

## A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, August 12, 2019, AT 6:30 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, IL, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITORS' BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
  - a. Waive Reading of Minutes (APPROVE)
  - b. Minutes - Regular Board Meeting - July 22, 2019 (APPROVE)
  - c. Warrants - \$250,888.63 (APPROVE)
  - d. Monthly Financial Report - July 2019 (APPROVE)
  - e. RECEIVE PLAN COMMISSION RECOMMENDATION - A Public Hearing 19-07: Consideration of a petition requesting approval of an amendment to an existing special use permit, including certain variations from Title 9 of the Village Code to allow a trash enclosure and associated improvements in the R-1 Zoning District - Holmes School 5800 Holmes Avenue (RECEIVE)
  - f. RESOLUTION - A Resolution Declaring Surplus Property and Authorizing the Sale of the Same (ADOPT)
  - g. PROCLAMATION - A Proclamation Designating October 6-12, 2019 as Fire Prevention Week in the Village of Willowbrook, DuPage County, Illinois (ADOPT)

## NEW BUSINESS

6. ORDINANCE - An Ordinance Granting a Variation from the Zoning Ordinance and Approving a Final Plat for 6350 and 6406 South Clarendon Hills Road "Reyes Subdivision" (PASS)

7. ORDINANCE - An Ordinance Amending Section 9-9-7, Entitled "Fire and Explosion Hazard Standards," of Chapter 9, Entitled "Performance Standards," of Title 9, Entitled "Zoning Title of the Village," of the Willowbrook Municipal Code of the Village of Willowbrook, DuPage County, Illinois (PASS)
8. ORDINANCE - An Ordinance Amending the Village Code of the Village of Willowbrook Title 9-Zoning Ordinance (Antenna Regulations for Village Zoning Districts) (PASS)
9. ORDINANCE - An Ordinance Amending Section 4-2-11 Entitled "Permit Fees:" and Section 4-2-48 Entitled "Fire Code Adopted:" of Chapter 2 Entitled "Building Code" of Title 4 Entitled "Municipal Services" of the Village Code of Ordinances of the Village of Willowbrook (PASS)
10. RESOLUTION - A Resolution of the Village of Willowbrook Determining the Lowest Responsible Bidder for the 2019/2020 Roadway Maintenance Program and Awarding a Contract to Chicagoland Paving Contractors, Inc. (ADOPT)
11. RESOLUTION - A Resolution Authorizing the Board of Police Commissioners (BOPC) to Affect the Original Appointment of One (1) Candidate to Fill a Vacancy in the Rank of Patrol Officer Within the Village Police Department (ADOPT)
12. ORDINANCE - An Ordinance Amending Section 3-12-5 Entitled "Classifications," of Chapter 12 Entitled "Liquor," of Title 3 Entitled "Business" of the Village Code of Ordinances of the Village of Willowbrook, DuPage County, Illinois (PASS)
13. RESOLUTION - A Resolution of the Village of Willowbrook Approving the Study of a Potential Intergovernmental Agreement with Darien, Burr Ridge and Hinsdale as to the Acquisition of Certain Property in the Village of Willowbrook - (ADOPT)

PRIOR BUSINESS

14. TRUSTEE REPORTS
15. ATTORNEY'S REPORT

16. CLERK'S REPORT
17. ADMINISTRATOR'S REPORT
18. MAYOR'S REPORT
19. CLOSED SESSION
20. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, JULY 22, 2019 AT THE WILLOWBROOK POLICE DEPARTMENT, 7760 QUINCY STREET, VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal and Paul Oggerino.

ABSENT: None.

Also present were Village Attorney Thomas Bastian, Village Administrator Brian Pabst, Director of Finance Carrie Dittman, Chief Robert Schaller, Assistant Village Administrator Michael Mertens, Deputy Chief Lauren Kaspar, Building Official Roy Giuntoli, Superintendent of Public Works Joe Coons, Planning Consultant Ann Choi and Deputy Clerk Christine Mardegan.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Building Official Roy Giuntoli to lead everyone in saying the Pledge of Allegiance.

4. LAWS AND ORDINANCES COMMITTEE UPDATE

Trustee Kelly related when he attended the Plan Commission Meeting on June 5, 2019 a couple of issues came up. Item 6g on the on the agenda applies to new businesses that want to do business in Willowbrook. This would require new businesses to apply for a special use permit for industrial uses that manufacture, process or store hazardous chemicals.

Trustee Kelly discussed Item #12, an Ordinance Amending Section 9-2-2. This item is a text amendment that clarifies the definition of building height in the Village, specifically with how various roof structures would be calculated as it relates to the building height.

Lastly, Trustee Kelly requested that Item #11, an Ordinance amending Section 4-2-11 and 4-2-48 (Operational Permits), be tabled for further discussion.



5. VISITORS' BUSINESS

Several residents spoke about issues and concerns related to Sterigenics. They also thanked the Mayor and Trustees for all their hard work. There are many challenges ahead of the Village but the community is behind the Village.

Mayor Trilla thanked the residents for their concerns and responded that the Village is doing everything in their power to address the concerns of the residents related to Sterigenics.

6. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Board Meeting - July 8, 2019 (APPROVE)
- c. Warrants - \$490,652.59 (APPROVE)
- d. Motion - Board Authorization for Staff to Process Current Delinquent Water Bills in Accordance with Past Practices (PASS)
- e. Plan Commission Recommendation - Public Hearing 19-02: review and Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation), Approval of Written Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation), and consideration of a petition to approve a variation from Section 9-5B-3 (D) 2 of the Village of Willowbrook Zoning Ordinance to reduce the interior side yard setback from twenty feet (20') to fourteen and 66/100 feet (14.66') along the north property line, and consideration of other such relief, exceptions and variations from Title 9 of the Village Code. 6350 Clarendon Hills Road and 6406 Clarendon Hills Road - "Reyes Subdivision" (RECEIVE)
- f. Plan Commission Recommendation - Public Hearing 19-04: Consideration of a petition for a text amendment to amend Sections 9-3-15, 9-12-2, and 9-14-4 (C) of the Zoning Title of the Village of Willowbrook regarding regulation of telecommunications antennas and antenna support structures (RECEIVE)
- g. Plan Commission Recommendation - Public Hearing 19-05: Consideration of a petition for a text amendment to amend Section 9-9-7, entitled "Fire and Explosion Hazard Standards," of the Willowbrook Municipal Code of the Village of Willowbrook, DuPage County, Illinois (RECEIVE)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda.

MOTION: Made by Trustee Davi and seconded by Trustee Neal to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

7. RESOLUTION - A Resolution Approving and Authorizing the Execution of an Intergovernmental Agreement Between the Village of Willowbrook and the Village of Downers Grove for the Operation and Maintenance of a Peer Jury Program for Restorative Juvenile Justice (ADOPT)

Chief Robert Schaller related; The Village of Willowbrook Police Department is participating in the Downers Grove Regional Peer Jury Program. A peer jury is an alternative to court for first time juvenile offenders of non-serious offenses, such as theft, vandalism, disorderly conduct, or underage drinking. The cooperative effort includes Burr Ridge, Clarendon Hills, Darien, Downers Grove, Hinsdale, Oak Brook and Willowbrook.

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino to adopt Resolution No. 19-R-43 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

8. RESOLUTION - A Resolution Appointing A Delegate and Alternate Delegate to the Intergovernmental Risk Management Agency (ADOPT)

MOTION: Made by Trustee Davi and seconded by Trustee Berglund to adopt Resolution No. 19-R-44 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

9. RESOLUTION - A Resolution Approving and Authorizing the Mayor to Execute, on Behalf of the Village of Willowbrook, a First Amendment to an Agreement for Scavenger Services (ADOPT)

MOTION: Made by Trustee Davi and seconded by Trustee Oggerino to adopt Resolution No. 19-R-45 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

10. RESOLUTION - A Resolution to Approve and Authorize the Execution of an Agreement for Professional Services to Prepare a Stormwater Master Plan for the Executive Plaza in the Village of Willowbrook By and Between Christopher B. Burke Engineering, Ltd. and the Village of Willowbrook (ADOPT)

Assistant Village Administrator Mertens stated that this area floods when we have severe rains. We have gotten up to 2 feet of rain and can affect all businesses in the area. The flooding can cause business closures and affect life safety responses. The Executive Plaza area was developed in the 1970s. Christopher B. Burke Engineering has provided an engineering service proposal to review the Stormwater Master Plan for the Executive Plaza drainage area.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to adopt Resolution No. 19-R-46 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

11. ORDINANCE - An Ordinance Amending Section 4-2-11 Entitled "Permit Fees:" and Section 4-2-48 Entitled "Fire Code Adopted:" of Chapter 2 Entitled "Building Code" of Title 4 Entitled "Municipal Services" of the Village Code of Ordinances of the Village of Willowbrook (PASS)

MOTION: Made by Trustee Kelly and seconded by Trustee Davi to postpone Ordinance No. 19-O-14 until the next Board Meeting on August 12, 2019.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

12. ORDINANCE - An Ordinance Amending Section 9-2-2, Entitled "Definitions," of Chapter 2, Entitled "Definitions," of Title 9, Entitled "Zoning Title of the Village," of the Willowbrook Municipal Code of the Village of Willowbrook, DuPage County, Illinois (PASS)

Planning Consultant Ann Choi stated that the purpose of the proposed text amendment is to remove outdated and confusing language in the current definition of the building height and to clarify how building height is calculated. The Plan Commission had considered the proposed text amendments as part of a Village-wide review of its current zoning code during the public hearing on July 17, 2019.

MOTION: Made by Trustee Berglund and seconded by Trustee Oggerino to Pass Ordinance No. 19-O-15 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

#### PRIOR BUSINESS

#### 13. TRUSTEE REPORTS

Trustee Neal thanked Chief Schaller for participating in the Downers Grove Regional Peer Jury Program.

Trustee Neal stated, I would also like to say I share your outrage and your belief in the violation of the public trust that Sterigenics has performed. I am not happy with the consent decree.

Trustee Kelly said he had been thinking about Sterigenics for a while and wanted to share some questions with everyone in the room. His questions are summarized below:

- Why are the Governor and Legislators engaging in an argument about whether to call a Special Legislative Session to address apparent shortcoming in SB 1852? If there are ways of strengthening the new law, a Special Session should be convened so the Legislature can get the job done.

- Why is it that the Attorney General's office and the DuPage County State's Attorney's office haven't expedited the Village's petition to intervene in the Sterigenics lawsuit?
- Why were negotiations between the Attorney General, the State's Attorney's office and Sterigenics conducted in secret?
- Why weren't we informed of the Consent Order before it was agreed to and publicly released?
- When will our voice be heard?

Trustee Mistele had no report.

Trustee Berglund thanked Caroline Nash for her support.

Trustee Davi thanked Trustee Kelly for his comments.

Trustee Oggerino had no report.

#### 13. ATTORNEY'S REPORT

Attorney Bastian thanked Trustee Kelly and invited everyone to appear in court on Wednesday at 1:30 p.m. Attorney Bastian discussed the Consent Order. We do intend to ask the judge to allow us to be a part of the law suit and not to enter the consent decree until after public input has been considered.

#### 14. CLERK'S REPORT

Clerk Hansen had no report.

#### 15. ADMINISTRATOR'S REPORT

Administrator Pabst had no report.

#### 16. MAYOR'S REPORT

Mayor Trilla advised that the lawsuit with the gun club is settled. The Mayor also provided an update on the environmental issue involving Sterigenics.

#### 17. CLOSED SESSION

Mayor Trilla stated that there was no need for Closed Session during tonight's meeting.

18. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino, to adjourn the Regular Meeting at the hour of 7:07 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

\_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor

Minutes transcribed by Deputy Clerk Christine Mardegan.

