

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK
TO BE HELD ON WEDNESDAY, March 4, 2020 AT 7:00 P.M. AT THE
WILLOWBROOK POLICE DEPARTMENT, TRAINING ROOM, 7760 QUINCY STREET,
WILLOWBROOK, ILLINOIS.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - February 5, 2020
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 20-03:
Consideration of a petition requesting approval of an
Amendment to a Special Use for a Planned Unit Development
and Amendment to a Planned Unit Development to allow for
major changes under Section 9-13-4(C)6(a) including certain
relief, exceptions and waivers from Title 9 of the Village
Code, and approval of a Final Plat of PUD for the Compass
Arena and Event Center, on property located at 625 Joliet
Road.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT

MINUTES OF THE SPECIAL MEETING OF THE PLAN COMMISSION HELD ON
WEDNESDAY, FEBRUARY 5, 2020 AT THE WILLOWBROOK POLICE DEPARTMENT,
TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS

1. CALL TO ORDER

Chairman Kopp called the meeting to order at the hour of 7:00p.m.

2. ROLL CALL

Those present at roll call were Commissioners Remkus, Ruffalo, Kaucky Walec,
Vice Chairman Wagner, and Chairman Kopp.
Also present were Planning Consultant Anne Choi and Recording Secretary Lisa Shemroske.
Absent: Commissioner Soukup and Building Official Giuntoli

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Regular Meeting, November 6, 2019

MOTION: Made by Commissioner Ruffalo, seconded by Commissioner Walec, to
approve the Omnibus Vote Agenda as presented.

MOTION DECLARED CARRIED

4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 20-01: Consideration
of a petition requesting approval of an amendment to a special use permit within the B-2
Community Shopping District zoning classification, including certain variations from
Title 9 of the Village Code, to modernize and enlarge the existing car wash with
associated sited improvements, located at the northwest corner of the intersection of
Illinois Route 83 and Plainfield Road.

- A. PUBLIC HEARING
Motion to close public hearing at 7:37p.m. by Commissioner Remkus and Second
by Commissioner Walec, all in favor

- B. DISCUSSION/RECOMMENDATION

See Court Reporter Minutes for Discussion and Recommendation

MOTION: The following motion made by Commissioner Remkus was seconded by Commissioner Walec and all in favor

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact to Mayor and Village Board for special uses and variations as shown in Attachment 1 and 2 of the Staff Report prepared for the February 5, 2020 Plan Commission for PC 20-01, and recommend approval of an amendment to the existing special use and requested variations, as listed in the Staff Report prepared for the PC 20-01 for the February 5, 2020 Plan Commission meeting, subject to the following “Recommended Conditions of the Approval” Listed in the Staff Report Prepared for PC 20-01 for the February 5, 2020 Plan Commission Meeting:

Roll Call Vote: AYES: Commissioners Remkus, Ruffalo, Kaucky, Walec, Vice Chairman Wanger, and Chairman Kopp NAYS: None

MOTION DECLARED CARRIED

5. PLAN COMMISSION CONSIDERATION: Conceptual review and feedback on Planned Unit Development approval for a proposed 14,330 SF Hotel, 6,800 SF Financial Institution and 2,400 SF Restaurant with Drive-through. Location 735 Plainfield Road in Willowbrook, IL 60527

A. DISCUSSION/RECOMMENDATION

Planning Consultant Choi present proposed development for 735 Plainfield Road, previously the Willowbrook Bowl, adding a Hotel, Starbucks and Financial Ins. The Applicate GW Properties, LLC proposed to demolish the existing building on site and requests feedback on the proposed Planned Unit Development with Hotel, restaurant with drive- thru and a bank. They intended to sell the western portion of the property to Prominence Hospitality Group; who will be developing the property and managing the hotel.

A traffic impact and parking analysis will be required. The Village Traffic Engineer suggest a scope of work for the traffic study for the redevelopment.

The applicant addresses the concerns of the Commissioners about the flow of traffic thru the parking lot around the bank to get into the Starbucks.

The Vice Chair Wagner thinks the Development idea is great, but the traffic flow is going to be a challenge from Adams to 83 on Plainfield. He hopes it go thru but the traffic and turning movements on Plainfield road, not just from Adams to Pete’ s market but all of Plainfield Road has to be solved.

Applicate understands the importance of traffic flow. They have been told multiple times about it. They have a meeting set up to discuss issues of Plainfield Road.

Plan Commissions suggestion is do traffic study and check it out 5pm, 6pm and weekends, to see the amount of traffic that is going thru on Plainfield Road. Commissioners gave them a few options to look into for the accessing the property.

6. VISITOR'S BUSINESS

None.

7. COMMUNICATIONS

Planner Choi brings up the meetings planned for next few months. The Commissioners are informed what is happening in the Old Tomato Bar and other units in Lake Hinsdale Commons. Chad's Cheesecake, Stretch Lab and Eva's Place have permit applications for build-outs in Willowbrook Square on 63rd Street.

8. ADJOURNMENT

MOTION: Made by Commissioner Ruffalo, seconded by Commissioner Wagner, to adjourn the meeting of the Plan Commission at the hour of 8:27 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

March 4, 2020_____

Chairman

Minutes transcribed by Building and Zoning Secretary Lisa J Shemroske

2/5/2020

**CITY OF WILLOWBROOK PROCEEDINGS BEFORE THE
PLANNING & ZONING COMMISSION OF THE CITY OF
WILLOWBROOK**

ROBIN HEJNAR

CITY OF WILLOWBROOK
PROCEEDINGS BEFORE THE
PLANNING & ZONING COMMISSION
OF THE CITY OF WILLOWBROOK

WEDNESDAY, FEBRUARY 05, 2020

7:00 p.m.

RECORD OF THE PROCEEDINGS had at the meeting held
Before the Planning & Zoning Commission of Woodridge, on
Wednesday, the 5th day of February 2020, commencing at
7:00 p.m., as reported by Robin Hejnar, a Certified
Shorthand Reporter and Registered Professional Reporter
and Notary Public in and for the County of DuPage and
State of Illinois.

1 APPEARANCES:

2
3 Daniel Kopp - Chairman

4 John Wagner - Vice-Chairman

5 Lisa Shemroske - Secretary

6 Gregory Ruffolo - Member

7 Leonard Kaucky - Member

8 Maciej Walec - Member

9 William Remkus - Member

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16 Staff Also Present:

17 Ann Choi - Planning Consultant
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1 CHAIRMAN KOPP: Good evening. I call to
2 ordered the regular meeting of the Planned Commission of
3 the Village of Willowbrook. I ask Commission Secretary
4 to call the roll.

5 MS. SHEMROSKE: Commissioner Remkus?

6 MR. REMKUS: Here.

7 MS. SHEMROSKE: Commissioner Soukup, absent.
8 Commissioner Ruffolo?

9 MR. RUFFOLO: Here.

10 MS. SHEMROSKE: Commissioner Kaucky?

11 MR. KAUCKY: Here.

12 MS. SHEMROSKE: Commissioner Walec?

13 MR. WALEC: Here.

14 MS. SHEMROSKE: Vice Chairman Wagner?

15 MR. WAGNER: Here.

16 MS. SHEMROSKE: Chairman Kopp?

17 CHAIRMAN KOPP: Here.

18 MS. SHEMROSKE: Planner Ann Choi?

19 MS. CHOI: Here.

20 MS. SHEMROSKE: Building Official Roy
21 Giuntoli, absent; and I'm Lisa Shemroske.

22 CHAIRMAN KOPP: Next item on the agenda is
23 the omnibus vote agenda. Would any of commissioners
24 like an item removed from the omnibus vote agenda?

1 If not, will someone make a motion to
2 approve the omnibus vote agenda?

3 MR. RUFFOLO: So moved.

4 CHAIRMAN KOPP: All in favor say, Aye.

5 ALL MEMBERS: Aye.

6 CHAIRMAN KOPP: Next item on the agenda is
7 public hearing for Zoning Hearing Case No. 20-01. The
8 purpose of this public hearing should be to consider
9 petitioner requesting approval of an amendment for a
10 special use permit within the B2 Community Shopping
11 District zoning classification, including certain
12 variations from Title 9 of the Village Code.

13 The applicant seeks to modernize and enlarge
14 the existing car wash with associated site improvements
15 at the property located at 7000 South Kingery,
16 Willowbrook, Illinois.

17 The applicant for this petition is David
18 Schaefer for the property owner Maqpoon Management, Inc.

19 Notice of this public hearing is published
20 in the January 16, 2020, edition of the Chicago Tribune
21 Newspaper.

22 Are you ready to give your presentation?

23 MS. CHOI: Yes. Thank you, Chairman. Sorry
24 about that little buzz.

1 The petitioner David Schaefer, on behalf of
2 the property owner, Maqpoon Management Incorporated is
3 requesting an amendment to the existing special use
4 permit, including certain relief exceptions and waivers
5 from Title 9 of the Village Code to allow the petitioner
6 to demolish the existing car wash and replace it with
7 construction of a one-story, 1,351 square foot automated
8 car wash tunnel, including six new vacuum stations, a
9 new attendant kiosk, and a refuse storage area.

10 The property consists of a total of
11 1.147 acres, and is located at the northwest corner of
12 Illinois Route 83 and Plainfield Road. The property is
13 zoned B2 Community Shopping, and is surrounded by the
14 Willowbrook Plaza Shopping Center, including a martial
15 arts school, a cabinetry store, a Domino's Pizza
16 Restaurant, and mattress store, and associated parking
17 lot in the B3 Zoning District to the north; the Willows
18 including Pete's Fresh Market, and associated parking
19 lot in the B2 Zoning District to the northeast; the
20 Willowbrook Town Center in the B2 Zoning District to the
21 southeast, lot's zoned for neighboring convenience
22 shopping uses to the south within the City of Darien,
23 and lots zoned in the R2 Zoning District to the west
24 also within the City of Darien. The lot immediately to

1 the west of the subject property is zoned R2, but there
2 is no residential structure on this lot, and has been
3 used as a regional storm water basin for years.

4 The existing car wash has been operating
5 since the mid 1980s, and the property owner recently
6 acquired the property in 2019 and wishes to modernize
7 the existing car wash, which is over 30 years old.

8 The current use of the property includes six
9 pump islands, a 60 foot by 80 foot pump island canopy, a
10 four-foot by six-foot attendant kiosk located at the
11 entrance of the car wash, a 26-foot by 53-foot tunnel
12 car wash, and a 10 x 10 refuse storage inclosure.

13 After application of all special and
14 standard setback requirements, the buildable area
15 remaining on this 50,000 square foot lot is only about
16 4,200 square feet in an area, roughly, 35 feet wide by
17 120 feet long.

18 So the proposed improvements to the site
19 include an automated car wash tunnel that will
20 accommodate a maximum capacity of six cars, a new car
21 wash attendant station, six new vacuum stations,
22 additional required parking, and considerable additional
23 landscape plantings.

24 So as you can see -- I don't know if you can

1 see it very well, but you have the staff report in front
2 of you, on the site plan, just going through the car
3 wash circulation.

4 It's a single lane automatic car wash
5 tunnel. It will have a clockwise rotation around the
6 site, and the entrance to the car wash drive-thru system
7 is located at the southwest end of the site.

8 Okay, it whites out on the screen. One
9 second.

10 So this is Plainfield Road, Route 83.
11 There's a median and landscape median here. There is a
12 right in, and then another in here. So there is,
13 approximately, five cars -- five to six cars queuing
14 before you hit the attendant kiosk, which is over here.
15 So, actually, there's about maybe five cars here before
16 you actually hit the car wash.

17 The entrance to the car wash is here.
18 There's an existing car wash here, which is going to be
19 renovated, and then this end here and this end here
20 would be the new addition. This portion here is an
21 existing food mart.

22 There is a dotted line here, which is a
23 canopy for the gas station. There's six islands.
24 There's going to be an addition of six vacuum stations

1 here, and then everything here is pretty much
2 landscaped. I have the landscape plan also included.
3 So everything that you see in the yellow, basically, are
4 the variations that they're asking for, okay?

5 So along Route 83 and along Plainfield Road,
6 there is a special setback of a hundred feet from the
7 property line, which is pretty considerable. So each
8 vacuum station is asking for a variation from that
9 100-foot setback.

10 There's also the northwest corner here, and
11 the dumpster inclosure here, and then some relief will
12 be needed for the new attendant kiosk back here from the
13 rear yard setback. Also, lastly, a portion of the
14 southwest portion of the car wash is within the rear
15 yard setback line. I believe that's it.

16 So the site plan indicates -- there will be
17 a stacking, as you can see, but the code requires 60
18 cars to be stacked on the site. So the applicant is
19 asking for reduction in that, from 10 -- from 60 to 10,
20 which is what was current in a 1994 ordinance, which
21 allowed the existing car wash, allowed the stacking
22 requirement to reduce from 20 to 10.

23 Our traffic engineer reviewed it. She had
24 some concerns, so she did request additional

1 documentation; and as part of the request, I would want
2 her to review this information first before making
3 another recommendation, and I've also included that as
4 part of the condition of your approval.

5 The existing gas station currently provides
6 approximately 19 parking spaces for employees and
7 patrons, including five standard parking spaces along
8 the building's frontage, two next to the existing trash
9 inclosure, and 12 at the fueling positions.

10 So now with the expansion of the car wash,
11 the number of parking spaces will be reduced to two
12 standard, including one accessible parking space, and
13 then 12 parking spaces at the fueling stations. So the
14 applicant is also requesting a variation for reduced
15 parking from the required 18 to 14 spaces.

16 So this is actually not including the six
17 vacuum parking spots. So if you were to include that,
18 they would actually be providing 20, but since the
19 vacuum station positions would be probably used by the
20 car wash cars right after they're washed, I didn't want
21 to include that. So they're requesting reduction of
22 four parking spaces in total. But while those spots
23 aren't in use, people could potentially park there.

24 So the applicant also provided a traffic

1 study, also which was reviewed by our traffic
2 consultant. There were some concerns of access from the
3 Plainfield Road driveway. Due to the Plainfield Road
4 eastern access proximity to Kingery, the estimated
5 number of U-turns -- traffic entering the site from
6 Plainfield Road eastbound, the ability to serve
7 deliveries, fuel tanker trucks, as well as minimize
8 conflicts on the adjacent roadway, and the crossing of
9 driveways, it was recommended, both in their traffic
10 study, and confirmed by our traffic engineer, that they
11 would like to restrict this eastern access here.

12 So our traffic engineer actually proposed to
13 close this off. The traffic study provided by the
14 applicant just said simply to restrict the access. I'm
15 not sure if that meant putting up -- what do you call
16 those? Those barriers, but our traffic engineer
17 actually requested closing that off, which would require
18 permits from DuDOT and IDOT potentially.

19 So condition of zoning approval has been
20 added to ensure that all outstanding comments from the
21 traffic engineer be addressed prior to final zoning
22 approval by the Village Board.

23 The civil engineering drawings were reviewed
24 by our civil engineer from Christopher Burke, who has

1 comments regarding flood plains, storm water, and the
2 wetlands delineation, but it appears that his review
3 didn't reveal any major concerns to wetlands or buffer,
4 as long as his comments were addressed, and I attached
5 those in your staff reports as well. I also added a
6 condition to ensure that any outstanding comments from
7 the Village engineer would be addressed prior to final
8 zoning approval.

9 So because of its irregular configuration,
10 its location at the intersection of two major roads, and
11 the limited buildable area after the application of
12 multiple special setbacks, the Village on several
13 occasions previously determined that this site is
14 unique, and required relief from strict application of
15 the B2 District regulations.

16 So in 1978, 1980, 1984, 1994, the Village
17 considered various proposals for site improvements in
18 granting variations from setbacks and other regulations
19 which were necessary to allow construction on those
20 improvements.

21 So included in the relief requesting various
22 reductions to the specific setbacks along Route 83 and
23 Plainfield Road for the northeast portion of the car
24 wash, the six vacuum stations, the trash inclosure,

1 reduction to the B2 bulk regulations for the southwest
2 portion of the car wash addition, and a new attendant
3 kiosk, reductions in the parking stacking requirements,
4 and a variation to eliminate a minimum foundation
5 landscaping along the southern building facade -- so
6 there was also a requirement for some foundation
7 landscape planning here.

8 So, in summary, the proposed improvements
9 would result in a better facility, both for the property
10 owner and the Village of Willowbrook. If the variations
11 are not granted, the car wash and associated equipment
12 will have to remain as is since it has not meet current
13 regulations in numerous respects.

14 So if the Planned Commission is supportive
15 of this petition, a sample motion could be found on page
16 15 of the staff report.

17 That concludes my report. I'm here for
18 questions; and the applicant, the property owner, is
19 here as well for any questions.

20 CHAIRMAN KOPP: I want to ask the applicant
21 a question. I'm just astounded that the code calls for
22 60 spaces for stacking, and I see it's 10 per car that's
23 in --

24 MS. CHOI: Right.

1 CHAIRMAN KOPP: Do you have any idea where
2 that came from?

3 MS. CHOI: No. It's probably an outdated
4 code; and the number of text amendments, to update
5 portions of the code, that might be something that we
6 have to look at as well.

7 CHAIRMAN KOPP: Where's the dumpster
8 currently?

9 MS. CHOI: The dumpster currently is -- if
10 you look at the plat of survey in your report --

11 CHAIRMAN KOPP: Is it where it says,
12 "concrete wall?"

13 MS. CHOI: Yep. I think it's the one where
14 the bollards are.

15 CHAIRMAN KOPP: Any commissioners have any
16 questions for Ann before we go to the applicant?

17 MR. KAUCKY: I do. Could you explain one
18 more time about you closing off some east side access?
19 What was that about again please?

20 MS. CHOI: So this is the Plainfield Road
21 access, and I think -- I believe this area is under
22 construction right now, because of all the improvements
23 on that intersection, but she -- our traffic engineer
24 had some concern that there would be people making

1 U-turns coming into the site, and there would be too
2 many cross-traffic situations.

3 MR. ABBAS: I have to add when --

4 CHAIRMAN KOPP: I'm sorry, sir. Anyone that
5 speaks has to be sworn in.

6 (Whereupon, Mahbood Abbas is duly
7 sworn.)

8 MR. ABBAS: When the study and the proposal
9 was presented, there was no median there on Plainfield,
10 and now there is a median there. So that concern of
11 people making a U-turn is not there anymore. So people
12 would not be going eastbound on Plainfield, making a
13 U-turn, going into gas station anyways. So that was not
14 there when that study was done.

15 MR. KAUCKY: I was actually concerned more
16 about emergency vehicle access into this whole area.

17 Are you saying that, by blocking this off,
18 that the fire department or ambulances would no longer
19 be able to get in that way? There's only one way to get
20 in?

21 MS. CHOI: Well, there's another driveway up
22 here.

23 MR. KAUCKY: I'm sorry?

24 MS. CHOI: There's another driveway up here.

1 MR. KAUCKY: So there's two ways --

2 MS. CHOI: There would be two ways in.

3 MR. RUFFOLO: Ann, are you addressing
4 ingress and egress to that exit to the south there?

5 MS. CHOI: Well, it would be Plainfield Road
6 going in -- yes, it would be a right out, right in.

7 MR. RUFFOLO: Right out and right in?

8 MS. CHOI: Right in and right out, yes.

9 CHAIRMAN KOPP: I'm sorry. So you would be
10 able to turn in from Plainfield?

11 MS. CHOI: Yes.

12 MR. RUFFOLO: Westbound?

13 MR. WAGNER: Only westbound.

14 MR. RUFFOLO: There's a median. It would
15 only be westbound.

16 MS. CHOI: Right, and southbound on --

17 MR. RUFFOLO: And westbound exit as well?

18 MR. WAGNER: Correct.

19 CHAIRMAN KOPP: Sir, what was your name so
20 that she can put it in the record?

21 MR. ABBAS: Mahbood Abbas.

22 THE REPORTER: Can you spell that please?

23 MR. ABBAS: M-a-h-b-o-o-d; last name,
24 A-b-b-a-s.

1 MR. KAUCKY: Let me just understand
2 something. If someone was turning left, they're heading
3 north on Plainfield, they get in the left-hand turn lane
4 to go west on Plainfield, those people cannot get in
5 there if you block that off; am I correct? I'm still
6 not clear about that.

7 MR. RUFFOLO: No.

8 MR. ABBAS: Yes, that is correct.

9 MR. WAGNER: There's a concrete island there
10 now.

11 MR. KAUCKY: No, I'm talking about if
12 someone that is in the left turn lane -- they were
13 facing north. They get in the left turn lane to turn
14 left to go onto Plainfield Road, okay? To go west. Can
15 those people get into this property?

16 CHAIRMAN KOPP: Because that's the right in.

17 MR. KAUCKY: Even though they're talking
18 about closing off --

19 MS. CHOI: That was a suggestion from our
20 traffic engineer; and, so, that's not a definite. She
21 just raised that issue and wanted supporting
22 documentation.

23 So if your traffic engineer responds to all
24 the comments, and we determine that it's not necessary,

1 then we won't add that.

2 MR. KAUCKY: I'm only thinking about
3 emergency services. That's all I'm looking --

4 MS. CHOI: She was also very concerned about
5 emergency services.

6 MR. ABBAS: Yeah -- if I can talk. It's our
7 concern too that our gas trucks, they make a wide turn.
8 So if you close one off, then it is very difficult for
9 them to get out of there. So I kind of request that
10 that entrance not be closed.

11 MR. RUFFOLO: By closing that, if it were
12 closed, the right in off of Plainfield, all the truck
13 traffic would have to come in off of 83 southbound.

14 MR. ABBAS: Yes.

15 CHAIRMAN KOPP: I'm a big patron of this --
16 of your current establishment, and I do exactly -- I
17 come on 83. I turn left, and I turn into the gas
18 station.

19 I'll be honest, if I have to go up 83, and
20 then do the U-turn and come back, there's a lot of other
21 gas stations that aren't that hassle.

22 MS. CHOI: And there's one right across the
23 street.

24 CHAIRMAN KOPP: Obviously, we don't want to

1 go against what's safe for traffic, but that seems to me
2 -- it's a pretty radical step that I think would
3 dramatically impact their business.

4 MR. WALEC: I have one question. Where are
5 the tanks located at right now?

6 MS. CHOI: The tanks? Maybe you could
7 answer that question. I think the plat showed them -- I
8 want to say in this region.

9 MR. ABBAS: Yes.

10 MR. WALEC: Is that going to be a little bit
11 difficult with the car wash? Traffic?

12 MR. ABBAS: Traffic/cars go over those tanks
13 all the time. They are used for parking, and people
14 build them on parking areas in the traffic area, so that
15 has not been an issue since we have that. People go
16 over it.

17 CHAIRMAN KOPP: All right. If the
18 representative or representatives from the applicant
19 would like to speak, now's your chance.

20 (Whereupon, David Schaefer is duly
21 sworn.)

22 MR. SCHAEFER: I'm the architect on the
23 project, and I think Ann explained the project, and, so,
24 I'd be happy to answer any questions that you have that

1 haven't come up yet.

2 CHAIRMAN KOPP: One question I had. Is that
3 the best location for the dumpster? Or maybe that's the
4 only location you have left? It's right in a pretty
5 prominent spot.

6 MR. SCHAEFER: It is, and it would be
7 screened. We'd build a masonry wall to screen it. So,
8 unfortunately, that's the space that was left with all
9 the other requirements that we had to satisfy.

10 CHAIRMAN KOPP: I'm assuming this isn't
11 going to be a car wash where there are people that help
12 dry the car? I mean, you pull out. There's not going
13 to be people drying your car?

14 MR. SCHAEFER: No.

15 CHAIRMAN KOPP: You pull out, and you're
16 done?

17 MR. SCHAEFER: There's driers at the end of
18 the tunnel that will dry your car.

19 MR. WAGNER: I have a couple
20 concerns/questions. Currently, when you are centrally
21 westbound on Plainfield Road crossing Route 83, and you
22 encounter cars turning into this facility at the first
23 entrance, there's always a bit of a stack up across
24 Route 83; and I'm not sure if it's because there's an

1 elevation change there, but people tend to slow down
2 quite a bit to get into this facility in the first
3 entrance.

4 MS. CHOI: You're talking about here?

5 MR. WAGNER: Correct.

6 MS. CHOI: And there's stacking, queuing --

7 MR. WAGNER: If you're westbound on
8 Plainfield, crossing Route 83, and someone chooses to
9 turn in there, there's always a bit of a stack up out
10 onto Route 83, because -- and I'm not sure why it's such
11 a slow turn going in there, but it seems to be just the
12 way it works. I travel that direction a lot, and
13 there's always a bit of a problem with people turning
14 in, and then stacking out onto the road.

15 The other thing that concerns me is, you're
16 showing a stacking of cars that is now -- one of the
17 cars is in the public right-of-way. So there's really
18 only nine on the property.

19 The other thing is, after I just discussed
20 people turning in, your showing, potentially, people
21 sort of sitting in the entrance as people are trying to
22 go in to buy gasoline, and creating a bit of an access
23 problem due to the stacking.

24 The other concern I have is, I'm not sure

1 why there are, essentially, a right in and a right out
2 lane there onto Plainfield Road, and you're showing the
3 stacking crossing essentially the westerly exit from the
4 property.

5 It would seem to me that if there was only
6 one entrance off of Plainfield Road, maybe wider than it
7 is today, so that it could access something a little bit
8 further west on the property -- maybe not as far as the
9 existing westerly exit, but it would seem to me that
10 might work better.

11 The other concern I have is, most gas
12 stations that I go to, that have a convenient store,
13 normally have parking directly in front of the
14 convenience building. I'm kind of like, there appears
15 to be only one parking spot, other than the handicap
16 parking spot, where you could go in if you're not buying
17 gas and buy something.

18 MS. CHOI: Right here?

19 MR. WAGNER: Correct. So I'm a little
20 confused as to --

21 CHAIRMAN KOPP: People will park in front.
22 You know they'll park in front.

23 MR. WAGNER: Exactly. And, so, is that a
24 problem? It doesn't appear it's blocking a fuel lane,

1 but is there -- what do I want to say? -- a fire lane
2 there that isn't supposed to be obstructed?

3 And, then, the other question is, why are
4 there six vacuum stations? I just -- unless there's a
5 real high volume of cars being washed, I can't imagine
6 you're using six vacuum stations.

7 Those are my concerns.

8 MR. SCHAEFER: Do you want us to respond?

9 MR. WAGNER: Yeah, sure.

10 MR. SCHAEFER: If I can remember all the
11 points.

12 The first point, you talk about the access
13 off of Plainfield Road. It is an issue with the
14 stacking; and based on the traffic report, they're not
15 recommending that this be closed. They're only
16 recommending that it be more designated -- defined more
17 appropriately as a right in and a right out.

18 Right now it's a wider lane. It almost
19 looks like it's two-way traffic, but it's really not.
20 There's signs there that directs cars not to enter this
21 area exiting the property. Same thing with this more
22 westerly out -- it's a right out only.

23 So the traffic is recommending that we not
24 necessarily change any curbing, but add more signage and

1 striping to show cars this is a more right in/right out
2 only, not two-way traffic; and, again, that's because of
3 the tanker trucks that are coming in off of that. They
4 need the larger turning radiances.

5 As far as the number of vacuum stations, I'd
6 have to defer to the owner for that. That was a
7 requirement that he asked us, to put in as many as we
8 could fit; but when customers come to the convenient
9 store, and if this parking space is occupied, there's
10 30 feet from the sidewalk of the C-store to the pump,
11 which is basically three lanes of traffic; and it's not
12 designated as a fire lane currently.

13 And, so, the thought is, if there's a car
14 parked at the pump, and a car parallel parked along the
15 sidewalk, there's enough room for another car to pull in
16 between and exit. It's not going to be a roadblock.

17 CHAIRMAN KOPP: Where are the employees
18 going to park?

19 MR. SCHAEFER: There's only one employee.

20 CHAIRMAN KOPP: The kiosk is not manned?

21 MR. SCHAEFER: It's automated.

22 MR. WAGNER: So the one parking spot
23 provided, other than the handicapped spot, is for the
24 employee?

1 MR. SCHAEFER: Correct.

2 MR. WAGNER: So there's zero parking?

3 MR. SCHAEFER: Well, no. There's parking at
4 the pumps, there's parking at the vacuum stations,
5 there's parking along the sidewalk. All --

6 MR. WAGNER: How many parking spaces are
7 there along the sidewalk for a person to use the
8 convenient store without buying gasoline or using the
9 car wash?

10 MR. SCHAEFER: Three.

11 MR. WAGNER: And those are the ones that are
12 parallel to the front of the building?

13 MR. SCHAEFER: Correct.

14 MR. WAGNER: Is it shown on the drawing that
15 way?

16 MR. SCHAEFER: It's not.

17 MR. WAGNER: Thank you.

18 MR. SCHAEFER: We can easily advocate that,
19 that striping or designation as patron parking.

20 MR. RUFFOLO: Follow-up question for you.

21 MR. SCHAEFER: Sure.

22 MR. RUFFOLO: How does the proposed flow and
23 parking -- specifically parking -- differ from the
24 existing number of parking spaces?

1 MR. SCHAEFER: The existing parking is
2 currently where the vacuum stations are.

3 MR. RUFFOLO: Numerically, what's the
4 difference between what's proposed and what is current?

5 MR. SCHAEFER: Existing, I think there's six
6 parking spaces.

7 MS. CHOI: I think there's seven parking
8 spaces.

9 MR. ABBAS: Increase four. We are adding
10 four more.

11 MS. CHOI: There's currently seven.

12 MR. SCHAEFER: There's currently seven
13 parking spaces along --

14 MS. CHOI: That also includes some vacuum
15 station spots currently.

16 MR. SCHAEFER: I think he was asking how
17 many existing spots now, currently.

18 MS. CHOI: Currently, there's seven, but I
19 saw vacuum equipment on at least one of them.

20 MR. SCHAEFER: Right.

21 MR. RUFFOLO: So there's seven dual purpose
22 parking spots right now?

23 MR. SCHAEFER: Correct.

24 MR. RUFFOLO: And how many would there be in

1 the new proposal?

