition shall at all times be in substantial compliance with the site improvement plans, architectural floor plans, landscape plans and building elevations submitted by the petitioner.
7. The landscape plans shall be approved subject to the applicant's compliance with the planning review letter dated January 22, 2020, issued by the Village of Willowbrook, and included as Attachment 13.
8. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
9. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
10. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
11. The special use permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.
12. Striping along the front of the convenience store shall be added to designate said portion as patron parking.
13. Signage shall be added near the six parking spaces providing vacuum equipment. Signage shall say "Parking" to indicate that the parking spaces are dual purpose, and can be used by convenient store/gas station patrons in addition to individuals using the vacuum equipment.
14. The island median on Plainfield Road shall be modified with striping to enforce the restriction with traffic entering at the easterly curb cut and exiting at the westerly curb cut.

Staff Recommendation

It will be necessary for the applicant to complete any minor changes required, which include any driveway access changes, landscape plan modifications, and addressing the comments regarding stormwater, floodplain and wetland buffer. Staff will be recommending that the Village Board approve the special use petition subject to the applicant addressing these items and subsequently approved by staff, prior to final zoning approval for Ducky's Car Wash Addition. Upon the applicant's completion of any required revisions, an ordinance will be prepared and this item will be placed on a future Village Board agenda for consideration.

Staff supports the requested special use amendment and variations and recommends the Plan Commission approve the following sample motion on the following page:



Sample Motion

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the Staff Report prepared for the February 5, 2020 Plan Commission for PC 20-01, and recommend approval of an amendment to the existing special use and requested variations, as listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting, subject to the following "Recommended Conditions of Approval" listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting:

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the February 5, 2020 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
2. All outstanding comments from the Village Engineer shall be addressed prior to final zoning approval from the Village Board.
3. All outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board. Approval of the variations for reduced stacking spaces and parking spaces shall be adjusted subject to the recommendation of the Village Traffic Engineer.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a building permit by the Village of Willowbrook.
5. The petitioner shall obtain all necessary permits from Illinois Department of Transportation (IDOT) and/or DuPage County Division of Transportation (DuDOT) prior to performing any work within the IL Route 83/Plainfield Road rights-of-way. The petitioner shall provide a copy of IDOT's and/or DuDOT's review of the car wash addition plans and copies of all correspondence with said agencies to Village Staff before final zoning approval, as applicable.
6. The construction and use of the car wash addition shall at all times be in substantial compliance with the site improvement plans, architectural floor plans, landscape plans and building elevations submitted by the petitioner.
7. The landscape plans shall be approved subject to the applicant's compliance with the planning review letter dated January 22, 2020, issued by the Village of Willowbrook, and included as Attachment 13.
8. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
9. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
10. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
11. The special use permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.
12. Striping along the front of the convenience store shall be added to designate said portion as patron parking.
13. Signage shall be added near the six parking spaces providing vacuum equipment. Signage shall say "Parking" to indicate that the parking spaces are dual purpose, and can be used by convenient store/gas station patrons in addition to individuals using the vacuum equipment.



Attachment 1
Notice of Public Hearing
(2 pages)

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 20-01

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 5th of February, 2020 at the hour of 7:00 P.M. in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527.

The purpose of this public hearing shall be to consider a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code. The applicant seeks to modernize and enlarge the existing car wash with associated site improvements at the property legally described below, located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.

LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRI-STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM ALL THOSE PORTIONS GRANTED, CONVEYED AND DEDICATED TO THE STATE OF ILLINOIS PER DOCUMENTS R61-19732 AND R61-21445.

Described Property Contains 1.147 Acres

PINs: 09-23-310-024 and 09-23-310-025

ADDRESS: 7000 S. KINGERY, WILLOWBROOK IL 60527

The applicant for this petition is David Schaefer, for the property owner Maqpoon Management, Inc. (Mahboob Abbas).

Copies of the application and related documentation are on file in the office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Roy Giuntoli, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the January 16, 2020 edition of *The Doings* Newspaper.

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suburbs.com)



Attachment 2

Special Use Standards and Findings for PC 20-01 Ducky's Car Wash Addition

9-14-5(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) **That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Applicant Finding: The proposed car wash addition will not be detrimental nor endanger the public. When completed, this facility will provide a benefit to the community as a service and visual gateway into Willowbrook.

Staff Finding: The Village previously approved a special use permit for a gas station on the subject property in 1977, and subsequently amended the special use permit on several occasions to approve a car wash use and food mart use in 1980, 1984 and 1994, respectively. These facilities have operated on the subject property for many years without endangering the public health, safety, morals, comfort or general welfare.

- (B) **That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Applicant Finding: The proposed car wash addition will not be injurious nor diminish property values. The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. When completed, this updated and renovated facility will improve the neighborhood and property values.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market/Willows Shopping Center, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars.

- (C) **That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to



the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market and out-lot, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars. The car wash expansion will offer a new service that is not offered in the immediate vicinity.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.**

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. All utilities, drainage and facilities will comply with code.

Staff Finding: The site has been and will continue to be serviced by all necessary utilities and drainage facilities which are and will be adequate for the proposed expansion.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

Applicant Finding: The property currently has more than adequate ingress and egress. Additional road improvements are currently being completed by IDOT.

Staff Finding: Comments regarding traffic and circulation will be addressed to minimize traffic congestion in the public streets prior to final zoning approval.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

Applicant Finding: The proposed addition will conform to all codes and regulations.

Staff Finding: The special use shall in all other respects conform to the applicable regulations of the district in which it is located. The car wash expansion and will comply with the regulations of the zoning ordinance, pending approval of the requested variations.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).**

Applicant Finding: To the best of my knowledge, there have been no previous application denials within the last year.

Staff Finding: Conditions in the area have substantially changed due to the development of Pete's Fresh Market/Willows Shopping Center. The intersection of Illinois Route 83 and Plainfield Road are still under construction and additional road improvements are currently being completed by IDOT. At least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.



Attachment 3

Variation Standards and Findings for PC 20-01 Ducky's Car Wash Addition

9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.**

Applicant Finding: The car washing equipment and facility is outdated compared to similar nearby car wash locations. In order to improve the car washing capability, new and additional equipment is required, which is the reason for the proposed car wash addition. The owner is looking to improve both the interior car washing equipment/experience and exterior appearance.

Staff Finding: The site is highly irregular and is subject to multiple special setback requirements. After application of the 100-foot special setbacks from Illinois Route 83 (east) and Plainfield Road (south), as well as a 100-foot transition yard special setback (west), a 30-foot interior side yard setback (north) and a 40-foot rear yard setback (northwest), the buildable area of this 49,988 square foot site is limited to an area of approximately 4,200 square feet with dimensions of roughly 35 feet by 120 feet. Thus, the remaining buildable area does not allow the property to be used to yield a reasonable return. The Village approved prior special use permit requests and numerous variations on the subject property for the food mart, gasoline pump dispensers, gas station canopy, attendant kiosk, and refuse storage area as the Village has found that the property cannot yield a reasonable return on several prior occasions.

- (B) **The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.**

Applicant Finding: The existing building was constructed closer to the rear of the property line than currently allowed by code. It is currently an eye-sore and the first thing people see when entering Willowbrook from the South. The existing car wash tunnel is too small to effectively clean cars.

Staff Finding: The requested variations are necessary to alleviate an unusual hardship in making reasonable use of the property. The requirements for providing eighteen parking spaces on site, sixty stacking spaces for the car wash, and complying with certain setback distances for the refuse storage area, new attendant kiosk and vacuum equipment would create a severe hardship on the property. The subject property is highly irregular in shape and is encumbered by steep grades along the western portion of the property.

- (C) **The alleged hardship has not been created by any person presently having a proprietary interest in the premises.**

Applicant Finding: The building is existing and was purchased as such by the property owner.



Staff Finding: The hardship to the applicant is created by the site's irregular site configuration and the requirement of multiple special setbacks which restrict the buildable area.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**

Applicant Finding: The proposed car wash addition will not be detrimental nor injurious to the neighborhood. When completed, this facility will have a new and improved appearance for the community as well as provide an improved car washing experience for its patrons.

Staff Finding: The proposed use is similar to the existing use and is compatible with nearby existing uses which are primarily commercial. The proposed car wash addition will not be detrimental to the public welfare nor injurious to other property or improvements in the neighborhood.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.**

Applicant Finding: Adjacent neighbors are far enough away that the proposed addition will not impact their light and air nor will it substantially increase traffic or the risk of fire.

Staff Finding: The proposed variations will not impair the supply of light and air to adjacent properties. The review of the Traffic Impact Study resulted in an observation that the site access driveways currently operate at acceptable levels of service and will continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. The proposed variations do not create any danger to public safety or increase the danger of fire.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)**

Applicant Finding: Approval of the proposed variation will comply with the spirit and intent of Title 9 of this code.

Staff Finding: The proposed variations will permit the expansion of a use that currently already operates and is consistent and compatible with the development in the area.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)**

Applicant Finding: Approval of the proposed variations will comply with the intent of Title 9 as explained above.

Note: We are seeking relief from the required front and rear yard building setbacks, as well as distance relief for the new kiosk and vacuum equipment as outlined in the Village of Willowbrook's Exhibit B, dated February 15, 1994.

Staff Finding: The proposed variations will allow modernization and beautification of the existing use and will result in a convenient, safe, tax-productive and aesthetic use of the property.



Attachment 4
Legal Description

PINS:

09-23-310-024

09-23-310-025

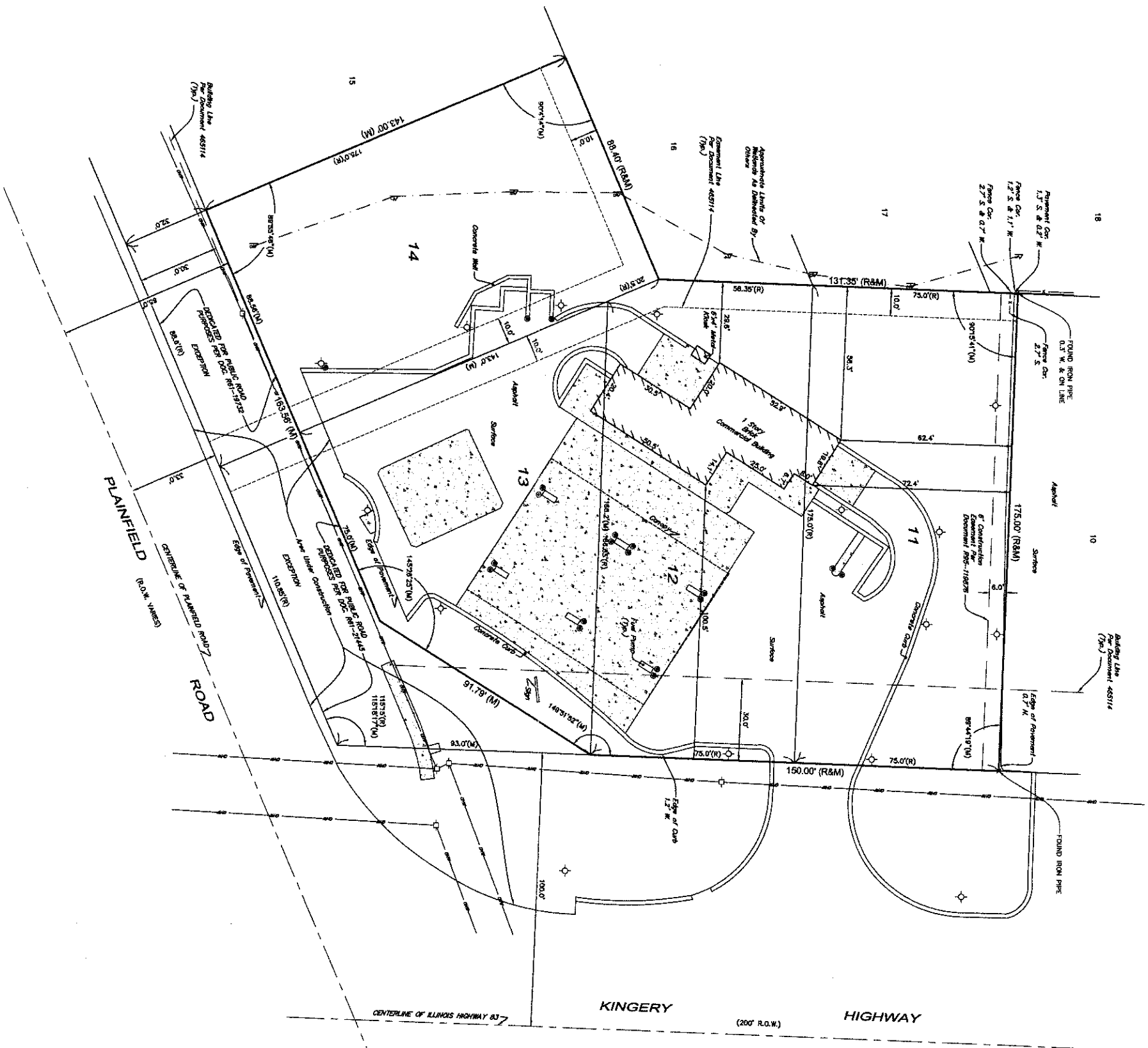
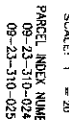
LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRI-STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM ALL THOSE PORTIONS GRANTED, CONVEYED AND DEDICATED TO THE STATE OF ILLINOIS PER DOCUMENTS R61-19732 AND R61-21445.



Attachment 5
Plat of Survey
(1 Sheet)

3080 OGDEN AVENUE SUITE 307

E-MAIL: info@pdsia.com

**LEGAL DESCRIPTION**

LOTS 11, 12, 13, AND 14 IN BLOCK 48 IN THE STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 23 AND PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 468114, IN DUPAGE COUNTY, ILLINOIS, EXCEPT THEREFROM ALL THOSE PORTIONS GRANTED, CONVEYED AND DEVOTED TO THE STATE OF ILLINOIS PER DOCUMENTS 681-187532 AND 681-21445.

SYMBOL LEGEND

- (R) - RECORD DATA
(M) - MEASURED DATA
--- - FENCE LINE
□ - POWER POLE
● - BOLLARD
X - STREET LIGHT
--- - OVERHEAD WIRES
[] - CONCRETE SURFACE
P - WETLAND FLAG

PREPARED FOR: SCHEFFER
ADDRESS: 2000 S. KINSERY HIGHWAY, WILLOWBROOK, ILLINOIS
BOOK & PG: FILE _____ DATE: 8/13/2019 JOB NO: 1012540
DRAWN BY: JHH CHECK BY: CLK
REVISION: 10/11/2019 WEILAND, FLAG LOCATIONS

DRAWING PATH: U:\Land Projects 3\17000-17999\17500-17599\17540\DWG\17540_Plan_Rvw_2019_12_18.dwg



Attachment 7
Architectural Drawing
(4 Sheets)



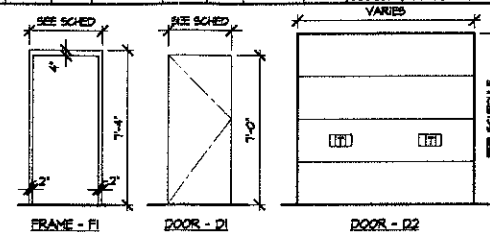
DAVID A. SCHAEFER ARCHITECTS
2500 S. HIGHLAND AVE., SUITE 340
LOMBARD, ILLINOIS 60148
P: 630.261.9250 F: 630.261.9259
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ROOM FINISH SCHEDULE X									
ROOM #	SPACE	FLOOR	BASE	CEILING	WALL		CEIL. HT.		
100	CAR WASH TUNNEL	SEALED CONC.	NONE	EXPOSED CONC. PLANK	12" H. FRP PANELS W/ EPOXY PAINT ABOVE		-		
101	EQUIP. ROOM	SEALED CONC.	NONE	EXPOSED CONC. PLANK	-		-		

DOOR SCHEDULE X									
DOOR				FRAME			HARDWARE		
NUMBER	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH
100.1	14'-0"	10'-0"	2"	D2	ALUMINUM	ANOD.	OVERHEAD DOOR W/ ELECT. SENSOR		
100.2	12'-0"	10'-0"	2"	D2	ALUMINUM	ANOD.	OVERHEAD DOOR W/ ELECT. SENSOR		
101.1	2'-0"	7'-0"	1-3/4"	D1	H. METAL	PAINT	FI	H. METAL	PAINT
101.2	3'-0"	7'-0"	1-3/4"	D1	H. METAL	PAINT	FI	H. METAL	PAINT

DOOR HARDWARE NOTES:

- DOORS SHALL BE OPERABLE FROM EGRESS SIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR EFFORT.
- DOORS/DOOR HARDWARE WILL COMPLY WITH THE STATE OF ILLINOIS ACCESSIBILITY CODE § 400.310(I).
- ALL DOORS/DOOR HARDWARE SHALL BE A LEVER SHAPE THAT IS EASY TO OPERATE WITHOUT THE NEED FOR TIGHT GRASPING OR TWISTING.
- ALL HARDWARE TO BE BRUSHED STAINLESS STEEL OR SATIN NICKEL FINISH.
- PROVIDE KURLER HARDWARE LOCKSETS FOR ALL UTILITY ROOM, IT CLOSET AND ELECTRIC CLOSET DOORS.

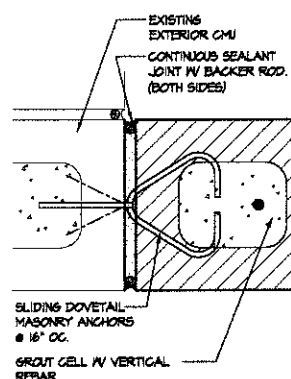


3 DEMOLITION ROOM PLAN

SCALE: 1/8" = 1'-0"

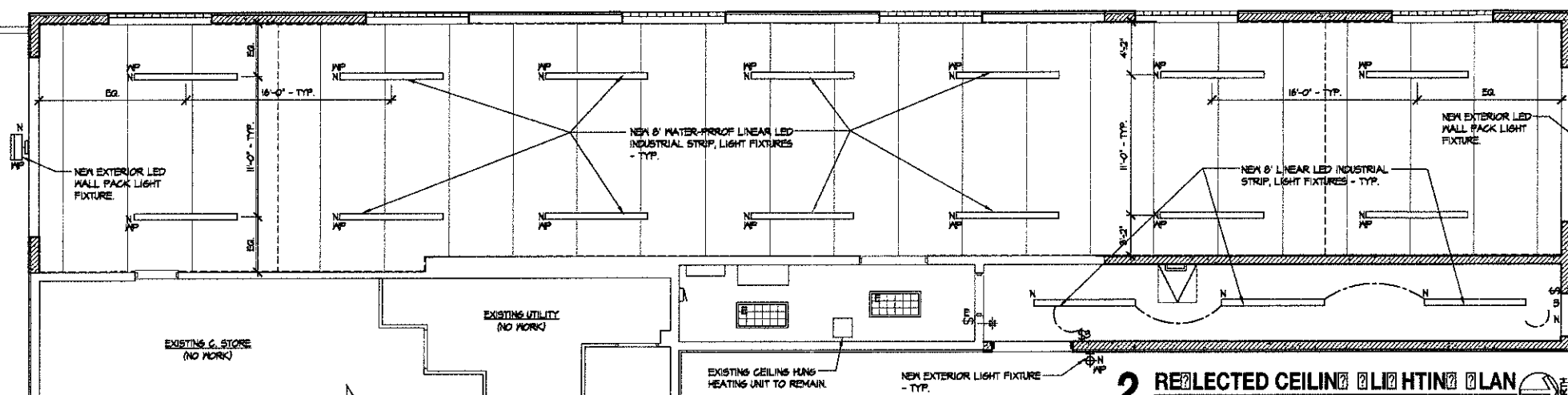
2 DEMOLITION 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



4 CONTROL JOINT

SCALE: 5" = 1'-0"

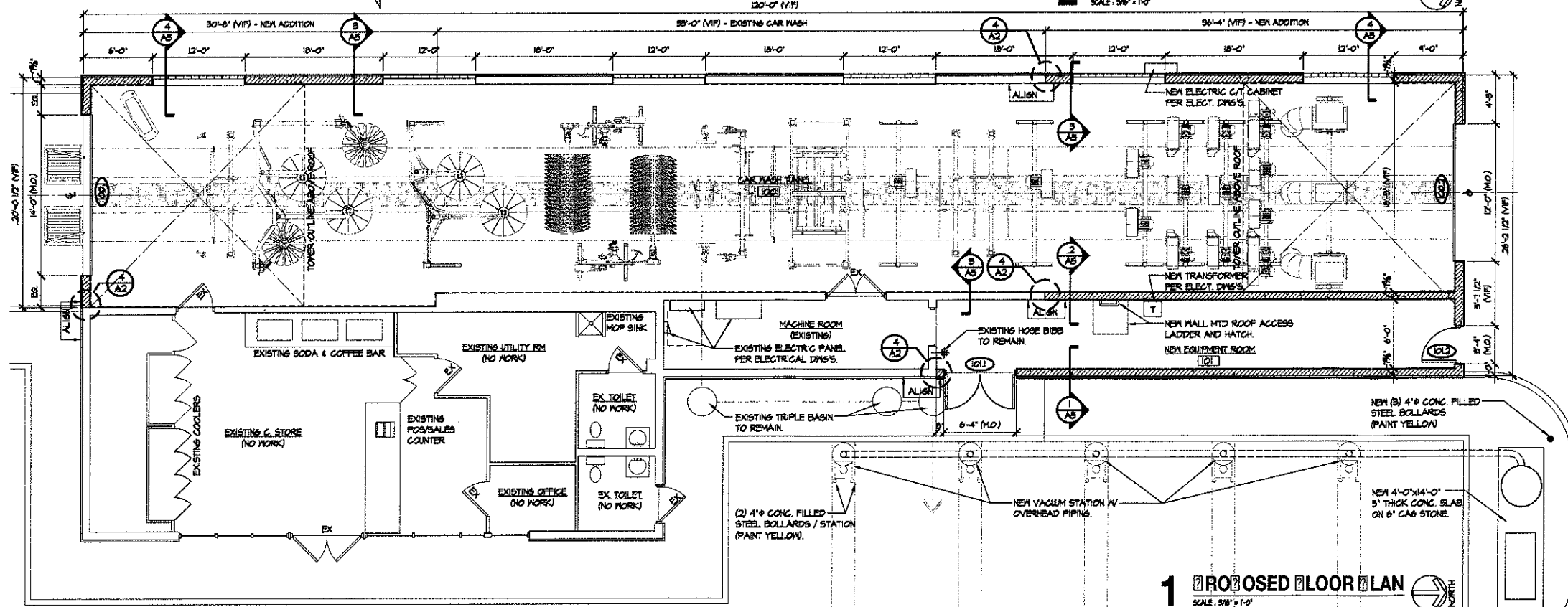


2 REFLECTED CEILING LIGHTING PLAN

SCALE: 3/16" = 1'-0"

NEW CAR WASH KEY CODE KIOSK BY CAR WASH VENDOR ON 12'-0" x 48" DEEP CONC. PER FOUNDATION.
ONE WAY CAR WASH ENTRY

* CAR WASH NOTE:
ALL CAR WASH EQUIPMENT WILL BE PURCHASED BY OWNER AND INSTALLED BY CAR WASH VENDOR. SC IS RESPONSIBLE FOR ALL ELECTRICAL AND PLUMBING CONNECTIONS TO EQUIPMENT. CONTACT MR. ED JANUSZ (630-388-6000) FOR ANY QUESTIONS OF E.P.J. CHEMICALS REGARDING CONNECTION REQUIREMENTS AND RESPONSIBILITIES.