## WARRANTS

August 12, 2019

GENERAL CORPORATE FUND	-----	\$213,416.90
WATER FUND	-----	\$37,471.73
TOTAL WARRANTS	-----	\$250,888.63

Carrie Dittman, Director of Finance *C.D.*APPROVED:  
Frank A. Trilla, Mayor

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK  
 CHECK DATE FROM 07/24/2019 - 08/13/2019

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
07/24/2019	APCH	94450	WILLOWBROOK CURRENCY EXCHANGE	MAINTENANCE - VEHICLES	630-409	30	110.85
08/13/2019	APCH	138(E)*#	WEX BANK	FUEL/MILEAGE/WASH	455-303	10	36.00
				FUEL/MILEAGE/WASH	630-303	30	4,653.35
				FUEL/MILEAGE/WASH	710-303	35	834.47
				FUEL/MILEAGE/WASH	810-303	40	53.29
				CHECK APCHK 138(E) TOTAL FOR FUND 01:			5,577.11
08/13/2019	APCH	94451	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES	630-247	30	24,795.50
08/13/2019	APCH	94452	APPRIZE PROMOTIONAL PRODUCTS	COMMUNITY PICNIC	585-157	20	574.00
08/13/2019	APCH	94453	ARROWHEAD SCIENTIFIC INC	JAIL SUPPLIES	650-343	30	76.33
				JAIL SUPPLIES	650-343	30	17.10
				CHECK APCHK 94453 TOTAL FOR FUND 01:			93.43
08/13/2019	APCH	94456	B & E AUTO REPAIR & TOWING	MAINTENANCE - VEHICLES	630-409	30	2,328.64
08/13/2019	APCH	94457	CAROLINE DITTMAN	FUEL/MILEAGE/WASH	610-303	25	40.17
08/13/2019	APCH	94458#	CERVANTES DESIGN	PRINTING & PUBLISHING - LEROY	410-302	05	40.00
				PRINTING & PUBLISHING - BRIAN/MIKE	455-302	10	170.00
				PRINTING & PUBLISHING - DOUG	550-302	20	85.00
				PRINTING & PUBLISHING - DIANE	610-302	25	85.00
				PRINTING & PUBLISHING - NANCY	630-302	30	85.00
				PRINTING & PUBLISHING -ROY/LISA	810-302	40	170.00
				CHECK APCHK 94458 TOTAL FOR FUND 01:			635.00
08/13/2019	APCH	94459	CHIZOBA OGBUEFI	PARK PERMIT FEES	310-814	00	250.00
08/13/2019	APCH	94460#	CHRISTOPHER B. BURKE	PLAN REVIEW - ENGINEER - REIMB	520-254	15	275.00
				FEES - ENGINEERING	720-245	35	926.84
				FEES - ENGINEERING	720-245	35	691.36
				FEES - ENGINEERING	720-245	35	330.00
				FEES - ENGINEERING	720-245	35	3,669.50
				FEES - ENGINEERING	720-245	35	1,886.82
				FEES - ENGINEERING	720-245	35	275.00
				FEES - ENGINEERING	720-245	35	165.00
				FEES - ENGINEERING	720-245	35	110.00
				FEES - DRAINAGE ENGINEER - REIMB	820-246	40	150.00
				FEES - DRAINAGE ENGINEER - REIMB	820-246	40	150.00
				PLAN REVIEW - ENGINEER - REIMB	820-254	40	550.00
				PLAN REVIEW - ENGINEER - REIMB	820-254	40	330.00



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
08/13/2019	APCH	94461	CHRISTOPHER B. BURKE	PLAN REVIEW - ENGINEER - REIMB	820-254	40	440.00
				CHECK APCHK 94460 TOTAL FOR FUND 01:			9,949.52
08/13/2019	APCH	94461	CHRISTOPHER B. BURKE	FEES - ENGINEERING - REIMB	820-245	40	110.00
				FEES - ENGINEERING - REIMB	820-245	40	110.00
				FEES - ENGINEERING - REIMB	820-245	40	110.00
				FEES - ENGINEERING - REIMB	820-245	40	110.00
				FEES - DRAINAGE ENGINEER - REIMB	820-246	40	275.00
				FEES - DRAINAGE ENGINEER - REIMB	820-246	40	228.04
				PLAN REVIEW - ENGINEER - REIMB	820-254	40	165.00
				CHECK APCHK 94461 TOTAL FOR FUND 01:			1,108.04
08/13/2019	APCH	94462#	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	2,847.87
				OPERATING SUPPLIES	630-331	30	386.86
				CHECK APCHK 94462 TOTAL FOR FUND 01:			3,234.73
08/13/2019	APCH	94463	CODE ENFORCEMENT REPRESENTATIVES	CODE ENFORCEMENT INSPECTION	830-119	40	372.75
08/13/2019	APCH	94464	COMCAST CABLE	INTERNET/WEBSITE HOSTING	715-225	35	116.85
08/13/2019	APCH	94465*#	COMED	ENERGY - STREET LIGHTS	745-207	35	113.79
				ENERGY - STREET LIGHTS	745-207	35	618.02
				ENERGY - STREET LIGHTS	745-207	35	142.48
				ENERGY - STREET LIGHTS	745-207	35	764.10
				CHECK APCHK 94465 TOTAL FOR FUND 01:			1,638.39
08/13/2019	APCH	94466	DATAKOM	EDP LICENSES	640-263	30	449.00
08/13/2019	APCH	94467	DATAKOM IMAGING SERVICES	EDP EQUIPMENT/SOFTWARE	460-212	10	500.00
				EDP PERSONNEL TRAINING	460-305	10	200.00
				CHECK APCHK 94467 TOTAL FOR FUND 01:			700.00
08/13/2019	APCH	94468*#	DELTA DENTAL PLAN OF ILLINOIS	EMP DED PAY- INSURANCE	210-204	00	1,607.37
				HEALTH/DENTAL/LIFE INSURANCE	455-141	10	114.32
				HEALTH/DENTAL/LIFE INSURANCE	610-141	25	114.32
				HEALTH/DENTAL/LIFE INSURANCE	630-141	30	2,211.17
				HEALTH/DENTAL/LIFE INSURANCE	710-141	35	271.09
				HEALTH/DENTAL/LIFE INSURANCE	810-141	40	228.64
				CHECK APCHK 94468 TOTAL FOR FUND 01:			4,546.91

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK  
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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
08/13/2019	APCH	94469	DENNIS KOWSKI	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	36.00
08/13/2019	APCH	94470#	DUPAGE COUNTY PUBLIC WORKS	SANITARY (835 MIDWAY)	466-251	10	23.15
				SANITARY USER CHARGE - PARKS	570-278	20	4.16
				SANITARY USER CHARGE - PARKS 640 PLAI	570-278	20	8.73
				SANITARY (7760 QUINCY)	630-250	30	25.36
				SANITARY USER CHARGE PW GARAGE	725-417	35	18.57
				CHECK APCHK 94470 TOTAL FOR FUND 01:			79.97
08/13/2019	APCH	94473	FENSKE JOHN	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	27.82
08/13/2019	APCH	94474	FOX TOWN PLUMBING INC	BUILDING CONSTR & REMODEL	635-288	30	125.00
08/13/2019	APCH	94475	GHD SERVICES INC.	CRISIS MANAGEMENT	475-367	10	494.00
08/13/2019	APCH	94478#	HANSON LANDSCAPE DESIGN	CONTRACTED MAINTENANCE	570-281	20	4,784.91
				ROUTE 83 BEAUTIFICATION	755-281	35	4,243.22
				CHECK APCHK 94478 TOTAL FOR FUND 01:			9,028.13
08/13/2019	APCH	94479	I.R.M.A.	SCHOOLS/CONFERENCES/TRAVEL	710-304	35	65.00
				SCHOOLS/CONFERENCES/TRAVEL	710-304	35	65.00
				CHECK APCHK 94479 TOTAL FOR FUND 01:			130.00
08/13/2019	APCH	94480	ILLINOIS DEPT OF AGRICULTURE	FEES/DUES/SUBSCRIPTIONS	630-307	30	200.00
08/13/2019	APCH	94481	JAMES HARVETT	PARK PERMIT FEES	310-814	00	200.00
08/13/2019	APCH	94482	JAMIE ENGELMAN	PARK PERMIT FEES	310-814	00	100.00
08/13/2019	APCH	94483	JIM ARTESE	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	36.00
08/13/2019	APCH	94484	KAITLYN AGNEW	PARK PERMIT FEES	310-814	00	200.00
08/13/2019	APCH	94485	KLEIN, THORPE & JENKINS, LTD.	FEES - SPECIAL ATTORNEY	470-241	10	475.00
08/13/2019	APCH	94486#	KONICA MINOLTA BUSINESS SOLUTION	COPY SERVICE	630-315	30	119.15
				COPY SERVICE	630-315	30	366.61
				COPY SERVICE	810-315	40	496.09
				CHECK APCHK 94486 TOTAL FOR FUND 01:			981.85
08/13/2019	APCH	94487	KRAMER TREE SPECIALISTS INC.	TREE MAINTENANCE	750-338	35	370.00
08/13/2019	APCH	94488	KULIN BODA	PARK PERMIT FEES	310-814	00	375.00
08/13/2019	APCH	94489	LARRY DENZ	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	252.00

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Fund: 01 GENERAL FUND							
08/13/2019	APCH	94490	LAVONNE PITTMAN	PARK PERMIT FEES	310-814	00	250.00
08/13/2019	APCH	94491	LESLIE ZHAO	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	30.00
08/13/2019	APCH	94492	LORI RINELLA	FUEL/MILEAGE/WASH	630-303	30	19.14
08/13/2019	APCH	94493	LUIS PEREZ	PARK PERMIT FEES	310-814	00	100.00
08/13/2019	APCH	94494	MARK CAPOSIENO	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	252.00
08/13/2019	APCH	94495	MEL KREJCI	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	108.00
08/13/2019	APCH	94496#	METRO REPORTING SERVICE LTD.	CRISIS MANAGEMENT	475-367	10	736.45
				FEES - COURT REPORTER	520-246	15	202.50
				CHECK APCHK 94496 TOTAL FOR FUND 01:			938.95
08/13/2019	APCH	94497#	METROPOLITAN COMPOUNDS INC	PARK LANDSCAPE SUPPLIES	565-341	20	1,303.87
				STREET & ROW MAINTENANCE OTHER	755-328	35	1,303.88
				CHECK APCHK 94497 TOTAL FOR FUND 01:			2,607.75
08/13/2019	APCH	94498	METROPOLITAN EMER RESP & INV TEA	FIAT	630-238	30	500.00
08/13/2019	APCH	94500#	MITECHS, INC.	EDP EQUIPMENT/SOFTWARE PABST ADMIN	460-212	10	249.15
				EDP EQUIPMENT/SOFTWARE COONS PW	715-212	35	509.49
				CHECK APCHK 94500 TOTAL FOR FUND 01:			758.64
08/13/2019	APCH	94501	MUNICIPAL CLERKS OF DUPAGE CNTY	FEES/DUES/SUBSCRIPTIONS -6/1/19-5/31/	410-307	05	40.00
08/13/2019	APCH	94502	NANCY TURVILLE	FUEL/MILEAGE/WASH	630-303	30	52.20
08/13/2019	APCH	94503	NCPERS GROUP LIFE INSURANCE	EMP DED - SUPPLEMENTAL LIFE INSURANCE	210-213	00	80.00
08/13/2019	APCH	94504	NICHOLAS VOLEK	UNIFORMS	630-345	30	266.20
08/13/2019	APCH	94505#	NICOR GAS	NICOR GAS (835 MIDWAY)	466-236	10	36.20
				NICOR GAS (825 MIDWAY)	570-235	20	34.99
				NICOR GAS (7760 QUINCY)	630-235	30	121.89
				NICOR GAS	725-415	35	42.26
				CHECK APCHK 94505 TOTAL FOR FUND 01:			235.34
08/13/2019	APCH	94506	NORTH EAST MULTI REGIONAL TRNG.	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	165.00
				SCHOOLS/CONFERENCES/TRAVEL	630-304	30	300.00
				CHECK APCHK 94506 TOTAL FOR FUND 01:			465.00