2 MR. SCHAEFER: Seven. The same, seven. But
3 we -- we're going to have more vacuum stations than the
4 one that's there, currently, at the facility today.

5 MR. RUFFOLO: Thank you.

6 MR. SCHAEFER: But the spaces are the same.

7 MR. RUFFOLO: A follow-up question, perhaps,
8 addressed to management, not necessarily the architect.

9 Based on current users, how many of them do
10 you see that are typically buying gas and then coming
11 in, or are they coming in more specifically for your
12 store use?

13 MR. ABBAS: It's very hard to tell. Maybe
14 about 20 percent of the people, they buy just cigarettes
15 and all that; but, remaining, they purposely go for gas,
16 and sometime they stop by to buy groceries. So a
17 percentage of store sale compared to gasoline, it
18 translates that too.

19 MR. RUFFOLO: Thank you.

20 MR. ABBAS: And the vacuum stations so
21 far -- I've been at that location since 2007. I used to
22 lease that place from previous owners as a business
23 owner. I've been there. I had never seen people park
24 at the vacuum station site, even though they were wide

1 open. Majority of people just park at the gas stations,
2 at the pump, because it is very convenient. They come
3 in and buy -- what is that? -- items and leave, or they
4 just park in front of the convenient store, which has
5 wide; three lanes you can pass by, and they come inside.

6 And our vacuums are -- I never seen staked
7 people there at all. It is very inconvenient for people
8 to go to that site and come in the store.

9 MR. RUFFOLO: Thank you.

10 MR. ABBAS: You're welcome.

11 CHAIRMAN KOPP: One question I always ask
12 the applicants. Have you seen the conditions of
13 approval that were proposed?

14 MR. SCHAEFER: I did read through those,
15 yes.

16 CHAIRMAN KOPP: And are those acceptable to
17 you?

18 MR. SCHAEFER: Yes.

19 CHAIRMAN KOPP: Any other questions?

20 Is there anyone in the audience that has a
21 question of the applicant, or Abbas, regarding this
22 matter?

23 Will someone make a motion to close the --
24 I'm sorry. If you want, the applicant has the

1 opportunity to have the last word if you wanted a
2 summation.

3 MR. SCHAEFER: No, I'm good. Thank you.

4 CHAIRMAN KOPP: Will someone make a motion
5 to close the public hearing 20-01.

6 MR. REMKUS: Aye.

7 MR. WALEC: Second.

8 CHAIRMAN KOPP: All those in favor say, Aye.

9 ALL MEMBERS: Aye.

10 CHAIRMAN KOPP: Apposed say, Nay.

11 So that was the public hearing part. Now we
12 will discuss this in public.

13 I'm a little nervous about this one, because
14 everything is definitely concentrated, but I'm inclined
15 to be in favor of it. I'd hate to see the Plainfield
16 exit close though. We don't want an unsafe situation,
17 but I think it would kill their business. That's my
18 thoughts on this.

19 MR. WAGNER: I would agree. I don't think
20 it should be closed. I'm just not sure it's in the
21 right place. I'm not sure that there's a need for both
22 an entrance and an exit, if that's, in fact, what those
23 are on Plainfield Road.

24 I don't understand why there can't be one

1 more 90 degree to Plainfield Road curb that would be
2 right in and right out, and then you don't have -- I
3 mean, if this is going to be a success, which I hope it
4 is, I just can't understand how, on a sunny day, and
5 there's a whole bunch of people wanting to get their car
6 washed, and they're stacked up against the entrance or
7 the exit, and there's already a slowness advancing into
8 that driveway as it exists today, and now you have the
9 potential for a car sitting there, stopping a car from
10 advancing into the property, and sitting on Plainfield
11 Road, or the back end of this car sitting on Plainfield
12 Road and stopping traffic from going west across
13 Route 83; or the southerly movement on 83 turning west
14 onto Plainfield Road, and coming around that corner, it
15 creates another issue.

16 So my suggestion is, looking at a wider
17 driveway -- one driveway entrance, slightly further west
18 than the existing easterly drive, and then you wouldn't
19 seem to need to have the stacking conflict of where
20 someone wants to pull in and go either to the gas pump
21 or to the convenient store, waiting for a car that is
22 shown clearly stacking into the entrance, and cutting
23 off the exit on the westerly drive.

24 CHAIRMAN KOPP: So one of the conditions in

1 the approval is that the comments from the Village
2 traffic engineer will be addressed. So, Ann, can you
3 make sure that Commissioner Wagner's suggestion is
4 relayed to her?

5 MS. CHOI: Yes.

6 MR. WAGNER: Thank you.

7 I also think that if we're going to be
8 talking about parking in front of the convenient store,
9 they should be delineated, counted. I'm not sure I
10 understand the cross usage of the vacuum cleaner
11 stations. I mean, if those are acceptable to park in,
12 for me to go to the convenient store, I suppose that's
13 okay, but why do we have six stations? Is it that
14 popular?

15 MS. CHOI: It could be that popular.

16 MR. WAGNER: Well, if it is, then we have
17 some serious stacking issues. I mean, I would like to
18 see it resolved. I think it's a good idea. I think
19 it's a good business for the community. I just think
20 there's some real issues there on Plainfield Road.

21 CHAIRMAN KOPP: Anything else?

22 MR. RUFFOLO: Just to follow-up on that
23 comment. Perhaps signage might alleviate some of the
24 parking issue, if those slots that are designated with

1 the vacuums could also be designated with parking signs.

2 MS. CHOI: Could you clarify? Designate
3 how?

4 MR. RUFFOLO: With a sign that says,
5 "parking."

6 MS. CHOI: Just parking, not designated just
7 for vacuum?

8 CHAIRMAN KOPP: Definitely not a sign --

9 MR. RUFFOLO: Dual purpose. Clearly, I
10 think we're talking about a lack of space here. A dual
11 purpose spot that doesn't restrict it just to people who
12 want to do their vacuuming there; and if someone wants
13 to pull in and park there, and do their C-store
14 shopping, they can.

15 MR. ABBAS: Can I add one sentence, if I
16 may?

17 Those vacuum stalls are free. Those vacuums
18 are free vacuums. That's why those could be used for
19 dual purpose. If I'm offering a service free, so that
20 can -- anybody can park as long as they want there.

21 If we get paid at pump, usually people have
22 a problem since it is a stall where you require people
23 to pay and go.

24 Here, they are free for everybody. So

1 they're not going to be charged -- we're not charging
2 anybody in Willowbrook or anybody in the community. So
3 anybody can park there, and then stay there as long as
4 they want. So I think that people can use them for dual
5 purposes.

6 CHAIRMAN KOPP: All right. If we're ready,
7 will someone make a motion that, based on the submitted
8 petition and testimony presented, I move that the Plan
9 Commission forward its findings of fact to the Mayor and
10 Village Board for special uses and variations as shown
11 in attachments one and two of the staff report prepared
12 for the February 5, 2020, Plan Commission for PC20-01,
13 and recommend approval of amendment to the existing
14 special use and requested variations, as listed in the
15 staff report prepared for PC20-01 for the February 5,
16 2020, Planned Commission meeting, subject to the
17 following recommended conditions of approval listed in
18 the staff report prepared for PC20-01 for the
19 February 5, 2020, Planned Commission meeting.

20 Anyone want to make that motion?

21 MR. REMKUS: So moved.

22 MR. WAGNER: Second.

23 CHAIRMAN KOPP: I ask Plan Commissioner
24 Secretary to call the vote.

1 MS. SHEMROSKE: Commissioner Remkus.

2 MR. REMKUS: Yes.

3 MS. SHEMROSKE: Commissioner Ruffolo?

4 MR. RUFFOLO: Yes.

5 MS. SHEMROSKE: Commissioner Kaucky?

6 MR. KAUCKY: Yes.

7 MS. SHEMROSKE: Commissioner Walec?

8 MR. Walec: Yes.

9 MS. SHEMROSKE: Vice Chairman Wagner?

10 MR. WAGNER: Yes.

11 MS. SHEMROSKE: Chairman Kopp?

12 CHAIRMAN KOPP: Yes.

13 All right. So that's that item. You're
14 welcome to stay for the rest of the items, but we won't
15 be offended if you don't.

16 Next item.

17 MR. SCHAEFER: Thank you very much.

18 MR. ABBAS: Thank you very much.

19 (WHICH WERE ALL THE PROCEEDINGS HAD.)

20

21

22

23

24

1 STATE OF ILLINOIS)
2) SS:
3 COUNTY OF DUPAGE)
4

5 I, ROBIN HEJNAR, a certified shorthand reporter
6 and registered professional reporter within and for the
7 County of DuPage and State of Illinois, do hereby
8 certify that the meeting in the above-entitled matter
9 was recorded stenographically by me, was reduced to
10 typewriting under my personal direction.

11 I further certify that the said meeting was
12 taken at the time and place specified.

13 I further certify that I am not a relative or
14 employee or attorney or counsel of any of the parties,
15 relative or employee of such attorney or counsel or
16 financially interested directly or indirectly in this
17 action.

18 In witness whereof, I have hereunto set my hand
19 and affixed my seal of office at Chicago, Illinois, 15th
20 day of February, A.D., 2020.

21 
22 ROBIN HEJNAR
23 CERTIFIED SHORTHAND REPORTER,
24 REGISTERED PROFESSIONAL REPORTER,
License No. 084-004689





Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission:
Hearing Date

March 4, 2020

Prepared By:

Ann Choi, Planning Consultant

Case Title:

PC 20-03: Compass Event Center and Arena PUD Amendment

Petitioner:

Willowbrook 2012 LLC
15W580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527

Action Requested by Applicant:

Consideration of a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) (a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD.

Location:

625 Joliet Road, Willowbrook Illinois 60516

PINs:

09-26-401-007

Existing Zoning:

B-3 with a Special Use Permit for a Planned Unit Development

Existing Land Use:

Indoor Recreational Facility - *Under Construction*

Property Size:

3.66 acres

Surrounding Land Use:

	Use	Zoning
North	Vacant Lot	M-1
South	I-55 Expressway	I-55
East	7-11	B-2
South	Del Rhea's Chicken Basket	B-3

Necessary Action by Plan Commission:

Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.
A sample motion can be found on page 19.



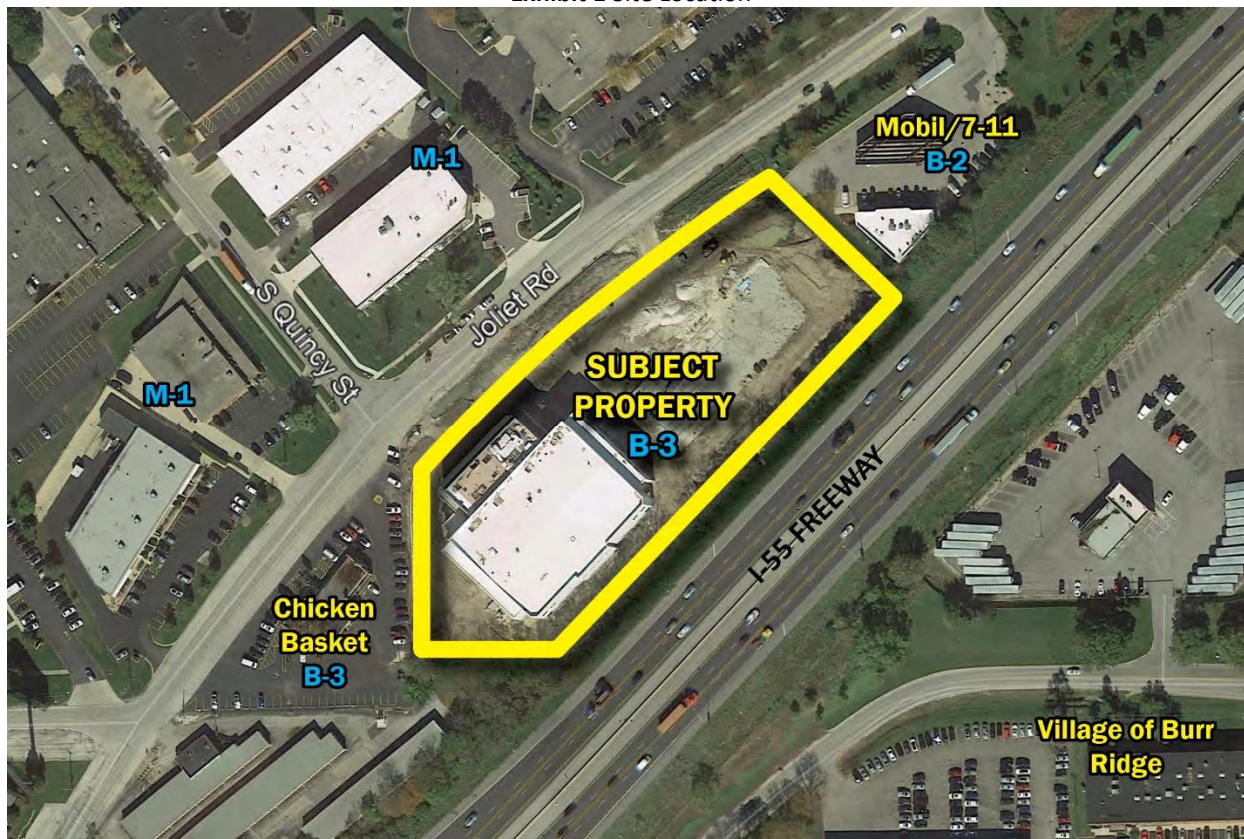
Documents Attached:

- Attachment 1:** Notice of Public Hearing (2 pages)
- Attachment 2:** Findings of Fact, Standards for Special Use
- Attachment 3:** Findings of Fact for Planned Unit Development
- Attachment 4:** Legal Description
- Attachment 5:** Architectural As-built Drawings, Sheet A-1 to A-8, prepared by Architects by Design, and bearing the latest revision date of 01-2-2020 (8 Sheets)
- Attachment 6:** Elevations (Site Photos)
- Attachment 7:** Foundation As-Built Survey, prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on March 22, 2018 (1 Sheet)
- Attachment 8:** Amended Final Plat of PUD, prepared by Krisch Land Surveying LLC, and bearing the latest revision date of 02/17/2020 (2 Sheets)
- Attachment 9:** Parking Grade As-Built Survey, signed by Sean T. Krisch on February 18, 2020 (1 Sheet)
- Attachment 10:** Site/Utility As-built Survey, prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020 (1 Sheet)
- Attachment 11:** Landscape Plan, prepared by Robert Fleck, and dated January 29, 2020 (2 Sheets)
- Attachment 12:** Engineering Review Letter, prepared by Christopher B. Burke Engineering Ltd., and dated February 27, 2020 (1 page)
- Attachment 13:** Construction Schedule, dated January 24, 2020 (2 pages)
- Attachment 14:** Planning Review Letter, issued by the Village of Willowbrook, and dated February 27, 2020 (2 pages)
- Attachment 15:** Ordinance No. 17-O-02 including Final Plat of PUD, Architectural Plans and Landscape Plan (10 Sheets)

Site Description

The development site is located on the south side of Frontage Road at the south end of Quincy Drive, between Del Rhea's Chicken Basket and the 7-11. The site consists of 3.657 acres. It is a shallow site with around 200 feet of depth, with over 500 feet of frontage along Frontage Road. The site's southern boundary is the I-55 expressway. Approximately 51,695 square feet of space is being constructed within three stories that include indoor soccer fields, restaurant, bar and lounge areas.

Exhibit 1 Site Location



Aerial Source: Google Earth, 2014 Imagery.

Development Request

The development is currently under construction and the building's foundation has been poured, the structure of the building has been erected, the building is cladded, all site work including curbing, placement of the driveways, striping of the parking, site landscaping, and interior wall studs for the most part have already been completed. Only the remaining interior build-out of the arena remains. Since the approval of the original Compass Arena and Event Center Planned Unit Development (PUD), the property owner made numerous changes while the building and site were under construction. A list of changes can be found on the following pages, and many were significant enough to be considered a major change to the originally approved PUD. Per Section 9-13-4(C)6(a), a major change to a PUD shall require a new application for preliminary and final plat of a planned unit development, unless otherwise restricted by the ordinance granting the special use for the planned unit development. Many of these changes made during the previous three years should have been considered major changes to the PUD, and approvals should have been obtained under a proper PUD amendment process.

A major change to a PUD is further classified under this section of the zoning code as any of the following:



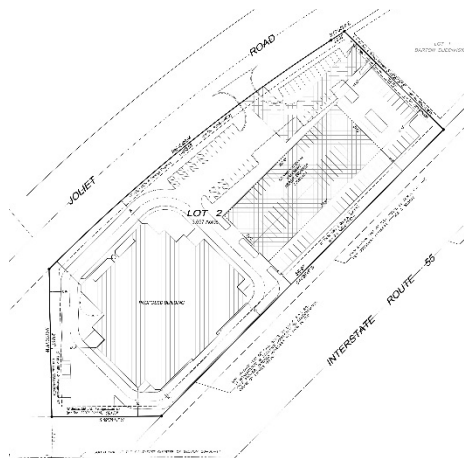
- A. A greater than five percent (5%) increase in density, gross floor area or building height.
- B. A greater than five percent (5%) decrease in the number of parking spaces, landscaped area or open space.
- C. Changes in the location of points of ingress or egress.
- D. A greater than twenty foot (20') change in the location of principal buildings, roadways or parking areas.
- E. Changes in the types of permitted land use.
- F. Changes in the approved development schedule.
- G. Increases in the approved deviations.

In October 2019, the Village of Willowbrook received a set of proposed revised drawings for the Compass Arena seeking a building permit to complete building construction. The proposed revised drawings proposed a change in the approved uses on the second floor which increased the parking requirement, but this discovery led to a realization that the previously aforementioned changes were significant enough to require a PUD amendment. It is important to note that the property owner hired a new architect at this time, who was not aware of the numerous changes that occurred prior to his engagement. Since then, the property owner and his representatives have been working diligently on rectifying the situation.

Under Staff's recommendation, the applicant is requesting an amendment to their existing PUD approval to allow for the changes in the building footprint, change of certain uses, and modifications to the landscaping originally approved. In addition, the applicant is requesting additional relief from the bulk regulations, a reduction in landscaping requirements, and increases to the previously approved deviations as the building has been substantially constructed. The applicant has submitted this petition in order to record the changes that were made in an Amended Final Plat of PUD to be approved by the Village Board.

PUD History

On January 23, 2017, the Village Board approved the following ordinances: Ordinance Nos. 17-O-02, 17-O-03 and 17-O-04. These ordinances approved the construction of a multi-use facility consisting of approximately 46,000 square feet to accommodate two "mini" indoor soccer fields of approximately 29,000 square feet and approximately 16,500 square feet of restaurant, bar and lounge uses. The previous plans approved a restaurant/bar on the first floor (a special use in the B-3 zoning district), golf simulators on the second floor (a special use in the B-3 zoning district), and party rooms and golf simulators on the third floor (special uses in the B-3 zoning district).



Ordinance 17-O-02

An ordinance approved a special use permit for a planned unit development, including approval of a Final Plat of PUD, and granted certain waivers from the Zoning Ordinance.

Ordinance No. 17-O-03

An ordinance approving and authorizing the execution of a planned unit development agreement for the development of the Compass Event Center and Arena.

Ordinance No. 17-O-04

An ordinance granting an amendment to the zoning map of the Village of Willowbrook for a special use for a planned unit development in a B-3 zoning district.



Meeting Dates:

- *May 18, 2016* – Invalid Public Hearing (re-noticed to July 20, 2016)
- *July 20, 2016* – Plan Commission Discussion and Plan Commission Recommendation for Approval
- *January 23, 2017* - Village Board Approval

Timeline:

- *April 25, 2018* –A revised Final Plat of PUD indicating a revised building footprint and increased deviations was signed by Village Staff and eventually recorded at DuPage County; however, no Board action was taken to approve these changes.
- *March 31, 2019* – The Village approved permit drawings bearing a revision date of 1/03/2018 by R. Vari and Associates (the Architect of Record).
- *October 15, 2019* – Architects by Design (ABD), the new architect, submitted new as-built drawings dated 10/15/2019, Sheets A-1 through A-8, to help facilitate progress of the project.
- *November 13, 2019* – Village staff conduct an informal site visit of Compass Arena.
- *November 14, 2019* – The planning department issued a planning review letter with a determination that the proposed drawings dated 10/15/2019, Sheets A-1 through A-8, and the Landscape Plan are not in compliance with Ordinance No. 17-O-02.
- *November 26, 2019* – The planning department met with Mario Magliano, the project's construction manager, and the project's landscaper on-site to review the elimination of landscaped areas and the addition of hardscaped areas.
- *December 3, 2019* – Village staff meeting including the building department, planning department and Village administration to review changes to the PUD.
- *December 5, 2019* – Village staff reviewed itemized list of changes with Village administration.
- *December 6, 2019* – Village staff instructed to consult with legal counsel; Village staff requests more information from the property owner and ABD on the parking counts and the reduction of landscaped area.
- *December 19, 2019* – Village consulted with legal counsel.
- *December 23, 2019* – Village staff (Planning Consultant Ann Choi, Building Official Roy Giuntoli, and Assistant Village Administrator Michael Mertens) met with Compass Arena team including ABD, Mario Magliano, and Bob Fleck (landscape architect) to discuss the PUD amendment process and requiring zoning approval prior to the issuance of any building permits. Larry Link and Chris Drews from Tri-State Fire Protection District were also in attendance.
- *January 7, 2020* – Village consulted with legal counsel and issues memo to Village staff.
- *January 15, 2020* – Village planning consultant sent the requirements for the documents and fees required for a formal PUD amendment application.
- *January 30, 2020* – Village receives an incomplete planning application.
- *February 5, 2020* – Village planning consultant requests Final Plat of PUD, and as-built drawings of the topography and utilities as these were missing from the application.
- *February 6, 2020* – Village receives revised landscape plan.
- *February 20, 2020* – Village receives the Amended Final Plat of PUD and associated as-built surveys.
- *February 27, 2020* – The Village issues a planning review letter.



List of Changes

The applicant offered the following list of changes that were made:

1. The building layout is mirrored from its original design. This has impacts on all four building elevations.
2. An additional one thousand square feet (1,000 sq.ft.) of new storage space and stairs to access this new storage space were added above the locker room on the west side of the arena.
3. The main entrance to the arena was relocated to from the north building façade to the northeast side of the arena.
4. The balcony was relocated from the northwest corner of the arena to the northeast corner of the arena.
5. The sports lounge on the northeast side of the first floor of the arena was eliminated.
6. The coffee bar was switched and remodified.
7. The exterior doors were rearranged due to ADA requirements and “Village” reasons.
8. The access road surrounding the arena was adjusted per Village request.
9. A generator was added.
10. The front entry was adjusted for ADA resulting in the elimination of two feet of width of foundation landscaping along the north building façade.
11. Under the semi-circular balcony on the northeast corner of the arena, all grass was eliminated and replaced with brick pavers since this area is now the new main entrance.
12. The golf simulators were eliminated on the mezzanine level and third floor.
13. The bar was relocated from the third floor to the mezzanine level.
14. The outdoor bar was eliminated from the third floor balcony.

Staff Analysis

As previously discussed, a major change to the Compass Event Center and Arena PUD was determined based on the following criteria:

A Greater than 5% Increase in the Gross Floor Area

Ordinance No. 17-O-02 approved a gross floor area of 45,934 square feet and this has increased to 51,695 square feet. The difference of 5,761 square feet equates to a 12.5% increase.

Determination: The 12.5% increase in gross floor area constitutes a major change under Section 9-13-4(C)6(a)1.

A Greater Than 5% Decrease in the Landscape Area

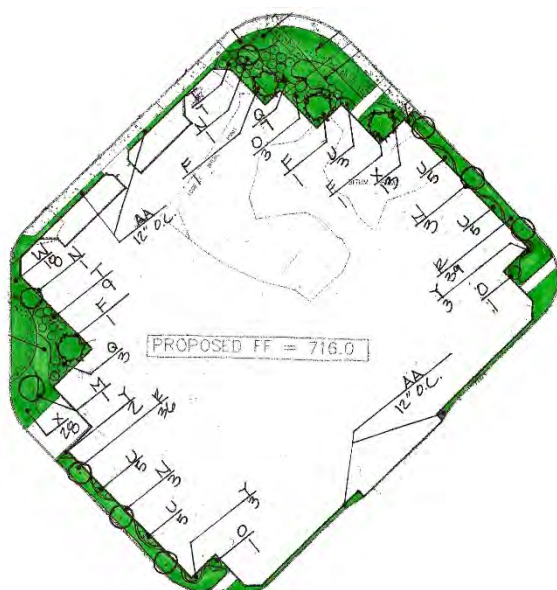
The petitioner is seeking an amendment to their PUD due to a greater than 5% decrease in the landscape area. The total landscape area that was previously approved was approximately 36,349 square feet. During the project’s construction, ADA ramps were added along the north, west and east building facades. The fire department also required an exterior fire connection at the northwest portion of the building resulting in the need to remove all plants from that location. Thus the foundation landscaping in many areas were eliminated and the landscape area was reduced to approximately 32,665 square feet. The elimination of 3,684 square feet of landscape area is equal to a 10.1% decrease. The areas in green in **Exhibit 3** on the following page illustrate the amount of landscape area that was reduced.

Determination: The 10.1% decrease in landscape area constitutes a major change under Section 9-13-4(C)6(a)2.

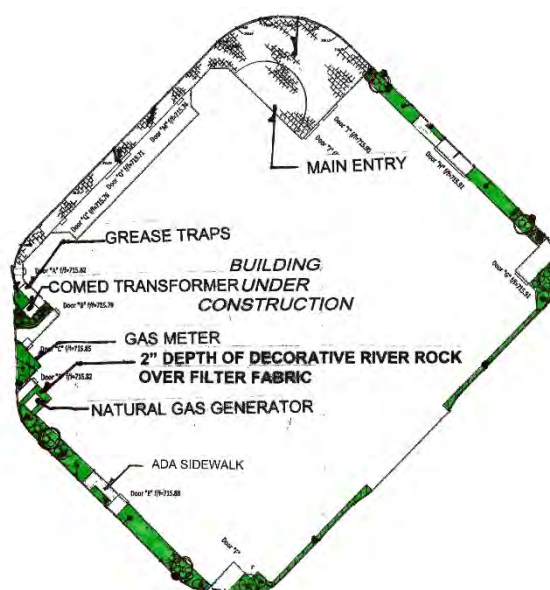
Exhibit 2 Addition of ADA ramps and fire connection



Exhibit 3 Approved Landscape Plan via Ordinance No. 17-O-02 v. Constructed Landscape Plan (right)



2017 Approved Landscape Plan (left)
36,349 SF



Constructed Landscape Plan (right)
32,665 SF

Changes in the Location of Points of Ingress and Egress

The footprint of the building has departed considerably from the approved 2017 Final Plat of PUD since the building footprint was essentially "mirrored", affecting all four approved elevations. The new plan shows the relocated balcony from the northwest side of the arena to the northeast side of the arena. Additional new doors for ingress and egress to Outdoor Patio #1 (Exit 3 and Exit 4) serve as the main ingress and egress for the arena and are located below this balcony. What was previously the kitchen service area and sprinkler/mechanical room on the first floor of the northeast side of the arena has been changed to a sports lounge/private dining. (The kitchen service area has replaced the private dining and storage areas at the northwest side of the arena.) An additional set of egress-only doors is located along the east wall of the new sports lounge. Six (6) entry/exit doors along the north wall of the easternmost soccer field have been added to

Exhibit 6 Approved Partial Mezzanine/2nd Floor Plan via Ordinance No. 17-O-02

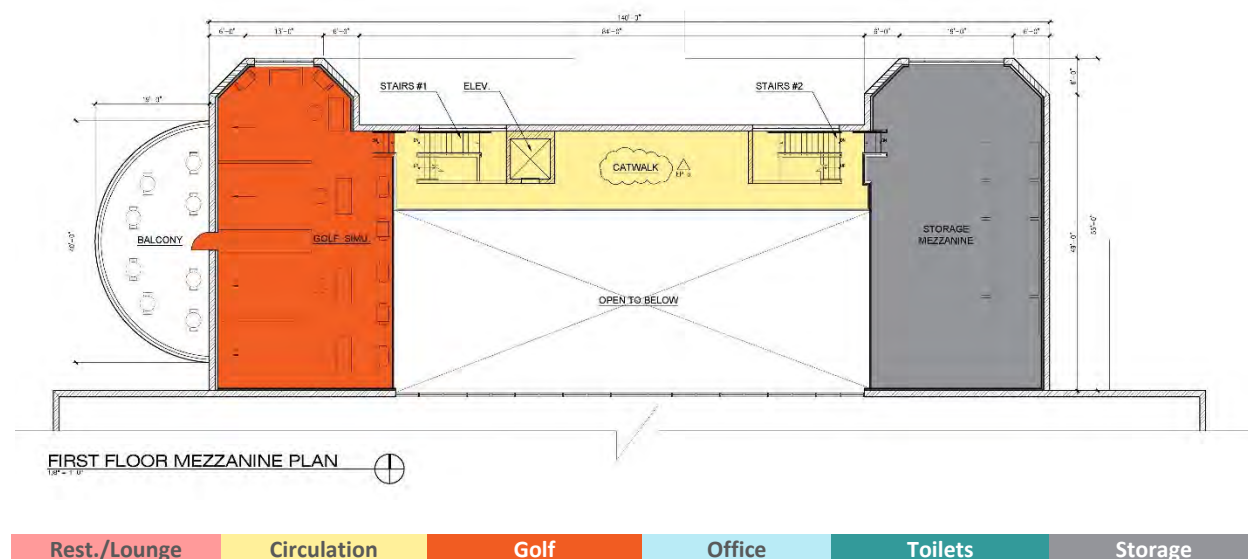
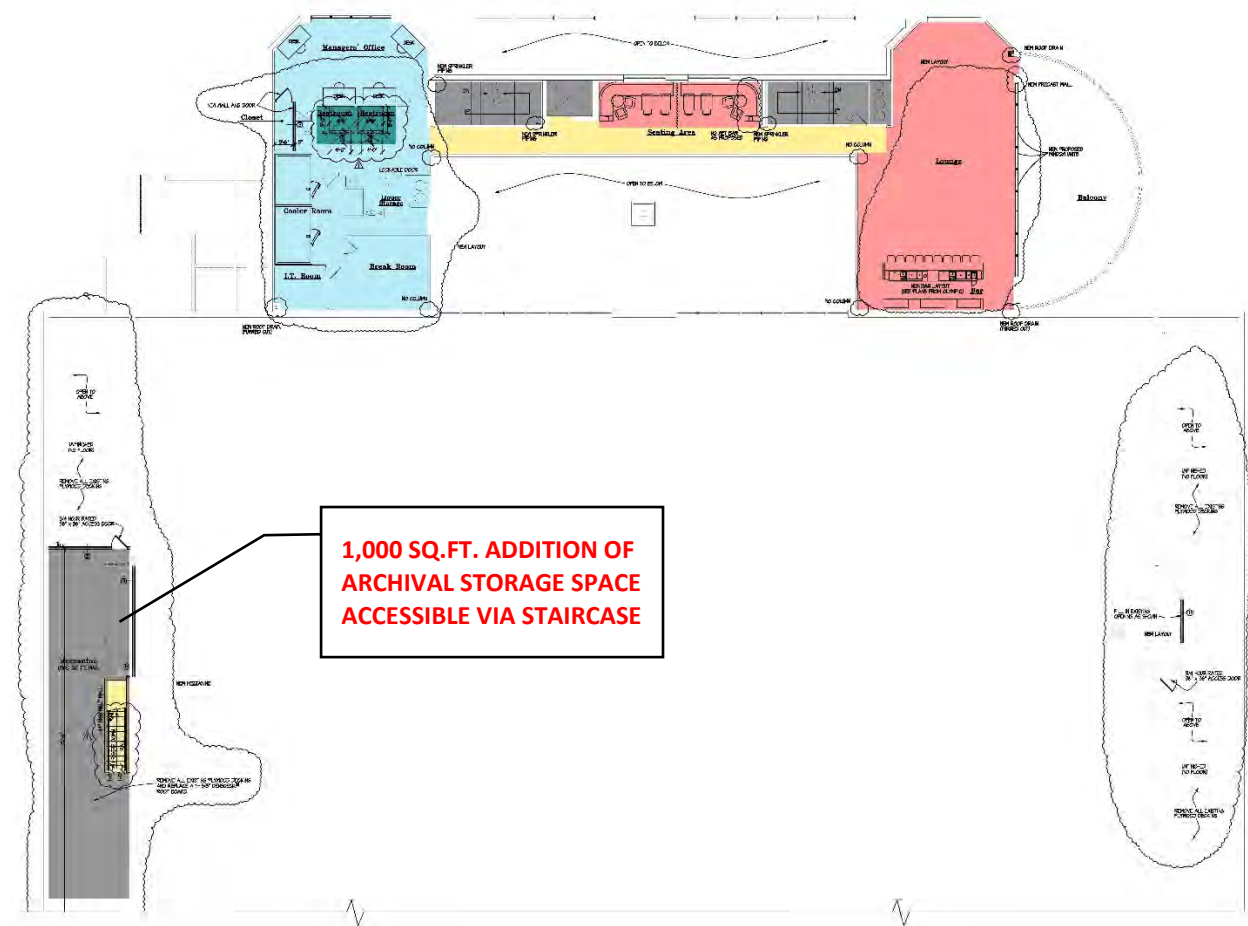


Exhibit 7 Proposed Partial Mezzanine/2nd Floor Plan



It is important to note that one thousand square feet (1,000 sq.ft.) of archival storage was added above the locker rooms along the west side of the soccer fields as shown in **Exhibit 7**. This archival storage is accessible

by a staircase and an elevator is not required as long as this space remains as storage space with a maximum floor area of 1,000 square feet.