1 PROPOSED 1ST FLOOR PLAN

SCALE: 3/16" = 1'-0"

NO.	DATE	DESCRIPTION
1	10/4/19	ISSUED FOR REVIEW

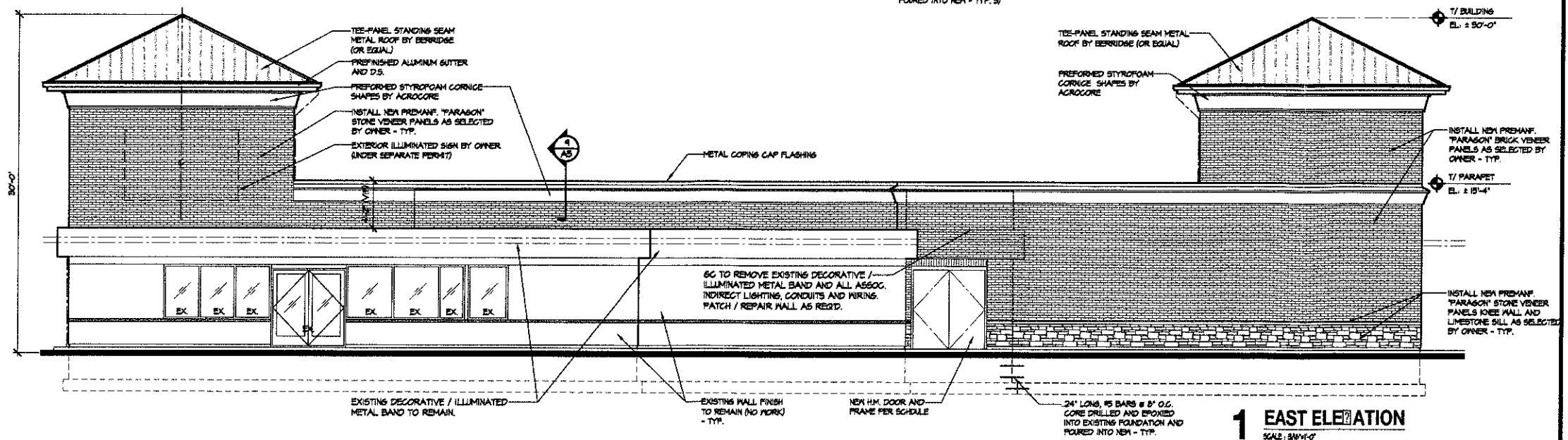
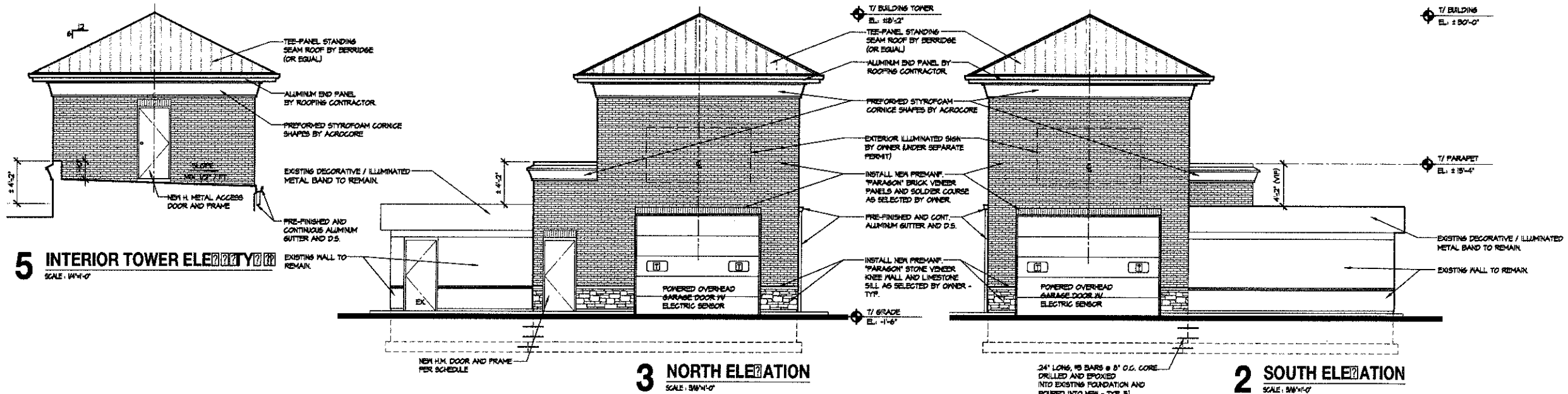
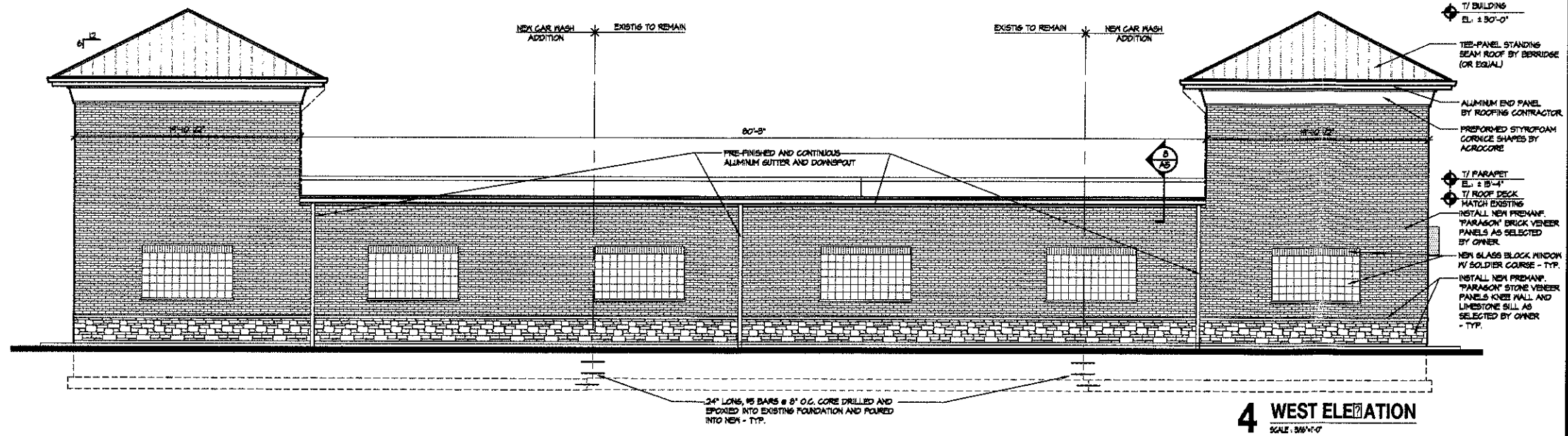
STAMP
STATE OF ILLINOIS
DAVID A. SCHAEFER
001-014246
LICENSED ARCHITECT
NOVEMBER 30, 2020
EXPIRES:
David A. Schaefer 10.4.19
SIGNATURE: DATE:
PROFESSIONAL DESIGN FIRM NO: 184.003216

DUCKYS CAR WASH ADDITION
7000 KINGSLEY HWY.,
WILLOWBROOK, IL 60527

DRAWN BY: S. LEE	SHEET NO. A2
PROJECT NO: 18-03	
ISSUE DATE: JANUARY 22, 2019	



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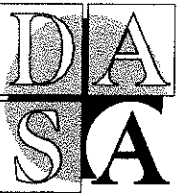


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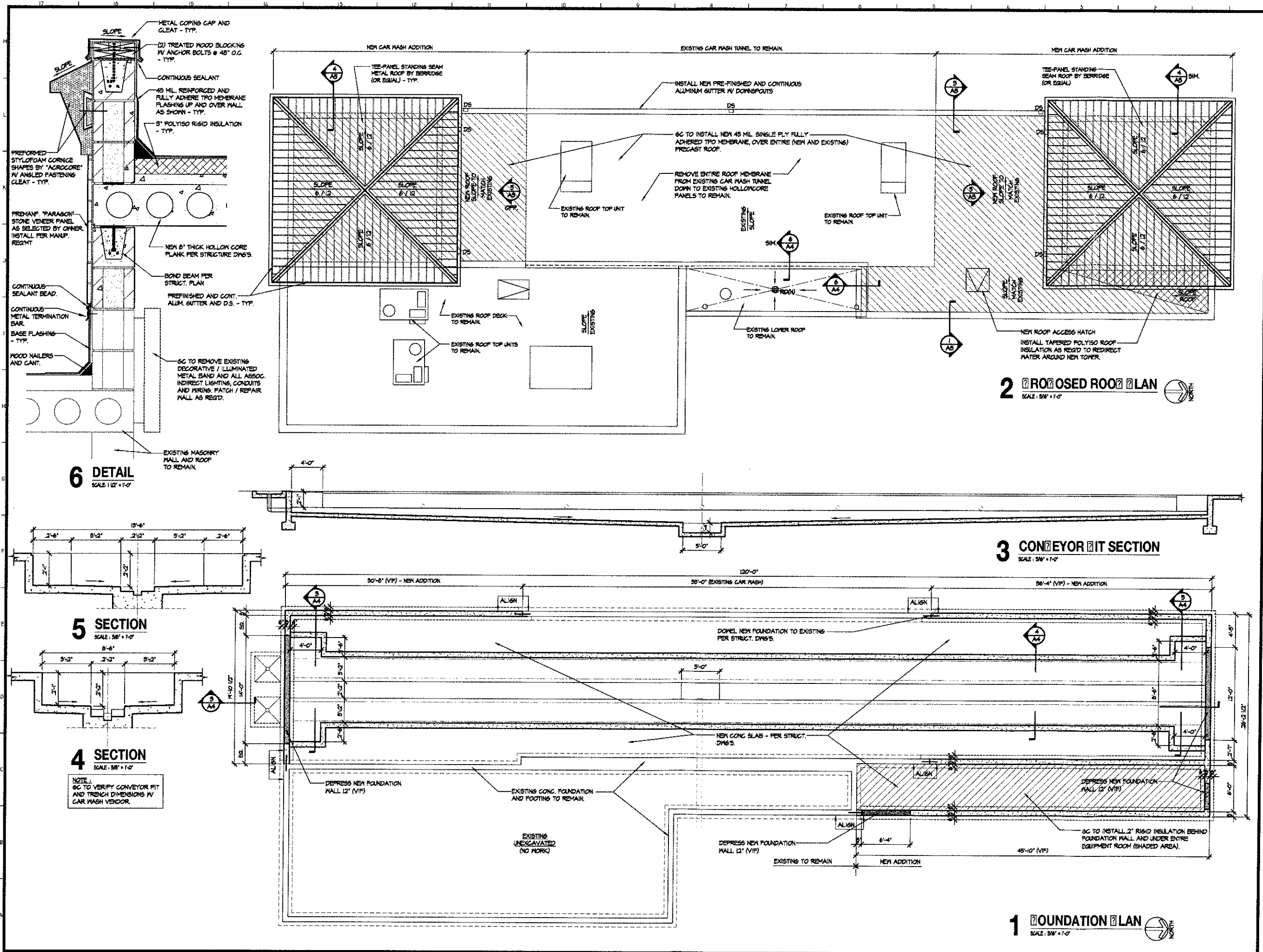
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STATE OF ILLINOIS
DAVID A. SCHAEFER
001-014348
LICENSED ARCHITECT
NOVEMBER 30, 2020
EXPIRES
David A. Schaefer 10.4.19
SIGNATURE DATE:
PROFESSIONAL DESIGN FIRM NO: 184.003216

DUCKYS CAR WASH ADDITION
7000 KINGERY WAY,
WILLOWBROOK, IL 60527

DRAWN BY: S. LEE	SHEET NO. A3
PROJECT NO. 14-103	
ISSUE DATE: JANUARY 22, 2019	



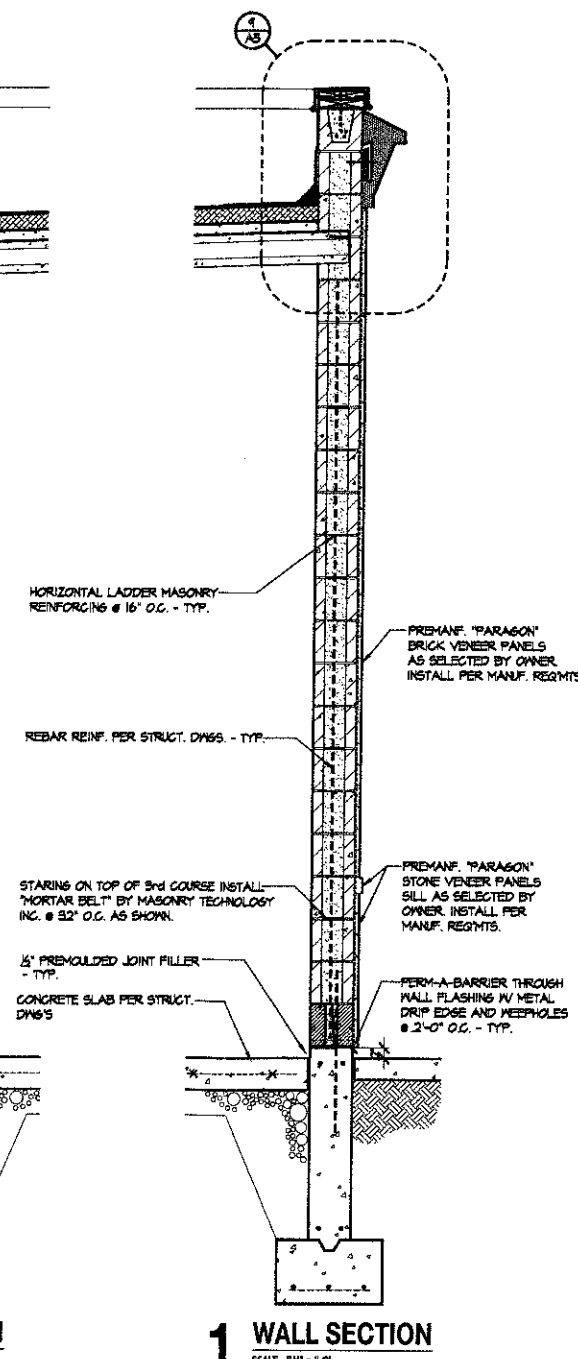
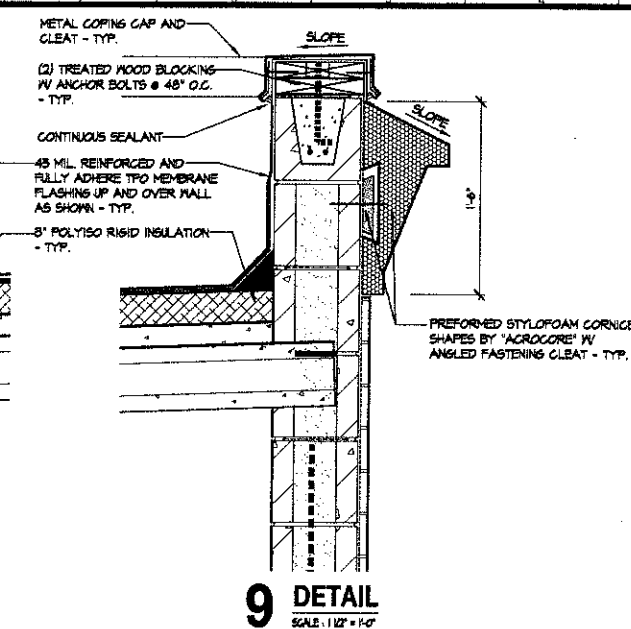
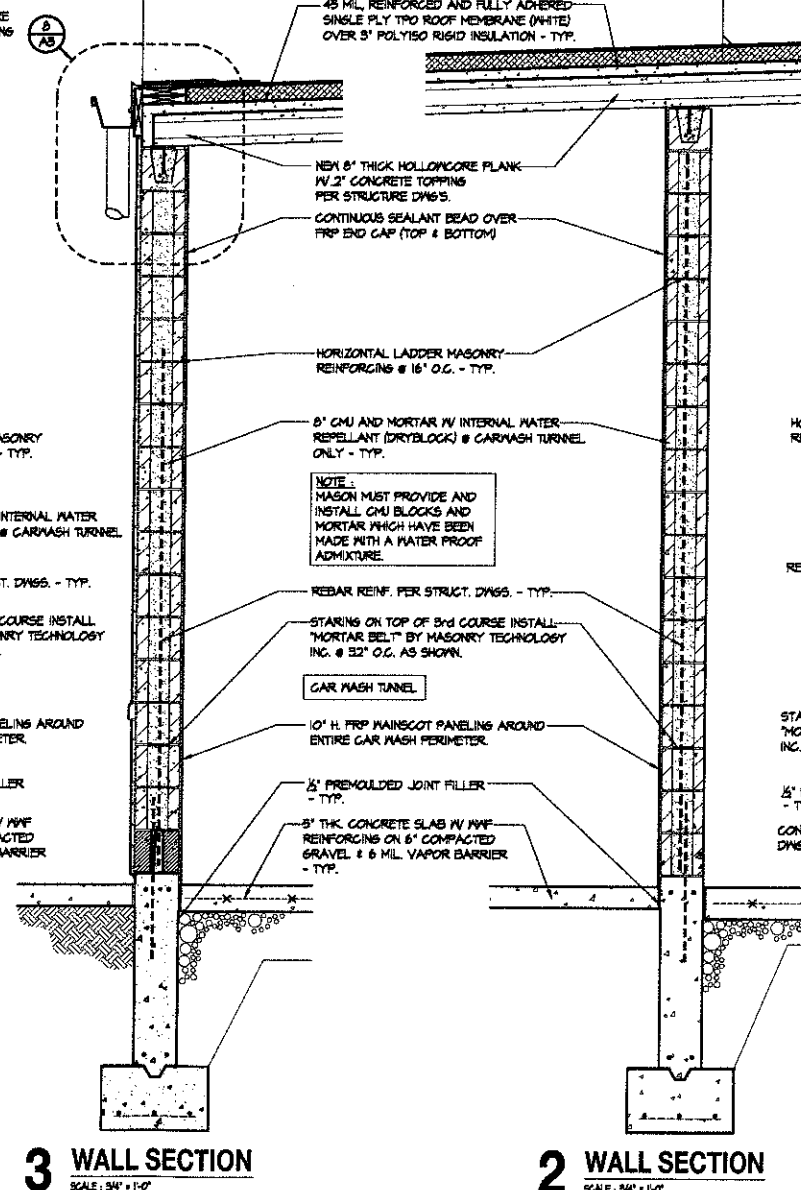
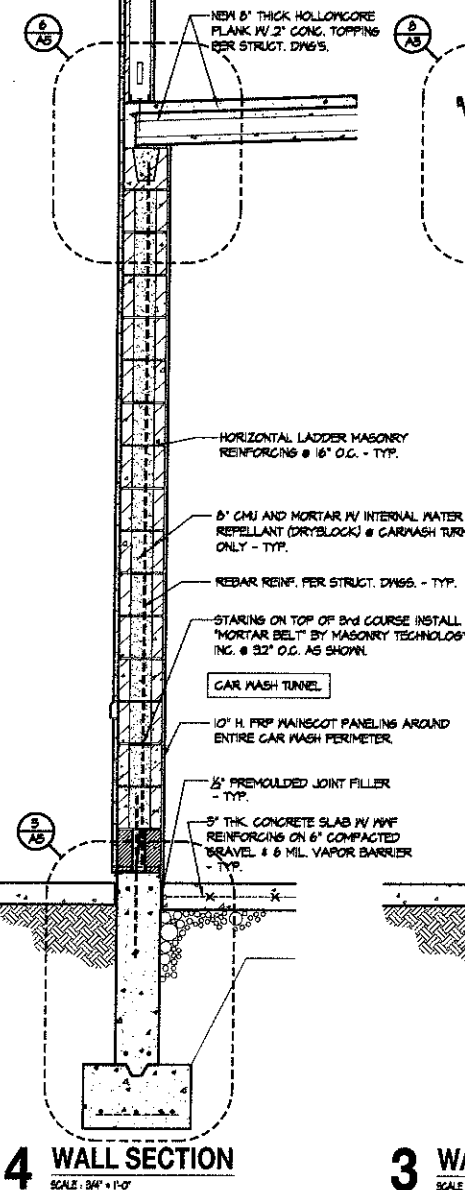
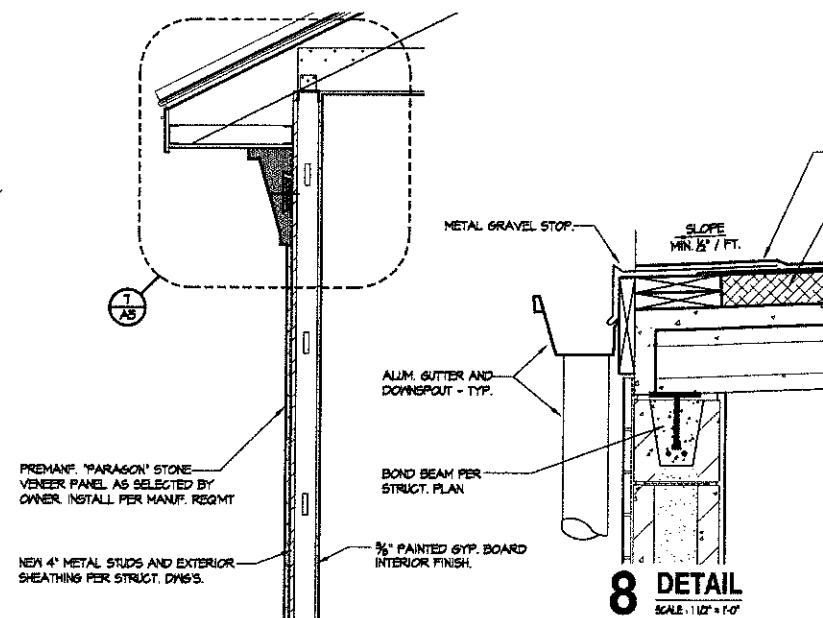
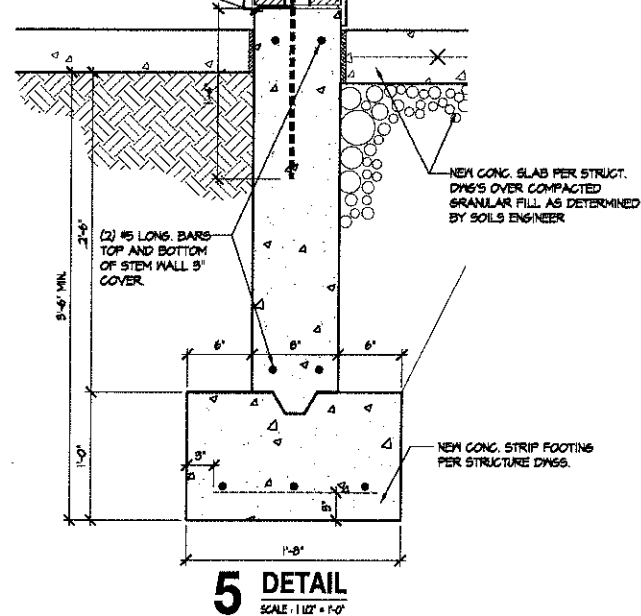
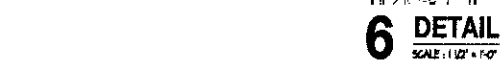
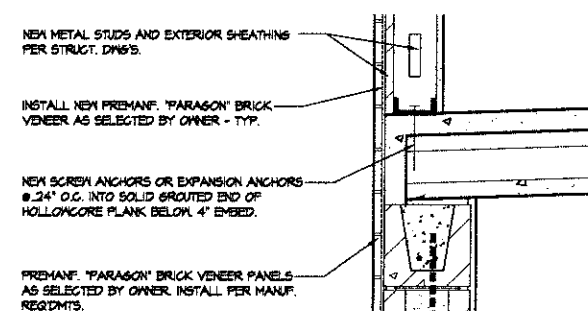
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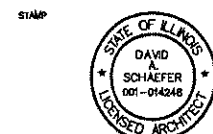
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NO.	DATE	DESCRIPTION
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12/2/20	ISSUED FOR REVIEW	
12/3/20	ISSUED FOR REVIEW	
12/4/20	ISSUED FOR REVIEW	
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12/24/20	ISSUED FOR REVIEW	
12/25/20	ISSUED FOR REVIEW	
12/26/20	ISSUED FOR REVIEW	
12/27/20	ISSUED FOR REVIEW	
12/28/20	ISSUED FOR REVIEW	
12/29/20	ISSUED FOR REVIEW	
12/30/20	ISSUED FOR REVIEW	

