

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK
TO BE HELD ON WEDNESDAY, February 5, 2020 AT 7:00 P.M. AT THE
WILLOWBROOK POLICE DEPARTMENT, TRAINING ROOM, 7760 QUINCY STREET,
WILLOWBROOK, ILLINOIS.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - November 5, 2019
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 20-01: Consideration of a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code, to modernize and enlarge the existing car wash with associated site improvements, located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. PLAN COMMISSION CONSIDERATION: Conceptual review and feedback on Planned Unit Development approval for a proposed 14,330 SF Hotel, 6,800 SF Financial Institution and 2,400 SF Restaurant with Drive-through. Location: 735 Plainfield Road in Willowbrook, IL 60527
 - A. DISCUSSION/RECOMMENDATIONS
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

MINUTES OF THE SPECIAL MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, NOVEMBER 6, 2019 AT THE WILLOWBROOK POLICE DEPARTMENT, TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS

1. CALL TO ORDER

Chairman Kopp called the meeting to order at the hour of 7:00p.m.

2. ROLL CALL

Those present at roll call were Commissioners Remkus, Soukup, Ruffalo, Kaucky, and Walec, Vice Chairman Wagner, and Chairman Kopp.

Also present were Planning Consultant Anne Choi, Building Official Roy Giuntoli, Recording Secretary Lisa Shemroske.

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Regular Meeting September 4,2019 (with typo changes)

MOTION: Made by Commissioner Remkus, seconded by Commissioner Walec, to approve the Omnibus Vote Agenda as presented.

MOTION DECLARED CARRIED

4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 19-09: Petition for text amendments to amend Sections 9-6B-1 (or 9-6B-2), 9-6C-1 (or 9-6C-2) and 9-6D-1 (or 9-6D-2) of Title 9 - Zoning Title of the Village of Willowbrook Municipal Code to add “Video Gaming Café” as a new permitted use or special use in the B-2, B-3 and B-4 Zoning Districts; to amend Section 9-2-2 of Title 9- Zoning Title of the Village of the Willowbrook Municipal Code to add “Video Gaming Café” as a new definition and amend the current definition of “Restaurant”; and to add new use categories “similar and compatible uses” in Sections 9-6A-1, 9-6A-2, 9-6B-1, 9-6B-2, 9-6C-1, 9-6C-2, 9-6D-1 and 9-6D-2 of Title 9- Zoning Title of the Village of the Willowbrook Municipal Code.

- A. PUBLIC HEARING
Closed at 7:13pm
- B. DISCUSSION/RECOMMENDATION

See Court Reporter Minutes for Discussion and Recommendation

MOTION: The following motion made by Commissioner Walec was seconded by Commissioner Remkus and all in favor

Based on the submitted petition and testimony presented, I move that the Plan Commission recommend approval of the text amendments presented on Page six and seven of the staff report for Case No. 19-09, to define and allow “video gaming café” as a permitted use in the B-2, B-3 and B-4 Zoning Districts, with the exception that the half mile limitation be deleted, and to amend the current definition of “restaurant” to add, “new use categories similar and compatible uses, “to the list of permitted and special uses in the business zoning districts.

Roll Call Vote: AYES: Commissioners Remkus, Soukup, Ruffalo, Kaucky, Walec, Vice Chairman Wanger, and Chairman Kopp NAYS: None

MOTION DECLARED CARRIED

5. VISITOR'S BUSINESS: None

6. COMMUNICATIONS

Planner Choi informed the Committee that there may be a December 4th, Public Hearing meeting and if they will be available. It would be to consider cannabis use in Commercial District. Building Official Giuntoli gave updates on Rt 83 plan to be done by the end of November. Hopefully repaving of east of Rt 83 on Plainfield Road by the end of this year.

7. ADJOURNMENT

MOTION: Made by Commissioner Walec, seconded by Commissioner Ruffalo, to adjourn the meeting of the Plan Commission at the hour of 7:30 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

February 5,2020

Chairman

Minutes transcribed by Building and Zoning Secretary Lisa J Shemroske

11/6/2019

**CITY OF WILLOWBROOK PROCEEDINGS BEFORE THE
PLANNING & ZONING COMMISSION OF THE CITY OF
WILLOWBROOK**

ROBIN HEJNAR

CITY OF WILLOWBROOK
PROCEEDINGS BEFORE THE
PLANNING & ZONING COMMISSION
OF THE CITY OF WILLOWBROOK

WEDNESDAY, NOVEMBER 06, 2019
7:00 p.m.

RECORD OF THE PROCEEDINGS had at the meeting held
Before the Planning & Zoning Commission of Woodridge, on
Wednesday, the 6th day of November 2019, commencing at
7:00 p.m., as reported by Robin Hejnar, a Certified
Shorthand Reporter and Registered Professional Reporter
and Notary Public in and for the County of DuPage and
State of Illinois.

1 APPEARANCES:

2

3 Daniel Kopp - Chairman

4 John Wagner - Vice-Chairman

5 Lisa Shemroske - Secretary

6 Gregory Ruffolo - Member

7 Leonard Kaucky - Member

8 James Soukup - Member

9 Maciej Walec - Member

10 William Remkus - Member

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14 STAFF ALSO PRESENT:

15 Roy Giuntoli - Building Inspector

16 Ann Choi - Planning Consultant

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1 CHAIRMAN KOPP: Let's start the meeting of
2 the Planned Commission of the Village Willowbrook. I
3 ask Secretary Shemroske to call the roll.

4 MS. SHEMROSKE: Commissioner Remkus?

5 MR. REMKUS: Here.

6 MS. SHEMROSKE: Commissioner Soukup?

7 MR. SOUKUP: Here.

8 MS. SHEMROSKE: Commissioner Ruffolo?

9 MR. RUFFOLO: Here.

10 MS. SHEMROSKE: Commissioner Kaucky?

11 MR. KAUCKY: Here.

12 MS. SHEMROSKE: Commissioner Walec?

13 MR. WALEC: Here.

14 MS. SHEMROSKE: Vice Chairman Wagner?

15 VICE CHAIRMAN WAGNER: Here.

16 MS. SHEMROSKE: Chairman Kopp?

17 CHAIRMAN KOPP: Here.

18 MS. SHEMROSKE: Planner, Ann Choi?

19 MS. CHOI: Here.

20 MS. SHEMROSKE: Commissioner Giuntoli?

21 MR. GIUNTOLI: Here.

22 MS. SHEMROSKE: And I'm Lisa Shemroske.

23 CHAIRMAN KOPP: Next item on the agenda is
24 the omnibus vote agenda; and I looked at the minutes

1 from last meeting, and there was actually a typo in
2 section four about the vote, so I pointed that out to
3 Lisa, and she's going to correct it.

4 It inadvertently just repeated some names as
5 voting both aye and nay, but if we delete Walec and the
6 words Walec and vice chairman from the nays, I think
7 that represents the actual vote in that matter.

8 So with that change, will someone make a
9 motion to waive the reading of the minutes and to
10 approve the minutes?

11 MR. REMKUS: So moved.

12 MR. WALEC: So moved.

13 CHAIRMAN KOPP: All in favor say, Aye.

14 ALL MEMBERS: Aye.

15 CHAIRMAN KOPP: Next item on the agenda is
16 zoning hearing Case No. 1909. The purpose of this
17 public hearing should be to consider a petition for text
18 amendments to amend Sections 9-6B-1, or 9-6B-2, 9-6C-1,
19 OR 9-6C-2, and 9-6D-1, OR 9-6D-2 of Title 9, Zoning
20 Title of the Village of Willowbrook Municipal Code to
21 add "Video Gaming Cafe" as a new permitted use or
22 special use in the B-2, B-3, and B-4 Zoning Districts;
23 to amend Section 9-2-2 of Title 9, Zoning Title of the
24 Village of Willowbrook Municipal Code to add "Video

1 Gaming Cafe" as a new definition and amend the current
2 definition of "Restaurant"; and to add new use
3 categories "similar and compatible uses in Sections
4 9-6A1, 9-6A-2, 9-6B-1, 9-6B-2, 9-6C-1, 9-6C-2, 9-6D-1,
5 9-6D-2 of Title 9, Zoning Title of the Village of
6 Willowbrook Municipal Code.

7 Notice -- the applicant for this hearing is
8 the Village of Willowbrook. Notice of this public
9 hearing was published in the October 21, 2019, edition
10 of the Chicago Sun Times newspaper.

11 Ann, would you like to speak for the
12 Village?

13 MS. CHOI: Yes. Thank you, Chairman Kopp.

14 So tonight's presentations proposes a series
15 of text amendments. The primary focus is to introduce a
16 new video gaming cafe use in the B-2, B-3, and B-4
17 zoning districts. I provided the zoning maps where you
18 can see what zones are applicable.

19 This is to propose video gaming as a
20 principal use with the service of alcohol and food as
21 incidental to the operation of video gaming. The other
22 proposed text amendments would define the video gaming
23 cafe use, revise the current definition of restaurant to
24 differentiate it completely from the video gaming cafe,

1 and to introduce a new use category, "similar and
2 compatible uses" under the list of permitted and special
3 uses in the business zoning districts.

4 This Village initiated text amendment was
5 brought about because of an increase in public inquiries
6 by several local business owners who have expressed an
7 interest in opening an establishment whose principal use
8 is video gaming.

9 Video gaming is currently allowed in the
10 Village at establishments that have valid liquor
11 licenses, but these establishments' priory use is a
12 restaurant or bar, not video gaming.

13 So the proposed text amendment would allow
14 video gaming to the principal use, and not tied
15 exclusively to a bar or restaurant with the service of
16 food and alcohol.

17 So the Village currently does not
18 distinguish between video gaming cafes and restaurants
19 that have video gaming as an ancillary use to their main
20 business. Staff found that video gaming establishments,
21 which serviced liquor and packaged foods, such as chips,
22 can technically still fall under the restaurant use
23 category.

24 Therefore, staff felt that video gaming cafe

1 use should be differentiated for the restaurant use, and
2 that the definition of "restaurant" should be revised to
3 be more specific.

4 The current definition of "restaurant" can
5 be found on page five of the staff report, and the
6 proposed new definition can be found on page six.

7 Staff believes the requirement of the
8 special use within the business zoning districts would
9 be too onerous of a process for potential applicants
10 wishing to open a video gaming cafe within the Village,
11 and here's why.

12 The Planned Commission would be limited in
13 the types of conditions it could impose on a video
14 gaming cafe, as the Planned Commission does not have the
15 authority to limit the hours of operation, the number of
16 video gaming terminals, the number of licenses, or set
17 license fees.

18 These are under the purview of the Village
19 Board and the Liquor Commissioner. Additionally, if the
20 plan Commission recommends approval of the proposed text
21 amendments, the Village will be considering amendments
22 to the Willowbrook Video Gaming Code, and Liquor Code at
23 the November 11, 2019, Village Board meeting.

24 These new amendments would regulate these

1 establishments by introducing additional liquor license
2 applications. One will be tied to restaurants with
3 gaming, and one will be tied for video gaming cafes,
4 limiting the number of these licenses, and proposing a
5 minimum distance of a half mile between video gaming
6 cafes. Given these reasons, and the fact that the State
7 already heavily regulates these types of businesses,
8 staff does not recommend that the video gaming cafe
9 should be designed as a special use.

10 So, aside from the video gaming cafe use,
11 the secondary part of the text amendment, staff would
12 recommend approval of the new use categories "similar
13 and compatible uses" to capture uses that are not
14 explicitly enumerated in the list of special uses in the
15 zone code. This will reduce the number of text
16 amendments and staff time devoted to the text amendment
17 process.

18 The determination of what constitutes
19 "similar and compatible" shall be made by the Village
20 Administrator, or his or her authorized designee; and
21 any ambiguous use that is not contemplated by the zoning
22 code will be further discussed between Village
23 departments before determining if said use would require
24 the initiation of a text amendment.

1 So if the Planned Commission is supportive
2 of this petition, a sample motion can be found on page
3 eight of the staff report; and that concludes my
4 presentation. I am available for any questions.

5 CHAIRMAN KOPP: So the half mile
6 limitation -- and the idea is that we don't want to have
7 50 of these all of a sudden showing up?

8 MS. CHOI: Yes. The Village doesn't want
9 the proliferation of these types of establishments.

10 CHAIRMAN KOPP: But there's no such
11 prohibition on restaurants and bars?

12 MS. CHOI: No, there is not. So the video
13 gaming cafe use would be separated from the restaurant
14 uses that have slot machines in them. So the half mile
15 separation distance would only apply to the video gaming
16 cafes.

17 CHAIRMAN KOPP: Right.

18 VICE CHAIRMAN WAGNER: What is an example of
19 the real world use? Is this like a Betty's?

20 MS. CHOI: Yes.

21 VICE CHAIRMAN WAGNER: -- gambling video
22 establishment?

23 MS. CHOI: Yes. I think they offer
24 refreshments, but it's not full-service food. It's not

1 prepared food. It's not cooked in a kitchen.

2 CHAIRMAN KOPP: We had approved one a few
3 years ago. I didn't realize it until I read the report
4 that the trustees voted --

5 MS. CHOI: I think this went in 2016, and it
6 was unanimous approval by the Planned Commissioners who
7 were present, and I think, unfortunately, the residents
8 didn't want to see that use, perhaps, and the Village
9 Board denied it.

10 CHAIRMAN KOPP: So, currently, we can't --
11 our code doesn't allow that kind of establishment?

12 MS. CHOI: They don't allow the video gaming
13 cafes as a standalone use.

14 CHAIRMAN KOPP: It would have to be in a
15 restaurant?

16 MS. CHOI: Right.

17 CHAIRMAN KOPP: Got it.

18 I have no other questions. Anybody else
19 have any questions?

20 Anyone in the audience have any questions on
21 this matter, or testimony?

22 All right. If you had a summation or a
23 conclusion...

24 MS. CHOI: I would just say that staff was

1 supportive of these text amendments.

2 I don't know if you had any further
3 questions on the items that didn't have anything to do
4 with the video gaming cafe use, such as adding new use
5 categories to the B-1, B-2, B-3, B-4 zoning districts.

6 CHAIRMAN KOPP: Sort of a catchall?

7 MS. CHOI: Yes.

8 CHAIRMAN KOPP: The effect, it seems to
9 me -- the catchall is the Village Administrator's going
10 to have more work and we'll have less work?

11 MS. CHOI: Yes, that is true.

12 We've just had a number of inquiries, I
13 think, where a use would technically not fit under
14 anything that we have, but it would -- like a retail
15 use, but all of our retail uses are strangely
16 categorized, like a hat shop or a variety store, but it
17 doesn't say "retail" explicitly. So if it is a use that
18 is similar to that, it's just not enumerated in our
19 Code. It would just fall under this new category.

20 CHAIRMAN KOPP: Can you give me an example
21 of one that's happening?

22 MS. CHOI: One that just happened was --
23 someone was interested in bringing in a kids spa. It's
24 actually like a venue where people -- it's very popular

1 with young children, where you would throw birthday
2 parties. You would have, I don't know, costumes, you
3 would have catered food come in. Little girls could get
4 their nails done; and this is just not enumerated in our
5 Code, but I think it would fit nicely into, say, like a
6 shopping plaza. Quite popular. I have kids myself,
7 little children, and it's all the rage.

8 CHAIRMAN KOPP: Anybody else?

9 MR. REMKUS: It might be a good way to get
10 some tax revenue going.

11 MS. CHOI: I did take a look, actually, at
12 the revenue generated, I think in Westmont and Darien.
13 These were nearby communities that were cited, I think,
14 back in 2016, when you were considering this item.

15 I believe there are four establishments.
16 Mainly the restaurants and bars, generate about 40,000
17 per year. The municipality receives that.

18 For Darien and Westmont, they were in the --
19 Darien has \$162,000, and Westmont has \$287,000 that they
20 generate. It was January through October of this year.

21 Now, it's not to say that Willowbrook has
22 the same number of slot machines, but those communities
23 have standalone video gaming uses, whereas we don't.

24 VICE CHAIRMAN WAGNER: Is that number for

1 video cafes, or does that number include restaurants
2 with the --

3 MS. CHOI: I think it's based on the slot
4 machines, what they're generating.

5 MR. SOUKUP: Is there a limited number of
6 machines they can carry in a place?

7 MR. WALEC: Five.

8 MS. CHOI: Well, the state law updated it to
9 six now.

10 MR. WALEC: They did?

11 MR. SOUKUP: What?

12 MS. CHOI: Six video gaming terminals.

13 MR. SOUKUP: I was wondering how you can
14 make money on six slot machines, but evidently you can
15 make a lot.

16 MR. REMKUS: If I want to gamble, I go to
17 Vegas. I want to go somewhere. I don't want to be
18 home.

19 CHAIRMAN KOPP: All right. Well, I will
20 close the public hearing for Zoning Hearing Case No.
21 1909.

22 I'm in favor of this. I'm not sure about
23 the half mile limitation. I don't want to protect one
24 business, especially one getting in there first. I

1 don't feel particularly strongly about that though. I
2 don't know if anyone does one way or the other.

3 VICE CHAIRMAN WAGNER: Well, I was just
4 looking at the zoning map based on the districts, and
5 would probably only be able to have a maximum of maybe
6 three in the community. If there was one up near 63rd
7 Street, then it would preclude -- until you got down
8 near Plainfield Road; and then if there was one near
9 Plainfield Road and 83, then there would be some very
10 limited areas down near I-55.

11 CHAIRMAN KOPP: I've never been in one of
12 these places, but when they gave their presentation last
13 time, I don't think they're bringing people into the
14 community that we're worried about. I think it's
15 elderly people. I don't think it's like a casino.

16 VICE CHAIRMAN WAGNER: I would agree.

17 The only thing I would say is there seems to
18 be pretty good proliferation of these around the area.
19 I'm not sure the half mile -- where that aspect of it
20 comes in, other than a recommendation, but I'm not sure
21 I'm in favor of the half mile restriction.

22 CHAIRMAN KOPP: I am not either. I would
23 think that it should be a permitted use, not a special
24 use, because if it's a special use, then every time

1 someone wants to open one of those, they have to come in
2 front of us, and that doesn't seem appropriate.

3 Will someone make a motion, that based on
4 the submitted petition and testimony presented, I move
5 that the Planned Commission recommend to the Village
6 Board approval of the text amendments presented on pages
7 six and seven of the staff report for Case No. 1909, to
8 define and allow "video gaming cafe" as a permitted use
9 in the B-2, B-3 and B4 Zoning Districts, with the
10 exception that the half mile limitation be deleted, and
11 to amend the current definition of "restaurant" to
12 add, "new use categories similar and compatible uses,"
13 to the list of permitted and special uses in the
14 business zoning districts.

15 Someone make that motion.

16 MR. WALEC: I'll make that motion.

17 CHAIRMAN KOPP: I ask the Plan Commission
18 Secretary to call a vote.

19 MS. SHEMROSKE: Commissioner Remkus?

20 MR. REMKUS: Yes.

21 MS. SHEMROSKE: Commissioner Soukup?

22 MR. SOUKUP: Yes.

23 MS. SHEMROSKE: Commissioner Ruffolo?

24 MR. RUFFOLO: Yes.

1 MS. SHEMROSKE: Commissioner Kaucky?

2 MR. KAUCKY: Yes.

3 MS. SHEMROSKE: Commissioner Walec?

4 MR. WALEC: Yes.

5 MS. SHEMROSKE: Vice Chairman Wagner?

6 VICE CHAIRMAN WAGNER: Yes.

7 MS. SHEMROSKE: Chairman Kopp?

8 CHAIRMAN KOPP: Yes.

9 That's the public hearing.

10 Any visitors business? Anyone in the
11 audience have anything?

12 Any communications, Ann?

13 MS. CHOI: So I'm supposed to take an
14 informal vote of the commissioners who might be
15 available for a December 4th public hearing. This
16 probably won't happen, but it would be to consider
17 having the cannabis -- the recreational cannabis use in
18 the commercial districts.

19 CHAIRMAN KOPP: I can't even remember what
20 we did last time.

21 MS. CHOI: It was to consider that in the
22 industrial districts.

23 CHAIRMAN KOPP: Oh, got it.

24 MS. CHOI: So I was wondering if all of you

1 would be available on December 4th for a public hearing.

2 MR. REMKUS: I'm not sure on that one yet.

3 CHAIRMAN KOPP: Anything else? Anybody have
4 any questions?

5 VICE CHAIRMAN WAGNER: Route 83 going to get
6 done tomorrow?

7 MR. GIUNTOLI: It won't be tomorrow, but he
8 was given an ultimatum by IDOT. So that's why it ramped
9 up quite a bit in the last few days.

10 VICE CHAIRMAN WAGNER: Are they pouring
11 islands to divide the sides? Is that what they're
12 doing?

13 MR. GIUNTOLI: There's going to be a center
14 median in a couple of locations. Right now I'm a little
15 fuzzy on where, but for sure on Plainfield, on the west
16 side of 83.

17 VICE CHAIRMAN WAGNER: If there's a cutout
18 on the east side too, is that all going to get done
19 before most of the snow flies?

20 MR. GIUNTOLI: Well, I believe the ultimatum
21 was the end of November. That was given to the
22 developer with serious penalties if it wasn't done by
23 then. So, again, that's why it's ramped up quite a bit;
24 and there's actually a lot of bodies out there doing

1 things.

2 VICE CHAIRMAN WAGNER: Okay.

3 MR. RUFFOLO: Do you know if the pavement
4 east of Route 83 on Plainfield is going to be repaved?

5 MR. GIUNTOLI: It would have been repaved
6 had that development been further along with their work,
7 but K-Five decided -- stopped where they did on both
8 sides on purpose to wait till this be finished, and then
9 they're going to repave everything.

10 Whether that's going to be done this year or
11 not is unknown. We've inquired a couple of times, and
12 it's all dependent whether or not the asphalt plants are
13 still open.

14 MR. RUFFOLO: It's in very bad shape.

15 MR. GIUNTOLI: It is. You go from nice and
16 clean and smooth to rattling your teeth.

17 So I get that, but there's no guarantee, but
18 they're going to try.

19 CHAIRMAN KOPP: I'll make a motion to
20 adjourn.

21 MR. WALEC: So moved.

22 MR. RUFFOLO: Second.

23 CHAIRMAN KOPP: All in favor say, Aye.

24 ALL MEMBERS: Aye.

1 (WHICH WERE ALL THE PROCEEDINGS HAD.)
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1 STATE OF ILLINOIS)
2) SS:
3 COUNTY OF DUPAGE)

4 I, ROBIN HEJNAR, a certified shorthand reporter
5 and registered professional reporter within and for the
6 County of DuPage and State of Illinois, do hereby
7 certify that the meeting in the above-entitled matter
8 was recorded stenographically by me, was reduced to
9 typewriting under my personal direction.

10 I further certify that the said meeting was
11 taken at the time and place specified.

12 I further certify that I am not a relative or
13 employee or attorney or counsel of any of the parties,
14 relative or employee of such attorney or counsel or
15 financially interested directly or indirectly in this
16 action.

17 In witness whereof, I have hereunto set my hand
18 and affixed my seal of office at Chicago, Illinois, 2019
19 day of November, A.D., 2019.