Exhibit 8 Approved Partial 3rd Floor Plan (north) via Ordinance No. 17-O-02

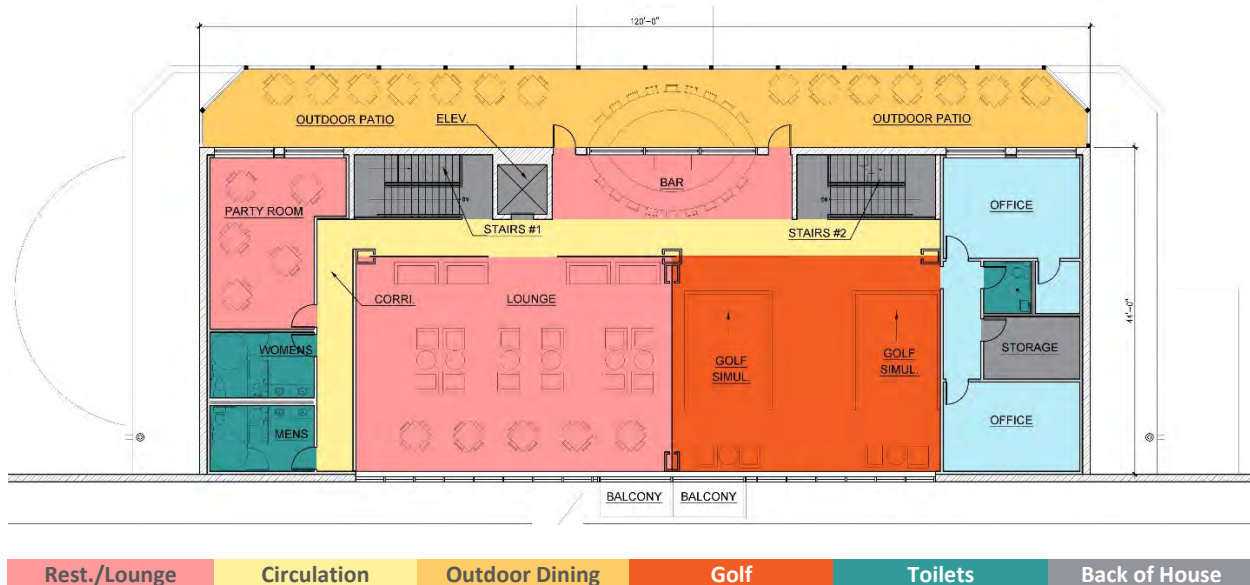
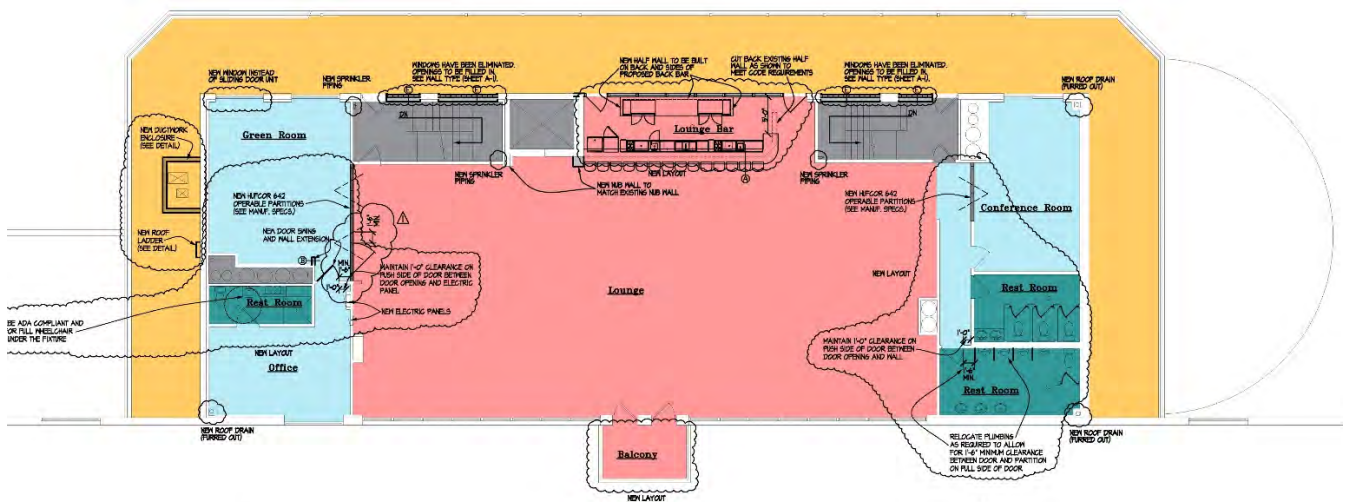


Exhibit 9 Proposed Partial 3rd Floor Plan



A new variation for reduced parking is required due to the changes in the permitted land uses. Changes in the approved uses result in an increase to the required parking to 177 parking spaces. The project currently only provides 175 parking spaces. A parking analysis is provided in **Table 1** of the following section. If the property owner can accommodate two additional parking spaces, this variation will not be required. Staff recommends that as a condition of approval, the parking lot be restriped to accommodate two additional parking spaces, eliminating the need for a reduced parking variation.

Determination: The elimination of the golf simulators and the addition of lounge area and archival storage area on the mezzanine/second floor constitutes a major change under Section 9-13-4(C)6(a)5.

Changes in the Approved Development Schedule

The projected completion date of the arena and event center was February 15, 2018. The applicant has indicated that the construction schedule was delayed for many reasons. Materials ordered from China were delivered late due to the current political climate which had an impact on shipping and resulted in incomplete orders. Construction was also stalled due to inclement weather, changes to the project, and an absence of the general contractor due to a critical illness. The applicant claims that the biggest reason for the delayed construction schedule is the issue date of March 31, 2018 for the building permits, which was forty-five (45) days after the project's original completion date.

Increases in the Approved Deviations

As previously discussed, the PUD amendment requests a variation from the requirements of foundation landscaping to eliminate the requirement for foundation landscaping along the north and northwest portions of the arena. Due to several ADA ramps that were never contemplated in the 2017 approval, the addition of these ramps now occupy a significant amount of area along the main entrances/exits requiring the removal of some plantings that were previously approved via Ordinance No. 17-O-02.



Ordinance No. 17-O-02 previously approved a waiver to reduce the minimum front yard setback from sixty feet (60') to forty-five point two six feet (45.26'). As illustrated in **Attachment 7**, the foundation as-built survey indicates that the northeast corner of the building has been constructed closer to than what was allowed. Thus, the PUD amendment also requests a waiver for the front yard setback to be reduced to forty-three point seven four feet (43.74').



Parking Analysis

The proposed uses for the Compass Event Center and Arena will increase the parking requirements. Due to the increase in square footage, the parking requirement has been recalculated. Refer to **Table 1** below for a comparison for the parking requirement calculated for the previously approved PUD and the parking requirement with the proposed changes. The Village requests that the Amended Final Plat of PUD be revised to accommodate the required number of parking spaces.

Table 1 Comparison of Approved vs. Proposed

Approved PUD (2017)	Area (SF)	Parking Req'd	Parking Ratio	Proposed PUD	Area (SF)	Parking Req'd
1st Floor						
Bar/Restaurant	3,952	39.52	1/100 SF	Bar/Restaurant	3,658	36.58
Kitchen/Carry Out	1,183	11.83	1/100 SF	Kitchen/Carry Out	1,045	10.45
Storage	660	n/a	n/a	Storage	660	n/a
Private Dining	542	5.42	1/100 SF	Private Dining (New Sports Bar)	1,513	15.13
Soccer Field	23,824	8	1/3 ppl	Soccer Field	23,806	8
Soccer Seating	2,480	8	1/3 seats	Soccer Seating	2,480	8
Mens Locker Room	1,344	10.66	Design Capacity / 3	Mens Locker Room	1,551	10.66
Womens Locker Room	1,344	10.66	Design Capacity / 3	Womens Locker Room	1,538	10.66
Outdoor Dining	860	8.6	1/100 SF			
Subtotal	36,189	102.69		Subtotal	36,251	99.48
2nd Floor/Mezzanine						
Storage	1,654	0	n/a	Storage	604	0
Golf Simulators*	1,571	5.3	1/225 SF	Office (New)	472	2.1
			n/a	Catwalk (Not Included)	512	0
			1/100 SF	Dining at Catwalk (New)	290	2.9
			1/100 SF	Balcony (Outside)	843	8.43
			n/a	West Mezz. Storage (New)	1,000	n/a
			n/a	Break Room	240	n/a
			1/100 SF	New Lounge (Old Golf)	1,526	15.26
Subtotal	3,225	5.3		Subtotal	5,487	28.69
3rd Floor						
Bar and Lounge	2,306	23.1	1/100 SF	Bar and Lounge	3,048	30.48
Party Room	428	4.28	1/100 SF	Conference (Party Room)	361	3.6
Golf Simulators*	1,215	2.66	1/225 SF	Office	291	1.29
Office Wing	908	4.03	1/225 SF	Green Room (Old Golf)	479	2.13
Outdoor Patio	1,283	12.83	1/100 SF	Outdoor Patio	1,085	10.85
Subtotal	6,140	46.90		Subtotal	5,264	48.35
Grand Total	45,554				44,522	
Total Spaces Required		154.89				176.52
Total Spaces Provided						175

Elevation & Façade Improvements

In addition to the building footprint and change of uses, the petitioner is seeking an amendment to their PUD to allow changes to the building elevations. Since the arena's floor plan was essentially mirrored, this has impacts on all four elevations. As the area has already been substantially constructed, and the building did not depart from the approved building materials and colors, the Village waived the requirement of revised architectural elevation line drawings and was amenable to accepting site photos of the building's elevations in lieu of revised building elevations. These site photos are included in **Attachment 6** and are shown below.

Exhibit 10 North Elevation (Main Entrance on Joliet Road)



Exhibit 11 West Elevation (Adjacent to Chicken Basket)



Exhibit 12 East Elevation (Adjacent to Mobil Gas Station)



Exhibit 13 South Elevation (Facing I-55 Freeway)



Changed Bulk Regulations

All previously approved bulk regulations (building setbacks, floor to area ratio, lot coverage, etc) will remain unchanged with the exception of the front yard building setback.

Front Yard Setback. The building has been constructed forty-three point seven four feet (43.74') from the north property line. Ordinance No. 17-O-02 provided relief from the sixty foot (60') requirement and permitted a



front yard setback of forty-five point two six feet (45.26') so the PUD amendment is requesting a further reduction in the front yard setback.

Construction Schedule

Following the issuance of building permits, the projected timeline for the construction of the buildings is seven (7) to eight (8) months based on the construction schedule submitted by the applicant in **Attachment 13**.

Special Use and Planned Development Standards

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the standards is provided in **Attachments 2** and **Attachment 3**, along with a "finding" that can be referenced in the Plan Commission's motion. Please note that the "findings" assume acceptance of the required changes and proposed conditions in this report. Modifying a required change or proposed condition may require changing a listed finding.

Standards for Planned Unit Development

Section 9-13-6 of the Willowbrook Zoning Ordinance establishes twelve (12) standards for planned unit developments that must be met. Responses are provided below:

Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the Village Comprehensive Plan.

Finding: The proposed uses fit the type of uses intended by "highway commercial" uses classified in the Comprehensive Plan, and conforms to the other objectives identified in the Plan. These objectives include ensuring the site is accommodated with adequate roadways, access, parking and circulation. Other objectives suggest that the Village should promote site design considerations that suggests tasteful landscaping, sensible signage and screening of unsightly rooftop mechanical equipment. The Compass Arena PUD provides substantial landscaping, and has been previously approved for a waiver for signage height on the north and south elevations of the building. As shown in the site photos (elevations) in **Attachment 6**, unsightly rooftop mechanical equipment is not visible from street level or from the I-55 freeway because of the addition of parapet walls. At the request of the Village, the kitchen hood fan exhaust on the west elevation was also covered with materials/color to match the rest of the building. Substantial landscaping was also provided along the Stevenson Expressway (east of the building) to lend a pleasing appearance to the development.

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

Finding: The proposed development contains 3.66 acres and is currently under single ownership.

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Finding: Compass Arena is a comprehensive 51,695 square foot square foot recreational center with indoor soccer fields, restaurants, bars and lounges. The proposed increases in deviations will not have detrimental influence upon surrounding properties.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.



Finding: The site is designed with underground vaulted detention under the parking lot. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

Finding: There is only one building within the Planned Unit Development.

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Finding: The maximum height that was granted in Ordinance No. 17-O-02(C) was forty-nine point eight feet (49.8'), thus the building is required to be setback 49.8' from any property line. Ordinance No. 17-O-02(A) and (B) granted waivers for reduced front and rear yard setbacks. The applicant is seeking approval of waivers as part of this PUD amendment for the building setbacks.

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Finding: Parking is not adequate due to the change of uses. The parking requirement has been increased to 177 parking spaces and the site can only accommodate 175 parking spaces. As a condition of approval, the applicant is required to restripe the parking lot to accommodate an additional two parking spaces on-site as part of this PUD amendment.

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Traffic is controlled and located to minimize traffic congestion along Joliet Road. A Traffic Regulation Agreement was required as part of the previous approval and remains unchanged. The project was fully evaluated by the Village Traffic Engineer to evaluate traffic issues as part of the previous approval in 2017.

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

Finding: While none of the existing plant material in the middle of the site is being preserved, additional new landscape materials as required by the Zoning Ordinance will ensure compliance with the ordinance.

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

Finding: No variations to the Willowbrook Subdivision regulations are required.



- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

Finding: The PUD is less than 5 acres.

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Finding: Exceptions are incorporated into the PUD as identified in the staff report prepared for the March 4, 2020 Plan Commission meeting, however, the development does comply with standards (A), (B), (C), (D), (H), (I) and (K) as required.

Summary of Relief Requested

In order to maintain compliance with the Village Zoning Code, the proposed PUD amendment will require additional relief, exceptions, and waivers as outlined below.

Zoning Ordinance

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance include but are not limited to:

1. That Section 9-6C-3(E)1, Minimum Front Yard Setback, be varied to reduce the minimum front yard setback from sixty feet (60') to forty-three point seven four feet (43.74').
2. That Section 9-10-5(K) Off-Street Parking, Required Spaces, be varied to permit a reduction in the minimum parking requirements from one hundred seventy-seven (177) parking spaces to one hundred seventy-four (175) parking spaces.

Note: If the parking lot can be restriped to accommodate two additional parking spaces, this variation is not required.

3. That Section 9-14-2(D)2(c)4, Border Plantings and Foundation Plantings, be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the south building façade, and from seven feet (7') to zero feet at the north and northeast building facades.

PUD Standards

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Planned Unit Development Regulations include but are not limited to:



1. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Recommended Conditions of Approval

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a motion for this case:

1. All plans depicting parking shall be revised and restriped to accommodate a total of 177 parking spaces prior to final zoning approval.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
4. All outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.



Sample Motion

Staff recommends that the Plan Commission recommend to the President and Village Board adoption of the attached findings and approval of the request for an Amendment to the Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for the following major changes under Section 9-13-4(C)6(a): a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved deviations, including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of an Amended Final Plat of PUD for the Compass Arena and Event Center – subject to the plans listed below.

1. Amended Final Plat of PUD – Compass Arena Planned Unit Development – as prepared by Krisch Land Surveying LLC. The Amended Final Plat shall be further revised to reflect the requested revisions to the P.U.D. Site Data Table and restriping to the parking lot to accommodate 177 parking spaces (2 Sheets).
2. Architectural As-built Drawings – Sheets A-1 to A-8, prepared by Architects by Design, PC, and bearing the latest revision date of 01-02-2020 (8 Sheets).
3. Elevations, Site Photos of Existing Conditions as of 2/13/2020 (4 pages).
4. Landscape Plan, prepared by Bob Fleck, and dated January 29, 2020 (2 Sheets).

If the Plan Commission wishes to forward a positive recommendation to the Village Board, the following sample motion is provided:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact for a Special Use and Findings of Fact for a Planned Unit Development referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting and recommend approval of an Amendment to the existing special use for a Planned Unit Development and Amendment to the Planned Unit Development to allow for all major changes listed under Section 9-13-4(C)6(a), including relief, exceptions and waivers from Title 9 of the Village Code referenced in the Staff Report for PC 20-03 prepared for the March 4, 2020 meeting, and recommend approval of an Amended Final Plat of PUD with requested revisions, according to the plans listed in the Staff Report for PC 20-03 and subject to the following conditions:

1. The Amended Final Plat of PUD shall be revised and restriped to accommodate a total of 177 parking spaces.
2. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the March 4, 2020 meeting, and approved by Village staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
3. Uses are restricted to the approved uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
4. Any outstanding comments from Village staff shall be addressed prior to final zoning approval from the Village Board.



Attachment 1
Notice of Public Hearing
(2 pages)

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 20-03

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 4th of March, 2020 at the hour of 7:00 P.M. in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527.

The purpose of this public hearing shall be to consider a petition requesting approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of a Final Plat of PUD on property legally described as follows:

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT R2002-078679, IN DUPAGE COUNTY, ILLINOIS.

PINs: 09-26-401-007

ADDRESS: 625 Joliet Road, Willowbrook IL 60516

The applicant for this petition is Willowbrook 2012, LLC, 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527.

Copies of the application and related documentation are on file in the office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Roy Giuntoli, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the February 17, 2020 edition of *The Chicago Sun Times* Newspaper.

Storage - Legal

Storage - Legal

NOTICE OF PUBLIC SALE

To satisfy the owner's storage lien, PS Orange Co. Inc. will sell at public lien sale on February 26, 2020, the personal property in the below-listed units, which may include but are not limited to: household and personal items, office and other equipment. The public sale of these items will begin at 10:00 AM and continue until all units are sold.

PUBLIC STORAGE # 28501, 708 W Central Road, Mount Prospect, IL 60056, (847) 584-3233
Time: 10:00 AM

061 - Childress, Richard; 198 - Graf, Mark
PUBLIC STORAGE # 23055, 1600 E Davis St, Arlington Heights, IL 60005, (847) 786-5186
Time: 10:15 AM

1074 - Mead, Donald; 2077 - Rubin, Robert
PUBLIC STORAGE # 23310, 903 E Algonquin Road, Arlington Heights, IL 60005, (847) 786-5186
Time: 10:30 AM

A041 - MILLER, ROSE; A046 - Villarreal, Guadalupe; C015 - Sarabia, Gustavo; D008 - Hernandez Jr, Carlos; E051 - Mejia, Marco Antonio; E072 - Cohen, Daniel; E082 - Warrenner, John; F024 - Mosley, Latshonda; F040 - Fitzgerald, Laura; F115 - DUMBRAVANO, DMITRIY; G053 - Shuck, Eric; H154 - Behles, Bill; L049 - Mawese, Michel; L107 - Salvi, Payal
PUBLIC STORAGE # 27231, 2401 Lois Drive, Rolling Meadows, IL 60008, (847) 497-8614
Time: 10:45 AM

B017 - Nesper, Andrew; E001 - Frisbee, Amie; E026 - Ramirez, Vanessa; F115 - Nesper, Andrew; G018 - Shariff, Abid; G073 - Gonzalez, Jose
PUBLIC STORAGE # 28166, 2400 Palmer Drive, Schaumburg, IL 60173, (847) 805-8910
Time: 11:00 AM

1037 - Landwer, Nathaniel; 1155 - Lee, IVORY; 135 - Nelson, Jessica; 213 - Calhoun, Aaron; 353 - Carraher, Casey; 415 - Burlinski, Thomas R; 434 - LeBlanc, Kristin; 555 - Pschirrer, Sean; 703 - Baughman, Thomas; 806 - Cisneros, Frankmax; 827 - Nelson, Bernard; 843 - Jimenez, Grisselle; 855 - Calhoun, Ozzie; 860 - Colbert, Craig; 956 - Jimenez, Grisselle
Public sale terms, rules, and regulations will be made available prior to the sale. All sales are subject to cancellation. We reserve the right to refuse any bid. Payment must be in cash or credit card-no checks. Buyers must secure the units with their own personal locks. To claim tax-exempt status, original RESALE certificates for each space purchased is required. By PS Orangeco, Inc., 701 Western Avenue, Glendale, CA 91201, (818) 244-8080.
2/10, 2/17/20 #1102367

Public Notices

Public Notices

The Metropolitan Water Reclamation District of Greater Chicago will be accepting applications for the following classification(s):

A/V Administrator (Original & Promotional)

Application Filing Period: February 7, 2020 through March 6, 2020. **Examination Date:** March 14, 2020 at St. Rita High School, 7740 S. Western Ave., Chicago, IL. **Scope of Examination:** Knowledge of A/V Administrator practices. **Nature of Position and Duties:** Under general supervision, analyzes the network audio and video infrastructure needs of the District and recommends corrections or improvements; and oversees or provides technical audio-visual, multi-media, video and related technology support services for business meetings, conferences, training sessions or other live or recorded District events. **Pay:** \$89,109.28 per year

Pipecoverer (Original)

Application Filing Period: February 14, 2020 through March 13, 2020. **Examination Date:** March 21, 2020 at Chicago High School for Agricultural Sciences (CHAS), 3857 West 111th Street, Chicago, IL. **Scope of Examination:** Knowledge of pipecoverer practices. **Nature of Position and Duties:** Performs skilled manual work in connection with the installation, maintenance and repair of all types of insulation or protective covering for piping, pipe fittings, valves, mechanical equipment and machinery. **Pay:** \$50.50 per hour

Senior Safety Specialist (Promotional)

Application Filing Period: February 14, 2020 through February 28, 2020. **Examination Date:** March 20, 2020 at MWRD Main Office Building Annex, 111 East Erie Street, Chicago, IL. **Scope of Examination:** Knowledge of senior safety specialist practices. **Nature of Position and Duties:** Under general supervision, plans and coordinates the safety program throughout the District. **Pay:** \$89,109.28 per year

Applications can be submitted online **only** at www.districtjobs.org.

Additional information may be found at www.mwrdd.org or call 312-751-5100.

**Mailed, Emailed, Hand delivered or
Faxed Applications Will Not Be Accepted In
Resumes Will Not Be Accepted In
Place of Application Forms.**

An Equal Opportunity Employer - M/F/D

2/14 - 2/28/20 #1102820

Public Hearings

Public Hearings

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 20-03

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PINS: 09-26-401-007

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/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the February 17, 2020 edition of The Chicago Sun Times Newspaper.
2/17/20 #1102991

LIST YOUR RENTAL WITH THE HARDEST- WORKING CLASSIFIEDS IN CHICAGO.

Call 312-321-2345
to place your listing.

SUNTIMES.COM

CS★T

Storage

To satisfy the owner's storage lien, at public lien sale on February 26, 2020, the personal property in the below-listed units, which may include but are not limited to: household and personal items, office and other equipment. The public sale of these items will begin at 10:00 AM and continue until all units are sold.

PUBLIC STORAGE # 28501, 708 W Central Road, Mount Prospect, IL 60056, (847) 584-3233
Time: 10:00 AM

0055 - Mel Wykeeta; 2 Batist; 401 Vanola; 401 PUBLIC STORAGE # 60076, (847) 584-3233
Time: 10:15 AM

A062 - Bar kols, Bruce D049 - Me Biljana; D1 F020 - Gan PUBLIC STORAGE # 60077, (847) 584-3233
Time: 10:30 AM

1007 - Mu Lebovits, F Benjamin; 1251 - Yec June; 2015 Uhrk, Chris Lomax, Kay Kimberly; 3 PUBLIC STORAGE # 60714, (847) 584-3233
Time: 10:45 AM

1105 - Sari 2098 - Chal PUBLIC STORAGE # 60715, (847) 584-3233
Time: 11:00 AM

1009 - Balc mons, Jone Theresa; 2157 - Ko Candice; B B137 - Tan Yolanda; B Plant, Adam PUBLIC STORAGE # 60716, (847) 584-3233
Time: 11:15 AM

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E-mail: The 60200 Traves/Ole



Attachment 2

Special Use Standards and Findings for PC 20-03 Compass Arena PUD Amendment

Special Use Standards

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed special use and planned unit development for Compass Arena will not be detrimental to or endanger the public health, safety, comfort or general welfare of persons residing or working in the vicinity of the campus or the community. In contrast, the proposed improvement of Compass Arena should improve the general welfare of the community by providing additional venues for athletic and recreational events and social activities for area residents. Further, Compass Arena will cause real estate taxes collected against the property to be increased. Accordingly, Compass Arena will benefit the local taxing districts. Further, with a limited retail component, Compass Arena should create additional sales tax revenue creating a further benefit to the community.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: We are confident that there will be no harmful effects to the community based upon the development of Compass Arena. If there were any such harmful effects, they would be mitigated by the distance that Compass Arena will sit from any neighboring residential properties. The Applicant has worked with the Village in preparing this application and will work with its neighbors to complete Compass Arena in the least intrusive manner for the community. Based on the foregoing, the Applicant is confident that the establishment of Compass Arena will have a beneficial and not harmful effect on the neighboring community.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: It is important to note that the proposed site of Compass Arena sits not immediately adjacent to any other improved residential properties in the Village. Those improved properties neighboring Compass Arena include a restaurant and retail convenient store, which are two uses that will be complimented by Compass Arena. As such, Compass Arena will be very hospitable to the surrounding uses, and will not impede the normal and orderly development of any surrounding properties.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: Compass Arena has been developed from unimproved and vacant property. As depicted on the as-built surveys, the subject property has been improved with adequate utilities, access roads, and drainage to service the site.



- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: As reflected in the previously reviewed Traffic Impact study conducted by Keniq, Lingren, O'Hara, Aboona, Inc. ("KLOA"), the development has been constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site has been developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: Compass Arena in all material regards conforms to the applicable regulations and standards in the B-3, General Business District, the underlying zoning district. As you are aware, Compass Arena will be a comprehensive 51,695 (FAR) square foot recreational center which the Applicant requests to have zoned as a planned unit development. As you are also aware, permitted uses in the B-3 District include, "...Physical culture and health service gymnasiums." Further special uses include "Restaurants and banquet halls..." and "catering establishments..." Essentially, Compass Arena is composed of a series of allowed uses in the B-3 zoning district. Noting the congruity between the proposed uses for Compass Arena and the terms of the zoning code, Compass Arena will fit in the essential character of the community and is compatible with the B-3 zoning district.