DUCKYS CAR WASH ADDITION
7000 KINGERY HWY.,
WILLOWBROOK, IL 60527

DRAWN BY: S. LEE	SHEET NO. A4
PROJECT NO. 14-103	
ISSUE DATE: JANUARY 22, 2019	



	10/4/91	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION



NOVEMBER 30, 2020
EXPIRES:
David A. Schaefer 10.4.19
SIGNATURE: DATE:
PROFESSIONAL DESIGN FIRM NO: 184.003216

DUCKYS CAR WASH ADDITION

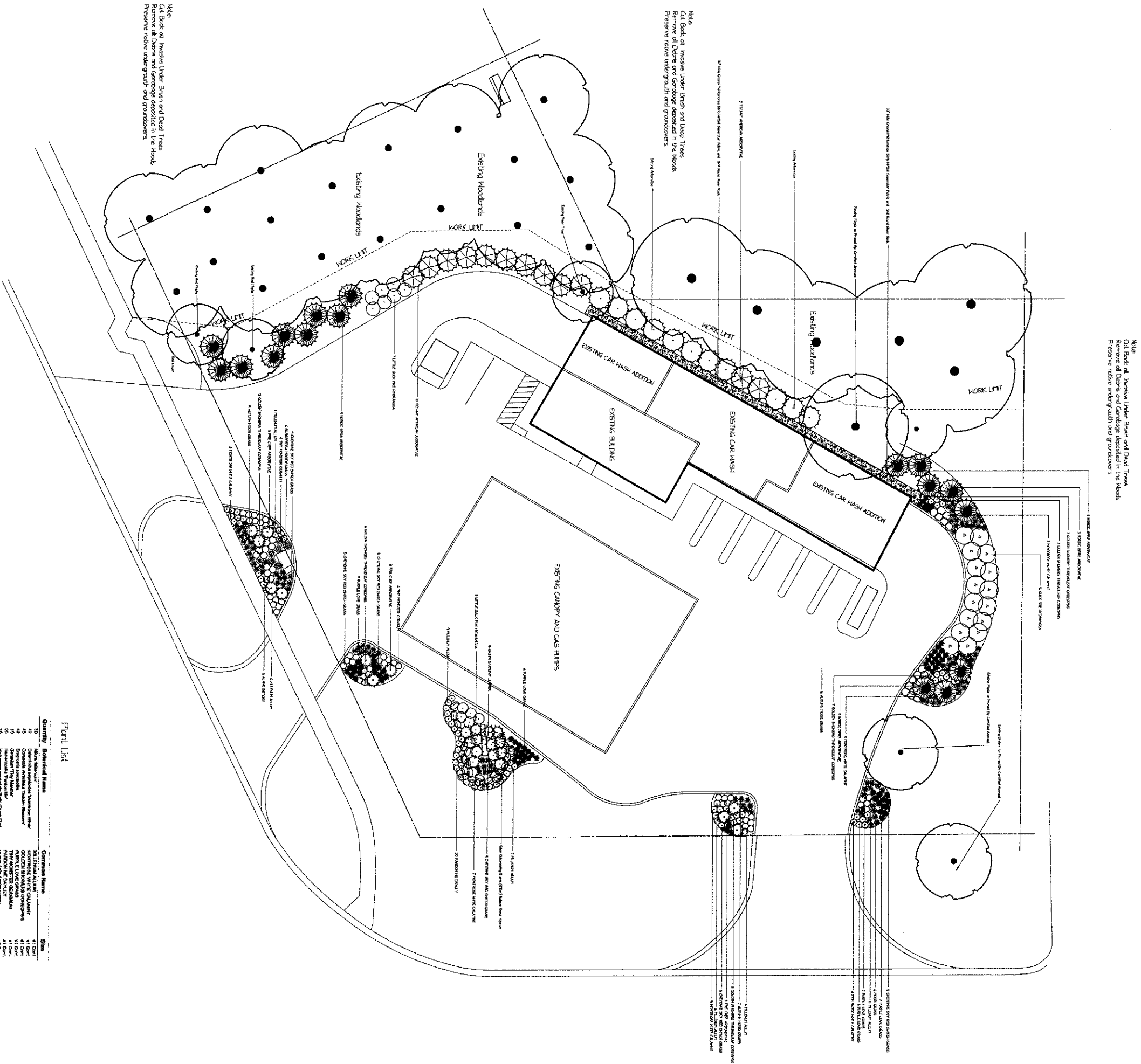
7000 KINGERY HWY.,
WILLOWBROOK, IL 60527

DRAWN BY: S. LEE	SHEET NO. <div style="font-size: 48pt; text-align: center;">A5</div>
PROJECT NO: 14-103	
ISSUE DATE: JANUARY 22, 2014	



Attachment 8
Landscape Plan
(1 Sheet)

DUCKY'S CAR WASH
7000 KINGERY HWY.
WILLOWBROOK, IL 60527



Plant List

Quantity	Botanical Name	Common Name	Size
47	Quercus macrocarpa	White Oak	12" DBH
48	Quercus macrocarpa	White Oak	12" DBH
49	Quercus macrocarpa	White Oak	12" DBH
50	Quercus macrocarpa	White Oak	12" DBH
51	Quercus macrocarpa	White Oak	12" DBH
52	Quercus macrocarpa	White Oak	12" DBH
53	Quercus macrocarpa	White Oak	12" DBH
54	Quercus macrocarpa	White Oak	12" DBH
55	Quercus macrocarpa	White Oak	12" DBH
56	Quercus macrocarpa	White Oak	12" DBH
57	Quercus macrocarpa	White Oak	12" DBH
58	Quercus macrocarpa	White Oak	12" DBH
59	Quercus macrocarpa	White Oak	12" DBH
60	Quercus macrocarpa	White Oak	12" DBH
61	Quercus macrocarpa	White Oak	12" DBH
62	Quercus macrocarpa	White Oak	12" DBH
63	Quercus macrocarpa	White Oak	12" DBH
64	Quercus macrocarpa	White Oak	12" DBH
65	Quercus macrocarpa	White Oak	12" DBH
66	Quercus macrocarpa	White Oak	12" DBH
67	Quercus macrocarpa	White Oak	12" DBH
68	Quercus macrocarpa	White Oak	12" DBH
69	Quercus macrocarpa	White Oak	12" DBH
70	Quercus macrocarpa	White Oak	12" DBH
71	Quercus macrocarpa	White Oak	12" DBH
72	Quercus macrocarpa	White Oak	12" DBH
73	Quercus macrocarpa	White Oak	12" DBH
74	Quercus macrocarpa	White Oak	12" DBH
75	Quercus macrocarpa	White Oak	12" DBH
76	Quercus macrocarpa	White Oak	12" DBH
77	Quercus macrocarpa	White Oak	12" DBH
78	Quercus macrocarpa	White Oak	12" DBH
79	Quercus macrocarpa	White Oak	12" DBH
80	Quercus macrocarpa	White Oak	12" DBH
81	Quercus macrocarpa	White Oak	12" DBH
82	Quercus macrocarpa	White Oak	12" DBH
83	Quercus macrocarpa	White Oak	12" DBH
84	Quercus macrocarpa	White Oak	12" DBH
85	Quercus macrocarpa	White Oak	12" DBH
86	Quercus macrocarpa	White Oak	12" DBH
87	Quercus macrocarpa	White Oak	12" DBH
88	Quercus macrocarpa	White Oak	12" DBH
89	Quercus macrocarpa	White Oak	12" DBH
90	Quercus macrocarpa	White Oak	12" DBH
91	Quercus macrocarpa	White Oak	12" DBH
92	Quercus macrocarpa	White Oak	12" DBH
93	Quercus macrocarpa	White Oak	12" DBH
94	Quercus macrocarpa	White Oak	12" DBH
95	Quercus macrocarpa	White Oak	12" DBH
96	Quercus macrocarpa	White Oak	12" DBH
97	Quercus macrocarpa	White Oak	12" DBH
98	Quercus macrocarpa	White Oak	12" DBH
99	Quercus macrocarpa	White Oak	12" DBH
100	Quercus macrocarpa	White Oak	12" DBH



Attachment 9
Engineer's Estimate of Improvement Costs
(1 page)

**BONO
CONSULTING
INC.**

JOB: 19085

DESIGNED: RC

DATE: 10/29/2019

CIVIL ENGINEERS

1018 Busse Highway, Park Ridge, IL 60068 / 1601 Bond St., Suite 305, Naperville, IL 60563

PROJECT:**NEW CAR WASH, 7000 KINGERY, WILLOWBROOK****SUBJECT:****Engineer's Estimate of Probable Construction Cost****Demolition**

Item	Quantity	Units	Unit Price	Item Price
Remove curbs and walls	550	LF	\$2.50	\$1,375.00
Remove asphalt and concrete	6,200	SF	\$1.00	\$6,200.00
Remove Transformers	1	EA	\$1,000.00	\$1,000.00
Remove Landscaping	1	EA	\$750.00	\$750.00
Remove Storm Sewer	16	LF	\$10.00	\$160.00
Demolition Subtotal =				\$9,485.00

Surface Improvements

Item	Quantity	Units	Unit Price	Item Price
Parking Lot Pavement	590	SY	\$30.00	\$17,700.00
6" Barrier Curb	375	LF	\$10.00	\$3,750.00
Heavy Duty Concrete Pavement	15	SY	\$50.00	\$750.00
Concrete Sidewalk	525	SF	\$5.00	\$2,625.00
Surface Improvements Subtotal =				\$24,825.00

Utilities

Item	Quantity	Units	Unit Price	Item Price
Raise Existing Storm Sewer	1	EA	\$750.00	\$750.00
24" Type C Catch Basin	1	EA	\$1,500.00	\$1,500.00
10" PVC Storm Sewer	50	LF	\$35.00	\$1,750.00
Utilities Subtotal =				\$4,000.00

Erosion Control

Item	Quantity	Units	Unit Price	Item Price
Silt Fence	450	LF	\$2.50	\$1,125.00
Inlet Filters	6	EA	\$250.00	\$1,500.00
Erosion Control Subtotal =				\$2,625.00

Grading & Restoration

Item	Quantity	Units	Unit Price	Item Price
Restore and seed all disturbed areas	0.5	AC	\$3,000.00	\$1,500.00
Plant native bushes and seed within wetland buffer zone	1	LS	TBD	\$0.00
Restoration Subtotal =				\$1,500.00

Engineer's Estimate of Probable Construction Cost =**\$42,435.00**



Attachment 10
Engineering Plans
(4 Sheets)



NEW ADDITION TO CAR WASH

7000 KINGERY HWY,
WILLOWBROOK, IL 60527

INDEX TO SHEETS	
NO.	DESCRIPTION
C-0	TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
C-1	EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION & SEDIMENTATION CONTROL PLAN
C-2	GEOMETRIC PLAN, PAVING & UTILITY PLAN
C-3	PROPOSED GRADING & DRAINAGE PLAN

SECTION: 23
TOWNSHIP: 38N
RANGE: 11E

PROPERTY IDENTIFICATION NUMBERS (PINs)

PIN: 09-23-310-025

SHELL - 7000 S. KINGERY HWY - WILLOWBROOK
LEGAL DESCRIPTION

LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRI STATE VILLAGE UNIT
HARRIS & BECK & SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF
SECTION 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HEREBY REFERRED TO AS
20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS.

SITE BENCHMARK: S.R.R. SPIKE ON NORTH FACE OF UTILITY
POLE, ELEV. 725.11.

NOTE:
EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY.
THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE
FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS
A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION
SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE
OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BO'S
SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON
IS TAKEN FROM OFFICIAL PLATS AND RECORDS

PROJECT NARRATIVE

TYPE OF DEVELOPMENT

GENERAL: AN ADDITION TO AN EXISTING GAR STATION CAR WASH WILL BE
BUILT. THE EXISTING PARKING LOT WILL BE RE-CONFIGURED TO ALLOW
BETTER FLOW IN AND OUT OF THE CAR WASH. ADDITIONALLY, PARKING
LOCATION WITH BE ADJUSTED. EXISTING WATER AND SANITARY SERVICES
WILL BE RE-USED.

AREA SUMMARY:

TOTAL PARCEL AREA: 1.13 ACRES
DISTURBED AREA: 0.34 ACRES

SPECIAL PROTECTION AREAS: NO FLOODPLAIN WITHIN 100' OF SITE.
WETLANDS ARE WITHIN 100' OF SITE.

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE
SITE.

SOIL INFILTRATION RATE: 8058 ORTHENTS, CLAYEY, UNULATING - WEB
SOIL SURVEY

GROUNDWATER ELEVATION: UNKNOWN

AERIAL MAP
NOT TO SCALE



NOTE

The location of existing underground utilities, such as water
mains, sewers, gas lines, etc., as shown on the plans, has
been determined from the best available information and is
given for the convenience of the Contractor. However, the
Owner and the Engineer do not assume responsibility in the
event that during construction, utilities other than those shown
may be encountered, and that the actual location of those
which are shown may be different from the location as shown
on the plans.

Bono Consulting, Inc. is not responsible for the safety of any
party at or on the construction site. Safety is the sole
responsibility of the contractor and any other person or entity
performing work or services. Neither the owner nor engineer
assumes any responsibility for the job site safety of persons
engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply
to the construction on this project.

Note: The exact location of all utilities
shall be verified by the contractor prior
to construction activities. For utility
locations call:
J.U.L.I.E. 1 (800) 892-0123

GENERAL NOTES:

- ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING JULIE FOR UTILITY LOCATES A MINIMUM OF
48 HOURS IN ADVANCE OF BEGINNING EXCAVATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AS REQUIRED,
PRIOR TO COMMENCING CONSTRUCTION.
- CONSTRUCTION OPERATION SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT TRACKING OF
MUD OR SOIL, DEBRIS, ASPHALT AND CONCRETE ONTO PUBLIC THOROUGHFARES. AT THE END OF
EACH DAY, THE CONTRACTOR SHALL REMOVE MATERIALS DEPOSITED ONTO PUBLIC STREETS AND
ALLEYS.
- PUBLIC STREETS AND ALLEYS SHALL BE RESTORED PROMPTLY MEETING VILLAGE OF
WILLOWBROOK STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING
UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
- APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING
UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK.
- ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING
THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE
ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR
UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF ILLINOIS

SIGNATURE: *[Signature]* DATE: 11-26-2019

MY LICENSE EXPIRES ON NOVEMBER 30, 2021

PAGES OR SHEETS COVERED BY THIS SEAL: C-0, C-1, C-2, C-3

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING SANITARY
	PROPOSED SANITARY
	EXISTING COMBINATION SEWER
	PROPOSED COMBINATION SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING TREE
	REMOVE TREE
	TEMPORARY TREE FENCE
	TEMPORARY SILT / CONSTRUCTION FENCE
	SEWAGE PUMP (PROPOSED/EXISTING)
	DOWNSPOUT (IN-GROUND) (PROPOSED)
	SWALE (PROPOSED)
	OUTLET / POP-UP EMITTER
	CATCH BASIN
	STORM MANHOLE
	SANITARY MANHOLE
	CLEANOUT
	B BOX
	WOOD UTILITY POLE
	LIGHT POLE
	FLARED END SECTION (F.E.S.)
	INLET / DRAIN
	WATER VALVE VAULT / WATER METER
	SIGN
	MANHOLE (UNCLASSIFIED)
	FIRE HYDRANT
	TREE TAG NO.
	STOP LIGHT
	GAS VALVE
	ROOF PROFILE
	TOP OF GARAGE SLAB
	TOP OF FOUNDATION
	FINISH FLOOR
	TOP OF WALL

TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP

NEW ADDITION TO CAR WASH

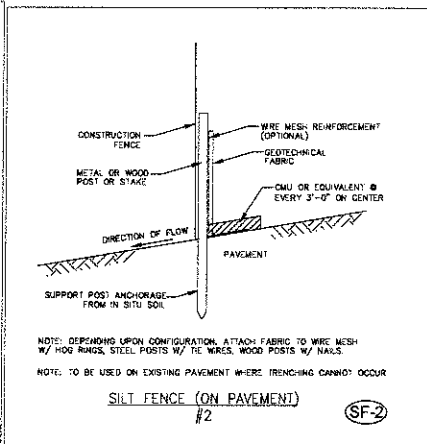
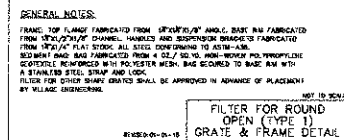
700 KINGERY HIGHWAY, WILLOWBROOK, IL 60527

COPYRIGHT:
THIS DRAWING SHALL NOT BE USED
REPRODUCED, MODIFIED OR SOLD EITHER
WHOLLY OR IN PART, EXCEPT WHEN
AUTHORIZED IN WRITING BY THE ENGINEER

PROJECT NO.: 190085
BASE FILE:
SHEET FILE:
ISSUE DATE: OCT 29, 2019
SCALE: N.T.S.
SHEET NUMBER
C-0

- 1) All construction activities that involve earthwork shall meet the National Pollutant Discharge Elimination System Phase II requirements.
- a) Submittal of a Notice of Intent (NOI) to EPA.
- b) Possession of a completed and signed Cleanwater Pollution Prevention Plan (SWPPP) and a graphic showing erosion control measures.
- c) Implementation of the SWPPP.
- d) Submittal of an Incidence of Noncompliance (ION) if an event occurs.
- e) Weekly reports after 15' rainfall or 5" snowfall.
- f) Documentation of changes to EOP plan.
- g) Submittal of a Notice of Termination (NOT) when final stabilization is achieved.
- 2) The contractor shall maintain existing positive drainage from off-site at all times during construction.
- 3) Within the limits of proposed grading the soil shall be compacted to not less than the following percentages of modified proctor dry density in accordance with ASTM D 1557-78:
 - a) Under structures, Building slabs, steps and pavements, Compact soil (5") inch maximum lifts of subgrade. Backfill or fill material at 95% modified proctor dry density.
 - b) Under walkways, Compact six (6") inch maximum lifts of dry subgrade, backfill.
 - c) Under material at least modified proctor dry density.
 - d) Under lawn or unpaved areas, Compact soil (5") inch maximum lifts of subgrade, backfill, or fill material at 85% modified proctor dry density.
- 4) All erosion control work shall comply with "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control."
- 5) Striping of vegetation, grading or other soil disturbance, especially in designated wetland areas, shall be done in a manner which will minimize soil erosion, and shall be in accordance with the approved drawings, mitigation and permit requirements.
- 6) The contractor shall take precautionary measures to minimize erosion in areas where trees are to be saved or to occur on the plans or determined in the field.
- 7) The extent of the area which is exposed and free of vegetation and the duration of its exposure shall be kept within practical limits as directed by the City Engineer.
- 10) Sedimentation shall be retained on site. Sediment fence shall be installed along the perimeter of all regraded areas or as required to prevent sediment from entering and/or leaving the site.
- 11) Dust produced from the site shall be kept to a minimum during dry periods by spraying water as required to the City Engineer's satisfaction and is to be considered incidental.
- 12) All mud shall be removed from all trees before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- 13) Culverts and drainage ditches shall be kept clean and clear of obstructions during the construction period.
- 14) Silt fences shall be inspected frequently and maintained or replaced as required to maintain both their effectiveness and integrity. The underside of bales shall be kept in close contact with the ground at all times to prevent water from washing beneath them.
- 15) Water courses during drainage swales adjacent to construction activities shall be monitored as necessary, for evidence of silt intrusion and other adverse environmental impacts. Any problems or deficiencies shall be corrected immediately upon their discovery.
- 16) The contractor shall ensure that all erosion control barriers prior to commencement of any work.
- 17) The contractor shall install temporary erosion fence around all trees to remain and wetland areas to be mitigated.

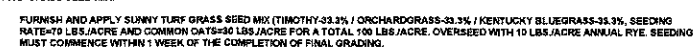
1. INSTALL TEMPORARY TREE PROTECTION FENCING PRIOR TO ANY DEMOLITION WORK.
2. INSTALL TEMPORARY 6' HIGH CHAIN LINK FENCE AROUND THE PROPOSED WORK AREA AS SHOWN ON THE DRAWING.
3. CONTRACTOR TO CALL JULIE AT 1-800-892-0123. MINIMUM OF 48 HOURS PRIOR TO INITIATING ANY EXCAVATION OR REMEDIATION.
4. CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
5. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY AND THE OWNER, OR REPLACED.
6. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY.
7. BONO CONSULTING INC IS NOT LIABLE FOR ANY CONSTRUCTION SITE SAFETY. CONTRACTOR TO TAKE ALL OSHA REGULATED AND APPLICABLE LOCAL SAFETY PRECAUTIONS TO SAFE GUARD ALL POTENTIALLY HAZARDOUS SITES/WORK.
8. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF EXCESSIVE DEBRIS AT ALL TIMES.
9. ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH DAY.
10. TOPOGRAPHIC SURVEY BY BONO CONSULTING INC
11. ALL EXCAVATION SHALL BE TAPERED, OR, SHORED AND MAINTAINED PUMPED DRY.
12. DO NOT CREATE DUST OR OTHER NUISANCE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION
13. ALL "TRESPASSING" SIGNS SHALL BE MOUNTED ON THE FENCING IN CONSPICUOUS LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND APPROVED.
14. ANY GATE IN THE PERIMETER FENCE SHALL BE ADEQUATELY HINGED TO PREVENT ENTRY, EXCEPT TO ALLOW INGRESS AND EGRESS TO AND FROM SITE, SUCH GATE MUST BE LOOKED AT ALL TIMES, OTHER THAN PERMITTED HOURS OF CONSTRUCTION.



NOTE
BOUNDARY TAKEN FROM PLAT OF SURVEY SUPPLIED BY OWNER.
BOUNDARY SHOWN IS ONLY AN ESTIMATE.
THIS DRAWING IS NOT A PLAT OF SURVEY.