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWROOK  
 CHECK DATE FROM 07/24/2019 - 08/13/2019

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
08/13/2019	APCH	94507	NOTARY SERVICE BONDING AGENCY	FEES/DUES/SUBSCRIPTIONS	630-307	30	53.95
08/13/2019	APCH	94510	OLIVIA'S CORP	PARK PERMIT FEES	310-814	00	200.00
08/13/2019	APCH	94511	ORIENTAL TRADING	COMMUNITY PICNIC	585-157	20	132.80
08/13/2019	APCH	94512	ORKIN EXTERMINATING	MAINTENANCE - BUILDING	466-228	10	193.26
08/13/2019	APCH	94513	OTHELLO ROSAL	UNIFORMS	630-345	30	121.09
				UNIFORMS	630-345	30	368.17
				CHECK APCHK 94513 TOTAL FOR FUND 01:			489.26
08/13/2019	APCH	94514	OVERLAND GEAR GUY, LLC	MAINTENANCE - VEHICLES	630-409	30	292.60
08/13/2019	APCH	94515#	PCS INTERNATIONAL	EDP EQUIPMENT/SOFTWARE	460-212	10	14,120.78
				EDP EQUIPMENT/SOFTWARE	460-212	10	8,525.08
				IT - CONSULTING SERVICES	615-306	25	12,500.00
				EDP EQUIPMENT/SOFTWARE	640-212	30	10,086.14
				EDP EQUIPMENT/SOFTWARE	640-212	30	7,543.34
				CHECK APCHK 94515 TOTAL FOR FUND 01:			52,775.34
08/13/2019	APCH	94516#	PROSHRED	DOCUMENT STORAGE/SCANNING	460-267	10	95.00
				DOCUMENT STORAGE/SCANNING	640-267	30	350.00
				CHECK APCHK 94516 TOTAL FOR FUND 01:			445.00
08/13/2019	APCH	94517	RAGS ELECTRIC, INC	MAINTENANCE - STREET LIGHTS	745-223	35	221.00
				MAINTENANCE - STREET LIGHTS	745-223	35	175.93
				MAINTENANCE - STREET LIGHTS	745-223	35	675.75
				CHECK APCHK 94517 TOTAL FOR FUND 01:			1,072.68
08/13/2019	APCH	94518	RATHS, RATHS & JOHNSON, INC.	PLAN REVIEW - STRUCTURAL - REIMB	820-255	40	757.25
				PLAN REVIEW - STRUCTURAL - REIMB	820-255	40	377.00
				CHECK APCHK 94518 TOTAL FOR FUND 01:			1,134.25
08/13/2019	APCH	94519	RAY O'HERRON CO., INC.	UNIFORMS	630-345	30	699.00
				UNIFORMS	630-345	30	699.00
				UNIFORMS	630-345	30	825.00
				UNIFORMS	630-345	30	293.97
				CHECK APCHK 94519 TOTAL FOR FUND 01:			2,516.97

CHECK DISBURSEMENT REPORT FOR VILLAGE OF WILLOWBROOK  
CHECK DATE FROM 07/24/2019 - 08/13/2019

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
08/13/2019	APCH	94520	ROBERT DERMODY	SUMMER PROGRAM MATERIALS & SERVICES	575-119	20	396.00
08/13/2019	APCH	94521	ROBERT SCHALLER	COMMODITIES	670-331	30	23.63
08/13/2019	APCH	94522	RUTLEDGE PRINTING CO.	PRINTING & PUBLISHING	630-302	30	1,701.88
08/13/2019	APCH	94523	SCHIFF HARDIN LLP	CRISIS MANAGEMENT	475-367	10	6,900.00
				CRISIS MANAGEMENT	475-367	10	92.40
				CHECK APCHK 94523 TOTAL FOR FUND 01:			6,992.40
08/13/2019	APCH	94525	SHERIDAN PLUMBING & SEWER	JET CLEANING CULVERT	750-286	35	2,125.00
08/13/2019	APCH	94527	STAPLES	OFFICE SUPPLIES	455-301	10	11.13
				OFFICE SUPPLIES	455-301	10	101.06
				OFFICE SUPPLIES	455-301	10	135.37
				COMMISSARY PROVISION	455-355	10	48.07
				COMMISSARY PROVISION	455-355	10	38.73
				COMMISSARY PROVISION	455-355	10	27.98
				CHECK APCHK 94527 TOTAL FOR FUND 01:			362.34
08/13/2019	APCH	94528	STRATEGIA CONSULTING, LLC	CRISIS MANAGEMENT	475-367	10	625.00
08/13/2019	APCH	94530#	T.P.I.	CRISIS MANAGEMENT	475-367	10	2,541.00
				PLAN REVIEW - BUILDING CODE - REIMB	820-258	40	12,326.00
				PLAN REVIEW - BUILDING CODE - REIMB	820-258	40	4,548.40
				PART TIME - INSPECTOR - REIMB	830-109	40	4,599.00
				PLUMBING INSPECTION - REIMB	830-115	40	1,550.00
				CHECK APCHK 94530 TOTAL FOR FUND 01:			25,564.40
08/13/2019	APCH	94531	THOMPSON ELEV. INSPECT. SERVICE	ELEVATOR INSPECTION	830-117	40	903.00
				ELEVATOR INSPECTION	830-117	40	172.00
				CHECK APCHK 94531 TOTAL FOR FUND 01:			1,075.00
08/13/2019	APCH	94532	THOMSON REUTERS - WEST	FEES/DUES/SUBSCRIPTIONS	630-307	30	163.61
08/13/2019	APCH	94533	TREE TOWNS IMAGING & COLOR GRAPH	CRISIS MANAGEMENT	475-367	10	67.95
				CRISIS MANAGEMENT	475-367	10	34.00
				CHECK APCHK 94533 TOTAL FOR FUND 01:			101.95
08/13/2019	APCH	94534	UNIFIRST	MAINTENANCE - PW BUILDING	725-418	35	111.25

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND							
08/13/2019	APCH	94535*#	VERIZON WIRELESS	PHONE - TELEPHONES	410-201	05	56.62
				PHONE - TELEPHONES	455-201	10	642.38
				PHONE - TELEPHONES	630-201	30	938.02
				TELEPHONES	710-201	35	524.02
				TELEPHONES	810-201	40	72.22
				CHECK APCHK 94535 TOTAL FOR FUND 01:			2,233.26
08/13/2019	APCH	94536	VERN GOERS GREENHOUSE INC	PARK LANDSCAPE SUPPLIES	565-341	20	53.41
08/13/2019	APCH	94538	WAREHOUSE DIRECT	OPERATING SUPPLIES	630-331	30	18.58
				OPERATING SUPPLIES	630-331	30	58.80
				OPERATING SUPPLIES	630-331	30	131.94
				OPERATING SUPPLIES	630-331	30	72.24
				CHECK APCHK 94538 TOTAL FOR FUND 01:			281.56
08/13/2019	APCH	94539	WBK ENGINEERING LLC	PLAN REVIEW - PLANNER	520-257	15	11,901.22
				PLAN REVIEW - PLANNER	520-257	15	408.00
				PLAN REVIEW - PLANNER	520-257	15	4,947.00
				PLAN REVIEW - PLANNER	520-257	15	2,397.00
				PLAN REVIEW - PLANNER	520-257	15	1,734.00
				PLAN REVIEW - PLANNER	520-257	15	7,446.00
				PLAN REVIEW - PLANNER	520-257	15	3,366.00
				PLAN REVIEW - PLANNER	520-257	15	306.00
				CHECK APCHK 94539 TOTAL FOR FUND 01:			32,505.22
08/13/2019	APCH	94540	WILD GOOSE CHASE INC	CONTRACTED MAINTENANCE	570-281	20	960.00
08/13/2019	APCH	94541	WLBK BURR RIDGE CHAMBER OF COM	FEES/DUES/SUBSCRIPTIONS	455-307	10	2,500.00
				Total for fund 01 GENERAL FUND			213,416.90

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND							
08/13/2019	APCH	138(E)*#	WEX BANK	FUEL/MILEAGE/WASH	401-303	50	834.47
08/13/2019	APCH	94454	AT & T MOBILITY	PHONE - TELEPHONES	401-201	50	63.24
08/13/2019	APCH	94455	ATLAS RESTORATION LLC	WATER DEPOSIT REFUND	280-131	00	42.18
08/13/2019	APCH	94465*#	COMED	ENERGY - ELECTRIC PUMP	420-206	50	85.84
08/13/2019	APCH	94468*#	DELTA DENTAL PLAN OF ILLINOIS	HEALTH/DENTAL/LIFE INSURANCE	401-141	50	271.09
08/13/2019	APCH	94471	ETP LABS INC	SAMPLING ANALYSIS	420-362	50	90.00
08/13/2019	APCH	94472	FALCO'S LANDSCAPING INC	WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	3,900.00
08/13/2019	APCH	94476	H AND R CONSTRUCTION INC.	WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	6,675.00
				WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	1,900.00
				WATER DISTRIBUTION REPAIRS/MAINTENANC	430-277	50	15,066.00
				CHECK APCHK 94476 TOTAL FOR FUND 02:			23,641.00
08/13/2019	APCH	94477	HACH CHEMICAL COMPANY	CHEMICALS	420-361	50	447.30
08/13/2019	APCH	94499	METROPOLITAN INDUSTRIES INC	EDP LICENSES	417-263	50	138.00
08/13/2019	APCH	94508	NOVOTNY ENGINEERING	MATERIALS & SUPPLIES- STANDPIPE/PUMPH	425-475	50	428.00
08/13/2019	APCH	94509	OFFICIAL PAYMENTS CORP	FEES DUES SUBSCRIPTIONS	401-307	50	17.55
08/13/2019	APCH	94524	SCHUETZ, LESLIE	CUSTOMER OVERPAYMENT	280-135	00	50.00
08/13/2019	APCH	94526	SMITH ECOLOGICAL SYSTEMS COMPANY	DISTRIBUTION SYSTEM REPLACEMENT	440-694	50	6,415.59
08/13/2019	APCH	94529	SUBURBAN DOOR CHECK & LOCK SERVI	REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	425-485	50	125.00
08/13/2019	APCH	94535*#	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	524.01
				PHONE - TELEPHONES	401-201	50	75.06
				CHECK APCHK 94535 TOTAL FOR FUND 02:			599.07
08/13/2019	APCH	94537	VIKING CHEMICAL COMPANY	MATERIALS & SUPPLIES- STANDPIPE/PUMPH	425-475	50	323.40
				Total for fund 02 WATER FUND			37,471.73
				TOTAL - ALL FUNDS			250,888.63

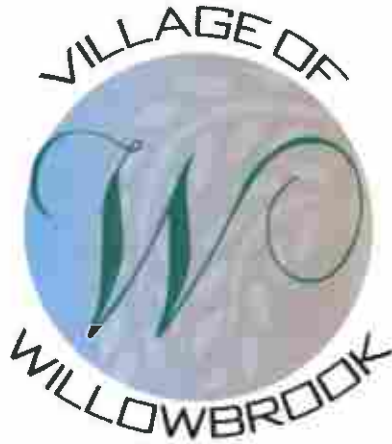
'\*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