However, there are several requirements of the B-3 District that Compass is seeking relief from through the PUD amendment. Under the setback requirements for the B-3 District, a minimum front yard of sixty (60) feet is required. The Compass Arena will only have a front yard setback of forty-four point six three feet (44.63'). A significant amount of foundation landscaping has been eliminated along the north and northeast portions of the building façade. Additionally due to the changes of uses within the building, the parking requirement has also been increased.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Finding: The Village Board has not denied a special use permit on this property in the last year.



Attachment 3

Findings of Fact, Planned Unit Development for PC 20-03 Compass Arena PUD Amendment

Planned Unit Development Findings

Section 9-13-7 of the Willowbrook Zoning Ordinance requires that the following seven (7) Findings of Fact must be evaluated by the Plan Commission and the Village board.

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: The PUD amendment provides relief from the 2017 approving ordinance that is required in order to facilitate the on-going construction of the Compass Arena and Event Center. The amendment to the PUD would provide environmental design in the development of land that is better than what is possible through the strict application of ordinance requirements. The PUD also provides a diversification in the uses permitted in the relationship of uses and open space. The Compass Arena also provides substantial landscaping for functional, aesthetic and beneficial use of open areas.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

Finding: For the reasons stated in the Special Use and Planned Unit Development findings and the staff report prepared for the March 4, 2020 meeting, the proposed plan meets the requirements and standards of the Planned Unit Development.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: The PUD amendment includes exceptions as identified in the Staff Report for the March 4, 2020 Plan Commission meeting. The prior approval documents a detailed list of departures from the zoning regulations. Requests for relief granted in the past in addition to the requested relief contained in this petition will serve the public interest as it will allow the construction of a building to continue as the building is nearly complete.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: The PUD provides reasonable access for intended users. The development has been constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site has been developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site. The site has been designed to accommodate a substantial amount of landscaping and a number of outdoor areas for patrons in the form of large balconies and decks with outdoor seating to provide access to light and air, recreation and visual enjoyment.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.



Finding: Adjacent properties neighboring Compass Arena include a restaurant and gas station/retail convenient store, which are uses that will be complimented by Compass Arena.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well being of the village.

Finding: The Compass Arena and Event Center will bring new people to the area to experience indoor spectator sports and to utilize its restaurants, bars and lounges, which will benefit the local tax base.

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

Finding: The plan and amendment to the PUD conforms to the spirit and intent of the Village's current planning objective if developed as recommended by the Plan Commission.



Attachment 4
Legal Description

LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT R2002-078679, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-26-401-007

ADDRESS: 625 Joliet Road, Willowbrook IL 60516



Attachment 5

Architectural As-built Drawings, Sheets A-1 to A-8

Prepared by Architects by Design

Bearing the latest revision date of 01-02-2020 (8 Sheets)

[illegible]

Scale: 1/2" = 1'-0"

STAIR AND HANDRAILS SHALL COMPLY

A-1	First Floor Plan, Enlarged Mezzanine Stair, Sheet Index, Wall Types
A-2	First Floor Plan (Continued), Occupancy Calculations, Exit Notes, Occupancy Placard Note, New Door and Hardware Descriptions
A-3	Second Floor/Mezzanine Level Plan, Design Loads
A-4	Second Floor/Mezzanine Level Plan (Continued)
A-5	Third Floor Plan, Hood Ductwork Plan and Elevations
A-6	First Floor Reflected Ceiling Plan, Lighting Fixture Schedule
A-7	Second Floor Reflected Ceiling Plan
A-8	Third Floor Reflected Ceiling Plan

SCALE: N.T.S

6" CONCRETE BLOCK W/
VENEER WALL TIES; #9 U.S. GAGE
WIRE OR #22 U.S. GAGE BY 7/8"
CORRUGATED METAL SPACED:
24" O.C. HORIZONTAL
15" O.C. VERTICAL
3-1/4 SF MAX. AREA SUPPORTED

STUCCO FINISH TO MATCH PRECAST
CONCRETE PANEL FINISH

Diagram showing a cross-section of a wall assembly. The assembly consists of a 2" light weight precast wall panel on the left, followed by R=20 insulation, then 3 5/8" 20 GA metal studs @ 16" O.C., and finally a line of existing metal deck on the right. A note indicates the finish floor is to be seen in the room finish schedule. A circular callout 'F' is present at the bottom center.

Labels in the diagram:

- LINE OF EXISTING METAL DECK
- 3 5/8" 20 GA METAL STUDS @ 16" O.C.
- 2" LIGHT WEIGHT PRECAST WALL PANEL
- R=20 INSULATION
- FINISH FLOOR - SEE ROOM FINISH SCHEDULE
- (F)

NEW INTERIOR PARTITION WALL

EXISTING WALL CONSTRUCTION TO REMAIN

EXISTING WALL CONSTRUCTION TO BE REMOVED



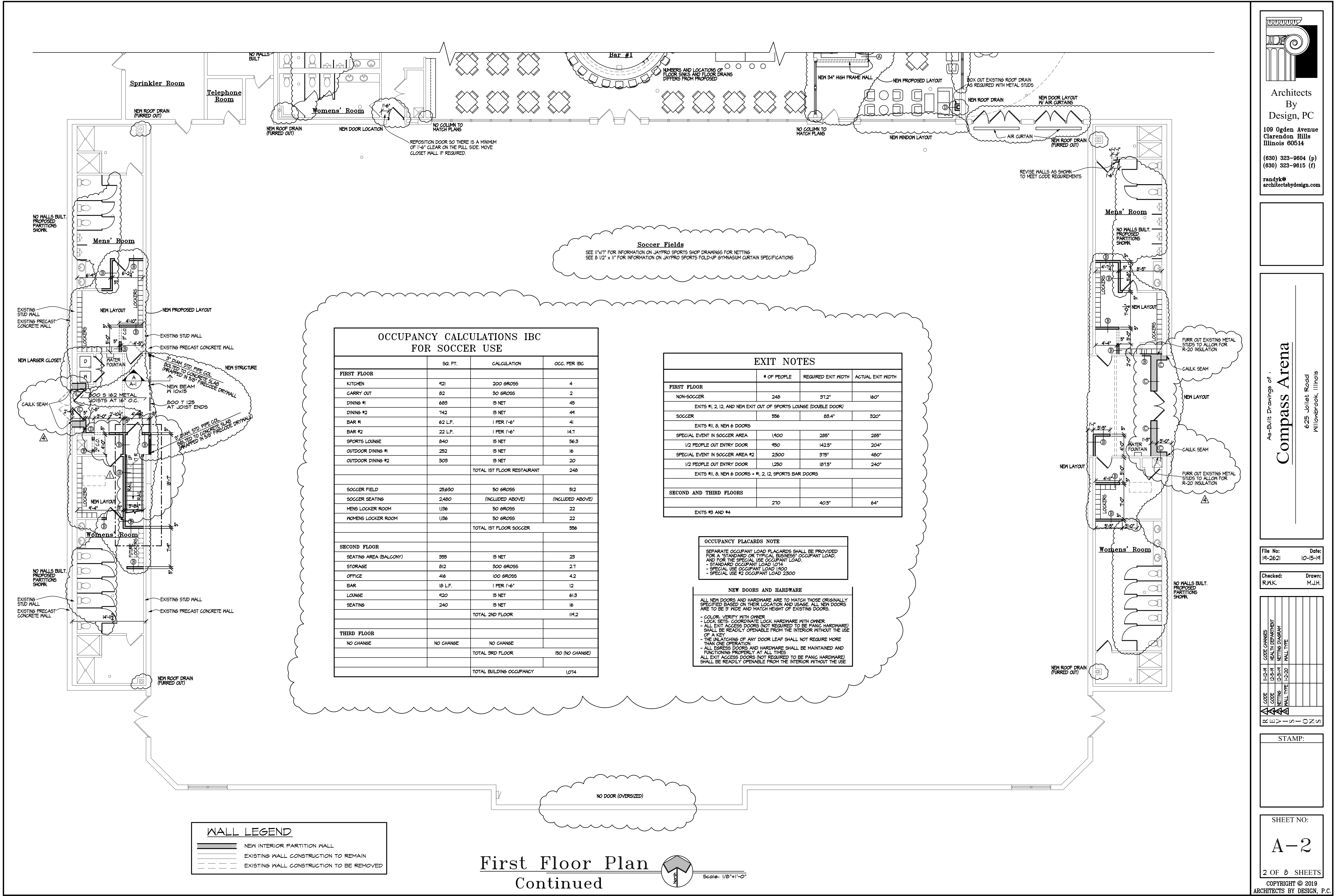
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By
Design, PC

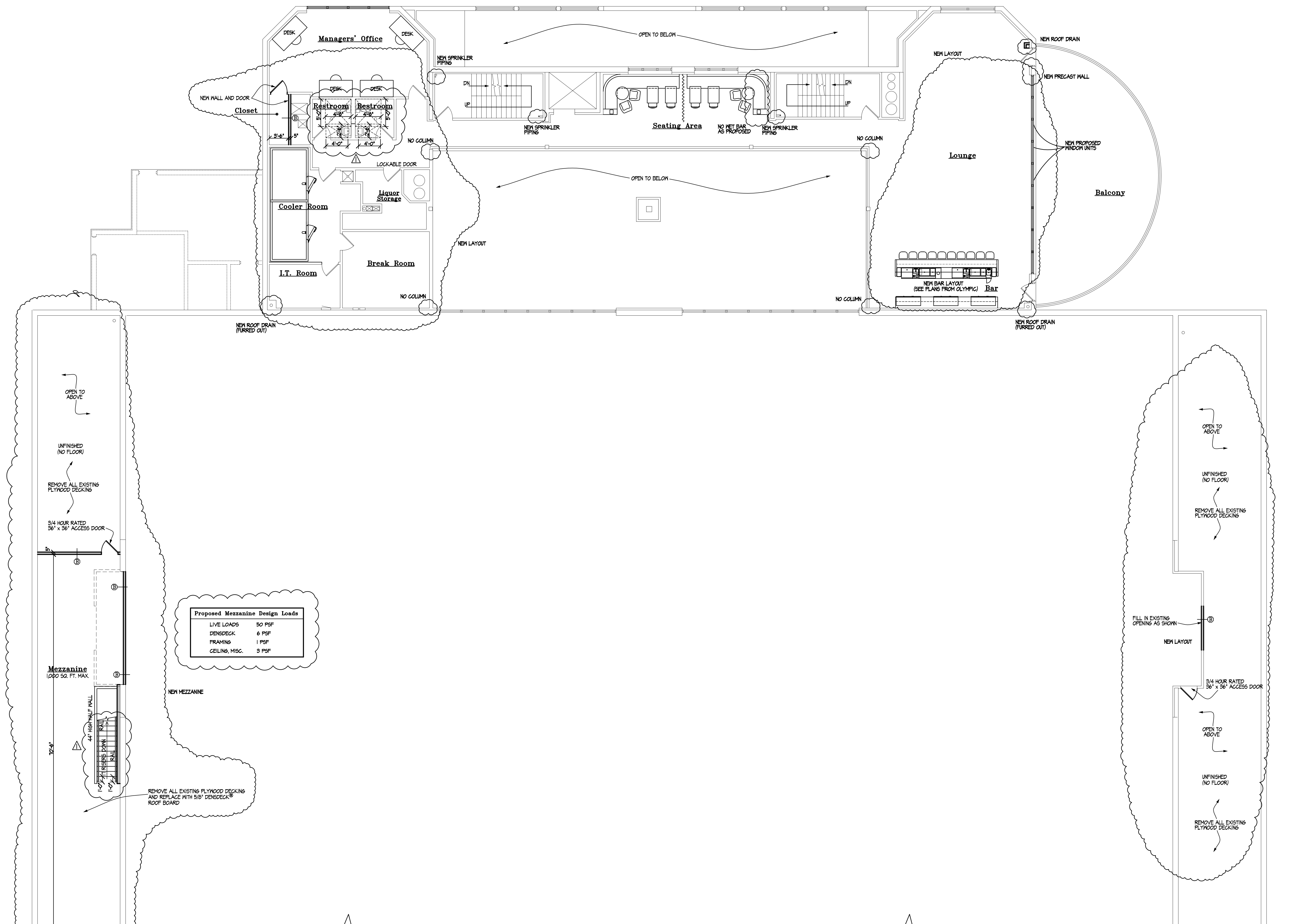
109 Ogden Avenue
Clarendon Hills
Illinois 60514

(630) 323-9604 (p)
(630) 323-9615 (f)

randy@
architectsbydesign.com

A rectangular title block with a double-line border. Inside, the text is arranged vertically: "SHEET NO:" at the top, "A-1" in the center, "1 OF 8 SHEETS" below that, and "COPYRIGHT © 2019 ARCHITECTS BY DESIGN, P.C." at the bottom.

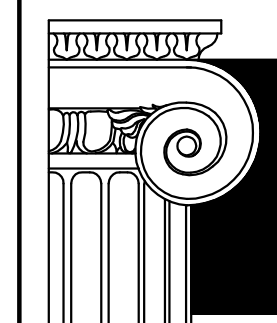




Second Floor Plan

Scale: 1/8"=1'-0"

Continued on Next Sheet



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randyk@
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Compass Arena

As-Built Drawings of :

625 Joliet Road
Millbrook, Illinois

File No: 19-2621 Date: 10-15-19

Checked: R.M.K. Drawn: M.J.H.

CODE	DATE	DESCRIPTION
11-2-14	11-2-14	CODE CHANGES
12-5-14	12-5-14	HEALTH DEPARTMENT
12-9-14	12-9-14	NETTING DIAGRAM
12-30	12-30	WALL TYPE

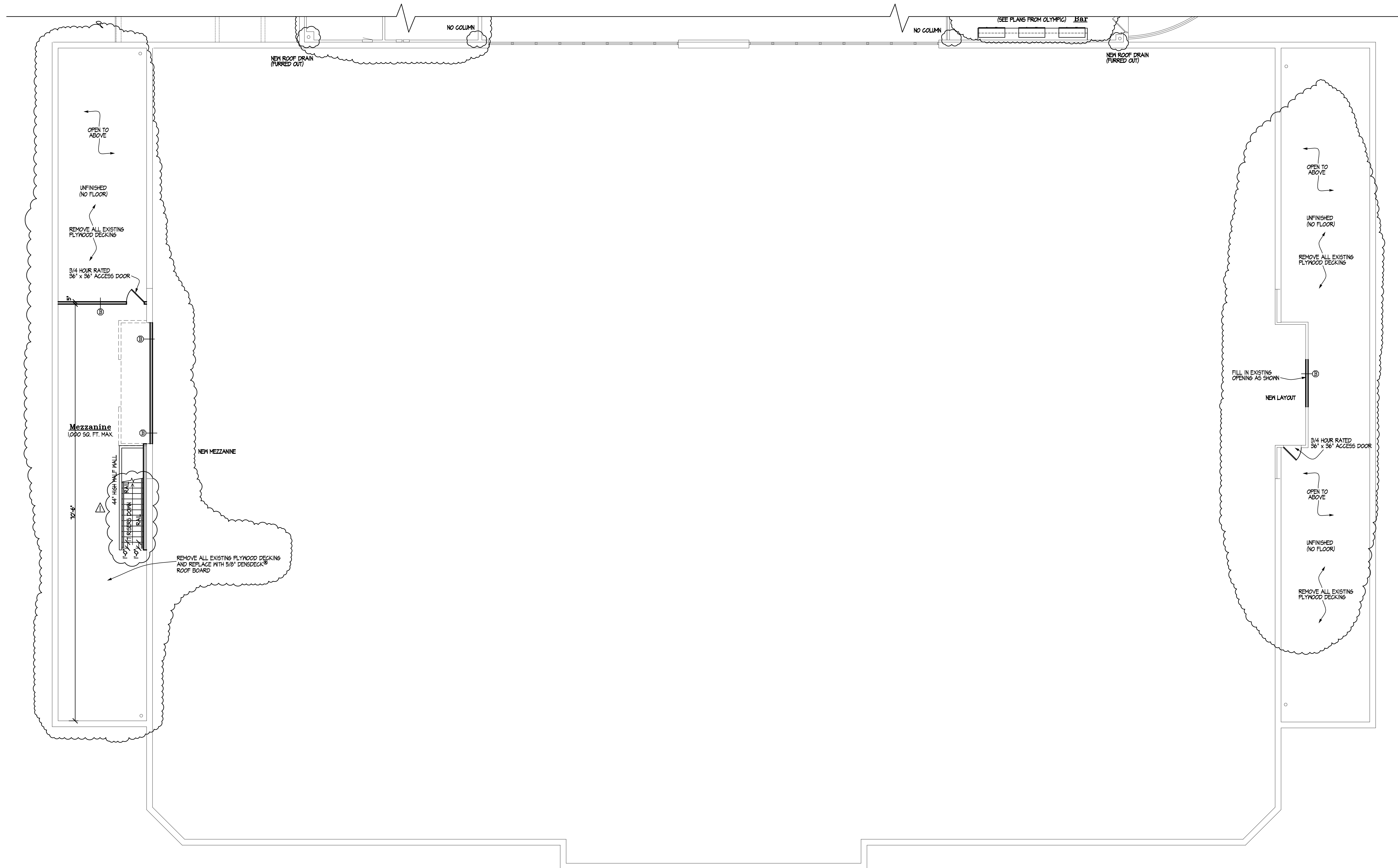
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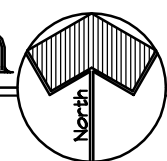
3 OF 8 SHEETS

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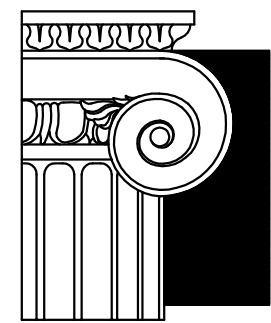


WALL LEGEND	
	NEW INTERIOR PARTITION WALL
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED

Second Floor Plan
Continued



Scale: 1/8"=1'-0"



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Clarendon Hills
Illinois 60514

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(830) 323-9615 (f)

randyk@
architectsbydesign.com

As-Built Drawings of :
Compass Arena
625 Joliet Road
Millbrook, Illinois

File No: 19-2621 Date: 10-15-19

Checked: R.M.K. Drawn: M.J.H.

CODE	CODE CHANGES	HEALTH DEPARTMENT
11-2-14	12-5-14	12-3-14
CODE	CODE	CODE
NETTING	NETTING	NETTING
WALL TYPE	WALL TYPE	WALL TYPE

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A-4
4 OF 8 SHEETS
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As-Built Drawings of : Compass Arena

625 Joliet Road
Willowbrook, Illinois

File No:	Date
19-262	10-15-9

Checked:	Drawn
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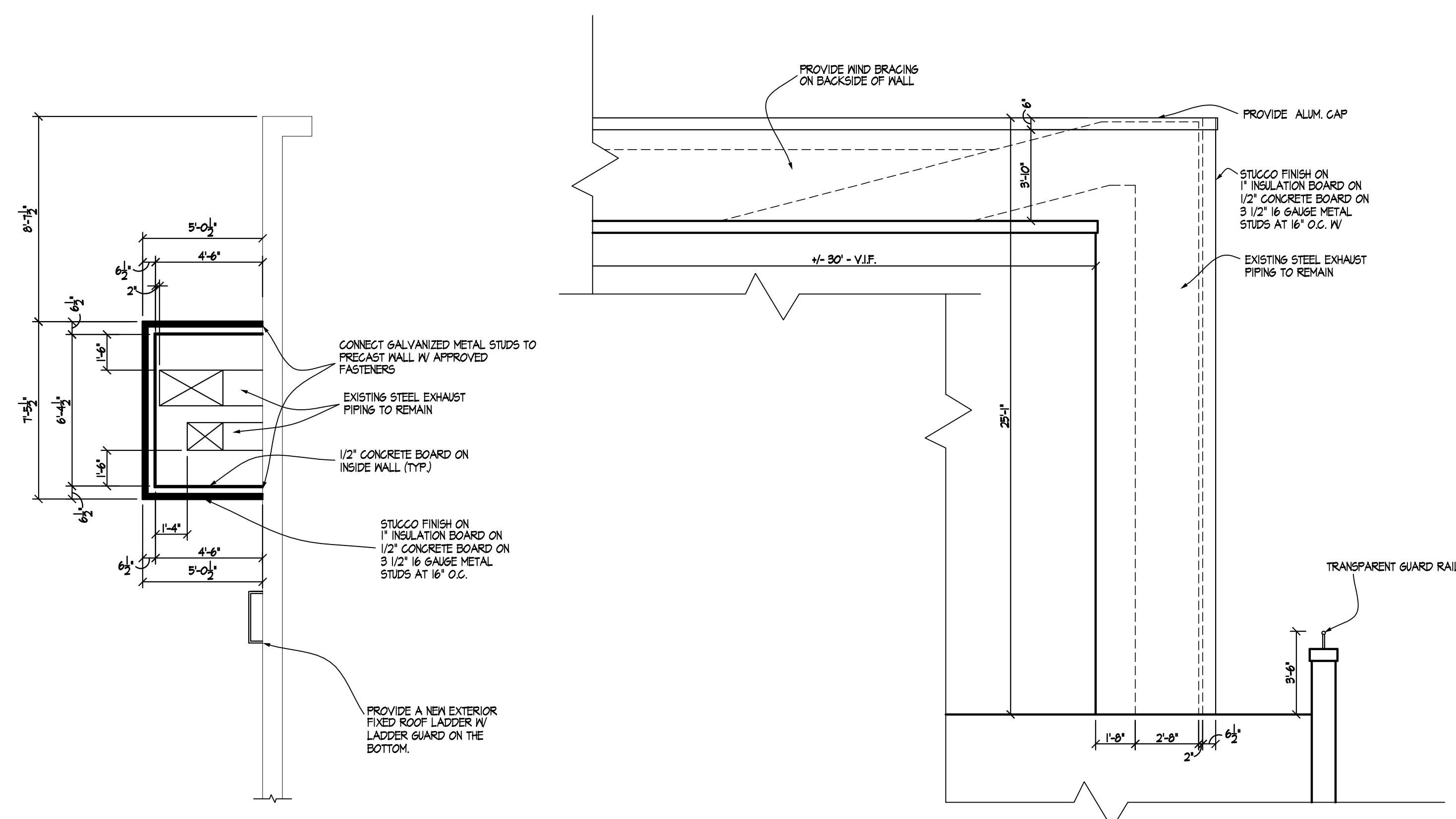
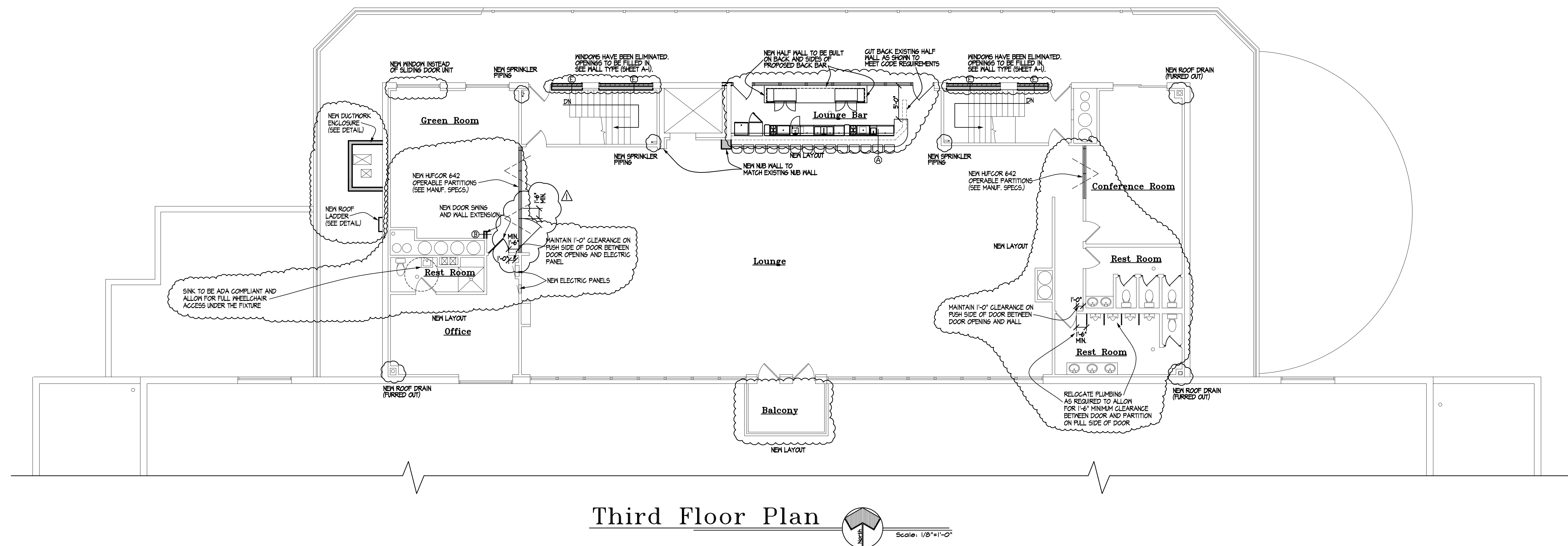
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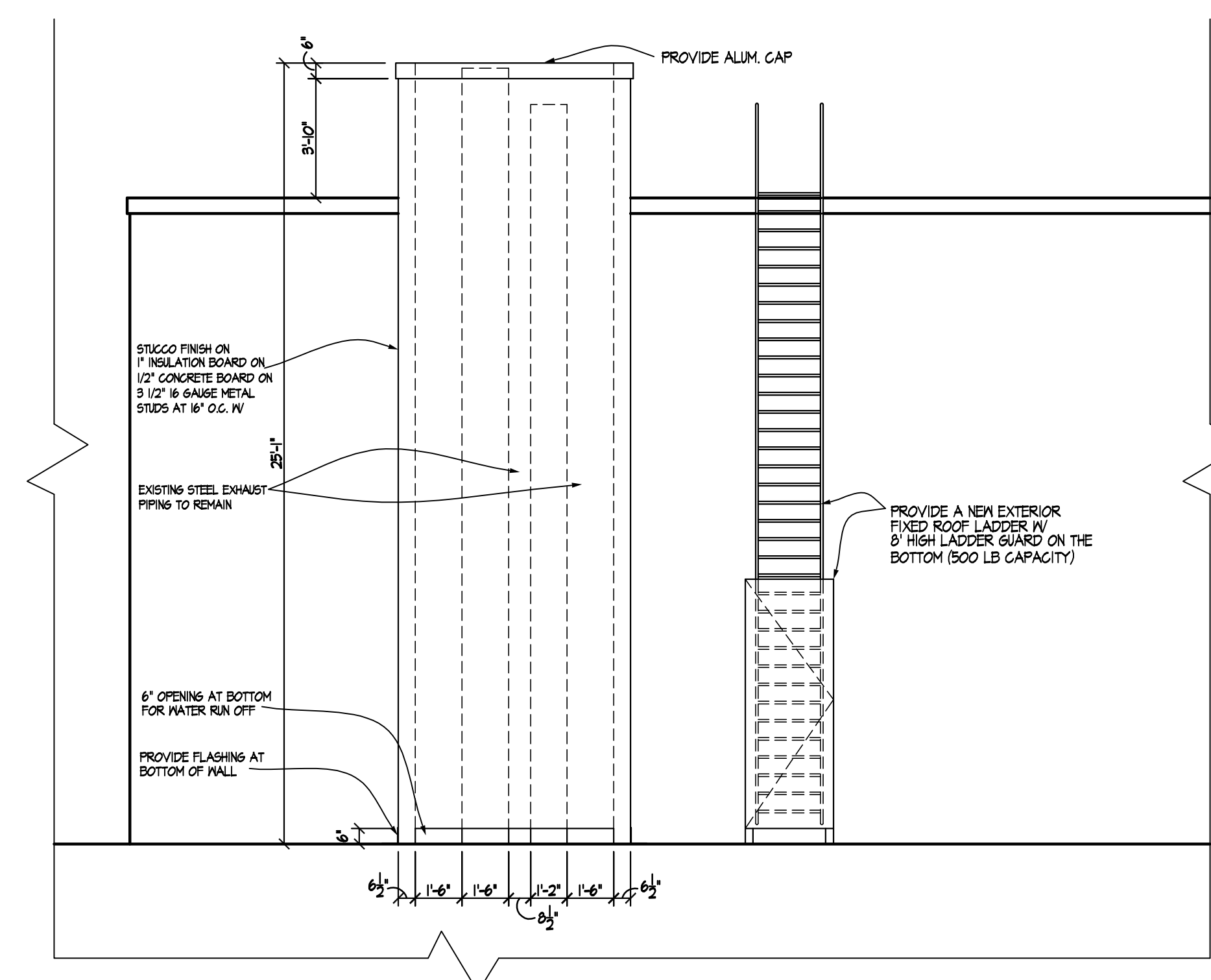
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5 OF 8 SHEETS

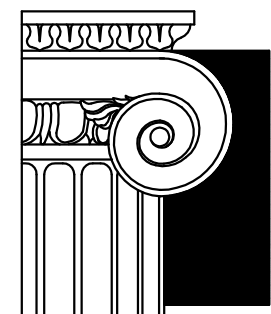
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Hood Ductwork Plan
Scale: 1/4" = 1'-0"



West Elevation of Hood Ductwork Screening Detail



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As-Built Drawings of :
Compass Arena

625 Joliet Road
Morton, Illinois

File No:
14-2621

Date:
10-15-14

Checked:
R.M.K.

Drawn:
M.J.H.