Robin Hejnar



20 ROBIN HEJNAR

21
22 CERTIFIED SHORTHAND REPORTER,
23 REGISTERED PROFESSIONAL REPORTER,
24 License No. 084-004689



Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission Date:	February 5, 2020																					
Prepared By:	Ann Choi, Planning Consultant																					
Case Title:	Ducky's Car Wash Addition																					
Petitioner:	David Schaefer (and Maqpoon Management Inc. as property owner) 2500 S. Highland Avenue, Lombard, IL 60148																					
Action Requested:	Consideration of a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code, to modernize and enlarge the existing car wash with associated site improvements.																					
Purpose:	To replace the existing car wash with the construction of a one-story, 1,351 square-foot automated car wash tunnel, including six (6) new vacuum stations and a new attendant kiosk.																					
Location:	7000 S. Kingery Highway. Northwest corner of Illinois Route 83 and Plainfield Road.																					
PINs:	09-23-310-024 and 09-23-310-025																					
Existing Zoning:	B-2 Community Shopping District																					
Proposed Zoning:	B-2 Community Shopping District (No change to zoning)																					
Existing Land Use(s):	Automobile Service Station (Gas Station), Convenience Food Store and Automobile Washing and Cleaning Facility																					
Property Size:	1.147 Acres																					
Surrounding Land Use:	<table><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>General Business (Willowbrook Plaza Shopping Center)</td><td>B-3</td></tr><tr><td>South</td><td>Wendy's fast food restaurant, City of Darien</td><td>B-1</td></tr><tr><td>Northeast</td><td>Community Shopping (The Willows – Pete's Fresh Market)</td><td>B-2</td></tr><tr><td></td><td>BP Gas Station</td><td></td></tr><tr><td>Southwest</td><td>Regional Stormwater Basin, City of Darien</td><td>R-2</td></tr><tr><td>Southeast</td><td>Community Shopping (Willowbrook Town Center)</td><td>B-2</td></tr></tbody></table>		Use	Zoning	North	General Business (Willowbrook Plaza Shopping Center)	B-3	South	Wendy's fast food restaurant, City of Darien	B-1	Northeast	Community Shopping (The Willows – Pete's Fresh Market)	B-2		BP Gas Station		Southwest	Regional Stormwater Basin, City of Darien	R-2	Southeast	Community Shopping (Willowbrook Town Center)	B-2
	Use	Zoning																				
North	General Business (Willowbrook Plaza Shopping Center)	B-3																				
South	Wendy's fast food restaurant, City of Darien	B-1																				
Northeast	Community Shopping (The Willows – Pete's Fresh Market)	B-2																				
	BP Gas Station																					
Southwest	Regional Stormwater Basin, City of Darien	R-2																				
Southeast	Community Shopping (Willowbrook Town Center)	B-2																				

**Necessary Action by
Plan Commission**

Open Public Hearing, accept testimony, and approve a recommendation to the Village Board



Documents Attached:

- Attachment 1:** Notice of Public Hearing (2 pages)
- Attachment 2:** Findings of Fact, Standards for Special Use
- Attachment 3:** Findings of Fact, Standards for Variations
- Attachment 4:** Legal Description
- Attachment 5:** Plat of Survey, prepared by Professional Land Surveying, Inc., and bearing a revision date of 12/18/2019 (1 Sheet)
- Attachment 6:** Site Plan, Sheet A1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 1/16/2020 (1 Sheet)
- Attachment 7:** Architectural Drawings, Sheet Nos. A2-A5, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019 (4 Sheets)
- Attachment 8:** Landscape Plan, prepared by Kestrel Design, and bearing a revision date of November 12, 2019 (1 Sheet)
- Attachment 9:** Engineer's Estimate of Improvement Costs, prepared by Bono Consulting Inc., and dated 10/29/2019 (1 Sheet)
- Attachment 10:** Engineering Plans, Sheet Nos. C0-C3, prepared by Bono Consulting Inc., and dated 10/29/2019 (4 Sheets)
- Attachment 11:** Engineering Review Letter, prepared by Christopher B. Burke Engineering Ltd., and dated January 17, 2020 (2 pages)
- Attachment 12:** Construction Schedule, dated 10/21/19 (4 pages)
- Attachment 13:** Traffic Review Letter, prepared by Gewalt Hamilton Associates, Inc., dated January 16, 2020 (2 pages)
- Attachment 14:** Traffic Control Plan, Sheet No. T1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019 (1 Sheet)
- Attachment 15:** Photometric Plan, prepared by Red Leonard Associates, and dated 10/28/19 (1 Sheet).
- Attachment 16:** Planning Review Letter, issued by the Village of Willowbrook, and dated 01/22/20 (6 pages)

It should be noted that all plan documents are still under review and require modifications, and that final documents forwarded to the Board will need to all be newly revision dated and identified "For Village Board Approval".



Background

Description of Site

The subject property is located at the northwest corner of Illinois Route 83 and Plainfield Road. The subject property has a total land area of approximately 49,988 square feet, or approximately 1.147 acres. The subject property is currently located in the B-2 Community Shopping Zoning District and consists of Lots 11, 12, 13 and 14 in the Tri-State Village Unit Number 5 Subdivision. The subject property is highly irregular in shape and is subject to multiple 100-foot special setback requirements from Illinois Route 83 to the east and Plainfield Road to the south. The subject site is currently occupied with a gas station with twelve (12) passenger vehicle fueling positions, a convenience store, and a single bay car wash. A wetland detention pond and woodland area are located off-site to the west of the subject property. The project area is located within the Sawmill Creek sub-watershed and Des Plaines River watershed.

Exhibit 1 Aerial of the Subject Property



Exhibit 2 Google 3D View of the Subject Property (Looking Northwest)



Surrounding Zones and Uses

Surrounding zoning and uses include a shopping center (Willowbrook Plaza Shopping Center) including a martial arts school, a cabinetry store, a Domino's Pizza restaurant, a mattress store, and associated parking lot in the B-3 zoning district to the north, the Willows shopping center including Pete's Fresh Market and associated parking lot in the B-2 zoning district to the northeast, the Willowbrook Town Center in the B-2 zoning district to the southeast, lots zoned for neighborhood convenience shopping uses to the south (City of Darien), and lots zoned in the R-2 zoning district to the west (City of Darien). The lot immediately to the west of the subject property is zoned R-2 but there is no residential structure on this lot and has been used as a regional storm water basin. The Village of Willowbrook's Comprehensive Plan designates the site for "Community Commercial" uses, which corresponds to the B-2 Community Shopping Zoning District.

Exhibit 3 Zoning Map (B-2 Community Shopping)



Existing Streets and Circulation

Illinois Route 83/Kingery Highway is designated as a Regional Arterial and forms the eastern boundary of the site with a required right-of-way width of 200 feet. A right-in/right-out access drive on IL Rt. 83 is located approximately 170 feet north of Plainfield Road. The access drive provides one inbound lane and one outbound lane restricted to right-turn movements by the median on IL Rt. 83.

Plainfield Road is designated as a Major Arterial and forms the southern boundary of the subject property with a required right-of-way width of 100 feet. A full movement access drive on Plainfield Road is located approximately 170 feet west of IL Rt. 83. The access drive provides one inbound lane and one outbound lane divided by a landscape median. It should be noted that as part of ongoing construction at the intersection of IL Rt. 83 with Plainfield Road, the inbound lane of this intersection is blocked, and the westbound lane is operating as an inbound and outbound lane.

Illinois Route 83 with Plainfield Road Intersection Improvements

The intersection of IL Rt. 83 with Plainfield Road is currently under construction and will be improved as follows:

- Plainfield Road will provide dual left-turn lanes on both approaches.



- Plainfield Road will provide a right-turn lane on the westbound approach.
- The northbound right-turn lane on IL Rt. 83 will be extended through the intersection to serve the retail development in the northwest quadrant.

History

Prior Zoning Request

The previous ordinances regulating this facility are as follows:

- Ordinance No. 77-O-14 – Original special use ordinance establishing the use, but without specific bulk standards.
- Ordinance No. 78-O-43 – Amended original special use to provide for signage and construction of a canopy within required IL Rt. 83 front yard, without specific standards.
- Ordinance No. 80-O-40 – Amended most recent ordinance to permit a canopy encroachment along the IL Rt. 83 front yard to 6'-6" and permit a canopy height of 16'-10".
- Ordinance No. 84-O-12 – Amended previous ordinance to revise the bulk standard setback for a canopy to 51 feet along both IL Rt. 83 and Plainfield Road, revise transition yard setback to 30 feet and the accessory use setback to 15 feet for the construction of a car wash facility, and the upgrading of site signage to conform to Village standards.
- Ordinance No. 94-O-29 – Further amended previous ordinance to revise the specific setbacks and bulk standards for a canopy to 20' and gasoline pump dispenser islands to 29'-6" along IL Rt. 83; revise the bulk standards for a canopy to 26'-10" and gasoline pump dispenser islands to 36'-4" along Plainfield Road; reduce the minimum lot area from three (3) acres to one and 147/1000th hundred (1.147) acres; reduce the rear yard setback to 29'-7" for the existing car wash, 25' feet for the existing attendant kiosk, and 30'-4" for the food mart; revise the transition yard setback to 70' for the refuse storage area, reduce the required screening to a 4' berm with the existing single row of evergreens, 6' in height spaced 5' on center, and the remainder of the transition yard screened with a double row of evergreens, 3' in height spaced 3' on center; reduce the parking area setbacks to 1' for the impervious surface setback; reduce the minimum number of stacking spaces for automobile laundries to 10 stacking spaces; reduce the required minimum access driveway curb radius for two-way driveways intersecting with IL Rt. 83 from 30' to 15'; reduce the minimum separation requirement between an access driveway entrance and an adjoining lot line from 70' to 68'; reduce the minimum access driveway spacing for separate driveways on a lot from 85' to 75'; reduce the minimum access driveway separation from the adjoining street on a corner lot from 85' to zero feet for the access driveway along Plainfield Road, and to 12' for the access driveway along IL Rt. 83; reduce the minimum building height for a sign which projects from the face of the wall upon which it is mounted from 7'-6" to 2'-6"; and reduce the minimum separation for detached accessory buildings from the principal building from 10' to 3'.

Overview

Development Proposal

The existing car wash has been operating since the mid-1980s. The property owner, Maqpoon Management Inc. acquired the property in 2019 and wishes to modernize the existing car wash which is over 30 years old. The property owner requests an amendment to the special use to replace the existing car wash with an



automated car wash tunnel that will accommodate a maximum capacity of six cars (the greatest possible number of automobiles undergoing some phase of laundering at the same time). The proposed car wash expansion will replace the existing seven parking spaces with two (2) parking spaces and six (6) vacuum stations.

The property owner anticipates a top of the line car wash facility at this location in terms of building appearance and functionality. The property owner proposes using state of the art equipment which appear to lack in many existing local Willowbrook facilities. The car wash is proposed to operate from 8:00 A.M. to 7:00 P.M. Monday through Sunday. According to the Traffic Impact Evaluation, the proposed car wash expansion is expected to process thirty-nine (39) vehicles during the weekday evening peak hour between 4:00 P.M. to 6:00 P.M.

Car Wash Circulation

The single-lane automatic car wash tunnel will be an exterior-only car wash system and will have a clockwise rotation around the site. The entrance to the car wash drive-through system is located at the southwest end of the site. Vehicles will proceed along the west edge of the site and will approach the payment kiosk at the entrance to the car wash to select and pay for their car wash options. Vehicles will then proceed forward to the entrance of the tunnel. At the entrance to the car wash tunnel, the driver will remain in the vehicle and the car wash will automatically pull the vehicle through the tunnel. After exiting the tunnel, the vehicles will turn east and then either proceed straight to the IL Rt. 83 right-in/right-out access drive or turn right to access the vacuum positions or continue to the Plainfield Road access drives. Approximately five vehicles can be accommodated between the car wash exit and the IL Rt. 83 access drive.

Car Wash Stacking

The site plan indicates there is area for approximately five vehicles to queue between the payment kiosk and the Plainfield Road access drive. In addition, there appears to be additional stacking for vehicles on site. As such, the car wash is projected to process thirty-nine (39) vehicles during the weekday evening peak hour (the peak hour with the highest traffic volumes) of adjacent roadway traffic. A majority of inbound traffic, based on the counts, will access the site from the IL Rt. 83 access drive.

Vacuum Positions and Parking

The existing gas station provides seven (7) standard parking spots for employees and patrons. With the expansion of the car wash, the number of parking spaces will be reduced to two (2) spaces, including one (1) accessible parking space. The site will provide six (6) vacuum parking positions located on the east side of the car wash tunnel.

Requested Action:

Approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code, to modernize and enlarge the existing car wash with associated site improvements.

Staff Analysis

Appropriateness of Use

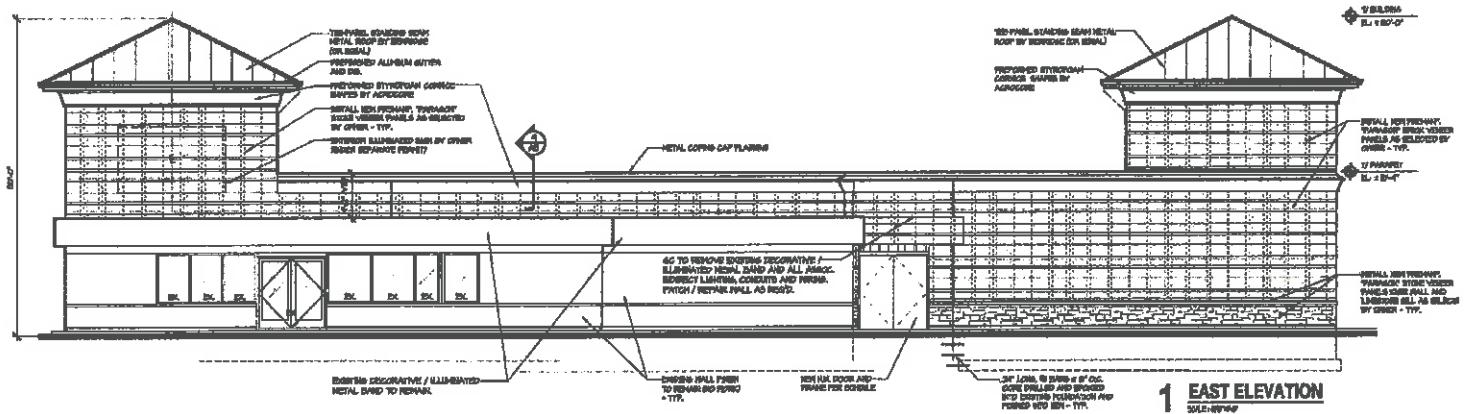
The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. The current uses on the subject property are a gas station, convenience food mart and a car wash, and the proposed uses are not changing. The special use amendment requested is only to expand the existing car wash. As the gas station, food mart and car wash have existed on the subject property for decades, the site appears to be appropriate for the expanded use.



Building Elevations

The petitioner has submitted building elevations, including the east elevation as shown in **Exhibit 4** below. **Refer to Attachment 7** for the remaining elevations. The proposed car wash expansion provides variations in the choice of building materials, and introduces a sufficient number of breaks in the façade with material changes and variations of the roof line with the use of tower elements and pyramid hip roofs. Proposed building materials include a combination of brick veneer panels, stone veneer knee walls with limestone sills, and prefabricated cornices. Glass block windows punctuate the west elevation to allow natural light to filter into the proposed facility. Furthermore, the proposed building elevations will conform to the General Conditions of the Business Districts under Section 9-6-1(E) Building Façade Materials. Since the submitted building elevations were only drawn in black and white, Staff requests that the building elevations be revised to indicate complementary, neutral colors. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

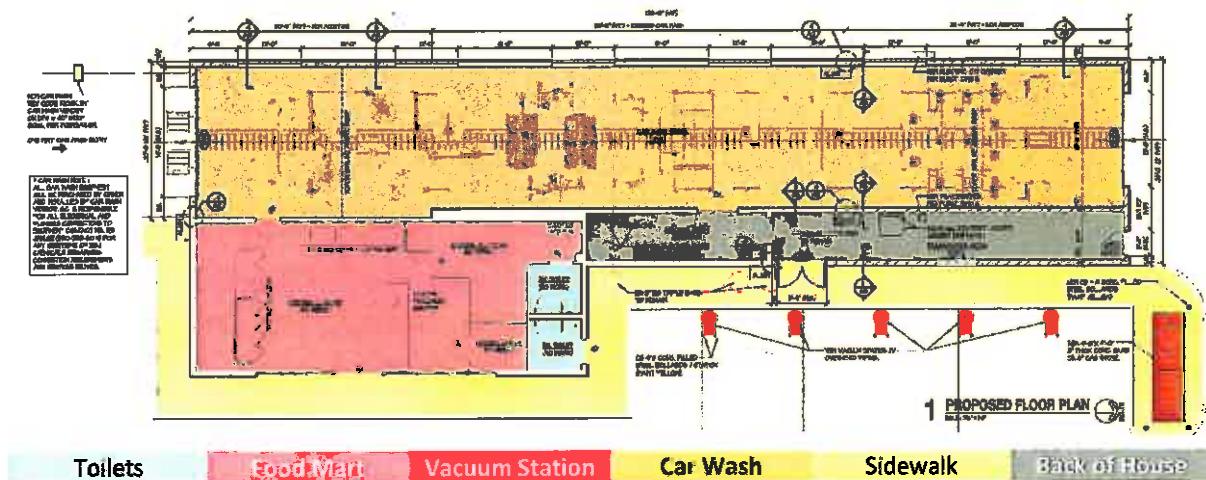
Exhibit 4 East Elevation



Building Floor Plans

The proposed car wash expansion will be one-story (with two architectural tower features) and will add approximately 1,351 gross square feet, resulting in a total gross floor area of 3,932 gross square feet for the car wash and food mart combined. A color-coded breakdown of the proposed building's first floor plan is shown below in **Exhibit 5**. Refer to **Attachment 7** for more detail.

Exhibit 5 Floor Plan





Zoning Bulk Requirements

The property is zoned B-2 (with a Special Use). The petitioner is requesting the approval of an amendment to the existing special use for several bulk exceptions and variations. A detailed discussion of specific setbacks and important bulk exceptions and variations for the car wash addition is provided in **Exhibit 6** and **Exhibit 7** shown below and on the following page. As previously discussed in the History section of this report, the subject property is further governed by Ordinance No. 94-O-29, which provided significant zoning relief from the specific setbacks and B-2 bulk regulations.

Exhibit 6 B-2 Specific Setbacks Compliance Table

Specific Setbacks				
Item	Code Section or Ordinance	Code Requirement	Proposed	Departure
Route 83 Setback	9-3-7(A)1	100'	77'-8" (NE corner of car wash addition) 56'-8", 74'-9", 80'-4", 85'-10", 91'-4" and 96'-11" for vacuum stations	Yes
	94-O-29 Sect. 3	20' (overhead canopy) 29'-6" (gas pump)	20'-0" (overhead canopy) 39'-5-3/4" (gas pump)	None
Plainfield Road Setback	9-3-7(A)4	100'	101'-0" (existing food mart) 76'-7" for refuse storage area	None
	94-O-29 Sect. 4	26'-10" (overhead canopy) 36'-4" (gas pump)	20'-0" (overhead canopy) 30'-9" (gas pump)	None

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Exhibit 7 B-2 Zoning District Compliance Table

B-2 Zoning District Bulk Requirements				
Min. Lot Area	9-6B-3(A) 94-O-29 Sect. 6	3 acres 1.147 acres	1.147 acres	None
Min. Lot Width	9-6B-3(C)2	200'	292.85' See 9-3-12	None
Min. Lot Depth	9-6B-3(D)	200'	Less than 200' (175.00' and 143.00' lot lines)	None See 9-3-12
Min. Front Yard Setback (Kingery Hwy)	9-6B-3(E)1	60'	56'-8" for one vacuum station	Yes
	94-O-29 Sect. 8	20' (overhead canopy) 29'-6" (gas pump)	20'-0" (overhead canopy) 30'-9" (gas pump)	None
Min. Interior Side Yard Setback (175.00' and 143.00' lot lines)	9-6B-3(E)2	30'	30'-10" (car wash addition-north)	None
Min. Exterior Side Yard Setback (Plainfield Road)	9-6B-3(E)3	60'		
	94-O-29 Sect. 8	26'-10" (overhead canopy) 36'-4" (gas pump)	26'-6" (overhead canopy) 37'-7" (gas pump)	None
Min. Rear Yard Setback (88.40' and 132.05' lot lines)	9-6B-3(E)4	40'		
	94-O-29 Sect. 9	29'-7" (car wash) 25' (attendant kiosk) 30'-4" (food mart)	13'-9" (car wash addition) 16'-3" (attendant kiosk) Unchanged (food mart) 4'-7" (transformer pad)	Yes
Min. Transition Yard (from 143.00' lot line)	9-6B-3(E)5	100' <i>6' berm planted w/overstory trees spaced every 30' o.c.</i>	Existing woodlands to remain	None
Min. Screening Requirements	94-O-29 Sect. 10	70' (refuse storage area) <i>4' berm w/single row of extstg. evergreens, 6' in height spaced 5' o.c. and the remainder of the transition yard screened w/double row of evergreens, 3' in height and spaced 3' o.c.</i>	83'-10" (refuse storage area) Existing woodlands to remain	None
Max. Lot Coverage	9-6B-3(F)	50%	45% (22,768 sq.ft.)	None
Max. Height	9-6B-3(G)	30'	30' to Top of Building Tower 15'-4" to Top of Parapet	None
Max. Floor Area Ratio	9-6B-3(H)	0.30	0.08	None

Lot Dimensions: The subject property has a minimum lot area of approximately 49,988 square feet, or 1.147 acres and a lot width of over 200 feet. The subject property has a lot depth that varies between 133 feet and approximately 175 feet. Because the lot is a preexisting condition, a variation for reduce lot depth was never requested in the previous planning requests because Section 9-3-12 provides an exemption. Therefore, the proposed lot dimensions are in compliance with the Village Zoning Ordinance.

Setbacks: The proposed car wash addition will require several variations from the required minimum front yard, exterior side yard, rear yard setbacks in addition to the specific setbacks due to the location of the proposed addition, new attendant kiosk, refuse storage area and vacuum stations. Due to the highly irregular shape of



the site, and after the application of the 100-foot special setbacks from IL Rt. 83 (east) and Plainfield Rd (south), a 100-foot transition yard setback (west), a 30-foot interior side yard setback (north) and a 40-foot rear yard setback (northwest), the buildable area of this site is limited to an area of approximately 4,200 square feet with dimensions of roughly 35 feet by 120 feet. Staff therefore recommends support of the variations with reasons stated in the Findings of Fact section of the report.

Building Height: The maximum height of a building in the B-2 Zoning District is forty feet (30'). The proposed building height for the car wash is thirty (30') and is in compliance with the Zoning Ordinance.

Density and Coverage: The maximum lot coverage (building coverage) in the B-2 Zoning District is 50% per Section 9-6B-3(F). The proposed addition and existing food mart has a building footprint of approximately 22,768 square feet. On a 1.147-acre lot, the building coverage is approximately 45% and is below the maximum 50% threshold. As a one-story building, the floor area ratio (FAR) is approximately 0.08, which is below the minimum required 0.30 FAR. The lot coverage and FAR are in compliance with the Zoning Ordinance.

Parking & Loading

Required Parking: The existing gas station provides seven (7) standard parking spots for employees and patrons. With the expansion of the car wash, the number of parking spaces will be reduced to two (2) spaces, resulting in a loss of five (5) parking spaces. Required parking was calculated by using the parking formula outlined in Section 9-10-5(K) of the Village Code. Under the uses "Automobile laundries" and "Automobile service stations", the zoning code requires a total of eighteen (18) parking spaces based on the parking ratios summarized in **Exhibit 8** below.

Exhibit 8 Required Parking Calculation

Use	Code Section or Ordinance	Code Requirement	Req. Spaces	Proposed Spaces	Departure
Automobile laundry	9-10-5(K)	1 parking space for each 1.5 employees, and in addition, standing spaces to accommodate automobiles awaiting entrance to the facility equal in number to 10 times the max. capacity of the automobile laundry.	18 parking spaces plus 60 stacking spaces	14 parking spaces plus 10 stacking spaces	Yes (authorized)
Automobile service station	9-10-5(K)	1 parking space for each gasoline dispensing unit, plus 2 for each service bay, plus 1 space for each 200 square feet of floor area within an accessory minimart			

* One (1) accessible space are required per Code Section 9-10-5(N).

The site will provide six (6) vacuum positions located on the east side of the car wash tunnel. While these spaces will primarily serve the car wash customers, they are adjacent to the gas station and convenience store and can also be used by other gas station customers. Additionally, a majority of customers utilizing the convenience store will leave their car at the fueling positions and will therefore not require a parking space. The parking of cars at the six (6) fueling positions in addition to the two (2) parking spaces results in the provision of fourteen (14) parking spaces. Staff recommends approval of the proposed variation to reduce the parking requirement from eighteen (18) parking spaces to fourteen (14) parking spaces; however,



supporting documentation should be provided in order to verify appropriate parking and stacking will be provided. This is discussed further in the Traffic Impact Study section in the following pages.

Pavement Setbacks: Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The proposed site plan is in compliance with the pavement setback requirements required by the Village Code and Ordinance No. 94-O-29.

Landscaping

A significant amount of new landscaping is being provided site wide. The proposed landscaping is shown in **Attachment 8**. The existing woodlands located along the western exterior side yard and rear yards will remain. Staff is currently working with the applicant on a revised landscape plan that complies with Section 9-6-1(D) Front And Exterior Side Yard Landscape Planting Requirements, Section 9-6B-3(E)5 Screening in Transition Yards and Section Ten of Ordinance No. 94-O-29, Section 9-10-5(G)1 to Section 9-10-5(G)4 Screening and Landscaping Standards, and Section 9-14-2(D) Required Landscaping. Staff anticipates that only minor changes will be required as the proposed development appears to provide sufficient landscaping, but a condition has been added to ensure that the landscape plan will address the comments in the planning review letter outlined in **Attachment 16**.