Payroll Liability Check Register  
For Check Dates 07/01/2019 to 07/31/2019

Check Number	Vendor Name	Check Date	Check Amount
53490	COMMUNITY BANK OF WILLOWBROOK	07/05/2019	539.58
53491	I C M A RETIREMENT TRUST - 457	07/05/2019	725.00
53492	ILLINOIS STATE DISBURSEMENT UNIT	07/05/2019	1,190.00
53493	NATIONWIDE RETIREMENT SOLUTIONS	07/05/2019	8,222.60
53494	VILLAGE OF WILLOWBROOK	07/05/2019	45,898.21
53502	AFLAC	07/19/2019	2,042.82
53503	COMMUNITY BANK OF WILLOWBROOK	07/19/2019	539.58
53504	I C M A RETIREMENT TRUST - 457	07/19/2019	725.00
53505	ILLINOIS STATE DISBURSEMENT UNIT	07/19/2019	2,437.00
53506	ILLINOIS FRATERNAL	07/19/2019	1,008.00
53507	NATIONWIDE RETIREMENT SOLUTIONS	07/19/2019	8,227.47
53508	VILLAGE OF WILLOWBROOK	07/19/2019	45,827.67
EFT241	EFTPS	07/05/2019	25,201.06
EFT242	ILLINOIS DEPT. OF REVENUE	07/05/2019	5,549.68
EFT243	EFTPS	07/19/2019	46,264.79
EFT244	I.M.R.F. PENSION FUND	07/19/2019	20,683.25
EFT245	ILLINOIS DEPT. OF REVENUE	07/19/2019	7,010.01
Total Checks: 17		Total Paid:	\$222,091.72





MONTHLY FINANCIAL REPORT  
JULY 2019

RESPECTFULLY SUBMITTED BY:

Frank A. Trilla, Mayor

Carrie Dittman, Director of Finance

# VILLAGE OF WILLOWBROOK FINANCIAL REPORT MUNICIPAL SALES AND USE TAXES

MONTH DIST	SALE MADE		15-16	16-17	17-18	18-19	19-20
MAY	FEB	\$	253,282	\$ 267,882	\$ 264,472	\$ 276,118	\$ 320,221
JUNE	MAR		301,469	312,681	304,436	334,282	360,870
JULY	APR		267,013	269,580	304,925	309,957	343,577
AUG	MAY		328,251	331,887	345,478	376,154	
SEPT	JUNE		349,847	398,196	354,582	364,229	
OCT	JULY		306,409	316,266	313,701	320,062	
NOV	AUG		337,896	315,293	361,826	339,020	
DEC	SEPT		360,843	325,374	334,582	342,467	
JAN	OCT		318,340	289,208	312,400	329,103	
FEB	NOV		304,839	304,898	319,012	362,572	
MARCH	DEC		393,072	371,080	416,900	428,214	
APRIL	JAN		266,970	263,392	285,192	296,927	
TOTAL		\$	3,788,231	\$ 3,765,737	\$ 3,917,506	\$ 4,079,105	\$ 1,024,668
MTH AVG		\$	315,686	\$ 313,811	\$ 326,459	\$ 339,925	\$ 341,556
<b>BUDGET</b>		\$	3,600,000	\$ 3,600,000	\$ 3,600,000	\$ 3,600,000	\$ 4,000,000

YEAR TO DATE LAST YEAR :	\$ 920,357
YEAR TO DATE THIS YEAR :	\$ 1,024,668
DIFFERENCE :	\$ 104,311

PERCENTAGE CHANGE :

11.33%

CURRENT FISCAL YEAR :

BUDGETED REVENUE:	\$ 4,000,000
PERCENTAGE OF YEAR COMPLETED :	25.00%
PERCENTAGE OF REVENUE TO DATE :	25.62%
PROJECTION OF ANNUAL REVENUE :	\$ 4,541,421
EST. DOLLAR DIFF ACTUAL TO BUDGET	\$ 541,421
EST. PERCENT DIFF ACTUAL TO BUDGET	13.5%

VILLAGE OF WILLOWBROOK  
MONTHLY CASH AND INVESTMENT BALANCE BY FUND  
FOR THE MONTH ENDED 07/31/2019

ACCOUNT	BALANCE
<b>Fund 01 GENERAL FUND</b>	
CHECKING - 0283	0.00
COMMUNITY BANK OF WB - 0275	1,307,672.22
IL FUNDS - 5435	2,563,211.52
COMMUNITY BANK OF WB MM - 1771	304,293.72
COMMUNITY BANK RD LGHT - 0243	14,742.20
COMMUNITY BANK OF WB FSA - 3804	11,758.88
U.S. BANK RED LIGHT - 4216	16,835.00
COMMUNITY BANK DRUG ACCT - 4171	82,047.75
PETTY CASH REVLVING	950.00
IMET - GENERAL	29.07
<b>Total For Fund 01:</b>	<b><u>4,301,540.36</u></b>
<b>Fund 02 WATER FUND</b>	
IL FUNDS WATER - 5914	1,047,603.07
COMMUNITY BANK OF WB WTR - 4163	518,363.93
COMMUNITY BANK OF WB - 0275	0.00
<b>Total For Fund 02:</b>	<b><u>1,565,967.00</u></b>
<b>Fund 03 HOTEL/MOTEL TAX FUND</b>	
IL FUNDS HOTEL/MOTEL - 5948	476,982.90
COMMUNITY BANK OF WB - 0275	85,474.54
<b>Total For Fund 03:</b>	<b><u>562,457.44</u></b>
<b>Fund 04 MOTOR FUEL TAX FUND</b>	
IL FUNDS MFT - 5443	367,095.13
<b>Total For Fund 04:</b>	<b><u>367,095.13</u></b>
<b>Fund 06 SSA ONE BOND &amp; INTEREST FUND</b>	
IL FUNDS SSA BOND - 4621	100,701.47
COMMUNITY BANK OF WB - 0275	124.82
<b>Total For Fund 06:</b>	<b><u>100,826.29</u></b>
<b>Fund 07 POLICE PENSION FUND</b>	
COMMUNITY BANK OF WB PP - 4155	3,359.01
COMMUNITY BANK OF WB - 0275	0.00
SCHWAB - PP MONEY MARKET	53,021.29
US TREASURIES	457,550.88
US AGENCIES	5,804,566.20
MUNICIPAL BONDS	940,718.82
CORPORATE BONDS	1,800,182.95
MUTUAL FUNDS	13,136,397.98
MARKET VALUE CONTRA	851,961.27
<b>Total For Fund 07:</b>	<b><u>23,047,758.40</u></b>
<b>Fund 09 WATER CAPITAL IMPROVEMENTS FUND</b>	
IL FUNDS WTR CAP - 1206	438,578.31
<b>Total For Fund 09:</b>	<b><u>438,578.31</u></b>
<b>Fund 10 CAPITAL PROJECT FUND</b>	
IL FUNDS CAP PROJECTS - 3133	671.02
<b>Total For Fund 10:</b>	<b><u>671.02</u></b>
<b>Fund 11 DEBT SERVICE FUND</b>	
IL FUNDS BOND PROCEEDS DS - 2756	11.25
<b>Total For Fund 11:</b>	<b><u>11.25</u></b>
<b>Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &amp;</b>	
IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
<b>Total For Fund 14:</b>	<b><u>0.02</u></b>
<b>Fund 15 RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX</b>	
IL FUNDS BUSINESS DISTRICT - 5435	1,099,323.11
<b>Total For Fund 15:</b>	<b><u>1,099,323.11</u></b>
<b>TOTAL CASH &amp; INVESTMENTS:</b>	<b><u>31,484,228.33</u></b>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019  
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

Page: 1/2

GL NUMBER	DESCRIPTION	END BALANCE 07/31/2019
<b>Fund 01 - GENERAL FUND</b>		
<b>MONEY MARKET</b>		
01-00-110-322	IL FUNDS - 5435	2,563,211.52
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	304,293.72
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	14,742.20
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	82,047.75
01-00-120-155	IMET - GENERAL	29.07
	Net MONEY MARKET	2,964,324.26
<b>PETTY CASH</b>		
01-00-110-911	PETTY CASH REVLING	950.00
	Net PETTY CASH	950.00
<b>SAVINGS</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	1,307,672.22
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,758.88
01-00-110-335	U.S. BANK RED LIGHT - 4216	16,835.00
	Net SAVINGS	1,336,266.10
<b>Fund 02 - WATER FUND</b>		
<b>MONEY MARKET</b>		
02-00-110-113	IL FUNDS WATER - 5914	1,047,603.07
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	518,363.93
	Net MONEY MARKET	1,565,967.00
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>		
<b>MONEY MARKET</b>		
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	476,982.90
	Net MONEY MARKET	476,982.90
<b>SAVINGS</b>		
03-00-110-257	COMMUNITY BANK OF WB - 0275	85,474.54
	Net SAVINGS	85,474.54
<b>Fund 04 - MOTOR FUEL TAX FUND</b>		
<b>MONEY MARKET</b>		
04-00-110-116	IL FUNDS MFT - 5443	367,095.13
	Net MONEY MARKET	367,095.13
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND</b>		
<b>MONEY MARKET</b>		
06-00-110-117	IL FUNDS SSA BOND - 4621	100,701.47
	Net MONEY MARKET	100,701.47
<b>SAVINGS</b>		
06-00-110-257	COMMUNITY BANK OF WB - 0275	124.82
	Net SAVINGS	124.82
<b>Fund 07 - POLICE PENSION FUND</b>		
<b>MONEY MARKET</b>		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	3,359.01
07-00-110-336	SCHWAB - PP MONEY MARKET	53,021.29
	Net MONEY MARKET	56,380.30
<b>AGENCY CERTIFICATES</b>		
07-00-120-260	US AGENCIES	5,804,566.20
	Net AGENCY CERTIFICATES	5,804,566.20
<b>CORPORATE BONDS</b>		
07-00-120-288	CORPORATE BONDS	1,800,182.95
	Net CORPORATE BONDS	1,800,182.95
<b>MUNICIPAL BONDS</b>		
07-00-120-270	MUNICIPAL BONDS	940,718.82
	Net MUNICIPAL BONDS	940,718.82

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019  
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

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GL NUMBER	DESCRIPTION	END BALANCE 07/31/2019
Fund 07 - POLICE PENSION FUND		
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	13,136,397.98
	Net MUTUAL FUNDS	13,136,397.98
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	851,961.27
	Net MARKET VALUE	851,961.27
TREASURY NOTES		
07-00-120-250	US TREASURIES	457,550.88
	Net TREASURY NOTES	457,550.88
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		
09-00-110-324	IL FUNDS WTR CAP - 1206	438,578.31
	Net MONEY MARKET	438,578.31
Fund 10 - CAPITAL PROJECT FUND		
MONEY MARKET		
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	671.02
	Net MONEY MARKET	671.02
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
	Net MONEY MARKET	11.25
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
	Net MONEY MARKET	0.02
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX		
MONEY MARKET		
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,099,323.11
	Net MONEY MARKET	1,099,323.11

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019  
CASH & INVESTMENTS BY INSTITUTION