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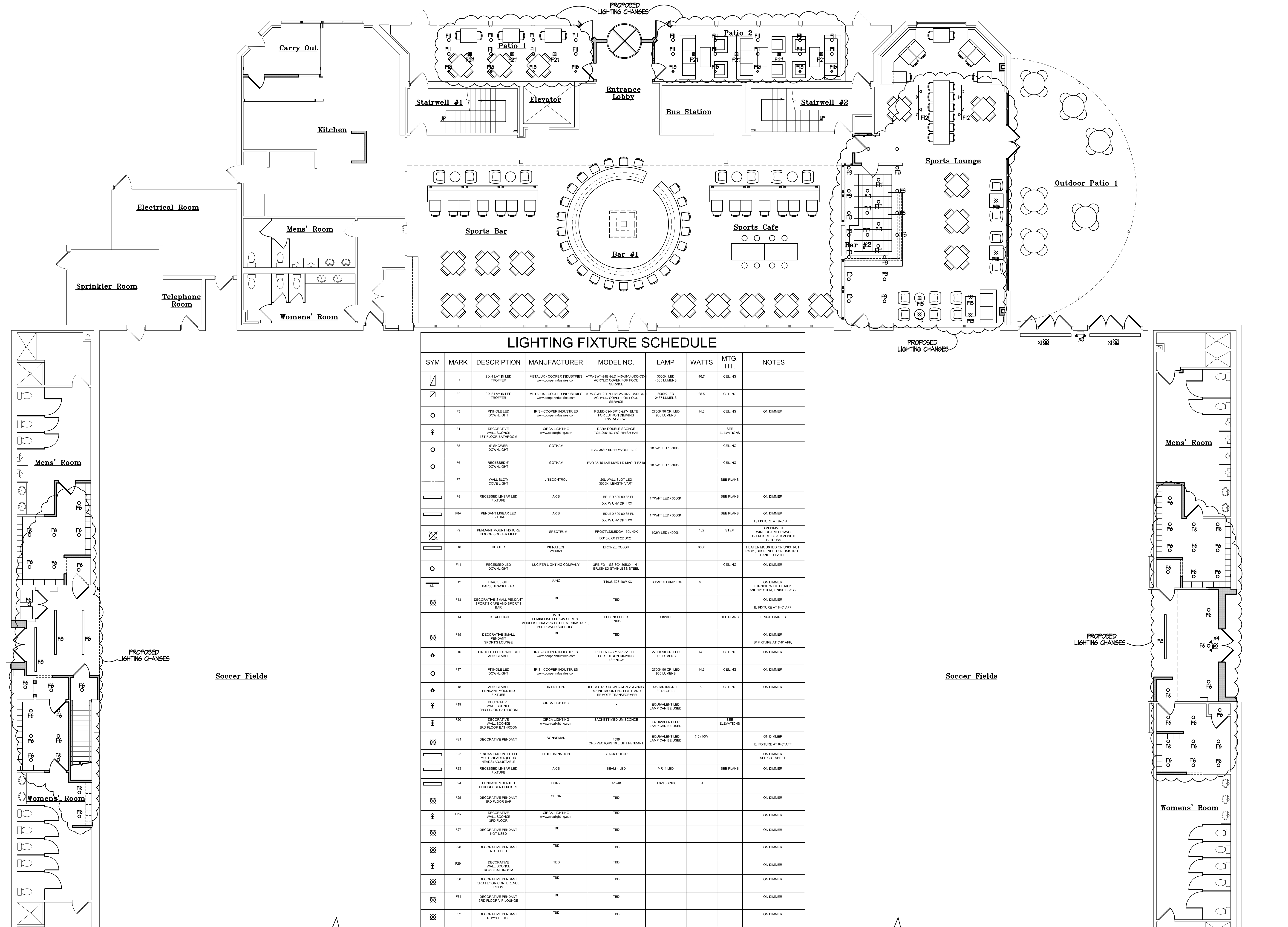
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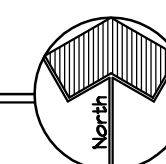
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LIGHT FIXTURE AND CEILING PATTERN CHANGES FROM THE ORIGINAL PLANS ARE SHOWN ON THESE PLANS. ANY LIGHT FIXTURES OR CEILING PATTERNS WHICH ARE TO REMAIN THE SAME HAVE NOT BEEN SHOWN.

First Floor Reflected Ceiling Plan



Scale: 1/8"=1'-0"



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Compass Arena

Willowbrook, Illinois

No:	Date:
2621	10-15-19

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L.K.	M.J.H.

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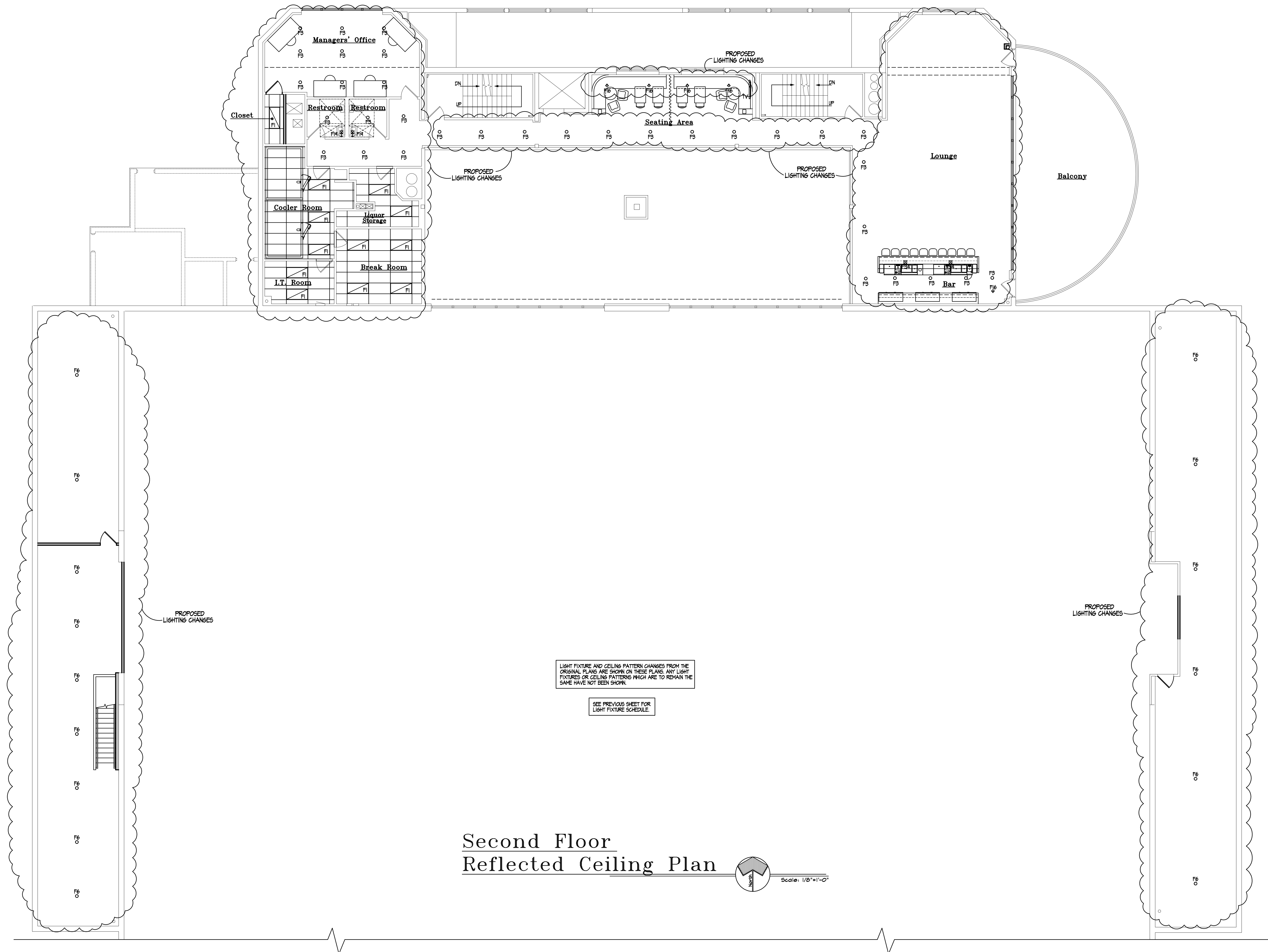
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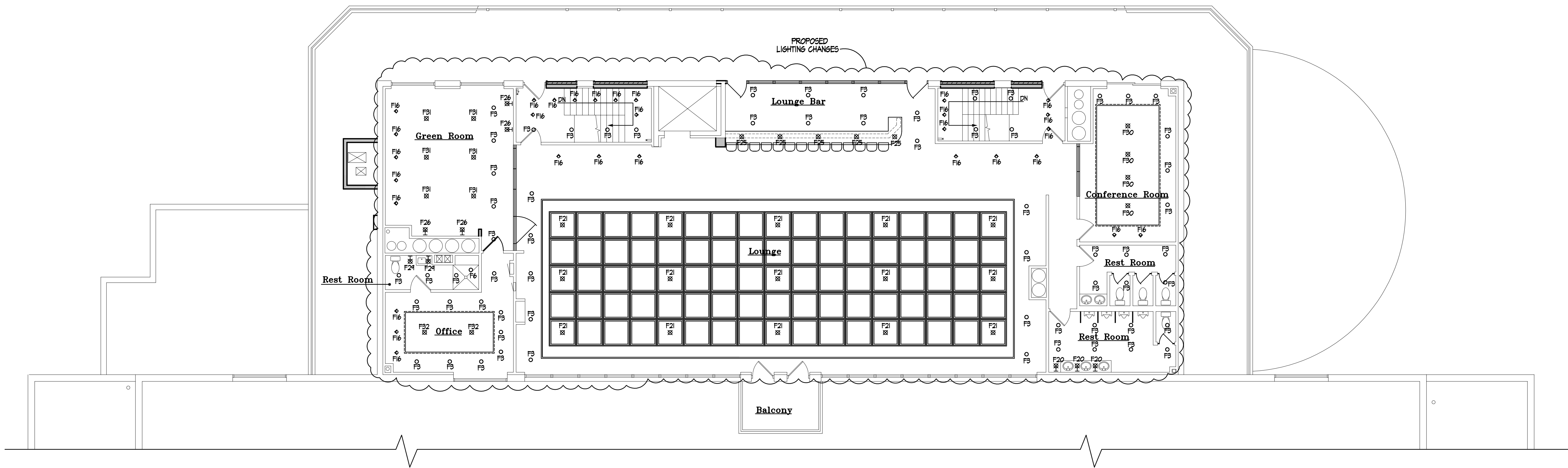
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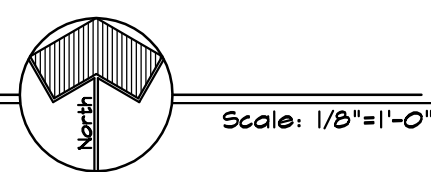
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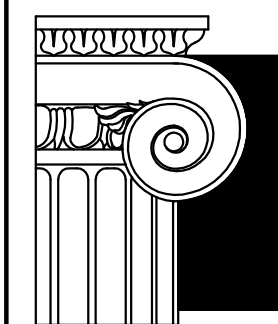


Third Floor
Reflected Ceiling Plan



LIGHT FIXTURE AND CEILING PATTERN CHANGES FROM THE ORIGINAL PLANS ARE SHOWN ON THESE PLANS. ANY LIGHT FIXTURES OR CEILING PATTERNS WHICH ARE TO REMAIN THE SAME HAVE NOT BEEN SHOWN.

SEE PREVIOUS SHEET FOR
LIGHT FIXTURE SCHEDULE.



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As-Built Drawings of :
Compass Arena

625 Joliet Road
Millbrook, Illinois

File No: 19-2621 Date: 10-15-19

Checked: R.M.K. Drawn: M.J.H.

CODE	11-02-14	CODE CHANGES
CODE	12-05-14	HEALTH DEPARTMENT
NETTING	12-03-14	NETTING DIAGRAM
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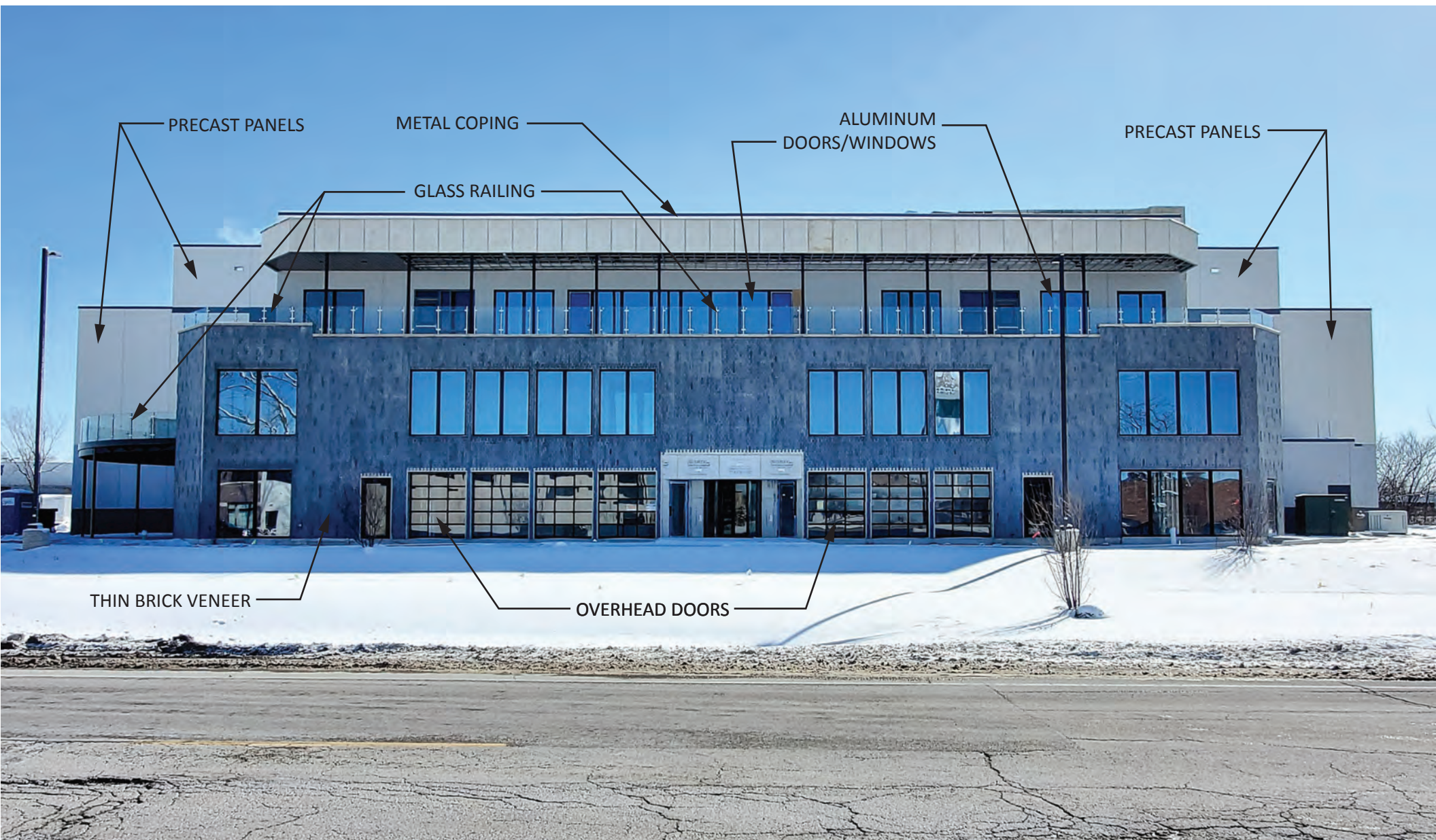
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8 OF 8 SHEETS

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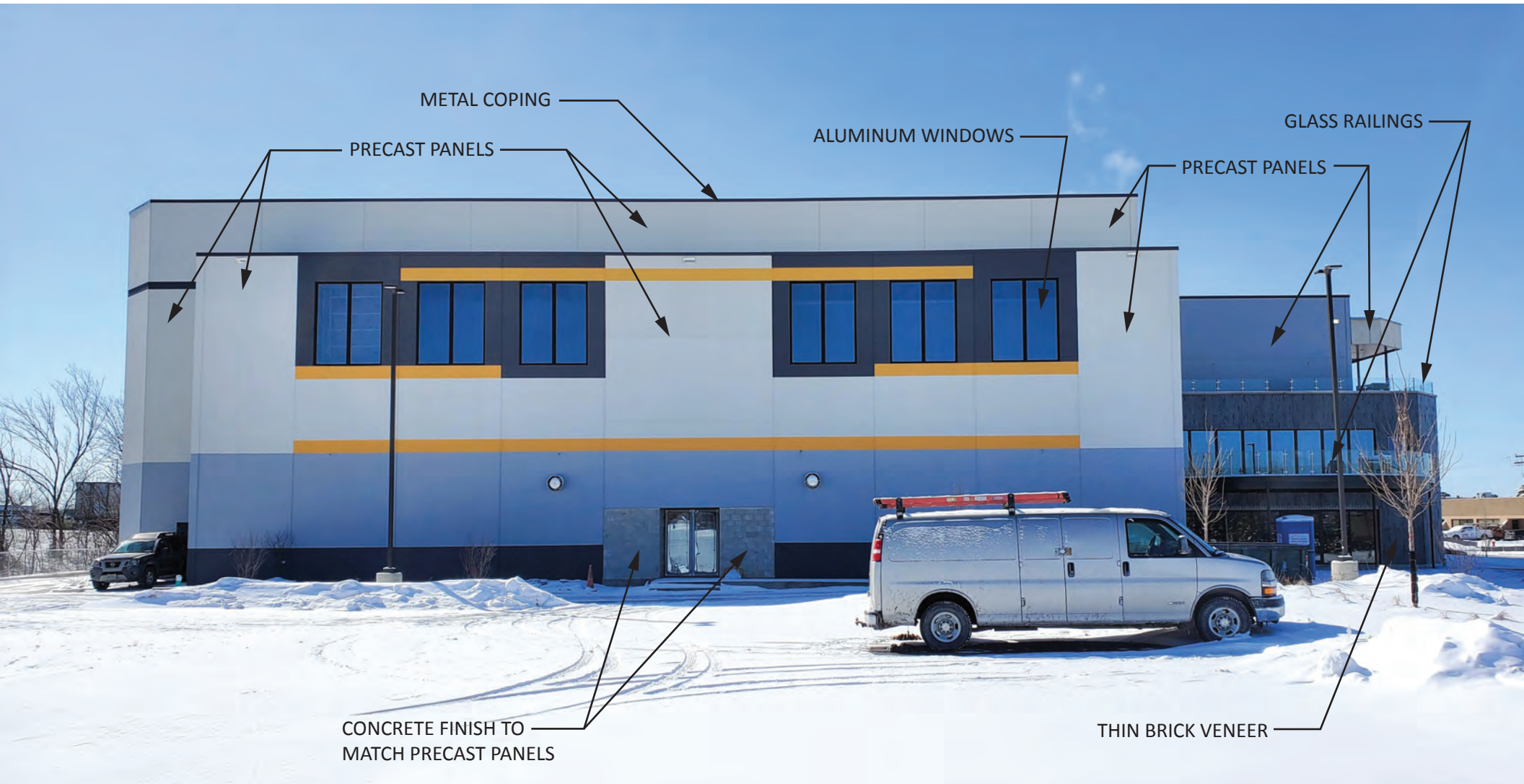
Attachment 6
Elevations (Site Photos 8 pages)



FRONT (NORTH) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



REAR (SOUTH) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



LEFT (EAST) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



RIGHT (WEST) ELEVATION
EXISTING CONDITIONS AS OF 2/13/2020



Attachment 7
Foundation As-Built Survey (1 Sheet)

OF LOT 2 IN BARTON SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 12, 2001 AS DOCUMENT NUMBER R2001-007978 AND RE-RECORDED MARCH 20, 2002 AS DOCUMENT NUMBER R2002-078679, IN DuPAGE COUNTY, ILLINOIS.

INGRESS & EGRESS EASEMENT PER DOCUMENT
R2001-007980 RECORDED JANUARY 12, 2001.
NOTE: THE GEOMETRICS OF THE EASEMENT SHOWN
APPROXIMATES THAT AREA WHICH IS CROSS-HATCHED
UPON THE SUBJECT PROPERTY AS SHOWN PER
"EXHIBIT C: SITE PLAN" OF THE ABOVE RECORDED
DOCUMENT. NO DIMENSIONS OF THE EASEMENT OR
ITS LOCATION REFERENCED TO THE BOUNDARY
LINES OF THE SUBJECT PROPERTY ARE SHOWN
UPON "EXHIBIT C: SITE PLAN" OF SAID
RECORDED DOCUMENT.

SOUTHEASTERLY RIGHT-OF-WAY LINE OF JOLIET
ROAD ACCORDING TO PLAT OF DEDICATION
RECORDED APRIL 18, 1940 IN BOOK 23 OF
PLATS ON PAGE 81 AS DOC. No. 409845

SITE BENCHMARK:
NEly BONNET BOLT
OF FIRE HYDRANT
ELEVATION = 714.14

LOT 2
3.657 Acres

FOUNDATION

NW 1/4 R-O-W LINE OF F.A.I. ROUTE 55 (AKA: F.A.I. 85)
 AS MONUMENTED & OCCUPIED ACCORDING TO CONDEMNATION
 CASE NO. 10-59 ENTERED NOVEMBER 10, 1959 IN THE
 COURT OF DUPAGE COUNTY

EAST LINE OF THAT PART CONVEYED TO
CAROLINE KAYSEN BY WARRANTY DEED
RECORDED JULY 15, 1925 AS DOCUMENT
196186, AS MONUMENTED

—SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26-38-11



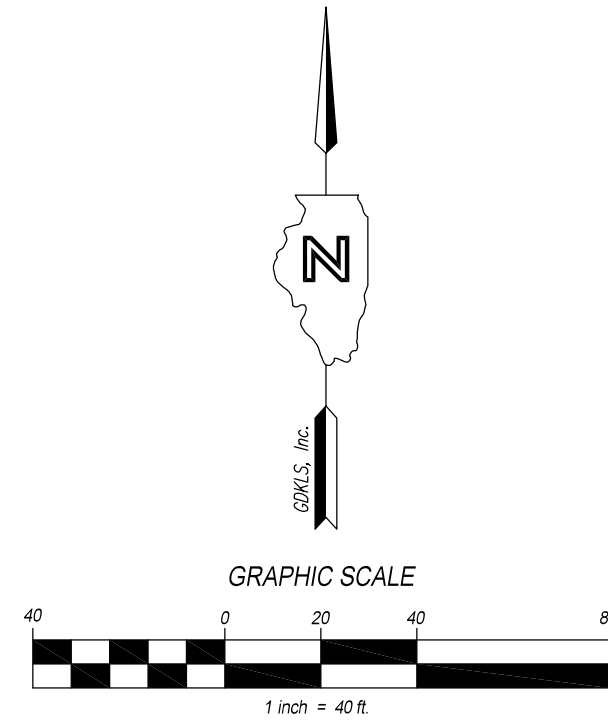
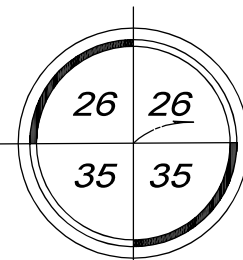
State of Illinois }
County of Will } S.S.

I, SEAN T. KRISCH, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

Given under my hand and seal at Plainfield, Illinois, this 22nd day of March A.D. 2018

Sean T. Kirsch Illinois Professional Land Surveyor No. 35-3082.
My License Expires November 30, 2018.

- Refer to deed or guarantee policy for building line restrictions and easements not shown on plat of survey.
- Compare description and points before building and report any apparent difference to the surveyor at once.
- This survey and plat of survey are void without our embossed surveyor seal shown hereon.
- No dimensions are to be assumed by scaling.

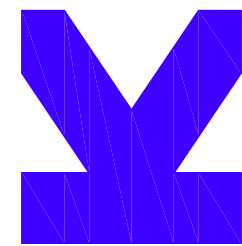
[illegible]

PREPARED FOR: COMPASS REAL ESTATE HOLDINGS, LLC
15W580 N. FRONTAGE ROAD
BURR RIDGE, IL 60527

PROJECT

PROJECT 16-085
CAD NAME 16-085_Spot.dwg
SCALE 1" = 40'
SHEET 1 of 1
DRAWN BY STK

KRISCH LAND SURVEYING LLC



P.O. Box 929 PLAINFIELD, IL 60544-0929
PHONE (630) 627-5589 / FAX (630) 627-5594
www.krischlandsurveying.com

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Attachment 8
Amended Final Plat of PUD (2 Sheets)

AMENDED
Final Plat Of
COMPASS ARENA PLANNED UNIT DEVELOPMENT

BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,
LYING SOUTH OF THE PUBLIC HIGHWAY KNOWN AS THE CHICAGO AND JOLIET ROAD LYING NORTH OF THE NORTHWESTERLY RIGHT-OF-WAY
LINE OF F.A.I. ROUTE 55, IN DuPAGE COUNTY, ILLINOIS.
P.I.N.: 09-26-401-005

INGRESS & EGRESS EASEMENT PER DOCUMENT
R2001-007980 RECORDED JANUARY 12, 2001.
NOTE: THE GEOMETRICS OF THE EASEMENT SHOWN
APPROXIMATES THAT AREA WHICH IS CROSS-HATCHED
UPON THE SUBJECT PROPERTY AS SHOWN PER
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DOCUMENT. NO DIMENSIONS OF THE EASEMENT OR
ITS LOCATION REFERENCED TO THE BOUNDARY
LINES OF THE SUBJECT PROPERTY ARE SHOWN
UPON "EXHIBIT C" SITE PLAN" OF SAID
RECORDED DOCUMENT.