111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 E-MAIL: 231@GREENGARDINC.COM
FAX: 847-634-0687 ILL. REGISTRATION NO. 184-000995

INSTALL SILT FENCE AS SHOWN

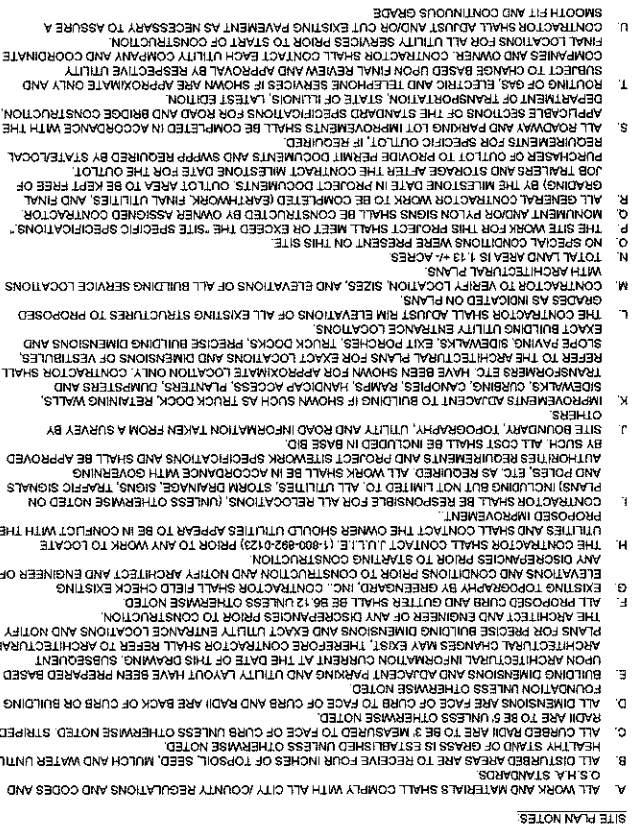
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BCI
BONO CONSULTING, INC.
CIVIL ENGINEERS

1018 BUSSE HIGHWAY PH : (847) 823-3300
PARK RIDGE, IL 60068 FAX: (847) 823-3303
bbono@bonoconsulting.com

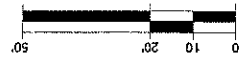
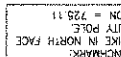
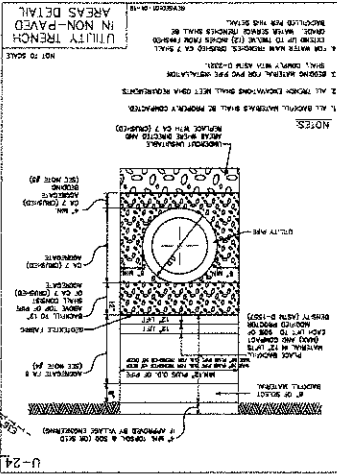
EXIST. TOPOGRAPHY, DEMOLITION, EROSION AND
SEDIMENTATION CONTROL PLAN
NEW ADDITION TO CAR WASH
700 KINGERY HIGHWAY, WILLOWBROOK, IL 60527

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PROJECT NO.:	19085
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	OCT 29, 2019
SCALE:	1"=20'
SHEET NUMBER	
C-1	



SITE DATA

LOT SIZE = 1.13 ACRES (49,213 SF)
 BUILDING SIZE = 0.09 ACRES (3,856 SF)
 PAVEMENT AREA = 0.52 ACRES (22,768 SF)
 INCREASE IN IMPERVIOUS = 0.03 ACRES (1,120 SF)
 DISTURBED AREA = 0.34 ACRES (14,863 SF)
 TOTAL # PARKING SPOTS = 9
 # PARKING SPOTS W/ ADA = 1



<p>1018 BUSSE HIGHWAY PM : (847) 392-3930 PARK RIDGE, IL 60066 FAX : (847) 823-3935 bonoconsulting.com</p>		<p>BCI BONO CONSULTING, INC. CIVIL ENGINEERS</p>		<p>GEOMETRIC, PAVING & UTILITY PLAN NEW ADDITION TO CAR WASH 700 KINGERY HIGHWAY, WILLOWBROOK, IL 60057</p>		<p>COPYRIGHT THIS DRAWING SHALL NOT BE USED OR REPRODUCED, COPIED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.</p>		<p>PROJECT NO.: 19065 BASE FILE: SHEET FILE: ISSUE DATE: OCT 29, 2019 SCALE: SHEET NUMBER C-2 1"=20'</p>	
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LOCATION OF UNDERGROUND UTILITIES WHERE NOT
SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN
FROM RECORDS NORMALLY CONSIDERED RELIABLE.
NO RESPONSIBILITY FOR THEIR ACCURACY IS
ASSUMED BY THE SUPERVISOR.
FOR LOCATION OF BURIED CABLE CALL JULIE @
1-800-892-0123 BEFORE DIGGING
LOCATIONS OF EXISTING UTILITY SERVICES
CONTRACTOR MUST CONSULT LOCATION AND
CONDITION OF ALL UTILITY SERVICES TO REMAIN.



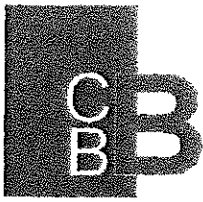
SA
NORTH

PROPOSED GRADING AND DRAINAGE PLAN
NEW ADDITION TO CAR WASH
7700 KINGERY HIGHWAY, WILLOWBROOK, IL 60527

[illegible]



Attachment 11
Engineering Review Letter
(2 pages)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

January 17, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: 7000 Kingery – Car Wash Addition
(CBBEL Project No. 900144.H211)

Dear Ann:

As requested, we have reviewed the proposed site engineering plans and supporting documents for the above property prepared by Bono Consulting, Inc. and dated October 29, 2019. We have not reviewed the building architectural drawings. The following comments are submitted for your consideration:

1. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 189 for Du Page County dated August 1, 2019.
2. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
3. The floodplain limits and elevation must be shown on both Sheets C-1 and C-3
4. It appears that the grading southwest of the carwash entrance may impact the floodplain. If there is fill, compensatory storage will be required. Consideration should be given to modifying the plan to avoid floodplain fill.
5. The grass area at the north end of the site is detention from a previous expansion. The volume must be preserved. The applicant should request a copy of the previously approved plans from the Village for reference. Also, if there was a restrictor and it is now missing, it must be replaced.
6. Add a curb detail to the plan set.
7. An abbreviated Storm Water Submittal must be provided. Many sections will be noted as "Not Applicable", but because of the wetland and floodplain on site, it must be prepared.
8. The wetland delineation must be confirmed by CBBEL staff.
9. The wetland portion of the Stormwater Submittal must include a statement that the wetlands and buffer will not be impacted, or a discussion of impacts and mitigation if it is impacted.

If you have any questions, please do not hesitate to contact me.

Sincerely,


A handwritten signature in black ink, appearing to read "Daniel Lynch", with a stylized flourish at the end.

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department



Attachment 12
Construction Schedule
(4 pages)

ID	Task/Task Name	Start	Finish
1	DEMOLITION AND EXCAVATION	Wed 1/15/20	Fri 1/24/20
2	FOOTING AND FOUNDATION	Sat 1/25/20	Thu 1/30/20
3	SEWER	Sat 2/1/20	Wed 2/12/20
4	ROUGH ELECTRICAL WIRING	Mon 2/3/20	Sat 2/15/20
5	ROUGH PLUMBING	Mon 2/3/20	Sat 2/15/20
6	SLAB	Mon 2/17/20	Thu 2/20/20
7	Masonry	Thu 2/20/20	Sat 3/7/20
8	Building	Tue 3/3/20	Sat 3/7/20
9	Rough Carpentry	Mon 3/9/20	Tue 3/24/20
10	Rough Electrical	Sat 3/14/20	Tue 3/24/20
11	Rough Plumbing	Sat 3/14/20	Tue 3/24/20
12	Rough HAVC	Sat 3/14/20	Wed 3/25/20
13	Window/Glassing	Fri 3/27/20	Sat 4/4/20
14	Bar Joist Deck /steel	Mon 3/30/20	Tue 4/7/20
15	Roofing	Wed 4/8/20	Sat 4/18/20
16	Carwash Equipmint install	Wed 4/15/20	Wed 6/3/20
17	Curbs and Driveway	Mon 4/20/20	Tue 5/5/20
18	Footing for sign fans and poll lights	Wed 5/6/20	Wed 5/13/20
19	Prep for asphalt	Sat 5/16/20	Wed 5/20/20
20	Finish carpentry	Mon 5/11/20	Fri 5/29/20



Project: Willowbrook Carwash
Date: Mon 10/21/19

Task

- Split
- Milestone
- Summary
- Project Summary
- Inactive Task
- Inactive Milestone

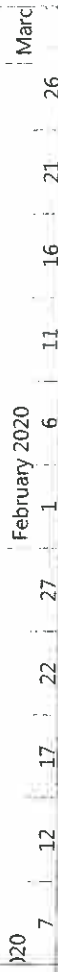
Inactive Summary

- Inactive Summary
- Manual Task
- Duration-only
- Manual Summary Rollup
- Manual Summary
- Start-only
- Finish-only

External Tasks

- External Milestone
- Deadline
- Progress
- Manual Progress
- Slippage

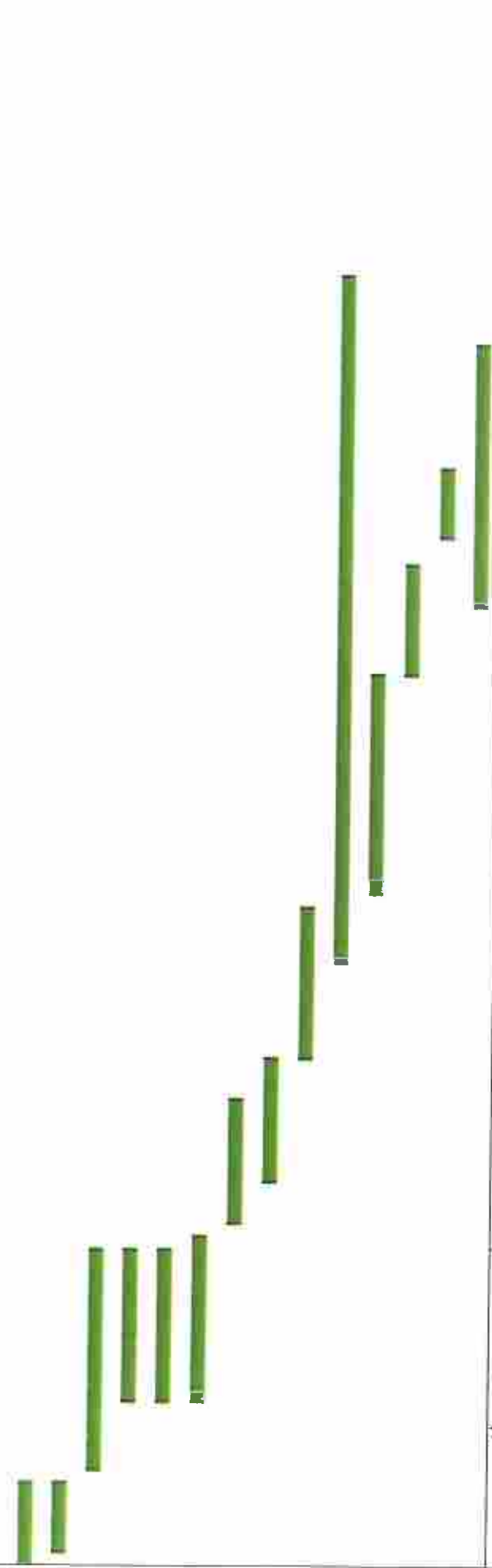
ID	Task Name	Start	Finish
21	Finish electric	Mon 5/11/20	Fri 5/29/20
22	Finish plumbing	Mon 5/11/20	Fri 5/29/20
23	Finish HVAC	Mon 5/11/20	Sat 5/30/20
24	Asphalt	Mon 6/1/20	Tue 6/2/20
25	Land scaping	Wed 6/3/20	Tue 6/9/20
26	Outside Electric and sign	Mon 6/8/20	Sat 6/13/20
27	Final inspection	Thu 6/18/20	Thu 6/18/20



Project: Willowbrook Carwash
Date: Mon 10/21/19

Task	Inactive Summary	External Tasks
Split	Manual Task	External Milestone
Milestone	Duration-only	Deadline
Summary	Manual Summary Rollup	Progress
Project Summary	Manual Summary	Manual Progress
Inactive Task	Start-only	Slippage
Inactive Milestone	Finish-only	

March 2020 2 7 12 17 22 27 April 2020 1 6 11 16 21 26 May 2020 1 6 11 16 21 26 June 2020 1 5 10 15 20



Project: Willowbrook Carwash
Date: Mon 10/21/19















Task
Split
Milestone
Summary
Project Summary
Inactive Task
Inactive Milestone

Inactive Summary
Manual Task
Duration-only
Manual Summary Rollup
Manual Summary
Start-only
Finish-only

External Tasks
External Milestone
Deadline
Progress
Manual Progress
Slippage



Project: Willowbrook Carwash
Date: Mon 10/21/19

Task	Inactive Summary	External Tasks
Task		
Split		
Milestone		
Summary		
Project Summary		
Inactive Task		
Inactive Milestone		



Attachment 13
Traffic Review Letter
(2 pages)

Project Traffic Review #1

To: Ms. Ann Choi
Planning Consultant, Village of Willowbrook

625 Forest Edge Drive, Vernon Hills, IL 60061

TEL 847.478.9700 ■ FAX 847.478.9701

From: Lynn M. Means, P.E., PTOE
Senior Transportation Engineer

www.gha-engineers.com

Date: January 16, 2020

Subject: Ducky's Car Wash Addition
7000 S. Kingery Highway (IL Route 83)
Willowbrook, Illinois

Per your request, Gewalt Hamilton Associates, Inc. (GHA) has reviewed the materials submitted on January 6, 2020 for the above captioned project pertaining to traffic, parking and on-site circulation. Conclusions of this effort and recommendations are presented below:

Traffic Impact Evaluation

1. The Traffic Impact Evaluation (TIE) prepared by KLOA follows guidelines established by the Institute of Transportation Engineers (ITE). We generally concur with the KLOA description of existing conditions.
2. Kingery Highway (IL Route 83) is under the jurisdiction of the Illinois Department of Transportation (IDOT) and Plainfield Road (County #31) is under the jurisdiction of the DuPage County Division of Transportation (DuDOT). Please provide copies of all correspondence with IDOT and/or DuDOT, as applicable.
3. The study appropriately includes weekday morning (7-9 AM), weekday evening (4-6 PM) and Saturday midday (12 – 2PM) peak hour traffic counts at key intersections within the study area.
4. The KLOA study included a year 2040 design horizon using volumes summarized in the Intersection Design Study (IDS) prepared for the Kingery Highway and Plainfield Road improvements, which were under construction at the time of the study. These improvements were also considered in the future analyses, as well as a 10 percent increase in existing site traffic volumes were included to account for the reduction associated with the construction activities.
5. Trip generation estimates for the proposed car wash addition were appropriately calculated based on published rates contained in the current edition, 10th Edition, of the ITE Trip Generation Handbook, using Land Use Code 948, Automated Car Wash. *Note: ITE does not have trip rates for an automatic car wash in the weekday morning peak hour. Please provide backup documentation on how the trips were generated during this timeframe.*
6. Studies have shown that for car wash / services developments, a substantial portion of the site-generated vehicle trips are already present in the adjacent passing stream of traffic, as well as internal trips occur between the land uses within multi-use developments. The KLOA study did not reduce the trip generation estimates for either pass-by or internal capture trips. The study also did not discount for the existing car wash trips. This suggests that KLOA has analyzed the maximum site impacts at the study area intersections.
7. The directional distribution of new development site traffic appears appropriate based on current travel patterns, the operational characteristics of the street system and site access.
8. The capacity analyses summaries provided in the study indicate that the site access driveways currently operate at acceptable levels of service and will continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. GHA concurs with these findings.
9. Access to the site is currently provided via three driveways: one right-in/right-out (RIRO) on Kingery Highway and two full access driveways on Plainfield Road. With the intersection improvements at Kingery Highway and Plainfield Road, the two Plainfield Road access driveways will be restricted to RIRO via the provision of a barrier median. The KLOA study recommended in connection with the proposed development the eastern access be

restricted to entry only and the western access to egress only via modifications to the median island on site, along with appropriate signage. *However, due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.*

10. GHA concurs with the study recommendation to provide a stop bar, stop sign and right-turn only sign for outbound movements at the site's Kingery Highway access.

Site Plan

11. Truck turn exhibits should be provided that show the full turning maneuvers for delivery/trash/emergency vehicles accessing the site to verify adequate circulation is provided with the proposed site and recommended access modifications.
12. The site is currently served by seven parking spaces. With the proposed car wash addition, the number of spaces will be reduced to two, including one accessible space. Six vacuum positions will also be provided, along with a space at each fueling position. The site plan provided in the KLOA study depicts a maximum stacking of 6 vehicles at the car wash, without impacting site access or circulation. *Note: The Traffic Control Plan shows a vehicle queue of 10 at the car wash; however, access to/from Plainfield Road is blocked under this scenario.*

For the car wash use, Village Code requires one parking space per each 1.5 employees, as well as standing spaces (stacking) to accommodate a vehicle queue of 10 times the maximum capacity of the car wash (maximum number of vehicles in the tunnel at one time). *Note: Ordinance No. 94-O-29, Section Twelve, granted a reduction in the stacking spaces from twenty to ten spaces for the current car wash use on the site.* For the gasoline station component, Code requires one space per each vehicle fueling position, as well as one space per each 200 square-feet of floor area within the convenience store.

Accordingly, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. Supporting documentation should be provided in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit should be provided that illustrates the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) should also be provided.

13. The Site Plan should include the recommended Plainfield Road access modifications (see comment 9 above).

Traffic Control Plan

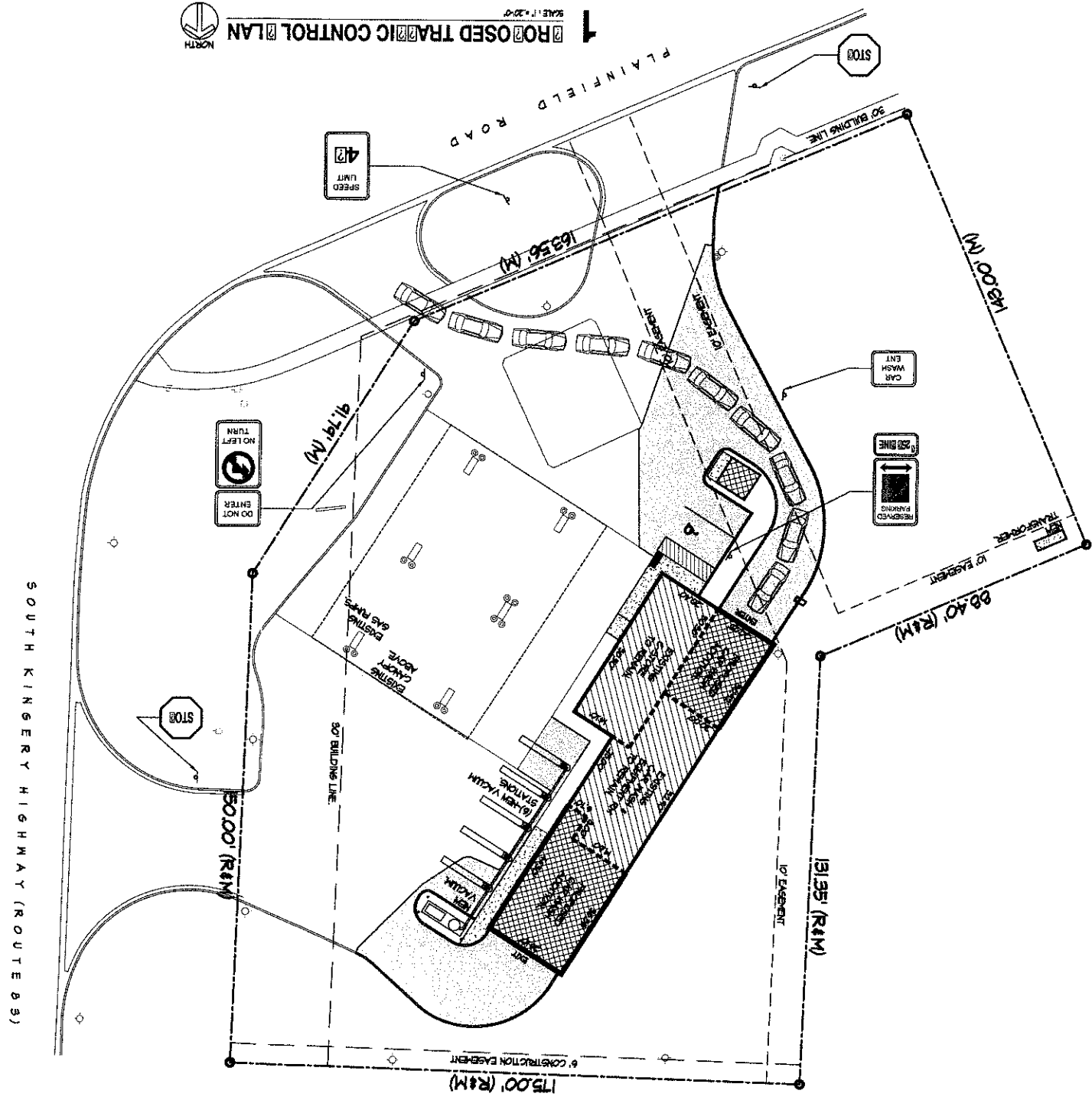
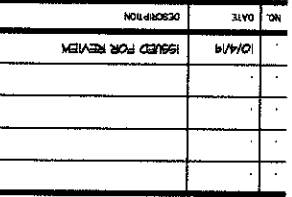
14. The Traffic Control Plan should include the recommended right-turn only signage at the site egress to both Kingery Highway and Plainfield Road, per the KLOA study.
15. The plan should include "Do Not Enter" signage at the terminus of the car wash tunnel exit lane.
16. This plan should also include the Plainfield Road access modifications (closure of the eastern access), with appropriate signage.

* * * * *

We hope you find these comments helpful in your assessment of the proposed development. Should you have any questions please do not hesitate to contact GHA at 847-478-9700.



Attachment 14
Traffic Control Plan
(1 Sheet)





Attachment 15
Photometric Plan
(1 Sheet)

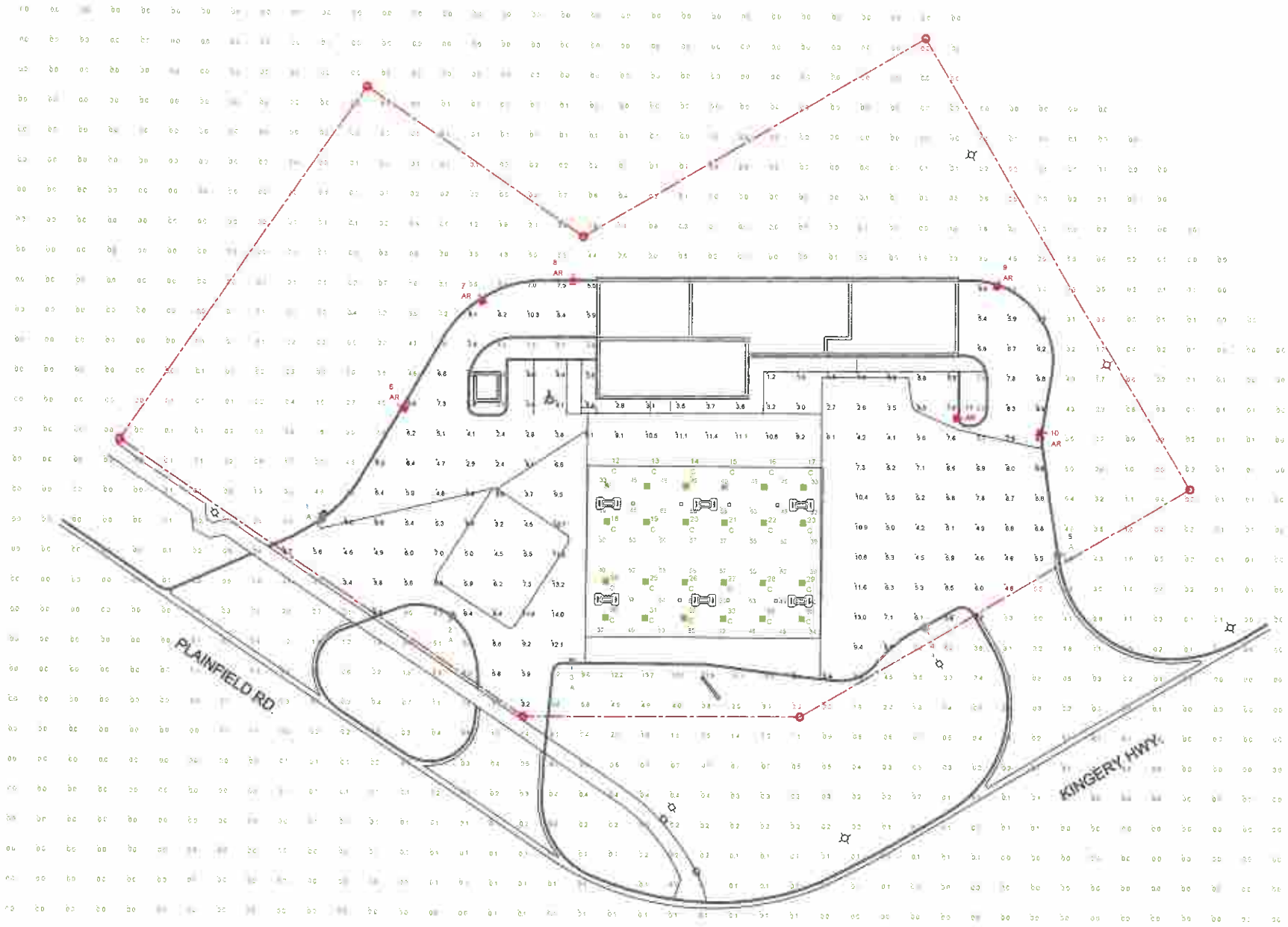


Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Lumens	LLF	Watts (Each)	Watts (Total)	BUG Rating	Manufacturer	Description
	5	A	SINGLE	12678	1.00	134	670	B3-U0-G2	CREE, INC.	ARE-EDG-4M-0A-00-E-UL-VH-T00
	6	AR	SINGLE	12678	1.00	134	804	B3-U0-G2	CREE, INC.	ARE-EDG-4M-0A-00-E-UL-VH-T00 (RELOCATED)
	24	C	SINGLE	13635	1.00	120	2880	B3-U0-G1	CREE, INC.	CPY250-A-DM-F-E-UL-VH

Calculation Summary					
Label	Avg	Max	Min	Max/Min	Avg/Min
01 UNDER CANOPY	49.04	64	33	1.94	1.49
02 PAVED AREA	6.08	14.0	1.2	11.87	5.07
03 UNDEFINED AREA	0.66	13.7	0.0	N.A.	N.A.