Signage

Signage details have not yet been provided by the applicant. Signage shall comply with the Village Code. A condition has been added to ensure that any new signage shall comply with the sign ordinance.

Trash Enclosure

The petitioner is proposing a 8' x 8'-4" trash enclosure located near the entrance of the car wash. A trash enclosure plan and details were provided by the petitioner. The proposed trash enclosure appears to comply with Section 9-12-11 of the Village Code which requires that trash enclosures must be constructed to look like masonry and shall appear to the color and style of the building. A condition has been added to ensure compliance with the zoning code.

Lighting

The petitioner has submitted a photometric plan for the proposed self-storage facility. The photometric plan is consistent with the similar project previously approved. The photometric plan has been reviewed by the Village's Engineer, and the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance. The lighting standards in the zoning code are very strict and the Village has been a little relaxed in cases such as gas stations and car dealerships where a significant portion of the business is conducted outside, increasing the need for extra illumination. There is also no residential structure adjacent to the project, and the site is surrounded by commercial properties, with the Wendy's to the south, Willowbrook Town Center to the southeast, Pete's Fresh Market to the east, and other retail to the north. The property to the west is a regional storm water basin. Glare shield can be required if the lights are a nuisance to the houses several hundred feet to the west. These houses will not be impacted by glare, but the lights may be visible, depending on tree growth and angle of the light fixtures. The intersection has roadway lighting, so the minimal light cast into the right of way is mostly cast over the driveways.

Engineering

The civil engineering drawings have been reviewed by the Village's Civil Engineer from Christopher B. Burke Engineering, Ltd. (CBBEL) who has the following comments:

1. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 189 for Du Page County dated August 1, 2019.



2. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
3. The floodplain limits and elevation must be shown on both Sheets C-1 and C-3.
4. It appears that the grading southwest of the carwash entrance may impact the floodplain. If there is fill, compensatory storage will be required. Consideration should be given to modifying the plan to avoid floodplain fill.
5. The grass area at the north end of the site is detention from a previous expansion. The volume must be preserved. The applicant should request a copy of the previously approved plans from the Village for reference. Also, if there was a restrictor and it is now missing, it must be replaced.
6. Add a curb detail to the plan set.
7. An abbreviated Storm Water Submittal must be provided. Many sections will be noted as "Not Applicable", but because of the wetland and floodplain on site, it must be prepared.
8. The wetland delineation must be confirmed by CBBEL staff.
9. The wetland portion of the Stormwater Submittal must include a statement that the wetlands and buffer will not be impacted, or a discussion of impacts and mitigation if it is impacted.

To address the floodplain, the applicant is required to add some retaining walls to transition the grading without impacting the floodplain, but it appears this can be achieved relatively easily. The environmental review did not reveal any major concerns regarding any impacts to wetlands or buffer, as long as the Village engineer's comments are addressed.

Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

The Traffic Study has been reviewed by the Village's traffic consultant from Gewalt Hamilton Associates (GHA) and the review raised some concerns of site access from the Plainfield Road driveway. Due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), **it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.** A condition of zoning approval has been added to ensure that all outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board.

As discussed previously in the Parking & Loading section of this report, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. The Village Traffic Engineer has thus requested that the petitioner provide supporting documentation in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit was requested to illustrate the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) was also requested. Staff recommends that the approval of the variations for reduced stacking rely on and be determined by this supporting documentation.

Tri-State Fire District Review

The Tri-State Fire District reviewed the proposed site plan and did not find any significant issues with the proposed site plan.



Findings of Fact

Standards for Special Use Permit

Section 9-14-5(B) of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use permit. The applicant's responses are provided in **Attachment 2**.

Standards for Variations

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provided in **Attachment 3**.

Summary of New Variations Requested

The purpose of this public hearing is to consider a petition requesting approval of an amendment to an existing special use for the following variations:

- 1) Approval of a variation from Section 9-3-7(A)1 to reduce the minimum required setback on Illinois Route 83 from one hundred feet (100') to seventy-seven feet, eight inches (77'-8") for the northeast portion of the car wash addition; to fifty-six feet, eight inches (56'-8"), seventy-four feet, nine inches (74'-9"), eighty feet, four inches (80'-4"), eighty-five feet, ten inches (85'-10"), ninety-one feet, four inches (91'-4") and ninety-six feet, eleven inches (96'-11") for the six (6) vacuum stations.
- 2) Approval of a variation from Section 9-3-7(A)4 to reduce the minimum required setback on Plainfield Road from one hundred feet (100') to seventy-six feet, seven inches (76'-7") for the refuse storage area.
- 3) Approval of a variation from Section 9-6B-3(E)1 to reduce the front yard setback on Illinois Route 83 from sixty feet (60') to fifty-six feet, eight inches (56'-8") for the northernmost vacuum station.
- 4) Approval of a variation from Section 9-6B-3(E)4 to reduce the rear yard setback from forty feet (40') to thirteen feet, nine inches (13'-9") for the southwest portion of the car wash addition; to four feet, seven inches (4'-7") for the transformer pad, and to sixteen feet, three inches (16'-3") for the new attendant kiosk.
- 5) Approval of a variation from Section 9-10-5(K) to reduce the minimum parking requirements from eighteen (18) parking spaces to fourteen (14) parking spaces, and to reduce the minimum number of stacking spaces for automobile laundries from sixty (60) spaces to ten (10) spaces for the existing automobile laundry.
- 6) Approval of a variation from Section 9-14-2(D)2(c)4 "Border Plantings and Foundation Plantings" to reduce the minimum foundation landscape area from seven feet (7') to zero feet along the southern building façade of the automobile laundry.

The variations proposed by the new scope of work directly relate to non-conforming conditions already implemented on the existing site. These variations are required to allow for the modernization and expansion of the existing car wash, and to provide proper safe and secure measures for all future users at the subject property.



Recommended Conditions of Approval

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a motion for this case.

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the February 5, 2020 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
2. All outstanding comments from the Village Engineer shall be addressed prior to final zoning approval from the Village Board.
3. All outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board. Approval of the variations for reduced stacking spaces and parking spaces shall be adjusted subject to the recommendation of the Village Traffic Engineer.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a building permit by the Village of Willowbrook.
5. The petitioner shall obtain all necessary permits from Illinois Department of Transportation (IDOT) and/or DuPage County Division of Transportation (DuDOT) prior to performing any work within the IL Route 83/Plainfield Road rights-of-way. The petitioner shall provide a copy of IDOT's and/or DuDOT's review of the car wash addition plans and copies of all correspondence with said agencies to Village Staff before final zoning approval, as applicable.
6. The construction and use of the car wash addition shall at all times be in substantial compliance with the site improvement plans, architectural floor plans, landscape plans and building elevations submitted by the petitioner.
7. The landscape plans shall be approved subject to the applicant's compliance with the planning review letter dated January 22, 2020, issued by the Village of Willowbrook, and included as Attachment 13.
8. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
9. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
10. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
11. The architectural drawings shall be revised to include full, colored building elevations and shall specify the colors.
12. The special use permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.

Staff Recommendation

It will be necessary for the applicant to complete any minor changes required, which include any driveway access changes, landscape plan modifications, and addressing the comments regarding stormwater, floodplain and wetland buffer. Staff will be recommending that the Village Board approve the special use petition subject to the applicant addressing these items and subsequently approved by staff, prior to final zoning approval for Ducky's Car Wash Addition. Upon the applicant's completion of any required revisions, an ordinance will be prepared and this item will be placed on a future Village Board agenda for consideration.

Staff supports the requested special use amendment and variations and recommends the Plan Commission approve the following sample motion on the following page:



Sample Motion

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its Findings of Fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the Staff Report prepared for the February 5, 2020 Plan Commission for PC 20-01, and recommend approval of an amendment to the existing special use and requested variations, as listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting, subject to the following "Recommended Conditions of Approval" listed in the Staff Report prepared for PC 20-01 for the February 5, 2020 Plan Commission meeting:

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the February 5, 2020 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration. Final documents forwarded to the Village Board shall be newly revision dated and identified "For Village Board Approval".
2. All outstanding comments from the Village Engineer shall be addressed prior to final zoning approval from the Village Board.
3. All outstanding comments from the Village Traffic Engineer shall be addressed prior to final zoning approval from the Village Board. Approval of the variations for reduced stacking spaces and parking spaces shall be adjusted subject to the recommendation of the Village Traffic Engineer.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a building permit by the Village of Willowbrook.
5. The petitioner shall obtain all necessary permits from Illinois Department of Transportation (IDOT) and/or DuPage County Division of Transportation (DuDOT) prior to performing any work within the IL Route 83/Plainfield Road rights-of-way. The petitioner shall provide a copy of IDOT's and/or DuDOT's review of the car wash addition plans and copies of all correspondence with said agencies to Village Staff before final zoning approval, as applicable.
6. The construction and use of the car wash addition shall at all times be in substantial compliance with the site improvement plans, architectural floor plans, landscape plans and building elevations submitted by the petitioner.
7. The landscape plans shall be approved subject to the applicant's compliance with the planning review letter dated January 22, 2020, issued by the Village of Willowbrook, and included as Attachment 13.
8. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time, as is reasonably practical.
9. A separate sign permit shall be obtained for the proposed building signage, pursuant to the Village Code.
10. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
11. The architectural drawings shall be revised to include full, colored building elevations and shall specify the colors.
12. The special use permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the special use by the Village Board.



Attachment 1
Notice of Public Hearing
(2 pages)

**NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 20-01**

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, will conduct a public hearing at a regular meeting of the Plan Commission on the 5th of February, 2020 at the hour of 7:00 P.M. in the Willowbrook Police Department Training Room, 7760 S. Quincy St, Willowbrook, IL 60527.

The purpose of this public hearing shall be to consider a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from Title 9 of the Village Code. The applicant seeks to modernize and enlarge the existing car wash with associated site improvements at the property legally described below, located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.

LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRI-STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM ALL THOSE PORTIONS GRANTED, CONVEYED AND DEDICATED TO THE STATE OF ILLINOIS PER DOCUMENTS R61-19732 AND R61-21445.

Described Property Contains 1.147 Acres

PINs: 09-23-310-024 and 09-23-310-025

ADDRESS: 7000 S. KINGERY, WILLOWBROOK IL 60527

The applicant for this petition is David Schaefer, for the property owner Maqpoon Management, Inc. (Mahboob Abbas).

Copies of the application and related documentation are on file in the office of the Village Planner, Village of Willowbrook, 835 Midway, Willowbrook, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Roy Giuntoli, Village of Willowbrook, 835 Midway, Willowbrook, IL 60527, or call (630) 920-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

/s/ Brian Pabst
Village Administrator
(630) 920-2261

Published in the January 16, 2020 edition of *The Doings* Newspaper.

ADVERTISEMENT FOR BIDS
Bid 20-022. Additions and
Renovations Work at Hinsdale
Central and Hinsdale
South High School
The Board of Education of Hinsdale Township High School District 86, DuPage County, Illinois is accepting bid proposals for the Additions and Renovations at Hinsdale Central High School located in Hinsdale, IL and Hinsdale South High School located in Darien, IL.

bid Period 2 consists of all trades for the additions and renovations, including but not limited to, demolition, concrete, masonry, carpentry, drywall, steel, fire protection, plumbing, mechanical, electrical and low-voltage, excavation, special foundation systems (helical piles), site paving, fencing, landscaping and site utilities.

Prime Trade Agreements for the work will be assigned to the Construction Manager. A project labor agreement ("PLA") may be put in place for the project. In such event the terms of the PLA will, among other things, govern the use of trade labor for the project. All prime contractors and subcontractors of every tier performing work will be required to become signatory to the PLA and bound by its terms.

It is the policy of Hinsdale Township High School District 86 to provide equal opportunity to all qualified prime trade contractors. It is the responsibility of the Prime Trade Contractor to obtain qualifications status in a timely manner. If the Prime Trade Contractor is not prequalified, the bid may not be accepted.

Please visit the following site to get prequalified: www.prequalificationconstruction.com/prequalification

All bids must be accompanied by a Cashier's Check or Bid Bond of ten percent (10%) of the amount of the Base Bid made payable to Hinsdale Township Community High School District 86. Contractors will guarantee their submitted Bid Proposal for a ninety (90) day period from the date of Bid Opening. The successful bidder will be required to furnish a Performance and Payment Bond for 100%. Contractor's Qualifications Statement must be submitted at time of bid or within 10 days of the first Prequalification Conference with Prevailing Wages for DuPage County and all equal employment practices is required.

A pre-bid meeting is scheduled for Wednesday, January 29, 2020 at 10:00 AM CST. The meeting will start at Hinsdale South High School, 7401 Cleverdon Hills Road, Darien and continue to Hinsdale Central High School, 5500 South Grant Street, Hinsdale, IL 60521. Contractors are to allow adequate time to check-in at the security desk or bring a state issued form of identification to obtain a security badge for entrance into the schools.

Sealed bids are due no later than 10:00 AM on Tuesday, February 11, 2020 at Hinsdale Township High School District 86 Office of the Superintendent, Administrative Center, 5500 South Grant Street, Hinsdale, IL 60521 and shall be marked "SEALED BID". Attention Ms. Tina Snyder, CPBE. Bids will only be accepted at the Administrative Center.

A public bid opening will occur at 10:15 AM on Tuesday, February 11, 2020 at Hinsdale Central High School, which is the building west of the District Administrative Center.

For more information and contact documents, please contact Mary Pfeiffer or Jaren Lynch at Preller Construction, 847-381-2760
01/16/2020 6568943

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**NOTICE TO BID
TENURE, USE AND
MAINTENANCE**
The Westchester Park District ("District") is accepting bids from qualified lawn mowing contractors for a contract with the District for mowing and maintenance of athletic fields and other land located throughout the District's park system. Bid documents will be available Monday through Friday, from 9:00 a.m. to 5:00 p.m. at the administrative offices of the Park District, 10201 Bond Street, Westchester, IL 60154, Attention: Jim Burg. Bids will be received until 10:00 a.m. on February 7th, at which time the proposals will be publicly opened and read aloud at 10:20 a.m. at 10201 Bond Street, Westchester, IL 60154.

The Westchester Park District Board of Park Commissioners reserves the right to waive all bid requirements, to accept or reject any or all bids, to accept any portion of a proposal and to award a contract without disclosure to any bidder. Failure to make such a disclosure will not result in accrual of any right, claim or cause of action by any bidder against the Westchester Park District.

The Contractor selected will be required to comply with all applicable federal, state and local laws, rules, regulations and executive orders, including but not limited to those pertaining to equal employment opportunity.

1/16/2020 6570179

Legal Notices

PUBLIC NOTICES
NOTICE IS HEREBY GIVEN that the hearing on the Petition for an Exemption from Certain Requirements of the Childhood Hunger Relief Act by River Grove School District 85, Cook County, Illinois is scheduled to convene at 9:00 a.m. on Tuesday, January 21, 2020 at the District 85 Administration Office, 1311 Maybrook Avenue, River Grove, Illinois. River Grove School District 85 is subject to the requirements of the Americans with Disabilities Act of 1990, as well as Section 504 of the Rehabilitation Act of 1973, individuals with disabilities who plan to attend this hearing and who require special accommodations in order to allow them to attend and/or participate, or who have questions regarding the accessibility of the hearing or facilities, are requested to promptly contact the River Grove School District 85 at 708-453-3172.
1/16/2020 6568592

**NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO.
20-01**

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Maybrook, DuPage County, Illinois will conduct a public hearing at a regular meeting of the Plan Commission on the 3rd of February 2020 at the hour of 7:00 PM in the Maybrook Police Department Training Room, 7760 S. Quincy St. Maybrook, IL 60527

The purpose of this public hearing shall be to consider a petition requesting approval of an amendment to a special use permit within the B-2 Community Shopping District zoning classification, including certain variations from The Z of the Village. The applicant seeks to modernize and change the existing car wash and associated site improvements at the property legally described below, located at the northwest corner of the intersection of Illinois Route 83 and Plainfield Road.

LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRACT 11 VILLAGE UNIT NUMBER 6 BEING A SUBDIVISION OF PART OF THE SOUTH-WEST QUARTER OF SECTION 23 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS EXCEPTING

**TERMINUM: ALL THOSE PARTS
GRANTED, CONVEYED
AND DEDICATED TO THE STATE OF
ILLINOIS PER DOCUMENTS
RE-1-19732 AND RE-1-21445**

**Described Property Contains
1.147 Acres**

**PINs: 09-23-310-024 and 09-23-
310-025**

**ADDRESS: 7000 S. KINGSLEY, WIL-
LOWBROOK, IL 60527**

The applicant for the petition is David Schefer, for the property owner, Marmon Management, Inc. (Marko Abbas).

Copies of the application and related documentation are on file in the office of the Village of Maybrook, Village of Willowbrook, Village of Woodridge, DuPage County, Illinois, and are available for public inspection. Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Maybrook should contact Ray Glumoff, Village of Maybrook, 1311 Maybrook Avenue, Maybrook, IL 60527 or call (708) 925-2262, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of two working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

✓ Brian Pelsat
Village Administrator
1/16/2020 657934

LEGAL NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Burr Ridge, Cook and DuPage Counties, Illinois will conduct the following Public Hearing beginning at 7:00 p.m. on Monday, February 3, 2020, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

The Plan Commission of the Village of Burr Ridge, Cook and DuPage Counties, Illinois will hold a public hearing to consider a request by John Bobek for a special use for a site plan and building elevation review for the purpose of erecting a 10,000-square-foot, 2-story office building with associated parking in the T-1 zoning classification. The request requires the following: a variance from the Zoning Ordinance development of 8 ft. lot width, a principal building that exceeds the maximum FAR requirements; insufficient setbacks for a principal building on the front and side yards; a driveway that exceeds the maximum allowable width in a non-residential district; insufficient setbacks for a driveway from a property line, an on-street loading berth in a yard adjoining a residential district; a lot not fully enclosed; a high curb wall and concrete piers in the side yard and non-residential rear yard of the principal building; an insufficient number of parking spaces for an office use; and insufficient setbacks for on-street parking as well as off-street parking located in the front and side yard areas of the site. The petition number and property address is 2-04-2020-151240 North Frontage Road and the Permanent Real Estate Index Numbers are 09-25-208-012 and 09-25-208-013.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS

Greg Trzupek Chairman
MEMBERS: GREG TRZUPEK, MIKE STRATIS, LUISA HOCH, MARY PRAKMARSKY, JIM BROCKE, JANE FARRELL, BARRY IRWIN, AND JOSEPH PETRICH
1/16/2020 6570143

**Legal Notice
Notice of Public Meeting
Wednesday, February 19th, 2020
2020 at 7:00 P.M.**

**Described Property Contains
1.147 Acres**

**PINs: 09-23-310-024 and 09-23-
310-025**

**ADDRESS: 7000 S. KINGSLEY, WIL-
LOWBROOK, IL 60527**

The applicant for the petition is David Schefer, for the property owner, Marmon Management, Inc. (Marko Abbas).

The current zoning code was written in 1974 and has been amended countless times over the past 45 years, but not on a consistent level. The new code will take specific place into consideration that have been adopted over the years including the Franklin Park Downtown Zoning Code (2014), the Franklin Park Other Industrial Plan (2014), and the Franklin Park Comprehensive Plan (2017).

Information on this particular zoning matter is available from the Office of the Zoning Administrator. At the public meeting, the Zoning Board of Appeals will take oral and written comments concerning the review of the zoning code. All interested persons are encouraged to attend the meeting to be heard. For further information, please contact the Zoning Administrator of the Village of Franklin Park.

Publication Date this 16th day of January

Mark Cwik, Chairman
Zoning Board of Appeals
Village of Franklin Park
1/16/2020 657935

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**Kindergarten Registration
2020-2021 School Year
Tuesday, February 4th, 2020
Pleasant Elementary School
847/455-7960**

**Wednesday, February 5th, 2020
North Elementary School
847/455-7952**

**Thursday, February 6th, 2020
Passow Elementary School
847/455-6781**

**Kindergarten registration has
been scheduled for children
who will attend kindergarten in
District 86 in the fall of the current
year. To be eligible, children must
be five years old on or before
September 1, 2020. Registration
will be held at all District 86
elementary schools during the
week of February 3rd. Registration
will be by appointment only. Please
contact your child's school to schedule an appointment.**

**A certified copy of your child's
birth certificate must be presented
at the time of registration. Baptismal
and hospital certificates are not acceptable
birth certificates for children
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Attachment 2
Special Use Standards and Findings for PC 20-01 Ducky's Car Wash Addition

9-14-5(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Applicant Finding: The proposed car wash addition will not be detrimental nor endanger the public. When completed, this facility will provide a benefit to the community as a service and visual gateway into Willowbrook.

Staff Finding: The Village previously approved a special use permit for a gas station on the subject property in 1977, and subsequently amended the special use permit on several occasions to approve a car wash use and food mart use in 1980, 1984 and 1994, respectively. These facilities have operated on the subject property for many years without endangering the public health, safety, morals, comfort or general welfare.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Applicant Finding: The proposed car wash addition will not be injurious nor diminish property values. The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. When completed, this updated and renovated facility will improve the neighborhood and property values.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market/Willows Shopping Center, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility.

Staff Finding: The existing car wash has currently operated in harmony with the surrounding properties. The area to the north of the site is established as retail shops. The area northwest is zoned B-1 and is vacant, and is most likely undevelopable. Illinois Route 83 and Plainfield Road are substantial buffers to



the properties located to the east and south. The area to the northeast is zone B-2 and is occupied by the Pete's Fresh Market and out-lot, as well as the BP gas station and car wash on the northeast corner of the intersection. The car wash at the BP gas station appears to be similar in scale to the existing car wash in the proposed development as it appears to only accommodate up to a maximum of two cars. The car wash expansion will offer a new service that is not offered in the immediate vicinity.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Applicant Finding: The property is currently established as a gas station and car wash. We are only looking to update and improve the facility. All utilities, drainage and facilities will comply with code.

Staff Finding: The site has been and will continue to be serviced by all necessary utilities and drainage facilities which are and will be adequate for the proposed expansion.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Applicant Finding: The property currently has more than adequate ingress and egress. Additional road improvements are currently being completed by IDOT.

Staff Finding: Comments regarding traffic and circulation will be addressed to minimize traffic congestion in the public streets prior to final zoning approval.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Applicant Finding: The proposed addition will conform to all codes and regulations.

Staff Finding: The special use shall in all other respects conform to the applicable regulations of the district in which it is located. The car wash expansion will comply with the regulations of the zoning ordinance, pending approval of the requested variations.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Applicant Finding: To the best of my knowledge, there have been no previous application denials within the last year.

Staff Finding: Conditions in the area have substantially changed due to the development of Pete's Fresh Market/Willows Shopping Center. The intersection of Illinois Route 83 and Plainfield Road are still under construction and additional road improvements are currently being completed by IDOT. At least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.



Attachment 3
Variation Standards and Findings for PC 20-01 Ducky's Car Wash Addition

9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Applicant Finding: The car washing equipment and facility is outdated compared to similar nearby car wash locations. In order to improve the car washing capability, new and additional equipment is required, which is the reason for the proposed car wash addition. The owner is looking to improve both the interior car washing equipment/experience and exterior appearance.

Staff Finding: The site is highly irregular and is subject to multiple special setback requirements. After application of the 100-foot special setbacks from Illinois Route 83 (east) and Plainfield Road (south), as well as a 100-foot transition yard special setback (west), a 30-foot interior side yard setback (north) and a 40-foot rear yard setback (northwest), the buildable area of this 49,988 square foot site is limited to an area of approximately 4,200 square feet with dimensions of roughly 35 feet by 120 feet. Thus, the remaining buildable area does not allow the property to be used to yield a reasonable return. The Village approved prior special use permit requests and numerous variations on the subject property for the food mart, gasoline pump dispensers, gas station canopy, attendant kiosk, and refuse storage area as the Village has found that the property cannot yield a reasonable return on several prior occasions.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Applicant Finding: The existing building was constructed closer to the rear of the property line than currently allowed by code. It is currently an eye-sore and the first thing people see when entering Willowbrook from the South. The existing car wash tunnel is too small to effectively clean cars.

Staff Finding: The requested variations are necessary to alleviate an unusual hardship in making reasonable use of the property. The requirements for providing eighteen parking spaces on site, sixty stacking spaces for the car wash, and complying with certain setback distances for the refuse storage area, new attendant kiosk and vacuum equipment a would create a severe hardship on the property. The subject property is highly irregular in shape and is encumbered by steep grades along the western portion of the property.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Applicant Finding: The building is existing and was purchased as such by the property owner.