SOUTHEASTERLY RIGHT-OF-WAY LINE OF JOLIET
ROAD ACCORDING TO PLAT OF DEDICATION
RECORDED APRIL 18, 1940 IN BOOK 23 OF
PLATS ON PAGE 81 AS DOC. No. 409845

S. QUINCY STREET
68' WIDE R.O.W.

JOLIET

ROAD

LOT 1
BARTON SUBDIVISION

LOT 2
3.657 Acres

Tall Precast Panel
Building
(Dimensions & Ties Taken to Outside Face of Precast Panels)
T/Fnd.=714.91

EAST LINE OF THAT PART CONVEYED TO
CAROLINE KAYSER BY WARRANTY DEED
RECORDED JULY 15, 1925 AS DOCUMENT
196186, AS MONUMENTED

10" Public Utility
Easement Herebefore Granted

15" Public Utility & Drainage Easement
(per Doc. R2002-078679)

NW 1/4 R-O-W LINE OF F.A.I. ROUTE 55 (A.K.A. F.A.I. 98)
AS MONUMENTED & OCCUPIED ACCORDING TO CONDEMNATION
CASE NO. 1710-58 ENTERED NOVEMBER 10, 1939 IN THE
COURT OF DU PAGE COUNTY

INTERSTATE ROUTE 55

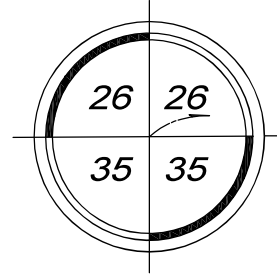
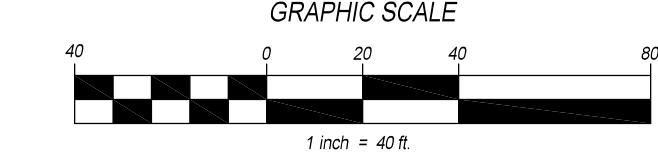
C/L OF F.A.I. ROUTE 55 (A.K.A. F.A.I. 98)
PER DOCUMENT NUMBERS 577022 & 523576

P.U.D. SITE DATA TABLE:

SITE:
LOT AREA = 159,324 S.F. (3.657 ACRES)
TOTAL BUILDING AREA = 38,350 S.F.
FLOOR AREA RATIO = 0.2407

TOTAL PARKING PROVIDED: 175 SPACES

SOUTH WEST CORNER	10	
EAST PL	11	
NORTH AISLE + H.C.	32	6
CENTER AISLE	56	
SOUTH AISLE	60	
TOTAL SPACES PROVIDED + H.C.	169	6



1527.67'(Deed)

SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26-38-11

No	Date	Revision Description	By
4.)	02.17.20	Amended P.U.D. Plat	STK
3.)	02.20.18	Add Municipal Easement Provisions	STK
2.)	01.30.18	Add Utility Easement to B-box Mail	STK
1.)	12.12.16	Per Village Review & Comment	STK

PREPARED FOR:
COMPASS REAL ESTATE HOLDINGS, LLC
19W580 N. FRONTAGE ROAD
BURR RIDGE, IL 60527

PROJECT
COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, IL 60527

PROJECT
16-085
CAD NAME
16-085_PUD.dwg
SCALE
1" = 40'
SHEET
1 of 2
DRAWN BY
STK

KRISCH LAND SURVEYING LLC
P.O. Box 929 PLAINFIELD, IL 60544-0929
PHONE (630) 627-5589 / FAX (630) 627-5594
IL PROFESSIONAL DESIGN FIRM LICENSE No. 184-006866
COPYRIGHT 2020
ALL RIGHTS RESERVED

KRISCH
LAND SURVEYING LLC



Attachment 9
Parking Grade As-Built Survey (1 Sheet)



Attachment 10
Site/Utility As-Built Survey (1 Sheet)



Attachment 11
Landscape Plan

(January 29, 2020 plant list)

PLANT LIST

ID QTY SIZE (AT INSTALLATION) DESCRIPTION

TREES

A 3 3" Accolade Elm (Ulmus 'Morton')
B 4 2 1/2" Marmo Maple (Acer freemanii)
C 3 2 1/2" Red Oak (Quercus rubra)
D 9 2 1/2" Greenspire Linden (Tilia cordata)
E 5 3" Parkway Norway Maple (Acer platanoides 'Parkway')

EVERGREEN TREES

F 27 8" American Arborvitae (Thuja occidentalis) Full skirt specimen trees only!
G 12 6" Dark Green Arborvitae (Thuja occidentalis 'Nigra')
H 16 7" Colorado Green Spruce (Picea pungens)
I 16 7" Norway Spruce (Picea abies)
No ID 37 6" Fairview Juniper (Juniperus scopulorum)

ORNAMENTAL TREES

J 4 6" Flame Amur Maple (Acer ginnala 'Flame')
K 8 7" Profusion Crabapple (Malus 'Profusion')
L 9 7" Zumi Crabapple (Malus 'Zumi')
M 1 7" Eastern Redbud (Cercis canadensis)
N 14 5" Prince William Serviceberry (Amelanchier x grandifolia 'Prince William')

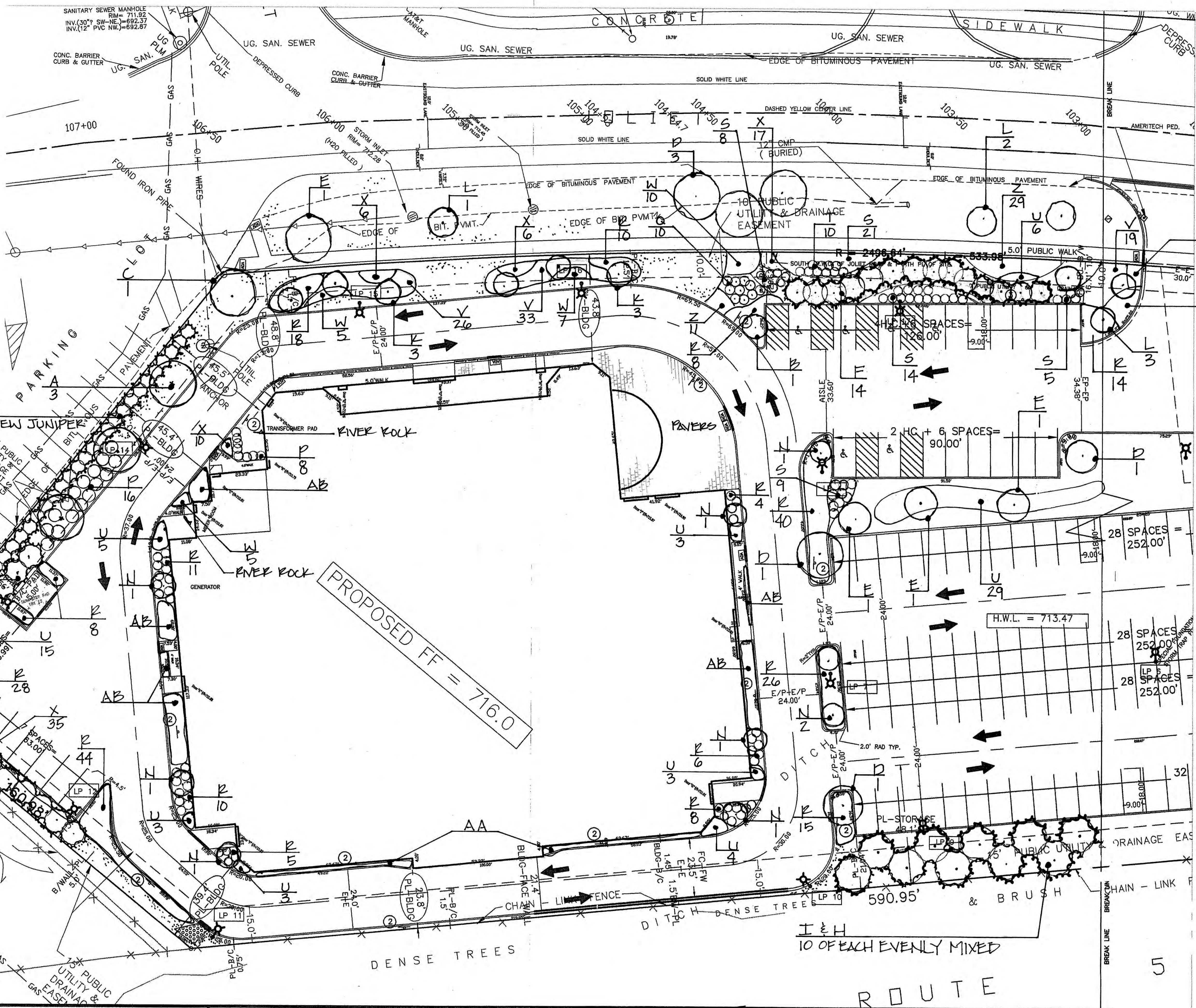
SHRUBS

O 5 36" (removed) Compact Burning-Bush (Eunonymus alatus 'Compacta')
P 24 4" Cheyenne Privet (Ligustrum vulgare 'Cheyenne')
Q 17 24" Dense Yew (Taxus x media 'Densiformis')
R 445 15" Gro-low Sumac (Rhus aromatic 'Gro-low')
S 62 3 gal. Red Knock Out Rose (Rosa 'Radrazz')
T 13 18" Annabelle Hydrangea (Hydrangea aborescens 'Annabelle')

PERENNIALS

U 77 1 gal. Feather Reed Grass (Calamagrostis x acutiflora 'Karl Foerster')
V 54 1 gal. (Between 50 and 100 additional grasses were delivered and planted per contractor. Exact locations in field unknown.)
W 56 1 gal. Fountain Grass (Pennisetum alopecuroides)
X 146 1 gal. Kit Cat Mint (Nepeta x faassenii)
Y 50 1 gal. even mix of Little Wine Cup and Happy Returns Daylily
Z 90 1 gal. Hemerocallis 'Little Wine Cup' and 'Happy Returns'
AA 1 qt. Russian Sage (Perovskia atriplicifolia)
AB 1 qt. Citronelle Alumroot (Huechera 'Citronelle')
SOD 1,300 sq. Ice Dance Sedge (Carex morrowii 'Ice Dance') - Plant 12" on center
830 sq. Lily Turf (Liriope spicata) - plant 12" o.c.

Restoration if required
General site



LANDSCAPE ARCHITECT:
Robert Fleck
218 N. Warwick Ave.
Westmont, IL 60559

LEGEND

○ = FOUND IRON PIPE (F.I.P.)
● = SET IRON PIPE
□ = CONCRETE MONUMENT
TF = TOP OF FOUNDATION
TO = TOP OF CURB
U. & D.E. = UTILITY AND DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
U.E. = UTILITY EASEMENT
XXX = EXISTING GRADES
XXX = PROPOSED GRADES

REVISIONS

18 REVISED ADA RAMPS AND SIDEWALK BUILDING 9-27-19
20 REVISED NO PARKING SIGNS PER FIRE DEPT. 12-23-19

COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL

FINAL LANDSCAPE PLAN
January 29, 2020







CLIENT:
COMPASS REAL ESTATE HOLDINGS LLC
15W580 N. FRONTAGE RD
BURR RIDGE ILLINOIS 60527
CONTACT: MARIO MAGLIANO
PHONE: 630-788-4934

PROJECT NO. 071014
DATE 07-10-14
SCALE 1" = 20'
DESIGNED BY
DRAWN BY
CHECKED BY

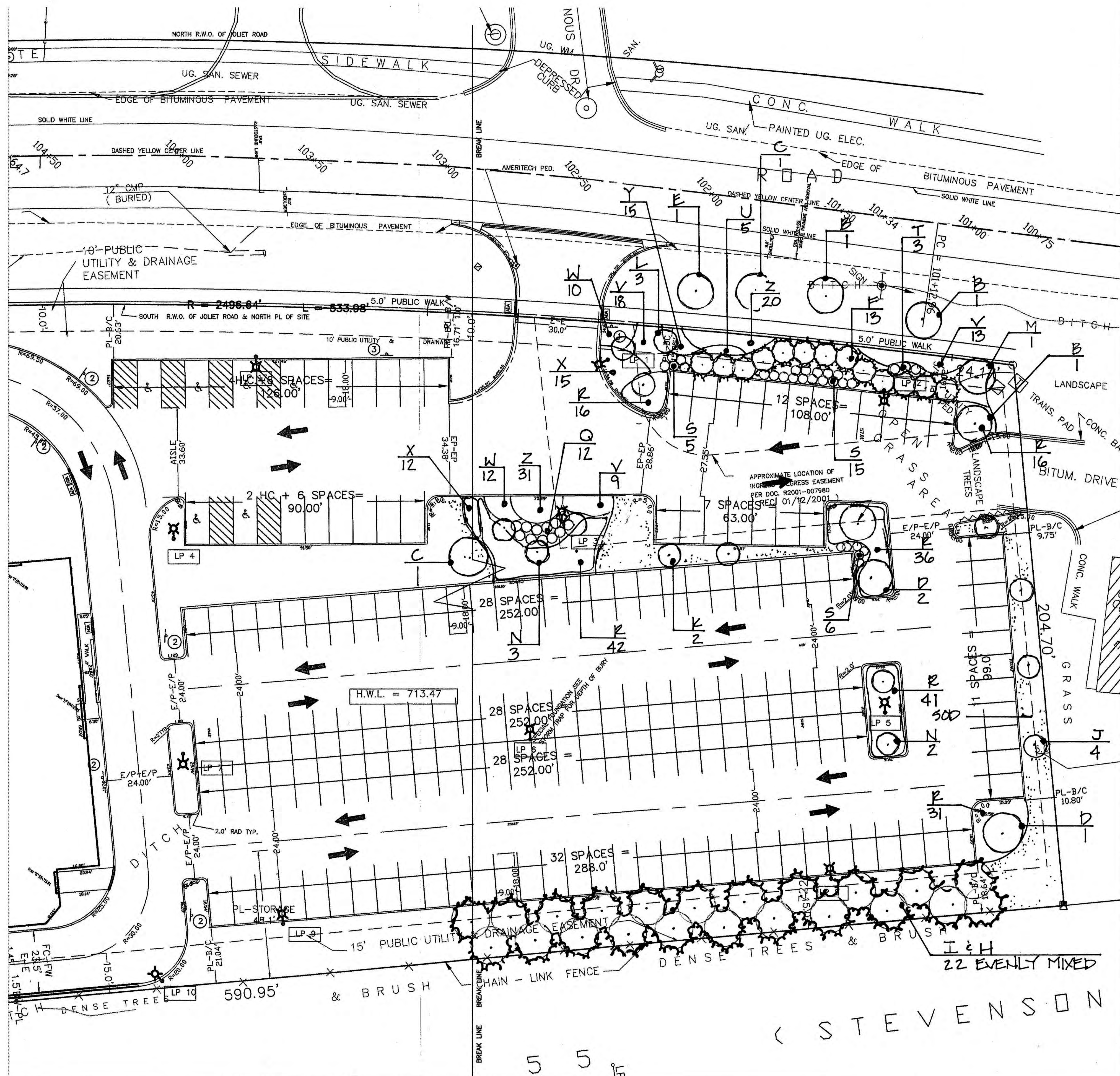
SHEET
1
OF
2



SIGNS

- 

 R1-1 STOP
- 

 R8-3 NO PARKING
12" X 18"
- 


PARKING PROVIDED 180 SPACES			
SOUTH WEST CORNER		10	
EAST PL		11	
NORTH AISLE	+ H.C.	31	6
CENTER AISLE		56	
SOUTH AISLE		60	
TOTAL SPACES PROVIDED	+ H.C.	168	6



LANDSCAPE ARCHITECT:
Robert Fleck
218 N. Warwick Ave.
Westmont, IL 60559

L E G E N D

- = FOUND IRON PIPE (F.I.P.)
 ● = SET IRON PIPE
 □ = CONCRETE MONUMENT
 TF = TOP OF FOUNDATION
 TC = TOP OF CURB
 U. & D.E. = UTILITY AND DRAINAGE EASEMENT
 P.U.E. = PUBLIC UTILITY EASEMENT
 U.E. = UTILITY EASEMENT
 XXX.XX = EXISTING GRADES
 XX.XX = PROPOSED GRADES

REVISIONS

[illegible]

COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL

FINAL LANDSCAPE PLAN

January 29, 2020

CLIENT:

COMPASS REAL ESTATE HOLDINGS LLC
15W580 N. FRONTAGE RAD
BURR RIDGE ILLINOIS 60527
CONTACT: MARIO MAGLIANO
PHONE: 630-788-4934

PROJECT NO.

DATE _____
SCALE 1" = 20'
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____

SHEET
2
OF
2



Attachment 12
Engineering Review Letter (2 pages)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

February 27, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: Compass Events Center
(CBBEL Project No. 900144 H131)

Dear Ann:

As requested on February 20, 2020, we have reviewed the following documents associated with the above project:

1. Amended Final Plat of Compass Arena Planned Unit Development prepared by Krisch Land Surveying, LLC and dated February 17, 2020
2. As-Built Survey for Compass Arena prepared by Krisch Land Surveying, LLC and dated February 18, 2020

It is our understanding that the need for the amended PUD is a result of the building being built in a different configuration than on the original PUD. The site engineering improvements are generally consistent with the original approval. It is our understanding that the Amended PUD Plat is based on actual construction as surveyed by Krisch Land Surveying. We would note that we have not reviewed the revised building or landscape plans (nor do we need to) nor have we reviewed any requests relative to building uses. Finally, please note that the review of the As-Built Survey was with respect to the minimum content required under the Village Code for PUD Plat and should not be considered an approval or acceptance of the as-built survey for construction or development security purposes.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Roy Giuntoli, Village of Willowbrook



Attachment 13
Construction Schedule (2 pages)

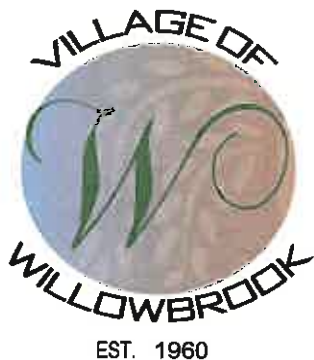
COMPASS ARENA – COMPLETED TASKS AND PROJECT SCHEDULE – As of January 24, 2020

1. ARCHITECTURAL, CIVIL ENG.,STRUCTURAL ENG.,MEP,LANDSCAPE DESIGN	COMPLETED
2. TRAFFIC STUDY, BUSINESS STUDY, TOPAL AND SURVEYING,SOIL TESTS	COMPLETED
3. EXCAVATION, SITE WORK	COMPLETED
4. STORM TRAP INSTALLATION	COMPLETED
5. FOOTINGS, FOUNDATION WALLS	COMPLETED
6. PRECAST BUILDING	COMPLETED
7. STEEL CONSTRUCTION	COMPLETED
8. FLAT WORK, CURBS, GUTTERS , CONCRETE TOPPINGS	COMPLETED
9. SEWER, WATER SERVICE, STORM	COMPLETED
10. STEEL STAIRS, RAILINGS	COMPLETED
11. ROOF	COMPLETED
12. RETAINING WALLS	COMPLETED
13. ROUGH STEEL FRAMING	COMPLETED
14. ROUGH PLUMBING	COMPLETED
15. ROUGH HVAC	COMPLETED
16. ROUGH ELECTRIC	COMPLETED
17. LOW VOLTAGE, ALARMS, CAMERAS WIRING	COMPLETED
18. FIRE ALARM PIPING/WIRING	COMPLETED
19. SPRINKLER SYSTEM	COMPLETED
20. ALL UTILITIES INSTALLED	COMPLETED
21. ALL GLAZING, RAILING SYSTEMS	COMPLETED

22. ALL EXTERIOR DOORS PROVIDED AND INSTALLED	COMPLETED
23. PARKING-ASPHALT,STRIPING	COMPLETED
24. LANDSCAPING	COMPLETED
<u>STARTING MARCH 2,2020</u>	
25. INSULATION , STARTING MARCH 2,2020 -	7 DAYS TO COMPLETE
26. DRYWALL INSTALATION , TAPING, MARCH 9,2020	21 DAYS TO COMPLETE
27. PRIMING, PAINTING WALLS – MARCH 30,2020	7 DAYS TO COMPLETE
28. FLOORING- TILING, CAPRETING VYNIL TILING.EPOXY – APRIL 6,2020	21 DAYS TO COMPLETE
29. CEILING INSTALLATION, 13 APRIL 2020	14 DAYS TO COMPLETE
30. PLUMBING TRIM OUT , APRIL 13,2020	21 DAYS TO COMPLETE
31. ELECTRICAL TRIM OUT, APRIL 6, 2020	21 DAYS TO COMPLETE
32. HVAC TRIM OUT, APRIL 6,2020	7 DAYS TO COMPLETE
33. LOW VOLTAGE ,CAMERAS, FIRE ALARM , SECURITY SYSTEM, TV'S INSTALLATION, APRIL 6 2020	21 DAYS TO COMPLETE
34. MILLWORK INTERIOR DOORS, QUARTZ TOPS INSTALLATION , WALL PAPER, APRIL 6,2020	21 DAYS TO COMPLETE
35. ARTIFICIAL TURF, NETS INSTALLATION , APRIL 6,2020	10 DAYS TO COMPLETE
36. KITCHEN EQUIPMENT, BAR EQUIPMENT INSTALLATION, APRIL 13,2020	7 DAYS TO COMPLETE
37. BATHROOM PARTITIONS, APRIL 20,2020	7 DAYS TO COMPLETE
38. FINAL CLEAN UP, APRIL 27,2020	7 DAYS TO COMPLETE
39. ALL FINAL INSPECTIONS, VILLAGE, FIRE DEPARTMENT, HEALTH DEPARTMENT ... MAY 4 ,2020	5 DAYS TO COMPLETE



Attachment 14
Planning Review Letter (2 pages)



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

February 27, 2020

Atten: Mario Magliano and Randy King

Re: **Compass PUD Amendment Planning Review**

Mr. Magliano and Mr. King,

Planning staff has reviewed the planning application and exhibits, submitted on February 20, 2020, for the Compass Arena and Event Center PUD Amendment on 625 Joliet Road in Willowbrook, IL 60527. The following documents have been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. "Foundation As-Built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on March 22, 2018.
2. "Amended Final Plat of Compass Arena Planned Unit Development" – 2 sheets (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and bearing the latest revision date of 02-17-2020.
3. "Parking Grade As-Built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020.
4. "Site/Utility As-built Survey" – 1 sheet (Project. No. 16-085), prepared by Krisch Land Surveying LLC, and signed by Sean T. Krisch on February 18, 2020.
5. "Architectural As-built Drawings" – 8 sheets (Sheets A-1 to A-8), prepared by Architects by Design, PC, and bearing the latest revision date of 01-02-2020.
6. "Site Photos of Constructed Building Elevations" – 4 pages.
7. "Landscape Plan" – 2 sheets (prepared by Robert Fleck, and dated January 29, 2020).
8. "Completed Tasks and Project Schedule" – 2 pages.

Staff offers the following comments:

Amended Final Plat of PUD

1. Restripe parking in the Amended Final Plat of PUD to provide a total of 177 parking spaces.
2. Revise the PUD Site Data Table to include the following correct information:

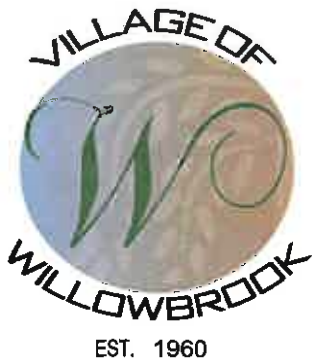
Total Building Area:	51,695 SF
Floor Area Ratio:	0.32
Total Parking Provided:	177 spaces
North Aisle + H.C.:	34 spaces + 6 (if this is the area to be restriped)
3. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".

Zoning Requests

Approval of an Amendment to a Special Use for a Planned Unit Development and Amendment to a Planned Unit Development to allow for major changes under Section 9-13-4(C)6(a): a greater than five percent (5%) increase in gross floor area, a greater than five percent (5%) decrease in landscape area, changes in the location of points of ingress or egress, changes in the types of permitted land use, changes in the approved development schedule, increases in the approved



Proud Member of the
Illinois Route 66 Scenic Byway



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

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Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

deviations) including certain relief, exceptions and waivers from Title 9 of the Village Code, and approval of an Amended Final Plat of PUD. The amendment to the special use permit and planned unit development will include, but is not limited to, the following waivers:

1. That Section 9-6C-3(E)1, Minimum Front Yard Setback, be varied to reduce the minimum front yard setback from sixty feet (60') to forty-three point seven four feet (43.74').
2. That Section 9-14-2(D)2(c)4, Border Plantings and Foundation Plantings, be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the south building façade, and from seven feet (7') to zero feet at the north and northeast building facades.
3. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

If you have any questions, you may contact me at planner@willowbrook.il.us or 630.920.2233.

Sincerely,

Ann Choi
Planning Consultant
Village of Willowbrook
WBK Engineering, LLC



Proud Member of the
Illinois Route 66 Scenic Byway



Attachment 15
Ordinance No. 17-O-02 (10 Sheets)

ORDINANCE NO. 17-O- 02

AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, INCLUDING APPROVAL OF A FINAL PLAT OF PUD, GRANTING CERTAIN WAIVERS FROM THE ZONING ORDINANCE, AND RELATED MATTERS - PC 16-07: 635 JOLIET ROAD - COMPASS EVENT CENTER AND ARENA

WHEREAS, on or about January 12, 2016, Willowbrook 2012 LLC, as applicant, filed an application with the Village of Willowbrook ("VILLAGE") with respect to the property legally described on Exhibit "A", attached hereto and incorporated herein by reference ("SUBJECT REALTY"). Said application requested that the Village grant a special use permit for a Final Planned Unit Development for the construction development and operation of a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment spaces on SUBJECT REALTY ("Project"), grant certain waivers from the requirements of the Zoning Ordinance of the Village, and authorize off-site improvements to adjoining Joliet Road, and related matters; and,

WHEREAS, Notice of Public Hearing on said application was published on or about April 27, 2016, in a newspaper having general circulation within the Village, to-wit, The Suburban Life newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about May 18, 2016, and on July 20, 2016, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the applicant presented testimony in support of said application for the Project and requested relief and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendations, including its Findings of Fact for the Project, in a report dated July 21, 2016 to the Mayor and Board of Trustees on or about July 25, 2016, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

WHEREAS, all other public hearings required by law have been conducted, in all respects conforming to law and pursuant to notice duly given in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Findings of Fact for the Project pursuant to 9-14-5.2 of the Village Code of the Village of Willowbrook made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION TWO: That passage of this Ordinance shall constitute approval of the Final Planned Unit Development, pursuant to the "Compass Area Planned Unit Development" plans, as prepared by Krisch Land Surveying LLC, consisting of two (2) sheets, with a latest revision date of December 12, 2016 for the Project and attached hereto as Exhibit "C".

SECTION THREE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY pursuant to Section 9-6C-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit a planned unit development strictly for the Project.

SECTION FOUR: That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted to strictly permit the Project:

- A. That Section 9-6C-3(E)1 "Minimum Front Yard Setback", be varied to reduce the minimum front yard setback from sixty feet (60') to forty-five point two six (45.26'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- B. That Section 9-6C-3(E)4 "Minimum Rear Yard Setback", be varied to reduce the minimum rear yard setback from forty feet (40') to twenty-four feet (24'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- C. That Section 9-6C-3(F) "Maximum Height", be varied to increase the maximum building height from thirty feet (30') to forty-nine point eight feet (49.8'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".

- D. That Section 9-6C-3(H) "Maximum Floor Area Ratio", be varied to increase the maximum floor area ratio from 0.3 to 0.33, per the "Compass Arena Architectural Plans", attached hereto as Exhibit "D".
- E. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the east property line from ten feet (10') to nine point seven five feet (9.75'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- F. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the rear yard parking lot setback from the south property line for the driveway pavement around the building from ten feet (10') to zero feet (0'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- G. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the front yard parking lot setback from the north property line for the driveway pavement around the building of the building from fifteen feet (15') to twelve point five feet (12.5'), per the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- H. That Section 9-10-5(G)3 "Interior Parking Lot Landscaping" be varied to reduce the amount of open space and number of interior parking lot landscape islands from one every 20 spaces in accordance with the "Compass Arena Final Engineering Plans", attached hereto as Exhibit "D".
- I. That Section 9-10-5(G)3 "Interior Parking Lot Landscaping" be varied to allow ornamental tree plantings instead of shade tree plantings for landscaped parking islands in accordance with the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".
- J. That Section 9-11-11(B)2 "Sign Location", be varied to allow building mounted sign to exceed a height of twenty feet (20') for the signage on the north and south elevations of the building, per the "Compass Arena Architectural Plans", attached hereto as Exhibit "D".
- K. That Section 9-14-2.23(B)3(d) "Border Plantings and Foundation Plantings" be varied to reduce the minimum foundation landscape area from seven feet (7') to two feet (2') at the north and south building facades, per the

"Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".

L. That Section 9-14-2.23(B)3(c) "Ornamental Trees" be varied to reduce the minimum ornamental tree requirements from forty-four (44) trees to thirty-five (35), per the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".

M. That the applicable landscape provision in Sections 9-6-1(D), 9-10-5(G), and 9-14-2.23 be varied pursuant to the "Compass Arena Final Landscape Development Plans", attached hereto as Exhibit "D".

SECTION FIVE: That the Mayor and Village Clerk are hereby authorized to execute the Planned Unit Development Agreement strictly for the Project in substantially the form attached hereto as Exhibit "E".

SECTION SIX: That the relief granted in Section Four of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained strictly for this Project in accordance with the following terms, conditions and provisions:

(A) Construction on the SUBJECT REALTY is subject to the issuance of building permits, which shall not be authorized by the Village until the Owner submits the following:

1. An executed Planned Unit Development Agreement in substantially the form attached hereto and incorporated herein as Exhibit "E", and tender the security required by such Agreement.
2. Executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs approved by the Village Engineer.

3. Prior to the issuance of any construction permits, the Owner shall submit an executed "Traffic Regulation Agreement", attached hereto as Exhibit "F" .
 4. Mylars of the Plat of PUD, including all signatures except Village Signatures.
- (B) The special use permit for the Final Planned Unit Development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use for the Final Planned Unit Development by the Village Board.
 - (C) Cigar Lounge use is not allowed.
 - (D) Delivery trucks and other vehicles along the driveway of the west side of the principal building may not be left idling at any time, and must leave the loading dock area immediately after loading and/or unloading is complete.
 - (E) Outdoor dining and restaurant seating is not allowed on the Subject Realty except where identified as "Outdoor Dining" on the "Compass Arena" architectural plans (as hereinafter defined).
 - (F) All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the SUBJECT REALTY, or such earlier time as is reasonably practical.
 - (G) Construction of any off-site improvements to the adjoining Joliet Road rights-of-way is subject to final written approval by the Illinois Department of Transportation and the Village of Willowbrook, payment of any related fees, and shall not be authorized by the Village until the Owner supplies the Village with an executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs for the off-site improvements, approved by the Village Engineer.
 - (H) The Owner shall obtain all necessary permits from IDOT prior to perform any work within the Joliet Road right of way.

- (I) Prior to the issuance of any temporary or final certificate of occupancy, Owner shall complete the improvements to the south side of Joliet Road along the frontage of the SUBJECT REALTY as shown in the "Compass Arena" engineering plans.
- (J) All public improvements in the Joliet Road rights-of way shall be installed by the Owner pursuant to the "Planned Unit Development Agreement", attached hereto as Exhibit "E", and are subject to Illinois Department of Transportation ("IDOT") inspection and approval.
- (K) Parking Lot Striping shall be completed as indicated on Exhibit "B" of the Traffic Regulation Agreement, attached hereto as Exhibit "F".
- (L) A permit is required from DuPage County Public Works for the sanitary sewer connection "prior to the Village issuing a building permit.
- (M) The design and construction of the potable water and fire suppression system shall be in conformance with Village Code.
- (N) Signed and sealed shop drawings for the parking lot light foundation over the underground detention vault must be submitted for review.
- (O) Signed and sealed shop drawings for the underground detention vault must be submitted for review.
- (P) Once the owner selects an electrical contractor for the project, complete parking lot light catalog cuts and photometric analysis must be submitted for review.
- (Q) Signed and sealed design drawings must be submitted for review for all retaining walls.
- (R) A separate sign permit shall be obtained for the signage on the north and south building elevations pursuant to the Village Code.
- (S) That all construction, use, development and maintenance related to the Compass Event Center & Arena Development Project be in strict accordance with the evidence, testimony and documents provided, however, that to the extent there is any conflict between such documents and

the terms and provisions in this Ordinance, the most restrictive provision shall apply.

SECTION SEVEN: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 23rd day of January, 2017.



ATTEST:

Leroy R. Hansen
Village Clerk

APPROVED:

Frank A. Tuth
Mayor

ROLL CALL VOTE:

AYES: Benglund, Davi, Kelly, Mistele, Neal, Oggersuo

NAYS: 0

ABSTENTIONS: 0

ABSENT: 0

Final Plat Of
COMPASS ARENA PLANNED UNIT DEVELOPMENT

BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,
LYING SOUTH OF THE PUBLIC HIGHWAY KNOWN AS THE CHICAGO AND JOLIET ROAD LYING NORTH OF THE NORTHWESTERLY RIGHT-OF-WAY
LINE OF F.A.I. ROUTE 55, IN DuPAGE COUNTY, ILLINOIS.
P.I.N.: 09-26-401-005

INGRESS & EGRESS EASEMENT PER DOCUMENT
R2001-007980 RECORDED JANUARY 12, 2001.
NOTE: THE GEOMETRICS OF THE EASEMENT SHOWN
APPROXIMATES THAT AREA WHICH IS CROSS-HATCHED
UPON THE SUBJECT PROPERTY AS SHOWN PER
"EXHIBIT C: SITE PLAN" OF THE ABOVE RECORDED
DOCUMENT. NO DIMENSIONS OF THE EASEMENT OR
ITS LOCATION REFERENCED TO THE BOUNDARY
LINES OF THE SUBJECT PROPERTY ARE SHOWN
UPON "EXHIBIT C" SITE PLAN" OF SAID
RECORDED DOCUMENT.