NOTES:
- FOOTCANDLE LEVELS TAKEN AT GRADE USING INITIAL LUMEN VALUES
- ALL FOOTCANDLE LEVELS ARE ESTIMATES DUE TO LIMITED BUILDING & SITE INFORMATION
- ALL AREA LIGHT POLES ARE EXISTING UNLESS NOTED OTHERWISE
- ALL FIXTURE MOUNTING HEIGHTS ARE ESTIMATES

Luminaire Location Summary				
No.	Label	Mtg. Hgt.	Tilt	
1	A	17	0	
2	A	17	0	
3	A	17	0	
4	A	17	0	
5	A	17	0	
6	AR	17	0	
7	AR	17	0	
8	AR	17	0	
9	AR	17	0	
10	AR	17	0	
11	AR	17	0	
12	C	16	0	
13	C	16	0	
14	C	16	0	
15	C	16	0	
16	C	16	0	
17	C	16	0	
18	C	16	0	
19	C	16	0	
20	C	16	0	
21	C	16	0	
22	C	16	0	
23	C	16	0	
24	C	16	0	
25	C	16	0	
26	C	16	0	
27	C	16	0	
28	C	16	0	
29	C	16	0	
30	C	16	0	
31	C	16	0	
32	C	16	0	
33	C	16	0	
34	C	16	0	
35	C	16	0	



EXTERIOR LIGHTING LAYOUT

REVISIONS			
NO	BY	DATE	DESCRIPTION



These documents are the property of Red Leonard Associates, Inc. Any use of these documents without the expressed written consent of Red Leonard Associates is prohibited.

DISCLAIMER

This Lighting Survey is a field test for the proper installation of fixtures. It is to be used for reference and general guidance only. Manufacturer's results should be based on actual performance provided by the manufacturer. Actual performance may vary due to site conditions and other factors. The Lighting Survey is not intended to be used for the installation of light fixtures. The Lighting Survey is not intended to be used for the installation of light fixtures. The Lighting Survey is not intended to be used for the installation of light fixtures.

PROJECT NUMBER
UR-5068-S1

SCALE
1:30
DATE
10/25/2019

DRAWN BY
RCF
DWG SIZE
C

PROJECT NAME
DUCKY'S CAR WASH
7000 S KINGERY HWY.
WILLOWBROOK, IL 60527

red leonard associates
ILLUMINATING THE WAY FOR THE INDUSTRY
11425 Kettering Meadows Dr., Forest Park, OH 45240
(513) 574-1950 • www.redleonard.com



Attachment 16
Planning Review Letter
(6 pages)



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

January 22, 2020

Atten: David Schaefer
2500 S. Highland Avenue, Suite 340
Lombard, IL 60148

Re: **Ducky's Car Wash Addition Planning Review #1**

Mr. Schaefer,

Planning staff has reviewed the preliminary plans, submitted January 2, 2020, for the Ducky's Car Wash Addition, located at 7000 S. Kingery. The preliminary plans have been submitted as part of a petition to the Village of Willowbrook for an amendment to the special use and approval of several variations. The following plans and reports have been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. **Legal Description** – 1 sheet, received by the Village on the date, January 3, 2020.
2. **Plat of Survey** – 1 sheet, prepared by Professional Land Surveying, Inc., and dated September 13, 2019.
3. **Site Plan** – 1 sheet, Sheet CV, prepared by David A. Schaefer Architects PC, and dated 10/4/2019.
4. **Architectural Drawings** – 5 sheets, Sheet Nos. A1-A5, prepared by David A. Schaefer Architects PC, and bearing the latest revision date of 10-4-2019.
5. **Civil Engineering Plans** – 4 sheets, Sheet Nos. C0-C3, prepared by Bono Consulting Inc., and bearing an issue date of October 29, 2019.
6. **Construction Easement Documents** – 4 documents in total:
 - a. R1944-465114
 - b. R1961-019732
 - c. R1961-021445
 - d. R1992-119876 (Easement Agreement)
7. **Engineer's Estimate of Probable Construction Cost** – 1 page, prepared by Bono Consulting, Inc., and dated October 29, 2019.
8. **Traffic Impact Evaluation** – 58 pages, prepared by Kenig, Lindgren, O'Hara, Aboona, Inc., and dated October 11, 2019.
9. **Traffic Control Plan** – 1 sheet, Sheet No. T1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019.
10. **Traffic Regulation Agreement** – 9 pages, dated December 31, 2019.
11. **Landscape Plans** – 2 sheets, prepared by Kestrel Design, and bearing a revision date of November 12, 2019.
12. **Photometric Plan (Exterior Lighting Layout)** – 16 pages, prepared by Red Leonard Associates, and dated 10/28/19.
13. **Construction Schedule** – 4 pages, prepared by Skyline Builders, dated 10/21/19.
14. **Wetland Delineation Report** – 39 pages, prepared by Gary R. Weber Associates Inc., and dated August 27, 2019. Includes **EcoCAT Report** – 2 pages, dated 8/27/19.



Proud Member of the
Illinois Route 66 Scenic Byway



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Please address the following items:

Outstanding Items:

1. Please submit the Kane DuPage Soil and Water Conservation District Land Use Opinion that is required as part of this application.

Site Plan

2. ~~Provide the setback distances for all vacuums from the property lines.~~ Revise the 70' requirement to 100' requirement.
3. The location of the transformer pad should be consistent on all drawings.
4. Confirm that the gross floor area of the car wash addition is 1,120 sq.ft. or 1,351 sq.ft. since the areas shown on Sheet A1 under Lot Coverage a FAR are different.
5. See Comments under the section "Traffic Comments on Site Plan" below.

Preliminary Architectural Plans

6. The building elevations and Sheet A5 (Wall Section 4) indicate a second level at within the "tower elements". Include the floor areas (sq.ft.) proposed per level and if there is a second level, provide those floor plans.

Christopher B. Burke Engineering, Ltd., Inc. (CBBEL) has reviewed the proposed site engineering plans and supporting documents for the above property prepared by Bono Consulting, Inc. and dated October 29, 2019. The following comments are submitted for your consideration:

Preliminary Engineering Plans

7. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 189 for Du Page County dated August 1, 2019.
8. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
9. The floodplain limits and elevation must be shown on both Sheets C-1 and C-3.
10. It appears that the grading southwest of the carwash entrance may impact the floodplain. If there is fill, compensatory storage will be required. Consideration should be given to modifying the plan to avoid floodplain fill.
11. The grass area at the north end of the site is detention from a previous expansion. The volume must be preserved. The applicant should request a copy of the previously approved plans from the Village for reference. Also, if there was a restrictor and it is now missing, it must be replaced.
12. Add a curb detail to the plan set.
13. An abbreviated Storm Water Submittal must be provided. Many sections will be noted as "Not Applicable", but because of the wetland and floodplain on site, it must be prepared.
14. The wetland delineation must be confirmed by CBBEL staff.
15. The wetland portion of the Stormwater Submittal must include a statement that the wetlands and buffer will not be impacted, or a discussion of impacts and mitigation if it is impacted.



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Gewalt Hamilton Associates, Inc. (GHA) has reviewed the materials submitted on January 6, 2020 for the above captioned project pertaining to traffic, parking and on-site circulation. Conclusions of this effort and recommendations are presented below:

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24. Access to the site is currently provided via three driveways: one right-in/right-out (RIRO) on Kingery Highway and two full access driveways on Plainfield Road. With the intersection improvements at Kingery Highway and Plainfield Road, the two Plainfield Road access driveways will be restricted to RIRO via the provision of a barrier median. The KLOA study recommended in connection with the proposed development the eastern access be restricted to entry only and the western access to egress only via modifications to the median island on site, along with appropriate signage. *However, due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve*



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deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.

25. GHA concurs with the study recommendation to provide a stop bar, stop sign and right-turn only sign for outbound movements at the site's Kingery Highway access.

Traffic Comments on Site Plan

26. Truck turn exhibits should be provided that show the full turning maneuvers for delivery/trash/emergency vehicles accessing the site to verify adequate circulation is provided with the proposed site and recommended access modifications.
27. The site is currently served by seven parking spaces. With the proposed car wash addition, the number of spaces will be reduced to two, including one accessible space. Six vacuum positions will also be provided, along with a space at each fueling position. The site plan provided in the KLOA study depicts a maximum stacking of 6 vehicles at the car wash, without impacting site access or circulation. *Note: The Traffic Control Plan shows a vehicle queue of 10 at the car wash; however, access to/from Plainfield Road is blocked under this scenario.*

For the car wash use, Village Code requires one parking space per each 1.5 employees, as well as standing spaces (stacking) to accommodate a vehicle queue of 10 times the maximum capacity of the car wash (maximum number of vehicles in the tunnel at one time). *Note: Ordinance No. 94-O-29, Section Twelve, granted a reduction in the stacking spaces from twenty to ten spaces for the current car wash use on the site. For the gasoline station component, Code requires one space per each vehicle fueling position, as well as one space per each 200 square-feet of floor area within the convenience store.*

Accordingly, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. Supporting documentation should be provided in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit should be provided that illustrates the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) should also be provided.

28. The Site Plan should include the recommended Plainfield Road access modifications (see comment 24 above).

Traffic Control Plan

29. The Traffic Control Plan should include the recommended right-turn only signage at the site egress to both Kingery Highway and Plainfield Road, per the KLOA study.
30. The plan should include "Do Not Enter" signage at the terminus of the car wash tunnel exit lane.
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EST. 1960

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Parking & Loading

32. The site plan only provides two (2) parking spaces and the project requires eighteen (18) parking spaces. Provide studies and justification to indicate that the proposed parking spaces will be sufficient to serve the service station, car wash and convenience mart.

Landscape Plan

33. Revise the landscape plans to include the correct property boundary and a graphic scale. The landscape plans should be scaled to the same scale as the site plans (1" = 20').
34. Revise the landscape plans to comply with Section 9-6-1(D). The legend should be revised to indicate the number of evergreen, shrubs, deciduous shrubs, ornamental trees, conifer trees and shade trees and how many points are assigned to each planting. (A sample of landscape plan is enclosed.)
35. Illustrate all berms and berm heights to comply with Section 9-6B-3(E)5 and Ordinance No. 94-O-29, Section Ten.
36. Revise the landscape plans for the location and construction of landscaping that does not interfere or conflict with the use of any utility easement or utility installations existing or that is not planned to be installed in these easement areas per Section 9-10-5(G)2.
37. The landscape schedule should be revised to show the height of plantings at time of planting. The landscape plans shall comply with Section 9-12-4(D)l.
38. Section 9-10-5(G)3 of the Village Code requires that end parking islands shall be a minimum of nine-foot (9') in width and that each island shall be effectively landscaped with appropriately sized plantings at a minimum ratio of one shade tree and nine (9) dwarf variety shrubs per island. Illustrate compliance with the required number of shade trees and dwarf shrubs.
39. Include the percentages of landscaped areas per Section 9-10-5(G)3. The landscape plans should be revised to show landscaping in the end parking islands.
40. Revise landscape plans to indicate the quantity, specific type and category (deciduous, evergreen, shrubs, etc), and size (height) of all plant material per Section 9-10-5(G)4. (See enclosed copy of sample landscape plan.)
41. Section 9-14-2(D)2 provides for Standards for Required Landscaping: All landscaping plans required hereunder shall be subject to the following standards:
42. Section 9-14-2(D)2(a) requires that all areas of the development not proposed to be improved with structures, paved areas, walks, retention or detention areas, lighting or other approved landscaping shall be improved with Kentucky blue grass sod or seed. Demonstrate compliance with Section 9-14-2(D)2(b) by including the landscape area calculations on the Landscape Plan.
43. Section 9-14-2(D)2(b) requires one approved planting for each seven hundred twenty-five (725) square feet of gross lot area. For each required planting there shall be provided an additional ten (10) square feet of approved ground cover adjacent thereto.
49,992 sq.ft. / 725 sq.ft. = 69 plantings
44. Section 9-14-2(D)2(c)(2) requires that conifer trees shall comprise a minimum of ten percent (10%) of the required landscape plantings and shall not be less than five feet (5') in height. Landscape plan should be revised to show compliance.
5% of 69 = 3.45 = 3 shade trees
45. Section 9-14-2(D)2(c)(3) requires that ornamental trees shall be provided and shall not be less than one and one-half inches (1 1/2") in caliper measured one foot (1') from the ground nor less than six feet (6') in height. Ornamental trees shall comprise a minimum of twenty percent (20%) of the required landscape plantings. Landscape plan should be revised to show compliance.



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EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

20% of 69 = 13.8 = 14 ornamental trees

46. Section 9-14-2(D)2(c)(4) requires that a landscaped area having a minimum width of seven feet (7') shall be provided around all buildings except for building entrances and the front of retail business facilities to permit appropriate foundation plantings. Border plantings and foundation plantings shall be provided and shall comprise the remainder of the required landscape plantings, of which a minimum of one-half (1/2) shall be deciduous shrubs at a minimum height of three feet (3') and the remaining one-half (1/2) shall be evergreen shrubs at a minimum height of two feet (2'). The 7' wide landscaped area and required border and foundation plantings are only shown on portions of the perimeter of the building. **A variation is required to reduce the minimum foundation landscape area from seven feet (7') to zero feet at the south building façade.**

Signage

47. All signage must comply with the Sign Ordinance (Chapter 11 of the Municipal Code).

Fences

48. No fences have been proposed.

Comment Response Letter

49. Please submit a comment response letter responding to each item in this letter.

As a reminder, your petition is scheduled to appear before the Plan Commission on Wednesday, February 5, 2020 at 7:00 pm at the Willowbrook Police Department, Training Room, 7760 Quincy Street, Willowbrook, Illinois. A formal recommendation will likely be made at this meeting.

If you have any questions, you may contact me at planner@willowbrook.il.us or (630) 920-2233.

Sincerely,

Ann Choi
Village Planner

Cc: Michael S. Mertens
Dan Lynch



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VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

A Proclamation Recognizing September 2020 as National Suicide Prevention + Action Month in the Village of Willowbrook

AGENDA NO. **6**

AGENDA DATE: **03/09/2020**

STAFF REVIEW: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst /mm

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: T. Bastian /mm

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst /mm

REVIEWED & APPROVED BY COMMISSION: YES ☒ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

September is known globally as "Suicide Prevention Month". The **National Suicide Prevention + Action Month Proclamation** was created to raise the visibility of the mental health resources and suicide prevention services available in our community. The goal is to speak openly about the importance of mental health and the impacts of suicide to help remove the surrounding stigmas, and to direct those in need to the appropriate support services. Suicidal thoughts can affect anyone regardless of age, gender, race, orientation, income level, religion, or background; and according to the American Foundation for Suicide Prevention (AFSP), Suicide is the 10th leading cause of death among adults, and the 2nd leading cause of death among individuals between the ages of 10 and 34 in the US. More than 47,000 people died by suicide across the United States in 2017, which, according to the CDC, was more than twice the number of homicides, with an average of 129 suicides completed daily, which includes active military and veterans accounting for 13.5% of all suicides nationally.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The Village of Willowbrook, Willowbrook, Illinois is no different than any other community across the country, but chooses to publicly place our full support behind local educators, mental health professionals, athletic coaches, law enforcement officers, and parents, as partners in supporting our community in simply being available to one another. We encourage all residents to take the time to check in with their family, friends, and neighbors on a regular basis and to honestly communicate their appreciation for their existence by any gesture they deem appropriate. A simple phone call, message, handshake, or hug can go a long way towards helping someone realize that suicide is not the answer.

ACTION PROPOSED: Pass the Proclamation.

Village of Willowbrook

Proclamation

HOPE FOR THE DAY'S 2020 National Suicide Prevention + Action Month Proclamation

WHEREAS; September is known globally as “Suicide Prevention Month”, the **National Suicide Prevention + Action Month Proclamation** was created to raise the visibility of the mental health resources and suicide prevention services available in our community. The goal is to speak openly about the importance of mental health and the impacts of suicide to help remove the surrounding stigmas, and to direct those in need to the appropriate support services; and

WHEREAS; Suicidal thoughts can affect anyone regardless of age, gender, race, orientation, income level, religion, or background; and according to the American Foundation for Suicide Prevention (AFSP), Suicide is the 10th leading cause of death among adults, and the 2nd leading cause of death among individuals between the ages of 10 and 34 in the US; and

WHEREAS; more than 47,000 people died by suicide across the United States in 2017, which, according to the CDC, was more than twice the number of homicides, with an average of 129 suicides completed daily, which includes active military and veterans accounting for 13.5% of all suicides nationally; and

WHEREAS; each and every suicide directly impacts a minimum of 100 individuals, including family, friends, co-workers, neighbors, and community members; and

WHEREAS; The Village of Willowbrook, Willowbrook, Illinois is no different than any other community across the country, but chooses to publicly place our full support behind local educators, mental health professionals, athletic coaches, law enforcement officers, and parents, as partners in supporting our community in simply being available to one another; and

WHEREAS; global organizations like Hope For The Day (HFTD) and our local partner, Joel Frieders, are on the front lines of a war that many still refuse to discuss, as suicide and mental health remain too uncomfortable to talk about; and

WHEREAS, every member of our community should understand that throughout life's struggles we all need the occasional reminder that we are all fighting our own battles; and

WHEREAS, I encourage all residents to take the time to check in with their family, friends, and neighbors on a regular basis and to honestly communicate their appreciation for their existence by any gesture they deem appropriate. A simple phone call, message, handshake, or hug can go a long way towards helping someone realize that suicide is not the answer.

NOW, THEREFORE, be it resolved that I, Mayor Frank A. Trilla, do hereby proclaim the month of September 2020, as National Suicide Prevention + Action Month in the Village of Willowbrook.

Proclaimed this 9th day of March, 2020.

Frank A. Trilla, Mayor

Leroy R. Hansen, Village Clerk

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

DISCUSSION – AN ORDINANCE AMENDING SECTION 4-2-21 ENTITLED “BUILDING CODE ADOPTED” AND SECTION 4-2-28 ENTITLED “FIRE CODE ADOPTED” OF CHAPTER 2 ENTITLED “BUILDING CODE” OF TITLE 4 ENTITLED “MUNICIPAL SERVICES” OF THE VILLAGE CODE OF ORDINANCES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

AGENDA NO. 7

AGENDA DATE: 03/09/2020

STAFF REVIEW: Roy Giuntoli, Building Official

SIGNATURE: R. Giuntoli / mm

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: T. Bastian / mm

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst / mm

REVIEWED & APPROVED BY COMMISSION: YES ☒ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

At the February 10, 2020 Law and Ordinances Committee meeting, staff provided an overview of the current Village of Willowbrook Building Code as it relates to commercial developments. Currently, the Village of Willowbrook does not allow Type V construction for any “Commercial” (or Non-Residential or Multi-Family Residential) construction based on the ICC Building Code (IBC), as opposed to the Residential Building Code (IRC). Anything built under the IBC Code essentially consists of everything built, other than ‘one & two family’ dwelling residences. Research found that this Type V construction restriction was adopted by Willowbrook around 1995.

Recently, the Village has been approached by the developers of an Extended Stay Hotel requesting that the hotel be allowed to be built in Type V construction. Initially the Building Department stated that this was not allowed. The Village of Willowbrook currently restricts Type V construction for commercial developments. The Village allows all other ‘non-combustible construction types to be used for our single / multi-story commercial, mixed use and hotel developments. The restriction of Type V construction classification puts the Village at a competitive disadvantage for commercial and multifamily residential developments.

A survey by our Building Official finds that many of our surrounding DuPage County municipal neighbors have evolved to allow Type V construction with certain fire protection systems incorporated into the design to provide an enhanced level of fire protection. The Type V criteria meets the International Building Code design requirements.

- Hinsdale: Allows Type V (No amendments)
- Burr Ridge: Allows Type V (No amendments)
- Darien: Allows Type V (No amendments)
- Westmont: Allows Type V, w/ conditions or amendments
- Lombard: Allows Type V, w/ conditions or amendments
- Downers Grove: Does Not allow Type V

Upon discussion of this subject at the February 10, 2020 Law and Ordinances Committee meeting, staff was directed to clarify the Fire Code Section with Tri-State Fire Protection District on the Fire Lanes and Access Roads language for an objective standard.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Staff has worked with Tri-State Fire Protection District and our Village Attorney to incorporate the changes desired. Please find attached an updated version of the proposed code amendments to the Building and Fire Code to allow for Type V construction with certain life safety amendments. This item was discussed at the March 9, 2020 Law and Ordinances Committee held prior to this Village Board meeting.

ACTION PROPOSED: Pass the Ordinance.

ORDINANCE NO. 20-0- 06

AN ORDINANCE AMENDING SECTION 4-2-21 ENTITLED “BUILDING CODE ADOPTED” AND SECTION 4-2-28 ENTITLED “FIRE CODE ADOPTED” OF CHAPTER 2 ENTITLED “BUILDING CODE” OF TITLE 4 ENTITLED “MUNICIPAL SERVICES” OF THE VILLAGE CODE OF ORDINANCES OF THE WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

WHEREAS, the Village of Willowbrook (the “Village”) previously adopted the 2018 International Building Code, and the 2018 International Fire Code, one (1) copy of each Code is on display at the Village Clerk’s office; and

WHEREAS, upon review of the 2018 International Building Code and 2018 International Fire Code by the Building Official for the Village, it has been determined that it is in the best interest of the health, safety and welfare of the residents of the Village to amend certain adopted sections of the 2018 International Building Code and 2018 International Fire Code hereinafter set forth.

NOW THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Code of the Village of Willowbrook be amended as follows:

SECTION ONE. That Section 4-2-21 entitled “Building Code Adopted” of Chapter 2 entitled “Building Code” of Title 4 entitled “Municipal Services” of the Village Code of the Village of Willowbrook, as amended, is hereby further amended to read as follows:

4-2-21: BUILDING CODE ADOPTED:

(A) Code Adopted: There is hereby adopted by reference as if fully set out herein governing the construction of all nonresidential and multifamily structures, that certain code known as the 2018 International Building Code, first printing, as prepared and published by the International Code Council, Inc., together with the additions, insertions, deletions and changes hereinafter set forth, one copy of which has been for a period of more than thirty (30) days prior to the effective date hereof and now is on file in the Office of the Village Clerk.

(B) Amendments To Code: The following additions, insertions, deletions and changes are hereby made to the 2018 International Building Code, first printing:

1. Section 101.1 Title: Amend by deleting the words and punctuation marks, "(Name of Jurisdiction)" and insert the words "The Village of Willowbrook".

2. Section 101.4.3 Plumbing. Delete in its entirety and in lieu thereof substitute with the following new Section 101.4.3:

Section 101.4.3 Plumbing. All references within this code to the International Plumbing Code shall be changed to read, "The Illinois Plumbing Code, prepared and published by the State of Illinois Department of Public Health along with Section 405.3, Section 607.2, Chapter 11 and Chapter 12 of the 2018 International Plumbing Code". The provisions of the Illinois Plumbing Code prepared and published by the State of Illinois Department of Public Health, along with Section 405.3, Section 607.2, Chapter 11 and Chapter 12 of the 2018 International Plumbing Code shall apply to the installation, alteration, repair and replacement of plumbing systems, including appliances, fixtures, fittings and appurtenances, and where connected to a water or sewage system and all aspects of a medical gas system.