Page: 1/1

GL NUMBER	DESCRIPTION	END BALANCE 07/31/2019
<b>COMMUNITY BANK OF WB</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	1,307,672.22
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	304,293.72
01-00-110-325	COMMUNITY BANK RD LGHT - 0243	14,742.20
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,758.88
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	82,047.75
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	518,363.93
03-00-110-257	COMMUNITY BANK OF WB - 0275	85,474.54
06-00-110-257	COMMUNITY BANK OF WB - 0275	124.82
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	3,359.01
	Net COMMUNITY BANK OF WB	2,327,837.07
<b>ILLINOIS FUNDS</b>		
01-00-110-322	IL FUNDS - 5435	2,563,211.52
02-00-110-113	IL FUNDS WATER - 5914	1,047,603.07
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	476,982.90
04-00-110-116	IL FUNDS MFT - 5443	367,095.13
06-00-110-117	IL FUNDS SSA BOND - 4621	100,701.47
09-00-110-324	IL FUNDS WTR CAP - 1206	438,578.31
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	671.02
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	11.25
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	0.02
15-00-110-322	IL FUNDS BUSINESS DISTRICT - 5435	1,099,323.11
	Net ILLINOIS FUNDS	6,094,177.80
<b>IMET</b>		
01-00-120-155	IMET - GENERAL	29.07
	Net IMET	29.07
<b>U.S. BANK</b>		
01-00-110-335	U.S. BANK RED LIGHT - 4216	16,835.00
	Net U.S. BANK	16,835.00
<b>VILLAGE OF WILLOWBROOK</b>		
01-00-110-911	PETTY CASH REVLING	950.00
	Net VILLAGE OF WILLOWBROOK	950.00
<b>CHARLES SCHWAB</b>		
07-00-110-336	SCHWAB - PP MONEY MARKET	53,021.29
07-00-120-250	US TREASURIES	457,550.88
07-00-120-260	US AGENCIES	5,804,566.20
07-00-120-270	MUNICIPAL BONDS	940,718.82
07-00-120-288	CORPORATE BONDS	1,800,182.95
07-00-120-290	MUTUAL FUNDS	13,136,397.98
07-00-120-900	MARKET VALUE CONTRA	851,961.27
	Net CHARLES SCHWAB	23,044,399.39
Total - All Funds:		31,484,228.33

## INTERFUND ACTIVITY REPORT FOR WILLOWBROOK

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Period Ending 07/31/2019

Due To/From Other Funds

GL Number	Description	Balance
Fund 01: GENERAL FUND		
Due From Other Funds		
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	98,211.27
	<b>Total Due From Other Funds</b>	<b>98,211.27</b>
Fund 07: POLICE PENSION FUND		
Due From Other Funds		
07-00-140-101	DUE TO/FROM GENERAL FUND	(98,211.27)
	<b>Total Due From Other Funds</b>	<b>(98,211.27)</b>

REVENUE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2019	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>						
<b>PROPERTY TAX</b>						
01-00-310-101	PROPERTY TAX LEVY - SRA	845.97	40,545.80	74,420.00	54.48	33,874.20
01-00-310-102	PROPERTY TAX LEVY - ROAD & BRIDGE	1,388.75	60,910.38	111,259.00	54.75	50,348.62
Net PROPERTY TAX		2,234.72	101,456.18	185,679.00	54.64	84,222.82
<b>OTHER TAXES</b>						
01-00-310-201	MUNICIPAL SALES TAX	343,576.55	1,024,667.50	4,000,000.00	25.62	2,975,332.50
01-00-310-202	ILLINOIS INCOME TAX	80,093.44	305,145.57	815,000.00	37.44	509,854.43
01-00-310-203	AMUSEMENT TAX	5,328.67	16,119.69	57,504.00	28.03	41,384.31
01-00-310-204	REPLACEMENT TAX	232.29	625.74	1,250.00	50.06	624.26
01-00-310-205	UTILITY TAX	63,109.19	192,675.09	898,000.00	21.46	705,324.91
01-00-310-208	PLACES OF EATING TAX	49,632.37	142,191.04	500,000.00	28.44	357,808.96
01-00-310-209	WATER TAX	11,333.27	38,392.82	160,000.00	24.00	121,607.18
01-00-310-210	WATER TAX - CLARENDON WATER CO	42.63	42.63	120.00	35.53	77.37
Net OTHER TAXES		553,348.41	1,719,860.08	6,431,874.00	26.74	4,712,013.92
<b>LICENSES</b>						
01-00-310-302	LIQUOR LICENSES	0.00	0.00	61,250.00	0.00	61,250.00
01-00-310-303	BUSINESS LICENSES	1,310.00	1,510.00	78,000.00	1.94	76,490.00
01-00-310-305	VENDING MACHINE	0.00	0.00	2,600.00	0.00	2,600.00
01-00-310-306	SCAVENGER LICENSES	0.00	0.00	7,000.00	0.00	7,000.00
Net LICENSES		1,310.00	1,510.00	148,850.00	1.01	147,340.00
<b>PERMITS</b>						
01-00-310-401	BUILDING PERMITS	86,908.36	131,717.86	275,000.00	47.90	143,282.14
01-00-310-402	SIGN PERMITS	60.00	2,139.45	5,000.00	42.79	2,860.55
01-00-310-403	OTHER PERMITS	0.00	84.00	500.00	16.80	416.00
01-00-310-404	COUNTY BMP FEE	2,371.00	2,371.00	2,000.00	118.55	(371.00)
01-00-310-405	SPECIAL HAULING PERMITS	0.00	481.50	0.00	100.00	(481.50)
Net PERMITS		89,339.36	136,793.81	282,500.00	48.42	145,706.19
<b>FINES</b>						
01-00-310-501	CIRCUIT COURT FINES	12,097.29	26,147.51	100,000.00	26.15	73,852.49
01-00-310-502	TRAFFIC FINES	2,925.00	8,350.00	25,000.00	33.40	16,650.00
01-00-310-503	RED LIGHT FINES	73,600.34	177,825.34	600,000.00	29.64	422,174.66
01-00-310-504	DUI FINES	0.00	288.97	0.00	100.00	(288.97)
Net FINES		88,622.63	212,611.82	725,000.00	29.33	512,388.18
<b>OVERHEAD REIMBURSEMENT</b>						
01-00-310-601	ADMINISTRATIVE SUPPORT REIMB - WATE	47,972.25	143,916.75	575,667.00	25.00	431,750.25
Net OVERHEAD REIMBURSEMENT		47,972.25	143,916.75	575,667.00	25.00	431,750.25
<b>CHARGES &amp; FEES</b>						
01-00-310-700	PLANNING APPLICATION FEES	0.00	3,050.00	10,000.00	30.50	6,950.00
01-00-310-701	PUBLIC HEARING FEES	0.00	2,200.00	2,550.00	86.27	350.00
01-00-310-702	PLANNING REVIEW FEES	0.00	0.00	2,500.00	0.00	2,500.00
01-00-310-704	ACCIDENT REPORT COPIES	645.00	900.00	2,000.00	45.00	1,100.00



REVENUE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR	YTD BALANCE 07/31/2019	2019-20	% BDGT USED	AVAILABLE BALANCE
		MONTH 07/31/2019		ORIGINAL BUDGET		
Fund 01 - GENERAL FUND						
01-00-310-705	VIDEO GAMING FEES	4,362.38	13,969.28	36,000.00	38.80	22,030.72
01-00-310-706	COPIES-ORDINANCES & MAPS	0.00	0.00	50.00	0.00	50.00
01-00-310-723	ELEVATOR INSPECTION FEES	0.00	450.00	5,000.00	9.00	4,550.00
01-00-310-724	BURGLAR ALARM FEES	0.00	0.00	10,000.00	0.00	10,000.00
Net CHARGES & FEES		5,007.38	20,569.28	68,100.00	30.20	47,530.72
PARK & RECREATION CHARGES						
01-00-310-813	PARK & REC CONTRIBUTION	0.00	300.00	2,500.00	12.00	2,200.00
01-00-310-814	PARK PERMIT FEES	817.00	1,727.00	3,000.00	57.57	1,273.00
01-00-310-815	SUMMER RECREATION FEES	260.00	1,985.00	8,750.00	22.69	6,765.00
01-00-310-817	SPECIAL EVENTS	165.00	1,490.00	3,600.00	41.39	2,110.00
01-00-310-818	FALL RECREATION FEES	0.00	0.00	200.00	0.00	200.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL R	0.00	0.00	6,500.00	0.00	6,500.00
01-00-310-820	HOLIDAY CONTRIBUTION	0.00	0.00	4,000.00	0.00	4,000.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	200.00	0.00	200.00
Net PARK & RECREATION CHARGES		1,242.00	5,502.00	28,750.00	19.14	23,248.00
OTHER REVENUE						
01-00-310-909	SALE - FIXED ASSETS	0.00	0.00	7,500.00	0.00	7,500.00
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	0.00	825.00	500.00	165.00	(325.00)
01-00-310-911	ATS RED LIGHT ENERGY REIMBURSEMENT	119.15	362.60	1,320.00	27.47	957.40
01-00-310-912	REIMBURSEMENTS-BRUSH PICK-UP	2,747.52	5,495.04	11,600.00	47.37	6,104.96
01-00-310-913	OTHER RECEIPTS	4,586.00	5,113.50	20,000.00	25.57	14,886.50
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DET	0.00	0.00	4,000.00	0.00	4,000.00
01-00-310-916	DONATIONS	1,000.00	1,000.00	0.00	100.00	(1,000.00)
01-00-310-922	FEDERAL/STATE GRANTS	110,000.00	110,000.00	72,788.00	151.12	(37,212.00)
01-00-310-925	NICOR GAS ANNUAL PAYMENT	0.00	0.00	14,000.00	0.00	14,000.00
01-00-310-926	CABLE FRANCHISE FEES	14,996.58	51,207.31	216,000.00	23.71	164,792.69
01-00-310-928	DRUG FORFEITURES - STATE	0.00	0.00	5,000.00	0.00	5,000.00
01-00-310-929	DRUG FORFEITURES - FEDERAL	0.00	0.00	6,000.00	0.00	6,000.00
Net OTHER REVENUE		133,449.25	174,003.45	358,708.00	48.51	184,704.55
NON-OPERATING						
01-00-320-108	INTEREST INCOME	8,578.77	26,485.88	24,000.00	110.36	(2,485.88)
Net NON-OPERATING		8,578.77	26,485.88	24,000.00	110.36	(2,485.88)
Fund 01 - GENERAL FUND:						
TOTAL REVENUES		931,104.77	2,542,709.25	8,829,128.00	28.80	6,286,418.75
Fund 02 - WATER FUND						
CHARGES & FEES						
02-00-310-712	WATER SALES	226,645.93	773,311.06	3,200,000.00	24.17	2,426,688.94
02-00-310-713	WATER PENALTIES	590.15	2,777.77	5,000.00	55.56	2,222.23
02-00-310-718	SHUTOFF/NSF FEE	345.00	2,040.00	2,500.00	81.60	460.00