SOUTHEASTERLY RIGHT-OF-WAY LINE OF JOLIET
ROAD ACCORDING TO PLAT OF DEDICATION
RECORDED APRIL 18, 1940 IN BOOK 23 OF
PLATS ON PAGE 81 AS DOC. No. 409845

S. QUINCY STREET
66' WIDE R.O.W.

JOLIET

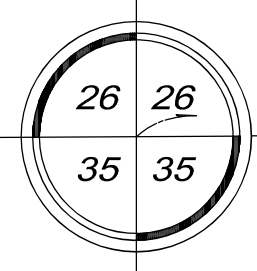
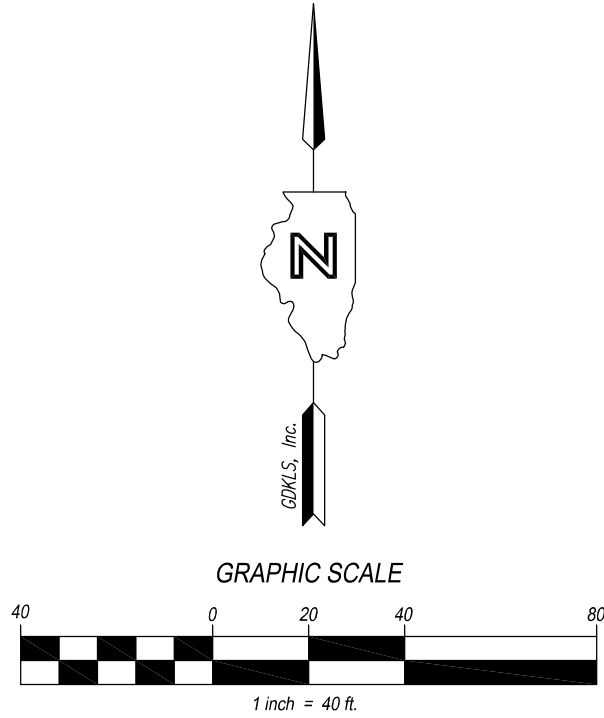
LOT 2
3.657 Acres

PROPOSED BUILDING

ROAD

LOT 1
BARTON SUBDIVISION

INTERSTATE ROUTE 55



1527.67'(Deed)

SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26-38-11

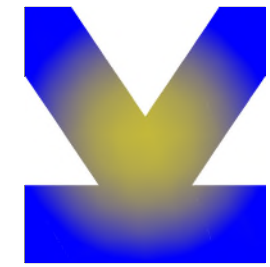
P.U.D. SITE DATA TABLE:

SITE:
LOT AREA = 159,324 S.F. (3.657 ACRES)
TOTAL BUILDING AREA = 25,900 S.F.
FLOOR AREA RATIO = 0.225

PARKING PROVIDED 180 SPACES.

SOUTH WEST CORNER	10	
EAST PL	11	
NORTH AISLE + H.C.	31	6
CENTER AISLE	56	
SOUTH AISLE	60	
TOTAL SPACES PROVIDED + H.C.	168	6

KRISCH LAND SURVEYING LLC



P.O. Box 929 PLAINFIELD, IL 60544-0929
PHONE (630) 627-5689 / FAX (630) 627-5694
FAX (630) 627-5694
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No.	Date	Per Village Review & Comment	Revision Description	By:
1.)	12.12.16			STK

PREPARED FOR:
COMPASS REAL ESTATE HOLDINGS, LLC
19W580 N. FRONTAGE ROAD
BURR RIDGE, IL 60527

PROJECT
COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, IL 60527

PROJECT
16-085
CAD NAME
16-085_PUD.dwg
SCALE
1" = 40'
SHEET
1 of 2
DRAWN BY
STK

GENERAL NOTES

- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL INSPECT THE CONSTRUCTION SITE IN ITS ENTIRETY AND NOTE ALL SITE RESTRICTIONS AND CONDITIONS.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ORDERING, FABRICATING OR COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- DO NOT SCALE DRAWINGS, VERIFY DIMENSIONING
 - ALL WORK TO BE PERFORMED PER ALL WILLOWBROOK, IL BUILDING CODE AND CURRENT REVISIONS OR ADDITIONS.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED IN AN APPROPRIATE MANNER.
- ALL FINISHES TO BE CLASS 1 FSR.
- ALL EXIT DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS.
- ALL GLASS IN DOORS, SIDELITES, GLAZED PANELS & SKYLIGHTS TO BE TEMPERED SAFETY GLAZING.

SD
● SMOKE DETECTOR

GENERAL SCOPE OF WORK

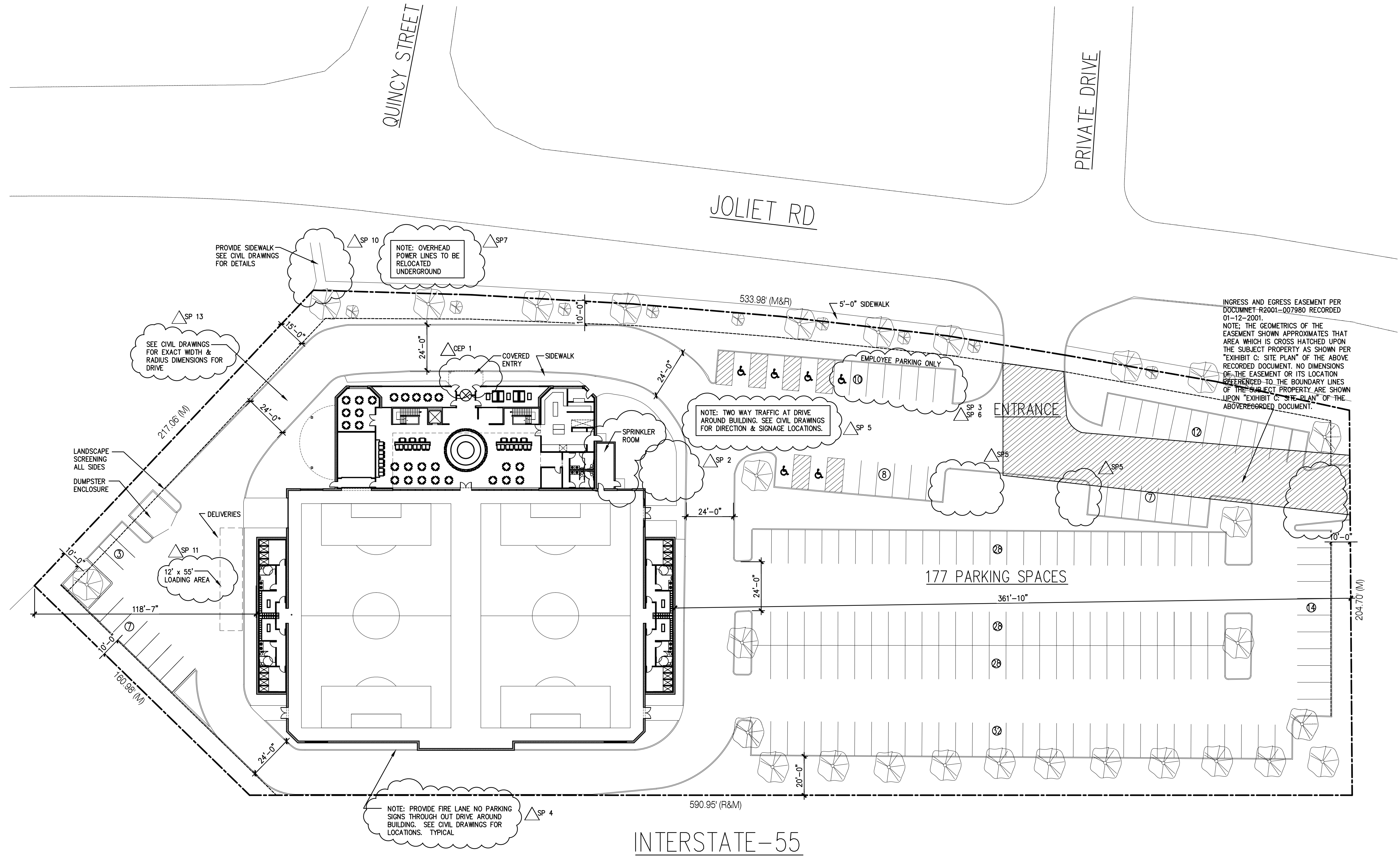
- NEW CONSTRUCTION OF RECREATIONAL FACILITY WITH ATTACHED RESTAURANT AND PER PLANS.

- SQ. FOOTAGE:
TOTAL: 44,892
1ST FLOOR: 36,218
MEZZANINE: 3,280
2ND FLOOR: 5,394

COMPASS ARENA
635 JOLIET ROAD
WILLOWBROOK, ILLINOIS

PARKING CALCULATION PER WILLOWBROOK ZONING CODE			
SPACE	S.F.	CALCULATION	REQ'D SPACES
FIRST FLOOR:			
BAR & RESTAURANT	3952	1 SPACE PER 100 S.F.	39.52
KITCHEN/CARRY OUT	1183	1 SPACE PER 100 S.F.	11.83
STORAGE	660	-	NA
PRIVATE DINING	542	1 SPACE PER 100 S.F.	5.42
OUTDOOR DINING	860	1 SPACE PER 100 S.F.	8.6
STORAGE MEZZANINE	1654	-	NA
GOLF MEZZANINE	1571	1 SPACE PER 3 PERSONS (a)	5.3
SECOND FLOOR:			
SOCCER FIELD	23824	1 SPACE PER 3 PERSONS (b)	8
SOCCER SEATING	2480	1 SPACE PER 3 SEATS (c)	8
MENS LOCKER RM	1344	"DESIGN CAPACITY" / 3	10.66
WOMENS LOCKER RM	1344	"DESIGN CAPACITY" / 3	10.66
TOTAL SPACE REQUIRED			
			154.89
TOTAL SPACE PROPOSED			
			177

- NOTE: ALL S.F. AREA'S ARE GROSS W/ THE EXCLUSION OF ONLY THE STAIR CORES AND ELEVATOR
- FOOT NOTES:
- (a) OCCUPANCY BASED 4 GOLF SIMULATORS WITH 4 USERS EACH CREATING AN OCCUPANCY OF 16 PATRONS
- (b) OCCUPANCY BASED 12 PLAYERS PER FIELD CREATING AN OCCUPANCY OF 24 PATRONS
- (c) OCCUPANCY BASED 12 VIEWERS FOR EACH FIELD CREATING AN OCCUPANCY OF 24 PATRONS
- (d) OCCUPANCY BASED 2 GOLF SIMULATORS WITH 4 USERS EACH CREATING AN OCCUPANCY OF 8 PATRONS



ARCHITECTURAL SITE PLAN

1"=30'

LANDSCAPE NOTE: LANDSCAPING SHOWN IS REPRESENTATIONAL ONLY. SEE LANDSCAPE PLAN FOR ACCURATE LANDSCAPE DESIGN.

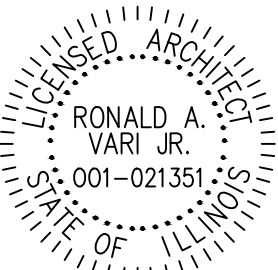
INDEX OF DRAWINGS

SHT.	DESCRIPTION
T	SITE PLAN, SCHEDULES, & GENERAL NOTES
A1.1	FIRST FLOOR RESTAURANT PLAN & MEZZANINE PLAN
A1.2	SECOND FLOOR RESTAURANT PLAN
A1.3	1ST FLOOR SOCCER FACILITY PLAN
A2.1	NORTH ELEVATION & SOUTH ELEVATION
A2.2	EAST ELEVATION & WEST ELEVATION
A2.3	SIGNAGE DETAILS

THIS IS TO CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE APPLICABLE CODES OF WILLOWBROOK, ILLINOIS.

Ronald A. VARI JR.

EXPIRES NOV. 30, 2016



date	1-11-16
drawn by	
job no.	
revisions	
3-25-16	
5-16-16	
8-16-16	
scale	

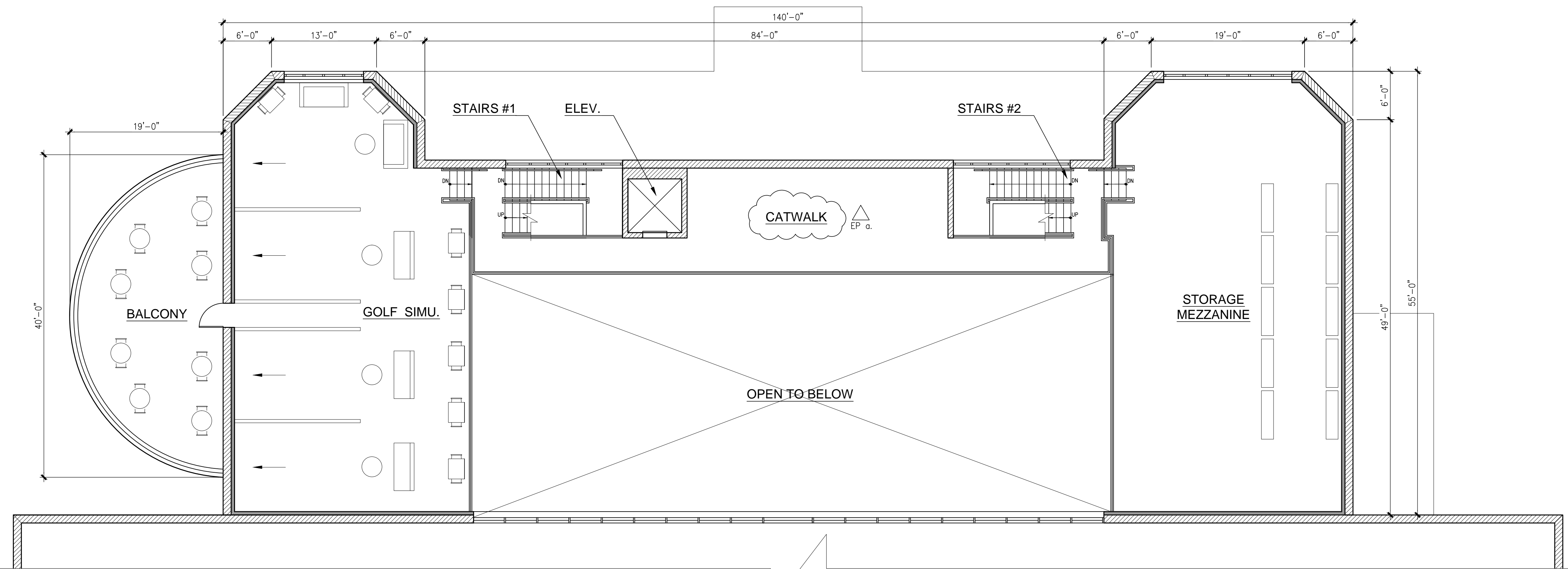
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WILLOWBROOK, ILLINOIS

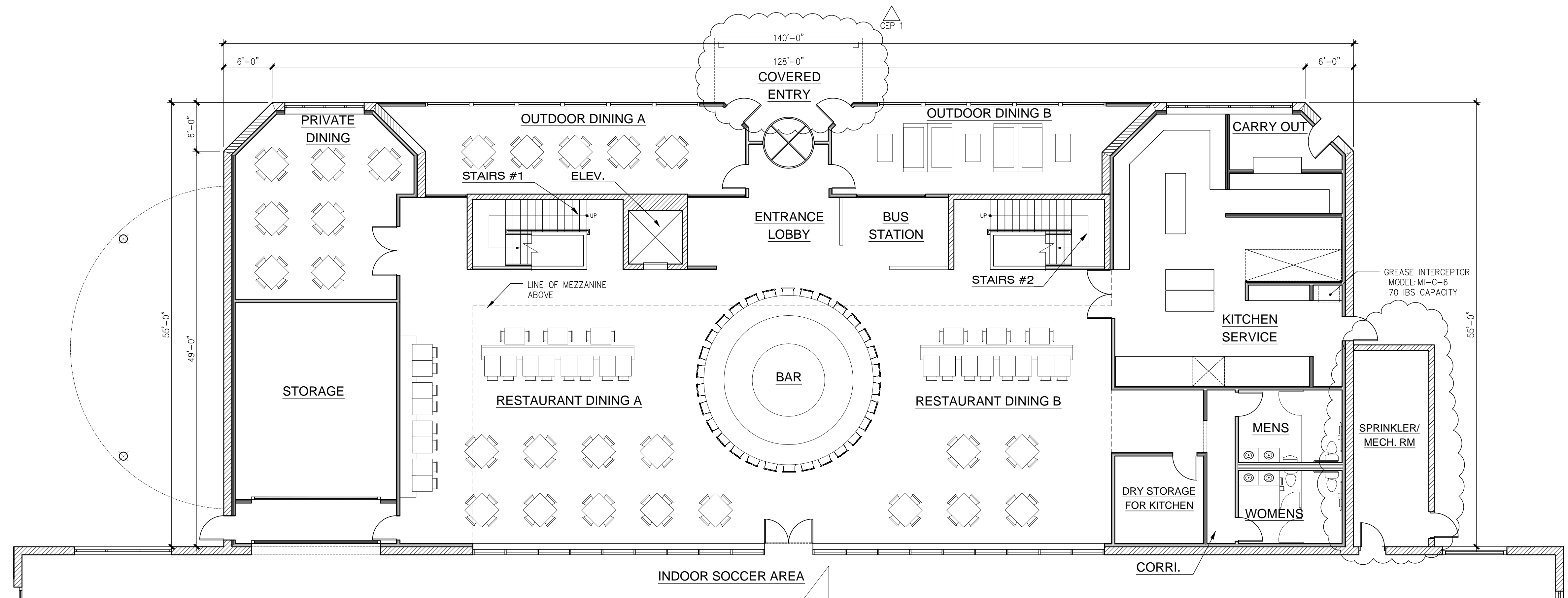
AND ASSOCIATES
CELL 312.735.0401
OAKBROOK, IL 60523

R. VARI
708.354.4005 OFFICE
1100 JOIRE BLVD. SUITE 260

T
sheet



FIRST FLOOR MEZZANINE PLAN
1/8" = 1'-0"



PARTIAL FIRST FLOOR RESTAURANT PLAN
1/8" = 1'-0"

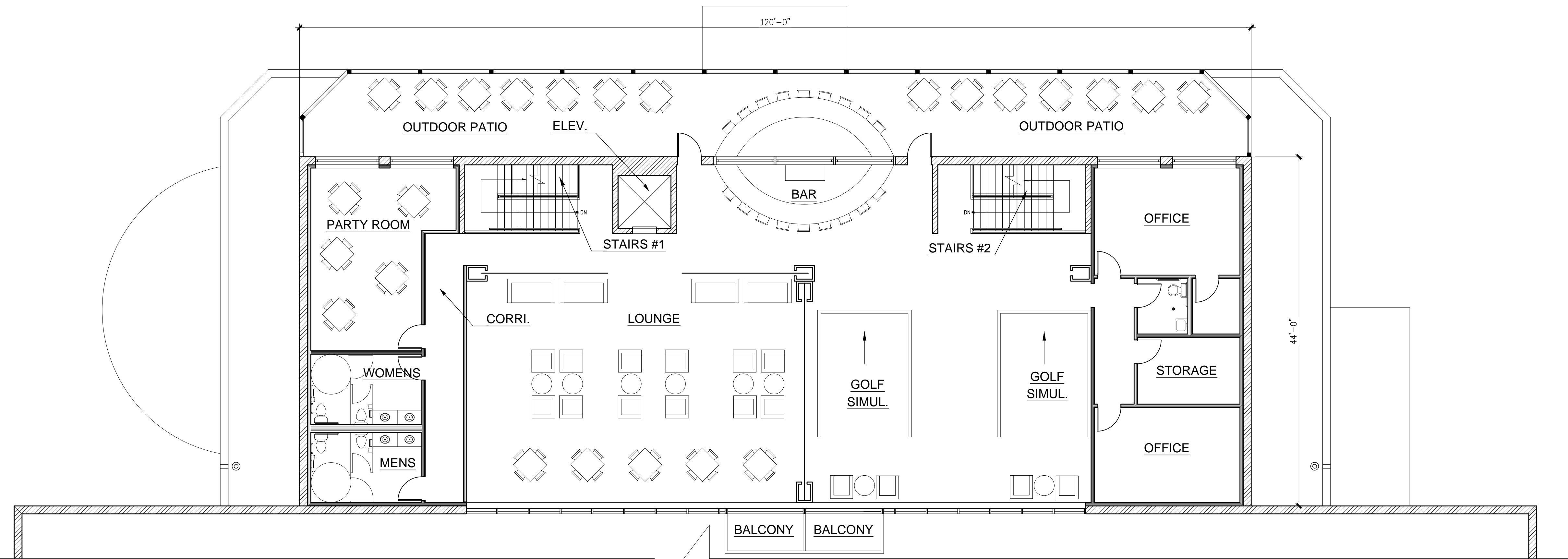
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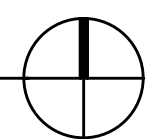
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A1.1



SECOND FLOOR PLAN

1/8" = 1'-0"



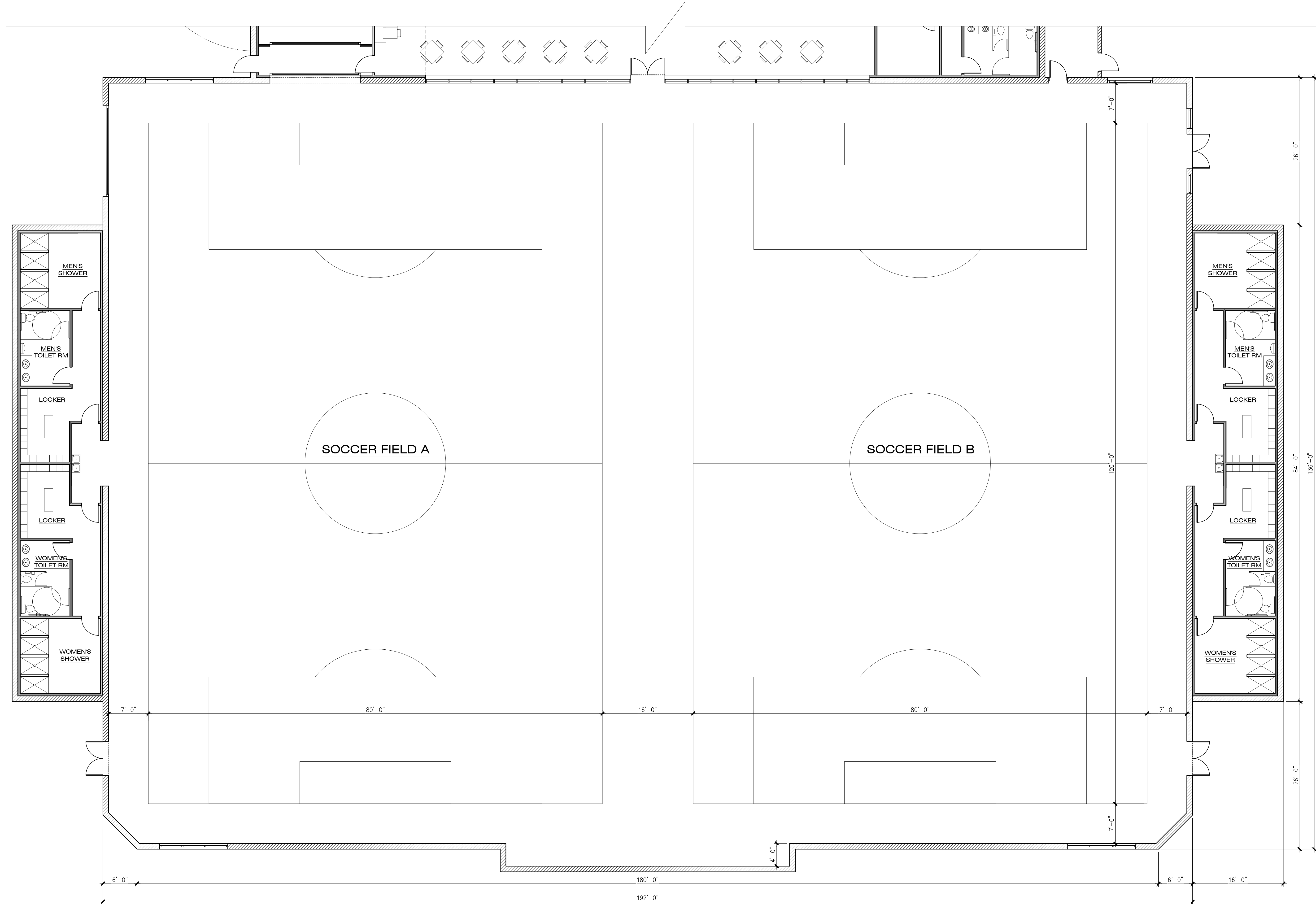
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Sheet
A1.2



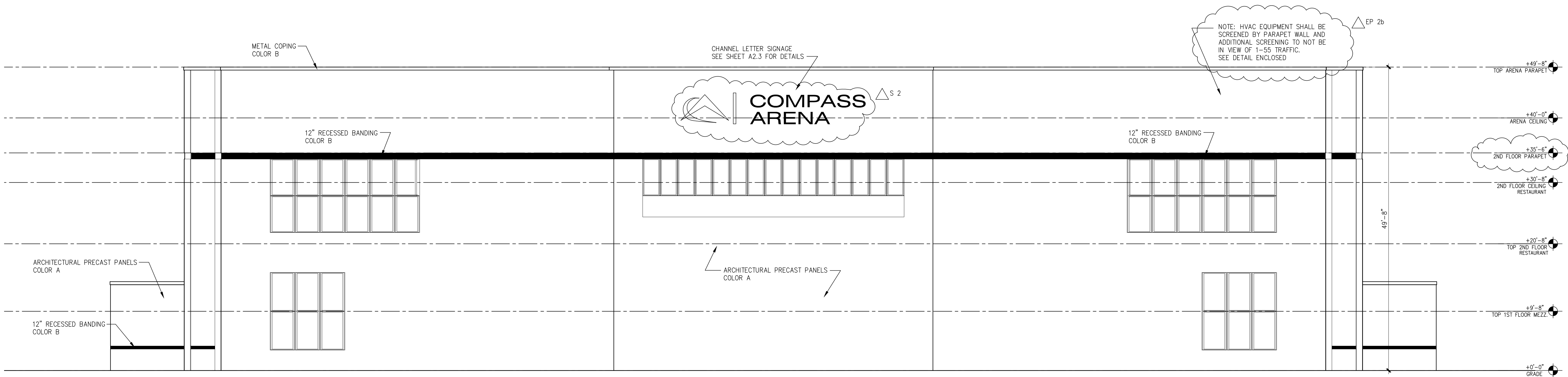
PARTIAL FIRST FLOOR SOCCER FIELD PLAN
1/8" = 1'-0"

date	1-11-16
drawn by	
job no.	
revisions	
3-25-16	
5-16-16	
8-16-16	
scale	

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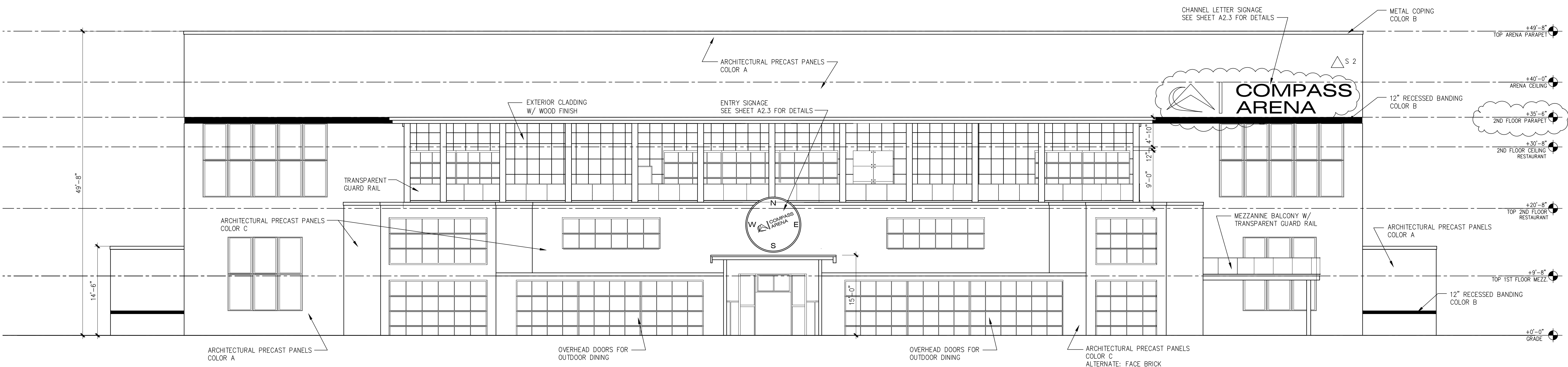
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SOUTH ELEVATION (REAR)

1/8" = 1'-0"



NORTH ELEVATION (FRONT)

1/8" = 1'-0"

date
1-11-16

drawn by

job no.