Staff Finding: The hardship to the applicant is created by the site's irregular site configuration and the requirement of multiple special setbacks which restrict the buildable area.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Applicant Finding: The proposed car wash addition will not be detrimental nor injurious to the neighborhood. When completed, this facility will have a new and improved appearance for the community as well as provide an improved car washing experience for its patrons.

Staff Finding: The proposed use is similar to the existing use and is compatible with nearby existing uses which are primarily commercial. The proposed car wash addition will not be detrimental to the public welfare nor injurious to other property or improvements in the neighborhood.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Applicant Finding: Adjacent neighbors are far enough away that the proposed addition will not impact their light and air nor will it substantially increase traffic or the risk of fire.

Staff Finding: The proposed variations will not impair the supply of light and air to adjacent properties. The review of the Traffic Impact Study resulted in an observation that the site access driveways currently operate at acceptable levels of service and will continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. The proposed variations do not create any danger to public safety or increase the danger of fire.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Applicant Finding: Approval of the proposed variation will comply with the spirit and intent of Title 9 of this code.

Staff Finding: The proposed variations will permit the expansion of a use that currently already operates and is consistent and compatible with the development in the area.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Applicant Finding: Approval of the proposed variations will comply with the intent of Title 9 as explained above.

Note: We are seeking relief from the required front and rear yard building setbacks, as well as distance relief for the new kiosk and vacuum equipment as outlined in the Village of Willowbrook's Exhibit B, dated February 15, 1994.

Staff Finding: The proposed variations will allow modernization and beautification of the existing use and will result in a convenient, safe, tax-productive and aesthetic use of the property.



Attachment 4
Legal Description

PINS:

09-23-310-024
09-23-310-025

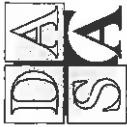
LOTS 11, 12, 13 AND 14 IN BLOCK 46 IN TRI-STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23 AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT 465114, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM ALL THOSE PORTIONS GRANTED, CONVEYED AND DEDICATED TO THE STATE OF ILLINOIS PER DOCUMENTS R61-19732 AND R61-21445.



Attachment 5
Plat of Survey
(1 Sheet)



Attachment 6
Site Plan
(1 Sheet)



DAVID L. GOODMAN ATTORNEY AT LAW
2600 3rd MILAN AVE. SUITE 340
LITTLE ROCK, ARKANSAS 72204
(501) 221-2520 FAX (501) 221-9729

PROPOSED SITE PLAN

South Kincardine Highway (Route 65)

Proposed Highway Alignment: The proposed highway alignment is shown as a thick line, starting from the bottom left and curving upwards towards the top right. It passes through several properties and existing roads.

Key Features:

- Proposed Buildings:** Several buildings are marked with labels such as "PROPOSED BUILDINGS", "PROPOSED OFFICE", "PROPOSED STABLE", "PROPOSED STABLE", "PROPOSED STABLE", "PROPOSED STABLE", "PROPOSED STABLE", and "PROPOSED STABLE".
- Shaded Areas:** A large area in the center-left is shaded with diagonal lines, and a smaller area near the bottom center is shaded with horizontal lines.
- Existing Roads:** Existing roads are shown as lines with labels like "ROUTE 65", "ROUTE 65", "ROUTE 65", "ROUTE 65", "ROUTE 65", "ROUTE 65", and "ROUTE 65".
- Properties:** Properties are outlined with lines and labeled with property numbers and names.
- Scale:** The map includes a scale bar with distances in meters (1000m, 1500m, 2000m) and kilometers (1.0km, 1.5km, 2.0km).
- North Arrow:** A north arrow is located in the top left corner.

SOUTH KINGERY HIGHWAY (ROUTE 35)

PLAINFIELD ROAD

1500' (ft)

1325' (ft)

1200' (ft)

1000' (ft)

800' (ft)

0

SITE SETBACK DIAGRAM

2



Attachment 7
Architectural Drawing
(4 Sheets)



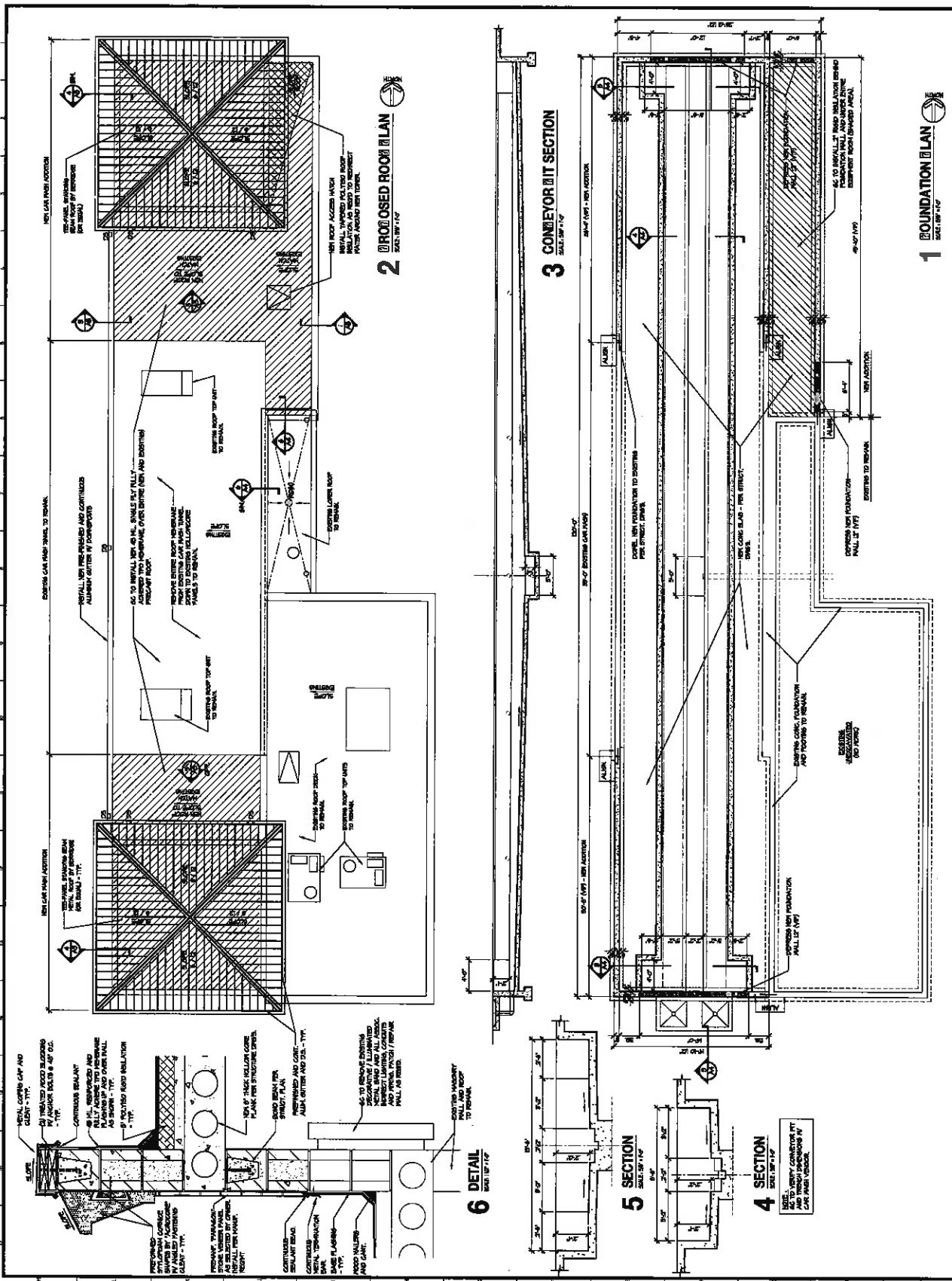
DA SA BUILDERS
BRIAN A. SCHAFERER ARCHITECTS
2601 N. BROADWAY, SUITE 300
CHICAGO, ILLINOIS 60614
(773) 553-5220 FAX (773) 553-5220

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	8010	8011	8012	8013	8014	8015	8016	8017	8018	8019	8020	8021	8022	8023	8024	8025	8026	8027	8028	8029	8030	8031	8032	8033	8034	8035	8036	8037	8038	8039	8040	8041	8042	8043	8044	8045	8046	8047	8048	8049	8050	8051	8052	8053	8054	8055	8056	8057	8058	8059	8060	8061	8062	8063	8064	8065	8066	8067	8068	8069	8070	8071	8072	8073	8074	8075	8076	8077	8078	8079	8080	8081	8082	8083	8084	8085	8086	8087	8088	8089	8090	8091	8092	8093	8094	8095	8096	8097	8098	8099	80100	80101	80102	80103	80104	80105	80106	80107	80108	80109	80110	80111	80112	80113	80114	80115	80116	80117	80118	80119	80120	80121	80122	80123	80124	80125	80126	80127	80128	80129	80130	80131	80132	80133	80134	80135	80136	80137	80138	80139	80140	80141	80142	80143	80144	80145	80146	80147	80148	80149	80150	80151	80152	80153	80154	80155	80156	80157	80158	80159	80160	80161	80162	80163	80164	80165	80166	80167	80168	80169	80170	80171	80172	80173	80174	80175	80176	80177	80178	80179	80180	80181	80182	80183	80184	80185	80186	80187	80188	80189	80190	80191	80192	80193	80194	80195	80196	80197	80198	80199	80200	80201	80202	80203	80204	80205	80206	80207	80208	80209	80210	80211	80212	80213	80214	80215	80216	80217	80218	80219	80220	80221	80222	80223	80224	80225	80226	80227	80228	80229	80230	80231	80232	80233	80234	80235	80236	80237	80238	80239	80240	80241	80242	80243	80244	80245	80246	80247	80248	80249	80250	80251	80252	80253	80254	80255	80256	80257	80258	80259	80260	80261	80262	80263	80264	80265	80266	80267	80268	80269	80270	80271	80272	80273	80274	80275	80276	80277	80278	80279	80280	80281	80282	80283	80284	80285	80286	80287	80288	80289	80290	80291	80292	80293	80294	80295	80296	80297	80298	80299	80300	80301	80302	80303	80304	80305	80306	80307	80308	80309	80310	80311	80312	80313	80314	80315	80316	80317	80318	80319	80320	80321	80322	80323	80324	80325	80326	80327	80328	80329	80330	80331	80332	80333	80334	80335	80336	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David A. Shabane 10.8.12
DATE
SIGNATURE
PROFESSIONAL DESIGNER REG. NO: 184003216

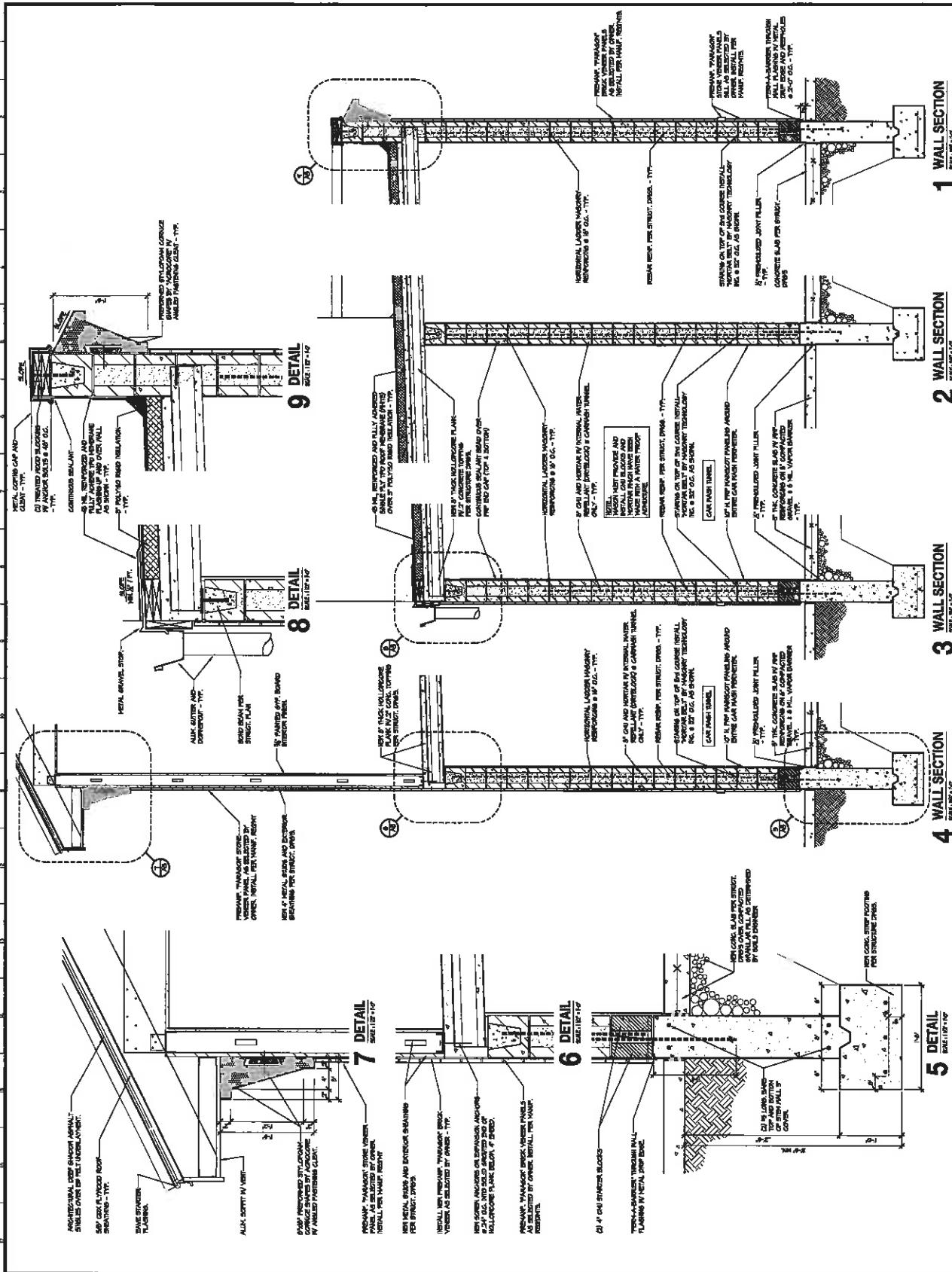
SHEET NO.	A4		
DRIVER NO.	61234	PERIOD NO.	100-100
NAME NAME		NAME NAME	





BAIRD A. SCHNEIDER, MARCH MEETS
2600 S. HIGHLAND AVE. SUITE 340
UPLAND, UTAH 84040
435.651.2620 FAX: 435.651.2626
© 1998 A. SCHNEIDER MARCH

SEARCH NO.	A5	
SEARCH BY	S. LEE	
SEARCHER NO.	144-025	
SEARCH DATE	10-10-77	





Attachment 8
Landscape Plan
(1 Sheet)



DUCKY'S CAR WASH
7000 KINGERY HWY.
WILLOWBROOK, IL 60527

Revised Oct 12 2019
Revised Nov. 12 2019
Sheet 1 of 2



Attachment 9
Engineer's Estimate of Improvement Costs
(1 page)

B

C

I

**BONO
CONSULTING
INC.**

JOB:	19085
DESIGNED:	RC
DATE:	10/29/2019

CIVIL ENGINEERS

1018 Busse Highway, Park Ridge, IL 60068 / 1601 Bond St., Suite 305, Naperville, IL 60563

PROJECT:

NEW CAR WASH, 7000 KINGERY, WILLOWBROOK

SUBJECT:

Engineer's Estimate of Probable Construction Cost**Demolition**

Item	Quantity	Units	Unit Price	Item Price
Remove curbs and walls	550	LF	\$2.50	\$1,375.00
Remove asphalt and concrete	6,200	SF	\$1.00	\$6,200.00
Remove Transformers	1	EA	\$1,000.00	\$1,000.00
Remove Landscaping	1	EA	\$750.00	\$750.00
Remove Storm Sewer	16	LF	\$10.00	\$160.00
			Demolition Subtotal =	\$9,485.00

Surface Improvements

Item	Quantity	Units	Unit Price	Item Price
Parking Lot Pavement	590	SY	\$30.00	\$17,700.00
6" Barrier Curb	375	LF	\$10.00	\$3,750.00
Heavy Duty Concrete Pavement	15	SY	\$50.00	\$750.00
Concrete Sidewalk	525	SF	\$5.00	\$2,625.00
			Surface Improvements Subtotal =	\$24,825.00

Utilities

Item	Quantity	Units	Unit Price	Item Price
Raise Existing Storm Sewer	1	EA	\$750.00	\$750.00
24" Type C Catch Basin	1	EA	\$1,500.00	\$1,500.00
10" PVC Storm Sewer	50	LF	\$35.00	\$1,750.00
			Utilities Subtotal =	\$4,000.00

Erosion Control

Item	Quantity	Units	Unit Price	Item Price
Silt Fence	450	LF	\$2.50	\$1,125.00
Inlet Filters	6	EA	\$250.00	\$1,500.00
			Erosion Control Subtotal =	\$2,625.00

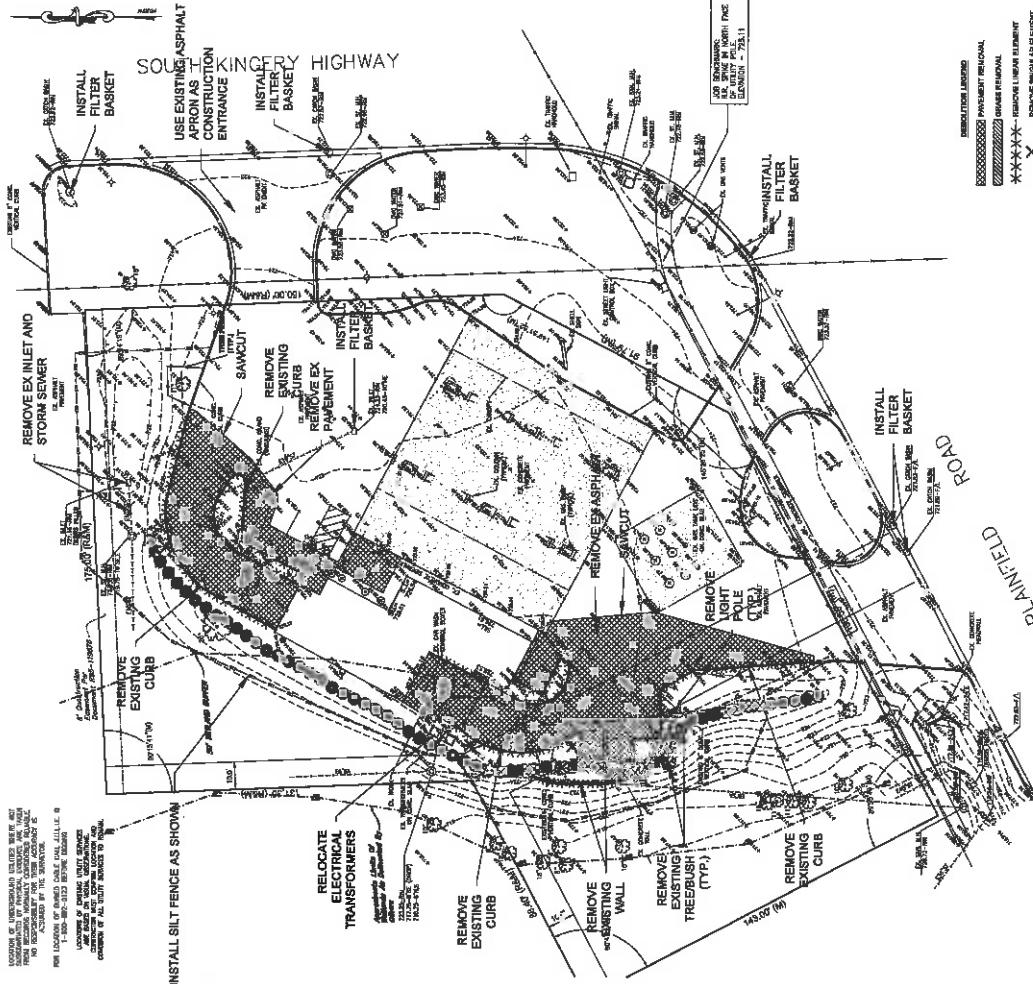
Grading & Restoration

Item	Quantity	Units	Unit Price	Item Price
Restore and seed all disturbed areas	0.5	AC	\$3,000.00	\$1,500.00
Plant native bushes and seed within wetland buffer zone	1	LS	TBD	\$0.00
			Restoration Subtotal =	\$1,500.00

Engineer's Estimate of Probable Construction Cost =**\$42,435.00**



Attachment 10
Engineering Plans
(4 Sheets)

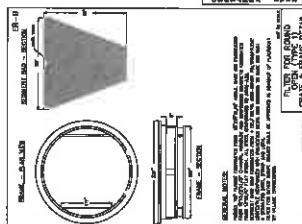


ESTATE PLANNING

nonconforming, for evidence of test automation and other advanced environmental impacts. Any problems or deficiencies will be corrected immediately for their disclosure.

[10] The contractor and his/her subcontractor will be prior to environment of any work.

[11] The contractor shall handle temporary construction areas around all trees to protect and avoid damage to



WEY BY
SJT

50

Surveyor • Surveyor
Engineer • Surveyor
111 Borchard Blvd., Suite 310, Lincolnshire, IL 60656
PHONE: 847-655-3031 FAX: 847-655-0459
NOTE
INDIVIDUAL DRAWING TAKEN FROM PLAT OF SURVEY SUPPLIED BY OWNER.
THIS DRAWING IS NOT A PLAT OF SURVEY.

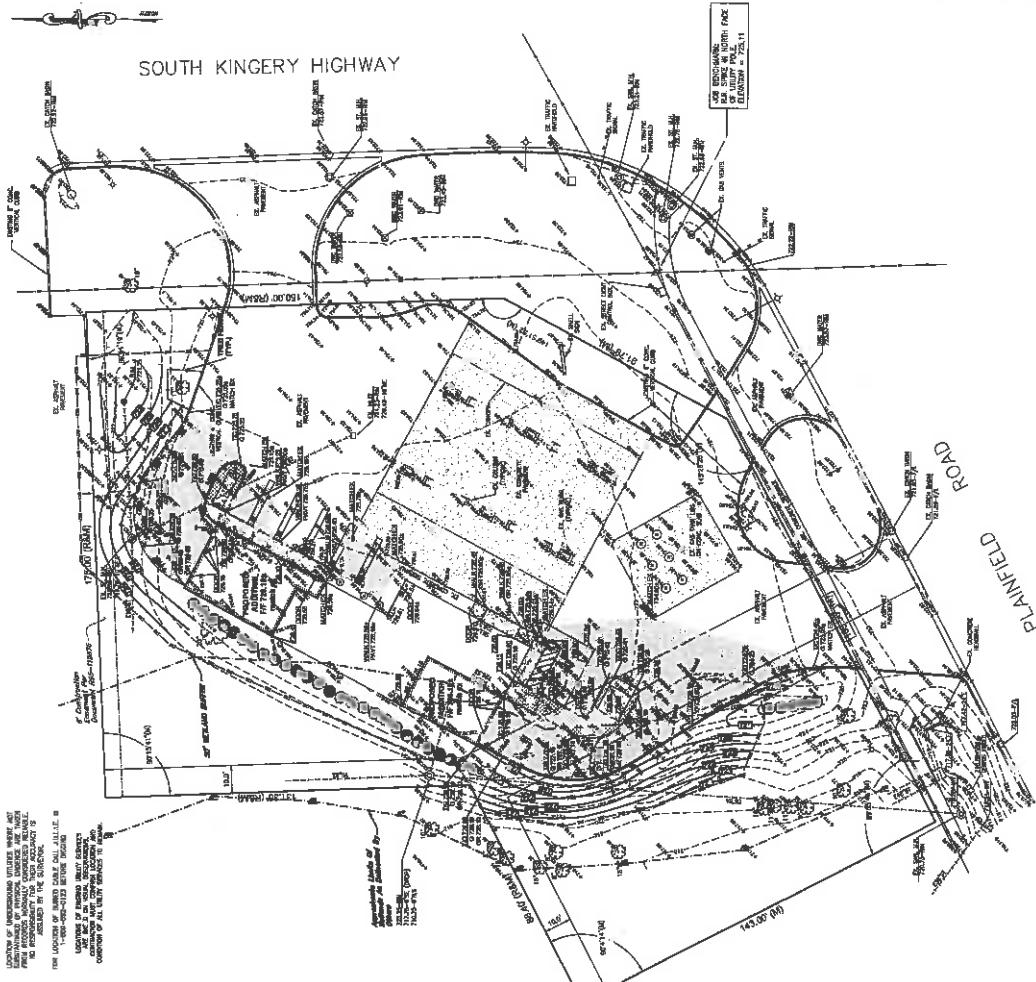
Legend:

- STORM SEWER
- WATER MAIN
- DITCH
- SEWAGE
- DIRECTION
- SURFACE DRAINAGE
- FENCE
- DOWNSPOUT

1000

Temporary Seeding, Species, Rates, & Dates	
Species	Rate
Red Fescue	100 lbs.
Bluegrass	100 lbs.
White Clover	100 lbs.
Red Clover	100 lbs.