REVENUE REPORT FOR WILLOWBROOK  
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2019	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 02 - WATER FUND</b>						
Net CHARGES & FEES		227,581.08	778,128.83	3,207,500.00	24.26	2,429,371.17
<b>OTHER REVENUE</b>						
02-00-310-714	WATER METER SALES	1,468.58	1,881.76	3,000.00	62.73	1,118.24
02-00-310-716	WATER METER READ SALES	657.00	1,671.50	5,000.00	33.43	3,328.50
02-00-310-717	OTHER REVENUE	450.00	600.00	1,000.00	60.00	400.00
Net OTHER REVENUE		2,575.58	4,153.26	9,000.00	46.15	4,846.74
<b>NON-OPERATING</b>						
02-00-320-108	INTEREST INCOME	2,253.80	6,720.79	12,000.00	56.01	5,279.21
02-00-320-713	WATER CONNECTION FEES	1,800.00	2,400.00	3,000.00	80.00	600.00
Net NON-OPERATING		4,053.80	9,120.79	15,000.00	60.81	5,879.21
<b>Fund 02 - WATER FUND:</b>						
TOTAL REVENUES		234,210.46	791,402.88	3,231,500.00	24.49	2,440,097.12
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>						
OTHER TAXES						
03-00-310-205	HOTEL/MOTEL TAX	26,311.89	70,736.85	248,000.00	28.52	177,263.15
Net OTHER TAXES		26,311.89	70,736.85	248,000.00	28.52	177,263.15
<b>NON-OPERATING</b>						
03-00-320-108	INTEREST INCOME	969.23	2,897.84	6,000.00	48.30	3,102.16
Net NON-OPERATING		969.23	2,897.84	6,000.00	48.30	3,102.16
<b>Fund 03 - HOTEL/MOTEL TAX FUND:</b>						
TOTAL REVENUES		27,281.12	73,634.69	254,000.00	28.99	180,365.31
<b>Fund 04 - MOTOR FUEL TAX FUND</b>						
OTHER TAXES						
04-00-310-216	MFT RECEIPTS	15,792.54	52,018.81	217,343.00	23.93	165,324.19
Net OTHER TAXES		15,792.54	52,018.81	217,343.00	23.93	165,324.19
<b>NON-OPERATING</b>						
04-00-320-108	INTEREST INCOME	741.77	2,299.99	4,500.00	51.11	2,200.01
Net NON-OPERATING		741.77	2,299.99	4,500.00	51.11	2,200.01

REVENUE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2019	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 04 - MOTOR FUEL TAX FUND						
Fund 04 - MOTOR FUEL TAX FUND:						
TOTAL REVENUES		16,534.31	54,318.80	221,843.00	24.49	167,524.20
Fund 06 - SSA ONE BOND & INTEREST FUND						
PROPERTY TAX						
06-00-310-101	PROPERTY TAX RECEIPTS	0.00	162,865.69	322,465.00	50.51	159,599.31
Net PROPERTY TAX		0.00	162,865.69	322,465.00	50.51	159,599.31
NON-OPERATING						
06-00-320-108	INTEREST INCOME	204.65	295.27	500.00	59.05	204.73
Net NON-OPERATING		204.65	295.27	500.00	59.05	204.73
Fund 06 - SSA ONE BOND & INTEREST FUND:						
TOTAL REVENUES		204.65	163,160.96	322,965.00	50.52	159,804.04
Fund 07 - POLICE PENSION FUND						
OTHER REVENUE						
07-00-310-607	VILLAGE CONTRIBUTION	75,912.16	229,361.40	986,858.00	23.24	757,496.60
07-00-310-906	POLICE CONTRIBUTIONS	15,813.72	46,956.91	206,484.00	22.74	159,527.09
Net OTHER REVENUE		91,725.88	276,318.31	1,193,342.00	23.15	917,023.69
NON-OPERATING						
07-00-320-108	INTEREST INCOME	18,234.07	134,631.21	500,000.00	26.93	365,368.79
07-00-320-110	UNREALIZED GAIN (LOSS) ON INVESTMENT	143,227.61	415,627.05	0.00	100.00	(415,627.05)
07-00-320-111	GAIN (LOSS) ON INVESTMENTS	(2,849.31)	(127,736.20)	0.00	100.00	127,736.20
07-00-320-112	CONTRIBUTIONS/DONATIONS	0.00	50.00	0.00	100.00	(50.00)
Net NON-OPERATING		158,612.37	422,572.06	500,000.00	84.51	77,427.94
Fund 07 - POLICE PENSION FUND:						
TOTAL REVENUES		250,338.25	698,890.37	1,693,342.00	41.27	994,451.63
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
NON-OPERATING						
09-00-320-108	INTEREST INCOME	891.22	2,687.01	6,000.00	44.78	3,312.99
Net NON-OPERATING		891.22	2,687.01	6,000.00	44.78	3,312.99
TRANSFERS IN						
09-00-330-102	TRANSFER FROM WATER	0.00	0.00	400,000.00	0.00	400,000.00

REVENUE REPORT FOR WILLOWBROOK  
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2019	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
Net TRANSFERS IN		0.00	0.00	400,000.00	0.00	400,000.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:						
TOTAL REVENUES		891.22	2,687.01	406,000.00	0.66	403,312.99
Fund 10 - CAPITAL PROJECT FUND						
NON-OPERATING		1.30	3.87	0.00	100.00	(3.87)
10-00-320-108 INTEREST INCOME		1.30	3.87	0.00	100.00	(3.87)
Net NON-OPERATING						
Fund 10 - CAPITAL PROJECT FUND:						
TOTAL REVENUES		1.30	3.87	0.00	100.00	(3.87)
Fund 11 - DEBT SERVICE FUND						
TRANSFERS IN		0.00	51,386.50	278,873.00	18.43	227,486.50
11-00-330-101 TRANSFER FROM GENERAL FUND		0.00	4,685.50	47,471.00	9.87	42,785.50
11-00-330-102 TRANSFER FROM WATER		0.00	56,072.00	326,344.00	17.18	270,272.00
Net TRANSFERS IN						
Fund 11 - DEBT SERVICE FUND:						
TOTAL REVENUES		0.00	56,072.00	326,344.00	17.18	270,272.00
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & TRANSFERS IN						
14-00-330-101 TRANSFER FROM GENERAL FUND		20,630.91	24,769.25	120,000.00	20.64	95,230.75
Net TRANSFERS IN		20,630.91	24,769.25	120,000.00	20.64	95,230.75
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & :						
TOTAL REVENUES		20,630.91	24,769.25	120,000.00	20.64	95,230.75
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX OTHER TAXES						

REVENUE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2019	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX						
15-00-310-201	BUSINESS DISTRICT SALES TAX TOWN CE	53,799.01	156,536.67	485,000.00	32.28	328,463.33
Net OTHER TAXES		53,799.01	156,536.67	485,000.00	32.28	328,463.33
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Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRICT TAX:						
TOTAL REVENUES		53,799.01	156,536.67	485,000.00	32.28	328,463.33
<hr/>						
TOTAL REVENUES - ALL FUNDS		1,534,996.00	4,564,185.75	15,890,122.00	28.72	11,325,936.25

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROX.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>Dept 05 - VILLAGE BOARD &amp; CLERK</b>								
<b>GENERAL MANAGEMENT</b>								
01-05-400-147	MEDICARE	76.44	222.06	922.00	24.08	699.94	1,844.00	1,621.94
01-05-400-161	SOCIAL SECURITY	326.81	949.46	3,943.00	24.08	2,993.54	7,886.00	6,936.54
01-05-410-101	SALARIES - MAYOR & VILLAGE	4,400.00	12,700.00	56,400.00	22.52	43,700.00	112,800.00	100,100.00
01-05-410-125	SALARY - VILLAGE CLERK	600.00	1,800.00	7,200.00	25.00	5,400.00	14,400.00	12,600.00
01-05-410-141	LIFE INSURANCE - ELECTED OF	67.76	203.28	816.00	24.91	612.72	1,632.00	1,428.72
01-05-410-201	PHONE - TELEPHONES	0.00	111.94	696.00	16.08	584.06	1,392.00	1,280.06
01-05-410-301	OFFICE SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-05-410-303	FUEL/MILEAGE/WASH	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-05-410-304	SCHOOLS/CONFERENCES/TRA	0.00	478.00	5,770.00	8.28	5,292.00	11,540.00	11,062.00
01-05-410-305	STRATEGIC PLANNING	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	2,341.00	0.00	2,341.00	4,682.00	4,682.00
<b>GENERAL MANAGEMENT</b>		5,471.01	16,464.74	83,688.00	19.67	67,223.26	167,376.00	150,911.26
<b>COMMUNITY RELATIONS</b>								
01-05-420-365	PUBLIC RELATIONS	47.95	47.95	500.00	9.59	452.05	1,000.00	952.05
<b>COMMUNITY RELATIONS</b>		47.95	47.95	500.00	9.59	452.05	1,000.00	952.05
<b>DATA PROCESSING</b>								
01-05-417-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
<b>DATA PROCESSING</b>		0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
<b>Total Dept 05 - VILLAGE BOARD &amp; CLERK</b>		5,518.96	16,512.69	90,188.00	18.31	73,675.31	180,376.00	163,863.31
<b>Dept 07 - BOARD OF POLICE COMMISSIONERS</b>								
<b>ADMINISTRATION</b>								
01-07-400-147	MEDICARE	0.00	0.00	9.00	0.00	9.00	18.00	18.00
01-07-400-161	SOCIAL SECURITY	0.00	0.00	37.00	0.00	37.00	74.00	74.00
01-07-435-148	LIFE INSURANCE - COMMISSIO	18.48	55.44	274.00	20.23	218.56	548.00	492.56
01-07-435-239	FEES - BOPC ATTORNEY	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-07-435-301	OFFICE SUPPLIES	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-07-435-302	PRINTING & PUBLISHING	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
01-07-435-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-07-435-311	POSTAGE & METER RENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>ADMINISTRATION</b>		18.48	55.44	12,420.00	0.45	12,364.56	24,840.00	24,784.56
<b>OTHER</b>								
01-07-440-542	EXAMS - WRITTEN	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
01-07-440-543	EXAMS - PHYSICAL	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-07-440-545	EXAMS - POLYGRAPH	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
<b>OTHER</b>		0.00	0.00	25,500.00	0.00	25,500.00	51,000.00	51,000.00
<b>Total Dept 07 - BOARD OF POLICE COMMISSIONERS</b>		18.48	55.44	37,920.00	0.15	37,864.56	75,840.00	75,784.56