revisions

5-25-16

8-16-16

scale

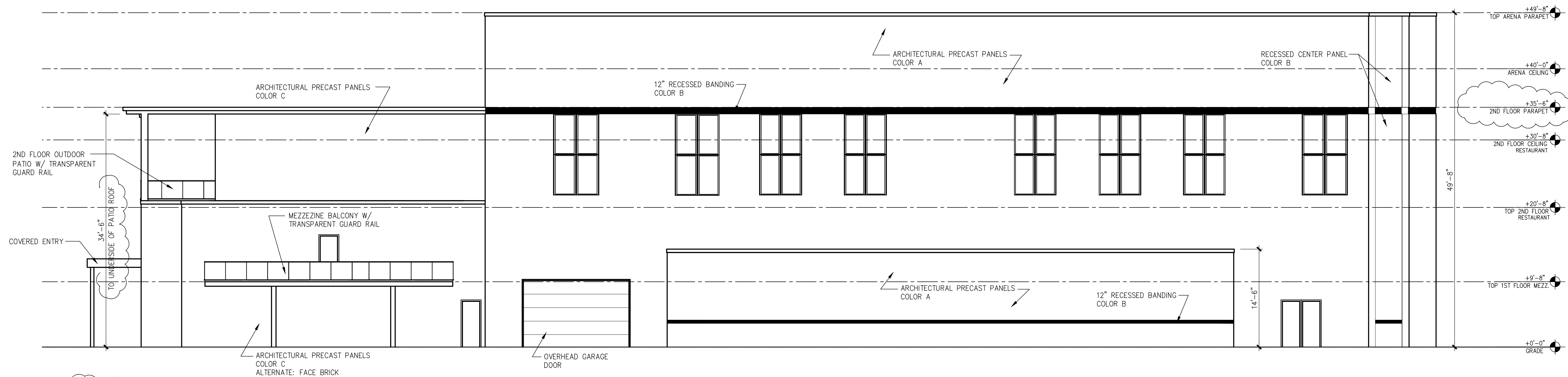
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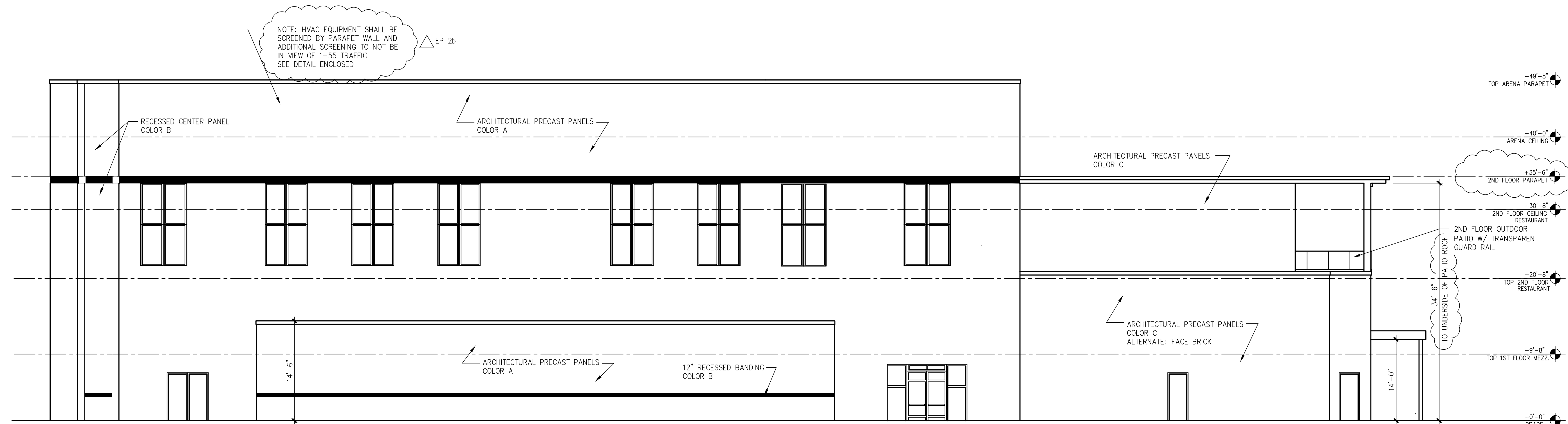
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A2.1



WEST ELEVATION (RIGHT SIDE)

1/8" = 1'-0"

△ EP 2a,b



EAST ELEVATION (LEFT SIDE)

1/8" = 1'-0"

△ EP 2a,b

date
1-11-16
drawn by

job no.

revisions
5-16-16
5-25-16
8-16-16

scale

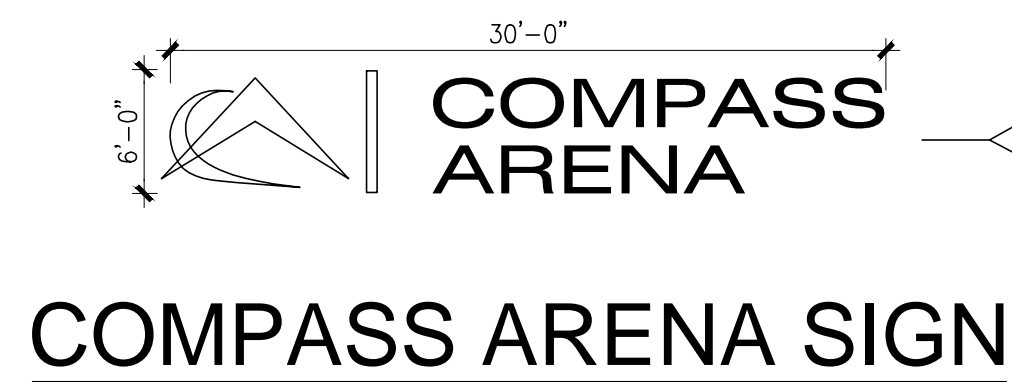
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WILLOWBROOK, ILLINOIS

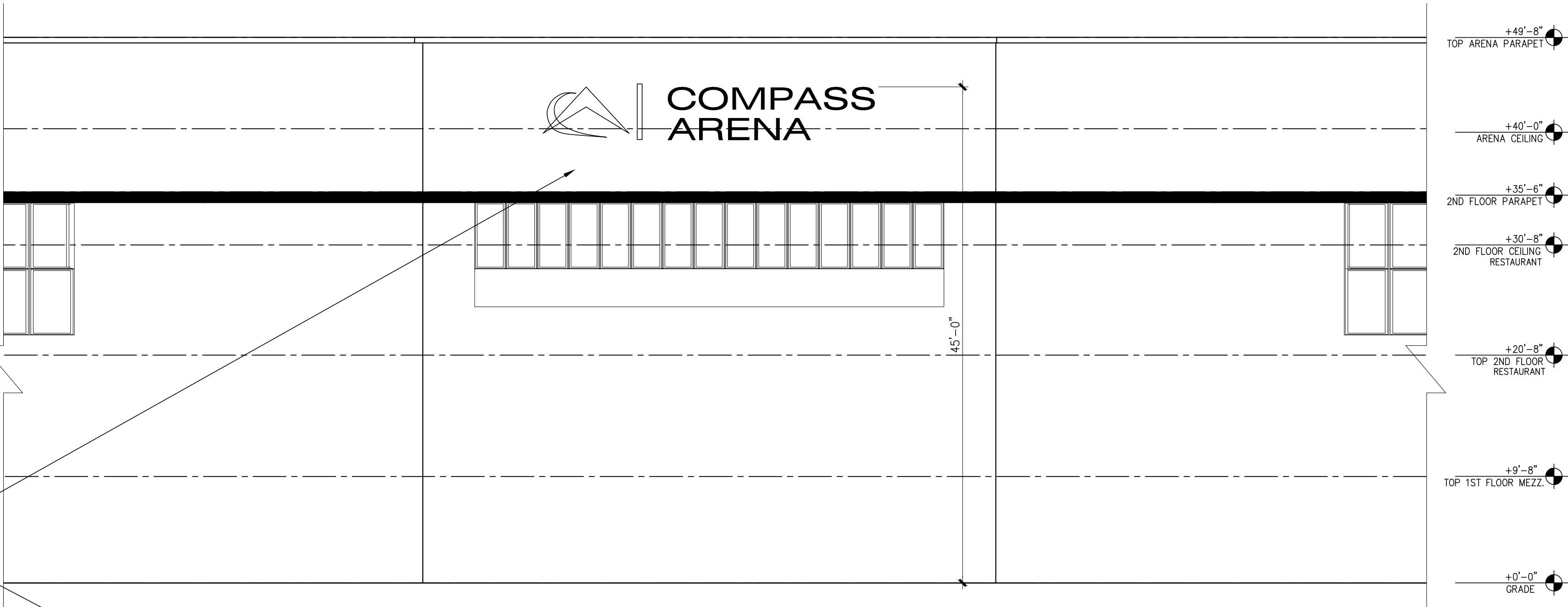
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1100 JOIRE BLVD. SUITE 200

A2.2
sheet

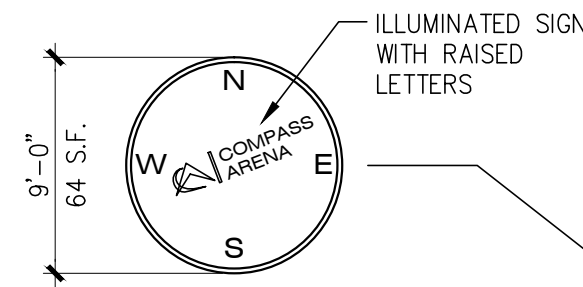


COMPASS ARENA SIGN

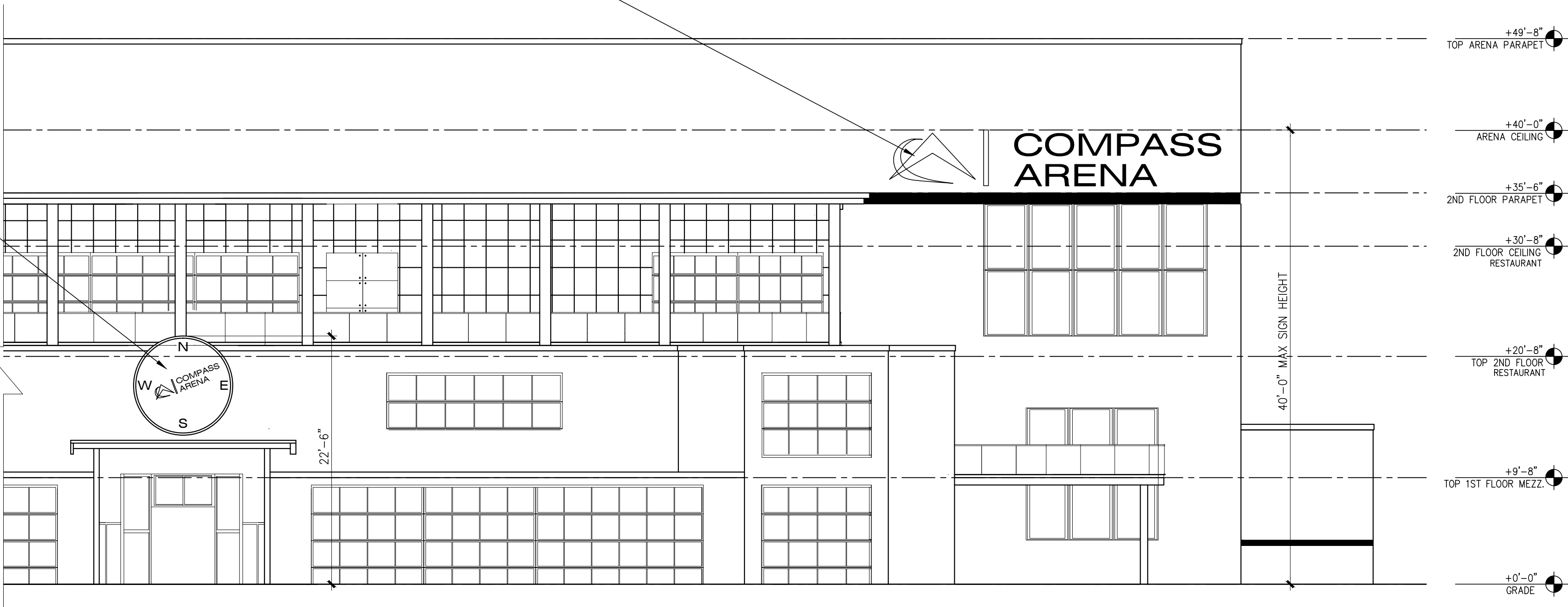


PARTIAL SOUTH ELEVATION

1/8" = 1'-0"



ENTRY SIGN



PARTIAL NORTH ELEVATION

1/8" = 1'-0"

SIGNAGE S.F. CALCULATION

WALL SIGNAGE:	
SOUTH ELEVATION	
- (1) COMPASS ARENA SIGN AT 150 S.F. OF SURFACE AREA	= 190 S.F.
NORTH ELEVATION	
- (1) ENTRY SIGN AT 64 S.F. OF SURFACE AREA	= 64 S.F.
- (1) COMPASS ARENA SIGN AT 150 S.F. OF SURFACE AREA	= 190 S.F.
PROPOSED TOTAL SURFACE AREA OF WALL SIGNAGE = 444 S.F.	
ALLOWABLE TOTAL SURFACE AREA OF WALL SIGNAGE = 450 S.F.	
ALLOWABLE TOTAL FREE STANDING SIGN AREA (NOT USED) = 95 S.F.	

date
2-8-16
drawn by
job no.
revisions
5-25-16
8-16-16
8-23-16
scale

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COMPASS ARENA
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OAKBROOK, IL 60523

Sheet
A2.3



EXTERIOR PERSPECTIVE A
NTS.



EXTERIOR PERSPECTIVE B
NTS.



EXTERIOR PERSPECTIVE C
NTS.



EXTERIOR PERSPECTIVE D
NTS.



FACE BRICK SAMPLES

NOTE: SAMPLES FOR REFERENCE ONLY. SIMILAR FINAL SAMPLE TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



EXTERIOR 'WOOD TYPE' CLADDING

NOTE: SAMPLES FOR REFERENCE ONLY. SIMILAR FINAL SAMPLE TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



OVERHEAD DOOR

NOTE: IMAGE FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



EXTERIOR PERSPECTIVE NTS.



GLASS GUARDRAIL

NOTE: IMAGE FOR REFERENCE ONLY. SIMILAR FINAL PRODUCT TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.



SIMILAR PRECAST WALL PANEL DESIGN

NOTE: IMAGES FOR REFERENCE ONLY. FINAL PANEL DESIGN TO BE SELECTED BY OWNER AND PRESENTED TO THE VILLAGE.

COMPASS ARENA

635 JOLIET RD, WILLOWBROOK, IL

R. VARI AND ASSOCIATES

OAK BROOK - CHICAGO

708.354.4005

PLANT LIST

ID	QTY	SIZE (AT INSTALLATION)	DESCRIPTION
TREES			
A	3	3"	Acclade Elm (Ulmus 'Morton')
B	4	2 1/2"	Marmo Maple (Acer freemanii)
C	3	2 1/2"	Red Oak (Quercus rubra)
D	9	2 1/2"	Greenspire Linden (Tilia cordata)
E	5	3"	Parkway Norway Maple (Acer platanoides 'Parkway')
EVERGREEN TREES			
F	31	8"	American Arborvitae (Thuja occidentalis) Full skirt specimen trees only!
G	12	6"	Dark Green Arborvitae (Thuja occidentalis 'Nigra')
H	16	7"	Colorado Green Spruce (Picea pungens)
I	16	7"	Norway Spruce (Picea abies)
No ID	37	6"	Fairview Juniper (Juniperus scopulorum)
ORNAMENTAL TREES			
J	4	6"	Flame Amur Maple (Acer ginnala 'Flame')
K	8	7"	Profusion Crabapple (Malus 'Profusion')
L	9	7"	Zumi Crabapple (Malus 'Zumi')
M	1	7"	Eastern Redbud (Cercis canadensis)
N	16	5"	Prince William Serviceberry (Amelanchier x grandiflora 'Prince William')
SHRUBS			
O	5	36"	Compact Burning Bush (Eunonymus alatus 'Compacta')
P	16	4"	Cheyenne Privet (Ligustrum vulgare 'Cheyenne')
Q	27	24"	Dense Yew (Taxus x media 'Densiformis')
R	46	15"	Gro-low Sumac (Rhus aromatic 'Gro-low')
S	62	3 gal.	Red Knock Out Rose (Rosa 'Radrazz')
T	29	18"	Annabelle Hydrangea (Hydrangea aborescens 'Annabelle')
PRENNIALS			
U	79	1 gal.	Feather Reed Grass (Calamagrostis x acutiflora 'Karl Foerster')
V	109	1 gal.	Fountain Grass (Fennisetum alopecuroides)
W	74	1 gal.	Kit Cat Mint (Nepeta x faassenii)
X	162	1 gal.	even mix of Little Wine Cup and Happy Returns Daylily
Y	60	1 gal.	Hemerocallis 'Little Wine Cup' and 'Happy Returns'
Z	90	1 gal.	Russian Sage (Perovskia atriplicifolia)
AA		1 qt.	Citronelle Alumroot (Huechera 'Citronelle')
			Ice Dance Sedum (Carex morrowii 'Ice Dance') - Plant 12" on center
SOD			
	1,300 sq		Parkway restoration if required
	958 sq		General site

1. Provide an "approved" nursery grown blend of improved Kentucky Bluegrass varieties that is native to the locality of the work. Sod that has been grown on soil high in organic matter, such as peat, is NOT ACCEPTABLE.
2. Provide well rooted, healthy sod, free of disease, nematodes, and soil borne insects. Provide sod uniform in color, leaf texture, density and free of weeds, undesirable grasses, roots, thatch, and extraneous materials viable and capable of growth and development where planted.
3. Owner's representative reserves the right to reject unacceptable sod at the nursery or job site.

GENERAL NOTES

1. The extent of the site work is as shown on the plans and includes all work done offsite.
2. The Contractor shall be responsible for examining all site conditions prior to the commencement of work.
3. The Contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction Manager and Village of Willowbrook, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction Manager and/or Owner before any changes are executed.
4. The Contractor shall notify J.U.L.I.E. (800-8920123) 72 hours prior to construction for location of all utilities and shall be responsible for protection of the same.
5. All necessary site work permits and licenses shall be obtained and paid for by the Contractor prior to the commencement of work.
6. The Contractor shall protect and preserve all trees, lawns, curbs, pavement or other existing site feature not proposed for removal, during construction. Any trees, pavement or areas damaged during construction or as a result of the contractor's actions shall be repaired or replaced at the contractor's sole expense to the satisfaction of the Owner.
7. The Contractor shall guarantee all plant material and work for a period of one (1) year after final and substantial completion of the contract. Before acceptance all work shall be inspected and approved by the Owner's Construction Manager and the Village of Willowbrook.
8. The Landscape Architect shall assume no responsibility for the Contractor's workmanship, actions or behavior, nor shall the Landscape Architect assume any responsibility for the Contractor's success or failure of the project.
9. Contractor shall be responsible for the removal of all mud, dirt and/or debris deposited on parking lots and adjacent roadways as a result of their own work.
10. Per the Village of Willowbrook requirements Owner shall irrigate the parkway (R.O.W) along Joliet Road at a minimum. Separately an irrigation plan shall be submitted to the Village for review prior to the approval of a project permit.

PLANTING NOTES

1. All plant material shall conform to the standards of the American Association of Nurseryman Standards.
2. All plant material shall be grown and obtained from nurseries within a 100 mile radius of Willowbrook, IL.
3. All plant material shall be inspected and approved by the Owner, or the Owner's representative and the Village of Willowbrook, prior to installation. Undersized or substituted plant material will not be approved by the Village of Willowbrook unless approved in writing prior to delivery.
4. All areas not shown as plantings shall be restored and sodded. A starter fertilizer shall be broadcast over the soil prior to the placement of sod. Contractor shall provide initial watering until sod is fully established.
5. All landscaped areas shall be backfilled with a minimum 6" of topsoil, free of clay, clods, debris or other foreign material.
6. Contractor shall fine grade all landscaped areas to within .05' of finished grade. All grading shall be free of ruts, clods, ripples, stone, twigs or other debris. Maintain positive drainage.
7. All perennial beds shall be amended with a minimum 2" of mushroom compost and rototilled to a depth of 6" prior to planting.
8. A pre-emergent ("Snapshot") shall be applied to all beds per the manufacturer's specifications prior to the placement of mulch.
9. All plants shall be mulched to a depth of 6" with shredded hardwood mulch.
10. All beds and tree rings shall be spade edged upon final placement of sod.
11. Contractor shall remove all twine, tags or rope from all plant material before the final completion of the work.
12. Contractor shall provide an initial watering of all plant material after placement in the ground and placement of mulch.

SODDING NEW LAWNS

1. Remove existing grass and vegetation.
2. Till to a depth of 6", apply soil amendments, remove high areas and fill in depressions, till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1 1/2" in diameter, roots and other extraneous matter. Dispose of such material legally and off site.
3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
4. Lay sod within 24 hours from time of stripping.
5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips, do not overlap.
6. Water sod thoroughly with a fine spray immediately after planting.

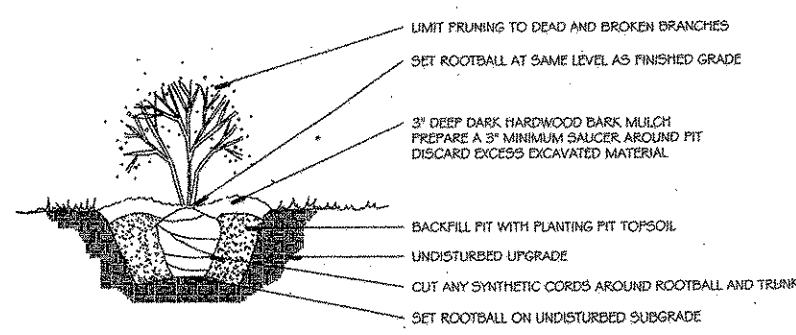
Landscape Requirements per Chapter 14, Section 9-14-2.23 of the Village Code:

- Requirement: 1 planting per every 725 SF.
- Gross SF for Compass Arena = 159,299 SF. Divided by 725 = 221 plants

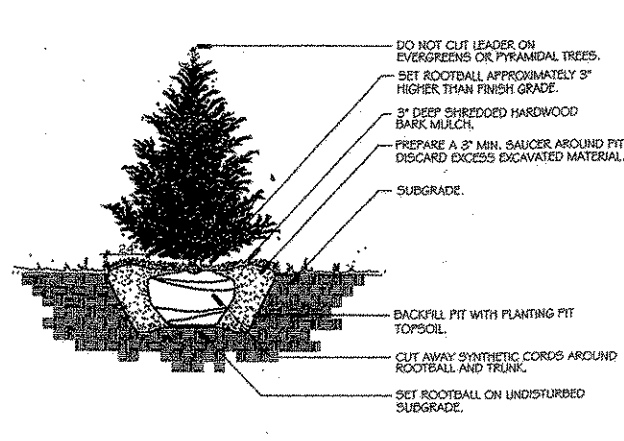
Plantings	Minimum	Provided
Shade trees	11 (5%)	17
Evergreen trees	22 (10%)	75
Ornamental trees	44 (20%)	35
Shrubs	72 (50% at 3')	21
Shrubs	71 (50% at 2')	0
Additional shrubs per typical nursery standards		599
Total Plants	221	747

- Required landscape beds: 221 plants x 10 = 2,210 SF. 9,460 SF is provided.

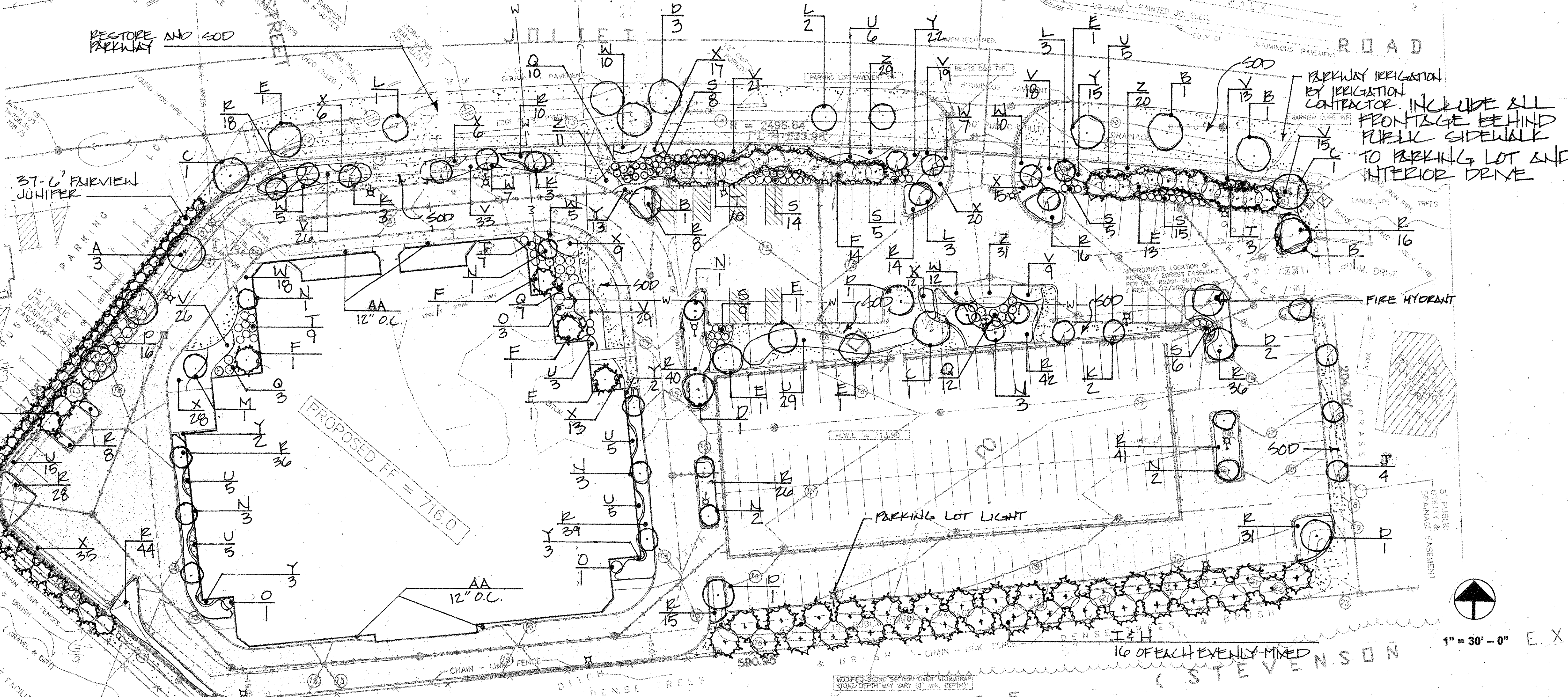
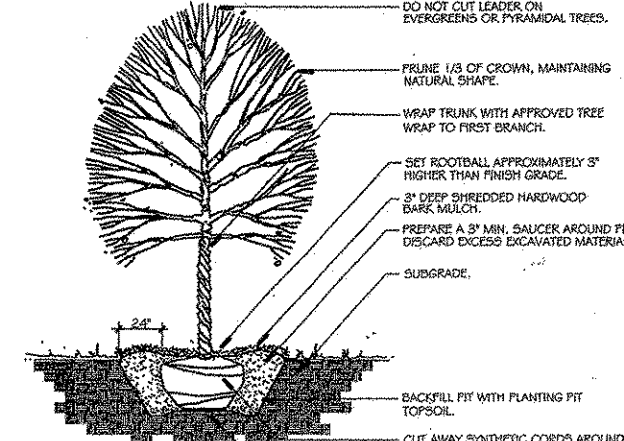
SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



TREE PLANTING DETAIL



Landscape code waiver requests under the PUD application:

The petitioner is requesting that the following be considered and granted per the below criteria. Many of the minimum landscape requirements are not only provided, they are being exceeded per the proposed landscape plans for Compass Arena.

1. Reduction of the 7' landscape strip down to 2' at the north and south building facades to provide improved and safer pedestrian access to the building's entrance by means of a sidewalk as agreed upon by the Village Planner.
2. Waiver of a 3' berm around parking lot perimeter due to reduced width on available planting area and elevation changes on the site creating greater than desirable slopes if berms are constructed. Per the civil engineer a 6" berm is the maximum height that can be achieved in order to meet the 4:1 slope requirement at the right of way.
3. Per comments provided by the Village Planner parkway trees have been provided in the Joliet Road ROW. A mix of ornamental and shade trees are included with staggered spacing to prevent obstruction of the proposed monument sign. If necessary a waiver May be necessary pending final approval, or denial, of parkway trees following IDOT review.
4. A waiver of the ornamental tree requirements in Section 9-14-2.23 from 44 down to 35.
5. Approval to plant Acclade Elm, an extremely reliable and disease resistant Elm cultivar.

Landscape Requirements per Section 9-10-5 of the Village Code - Parking Lots:

- Evergreen Arborvitae hedge provided along front yard (Joliet Road)
- East side yard adjacent to 7-11 has 4 ornamental trees
- Rear yard along Interstate 55 has 32 evergreen trees
- Interior parking lot landscaping requirement: 1 tree/20 spaces. 178 spaces provided = 9 trees. 12 shade trees and 13 ornamental trees are provided per plan.
- Parking lot island requirement: Minimum of 1 tree and 9 shrubs. 2 trees and more than 9 shrubs per island is provided per plan.
- No berms are provided on the parking lot periphery.

Landscape Requirements per Section 9-6-1D of the Village Code:

- Plantings along the front yard adjacent to a road are as follows: Distance of frontage multiplied by 5 equals the total number of points required. 533' x 5 = 2,665 points
- Plants
- 4 shade trees @ 100 points 400
- 27 evergreen trees @ 60 points 1,620
- 12 ornamental trees @ 50 points 600
- 117 shrubs @ 10 points 1,170
- Total points provided 3,790

LANDSCAPE ARCHITECT:
Robert Fleck
 218 N. Warwick Ave.
 Westmont, IL 60559

COMPASS ARENA
 635 JOLIET ROAD WILLOWBROOK, IL

LANDSCAPE PLAN

DATE: 1/21/2015

NO.	REVISION
1	1/11/16 Site plan revision
2	2/9/16 Village comments
3	3/25/16 Village comments
4	9/13/2016 - Per Civil Engineering Site Plan Revisions
5	9/14/2016 - Village comments
6	12/14/2016 - Engineering and site plan revisions

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