SOUTH KINGERY HIGHWAY



PROJECT NO.:	100000
RELEASE DATE:	OCT 29, 2018
SCALAR:	1"=40'
SUBJECT FILE	
HOUSE FILE	
MAP NUMBER	
C-3	

NOTE: ALL ADA PARKING SPOTS AND ALL ADA WALK TO BE COMPLIANT WITH CURRENT ADA CODE. CONTRACTOR TO CONTACT BCI IF GRADED CONFLICTS ARISE.

NOTE: CONSTRUCTION CONTRACTOR TO ENSURE PROPOSED GRADES TO EXISTING



Attachment 11
Engineering Review Letter
(2 pages)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

January 17, 2020

Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

Attention: Ann Choi

Subject: 7000 Kingery – Car Wash Addition
(CBBEL Project No. 900144.H211)

Dear Ann:

As requested, we have reviewed the proposed site engineering plans and supporting documents for the above property prepared by Bono Consulting, Inc. and dated October 29, 2019. We have not reviewed the building architectural drawings. The following comments are submitted for your consideration:

1. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 189 for Du Page County dated August 1, 2019.
2. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
3. The floodplain limits and elevation must be shown on both Sheets C-1 and C-3
4. It appears that the grading southwest of the carwash entrance may impact the floodplain. If there is fill, compensatory storage will be required. Consideration should be given to modifying the plan to avoid floodplain fill.
5. The grass area at the north end of the site is detention from a previous expansion. The volume must be preserved. The applicant should request a copy of the previously approved plans from the Village for reference. Also, if there was a restrictor and it is now missing, it must be replaced.
6. Add a curb detail to the plan set.
7. An abbreviated Storm Water Submittal must be provided. Many sections will be noted as "Not Applicable", but because of the wetland and floodplain on site, it must be prepared.
8. The wetland delineation must be confirmed by CBBEL staff.
9. The wetland portion of the Stormwater Submittal must include a statement that the wetlands and buffer will not be impacted, or a discussion of impacts and mitigation if it is impacted.

If you have any questions, please do not hesitate to contact me.

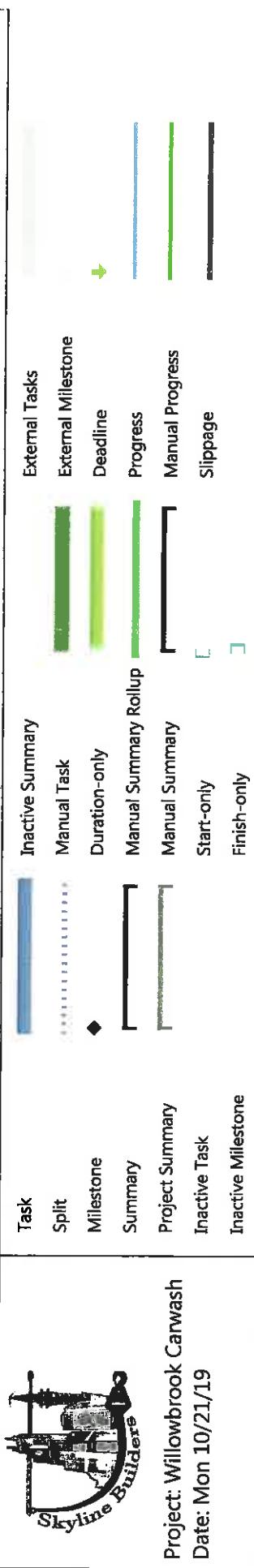
Sincerely,

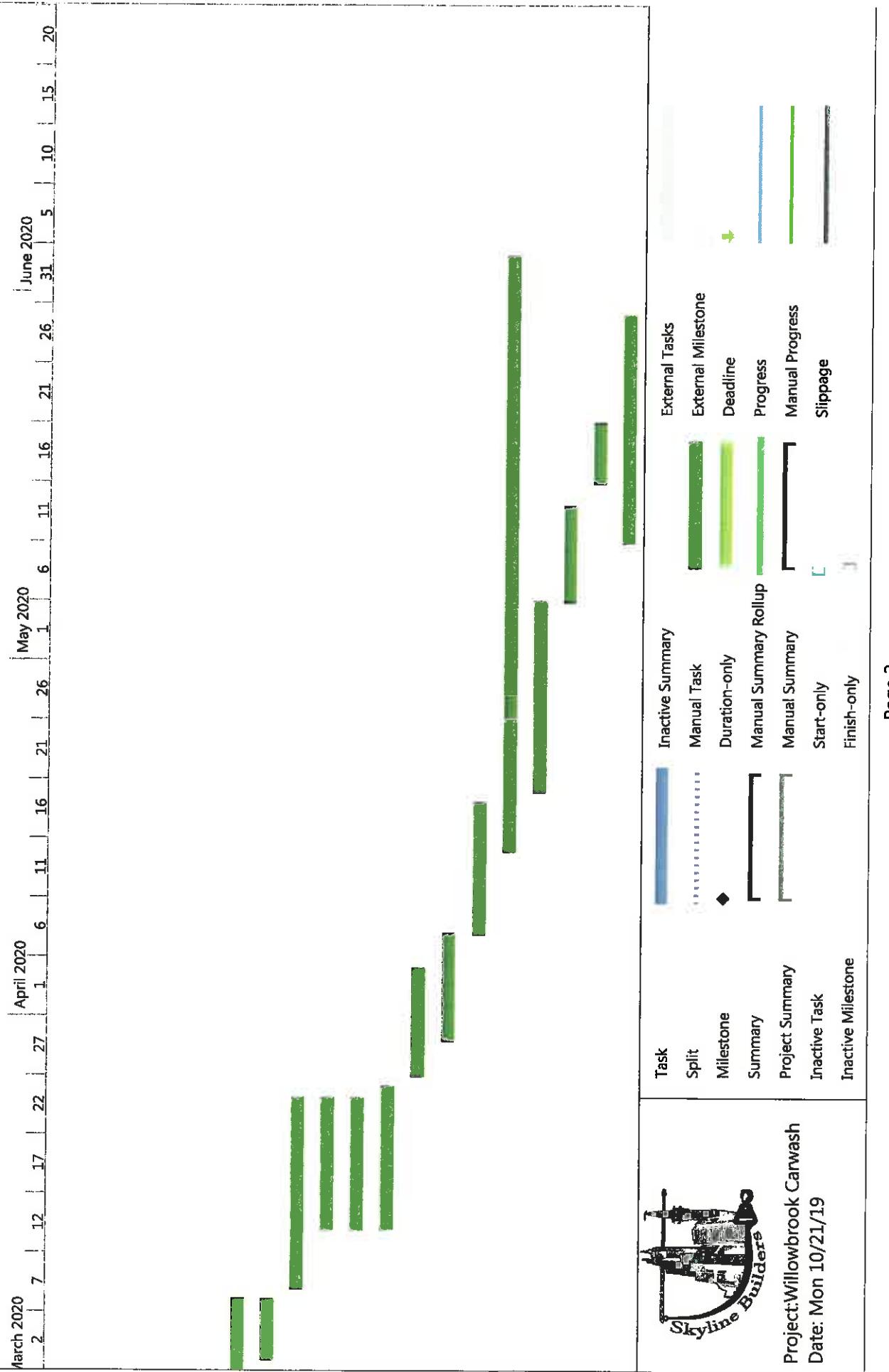
A handwritten signature in black ink, appearing to read "Daniel L. Lynch".

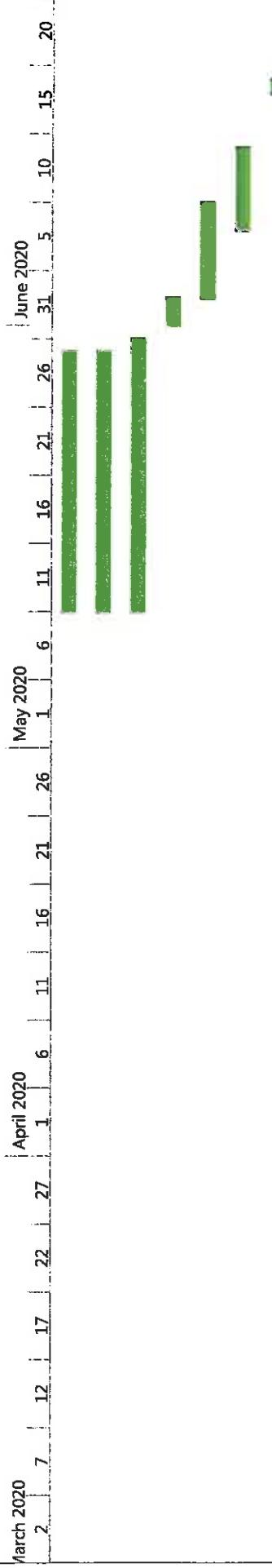
Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department



Attachment 12
Construction Schedule
(4 pages)







Task	Split	Milestone	Summary	Project Summary	Inactive Task	Inactive Milestone	External Tasks
							External Milestone
							Deadline
							Progress
							Manual Progress
							Slippage



Project: Willowbrook Carwash
Date: Mon 10/21/19



Attachment 13
Traffic Review Letter
(2 pages)

Project Traffic Review #1

To: Ms. Ann Choi
Planning Consultant, Village of Willowbrook

From: Lynn M. Means, P.E., PTOE
Senior Transportation Engineer

Date: January 16, 2020

Subject: Ducky's Car Wash Addition
7000 S. Kingery Highway (IL Route 83)
Willowbrook, Illinois

625 Forest Edge Drive, Vernon Hills, IL 60061
TEL 847.478.9700 • FAX 847.478.9701

www.gha-engineers.com

Per your request, Gewalt Hamilton Associates, Inc. (GHA) has reviewed the materials submitted on January 6, 2020 for the above captioned project pertaining to traffic, parking and on-site circulation. Conclusions of this effort and recommendations are presented below:

Traffic Impact Evaluation

1. The Traffic Impact Evaluation (TIE) prepared by KLOA follows guidelines established by the Institute of Transportation Engineers (ITE). We generally concur with the KLOA description of existing conditions.
2. Kingery Highway (IL Route 83) is under the jurisdiction of the Illinois Department of Transportation (IDOT) and Plainfield Road (County #31) is under the jurisdiction of the DuPage County Division of Transportation (DuDOT). Please provide copies of all correspondence with IDOT and/or DuDOT, as applicable.
3. The study appropriately includes weekday morning (7-9 AM), weekday evening (4-6 PM) and Saturday midday (12 – 2PM) peak hour traffic counts at key intersections within the study area.
4. The KLOA study included a year 2040 design horizon using volumes summarized in the Intersection Design Study (IDS) prepared for the Kingery Highway and Plainfield Road improvements, which were under construction at the time of the study. These improvements were also considered in the future analyses, as well as a 10 percent increase in existing site traffic volumes were included to account for the reduction associated with the construction activities.
5. Trip generation estimates for the proposed car wash addition were appropriately calculated based on published rates contained in the current edition, 10th Edition, of the ITE Trip Generation Handbook, using Land Use Code 948, Automated Car Wash. *Note: ITE does not have trip rates for an automatic car wash in the weekday morning peak hour. Please provide backup documentation on how the trips were generated during this timeframe.*
6. Studies have shown that for car wash / services developments, a substantial portion of the site-generated vehicle trips are already present in the adjacent passing stream of traffic, as well as internal trips occur between the land uses within multi-use developments. The KLOA study did not reduce the trip generation estimates for either pass-by or internal capture trips. The study also did not discount for the existing car wash trips. This suggests that KLOA has analyzed the maximum site impacts at the study area intersections.
7. The directional distribution of new development site traffic appears appropriate based on current travel patterns, the operational characteristics of the street system and site access.
8. The capacity analyses summaries provided in the study indicate that the site access driveways currently operate at acceptable levels of service and will continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. GHA concurs with these findings.
9. Access to the site is currently provided via three driveways: one right-in/right-out (RIRO) on Kingery Highway and two full access driveways on Plainfield Road. With the intersection improvements at Kingery Highway and Plainfield Road, the two Plainfield Road access driveways will be restricted to RIRO via the provision of a barrier median. The KLOA study recommended in connection with the proposed development the eastern access be

Ducky's Car Wash Addition
7000 S. Kingery Highway
Willowbrook, Illinois

restricted to entry only and the western access to egress only via modifications to the median island on site, along with appropriate signage. However, due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.

10. GHA concurs with the study recommendation to provide a stop bar, stop sign and right-turn only sign for outbound movements at the site's Kingery Highway access.

Site Plan

11. Truck turn exhibits should be provided that show the full turning maneuvers for delivery/trash/emergency vehicles accessing the site to verify adequate circulation is provided with the proposed site and recommended access modifications.

12. The site is currently served by seven parking spaces. With the proposed car wash addition, the number of spaces will be reduced to two, including one accessible space. Six vacuum positions will also be provided, along with a space at each fueling position. The site plan provided in the KLOA study depicts a maximum stacking of 6 vehicles at the car wash, without impacting site access or circulation. Note: The Traffic Control Plan shows a vehicle queue of 10 at the car wash; however, access to/from Plainfield Road is blocked under this scenario.

For the car wash use, Village Code requires one parking space per each 1.5 employees, as well as standing spaces (stacking) to accommodate a vehicle queue of 10 times the maximum capacity of the car wash (maximum number of vehicles in the tunnel at one time). Note: Ordinance No. 94-O-29, Section Twelve, granted a reduction in the stacking spaces from twenty to ten spaces for the current car wash use on the site. For the gasoline station component, Code requires one space per each vehicle fueling position, as well as one space per each 200 square-feet of floor area within the convenience store.

Accordingly, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. Supporting documentation should be provided in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit should be provided that illustrates the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) should also be provided.

13. The Site Plan should include the recommended Plainfield Road access modifications (see comment 9 above).

Traffic Control Plan

14. The Traffic Control Plan should include the recommended right-turn only signage at the site egress to both Kingery Highway and Plainfield Road, per the KLOA study.

15. The plan should include "Do Not Enter" signage at the terminus of the car wash tunnel exit lane.

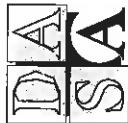
16. This plan should also include the Plainfield Road access modifications (closure of the eastern access), with appropriate signage.

* * * * *

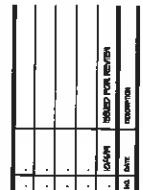
We hope you find these comments helpful in your assessment of the proposed development. Should you have any questions please do not hesitate to contact GHA at 847-478-9700.



Attachment 14
Traffic Control Plan
(1 Sheet)

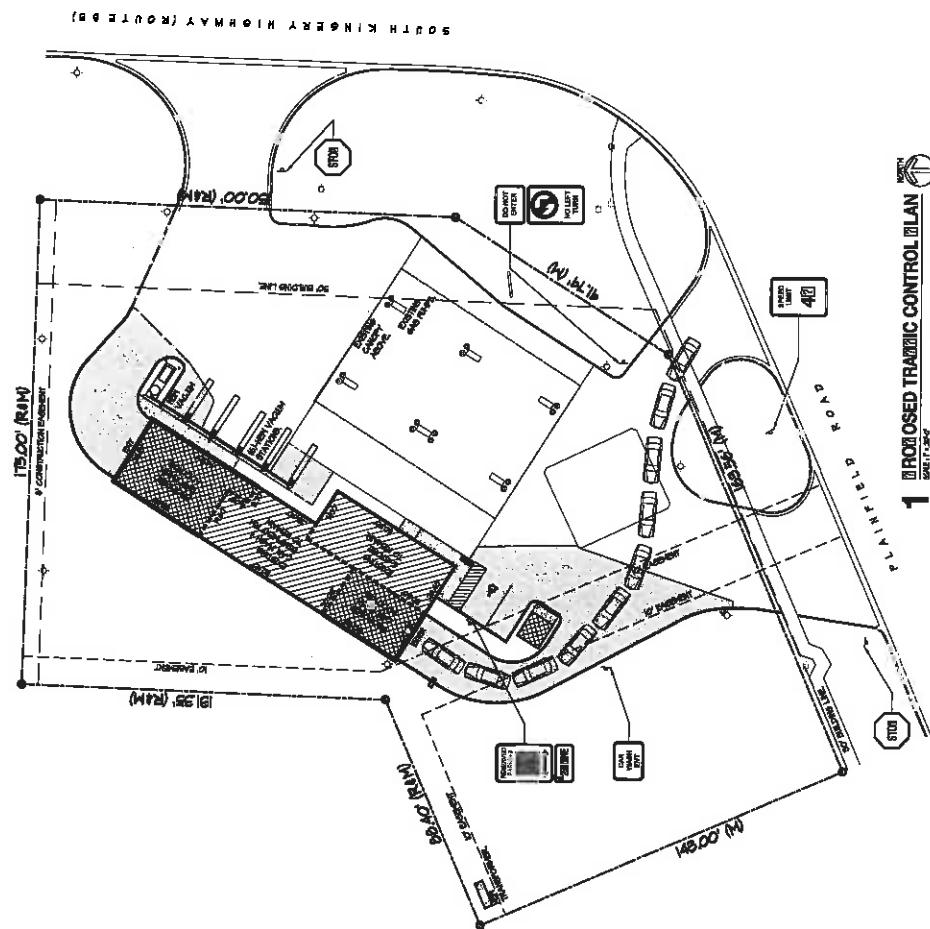
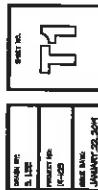


ESTATE & BUSINESS ATTORNEYS
2000 S. HIGHWAY 101, SUITE 340
DALLAS, TEXAS 75244
(214) 321-2240 FAX (214) 321-9330



Donald J. Schaefer 10/4/19
DATE
PROFESSIONAL DESIGN FIRM INC 104.000216
SIGNATURES

DUCKY'S CAR WASH ADDITION



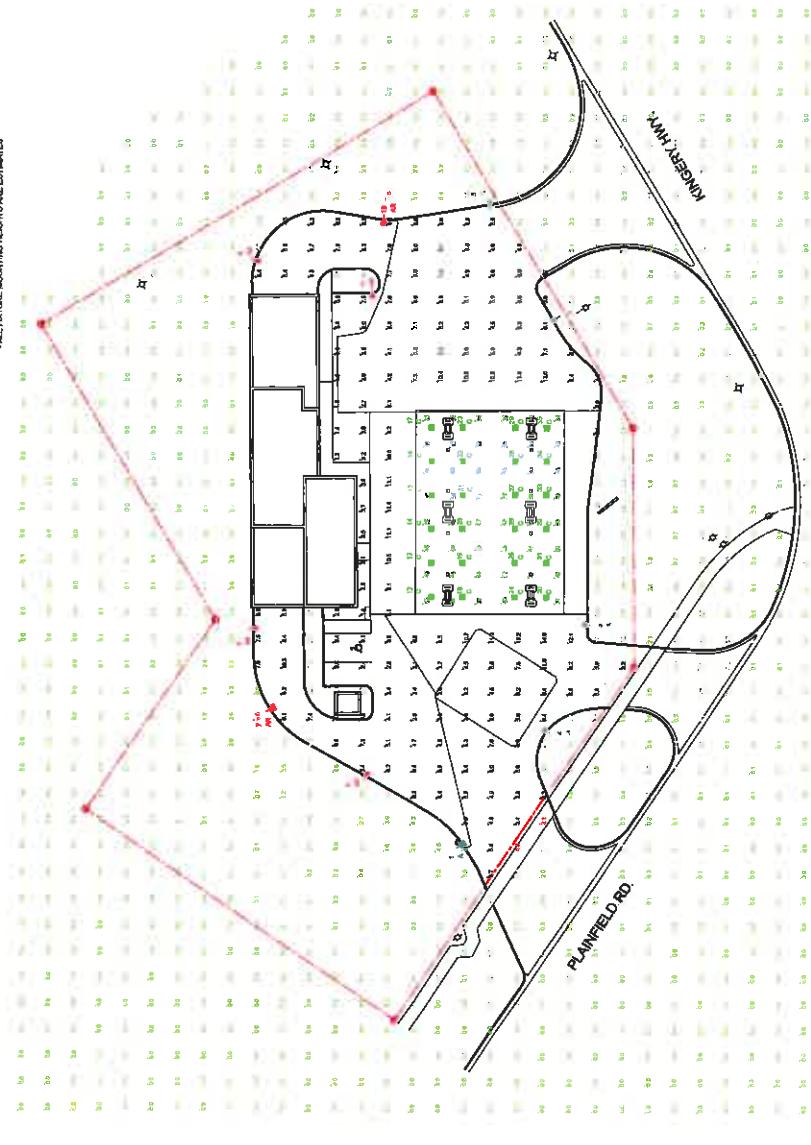


Attachment 15
Photometric Plan
(1 Sheet)

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumen	LLF	Watts (Each)
6	A	SINGLE	12670	1.00	134	670
6	AR	SINGLE	12670	1.00	134	670
24	C	SINGLE	13636	1.00	120	2880

Circulation Summary							LuminoLoc Data Summary				
Label	Area	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max
01 UNDER CHAOS	48.04	64	35	1.94	1.49	1	17	0	0	0	0
02 FAMED AREA	0.00	14.0	1.2	11.07	0.07	2	17	0	0	0	0
03 UNDEFINED AREA	0.00	12.7	0.0	N/A	N/A	3	17	0	0	0	0

NOTES:
- FOOTCANDLE LEVELS TAKEN AT GRADE USING INITIAL LUMEN VALUES
- ALL FOOTCANDLE LEVELS ARE ESTIMATES DUE TO LIMITED BUILDING A SITE INFORMATION
- AREA LIGHT UNITS ARE EXISTING UNITS NOTED ON H-NAME
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE ESTIMATES



EXTERIOR LIGHTING LAYOUT

Glossamer

مکالمہ ایک ایسا کام ہے جو ایک دوسرے کو اپنے کام کے لئے مدد کرے۔

三

DUCKY'S CAR WASH
7000 S KINGERY HWY
WILLOWBROOK, IL 60527

Smart Estates
ESTATE PLANNING FOR YOU OR YOUR BUSINESS
1000 Kempter Meadow Dr., Forest Park, OH 45050
(614) 852-9500
www.smartestates.com

二二



Attachment 16
Planning Review Letter
(6 pages)



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

January 22, 2020

Atten: David Schaefer
2500 S. Highland Avenue, Suite 340
Lombard, IL 60148

Re: **Ducky's Car Wash Addition Planning Review #1**

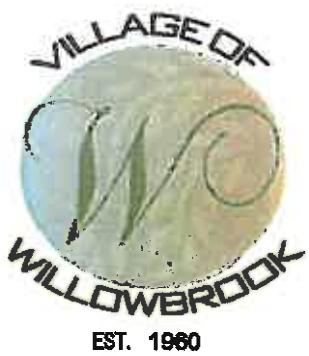
Mr. Schaefer,

Planning staff has reviewed the preliminary plans, submitted January 2, 2020, for the Ducky's Car Wash Addition, located at 7000 S. Kingery. The preliminary plans have been submitted as part of a petition to the Village of Willowbrook for an amendment to the special use and approval of several variations. The following plans and reports have been reviewed per the requirements of the Village of Willowbrook Zoning Ordinance:

1. Legal Description – 1 sheet, received by the Village on the date, January 3, 2020.
2. Plat of Survey – 1 sheet, prepared by Professional Land Surveying, Inc., and dated September 13, 2019.
3. Site Plan – 1 sheet, Sheet CV, prepared by David A. Schaefer Architects PC, and dated 10/4/2019.
4. Architectural Drawings – 5 sheets, Sheet Nos. A1-A5, prepared by David A. Schaefer Architects PC, and bearing the latest revision date of 10-4-2019.
5. Civil Engineering Plans – 4 sheets, Sheet Nos. C0-C3, prepared by Bono Consulting Inc., and bearing an issue date of October 29, 2019.
6. Construction Easement Documents – 4 documents in total:
 - a. R1944-465114
 - b. R1961-019732
 - c. R1961-021445
 - d. R1992-119876 (Easement Agreement)
7. Engineer's Estimate of Probable Construction Cost – 1 page, prepared by Bono Consulting, Inc., and dated October 29, 2019.
8. Traffic Impact Evaluation – 58 pages, prepared by Kenig, Lindgren, O'Hara, Aboona, Inc., and dated October 11, 2019.
9. Traffic Control Plan – 1 sheet, Sheet No. T1, prepared by David A. Schaefer Architects PC, and bearing a revision date of 10/4/2019.
10. Traffic Regulation Agreement – 9 pages, dated December 31, 2019.
11. Landscape Plans – 2 sheets, prepared by Kestrel Design, and bearing a revision date of November 12, 2019.
12. Photometric Plan (Exterior Lighting Layout) – 16 pages, prepared by Red Leonard Associates, and dated 10/28/19.
13. Construction Schedule – 4 pages, prepared by Skyline Builders, dated 10/21/19.
14. Wetland Delineation Report – 39 pages, prepared by Gary R. Weber Associates Inc., and dated August 27, 2019. Includes EcoCAT Report – 2 pages, dated 8/27/19.