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
Dept 10 - ADMINISTRATION								
GENERAL MANAGEMENT								
01-10-400-147	MEDICARE	384.63	1,939.39	4,299.00	45.11	2,359.61	8,598.00	6,658.61
01-10-400-151	IMRF	3,304.32	16,490.04	35,038.00	47.06	18,547.96	70,076.00	53,585.96
01-10-400-161	SOCIAL SECURITY	1,644.66	5,765.08	15,738.00	36.63	9,972.92	31,476.00	25,710.92
01-10-400-171	SUI - UNEMPLOYMENT	90.53	107.66	233.00	46.21	125.34	466.00	358.34
01-10-455-101	SALARIES - MANAGEMENT STA	(32,828.34)	65,261.94	134,137.00	48.65	68,875.06	268,274.00	203,012.06
01-10-455-102	OVERTIME	299.33	915.37	5,000.00	18.31	4,084.63	10,000.00	9,084.63
01-10-455-105	ASSISTANT VILLAGE ADMINIST	9,769.28	9,769.28	91,750.00	10.65	81,980.72	183,500.00	173,730.72
01-10-455-107	ADMINISTRATIVE INTERN	0.00	0.00	9,984.00	0.00	9,984.00	19,968.00	19,968.00
01-10-455-126	SALARIES - CLERICAL	4,257.13	12,732.84	55,342.00	23.01	42,609.16	110,684.00	97,951.16
01-10-455-131	PERSONNEL RECRUITMENT	118.00	6,544.80	700.00	934.97	(5,844.80)	1,400.00	(5,144.80)
01-10-455-141	HEALTH/DENTAL/LIFE INSURAN	4,935.80	9,498.59	70,135.00	13.54	60,636.41	140,270.00	130,771.41
01-10-455-201	PHONE - TELEPHONES	855.71	4,279.67	25,051.00	17.08	20,771.33	50,102.00	45,822.33
01-10-455-266	CODIFY ORDINANCES	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-10-455-301	OFFICE SUPPLIES	216.28	1,530.09	10,000.00	15.30	8,469.91	20,000.00	18,469.91
01-10-455-302	PRINTING & PUBLISHING	0.00	495.00	2,500.00	19.80	2,005.00	5,000.00	4,505.00
01-10-455-303	FUEL/MILEAGE/WASH	0.00	120.60	1,500.00	8.04	1,379.40	3,000.00	2,879.40
01-10-455-304	SCHOOLS/CONFERENCES/TRA	0.00	30.00	2,000.00	1.50	1,970.00	4,000.00	3,970.00
01-10-455-305	STRATEGIC PLANNING	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-306	CONSULTING	0.00	32,484.36	0.00	100.00	(32,484.36)	0.00	(32,484.36)
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	225.00	7,808.52	13,000.00	60.07	5,191.48	26,000.00	18,191.48
01-10-455-311	POSTAGE & METER RENT	70.05	611.79	5,000.00	12.24	4,388.21	10,000.00	9,388.21
01-10-455-315	COPY SERVICE	442.69	1,451.16	4,800.00	30.23	3,348.84	9,600.00	8,148.84
01-10-455-355	COMMISSARY PROVISION	184.62	419.43	1,500.00	27.96	1,080.57	3,000.00	2,580.57
01-10-455-409	MAINTENANCE - VEHICLES	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-411	MAINTENANCE - EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		(6,030.31)	178,255.61	494,707.00	36.03	316,451.39	989,414.00	811,158.39
COMMUNITY RELATIONS								
01-10-475-365	PUBLIC RELATIONS	363.24	1,894.55	5,000.00	37.89	3,105.45	10,000.00	8,105.45
01-10-475-366	NEWSLETTER	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-10-475-367	CRISIS MANAGEMENT	9,827.20	24,388.21	300,000.00	8.13	275,611.79	600,000.00	575,611.79
01-10-475-370	MEALS-ON-WHEELS	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-475-372	SENIOR CITIZEN TAXI PROGRA	10.00	10.00	0.00	100.00	(10.00)	0.00	(10.00)
COMMUNITY RELATIONS		10,200.44	26,292.76	307,500.00	8.55	281,207.24	615,000.00	588,707.24
CAPITAL IMPROVEMENTS								
01-10-485-602	BUILDING IMPROVEMENTS	0.00	0.00	460,507.00	0.00	460,507.00	921,014.00	921,014.00
01-10-485-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
CAPITAL IMPROVEMENTS		0.00	0.00	463,007.00	0.00	463,007.00	926,014.00	926,014.00
DATA PROCESSING								
01-10-460-212	EDP EQUIPMENT/SOFTWARE	0.00	2,136.48	27,863.00	7.67	25,726.52	55,726.00	53,589.52
01-10-460-225	INTERNET/WEBSITE HOSTING	225.54	451.08	8,343.00	5.41	7,891.92	16,686.00	16,234.92
01-10-460-263	EDP LICENSES	4,000.00	7,620.00	2,325.00	327.74	(5,295.00)	4,650.00	(2,970.00)
01-10-460-267	DOCUMENT STORAGE/SCANNI	0.00	2,250.00	2,740.00	82.12	490.00	5,480.00	3,230.00
01-10-460-305	EDP PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-10-460-331	OPERATING SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00

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Fund 01 - GENERAL FUND							
DATA PROCESSING							
		4,225.54	12,457.56	42,271.00	29.47	29,813.44	72,084.44
BUILDINGS							
01-10-466-228	MAINTENANCE - BUILDING	3,319.75	13,682.16	50,000.00	27.36	36,317.84	86,317.84
01-10-466-236	NICOR GAS (835 MIDWAY)	38.06	87.57	2,000.00	4.38	1,912.43	3,912.43
01-10-466-240	ENERGY/COMED (835 MIDWAY)	0.00	253.62	2,500.00	10.14	2,246.38	4,746.38
01-10-466-251	SANITARY (835 MIDWAY)	0.00	0.00	800.00	0.00	800.00	1,600.00
01-10-466-293	LANDSCAPE - VILLAGE HALL	0.00	150.00	1,500.00	10.00	1,350.00	2,850.00
01-10-466-351	BUILDING MAINTENANCE SUPP	385.44	471.01	5,000.00	9.42	4,528.99	9,528.99
		3,743.25	14,644.36	61,800.00	23.70	47,155.64	108,955.64
BUILDINGS							
						123,600.00	108,955.64
LEGAL							
01-10-470-239	FEES - VILLAGE ATTORNEY	17,809.67	41,910.14	70,000.00	59.87	28,089.86	98,089.86
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	0.00	7,500.00	0.00	7,500.00	15,000.00
01-10-470-242	FEES - LABOR COUNSEL	433.00	433.00	0.00	100.00	(433.00)	(433.00)
		18,242.67	42,343.14	77,500.00	54.64	35,156.86	112,656.86
LEGAL							
						155,000.00	112,656.86
RISK MANAGEMENT							
01-10-480-272	INSURANCE - IRMA	0.00	0.00	230,960.00	0.00	230,960.00	461,920.00
01-10-480-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00
01-10-480-276	WELLNESS	0.00	0.00	4,870.00	0.00	4,870.00	9,740.00
		0.00	0.00	245,830.00	0.00	245,830.00	491,660.00
RISK MANAGEMENT							
						461,920.00	491,660.00
TRANSFERS TO OTHER FUNDS							
01-10-900-112	TRANSFER TO DEBT SERVICE -	0.00	51,386.50	278,873.00	18.43	227,486.50	506,359.50
01-10-900-114	TRANSFER TO LAFER	20,630.91	24,769.25	120,000.00	20.64	95,230.75	215,230.75
		20,630.91	76,155.75	398,873.00	19.09	322,717.25	721,590.25
TRANSFERS TO OTHER FUNDS							
						797,746.00	721,590.25
Total Dept 10 - ADMINISTRATION							
		51,012.50	350,149.18	2,091,488.00	16.74	1,741,338.82	3,832,826.82
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT							
GENERAL MANAGEMENT							
01-15-400-147	MEDICARE	21.77	70.07	338.00	20.73	267.93	605.93
01-15-400-151	IMRF	193.17	619.04	2,852.00	21.71	2,232.96	5,084.96
01-15-400-161	SOCIAL SECURITY	93.12	299.70	1,446.00	20.73	1,146.30	2,592.30
01-15-400-171	SUI - UNEMPLOYMENT	0.00	0.00	31.00	0.00	31.00	62.00
01-15-510-102	OVERTIME	0.00	0.00	500.00	0.00	500.00	1,000.00
01-15-510-126	SALARIES - CLERICAL	1,579.50	5,061.77	22,816.00	22.19	17,754.23	40,570.23
01-15-510-141	HEALTH/DENTAL/LIFE INSURAN	588.89	1,951.09	7,804.00	25.00	5,852.91	13,656.91
01-15-510-232	CONSULTANTS - DESIGN & OTH	0.00	0.00	45,000.00	0.00	45,000.00	90,000.00
01-15-510-301	OFFICE SUPPLIES	0.00	0.00	250.00	0.00	250.00	500.00
01-15-510-302	PRINTING & PUBLISHING	0.00	511.00	2,000.00	25.55	1,489.00	3,489.00
01-15-510-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	500.00	0.00	500.00	1,000.00
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	500.00	0.00	500.00	1,000.00
01-15-510-311	POSTAGE & METER RENT	8.22	8.22	500.00	1.64	491.78	991.78
01-15-510-340	LIFE INSURANCE - PLAN COMM	70.56	211.68	1,002.00	21.13	790.32	1,792.32



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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. 1,000.00	APPROP. AVAIL. 163,345.43
Fund 01 - GENERAL FUND								
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		2,555.23	8,732.57	86,039.00	10.15	77,306.43	172,078.00	163,345.43
DATA PROCESSING								
01-15-515-305	EDP PERSONNEL TRAINING	0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
DATA PROCESSING		0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
ENGINEERING								
01-15-520-229	RENT - MEETING ROOM	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-15-520-245	FEES - ENGINEERING	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-15-520-246	FEES - COURT REPORTER	0.00	534.50	1,500.00	35.63	965.50	3,000.00	2,465.50
01-15-520-254	PLAN REVIEW - ENGINEER	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-15-520-257	PLAN REVIEW - PLANNER	0.00	12,281.44	80,000.00	15.35	67,718.56	160,000.00	147,718.56
01-15-520-258	PLAN REVIEW - TRAFFIC CONS	156.60	156.60	3,000.00	5.22	2,843.40	6,000.00	5,843.40
ENGINEERING		156.60	12,972.54	92,250.00	14.06	79,277.46	184,500.00	171,527.46
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMEN		2,711.83	21,705.11	180,089.00	12.05	158,383.89	360,178.00	338,472.89
Dept 20 - PARKS & RECREATION								
CAPITAL IMPROVEMENTS								
01-20-595-692	LANDSCAPING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-20-595-693	COURT IMPROVEMENTS	0.00	56.66	1,500.00	3.78	1,443.34	3,000.00	2,943.34
01-20-595-695	PARK IMPROVEMENTS - NEIGH	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
CAPITAL IMPROVEMENTS		0.00	56.66	4,500.00	1.26	4,443.34	9,000.00	8,943.34
ADMINISTRATION								
01-20-400-147	MEDICARE	65.31	206.88	762.00	27.15	555.12	1,524.00	1,317.12
01-20-400-151	IMRF	449.72	1,505.83	4,649.00	32.39	3,143.17	9,298.00	7,792.17
01-20-400-161	SOCIAL SECURITY	279.28	884.65	3,259.00	27.14	2,374.35	6,518.00	5,633.35
01-20-400-171	SUI - UNEMPLOYMENT	4.14	27.18	131.00	20.75	103.82	262.00	234.82
01-20-550-101	SALARIES - PERMANENT EMPL	2,741.92	8,267.25	34,596.00	23.90	26,328.75	69,192.00	60,924.75
01-20-550-104	PART TIME - CLERICAL	0.00	0.00	10,973.00	0.00	10,973.00	21,946.00	21,946.00
01-20-550-148	LIFE INSURANCE - COMMISSIO	72.24	216.72	1,113.00	19.47	896.28	2,226.00	2,009.28
01-20-550-201	EMERGENCY TELEPHONE LINE	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-20-550-302	PRINTING & PUBLISHING	0.00	0.00	16,500.00	0.00	16,500.00	33,000.00	33,000.00
01-20-550-303	FUEL/MILEAGE/WASH	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-20-550-311	POSTAGE & METER RENT	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
ADMINISTRATION		3,612.61	11,108.51	74,833.00	14.84	63,724.49	149,666.00	138,557.49
DATA PROCESSING								
01-20-555-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-20-555-306	CONSULTING SERVICES	0.00	0.00	7,500.00	0.00	7,500.00	15,000.00	15,000.00
DATA PROCESSING		0.00	0.00	13,500.00	0.00	13,500.00	27,000.00	27,000.00
LANDSCAPING								