3. Section 105.2 Work exempt from permit. Delete in its entirety.

4. Section 105.5 Expirations. Delete in its entirety and in lieu thereof substitute with the following new Section 105.5:

Section 105.5 Extension and expiration of building permit. If after a building permit required by this chapter shall have been granted, if the operation called for by such permit shall not have been started within six (6) months after the date thereof, such permit shall be void and no operation thereunder shall be begun. Where, under authority of a permit, work has begun and has not been prosecuted for a continuous or cumulative period of six (6) months, all rights under such permits shall thereupon terminate and work can be continued only after application for and issuance of a new permit. Where, under authority of a permit, work has not been completed within eighteen (18) months after the issuance of such permit and an occupancy certificate or certificate of completion issued, all rights under such permit shall thereupon terminate and work can be continued only after application for and issuance of a new permit. The new permit shall only be issued for a period in which to expediently complete the work originally permitted. The completion period of the extended permit shall be approved by the Building Official or his/her designee. The fee for said new permit shall be equivalent to the fee applicable to the original building permit obtained. Failure to complete the originally permitted work prior to the expiration date of the extended permit shall be a violation of this code and punishable in accordance with the provisions of title 1, chapter 4 of the Village Code.

5. Section 109.1 Payment of fees. Delete this section in its entirety and in lieu thereof substitute the following new Section 109.1:

Section 109.1 Payment of fees. A Permit shall not be Issued until the review process has been completed and Approved and the fees prescribed in Title 4, Section 4-2-11 of the Village Municipal Code have been paid and accepted, nor shall an Amendment to a Permit be released until the additional fee, if any, due to an increase of the installation, has been paid and accepted.

6. Section 110.3 Required inspections. Amend by adding the following new Sections 110.3.12 and 110.3.13:

Section 110.3.12 Masonry firebox inspection. Masonry firebox inspections shall be made before flue/chimney installation and after the fireplace firebox and smoke shelf is completed.

Section 110.3.13 Stocking and training inspection. Stocking and training inspection shall be made after the completion of construction and prior to the installation of any

stock, merchandise and non-permanent/movable tenant fixtures and furniture, and prior to the allowance of tenant employee occupancy and/or training.

7. Section 113 BOARD OF APPEALS. Delete this section in its entirety and in lieu thereof substitute the following new Section 113:

Section 113 BOARD OF APPEALS.

Section 113.1 Application for Appeal: Each owner and occupant who is affected by this section shall have the right to appeal from the decision of the Village made pursuant to this section. All appeals shall be made to the Board of Appeals of the Village of Willowbrook as hereinafter constituted and within ten (10) days after receipt of notice of the decision of the Village.

Section 113.2 Membership of the Board. The Board of Appeals shall be the Plan Commission of the Village of Willowbrook. A majority of the members of the Plan Commission then holding office shall constitute a quorum.

Section 113.3 Board actions. All actions of the Board must have the concurrence of a majority of those members then holding office. Action on an appeal brought before the Board may be taken by a written vote of a majority of the members upon each voting member certifying that he has read and considered the transcript of the hearing proceedings held by the Board in his absence.

Section 113.4 Procedure. The rules of procedure during a hearing on an appeal shall be similar to the procedures for zoning appeals as adopted by the Plan Commission. In any event, all evidence that is relevant and material and of probative value shall be admitted. Hearsay evidence alone shall not support any decision of the Board.

Section 113.5 Board recommendation. Recommendation to the corporate authorities from the Board shall be made within such time as may be set by the chairman, but, in any event, not later than thirty (30) days after receipt of the transcript of proceedings.

Section 113.6 Powers of the Board: The Board of Appeals shall have the following powers:

- a. To make fact findings and to review fact findings of the Village, provided that fact findings of the Village shall be presumed to be correct until rebutted by a clear preponderance of the evidence to the contrary.
- b. An application for appeal shall be based on a claim that the intent of this code or the rules legally adopted hereunder have been incorrectly interpreted, the provisions of this code do not fully apply, or an equivalent method of protection or safety is proposed. The board shall have no authority to waive requirements of this code.

Section 113.7 Board review: Within thirty (30) days of the receipt of the recommendations of the Board of Appeals, the corporate authorities shall grant or deny the time extension or variation, or refer the matter back to the Board of Appeals for further consideration. If the Board of Appeals favorably recommends the granting of a time extension or variation, that time extension or variation may be granted by resolution by a majority vote of the corporate authorities. If the Board of Appeals does not favorably recommend the granting of a time extension or variation, that time extension or variation may be granted only by favorable vote of two-thirds (2/3) of the corporate authorities. The corporate authorities shall not grant a time extension or variation unless they have made findings of fact based upon evidence adduced by the hearing held by the Board of Appeals.

8. Section 114.4 Violation penalties: Delete this section in its entirety and in lieu thereof substitute the following new Section 114.4:

Section 114.4 Violation penalties. Any person who shall violate a provision of this section or shall fail to comply with any of the requirements thereof or who shall erect, construct, alter or repair a building or structure in violation of an approved plan or a directive of the Building Official or his/her designee, or of a permit or certificate issued under the provisions of this section shall be punishable by a fine of not less than seventy five dollars (\$75.00) nor more than seven hundred fifty dollars (\$750.00). Each day that a violation continues shall be deemed a separate offense.

9. Section 115.3 Unlawful continuance: Delete this section in its entirety and in lieu thereof substitute the following new Section 115.3:

Section 115.3 Unlawful continuance: Any person who shall continue any type of work in or about the structure after having been served with a stop work order, except such work as that person is directed by the Building Official or his/her designee to perform to remove a violation or unsafe conditions, shall be liable to a fine of not less than that prescribed by Title 4, Section 4-2-13(B) of the Village Code.

10. Section 202 DEFINITIONS. Amend by adding the following new Definition:

FIRE OFFICIAL/FIRE MARSHAL. The Building Official or his/her designee.

11. Section 306.3 Factory Industrial F-2 Low-Hazard Occupancy. Amend by adding the following new Section 306.3.1:

Section 306.3.1 Classification to F-1 Moderate-Hazard Occupancy. The designation "Group F-2" shall be deleted. All factory industrial uses and occupancies classified as Group F-2 shall be classified as Group F-1. Requirements of this code specified for factory industrial Group F-1 shall apply to all factory industrial use and occupancies.

12. Section 307.1 High-hazard Group H. Amend by adding the following at the end of the section:

"The maximum allowed quantity of Ethylene Oxide in any building and/or structure, regardless of control areas or occupancy classification, shall not exceed 100 lbs. Legal conforming or legal non-conforming uses in effect as of July 10, 2019, which are lawfully permitted to store and/or use Ethylene Oxide in any process, shall not increase the amount of Ethylene Oxide currently utilized and/or stored within the premises. Provided, however, if any such storage and/or use is reduced, after July 10, 2019, then the reduced storage amounts and/or usage amounts shall apply as the then current maximum permissible amount. In the event the storage and/or use of Ethylene Oxide voluntarily ceases for a period in excess of 180 days at any time after July 10, 2019, then the storage and/or use of Ethylene Oxide shall thereafter be prohibited. Outside storage of Ethylene Oxide shall at all times be prohibited."

13. Section 310.1 Residential Group R. Amend by adding the following new Section 310.1.1:

Section 310.1.1 Special Requirements for Use Groups R-1 & R-2: All structures wherein a separate dwelling unit or apartment is located on the second floor or above shall have exterior and load bearing walls constructed of solid masonry. All interior walls thereof separating dwelling units, corridor walls and stairway enclosures, shall be of masonry construction having at least a two (2) hour fire resistance rating. All floors thereof shall be constructed of the precast concrete type, poured concrete type, or similar noncombustible construction having at least a two (2) hour fire resistance rating.

14. Section 311.3 Low-hazard storage, Group S-2. Amend by adding the following new Section 311.3.1:

Section 311.3.1 Classification to Moderate-hazard storage, Group S-1. The designation "Group S-2" shall be deleted. All storage uses and occupancies classified as Group S-2 shall be classified as Group S-1. Requirements of this code for storage Group S-1 shall apply to all storage use and occupancies.

15. Section 406.3.2.1 Dwelling Unit Separation. Delete in its entirety and in lieu thereof substitute with the following new Section 406.3.2.1:

Section 406.3.2.1 Dwelling Unit Separation. The private garage shall be separated from the dwelling unit and its attic area by a minimum 1-hour rated fire barrier, horizontal or vertical, using minimum five-eighths inch ($\frac{5}{8}$ ") Type X or equivalent gypsum wallboard. Door openings between a private garage and a dwelling unit shall be equipped with a fire door in compliance with Section 715. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.

16. Section 406.3.2.2 Ducts. Delete in its entirety and in lieu thereof substitute with the following new Section 406.3.2.2

Section 406.3.2.2 Ducts. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be encapsulated in construction equal to that of those walls and ceilings, and shall have no openings into the garage.

17. Section 415.6.1 Combustible dusts, grain processing and storage: Delete this section in its entirety and in lieu thereof substitute the following new Section 415.6.1:

Section 415.6.1 Combustible dusts, grain processing and storage: Buildings intended for the purpose of housing combustible dusts or grain are prohibited.

18. Section 503 GENERAL BUILDING HEIGHT AND AREA LIMITATIONS. Amend by adding the following new sections.

Section 503.1.5.1 Type VB Construction. Buildings of Type VB construction shall be limited to Townhouse and One- and Two-Family Dwellings as regulated by the International Residential Code.

Section 503.1.5.2 Type VA Construction. Buildings of Type VA construction shall be prohibited in all Occupancy and Use classifications of Group I, Institutional and Group R-4.

19. Section 507.3 Non-sprinklered, one story. Delete in its entirety.

20. Section 508.3 Non-separated occupancies: Delete this section in its entirety. (All mixed occupancies shall be separated in accordance with Table 508.4)

21. 508.4.4 Separation. Revise the Section by adding the following to the end of the first sentence:

... "However, in all cases Group B Occupancies within fully sprinklered buildings shall be separated from Group F-1 and S-1 Occupancies with 1-hour Fire Barriers. Group B Occupancies within non-sprinklered buildings shall be separated from Group F-1 and S-1 Occupancies with 2-hour Fire Barriers.

22. 508.4.4 Separation. Add the following exceptions.

Exception 1. Buildings of Type VA construction shall be separated from other occupancies by a fire barrier complying with Section 707 or horizontal assemblies constructed in accordance with Section 711 or both so as to separate adjacent occupancies.

Exception 2. Group H-1, H-2, H-3, H-4 and H-5 shall be separated from all other occupancies in accordance with Table 508.4

23. Table 508.4. Add the footnote to the table.

1. g. The 1-hour substitution for fire resistance rating in occupancies protected with an automatic fire sprinkler system shall not be permitted for buildings of Type VA construction.

24. Table 601. Delete footnote b in its entirety and in lieu thereof substitute with the following new footnote b.

b. Except in Group F-1, H, M, S-1, occupancies and all occupancies within buildings of Type VA construction, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.

25. Section 602.1 General. Amend by adding the following new sentence to the end of the paragraph:

... "For use groups R-1 and R-2 construction see Section 310.1.1 as amended."

26. Section 602.3 Type III. Delete in its entirety and in lieu thereof substitute with the following new Section 602.3:

Section 602.3 Type III. Type III construction is that type of construction in which the exterior walls are of noncombustible materials and the interior building elements are of any material permitted by this code. Fire-retardant-treated wood framing complying with Section 2303.2 shall be permitted within exterior wall assemblies with a 2-hour rating or less. Type III construction shall be permitted for Use Group R-3 structures only.

27. Section 603.1 Allowable materials. Amend this section by deleting application number 13 in its entirety. (All blocking and backing shall be non-combustible or pressure impregnated fire retardant treated wood.)

28. Section 703.2 Fire-resistance ratings. Delete the first sentence in its entirety contained therein and in lieu thereof substitute with the following new sentence:

"The fire-resistance rating of building elements shall be determined in accordance with the test procedures set forth in ASTM E 119 and in accordance with Section 703.3."

29. Section 703.3 Alternative methods for determining fire resistance. Delete in its entirety and in lieu thereof substitute with the following new Section 703.3:

Section 703.3 Submittal documents. In addition to the permit submittal requirements specified in Section 106, copies of the system design from Underwriters Laboratories (UL) or other approved, independent testing agency shall be submitted to the Village, or be made a part of the construction plans submitted to the Village, for all required fire-resistance-rated assemblies and firestop systems. Sections 721 and 722 shall only be used to verify compliance of the fire resistance rated assemblies when permitted in writing by the Building Official or his/her designee.

30. Section 704 FIRE-RESISTANCE RATING OF STRUCTURAL MEMBERS. Amend by adding the following new sections.

704.1.1. All lightweight and engineered wood floor/ceiling assemblies in Type VA construction shall require a UL fire resistance design or equivalent to achieve a one-hour fire resistance rating.

704.1.2. All lightweight and engineered wood roof ceiling assemblies in Type VA construction shall require a UL fire resistance design or equivalent to achieve a one-hour fire resistance rating.

31. Section 706.3 Materials. Delete in its entirety and in lieu thereof substitute with the following new Section 706.3 Materials:

Section 706.3 Materials. Fire walls shall be of any approved noncombustible materials.

Exceptions:

1. Buildings of type V construction.

2. Use Group R-3: Fire walls shall be constructed of minimum eight inch (8") concrete masonry units when separating all multiple single-family attached dwellings in side-by-side construction.

32. Section 708.1 General. Delete Item 2 in its entirety and in lieu thereof substitute the following new Item 2:

2. Walls separating tenant spaces.

33. Section 708.1 General. Add the following exception at the end of the section:

"Exception: Group B tenants located in buildings used primarily for office uses may be separated from each other with walls designed as smoke partitions."

34. Section 708.3 Fire-resistance rating. Delete in its entirety and in lieu thereof substitute with the following new Section 708.3:

Section 708.3 Fire-resistance rating. Fire partitions shall have a fire-resistance rating of not less than 1 hour.

Exception: Walls and floors separating dwelling units or sleeping units in the same building shall be of masonry, poured concrete, precast concrete or similar non-combustible construction having at least a two (2) hour fire resistance rating.

35. 718.3 Draft stopping in floors shall be amended by adding exception 2.

Exception 2. Draft stopping materials shall be installed to subdivide floor/ceiling assemblies in all occupancies and buildings of Type VA construction.

36. 718.4 Draft stopping in Attics. Delete current exception and insert the following exception in lieu thereof.

Exception: Draft stopping materials shall be installed to subdivide attic spaces in all occupancies and buildings of Type VA construction.

37. Section 718.4. Draft stopping in Attics. Amend by adding the following new Section 718.4.2:

Section 718.4.2 Draft stopping of Overhangs and Soffits. Regardless of requirements elsewhere, overhangs, canopies, exterior soffits and similar structures shall be draft stopped in buildings of all use groups and construction types at intervals not exceeding twenty feet (20') horizontal spacing.

38. Section 721 PRESCRIPTIVE FIRE RESISTANCE. Delete in its entirety. Except when permitted in writing by the Building Official or his/her designee.

39. Section 722 CALCULATED FIRE RESISTANCE. Delete in its entirety. Except when permitted in writing by the Building Official or his/her designee.

40. Section 903.2.1 Group A. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.1:

Section 903.2.1 Group A. An automatic sprinkler system shall be provided throughout all buildings containing a Group A occupancy of 2,000 square feet or greater.

Exceptions:

1. Areas used exclusively as participant sport areas where the main floor areas located at the same level as the level of exit discharge of the main entrance and exit.

2. Only concession stands, retail areas, press boxes and other accessory use areas in Group A-5 with an area greater than 1,000 square feet shall be required to be provided with an automatic sprinkler system.

3. Where the Group A fire area is located on a floor other than a level of exit discharge serving such occupancies.

41. Section 903.2.1.1 Group A-1. Delete in its entirety.

42. Section 903.2.1.2 Group A-2. Delete in its entirety.

43. Section 903.2.1.3 Group A-3. Delete in its entirety.

44. Section 903.2.1.4 Group A-4. Delete in its entirety.

45. Section 903.2.1.5 Group A-5. Delete in its entirety.

46. Section 903.2.1.6 Assembly occupancies on roofs. Delete in its entirety.

47. Section 903.2.2 Ambulatory Care facilities. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.2:

Section 903.2.2 Group B. An automatic sprinkler system shall be provided throughout all buildings containing a Group B occupancy of 2,000 square feet or greater.

48. Section 903.2.3 Group E. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.3:

Section 903.2.3 Group E. An automatic sprinkler system shall be provided throughout all buildings containing a Group E occupancy.

49. Section 903.2.4 Group F-1. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.4:

Section 903.2.4 Group F-1. An automatic sprinkler system shall be provided throughout all buildings containing a Group F-1 occupancy of 2,000 square feet or greater.

50. Section 903.2.4.1 Woodworking operations. Delete in its entirety.

51. Section 903.2.7 Group M. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.7:

Section 903.2.7 Group M. An automatic sprinkler system shall be provided throughout buildings containing a Group M occupancy of 2,000 square feet or greater or where a Group M occupancy is used for the display and sale of upholstered furniture.

52. Section 903.2.9 Group S-1. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.9:

Section 903.2.9 Group S-1. An automatic sprinkler system shall be provided throughout all buildings containing a Group S-1 occupancy of 2,000 square feet or greater or in buildings with repair garages servicing vehicles parked in basements.

53. Section 903.2.9.1 Repair garages. Delete in its entirety.

54. Section 903.2.9.2 Bulk storage of tires. Delete in its entirety.

55. Section 903.2.10 Group S-2. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.10:

Section 903.2.10 Group S-2. An automatic sprinkler system shall be provided throughout all buildings containing a Group S-2 occupancy of 2,000 square feet or greater or where enclosed parking garages are located beneath other groups.

56. Section 903.2.10.1 Commercial parking garages. Delete in its entirety.

57. Section 903.3 Installation requirements. Delete in its entirety and in lieu thereof substitute with the following new Section 903.3:

Section 903.3 Installation requirements. Automatic sprinkler systems shall be designed and installed in accordance with Sections 903.3.1 through 903.3.8 and other chapters of this code as applicable, except that flexible sprinkler pipe or tubing shall be prohibited.

58. Section 903.3.1.1.1 Exempt locations. Delete Subsection 3 of Section 903.3.1.1.1 in its entirety and in lieu thereof substitute with the following new Subsection 3:

3. Generator and transformer rooms separated from the remainder of the building by walls and floor/ceiling assemblies or roof/ceiling assemblies having a fire-resistance rating of not less than 2 hours when approved in writing by the Building Official or his/her designee.

59. Section 903.3.1.1.1 Exempt locations. Delete Subsection 4 of Section 903.3.1.1.1 in its entirety and in lieu thereof substitute with the following new Subsection 4:

4. In rooms or areas that are of noncombustible construction with wholly non-combustible contents when approved in writing by the Building Official or his/her designee.

60. 903.3.1.1.1 Exempt locations. Add the following sentence to end of the paragraph:
Exempt locations shall not be applicable to buildings of Type VA construction.

61. 903.3.1.1.2 Bathrooms is amended by adding the following new subsection:

903.3.1.1.2.1. In Group R occupancies in buildings of Type VA construction sprinklers shall be required in all bathrooms regardless of dimensional size or area.

62. Section 907.2 Where required - new buildings and structures. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.2:

Section 907.2 Where required - new buildings and structures. Where required all fire alarm systems shall be installed in accordance with the following:

a) An approved manual, automatic, or manual and automatic fire alarm system shall be provided in new buildings and structures in accordance with Sections 907.2.1 through 907.2.23. In all cases an approved automatic fire alarm system shall be provided in buildings of Use Groups A, B, E, I, R-1, R-2, R-3 (where over and under or side-by-side construction is employed), and all buildings of mixed use, regardless of size, and all other principal buildings and individual uses over one (1) story in height or over two thousand (2,000) square feet in area, except Use Group R-4. Where automatic sprinkler protection installed in accordance with Section 903.3.1.1 or 903.3.1.2 is provided and connected to the building fire alarm system, automatic heat detection required by this section shall not be required.

b) An approved automatic fire detection system shall be installed in accordance with the provisions of this code and NFPA 72. Devices, combinations of devices, appliances and equipment shall comply with Section 907.1.2. The automatic fire detectors shall be smoke detectors, except that an approved alternative type of detector shall be installed in spaces such as boiler rooms where, during normal operation, products of combustion are present in sufficient quantity to actuate a smoke detector.

c) Where automatic sprinklers provide protection to an area, approved flow and tamper switches interconnected to the fire alarm system shall be provided.

63. Section 907.2.8.2 Automatic smoke detection system. Amend by adding the following new Sections 907.2.8.2.1 and 907.2.8.2.2:

Section 907.2.8.2.1. Heat detectors. Heat detectors shall be provided on every floor and in all generally unattended areas such as storage rooms, garages, elevator shafts, laundry rooms, furnace rooms, basements, attic spaces, crawl spaces and similar areas. At least one (1) shall be provided in each living unit near the bedrooms. "Rate of Rise" type heat detectors are not permitted in this application.

Section 907.2.8.2.2. Detectors within Means of Egress components. Smoke detectors shall be provided in all stairways, exit access hallways and exit passageways.

64. Section 907.6.4 Zones. Delete in its entirety, (exclusive of Subsections 907.6.4.1 through 907.6.4.2) and in lieu thereof substitute the following new Section 907.6.4:

Section 907.6.4 Zones. Each floor shall be zoned separately, and a zone shall not exceed twenty thousand (20,000) square feet in area. The length of any zone shall not exceed two hundred feet (200') feet in any direction, unless otherwise approved by the fire code official.

65. Section 907.6.6 Monitoring. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.6.6.

Section 907.6.6 Monitoring. All fire protection systems shall transmit all alarm signals to the dispatch center serving Tri-State Fire Protection District, which may be routed through any central receiving station. All required fire alarm systems shall transmit alarm, trouble, and where specially permitted, supervisory signals (specifically where only allowed by the fire official) to a 24-hour monitoring company or Addison Consolidated Dispatch Center. Installation shall be in accordance with NFPA 72.

Exception: Supervisory service is not required for:

1. Single- and multiple-station smoke alarms required by Section 907.2.10.
2. Smoke detectors in Group I-3 occupancies.
3. Automatic sprinkler systems in one- and two-family dwellings.

66. Section 912.1 Installation. Amend by adding the following new sentences to the end of the paragraph:

... "In all cases a Fire Department Connection with a five inch (5") Storz inlet shall be provided. Where the existing fire department connection is not a 5" Storz type connection, it must be replaced with a 5" inch Storz connection. Any new installation of the Storz connection shall be between 36" and 48" above finished grade. Any installation where the connection is between 36" and 48" or more above grade, a 30 degree elbow shall be required. Where the existing connection is less than 36" above grade, a 30 degree elbow shall not be allowed. Tri-State Fire Protection District reserves the right to grant variances on any fire department connection."

67. Section 912.2.1 Visible location. Amend by adding the following new sentence to the end of the paragraph:

... Access routes shall be so arranged that fire department apparatus may respond from all points of the building to adjacent fire hydrants along routes not to exceed two hundred fifty feet (250') from the most remote point of the building perimeter to the closest fire hydrant.

68. Table 1006.2.1 Spaces with one exit or exit access doorway. The values in Column 2 (Maximum Occupant Load of Space) shall be modified so that Groups A, E, M, B, F and U shall have a value of twenty (20) people of 2,000 Sq. Ft. in gross area.

69. Table 1006.3.3(1) Stories with one exit or access to one exit for R-2 occupancies. Delete in its entirety and in lieu thereof substitute with the following new Table 1006.3.3(1).

TABLE 1006.3.3(1)
STORIES WITH ONE EXIT OR
ACCESS TO ONE EXIT FOR R-2 OCCUPANCIES

STORY	OCCUPAN CY	MAXIMU M	MAXIM UM
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		NUMBER OF DWELLING UNITS	COMMON PATH OF EGRESS TRAVEL DISTANCE (FT)
Basement, First, second or third story above grade plane	R-2 ^{a,b}	4 dwelling units	50
Fourth story above grade plane and higher	NP	NA	NA

For SI: 1 foot = 304.8 mm.