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Illinois Route 66 Scenic Byway



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Willowbrook, IL 60527-5549

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Terrence Kelly

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Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

Please address the following items:

Outstanding Items:

1. Please submit the Kane DuPage Soil and Water Conservation District Land Use Opinion that is required as part of this application.

Site Plan

2. Provide the setback distances for all vacuums from the property lines. Revise the 70' requirement to 100' requirement.
3. The location of the transformer pad should be consistent on all drawings.
4. Confirm that the gross floor area of the car wash addition is 1,120 sq.ft. or 1,351 sq.ft. since the areas shown on Sheet A1 under Lot Coverage a FAR are different.
5. See Comments under the section "Traffic Comments on Site Plan" below.

Preliminary Architectural Plans

6. The building elevations and Sheet A5 (Wall Section 4) indicate a second level at within the "tower elements". Include the floor areas (sq.ft.) proposed per level and if there is a second level, provide those floor plans.

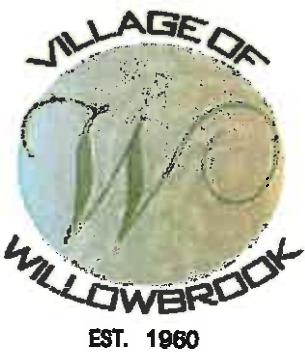
Christopher B. Burke Engineering, Ltd., Inc. (CBBEL) has reviewed the proposed site engineering plans and supporting documents for the above property prepared by Bono Consulting, Inc. and dated October 29, 2019. The following comments are submitted for your consideration:

Preliminary Engineering Plans

7. The cover sheet states that there is no floodplain within 100 feet of the site. This is incorrect as there is floodplain on the property. Please refer to Flood Insurance Rate Map panel 188 for Du Page County dated August 1, 2019.
8. The Du Page County Stormwater Ordinance provides that the plan reference two Du Page County Benchmarks which were used to establish the survey datum. These must be noted on the cover page.
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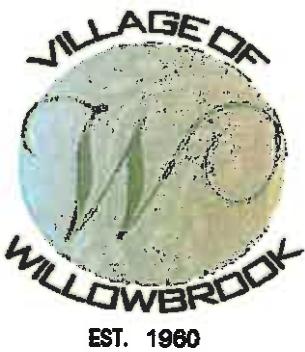
Gewalt Hamilton Associates, Inc. (GHA) has reviewed the materials submitted on January 6, 2020 for the above captioned project pertaining to traffic, parking and on-site circulation. Conclusions of this effort and recommendations are presented below:

Traffic Impact Evaluation

16. The Traffic Impact Evaluation (TIE) prepared by KLOA follows guidelines established by the Institute of Transportation Engineers (ITE). We generally concur with the KLOA description of existing conditions.
17. Kingery Highway (IL Route 83) is under the jurisdiction of the Illinois Department of Transportation (IDOT) and Plainfield Road (County #31) is under the jurisdiction of the DuPage County Division of Transportation (DuDOT). Please provide copies of all correspondence with IDOT and/or DuDOT, as applicable.
18. The study appropriately includes weekday morning (7-9 AM), weekday evening (4-6 PM) and Saturday midday (12 – 2PM) peak hour traffic counts at key intersections within the study area.
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21. Studies have shown that for car wash / services developments, a substantial portion of the site-generated vehicle trips are already present in the adjacent passing stream of traffic, as well as internal trips occur between the land uses within multi-use developments. The KLOA study did not reduce the trip generation estimates for either pass-by or internal capture trips. The study also did not discount for the existing car wash trips. This suggests that KLOA has analyzed the maximum site impacts at the study area intersections.
22. The directional distribution of new development site traffic appears appropriate based on current travel patterns, the operational characteristics of the street system and site access.
23. The capacity analyses summaries provided in the study indicate that the site access driveways currently operate at acceptable levels of service and will continue to do so with the proposed car wash expansion traffic. The increase in site traffic will have minimal impact on adjacent roadway operations. GHA concurs with these findings.
24. Access to the site is currently provided via three driveways: one right-in/right-out (RIRO) on Kingery Highway and two full access driveways on Plainfield Road. With the intersection improvements at Kingery Highway and Plainfield Road, the two Plainfield Road access driveways will be restricted to RIRO via the provision of a barrier median. The KLOA study recommended in connection with the proposed development the eastern access be restricted to entry only and the western access to egress only via modifications to the median island on site, along with appropriate signage. *However, due to the Plainfield Road eastern access proximity to Kingery Highway, the estimated number of U-turns (traffic entering the site from Plainfield Road eastbound), the ability to serve*



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deliveries / fuel-tanker trucks, as well as to minimize conflicts on the adjacent roadway network and the pedestrian environment (crossing of driveways), it is recommended that the Plainfield Road eastern access be closed and the western access serve entry/exit to the site.

25. GHA concurs with the study recommendation to provide a stop bar, stop sign and right-turn only sign for outbound movements at the site's Kingery Highway access.

Traffic Comments on Site Plan

26. Truck turn exhibits should be provided that show the full turning maneuvers for delivery/trash/emergency vehicles accessing the site to verify adequate circulation is provided with the proposed site and recommended access modifications.
27. The site is currently served by seven parking spaces. With the proposed car wash addition, the number of spaces will be reduced to two, including one accessible space. Six vacuum positions will also be provided, along with a space at each fueling position. The site plan provided in the KLOA study depicts a maximum stacking of 6 vehicles at the car wash, without impacting site access or circulation. *Note: The Traffic Control Plan shows a vehicle queue of 10 at the car wash; however, access to/from Plainfield Road is blocked under this scenario.*

For the car wash use, Village Code requires one parking space per each 1.5 employees, as well as standing spaces (stacking) to accommodate a vehicle queue of 10 times the maximum capacity of the car wash (maximum number of vehicles in the tunnel at one time). *Note: Ordinance No. 94-O-29, Section Twelve, granted a reduction in the stacking spaces from twenty to ten spaces for the current car wash use on the site. For the gasoline station component, Code requires one space per each vehicle fueling position, as well as one space per each 200 square-feet of floor area within the convenience store.*

Accordingly, it does not appear that the site will provide either adequate parking or stacking to accommodate the site uses to satisfy Village Code. Supporting documentation should be provided in order to verify appropriate parking and stacking will be provided, i.e., ITE Parking Generation, 5th Edition parking demand calculations, local data collected at existing facilities, and/or perform a queuing analysis based on the projected traffic and operational characteristics (time to pay, time to load on conveyor, time in tunnel, etc.). A revised stacking exhibit should be provided that illustrates the anticipated demand, without blocking access to/from the site. Additional supporting operational characteristics (maximum number of employees present at one time, use of vacuum stations / are they free with wash, etc.) should also be provided.

28. The Site Plan should include the recommended Plainfield Road access modifications (see comment 24 above).

Traffic Control Plan

29. The Traffic Control Plan should include the recommended right-turn only signage at the site egress to both Kingery Highway and Plainfield Road, per the KLOA study.
30. The plan should include "Do Not Enter" signage at the terminus of the car wash tunnel exit lane.
31. This plan should also include the Plainfield Road access modifications (closure of the eastern access), with appropriate signage.



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Parking & Loading

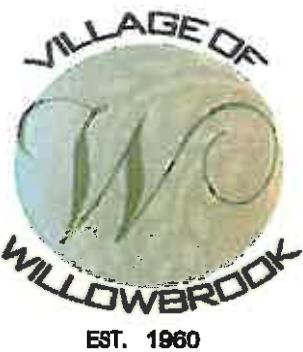
32. The site plan only provides two (2) parking spaces and the project requires eighteen (18) parking spaces. Provide studies and justification to indicate that the proposed parking spaces will be sufficient to serve the service station, car wash and convenience mart.

Landscape Plan

33. Revise the landscape plans to include the correct property boundary and a graphic scale. The landscape plans should be scaled to the same scale as the site plans (1" = 20').
34. Revise the landscape plans to comply with Section 9-6-1(D). The legend should be revised to indicate the number of evergreen, shrubs, deciduous shrubs, ornamental trees, conifer trees and shade trees and how many points are assigned to each planting. (A sample of landscape plan is enclosed.)
35. Illustrate all berms and berm heights to comply with Section 9-6B-3(E)5 and Ordinance No. 94-O-29, Section Ten.
36. Revise the landscape plans for the location and construction of landscaping that does not interfere or conflict with the use of any utility easement or utility installations existing or that is not planned to be installed in these easement areas per Section 9-10-5(G)2.
37. The landscape schedule should be revised to show the height of plantings at time of planting. The landscape plans shall comply with Section 9-12-4(D)1.
38. Section 9-10-5(G)3 of the Village Code requires that end parking islands shall be a minimum of nine-foot (9') in width and that each island shall be effectively landscaped with appropriately sized plantings at a minimum ratio of one shade tree and nine (9) dwarf variety shrubs per island. Illustrate compliance with the required number of shade trees and dwarf shrubs.
39. Include the percentages of landscaped areas per Section 9-10-5(G)3. The landscape plans should be revised to show landscaping in the end parking islands.
40. Revise landscape plans to indicate the quantity, specific type and category (deciduous, evergreen, shrubs, etc), and size (height) of all plant material per Section 9-10-5(G)4. (See enclosed copy of sample landscape plan.)
41. Section 9-14-2(D)2 provides for Standards for Required Landscaping: All landscaping plans required hereunder shall be subject to the following standards:
42. Section 9-14-2(D)2(a) requires that all areas of the development not proposed to be improved with structures, paved areas, walks, retention or detention areas, lighting or other approved landscaping shall be improved with Kentucky blue grass sod or seed. Demonstrate compliance with Section 9-14-2(D)2(b) by including the landscape area calculations on the Landscape Plan.
43. Section 9-14-2(D)2(b) requires one approved planting for each seven hundred twenty-five (725) square feet of gross lot area. For each required planting there shall be provided an additional ten (10) square feet of approved ground cover adjacent thereto.
 $49,992 \text{ sq.ft.} / 725 \text{ sq.ft.} = 69 \text{ plantings}$
44. Section 9-14-2(D)2(c)(2) requires that conifer trees shall comprise a minimum of ten percent (10%) of the required landscape plantings and shall not be less than five feet (5') in height. Landscape plan should be revised to show compliance.
 $5\% \text{ of } 69 = 3.45 = 3 \text{ shade trees}$
45. Section 9-14-2(D)2(c)(3) requires that ornamental trees shall be provided and shall not be less than one and one-half inches (1 1/2") in caliper measured one foot (1') from the ground nor less than six feet (6') in height. Ornamental trees shall comprise a minimum of twenty percent (20%) of the required landscape plantings. Landscape plan should be revised to show compliance.



Proud Member of the
Illinois Route 66 Scenic Byway



Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

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Paul Oggerino

Village Administrator

Brian Pabst

Chief of Police

Robert Schaller

Director of Finance

Carrie Dittman

20% of 69 = 13.8 = 14 ornamental trees

46. Section 9-14-2(D)(2)(c)(4) requires that a landscaped area having a minimum width of seven feet (7') shall be provided around all buildings except for building entrances and the front of retail business facilities to permit appropriate foundation plantings. Border plantings and foundation plantings shall be provided and shall comprise the remainder of the required landscape plantings, of which a minimum of one-half (1/2) shall be deciduous shrubs at a minimum height of three feet (3') and the remaining one-half (1/2) shall be evergreen shrubs at a minimum height of two feet (2'). The 7' wide landscaped area and required border and foundation plantings are only shown on portions of the perimeter of the building. A variation is required to reduce the minimum foundation landscape area from seven feet (7') to zero feet at the south building façade.

Signage

47. All signage must comply with the Sign Ordinance (Chapter 11 of the Municipal Code).

Fences

48. No fences have been proposed.

Comment Response Letter

49. Please submit a comment response letter responding to each item in this letter.

As a reminder, your petition is scheduled to appear before the Plan Commission on Wednesday, February 5, 2020 at 7:00 pm at the Willowbrook Police Department, Training Room, 7760 Quincy Street, Willowbrook, Illinois. A formal recommendation will likely be made at this meeting.

If you have any questions, you may contact me at planner@willowbrook.il.us or (630) 920-2233.

Sincerely,

Ann Choi
Village Planner

Cc: Michael S. Mertens
Dan Lynch



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Illinois Route 66 Scenic Byway



Village of Willowbrook
Staff Report to the Plan Commission

Plan Commission Date:	February 5, 2020		
Prepared By:	Ann Choi, Village Planning Consultant		
Case Title:	CONCEPT REVIEW: "735 Plainfield Road PUD" – Planned Unit Development for a hotel, financial institution and restaurant with drive-through.		
Applicant:	GW Property Group, LLC (and Louis Viren as property owner)		
Action Requested:	Conceptual review and feedback on a planned unit development approval of an approximately 14,330 square foot hotel (Home2Suites), a 6,800 square foot financial institution (Chase Bank), and a 2,400 square foot restaurant with a drive-through (Starbucks), and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
Applicable Regulations:	Comprehensive Plan, Zoning Ordinance, Subdivision Regulations		
Location:	735 Plainfield Road, Willowbrook IL 60521		
PINs:	09-23-406-003		
Existing Zoning:	B-2 Community Shopping		
Proposed Zoning:	B-2 Community Shopping with a Special Use for a PUD		
Existing Land Use:	Willowbrook Bowl (not currently operational)		
Property Size:	2.79 Acres		
Surrounding Land Use:	North	Use Limited Office Professional	Zoning LOP
	South	Community Shopping	B-2
	East	Office Research	OR
	West	Community Shopping	B-2
Documents Attached:	Attachment 1: Site Plan Attachment 2: Building Elevations Attachment 3: Traffic Impact and Parking Study Suggested Scope of Work		
Necessary Action by Plan Commission: <i>No vote is required.</i> The Plan Commission is asked to review and provide preliminary feedback to the applicant on the possible special use planned unit development.			



Development Proposal

Location & Zoning Request

The subject property is located on the south side of Plainfield Road, between Illinois Route 83 to the west and Adams Street to the east. The site contains about 2.79 acres and is currently improved with one building, formerly occupied by the Willowbrook Bowling Alley. Adjacent developments include Pete's Fresh Market/Willows Shopping Center to the northwest, the existing Chase Bank to the north, Willowbrook Kindercare to the northeast, TCF Bank to the east, and the Willowbrook Town Center to the west and south. The existing bowling alley building on the subject property has non-conforming setbacks as it is situated at the far southeast end of the lot, not far from the south and east property lines.

Existing access to the subject property includes one driveway on Plainfield Road and one cross-access driveway along the western property line that connects to the Willowbrook Town Center. Nearly all of the balance of the lot is paved with a parking lot. Immediately east of subject property line is TCF Bank and currently, there is no direct access from the subject property to TCF Bank or to Adams Street, which has a higher elevation than the subject property.

GW Properties, LLC, (the "Applicant") proposes to demolish the existing building on-site and is requesting feedback on the proposed Planned Unit Development (PUD) with hotel, restaurant with drive-through, and a bank. It is anticipated that following the concept review, a formal application will be submitted for a request to approve a special use permit for the PUD including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; a Preliminary and Final Plat of Subdivision; and a Preliminary and Final Plat of PUD. The Applicant intends to redevelop the property into a three-tenant mixed use development that will include a four-story hotel (Home2 Suites by Hilton) on southern portion of the property, a 6,800 square foot financial institution (Chase Bank) on the northwest portion of the property, and a restaurant with drive-through (Starbucks) on the northeast portion of the property.

Exhibit 1: Location Map





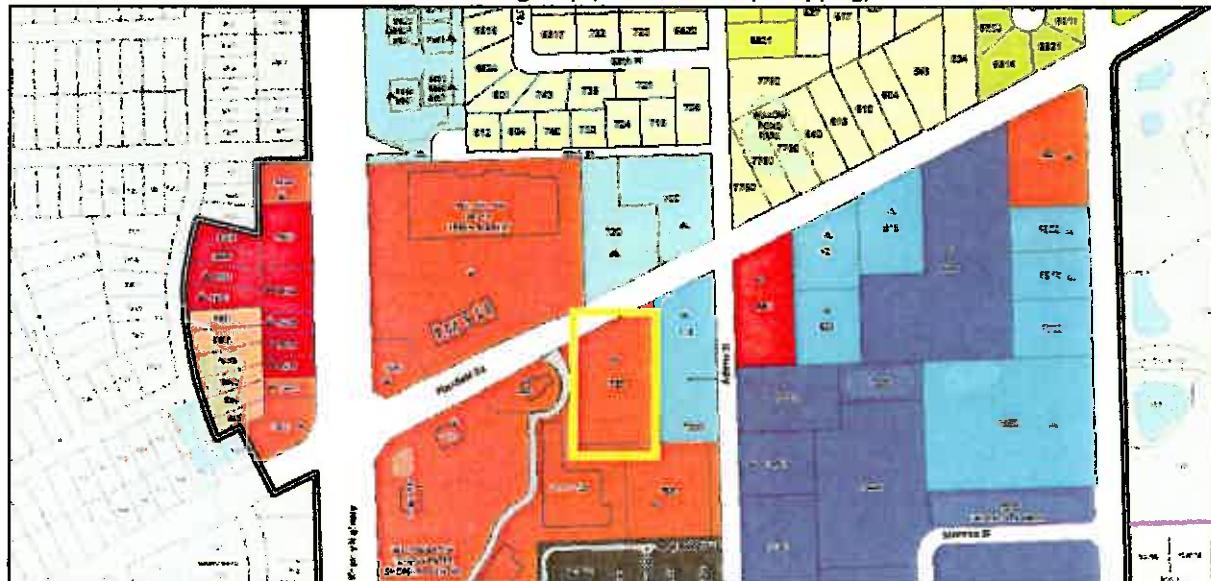
Summary of Requests:

1. Special Use Permit for a Planned Unit Development with a hotel, restaurant with drive-through, and bank including certain relief, exceptions and waivers from Title 9 and Title 10 of the Village Code.
2. Resubdivision of the subject property into three lots.

Exhibit 2: Street View of Subject Property



Exhibit 3: Zoning Map (B-2 Community Shopping)



History/Background

The subject property was developed in 1963 by Louis Viren's Father, Lou Senior, as a bowling alley and restaurant. In 1973, ten years later, eight (8) additional bowling lanes were added towards the west. The property owner, Lou Viren, took over the ownership and operational management in 2003 and has run the business since. The petitioner, GW Properties, has been working with the property owner and the Village on potential redevelopment concepts for the property. The Plan Commission last saw concepts for the subject property in September 2018 for the reuse and repurposing of the existing bowling alley building (now vacant) for an entertainment venue consisting of boutique bowling, laser tag, video arcade and a restaurant bar. The previous concept also included a Chase Bank as an outlet.



Business Narrative

Hotel

Home2 Suites, a four-story, approximately 14,330-square-foot, 90-room hotel, is an affordable, all-suite hotel that features contemporary accommodations. Home2 Suites targets both business and leisure travelers and opened its first location in 2011. As of today, they have 290 locations throughout the United States, Canada and Mexico.

GW Property Group, LLC will be selling the 1.35-acre western portion of the property (Lot 1) to Prominence Hospitality Group who will be developing the property and managing the hotel. Prominence Hospitality Group is the owner and operator of over twenty hotels throughout the Midwest, under the flags of Hilton, Marriott, Hyatt, Choice Hotels, Carlson Rezidor Hotel Group and InterContinental Hotels Group.

Restaurant with Drive-through

On the northeast corner of the subject property, GW Property Group will be developing a one-story, approximately 2,400 square-foot, free-standing restaurant with one drive-through lane on the 0.65-acre northeast lot (Lot 2). The restaurant's hours of operation will be Monday – Thursday 5:30am – 9:30pm; Friday 5:30am – 11pm; Saturday 6am-10pm; Sunday 6am-9:30pm.

Financial Institution

Chase Bank wishes to purchase a subdivided 0.71-acre parcel (Lot 3). Chase Bank will be relocating from across the street into a brand new 6,800 square-foot property with two drive-through lanes. Chase Bank will be purchasing their portion of the property from GW Property Group, LLC and self-developing their new branch. Chase Bank's hours of operation will be Monday – Saturday 9am-6pm and will be closed on Sundays.

Staff Analysis

Appropriateness of Use

The subject property is zoned B-2 Community Shopping and is within the Route 83/Plainfield Road Business District. The financial institution is a permitted use and the restaurant with drive-through use is permitted as a special use in the B-2 Community Shopping District. The hotel use is a permitted use in the B-4 Highway And Service Business District, but *may* be accommodated as part of the Planned Unit Development process, utilizing a waiver from Section 9-13-6(K). Section 9-13-6(K) allows any permitted or special use available under any of the various zoning districts classifications, as either a permitted or special use within a PUD consisting of more than five (5) acres, and specifically approved by the Village Board, after a finding that such use is consistent with the PUD objectives. Since the proposed development is under five acres, the applicant will need to request a variation from this section to allow the hotel use.

Although the B-2 Community Shopping District is typically geared more towards retail uses and the proposed uses will not generate retail sales tax revenue for the Village, the Village will benefit from a recently amended hotel tax and the proposed restaurant with drive-through would generate a places of eating tax. The proposed uses will also occupy a key vacancy along Plainfield Road and are appropriately scaled to fit comfortably into the community and commercial/office surroundings. A bank is a compatible and complementary use next to the hotel and restaurant with drive-through. In addition, it will bring additional foot traffic and consumers to the adjacent shopping center and surrounding area.

The proposed development presents some challenges as the site will need to accommodate three high-intensity uses on less than three acres. Further studies will be required to evaluate impacts on circulation and site access. However, Staff believes the combination of uses are appropriate for the area and will benefit the community overall.



Bulk Regulations & PUD Standards

The property is zoned B-2 Community Shopping. A detailed discussion of important bulk exceptions and variations is provided below and summarized in the following tables. Items in orange require certain relief, exceptions or waivers from the code. Items in blue indicate where the proposed site plan was deficient, and Staff requests more information to assess.

Setbacks:

Staff notes that numerous non-conformities will result as part of the subdivision into three lots. Refer to Table 1 for a review of the B-2 bulk regulations.

Table 1: B-2 Zoning District Bulk Regulations

B-2 Zoning District Bulk Regulations						
Item	Code Section	Code Requirement	Single Lot	Lot 1 Proposed	Lot 2 Proposed	Lot 3 Proposed
Min. Lot Area (acres)	9-6B-3(A)	1	2.79	1.35	0.65	0.71
Min. Lot Width	9-6B-3(C)1	200'	More than 200'	N/A	Less than 200'	N/A
	9-6B-3(C)3	150'	More than 150'	More than 150'	N/A	More than 150'
Min. Lot Depth	9-6B-3(D)	200'	More than 200'	More than 200'	More than 200'	Need more info
Min. Front Yard Setback (Plainfield Road)	9-6B-3(E)1	60'	More than 60'	71'-3 1/2"	More than 60'	More than 60'
Min. Interior Side Yard Setback	9-6B-3(E)2	30'	48'-2 1/2" (west) 11'-8" (east)	More than 30' (north) 31'-8 1/2" (south)	More than 30' (west) 11'-3" (east)	74'-2 1/2" (west) 5' (east)
Min. Exterior Side Yard Setback (Plainfield Road)	9-6B-3(E)3	60'	No exterior side yards (landlocked)			
Min. Rear Yard Setback (88.40' and 132.05' lot lines)	9-6B-3(E)4	40'	31'-8 1/2" (south)	49'-9 1/2"	More than 40'	Less than 40'
Max. Lot Coverage	9-6B-3(F)	50%	19.9%	24.3%	8.5%	21.9%
Max. Height	9-6B-3(G)	30'	More than 30' (total)	More than 30'	Less than 30'	Less than 30'
Max. Floor Area Ratio	9-6B-3(H)	0.30	0.20	0.24	0.08	0.22

Parking, Access & Circulation

Access & Circulation

The subject property is currently served by an existing eastbound right-in, right-out only access along Plainfield Road. The proposed development proposes to change this to a right-in and left-out/right-out access. The subject property has an existing cross access agreement in place with the Willowbrook Town Center along the western portion of the lot. The proposed development will further require an additional cross access agreement since interior vehicular circulation is dependent upon shared access between all three lots. The proposed development also proposes an access drive between Lot 2 and the lot to the east of the property. The topography needs further study to see if this cross access is feasible. Staff notes that Lot 1 will be landlocked due to the subdivision of the three lots, and will not have frontage along a public street. Lot 1 will only be accessible via the existing drive aisle that is part of the Willowbrook Town Center. A waiver from the subdivision regulations that require lots to front on a public street will be required.