NP = Not Permitted

a. Buildings classified as Group R-2 equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 and provided with emergency escape and rescue openings in accordance with Section 1030

b. This table is used for R-2 occupancies consisting of dwelling units. For R-2 occupancies consisting of sleeping units, use Table 1006.3.3(2)

70. Table 1006.3.3(2) Stories with one exit or access to one exit for other occupancies. Delete in its entirety and in lieu thereof substitute with the following new Table 1006.3.3(2).

TABLE 1006.3.3(2)
STORIES WITH ONE EXIT OR
ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES

STORY	OCCUPANCY	MAXIMUM OCCUPANT LOAD PER STORY	MAXIMUM COMMON PATH OF EGRESS
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			TRAVEL DISTANCE (FT)
First story above or below grade plane	A, B ^b , E, F ^b , M, U	20	75
	H-2, H-3	3	25
	H-4, H-5, I, R- 1, R-2 ^{a,c}	10	75
	S ^{b,d}	20	100
Second story above grade plane	B, F, M, S ^d	20	75
Third story above grade plane and higher	NP	NA	NA

For SI: 1 foot = 304.8 mm.

NP = Not Permitted

a. Buildings classified as Group R-2 equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 and provided with emergency escape and rescue openings in accordance with Section 1030.

b. Group B, F and S occupancies in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 shall have a maximum exit access travel distance of 100 feet.

c. This table is used for R-2 occupancies consisting of sleeping units. For R-2 occupancies consisting of dwelling units, use Table 1006.3.3(1).

d. The length of exit access travel distance in a Group S-2 open parking garage shall not be more than 100 feet.

71. Section 1008.3.1 General. Delete in its entirety and in lieu thereof substitute with the following new Section 1008.3.1:

Section 1008.3.1 General. In the event of power failure, an emergency electrical system shall automatically illuminate the following areas:

1. Exit access corridors, passageways and aisles in rooms and spaces which require two or more means of egress, have an occupant load greater than three (3) occupants or which have an area greater than three hundred (300) square feet.

2. Exit access corridors, passageways and aisles in buildings which require two or more means of egress, have an occupant load greater than three (3) occupants or which have an area greater than three hundred (300) square feet.
3. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings which require two or more means of egress, have an occupant load greater than three (3) occupants or which have an area greater than three hundred (300) square feet.
4. Interior exit discharge elements, as permitted in Section 1023.1, in buildings which require two or more means of egress, have an occupant load greater than three (3) occupants or which have an area greater than three hundred (300) square feet.
5. The portion of the exterior exit discharge immediately adjacent to exit discharge doorways in buildings which require two or more means of egress, have an occupant load greater than three (3) occupants or which have an area greater than three hundred (300) square feet.
6. All bathrooms.
7. All interior electrical panel boards, switchgear and meter enclosures.
8. Fire sprinkler main assembly.
72. TABLE 1020.1 CORRIDOR FIRE-RESISTANCE RATING is amended by amending row number four ("R") of the table to read as follows:
"R, Greater than 10, Not Permitted, 1c,d "
73. Section 1030.1 General. Delete Exception 4 in its entirety.
74. Section 1301.1.1 Criteria. Delete in its entirety and in lieu thereof substitute with the following new Section 1301.1.1:
Section 1301.1.1 Criteria. Buildings shall be designed and constructed in accordance with the Illinois Energy Conservation Code - Current Version. Proof of such compliance shall be shown through the submittal of fully completed "COMcheck" compliance certificates. <<http://energycode.pnl.gov/COMcheckWeb/>>
75. Section 1807.1.3 Rubble stone foundation walls. Delete this section in its entirety.
76. Section 1807.1.4 Permanent wood foundation systems. Delete this section in its entirety.
77. Section 1807.1.6.3 Masonry foundation walls. Delete this section in its entirety, unless otherwise approved in writing by the Building Official or his/her designee.
78. Table 1809.7 PRESCRIPTIVE FOOTINGS SUPPORTING WALLS OF LIGHT-FRAME CONSTRUCTION. Delete all reference to Column Three entitled "THICKNESS OF FOOTING" in its entirety and in lieu thereof the following column shall be substituted:

Thickness of Footing

The minimum thickness of footings shall be ten inches (10").

79. Section 1809.8 Plain concrete footings. Delete this section in its entirety and in lieu thereof substitute the following new Section 1809.8:
Section 1809.8 Plain concrete footings: In plain concrete the minimum footing size shall be twenty inches (20") in width and ten inches (10") in depth. For foundation walls wider than ten inches (10"), footings shall be a minimum ten inches (10") in

depth and shall be no less than ten inches (10") wider than the width of the foundation wall.

- 80. Section 1809.9 Masonry unit footings. Delete this section in its entirety.
- 81. Section 1809.12 Timber footings. Delete this section in its entirety.
- 82. SECTION 2303 MINIMUM STANDARDS AND QUALITY is amended by adding the following subsection 2303.4.6.1.

2303.4.6.1. Metal plate connected wood trusses specified for use in Type VA construction shall be designed and manufactured with additional reinforcement at each metal plate connection point consisting of a minimum 3/8-inch wood structural panel applied and fastened across all connected truss members. Field modifications shall not be permitted.

Exception: Field modifications, based on the written concurrence and approval of an Illinois Licensed and *registered design professional*, are permitted only with *prior* written approval from the Building Official or his/her designee.

- 83. Chapter 27 ELECTRICAL SYSTEMS. Delete in its entirety. (All electrical systems shall comply with the National Electrical Code as adopted and amended by Title 4 of the Village Code.)
- 84. Chapter 28 MECHANICAL SYSTEMS. Delete in its entirety. (All mechanical systems shall comply with the International Mechanical Code and the International Fuel Gas Code as adopted and amended by Title 4 of the Village Code.)
- 85. Chapter 29 PLUMBING SYSTEMS. Delete in its entirety. (All plumbing systems shall comply with the Illinois Plumbing Code and the International Plumbing Code as adopted and amended by Title 4 of the Village Code.)
- 86. Section 3001.3 Referenced Standards. Delete this section in its entirety and in lieu thereof substitute the following new Section 3001.3:

Section 3001.3 Referenced Standards. Referenced Standards to be as stringent and comply with current Illinois Elevator Safety Act (225 ILCS 312) and its Rules. For private residential conveyance application, the Act does not apply, however, the IBC code shall for new installation, permits, final acceptance. For applications not covered by the Illinois Elevator Safety Act, those conveyance applications shall be covered under the IBC code by the AHJ for new installation, permits, final acceptance, periodic inspections and testing, unsafe conditions, power to seal equipment, put conveyance out of service, and certificate compliance as well as owner/agent responsibility for contractor, maintenance, accident/injury responsibility.

Referenced Standards from (225 ILCS 312): Safety Code for Elevators and Escalators (ASME A17.1), the Standard for the Qualification of Elevator Inspectors (ASME QEI-1), the Automated People Mover Standards (ASCE 21), the Safety Requirements for Personnel Hoists and Employee Elevators (ANSI A10.4), and the Safety Standard for Platform Lifts and Stairway Chairlifts (ASME A18.1).

- 87. Section 3002.4 Elevator Car to Accommodate Ambulance Stretcher. Delete this section in its entirety and in lieu thereof substitute the following new Section 3002.4:

Section 3002.4 Elevator Car to Accommodate Ambulance Stretcher. In all buildings at least one elevator shall be provided for fire department emergency access to all floors in building. Such elevator car shall be of such size and arrangement to accommodate a minimum twenty-four inch (24") by eighty-four inch (84") ambulance stretcher in the horizontal open position and shall be identified by the International Symbol for emergency medical services (Star of Life). Said symbol shall not be less than three inches (3") high by three inches (3") wide and shall be placed inside on both sides of the main lobby hoistway door frame.

88. [F] Section 3003.2 Fire Fighters' Emergency Operation. Delete this section in its entirety and in lieu thereof substitute the following new [F] Section 3003.2:

[F] Section 3003.2 Fire Fighters' Emergency Operation. Elevators shall be provided with Phase 1 emergency recall operation and Phase 2 emergency in car operation in accordance with ASME A17.1 and NFPA72.

89. Section 3004.1 General. Delete this section in its entirety and in lieu thereof substitute the following new Section 3004.1:

Section 3004.1 General. Escalators, moving walks, conveyors, personnel hoists, material hoists, miscellaneous hoisting and elevating equipment shall comply with the provisions of this section.

90. Section 3004.3 Conveyors. Delete this section in its entirety and in lieu thereof substitute the following new Section 3004.3:

Section 3004.3 Conveyors. Conveyors and related equipment shall comply, be inspected and tested in accordance with ASME B20.1 listed in Chapter 35 and Section 3004.4 regarding personal hoists.

91. Section 3005.1 Access. Delete this section in its entirety and in lieu thereof substitute the following new Section 3005.1:

Section 3005.1 Access. An approved means of access shall be provided to elevator machine rooms and overhead machinery equipment spaces. This means of access is not to be used as a passage way through the machine room to any other areas of the building or roof.

92. CHAPTER 30 ELEVATORS AND CONVEYANCE SYSTEMS. Amend by adding the following new SECTION 3009 CERTIFICATE OF COMPLIANCE:

SECTION 3009 CERTIFICATE OF COMPLIANCE

Section 3009.1 Equipment Operation. The operation of all equipment governed by the provisions of this chapter and hereafter installed, relocated or altered shall be unlawful by persons other than the installer until such equipment has been inspected and tested as herein required and a final certificate of compliance has been issued by the Authority having Jurisdiction.

Section 3009.2 Posting Certificates of Compliance. The owner or lessee shall post the current-issued certificate of compliance in a conspicuous place inside the conveyance. A copy of the current issued certificate is acceptable. Please refer to Illinois Elevator Safety Act.

93. Section 3303.1 Construction documents. Delete this section in its entirety and in lieu thereof substitute the following new Section 3303.1:

Section 3303.1 Construction documents. Construction documents and a schedule for demolition must be submitted. A description and location of the building to be demolished, along with the proposed time and date of the demolition, must be submitted to the Building Official or his/her designee as well as to the proper fire protection district and county officials for approval. No work shall be done until such construction documents or schedule, or both, are approved.

94. Section 3303.1 Construction documents. Amend by adding the following new Section 3303.1.1:

Section 3303.1.1 Contractor bonds and insurance. The contractor must supply a twenty thousand-dollar (\$20,000.00) wrecking bond in a form acceptable to the Building Official or his/her designee. Also, a valid certificate of insurance stating the proper types and amounts of insurance and a ten thousand-dollar (\$10,000.00)

license bond from the contractor performing the work must be submitted in a form acceptable to the Building Official or his/her designee.

95. Section 3303.6 Utility connections. Amend by adding the following new Section 3303.6.1:

Section 3303.6.1. Abandonment of wells: If a well exists on the property which is to be abandoned, it must be capped and sealed in accordance with the rules and regulations published by the Illinois department of mines and minerals. In addition, said well shall be sealed under the supervision of the DuPage County health department.

96. Section 3303.6 Utility connections. Amend by adding the following new Section 3303.6.2:

Section 3303.6.2. Underground Storage Facilities: All underground storage facilities that are to be abandoned shall be excavated and removed from the site. A permit issued by the State Fire Marshal must accompany an application for the removal of all underground storage tanks.
(Ord. 19-O-10, 6-24-2019)

SECTION TWO. That Section 4-2-28 entitled "FIRE CODE ADOPTED:" of Chapter 2 entitled "Building Code Adopted" of Title 4 entitled "Municipal Services" of the Village Code of the Village of Willowbrook, as amended, is hereby further amended as follows:

4-2-28: FIRE CODE ADOPTED:

(A) Code Adopted: There is hereby adopted by reference as if fully set out herein, for the purpose of prescribing regulations governing conditions hazardous to life and property from fire or explosion, that certain Code known as the 2018 International Fire Code, second printing, including Appendix "D", as prepared and published by the International Code Council, Inc., together with the additions, insertions, deletions and changes hereinafter set forth, one copy of which has been on file for a period of more than thirty (30) days prior to the adoption of this section and now is on file in the Office of the Village Clerk.

(B) Amendments: The following additions, insertions, deletions and changes are hereby made to the 2018 International Fire Code, second printing, including Appendix "D":

1. Section 101.1 Title. Amend by deleting the words and punctuation marks, "[Name of Jurisdiction]" and insert the words "The Village of Willowbrook."
2. Section 102.4 Application of building code. Delete in its entirety and in lieu thereof substitute with the following new Section 102.4:

Section 102.4 Application of building code. The design and construction of new structures, as well as repairs, alterations and additions to existing structures, shall comply with the International Building Code as amended by the Village of Willowbrook. Where corresponding sections of the International Fire Code have been modified or amended within the International Building Code, the most strict application shall apply. These sections include, but are not limited to, modifications or

amendments to the requirements for fire suppression systems, fire alarm systems and means of egress.

3. Section 102.10 Conflicting provisions. Delete in its entirety and in lieu thereof substitute with the following new Section 102.10:

Section 102.10 Conflicting provisions. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable. Where there is a conflict between a corresponding requirement in the International Fire Code and the International Building Code, the most strict application shall apply.

4. SECTION 102 APPLICABILITY. Amend by adding the following new Section 102.13:

Section 102.13 Provisions with Respect to Certain Use Group "U" Structures:

Notwithstanding any language contained in the following referenced sections to the contrary, all use group "U" structures which exceed two thousand (2,000) square feet in gross area and which are intended to be used or are used at any time for assembly purposes shall comply with all applicable sections of the adopted Building and Fire Codes.

Additionally, notwithstanding any language contained in the following referenced sections to the contrary, all use group "U" structures which exceed two thousand (2,000) square feet in gross area (whether legal, legal nonconforming or illegal) existing on the effective date hereof and which are used at any time for assembly purposes shall be brought into conformance with all applicable sections of the adopted Building and Fire Codes on or before April 1, 2000. April 1, 2000 shall, for all purposes, be deemed an appropriate amortization period for every such legal, legal nonconforming and illegal use presently existing within the corporate limits of the Village of Willowbrook. Should any such use hereafter be located within the Village of Willowbrook by reason of annexation into the Village of a lot or parcel on which such use is located, then such use shall be brought into conformance with the above referenced Sections within eleven (11) months after the date of annexation. Such eleven (11) month period shall, for all purposes, be deemed an appropriate amortization period for every such legal, legal nonconforming and illegal use so annexed to the Village.

5. Section 103.2 Appointment. Delete in its entirety and in lieu thereof substitute with the following new Section 103.2:

Section 103.2 Appointment. The Fire Code Official shall be the Building Official or his/her designee and shall be appointed by the Chief Appointing Authority of the jurisdiction; and the Fire Code Official shall not be removed from office except for cause and after full opportunity to be heard on specific and relevant charges by and before the Appointing Authority.

6. Section 105.1.2 Types of Permits. Operational Permit. Delete in its entirety and in lieu thereof substitute with the following new Section 105.1.2:

Section 105.1.2 Types of Permits. Operational Permit. An operational permit allows an applicant to conduct an operation(s) for which a permit is required by Section 105.6 in accordance with the schedule as outlined in the fee ordinances. A permit fee shall be charged annually for each type of operational permit in accordance with the schedule as outlined in the fee ordinances (see Operational Permit/Product Description and Fee Table below). A permit shall constitute authority to maintain, store or handle materials; or to conduct processes which produce conditions hazardous to life or property.

Operational Permit/Product Description and Fee Table

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
A	<p>Compressed Gases. Section 105.6.8: An operational permit is required: Compressed gas. Storage, use or handling at normal temperature and pressure (NTP) of compressed gases in excess of amounts listed in Table 105.6.8 Exception: Vehicles equipped for and using compressed gas as a fuel to propel the vehicle.</p>	Yes	\$150.00	105.6.8
B	<p>Cryogenic Fluids. Section 105.6.10: An operational permit is required: To produce, store, transport onsite,</p>	Yes	\$150.00	105.6.10

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
	use, handle or dispense cryogenic fluids in excess of the amount listed in Table 105.6.10			
C	Materials. Section 105.6.20: An operational permit is required to: Store, transport onsite, dispense, use or handle hazardous materials in excess of the amounts listed in Table 105.6.20	Yes	\$150.00	105.6.20
D	Flammable and Combustible Liquids. Section 5701.4: An operational permit is required:	-	-	-
D 1	To use or operate a pipeline for the transportation with facilities or flammable or combustible liquids. This requirement shall not apply to the	Yes	\$150.00	5701.4

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
	offsite transportation (DOTn) (see section 3501.1.2) nor does it apply to piping systems (see section 3503.6)			
D 2	To store, handle or use of Class I liquids in excess of 5 gallons (19 L) in a building or in excess of 10 gallons (37.9 L) outside of a building, except that a permit is not required for the following:	Yes	\$150.00	5701.4
D 2.1	The storage or use of Class I liquids in the fuel tanks of a motor vehicle, aircraft, motorboat, mobile power plant or mobile heating plant unless such storage, in the opinion of the Fire Official would cause an unsafe condition.	No	-	-

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
D 2.2	The storage or use of paints, oils, varnishes or similar flammable mixtures when such liquids are stored for maintenance, painting or similar purposes for a period of not more than 30 days.	No	-	-
D 3	To store, handle or use Class II or Class IIIA liquids in excess of 25 gallons (95 L) in a building or in excess of 60 gallons (227 L) outside a building, except for fuel oil used in connection with oil-burning equipment.	Yes	\$150.00	5701.4
D 4	To remove Class I or Class II liquids from an underground storage tank used for fueling motor vehicles by means other than the approved, stationary on-site pumps normally	Yes	\$150.00	5701.4

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
	used for dispensing purposes.			
D 5	To operate tank vehicles, equipment, tanks, plants, terminals, wells, fuel dispensing stations, refineries, distilleries and similar facilities where flammable and combustible liquids are produced, processed, transported, stored, dispensed or used.	Yes	\$150.00	5701.4
D 6	To install, alter, remove, abandon, place temporarily out of service (for more than 90 days) or otherwise dispose of an underground, protected above-ground or above-ground flammable or combustible tank.	Yes	\$150.00	5701.4

	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
D 7	To change the type of contents stored in a flammable or combustible liquid tank to a material which poses a greater hazard than for which the tank was designed and constructed.	Yes	\$150.00	5701.4
D 8	To manufacture, process, blend, or refine flammable or combustible liquids.	Yes	\$150.00	5701.4
E	Inspection Fees:		See <u>4-2-11(G)(5)</u> of the Village Code	

7. Section 109 BOARD OF APPEALS. Delete this section in its entirety and in lieu thereof substitute the following new Section 109:

Section 109 BOARD OF APPEALS.

Section 109.1 Application for appeal: Each owner and occupant who is affected by this section shall have the right to appeal from the decision of the Village made pursuant to this section. All appeals shall be made to the Board of Appeals of the Village of Willowbrook as hereinafter constituted and within ten (10) days after receipt of notice of the decision of the Village.

Section 109.2 Membership of the board. The Board of Appeals shall be the Plan Commission of the Village of Willowbrook. A majority of the members of the Plan Commission then holding office shall constitute a quorum.

Section 109.3 Board actions. All actions of the Board must have the concurrence of a majority of those members then holding office. Action on an appeal brought before the Board may be taken by a written vote of a majority of the members upon each voting member certifying that he has read and considered the transcript of the

hearing proceedings held by the Board in his absence.

Section 109.4 Procedure. The rules of procedure during a hearing on an appeal shall be similar to the procedures for zoning appeals as adopted by the Plan Commission. In any event, all evidence that is relevant and material and of probative value shall be admitted. Hearsay evidence alone shall not support any decision of the Board.

Section 109.5 Board recommendation. Recommendation to the corporate authorities from the Board shall be made within such time as may be set by the chairman, but, in any event, not later than thirty (30) days after receipt of the transcript of proceedings.

Section 109.6 Powers of the Board: The Board of Appeals shall have the following powers:

a. To make fact findings and to review fact findings of the Village, provided that fact findings of the Village shall be presumed to be correct until rebutted by a clear preponderance of the evidence to the contrary.

b. An application for appeal shall be based on a claim that the intent of this code or the rules legally adopted hereunder have been incorrectly interpreted, the provisions of this code do not fully apply, or an equivalent method of protection or safety is proposed. The board shall have no authority to waive requirements of this code.

Section 109.7 Board Review: Within thirty (30) days of the receipt of the recommendations of the Board of Appeals, the corporate authorities shall grant or deny the time extension or variation, or refer the matter back to the Board of Appeals for further consideration. If the Board of Appeals favorably recommends the granting of a time extension or variation, that time extension or variation may be granted by resolution by a majority vote of the corporate authorities. If the Board of Appeals does not favorably recommend the granting of a time extension or variation, that time extension or variation may be granted only by favorable vote of two-thirds ($\frac{2}{3}$) of the corporate authorities. The corporate authorities shall not grant a time extension or variation unless they have made findings of fact based upon evidence adduced by the hearing held by the Board of Appeals.

8. Section 110.4 Violation Penalties. Delete this section in its entirety and in lieu thereof substitute the following new Section 110.4:

Section 110.4 Violation Penalties. Any person who shall violate any provision of this Code shall, upon conviction thereof, be subject to a fine of an amount as provided in Title 1, Chapter 4, of the Village Code of the Village of Willowbrook. Each day that a violation continues after due notice has been served, in accordance with the terms and provisions hereof, shall be deemed a separate offense.

9. Section 202 GENERAL DEFINITIONS. Add the following new definitions:

CORPORATION COUNSEL: The Village Attorney for the Village of Willowbrook.

DEPARTMENT OF FIRE PREVENTION: The Department of Municipal Services of the Village of Willowbrook.

FIRE CODE OFFICIAL: The Building Official or his/her designee of the Village of Willowbrook.

FIRE PREVENTION CODE OR FIRE CODE: The Village of Willowbrook Fire Prevention Code.

MUNICIPALITY: The Village of Willowbrook.

VILLAGE: The Village of Willowbrook.

10. Section 503.1.1 Buildings and facilities. Amend by adding the following new sentences to the end of the paragraph:

... Access roads or fire lanes for unlimited area buildings and buildings over thirty feet (30') in height may be not less than fifteen feet (15') from the buildings, unless the adjacent wall has a minimum fire resistive rating of two (2) hours. This optional design must be approved by the Fire Protection District. If the height of the building requires a greater setback to ladder the buildings, the distance from the building shall be as approved by the Fire Protection District. Access routes shall be continuous around the building. This requirement may be modified by the Fire Protection District where adequate building access openings and a complete fire suppression system are provided.

11. Section 503.2.3 Surface. Amend by adding the following new sentence to the end of the paragraph:

... In all cases the fire apparatus access road shall be designed to accommodate vehicles weighing a minimum of 80,000 pounds, or the heaviest fire department vehicle whichever is greater.

12. Section 503.3 Markings. Delete this section in its entirety and in lieu thereof substitute the following new Section 503.3.

Section 503.3 Markings. Approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

13. Section 503 FIRE APPARATUS ACCESS ROADS. Amend by adding the following new section 503.7 Fire Department Access Roads.

503.7 Fire Department Access Roads. Property, devoted to Public use, shall be so that:

- a. Public or private access for motor fire apparatus shall be provided around the building so that there may be proper operation of ladders and mechanically elevated mechanisms. Minimum width of the fire lanes shall be twenty feet (20') with greater widths to accommodate vehicles when turning or laddering buildings.
- b. Fire lanes on private property shall be approved by the Tri-State Fire Protection District. Parking of motor vehicles otherwise obstructing such fire lanes or access routes shall be prohibited at all times.
- c. Permanent all-weather signs identifying fire lanes and access routes shall be posted as per Section D103.5 of Appendix D of the 2018 International Fire Code.
- d. Public or private fire department access roads and ways shall be all weather, properly maintained and accessible at all times. All such fire lanes shall meet the engineering and construction specifications for public improvements as enumerated in the Village of Willowbrook Specifications Manual.
- e. Access roads shall be not less than fifteen feet (15') from the building and further if the height of the building requires greater set back to ladder the building.
- f. Access routes shall be continuous around the building.

- g. These requirements of this section may be modified where adequate building access openings and a complete fire sprinkler system are provided.