Proposed Parking & Loading

As a single unified lot, the proposed development provides sufficient parking. However, after the lot has been subdivided into three lots, Lot 1 will be deficient by 19 parking spaces and will require a variation for reduced parking. As an alternative, a shared parking agreement will likely be necessary to resolve the parking issues between the three lots.

The proposed development also does not indicate any areas for loading. Refer to **Table 2** and **Table 3** for the Parking & Loading Tables.

Table 2: Off-Street Loading

Off-Street Loading						
Item	Code Section or Ordinance	Code Requirement	Single Lot	Lot 1 Proposed	Lot 2 Proposed	Lot 3 Proposed
Location	9-10-4(A)	See code		Need more info		
Size	9-10-4(B)	12' x 55' 14' vert. clearance			Need more info	
Access, Servicing, Repair and Service, Use, Computation	9-10-4(C-G)	See code			Need more info	
Required Berths	9-10-4(H)	Single – 1 1 – Lot 1 0 – Lot 2 1 – Lot 3		0	0	0

The proposed development does not indicate any loading berths on the site plan. Staff recommends that the site plan be revised to include loading berths that serve the highest intensity uses, the restaurant with drive-through and the hotel.

Table 3 on the following page indicates that numerous waivers for parking area setbacks will be required for each lot.

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Table 3: Off-Street Parking

Off-Street Parking						
Item	Code Section or Ordinance	Code Requirement	Single Lot	Lot 1 Proposed	Lot 2 Proposed	Lot 3 Proposed
Parking Area Setbacks:	9-10-5(G)	10' from nearest lot line in int.side and rear yards and 15' from nearest lot line in front and ext. side yards	Int.side 3'-8 1/2" (south) Zero feet and 3'-4" (west) Zero feet (east)	Int.side 3'-8 1/2" (south) Bank drive-through is partially in hotel lot (north) Front Zero feet (west) Rear Zero feet (east)	Int.side 0 feet (west & east) Front More than 15' Rear 0 feet (south)	Int.side Need more info (east) 9'-10" (west) Front More than 15' Rear Bank drive-through is partially in hotel lot (north)
	9-10-5(G)	25' from property line	Less than 25'	N/A	Less than 25'	Less than 25'
Screening and Landscaping Standards	9-10-5(G)1-(G)4	See code		Need more info		
Lighting	9-10-5(I)4	See code		Need more info		
Required Spaces	9-10-5(K)	Bank 1/300 Hotel varies Rest. 1/100	Hotel 94 Rest. 24 Bank 23 Total 141 req'd. 147 prov.	94 required 75 provided	24 required 35 provided	23 required 37 provided
Minimum Parking Space And Aisle Dimensions	9-10-5(L)1	9' x 18'		Need more info		
Undivided 2-way driveway	9-10-5(L)2(a)2(b)	Not less than 24' wide or more than 38' wide.		Need more info		
Radius Connecting Street Pavement Edge and Driveway Edge	9-10-5(L)2(b)2(a)	See code		Need more info		
Driveway Location on Lots for all Uses other than SFR	9-10-5(L)2(d)	70'		Less than 70'		
Spacing betw. Separate Driveway Entrances	9-10-5(L)2(e)	Min. 400'		Need more info		
Spaces For The Physically Handicapped	9-10-5(N)1	Single – 5 Lot 1 – 3 Lot 2 – 2 Lot 3 – 2	5	2	1	2



Trash Enclosure & Signage

To comply with the current zoning ordinance, the applicant is required to install a trash enclosure for the dumpster on the property, per Section 9-12-11(A)1 of the Village's code. The proposed plan indicates there will be two trash enclosures on Lots 1 and 2. The refuse storage areas shall be screened on a minimum of three (3) sides by a solid masonry wall or equivalent material to a height of not less than 6' and no greater than 7' in height. Signage details have not yet been provided by the applicant but the proposed site plan indicates there will be two monument signs, one on Lot 2 and one on Lot 3. Section 9-11-12(B)1(d) permits a total of one freestanding ground sign for businesses in the B-2 District having a gross floor area of less than thirty-five thousand (35,000) square feet. A variation may be required to permit the second monument sign as part of the PUD.

Tri-State Fire Protection District Preliminary Comments

The Fire Protection District offered the following concerns:

1. The turning radius of the drive with curbs and access.
2. Width of the drive. A minimum 20-foot clear drive access is required.
3. Hydrant locations: additional hydrants will be required.
4. Entry into the property.

Staff recommends that the applicant meet with the Tri-State Fire Protection District prior to the formal application submittal to address these concerns.

Engineering Preliminary Comments

1. We would suggest that the driveway onto Plainfield Road be "right in – right out" considering its proximity to the signalized intersection to the Town Center/Pete's Fresh Market. The driveway is within the taper to the left turn lane of that intersection. DuPage Co. DOT has jurisdiction of Plainfield Road and will make the final determination.
2. We presume there will be cross access agreements in place between all lots.
3. Future cross access is shown to the TCF bank property to the east, which we agree with. It is not likely possible to complete without redevelopment of the neighboring property.
4. Although no engineering information is shown, there is a watermain along the west property line and within the Plainfield Road south right of way. Storm sewer is within the Plainfield Road right of way as well. The applicant will have to coordinate with DuPage Co. Public Works for sanitary sewer connections.
5. Additional comments can be provided as more detail is provided.

Traffic & Circulation Comments

A traffic impact and parking analysis will be required. The Village Traffic Engineer (Gewalt Hamilton Associates, Inc.) suggests a scope of work for the traffic study for the 735 Plainfield Road redevelopment, a copy of which is enclosed. The main areas of concern that should be addressed within the study are:

1. Impact of the Plainfield Rd / Willowbrook Town Center intersection signal operations (queues) on site access. Are there any modifications / restrictions to access from either road or additional stacking needed on the access throat to accommodate traffic to/from the site?
2. Appropriate wayfinding signing, along with supplemental pavement markings are needed to direct traffic to the mix of uses on site, including the bank drive-up lane and the coffee-shop drive-thru.
3. Show pedestrian paths / crosswalks internal to the site and connecting to the adjacent shopping center.
4. Lack of bypass lane for the coffee shop drive-thru use.



Certain Relief/Waivers Requested

In order to maintain compliance with the Village Zoning Code, the proposed development will require certain relief, exceptions, and waivers as outlined below. Note: The proposed development may require more or less than what is listed in this staff report for the concept plan review, as this list is not meant to be all-inclusive. Staff recommends that future plans incorporate the recommendations by Village staff and minimize the number of waivers and variations, as feasible.

Zoning Ordinance

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance include but are not limited to:

Lot 1 (Hotel)

1. That Section 9-6B-3(G) Bulk Regulations, Maximum Height, be varied to permit an increase in the maximum building height to exceed thirty (30') for Lot 1.
2. That Section 9-10-4(H) Off-Street Loading, Required Berths, be varied to permit the reduction of the minimum number of required loading berths from one (1) loading berth to zero (0) loading berths for Lot 1. *Staff recommends that one loading berth be provided for Lot 1.*
3. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required front yard pavement setback (along the west lot line) to less than fifteen feet (15') for Lot 1.
4. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required interior side yard parking area setbacks (along the north and south lot lines) to less than ten feet (10') for Lot 1. *Staff recommends that all portions of the drive-through for the bank ATM be completely located within Lot 3, and no portion is to be located within the other lots.*
5. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required rear side yard parking area setback (along the east lot line) to less than ten feet (10') for Lot 1.
6. That Section 9-10-5(K) Off-Street Parking, Required Spaces, be varied to permit a reduction in the minimum parking requirements from ninety-four (94) parking spaces to seventy-five (75) parking spaces for Lot 1. *A shared parking agreement may be required.*
7. That Section 9-10-5(N)1 Off-Street Parking, Spaces For The Physically Handicapped, be varied to permit a reduction in the minimum accessible parking requirements from three (3) parking spaces to two (2) parking spaces for Lot 1.

Lot 2 (Restaurant with Drive-through)

8. That Section 9-3-7(A)4 Specific Setbacks, Plainfield Road, be varied to permit a reduction in the required setback of one hundred feet (100') for Lot 2.
9. That Section 9-6B-3(A) Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than one acre (1 ac) for Lot 2.
10. That Section 9-6B-3(C)1 Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than two hundred feet (200') for Lot 2.
11. That Section 9-6B-3(E)2 Bulk Regulations, Required Setbacks, be varied to permit a reduction in the minimum interior side yard setback (along the east lot line) to less than thirty feet (30') for Lot 2.
12. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required front yard pavement setback (along Plainfield Road) to less than twenty-five feet (25') for Lot 2.
13. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required interior side yard parking area setbacks (along the east and west lot lines) to less than ten feet (10') for Lot 2.
14. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required rear side yard parking area setback (along the south lot line) to less than ten feet (10') for Lot 2.



15. That Section 9-10-5(N)1 Off-Street Parking, Spaces For The Physically Handicapped, be varied to permit a reduction in the minimum accessible parking requirements from two (2) parking spaces to one (1) parking spaces for Lot 2.

Lot 3 (Bank)

16. That Section 9-3-7(A)4 Specific Setbacks, Plainfield Road, be varied to permit a reduction in the required setback of one hundred feet (100') for Lot 3.
17. That Section 9-6B-3(A) Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than one acre (1 AC) for Lot 3.
18. That Section 9-6B-3(E)2 Bulk Regulations, Required Setbacks, be varied to permit a reduction in the minimum interior side yard setback (along the east lot line) to less than thirty feet (30') for Lot 3.
19. That Section 9-6B-3(E)4 Bulk Regulations, Required Setbacks, be varied to permit a reduction in the minimum rear yard setback (along the east lot line) to less than forty feet (40') for Lot 3.
20. That Section 9-10-4(H) Off-Street Loading, Required Berths, be varied to permit the reduction of the minimum number of required loading berths from one (1) loading berth to zero (0) loading berths for Lot 3.
Staff recommends that one loading berth be provided for Lot 3.
21. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required interior side yard parking area setbacks (along the east and west lot lines) to less than ten feet (10') for Lot 3.
22. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required rear side yard parking area setback (along the south lot line) to less than ten feet (10') for Lot 3.
Staff recommends that all portions of the drive-through for the bank ATM be completely located within Lot 3, and no portion is to be located within the other lots.
23. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required front yard pavement setback (along Plainfield Road) to less than twenty-five feet (25') for Lot 3.

PUD Standards

Pursuant to Section 9-13-6 of the Village Code, the following variations from the provisions of the Planned Unit Development Regulations include but are not limited to:

24. That Section 9-13-6(B) PUD Standards, Size and Ownership, be varied to waive the requirement that the subject realty be under single ownership and/or unified control.
25. That Section 9-13-6(E)2 PUD Standards, Space Between Buildings, be varied to waive the requirement that the minimum horizontal distance between buildings shall be equal to the height of the taller buildings in the case of freestanding, unattached buildings other than one-, two- or two and one-half story buildings.
26. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that the required yards or setbacks along the periphery of the planned unit development be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district.
27. That Section 9-13-6(K) PUD Standards, Uses For PUDs Greater Than Five Acres, be varied to waive the requirement that any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres.
28. That Section 9-13-6(L) PUD Standards, Other Standards, be varied to waive the requirement that the planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Subdivision Ordinance

Pursuant to Section 10-8-7 of the Village Code, the following variation from the provisions of the Subdivision Regulations include but are not limited to:



Lot 1 (Hotel)

29. That Section 10-4-3(B), Lots, Arrangement, be varied to waive the requirement that Lot 1 front on a public street.

Lot 2 (Restaurant) and Lot 3 (Bank)

30. That Section 10-4-3(A), Lots, Sizes and Shapes, be varied to waive the requirement that lot areas and width of Lot 2 and Lot 3 conform to at least the minimum requirements of the zoning ordinance for the district in which the subdivision is proposed.

31. That Section 10-4-3(A), Lots, Sizes and Shapes, be varied to waive the requirement that building setback lines within Lot 2 and Lot 3 conform to at least the minimum requirements of the zoning ordinance for the district.

Development Process & Next Steps

1. Applicant should coordinate a development meeting with the various Village departments after the sketch plan review to coordinate issues discussed at the Plan Commission meeting, and consider revisions to the site plan. The number of variations and waivers requested should be minimized.
2. Applicant submits complete application packets for both the Planned Unit Development and Subdivision.
3. Staff and consultants review the submitted documents and send out comments to applicant.
4. Applicant resubmits revised documents.
5. Project goes to Plan Commission for a public hearing and then to Village Board. The public hearing, pending a complete planning application, is tentatively anticipated for April 1, 2020.

Applicable Findings

Section 9-14-5(B) of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. The applicant must meet all standards and draft responses to these standards if they wish to proceed with a petition for special use approval.

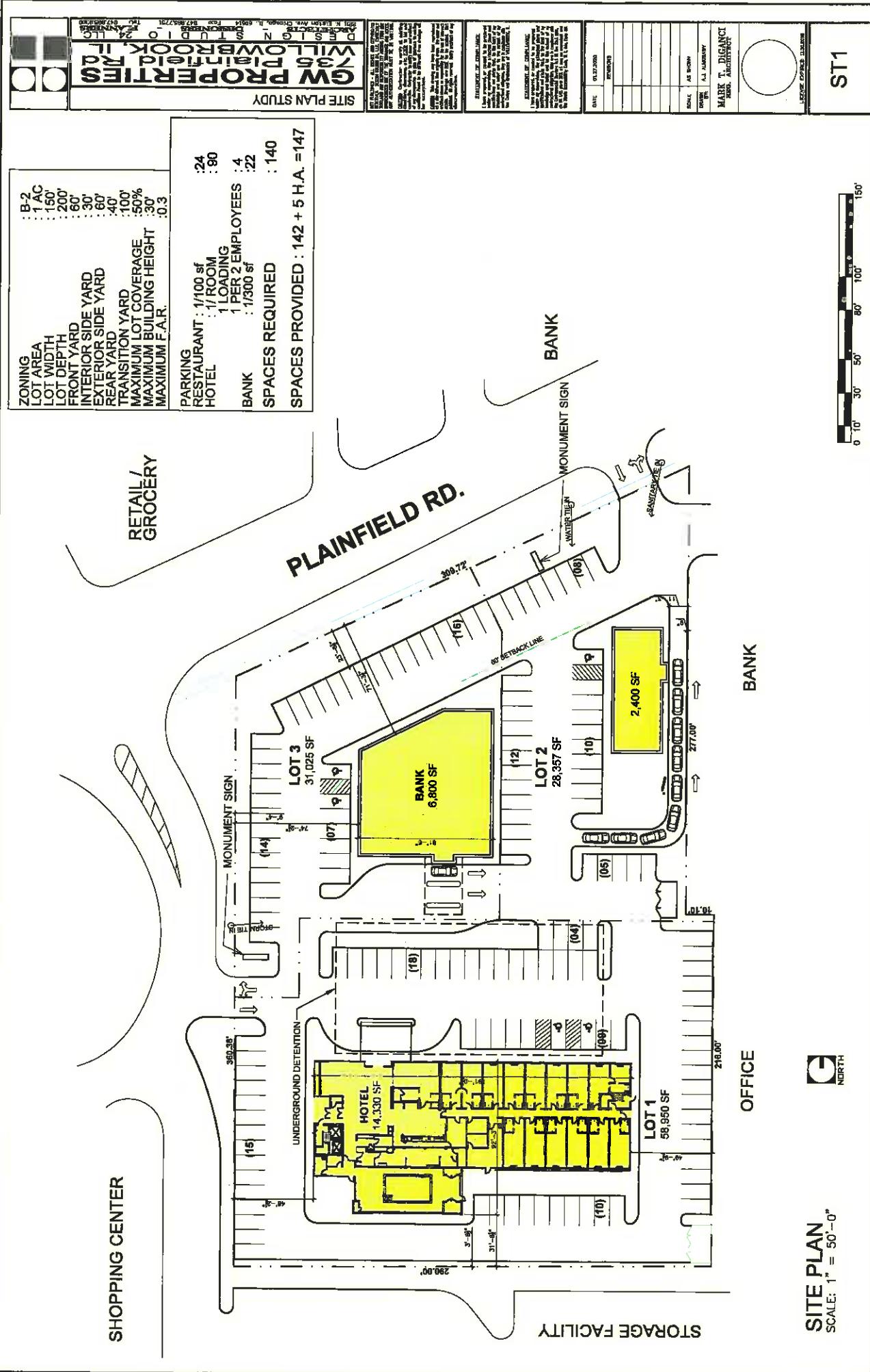
Additionally, the Plan Commission and Village Board shall not recommend or grant variations from the regulations of the Village's Zoning Ordinance unless affirmative findings of fact are made as to all of the standards set forth in Section 9-14-4(E) of the Willowbrook Zoning Ordinance. The applicant is also applying for a Planned Unit Development, and therefore the applicant must also draft responses to each of the Standards for Planned Unit Developments.

Plan Commission Feedback

The applicant is requesting information feedback from the Plan Commission about the use and concept plan. They understand that it is informal, and that the Plan Commission's future decisions could be impacted from later testimony that may be provided at a public hearing should the applicant choose to move forward. The intent is to determine if there are major roadblocks to the plan before they invest in a formal application. A summary of the discussion is to be forwarded to the Village Board via the Plan Commission minutes. No formal action in support of or in opposition to the proposed sketch plan will be taken at this stage.



Attachment 1
Site Plan (1 page)





Attachment 2
Building Elevations (8 pages)



EPPSTEIN

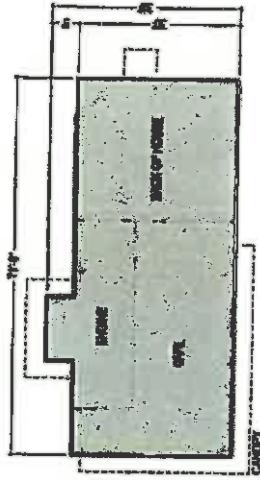
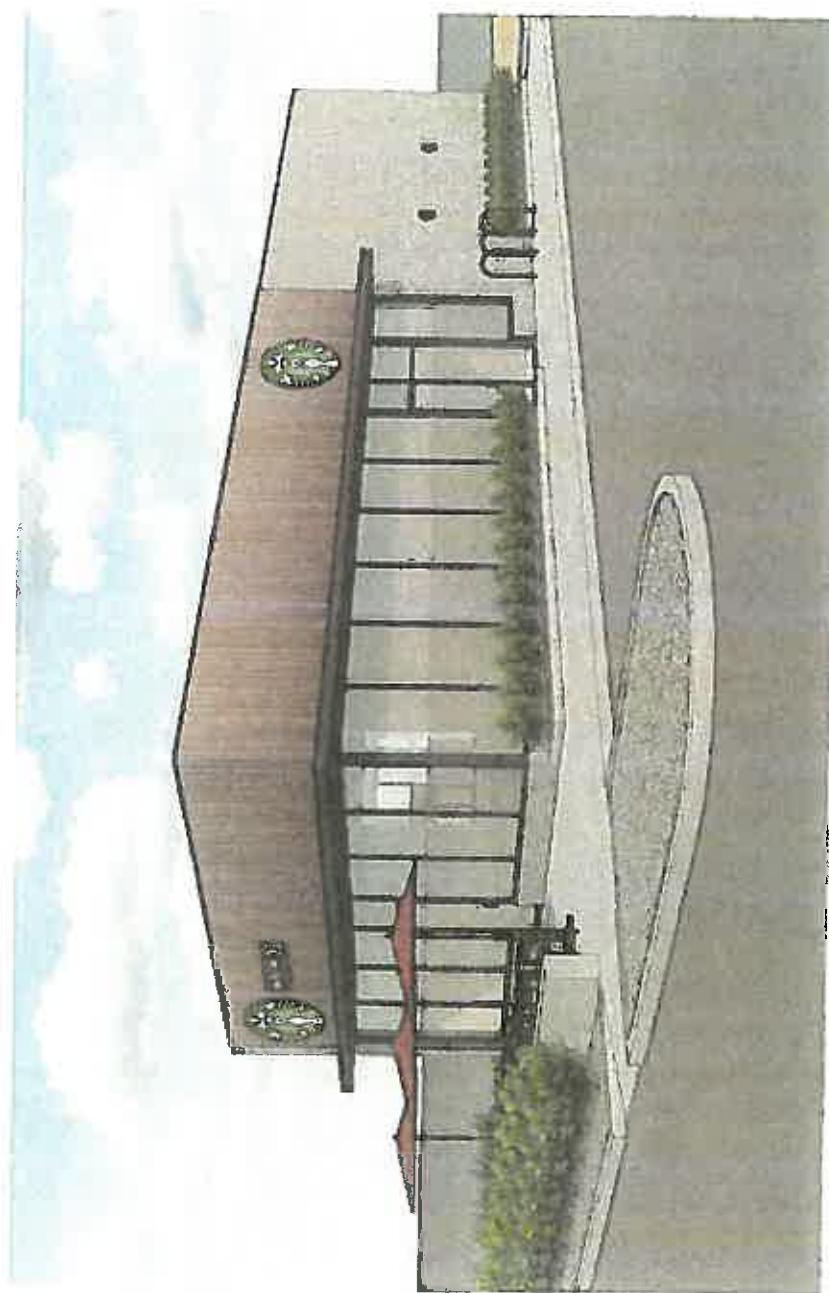
P PROMINENCE



PROMINENCE
STRUCTURE + DESIGN



TYPICAL SINGLE TENANT BUILDING EXTERIOR



TYPICAL BUILDING LAYOUT

KEY CHARACTERISTICS

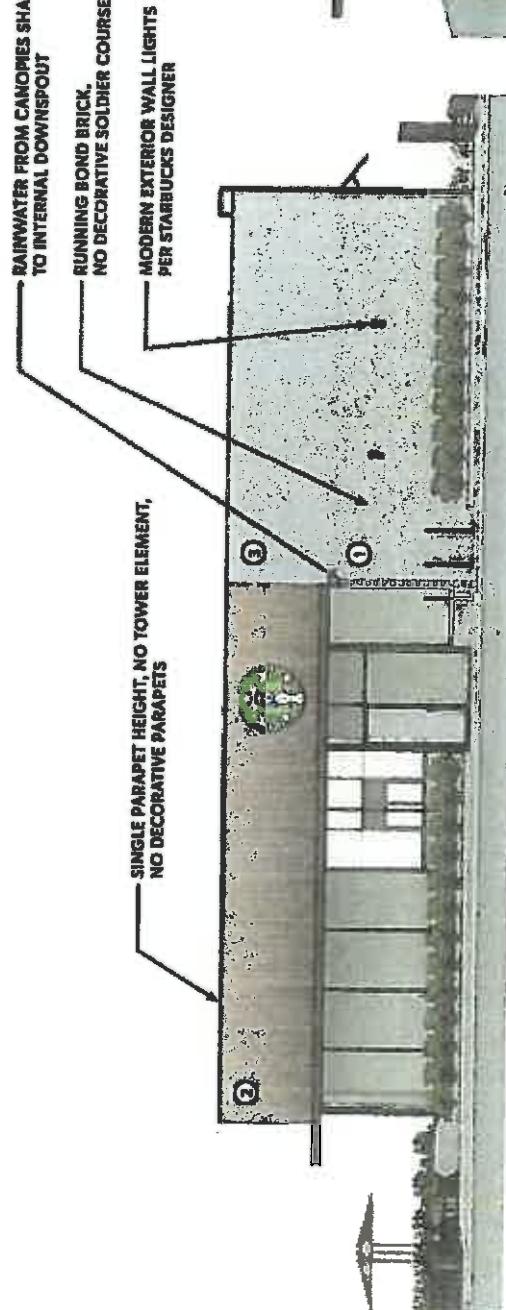
- +/- 2,200 SF gross
- Simple building footprint
- Variable bump
- Ample light and visibility into cafe
- Fits typical drive thru footprint for better site flexibility in constrained lots.
- Minimal parapet design hides RTUs and provides a simple clean aesthetic.