14. Section 506 KEY BOXES. Amend by adding the following new Section 506.3:

Section 506.3 Alarms. At the request of the owner or lessee, the Building Official or his/her designee shall permit them to install a key box tamper switch connected to the building's burglar alarm system only. Key boxes shall be installed in all commercial buildings, where access to or within a building or an area is unduly difficult because of secured openings, buildings with fire detection or suppression equipment are monitored by a 24 hour monitoring company or Addison Consolidated Dispatch Center, and where immediate access is necessary for life saving or firefighting purposes, a fire department key box shall be located and installed on the building as directed by the Fire Official. The key box shall be a type approved by the Fire Official.

15. Section 507.5.1 Where required. Delete this section in its entirety and in lieu thereof substitute the following new Section 507.5.1:

Section 507.5.1 Where required. Fire hydrants shall be installed in accordance with the following:

- a. Fire hydrants shall be located along public streets, fire lanes, or access routes so that no portion of the building perimeter will be over two hundred fifty feet (250') from a public fire hydrant. Where this is not possible, hydrants shall be placed along the access route at such locations as approved by the Fire Protection District and the Building Official or his/her designee.
- b. In apartments, town houses, condominiums, town/row or cluster housing areas where streets or parking lots dead end, hydrants shall be placed along the access route at such locations as approved by the Fire Protection District and the Building Official or his/her designee.
- c. At least two (2) fire hydrants shall be located within two hundred fifty feet (250') of the building.
- d. Hydrants should be so located that:
 - i. Hydrants will be located approximately ten feet (10') from all-weather roadways. If this cannot be done, the closest part of the hydrant shall be set back a minimum of two feet (2') from the back of curb.
 - ii. Hydrants shall not be located closer than twenty-five feet (25') to a building nor more than fifty feet (50') from a fire department connection.
- e. Fire hydrants used in conjunction with water supplies shall meet the standards of the American Water Works Association standard no. C-502, and shall have two (2) two and one-half inch (2½") outlets and one (1) four and one-half inch (4½") outlet with auxiliary gate valves on the hydrant branch line. Threads shall be American national standard. Pumper outlets shall face roadways.
- f. Fire hydrants shall be protected from accidental damage by approved methods when located in areas subject to vehicular damage.

16. 507.5.1.1 Hydrant for standpipe systems. Delete this section in its entirety and in lieu thereof substitute the following new Section 507.5.1.1.

507.5.1.1 Hydrant for standpipe systems. Buildings equipped with a standpipe system installed in accordance with Section 905 shall have a fire hydrant within fifty feet (50') feet of the fire department connections.

17. Section 901.7 Systems out of service. Amend by adding the following new sentence to the end of the paragraph:

... In all cases automatic fire suppression and alarm systems shall not be out of service for more than eight (8) hours without express consent of the Fire Code Official.

18. Section 903.2.1 Group A. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.1:

Section 903.2.1 Group A. An automatic sprinkler system shall be provided throughout all buildings containing a Group A occupancy of 2,000 square feet or greater.

Exceptions:

4. Areas used exclusively as participant sport areas where the main floor areas located at the same level as the level of exit discharge of the main entrance and exit.

5. Only concession stands, retail areas, press boxes and other accessory use areas in Group A-5 with an area greater than 1,000 square feet shall be required to be provided with an automatic sprinkler system.

6. Where the Group A fire area is located on a floor other than a level of exit discharge serving such occupancies.

19. Section 903.2.1.1 Group A-1. Delete in its entirety.
20. Section 903.2.1.2 Group A-2. Delete in its entirety.
21. Section 903.2.1.3 Group A-3. Delete in its entirety.
22. Section 903.2.1.4 Group A-4. Delete in its entirety.
23. Section 903.2.1.5 Group A-5. Delete in its entirety.
24. Section 903.2.2 Group B. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.2:

Section 903.2.2 Group B. An automatic sprinkler system shall be provided throughout all buildings containing a Group B occupancy of 2,000 square feet or greater.

25. Section 903.2.3 Group E. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.3:

Section 903.2.3 Group E. An automatic sprinkler system shall be provided throughout all buildings containing a Group E occupancy.

26. Section 903.2.4 Group F-1. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.4:

Section 903.2.4 Group F. An automatic sprinkler system shall be provided throughout all buildings containing a Group F occupancy of 2,000 square feet or greater.

27. Section 903.2.4.1 Woodworking operations. Delete in its entirety.
28. Section 903.2.5.1 General. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.5.1:
- Section 903.2.5.1 General. An automatic sprinkler system shall be provided throughout all buildings containing a Group H occupancy.
29. Section 903.2.7 Group M. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.7:
- Section 903.2.7 Group M. An automatic sprinkler system shall be provided throughout buildings containing a Group M occupancy of 2,000 square feet or greater or where a Group M occupancy is used for the display and sale of upholstered furniture.
30. Section 903.2.9 Group S-1. Delete in its entirety and in lieu thereof substitute with the following new Section 903.2.9:
- Section 903.2.9 Group S-1. An automatic sprinkler system shall be provided throughout all buildings containing a Group S-1 occupancy of 2,000 square feet or greater or in buildings with repair garages servicing vehicles parked in basements. 2-1/2" fire hose valves shall be required in all storage occupancies with maximum travel distance of 150' to reach all areas of storage and located at man doors plus as needed in other locations in the building to achieve the coverage noted above. Calculate based on 150 psi at FDC to yield 100 psi at most remote hose valve with 250 gpm flowing - accumulate flow at 250 gpm for each additional hose valve to a maximum of 1,000 gpm if fully sprinklered building - 1,250 gpm if not. Control valves shall be required on branch lines feeding hose valves when the branch line exceeds forty feet (40'). Hose valve systems in these one-story type storage occupancies shall be on a separate riser with control valve and flow switch.
31. Section 903.2.9.1 Repair garages. Delete in its entirety.
32. Section 903.2.9.2 Bulk storage of tires. Delete in its entirety.
33. Section 903.2.10.1 Commercial parking garages. Delete in its entirety.
34. Section 903.3.6 Hose threads. Amend by adding the following new sentence to the end of the paragraph:
- ... flexible sprinkler drops shall not be allowed. All piping shall be hard piped.
35. Section 903.4 Sprinkler system supervision and alarms. Amend by adding the following new sentence to the end of the paragraph:
- ... all valves controlling the water supply for automatic sprinkler systems and water flow switches on all sprinkler systems shall be electrically supervised. No chains & locks will be allowed.
36. Section 905.3 Required installations. Amend by adding the following new sentence to the end of the paragraph:
- ... Standpipes shall be required in all buildings over two (2) stories. Locate firehose valves at intermediate landings, plus at first floor landing. And when stairwells provide roof access, then a hose valve is required at the floor landing of the highest floor. If roof access is not available from a stairway then extend at least one (1) hose valve through to the roof level unless roof slope exceeds 3 in 12. All standpipes shall be equipped with 2-1/2" hose valves with a 2-1/2" x 1-1/2" reducer and cap.
37. Section 905.3.1 Height. Amend by adding the following new sentence to the end of the paragraph:

Class I standpipe systems shall also be installed throughout buildings where the floor level of the highest story is 2 stories with 25-foot corridors in length and all buildings which are 4 stories in height, including penthouses. All standpipes shall be equipped with 2-1/2" hose valves with a 2-1/2" x 1-1/2" reducer and cap.

38. Section 907.2 Where required - new buildings and structures. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.2:

Section 907.2 Where required - new buildings and structures. Where required all fire alarm systems shall be installed in accordance with the following:

a) An approved manual, automatic, or manual and automatic fire alarm system shall be provided in new buildings and structures in accordance with Sections 907.2.1 through 907.2.23. In all cases an approved automatic fire alarm system shall be provided in buildings of Use Groups A, B, E, I, R-1, R-2, R-3 (where over and under or side-by-side construction is employed), and all buildings of mixed use, regardless of size, and all other principal buildings and individual uses over one (1) story in height or over two thousand (2,000) square feet in area, except Use Group R-4. Where automatic sprinkler protection installed in accordance with Section 903.3.1.1 or 903.3.1.2 is provided and connected to the building fire alarm system, automatic heat detection required by this section shall not be required.

b) An approved automatic fire detection system shall be installed in accordance with the provisions of this code and NFPA 72. Devices, combinations of devices, appliances and equipment shall comply with Section 907.1.2. The automatic fire detectors shall be smoke detectors, except that an approved alternative type of detector shall be installed in spaces such as boiler rooms where, during normal operation, products of combustion are present in sufficient quantity to actuate a smoke detector.

c) Where automatic sprinklers provide protection to an area, approved flow and tamper switches interconnected to the fire alarm system shall be provided.

39. Section 907.2.8.2 Automatic smoke detection system. Amend by adding the following new Sections 907.2.8.2.1 and 907.2.8.2.2:

Section 907.2.8.2.1. Heat detectors. Heat detectors shall be provided on every floor and in all generally unattended areas such as storage rooms, garages, elevator shafts, laundry rooms, furnace rooms, basements, attic spaces, crawl spaces and similar areas. At least one (1) shall be provided in each living unit near the bedrooms. "Rate of Rise" type heat detectors are not permitted in this application.

Section 907.2.8.2.2. Detectors within Means of Egress components. Smoke detectors shall be provided in all stairways, exit access hallways and exit passageways.

40. Section 907.2: Add the following subsection:

Section 907.2.24: Fire alarm and detection systems for townhouses shall be installed in multiple single-family dwellings (townhouses), if the building or structure contains two (2) or more units. All fire alarm and detection systems shall be listed and installed in accordance with the provisions of NFPA 72, the IBC 2018, the IFC 2018.

41. Section 907.6.1 Wiring. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.6.1:

907.6.1 Wiring. Wiring shall comply with the requirements of NFPA 70 and NFPA 72. Wireless protection systems utilizing radio-frequency transmitting devices shall

comply with the special requirements for supervision of low-power wireless systems in NFPA 72.907.6.2 power supply. The primary and secondary power supply for the fire alarm system shall be provided in accordance with NFPA 72. Add: Battery backup shall be a minimum of 72 hours.

All fire alarm wiring shall be installed in conduit on all construction except in accessible ceiling areas and in open areas more than eight foot (8') above the adjacent finished floor where the threat of physical damage does not exist. The installation methods shall allow for easy removal and replacement of each device.

42. Section 907.6.4 Zones. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.6.4:

Section 907.6.4 Zones. Except as otherwise approved by the fire official and/or the Building Official or his/her designee, each floor shall be zoned separately and a zone shall not exceed 10,000 square feet. The length of any zone shall not exceed 100 feet in any direction.

Each type of system (sprinkler, halon, alarm, etc.) shall be separately zoned. Individual dwelling units and tenant spaces (not including tenant spaces in an office building) shall have an indicator light located in an annunciator panel. The indicator light shall operate upon activation of a detector within the tenant space.

43. Section 907.6.4.1 Zoning indicator panel. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.6.4.1:

Section 907.6.4.1 Zoning indicator/fire alarm control panel. A zoning indicator/fire alarm control panel and the associated controls shall be provided in an approved location. All zoning indicator/fire alarm control panels shall be located within climate-controlled enclosures. It shall be prohibited to install a zoning indicator/fire alarm control panel directly upon the outside exterior walls of a structure. The visual zone indication shall lock in until the system is reset and shall not be canceled by the operation of an audible-alarm silencing switch.

44. Section 907.6.6 Monitoring. Delete this section in its entirety and in lieu thereof substitute the following new Section 907.6.6:

Section 907.6.6 Monitoring. All fire protection systems shall transmit all alarm signals to the dispatch center serving Tri-State Fire Protection District, which may be routed through any central receiving station. All required fire alarm systems shall transmit alarm, trouble, and where specially permitted, supervisory signals (specifically where only allowed by the fire official) to a 24-hour monitoring company or Addison Consolidated Dispatch Center. Installation shall be in accordance with NFPA 72.

Exception: Supervisory service is not required for:

1. Single- and multiple-station smoke alarms required by Section 907.2.10.
 2. Smoke detectors in Group I-3 occupancies.
 3. Automatic sprinkler systems in one- and two-family dwellings.
45. Section 907.6.6.1 Automatic telephone-dialing devices. Delete in its entirety and in lieu thereof substitute with the following new Section 907.6.6.1:
- Existing automatic telephone dialing devices, used to transmit a fire protection system signal, shall be converted to a wireless signal device, or most current monitoring method required by the Village of Willowbrook, when repair of the system requires new signal equipment or disconnected systems are placed back into service, unless otherwise approved by the Fire Code Official.

46. Section 912.1 Installation. Amend by adding the following new sentences to the end of the paragraph:

... "In all cases a Fire Department Connection with a five inch (5") Storz inlet shall be provided. Where the existing fire department connection is not a 5" Storz type connection, it must be replaced with a 5" inch Storz connection. Any new installation of the Storz connection shall be between 36" and 48" above finished grade. Any installation where the connection is between 36" and 48" or more above grade, a 30 degree elbow shall be required. Where the existing connection is less than 36" above grade, a 30 degree elbow shall not be allowed. Tri-State Fire Protection District reserves the right to grant variances on any fire department connection."

47. Section 912.2.1 Visible location. Amend by adding the following new sentence to the end of the paragraph:

... "Access routes shall be so arranged that fire department apparatus may respond from all points of the building to adjacent fire hydrants along routes not to exceed two hundred fifty feet (250') from the most remote point of the building perimeter to the closest fire hydrant. If the building configuration cannot be obtained the Fire Code Official may make concessions."

(Ord. 19-O-10, 6-24-2019; amd. Ord. 19-O-14, 8-12-2019)

(C) Enforcement And Delegation Of Duties:

1. This Fire Code shall be enforced by the building official or his/her designee of the Village of Willowbrook.
2. The building official or his/her designee may delegate the review of all plans submitted in compliance with the terms of this chapter, as well as the inspection of any required construction or improvement, to fire inspectors employed or appointed by any appropriate Fire Department or Fire Protection District. He may further request that such fire inspector give written approval of any plan required under the terms of this chapter.

(D) Prohibited Or Restricted Storage Or Manufacturing:

1. Notwithstanding any provisions of the International Fire Code or any other code, rule or regulation incorporated herein to the contrary, the storage of explosives and blasting agents and the manufacture and/or storage of fireworks is expressly prohibited.
2. The storage of flammable or combustible liquids in outside, aboveground tanks is also expressly prohibited except that storage of flammable or combustible liquids shall be permitted in outside, aboveground tanks provided such tank has a maximum capacity of two thousand one hundred (2,100) gallons and complies with all of the requirements set forth in chapter 57 of the Fire Code.
3. The bulk storage of liquefied petroleum gas shall be permitted subject to the restrictions contained in chapter 61 of the International Fire Code and shall further not be located near populated areas or congested commercial areas. The bulk storage of liquefied petroleum gas provided for herein shall be permitted only upon written approval of the building official or his/her designee of the Village of Willowbrook.

(E) Regulations Governing Construction Of High Rise Buildings: Notwithstanding any provisions of this Fire Code to the contrary, no construction, modification, alteration or improvement of any building or structure, whether multi-family, office, industrial or commercial, in excess of the lesser of three (3) stories or thirty feet (30') in height, measured from surrounding grade, shall be commenced until the plans and specifications for such construction, modification, alteration or improvement have been approved by the building official or his/her designee as being in compliance with the following requirements:

1. Water: All plans submitted hereunder shall provide for and depict the location, placement and type of fire hydrants, Fire Department connections to the standpipe system and sprinkler system. Each such hydrant shall have one (1) 4½-inch and two (2) 2½-inch Fire Department connections with National Standard threads (NST).
 - (a) Each such building or structure shall have standpipes of a minimum diameter of four inch (4") and maximum of six inch (6") conforming to National Fire Protection Association 14 Standpipe Class 1, with the size and location of said standpipes to be as approved by the building official. Each such standpipe shall have a two and one-half inch (2½") NST Fire Department connections equipped with shutoff valves, removable two and one-half inch (2½") to one and one-half inch (1½") NST caps, at each floor in the stairwell. There shall be a minimum of one such standpipe for each stairwell.
 - (b) Each such building shall be equipped with fire pumps conforming to National Fire Protection Association 20. Said pumps shall be located at the lowest building level or as otherwise designated by the building official or his/her designee.
2. Electrical Systems And Alarm Systems: All plans submitted hereunder shall provide for and depict the location of non-energized conduit wiring and outlets acceptable to the building official or his/her designee for Fire Department or appropriate Fire Protection District use, said wiring and outlets to be located on each and every floor of each such building or structure.
 - (a) There shall be located on each floor of every such building and structure a conduit and outlet for portable telephones for use by the Fire Department or appropriate Fire Protection District. Each building or structure shall contain a fire alarm system covering all public areas therein, which there shall be located on each floor of every such building and structure a conduit and outlet for portable telephones for use by the Fire Department or appropriate Fire Protection District. Each building or structure shall contain a fire alarm system covering all public areas therein, which system shall minimally comply with the requirements of NFPA 72. Said system shall provide for direct supervised connections to the Fire Department or appropriate Fire Protection District and at least one floor lobby in each such building or structure. Notifier alarm equipment shall be installed with the Fire Department or appropriate Fire Protection District where feasible. Each building or structure shall be provided with emergency lighting as specified in the International Building Code. Each elevator in every such building or structure shall be equipped with a key operated override control and the control panel for said elevator located on the ground floor of each building that shall contain recall controls, all acceptable to the Fire Department or appropriate Fire Protection District. The override control in each elevator shall override all elevator call devices. No elevator call device shall be sensitive to heat, water, light or smoke.
- (F) Modifications: The building official or his/her designee of the Village of Willowbrook shall have the power to grant relief from or approve substitutions to any of the provisions of this Fire Code, or any rule or regulation incorporated therein, upon written application of any affected owner, or his duly authorized agent, when there are practical difficulties in the way of carrying out the strict letter of the code; provided that the intent of the code shall be observed, public safety secured and substantial justice done. The particulars of such modifications, when granted or allowed, and the decision of the building official or his/her designee thereon shall be entered upon the records of the department and a signed copy furnished to the applicants. If and when questions arise pertaining to the intent of any fire

prevention and/or life safety requirement, the current NFPA standards shall be referred to as accepted engineering practices.

(G) Application Of Provisions: Except as provided elsewhere in this code, any existing building and/or structure shall be brought into compliance with all applicable provisions of this code in the following situations:

1. If the structure or building is increased in floor area or in height, the entire structure or building shall be made to conform with the requirements of this code.
2. If any portion is changed in occupancy, that portion separated by approved fire rated construction shall be made to conform with the requirements of this code.
3. If any portion is altered or remodeled in a dollar amount in excess of thirty five percent (35%) of the fair market value of the building or structure before the alteration or remodeling, the entire building structure shall be made to conform to the requirements of this code.
4. If a building or structure is damaged by fire or other cause in excess of thirty five percent (35%) of the fair market value before the damage occurred, the entire structure or building (exclusive of foundation) shall meet the requirements of this code. (Ord. 19-O-10, 6-24-2019)

SECTION THREE. That all other provisions of Section 4-2-21 and Section 4-2-28, including subsections therein not amended by this ordinance, shall remain in full force and effect.

SECTION FOUR. All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

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SECTION FIVE. That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publications, in pamphlet form, in the manner provided by law.

PASSED and APPROVED this 9th day of March 2020.

ROLL CALL VOTE:

AYES: Berglund, Dav., Kelly, Mistele Neal and Oggerino

NAYS: -0-

ABSTENTIONS: -0-

ABSENT: -0-

APPROVED:

Frank A. Trilla
Frank A. Trilla, Mayor

ATTEST:

Leroy R. Hansen by C. Mardgen
Leroy R. Hansen,
Village Clerk
Deputy Village
Clerk.



VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

A Resolution Approving and Accepting a Proposal and Authorizing the Village Administrator to Execute an Agreement with HBK Water Meter Service, Inc. to Provide Water Meter Testing Services to the Village of Willowbrook at a Cost Not-To-Exceed \$11,250.00

AGENDA NO. 8.

AGENDA DATE: 03/09/2020

STAFF REVIEW: Joe Coons, Superintendent of Public Works

SIGNATURE: J. Coons /mm

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: T. Bastian /mm

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: B. Pabst /mm

REVIEWED & APPROVED BY COMMISSION: YES ☒ NO ☐ N/A ☐

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

As a water meter gets older, the inner workings of a water meter begin to break down and the percentage of captured water usage begins to become less accurate. The Village has a testing program to make sure that the Village water system is running correctly and we are not losing water through defective meters. Historically, the Village tests our three (3) and four (4) inch meters every three years and the last time the testing was done was 2016. These larger meters are mostly used in businesses. There are approximately 64 - three (3) and four (4) inch meters that would need to be tested. It is important to make sure these commercial meters are running correctly since the businesses historically use more water than a domestic household meter.

The Village has been using the company HBK Water Meter Service Inc. to do our water meter testing. They have been the Village meter testing company for several years. We also obtained quotes from two other companies, Midwest Meters and M.E. Simpson. HBK came in with the lowest price. Also, HBK will come into the Village and test the meters in place so as not to cause disruption of service to the business. If a meter does not test up to standards, HBK will change out the meter that the Village will provide. There would be an additional charge to change out defective meters, \$125 for three (3) inch meters and \$175 for four (4) inch meters. The Village has purchased several replacement meters in the past few years in anticipation of needing to replace defective meters.

The Village has budgeted \$11,250 for the FY 2019/20 to have our 3-inch and 4-inch water meters tested for accuracy.

HBK Water Meter Services	\$11,250
Midwest Meter	\$17,920
M.E. Simpson	\$18,880

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

HBK Water Meter Services is the company we use to test our larger meters and also to test our smaller domestic meters if a resident has a complaint. We do not have a contract with HBK, we call them out on an as needed basis if an emergency issue arises. Staff recommends moving forward with the proposal from HBK for the 2020-meter testing program.

ACTION PROPOSED: Adopt the Resolution

RESOLUTION NO. 20 R- 14

**A RESOLUTION APPROVING AND ACCEPTING A PROPOSAL AND
AUTHORIZING THE VILLAGE ADMINISTRATOR TO EXECUTE AN
AGREEMENT WITH HBK WATER METER SERVICE, INC. TO
PROVIDE WATER METER TESTING SERVICES TO THE VILLAGE
OF WILLOWBROOK AT A COST NOT TO EXCEED \$11,250.00**

WHEREAS, the Village has requested proposals for professional water meter testing services; and

WHEREAS, of the proposals received by the Village, HBK Water Meter Service, Inc. submitted the lowest proposal at an annual cost not to exceed \$11,250.00.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook DuPage County, Illinois, that the proposal of HBK Water Meter Service, Inc. to provide professional water meter testing services to the Village in an amount not to exceed \$11,250.00, as set forth in the proposal attached hereto as Exhibit "A", which is, by this reference, expressly incorporated herein, is hereby accepted.

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EXHIBIT “A”



HBK Water Meter Service, Inc.

PO Box 759

Palatine, IL 60078-0759

Phone #

847-202-4389

Quote

Date	Quote #
2/12/2019	689

Name / Address

Village of Willowbrook
Accounts Payable
835 Midway
Willowbrook, IL 60527

Rep

Project

Item	Description	Qty	U/M	Cost	Total
#1 ML23FTOM	3" Field Test One Man during normal working hours.	49	ea	165.00	8,085.00
#2 ML24FTOM	4" Field test one man during normal working hours	15	ea	211.00	3,165.00
ML23FTOMOT	3" Field test one man overtime rate	1	ea	222.00	222.00
ML24FTOMOT	4" Field test one man overtime rate	1	ea	274.00	274.00
<p>#1 & 2 \$11,250.00</p> <p>Overtime is only applied on AN AS Needed basis</p>					
Total					\$11,746.00

Web Site

www.hbk-meters.com

BE IT FURTHER RESOLVED that the Village Administrator is hereby directed to execute, on behalf of the Village, an agreement with HBK Water Meter Service, Inc.

ADOPTED and APPROVED this 9th day of March, 2020.

ROLL CALL VOTE:

AYES: Berglund, Davi, Kelly, Mistele Neal + Oggerino

NAYS: Ø

ABSTENTIONS: Ø

ABSENT: Ø

APPROVED:

Frank A. Trilla
Frank A. Trilla, Mayor

ATTEST:

Leroy R. Hansen by Christine Mendez
Leroy R. Hansen, Village Clerk
Deputy Village Clerk