WHERE TO USE

This building is perfect for stores that are positioned in high drive thru sales areas. Place this building near a major highway or a busy retail center where a simple but tasteful building is a good fit.

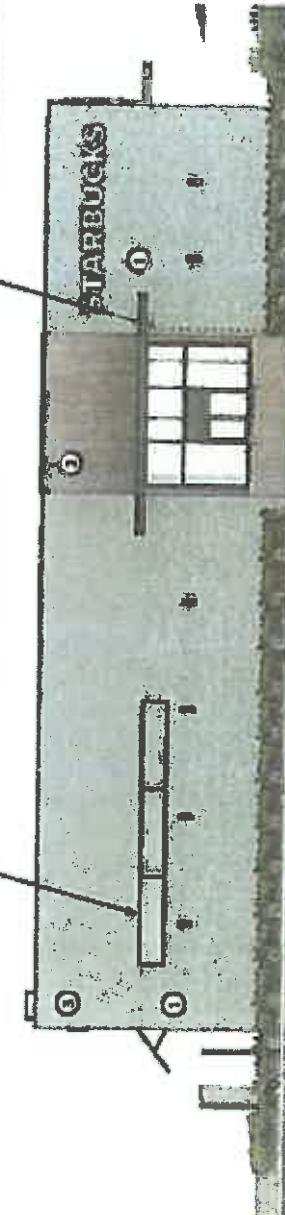
TYPICAL SINGLE TENANT BUILDING ELEVATIONS
Palette A



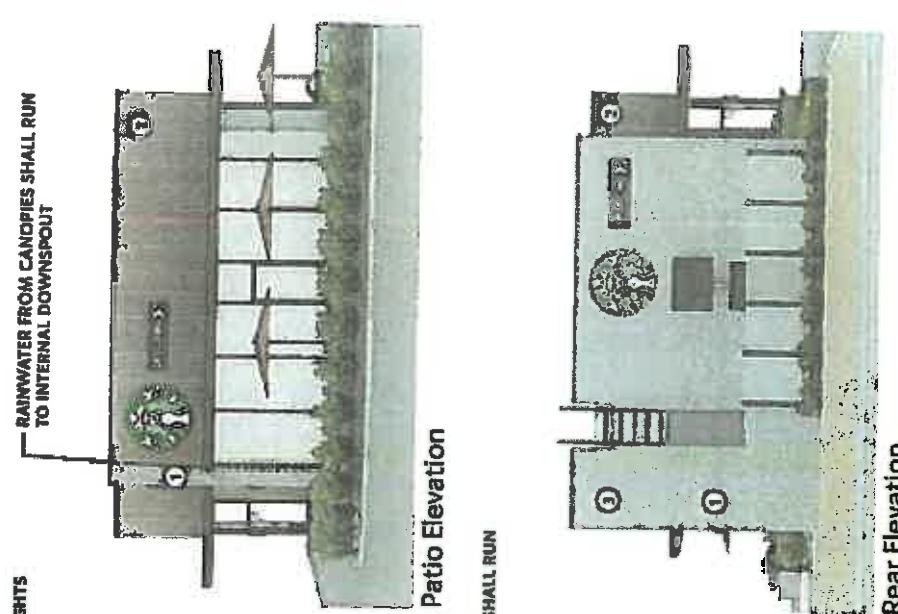
Main Entrance Elevation

TRANSOM WINDOW IN BACK OF HOUSE,
NORTH AND EAST ORIENTATIONS ONLY

RAINWATER FROM CANOPIES SHALL RUN
TO INTERNAL DOWNSPOUT

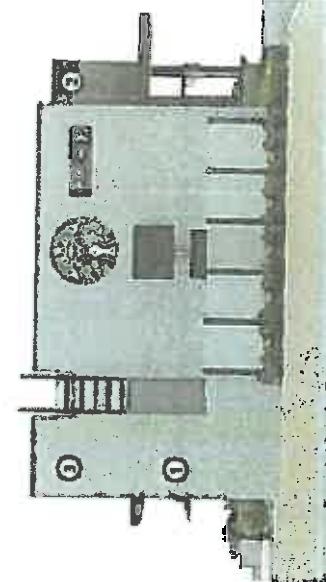


Patio Elevation



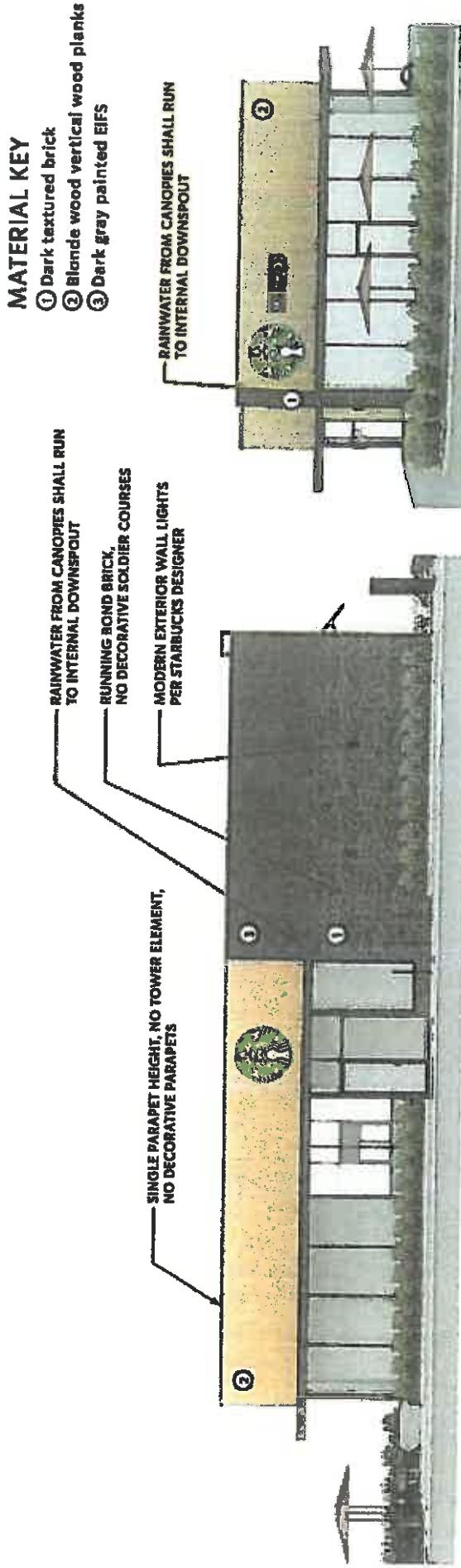
Drive Thru Lane Elevation

Rear Elevation



① SHELL DESIGN

TYPICAL SINGLE TENANT BUILDING ELEVATIONS
Palette B



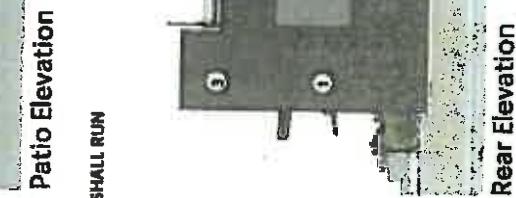
Main Entrance Elevation

Patio Elevation

RAINWATER FROM CANOPIES SHALL RUN TO INTERNAL DOWNSPOUT



Drive Thru Lane Elevation



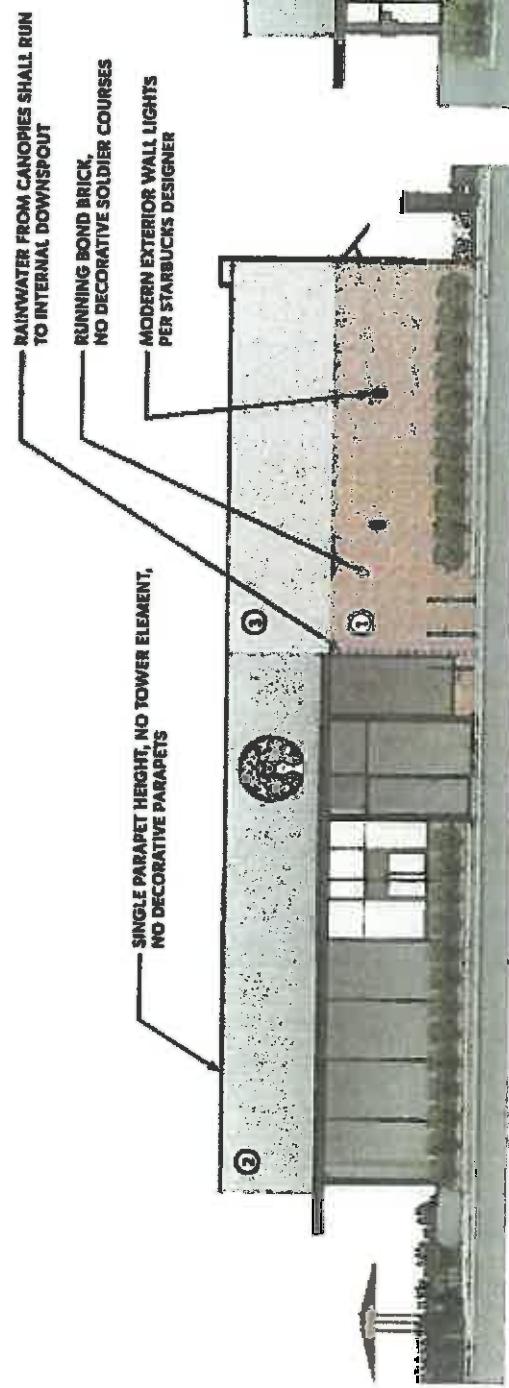
Rear Elevation

① SHELL DESIGN

TYPICAL SINGLE TENANT BUILDING ELEVATIONS
Palette C

MATERIAL KEY

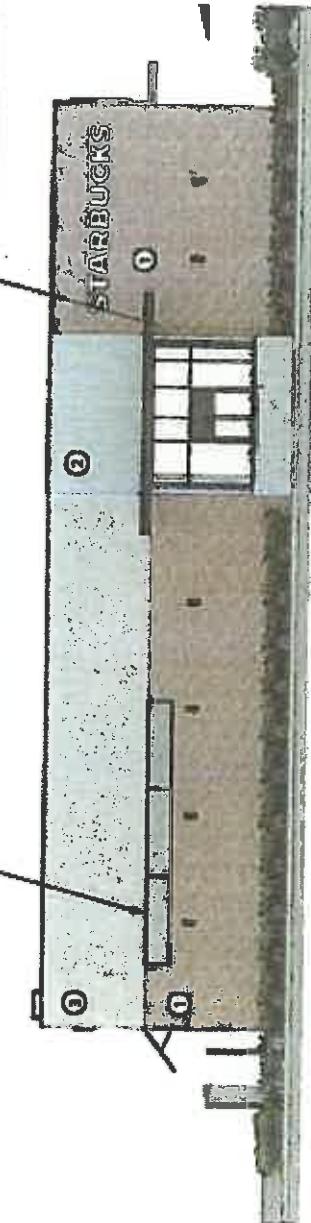
- ① Warm brown textured brick
- ② White wood vertical wood planks
- ③ Beige painted EIFS



Main Entrance Elevation

RAINWATER FROM CANOPIES SHALL RUN TO INTERNAL DOWNSPOUT

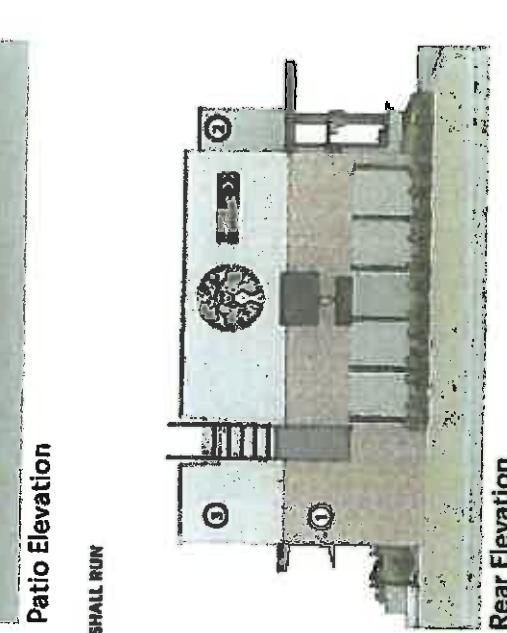
TRANSMON WINDOW IN BACK OF HOUSE, NORTH AND EAST ORIENTATIONS ONLY



Drive Thru Lane Elevation

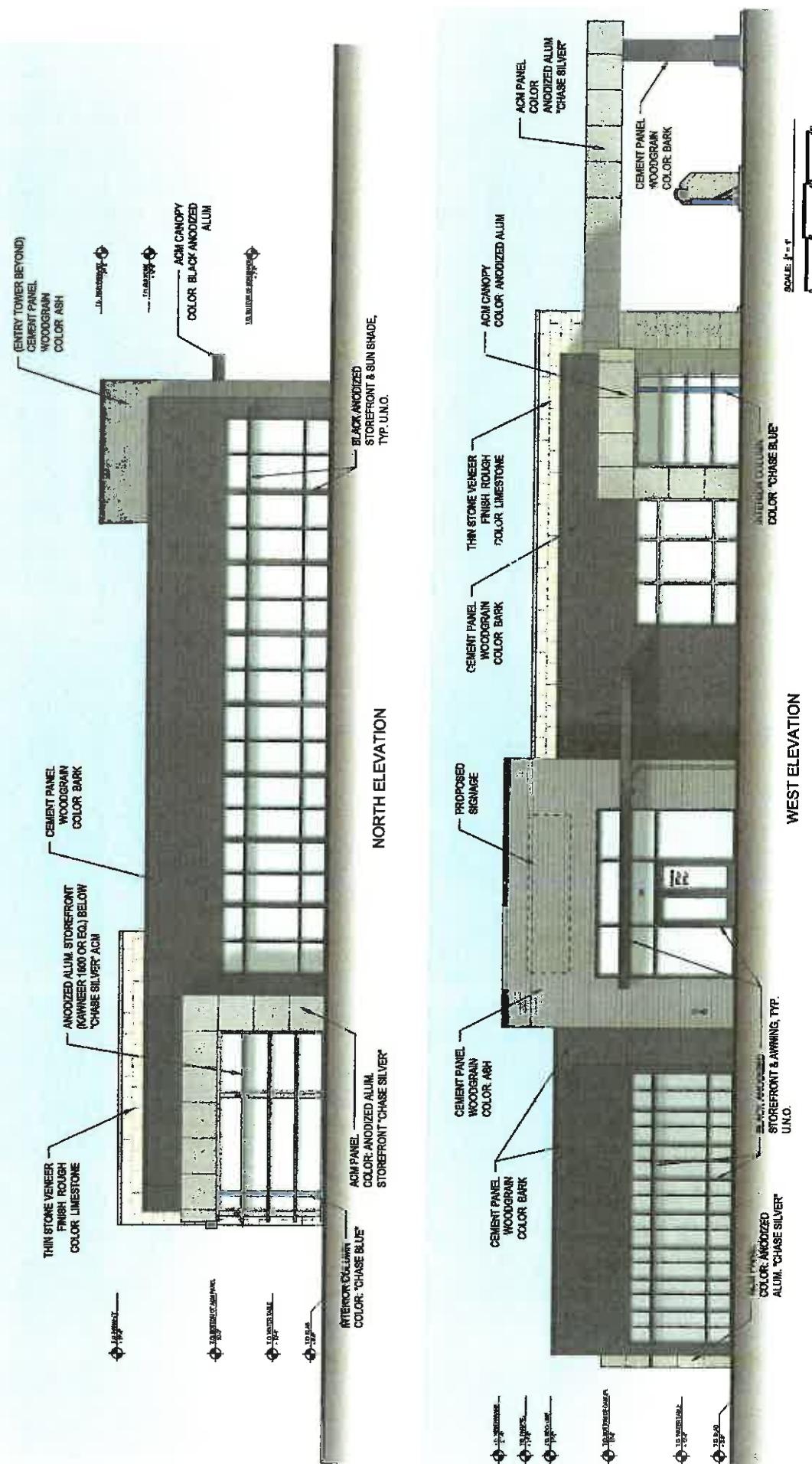
Patio Elevation

RAINWATER FROM CANOPIES SHALL RUN TO INTERNAL DOWNSPOUT



Rear Elevation

① SHELL DESIGN



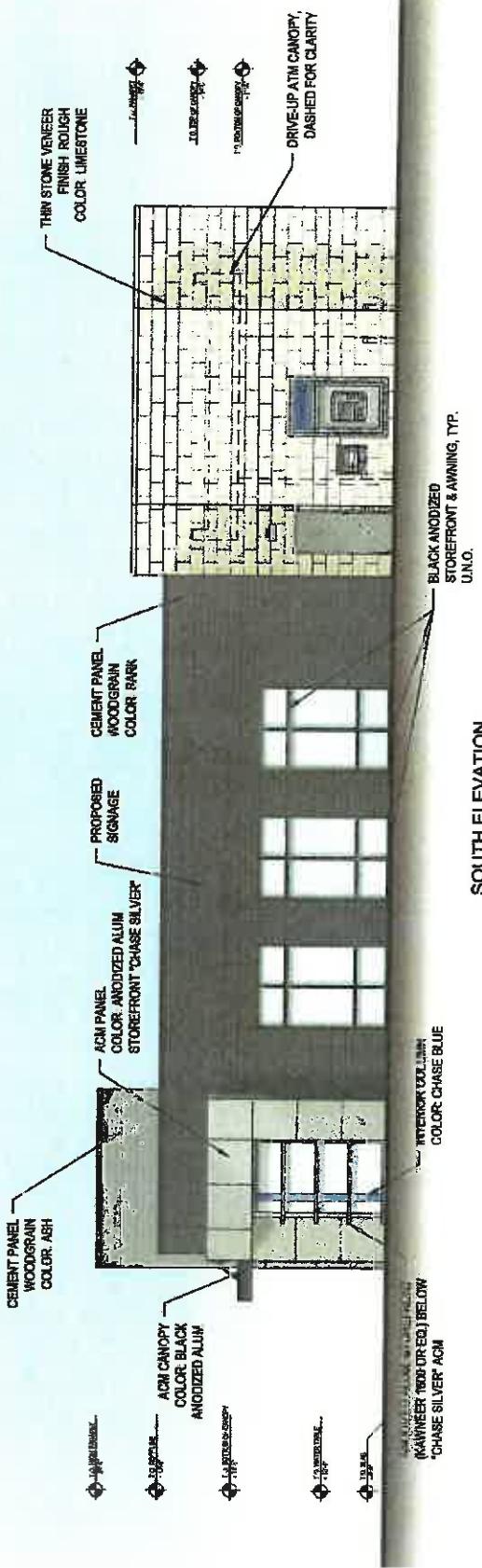
The logo for Chase Willowbrook Relocation Services. It features the word "CHASE" in a bold, black, sans-serif font, with a registered trademark symbol (®) to the right. Below "CHASE" is a blue octagonal logo containing a white "C" shape. To the right of the octagon, the words "WILLOWBROOK RELO" are stacked vertically in a smaller, black, sans-serif font. At the bottom of the logo, the address "750 Plainfield Road" is written in a smaller, black, sans-serif font, followed by "Willowbrook, IL 60527" in a slightly smaller font size.

ARCHITECTURAL ELEVATIONS

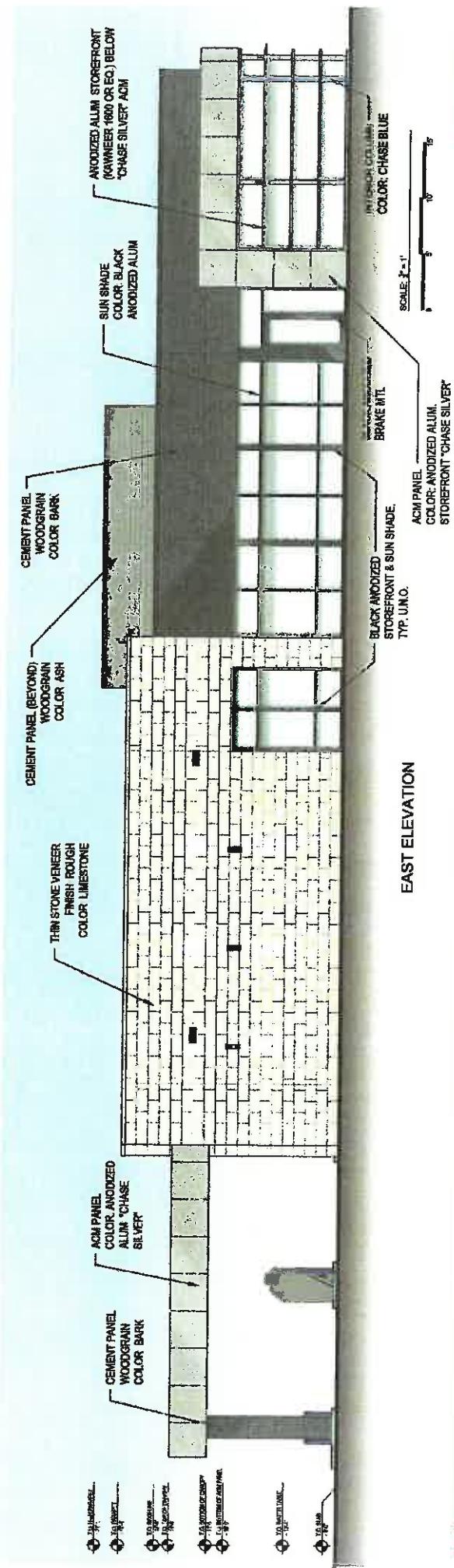
1. 13. 2020

24

Architect/Designer
The Architects Part
200 South Michigan
Chicago, IL 60604
f: 312.583.9800
f: 312.583.9890
TAP Project Number



SOUTH ELEVATION



CHASE
WILLOWBROOK RELO
730 Plainfield Road
Willowbrook, IL 60527

ARCHITECTURAL ELEVATIONS

1.13.2020

Architect/Designer
The Architects Partnership
200 South Michigan Avenue
Chicago, IL 60604
t: 312.533.8800
f: 312.533.9880
TAP Project Number: 16108





Attachment 3
Traffic Impact and Parking Study
Suggested Scope of Work (1 page)

Traffic Impact and Parking Study
Suggested Scope of Work
Mixed-Use Development
735 Plainfield Road
Willowbrook, Illinois

The study should be performed in accordance with Institute of Transportation Engineers (ITE) and DuPage County Division of Transportation (DuDOT) guidelines and should include the following tasks:

1. Conduct weekday morning (6-9 AM), weekday evening (3-6 PM) and Saturday midday (10AM – 2PM) traffic counts at the following intersections:
 - Plainfield Road at Willowbrook Town Center
 - Willowbrook Town Center at Site Access
 - Plainfield Road at Site Access
 - Plainfield Road at Adams Street
2. Determine project characteristics, including trip generations, traffic distribution and traffic assignments. Trip generation rates should be based on published rates contained in current edition of the ITE Trip Generation Handbook, 10th Edition, and/or local data collected from similar uses.
3. Please include a “no-build” scenario based on Chicago Metropolitan Agency for Planning Year 2050 traffic projections, as well as any planned developments and/or improvement projects within the study area anticipated to occur within the project design horizon.
4. Analyze the traffic impacts using Synchro and/or Highway Capacity Manual software.
5. Recommend any intersection and/or access improvements, if necessary, to accommodate the project traffic flows both on and off site.
6. Tabulate the parking requirements of the proposed development in accordance with the Village of Willowbrook Zoning requirements.
7. Tabulate the parking requirements based on national “best practices,” using available ITE, Urban Land Institute and/or local data collected from similar uses.
8. Perform a review of the site plan components, including the adequacy of vehicular and pedestrian circulations and drive-thru stacking. Provide recommendations to improve operations, if necessary.
9. Prepare an AutoTurn analysis for fire and refuse trucks. Also include larger deliveries, as appropriate, to serve the all uses of the development.
10. Prepare a traffic impact and parking summary report, including exhibits and tables, as necessary.