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<b>Fund 01 - GENERAL FUND</b>								
01-20-565-341	PARK LANDSCAPE SUPPLIES	0.00	1,724.64	7,400.00	23.31	5,675.36	14,800.00	13,075.36
01-20-565-342	LANDSCAPE MAINTENANCE SE	0.00	4,377.00	54,900.00	7.97	50,523.00	109,800.00	105,423.00
LANDSCAPING		0.00	6,101.64	62,300.00	9.79	56,198.36	124,600.00	118,498.36
<b>MAINTENANCE</b>								
01-20-570-102	OVERTIME	935.22	4,412.32	7,000.00	63.03	2,587.68	14,000.00	9,587.68
01-20-570-103	PART TIME - LABOR	871.10	1,736.65	1,500.00	115.78	(236.65)	3,000.00	1,263.35
01-20-570-228	MAINTENANCE - PARK BUILDIN	471.87	471.87	2,386.00	19.78	1,914.13	4,772.00	4,300.13
01-20-570-234	RENT - EQUIPMENT	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-20-570-235	NICOR GAS (825 MIDWAY)	33.62	116.44	1,200.00	9.70	1,083.56	2,400.00	2,283.56
01-20-570-240	ENERGY/COMED (825 MIDWAY)	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-20-570-250	SANITARY (825 MIDWAY)	0.00	0.00	50.00	0.00	50.00	100.00	100.00
01-20-570-278	SANITARY USER CHARGE - PAR	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-20-570-280	BALLFIELD MAINTENANCE/SUP	4,870.00	4,870.00	6,500.00	74.92	1,630.00	13,000.00	8,130.00
01-20-570-281	CONTRACTED MAINTENANCE	11,393.30	58,194.62	46,000.00	126.51	(12,194.62)	92,000.00	33,805.38
01-20-570-331	MAINTENANCE SUPPLIES	165.00	239.00	9,500.00	2.52	9,261.00	19,000.00	18,761.00
01-20-570-411	MAINTENANCE - EQUIPMENT	131.60	1,995.00	5,000.00	39.90	3,005.00	10,000.00	8,005.00
MAINTENANCE		18,871.71	72,035.90	83,436.00	86.34	11,400.10	166,872.00	94,836.10
<b>SUMMER PROGRAM</b>								
01-20-575-119	SUMMER PROGRAM MATERIAL	108.36	872.58	8,000.00	10.91	7,127.42	16,000.00	15,127.42
01-20-575-517	SENIORS PROGRAM	0.00	0.00	5,333.00	0.00	5,333.00	10,666.00	10,666.00
SUMMER PROGRAM		108.36	872.58	13,333.00	6.54	12,460.42	26,666.00	25,793.42
<b>FALL PROGRAM</b>								
01-20-580-118	FALL PROGRAM MATERIALS & S	0.00	0.00	550.00	0.00	550.00	1,100.00	1,100.00
01-20-580-517	SENIORS PROGRAM	0.00	0.00	5,333.00	0.00	5,333.00	10,666.00	10,666.00
FALL PROGRAM		0.00	0.00	5,883.00	0.00	5,883.00	11,766.00	11,766.00
<b>WINTER/SPECIAL PROGRAMS</b>								
01-20-585-112	RECREATION INSTRUCTORS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-585-121	WINTER PROGRAM MATERIALS	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-20-585-150	CHILDRENS SPECIAL EVENTS -	0.00	0.00	2,800.00	0.00	2,800.00	5,600.00	5,600.00
01-20-585-151	FAMILY SPECIAL EVENT - MOVI	463.00	923.00	1,800.00	51.28	877.00	3,600.00	2,677.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	0.00	8,301.04	10,425.00	79.63	2,123.96	20,850.00	12,548.96
01-20-585-155	CHILDREN'S HOLIDAY PARTY	0.00	0.00	4,700.00	0.00	4,700.00	9,400.00	9,400.00
01-20-585-157	COMMUNITY PICNIC	1,165.23	1,165.23	3,000.00	38.84	1,834.77	6,000.00	4,834.77
01-20-585-517	SENIORS PROGRAM	0.00	0.00	5,333.00	0.00	5,333.00	10,666.00	10,666.00
WINTER/SPECIAL PROGRAMS		1,628.23	10,389.27	36,058.00	28.81	25,668.73	72,116.00	61,726.73
<b>SPRING PROGRAM</b>								
01-20-586-112	RECREATION INSTRUCTORS - S	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-20-586-121	SPRING PROGRAM MATERIALS	0.00	0.00	400.00	0.00	400.00	800.00	800.00
SPRING PROGRAM		0.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>SPECIAL RECREATION</b>								
01-20-590-518	SPECIAL RECREATION ASSOC	19,655.43	19,655.43	38,540.00	51.00	18,884.57	77,080.00	57,424.57
01-20-590-519	ADA PARK MAINTENANCE	5,579.80	7,234.40	4,750.00	152.30	(2,484.40)	9,500.00	2,265.60
01-20-590-520	ADA RECREATION ACCOMMOD	0.00	0.00	7,700.00	0.00	7,700.00	15,400.00	15,400.00
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	0.00	95,000.00	0.00	95,000.00	190,000.00	190,000.00
<b>SPECIAL RECREATION</b>		<b>25,235.23</b>	<b>26,889.83</b>	<b>145,990.00</b>	<b>18.42</b>	<b>119,100.17</b>	<b>291,980.00</b>	<b>265,090.17</b>
<b>Total Dept 20 - PARKS &amp; RECREATION</b>								
		<b>49,456.14</b>	<b>127,454.39</b>	<b>440,433.00</b>	<b>28.94</b>	<b>312,978.61</b>	<b>880,866.00</b>	<b>753,411.61</b>
<b>Dept 25 - FINANCE DEPARTMENT</b>								
<b>GENERAL MANAGEMENT</b>								
01-25-400-147	MEDICARE	252.43	1,371.17	3,531.00	38.83	2,159.83	7,062.00	5,690.83
01-25-400-151	IMRF	1,869.70	10,918.20	23,675.00	46.12	12,756.80	47,350.00	36,431.80
01-25-400-161	SOCIAL SECURITY	1,079.35	5,862.94	14,987.00	39.12	9,124.06	29,974.00	24,111.06
01-25-400-171	SUI - UNEMPLOYMENT	34.06	90.48	248.00	36.48	157.52	496.00	405.52
01-25-610-101	SALARIES - MANAGEMENT STA	10,359.04	30,989.03	134,666.00	23.01	103,676.97	269,332.00	238,342.97
01-25-610-102	OVERTIME	0.00	321.36	1,500.00	21.42	1,178.64	3,000.00	2,678.64
01-25-610-104	PART TIME - CLERICAL	2,241.96	6,747.20	30,202.00	22.34	23,454.80	60,404.00	53,656.80
01-25-610-126	SALARIES - CLERICAL	4,615.52	57,198.03	77,127.00	74.16	19,928.97	154,254.00	97,055.97
01-25-610-141	HEALTH/DENTAL/LIFE INSURAN	2,356.74	8,953.21	37,453.00	23.91	28,499.79	74,906.00	65,952.79
01-25-610-301	OFFICE SUPPLIES	0.00	70.95	3,300.00	2.15	3,229.05	6,600.00	6,529.05
01-25-610-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-25-610-303	FUEL/MILEAGE/WASH	0.00	35.32	250.00	14.13	214.68	500.00	464.68
01-25-610-304	SCHOOLS/CONFERENCES/TRA	0.00	63.40	2,000.00	3.17	1,936.60	4,000.00	3,936.60
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	4.90	4.90	1,415.00	0.35	1,410.10	2,830.00	2,825.10
01-25-610-311	POSTAGE & METER RENT	14.16	14.16	500.00	2.83	485.84	1,000.00	985.84
<b>GENERAL MANAGEMENT</b>		<b>22,827.86</b>	<b>122,640.35</b>	<b>331,854.00</b>	<b>36.96</b>	<b>209,213.65</b>	<b>663,708.00</b>	<b>541,067.65</b>
<b>CAPITAL IMPROVEMENTS</b>								
01-25-625-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>CAPITAL IMPROVEMENTS</b>		<b>0.00</b>	<b>0.00</b>	<b>500.00</b>	<b>0.00</b>	<b>500.00</b>	<b>1,000.00</b>	<b>1,000.00</b>
<b>DATA PROCESSING</b>								
01-25-615-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	2,400.00	0.00	2,400.00	4,800.00	4,800.00
01-25-615-263	EDP LICENSES	0.00	11,896.12	36,738.00	32.38	24,841.88	73,476.00	61,579.88
01-25-615-267	DOCUMENT STORAGE/SCANNI	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-25-615-305	EDP PERSONNEL TRAINING	0.00	0.00	2,600.00	0.00	2,600.00	5,200.00	5,200.00
01-25-615-306	IT - CONSULTING SERVICES	0.00	12,500.00	25,000.00	50.00	12,500.00	50,000.00	37,500.00
<b>DATA PROCESSING</b>		<b>0.00</b>	<b>24,396.12</b>	<b>68,738.00</b>	<b>35.49</b>	<b>44,341.88</b>	<b>137,476.00</b>	<b>113,079.88</b>
<b>FINANCIAL AUDIT</b>								
01-25-620-251	AUDIT SERVICES	4,000.00	4,000.00	28,488.00	14.04	24,488.00	56,976.00	52,976.00
01-25-620-252	FINANCIAL SERVICES	0.00	4,398.75	7,225.00	60.88	2,826.25	14,450.00	10,051.25
<b>FINANCIAL AUDIT</b>		<b>4,000.00</b>	<b>8,398.75</b>	<b>35,713.00</b>	<b>23.52</b>	<b>27,314.25</b>	<b>71,426.00</b>	<b>63,027.25</b>
<b>Total Dept 25 - FINANCE DEPARTMENT</b>								
		<b>26,827.86</b>	<b>155,435.22</b>	<b>436,805.00</b>	<b>35.58</b>	<b>281,369.78</b>	<b>873,610.00</b>	<b>718,174.78</b>

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<b>Fund 01 - GENERAL FUND</b>								
<b>Dept 30 - POLICE DEPARTMENT</b>								
<b>CAPITAL IMPROVEMENTS</b>								
01-30-680-622	RADIO EQUIPMENT	0.00	0.00	5,200.00	0.00	5,200.00	10,400.00	10,400.00
01-30-680-625	NEW VEHICLES	0.00	74,764.82	167,773.00	44.56	93,008.18	335,546.00	260,781.18
		0.00	74,764.82	172,973.00	43.22	98,208.18	345,946.00	271,181.18
<b>CAPITAL IMPROVEMENTS</b>								
<b>ADMINISTRATION</b>								
01-30-400-147	MEDICARE	2,865.54	8,800.34	39,257.00	22.42	30,456.66	78,514.00	69,713.66
01-30-400-151	IMRF	1,739.98	5,164.74	21,075.00	24.51	15,910.26	42,150.00	36,985.26
01-30-400-161	SOCIAL SECURITY	869.45	2,603.53	10,684.00	24.37	8,080.47	21,368.00	18,764.47
01-30-400-171	SUI - UNEMPLOYMENT	0.00	3.23	1,612.00	0.20	1,608.77	3,224.00	3,220.77
01-30-630-101	SALARIES - PERMANENT EMPL	162,728.03	497,424.78	2,150,593.00	23.13	1,653,168.22	4,301,186.00	3,803,761.22
01-30-630-102	OVERTIME	23,856.81	75,220.22	285,000.00	26.39	209,779.78	570,000.00	494,779.78
01-30-630-103	OVERTIME - SPECIAL DETAIL &	0.00	0.00	8,000.00	0.00	8,000.00	16,000.00	16,000.00
01-30-630-126	SALARIES - CLERICAL	13,391.69	39,708.92	163,325.00	24.31	123,616.08	326,650.00	286,941.08
01-30-630-127	OVERTIME - CLERICAL	522.16	1,604.88	9,000.00	17.83	7,395.12	18,000.00	16,395.12
01-30-630-131	PERSONNEL RECRUITMENT	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-30-630-141	HEALTH/DENTAL/LIFE INSURAN	28,075.78	87,859.49	374,763.00	23.44	286,903.51	749,526.00	661,666.51
01-30-630-155	POLICE PENSION	75,912.16	227,736.48	986,858.00	23.08	759,121.52	1,973,716.00	1,745,979.52
01-30-630-201	PHONE - TELEPHONES	824.95	4,296.15	27,000.00	15.91	22,703.85	54,000.00	49,703.85
01-30-630-202	ACCREDITATION	0.00	0.00	8,000.00	0.00	8,000.00	16,000.00	16,000.00
01-30-630-228	MAINTENANCE - BUILDINGS - H	471.88	471.88	7,180.00	6.57	6,708.12	14,360.00	13,888.12
01-30-630-235	NICOR GAS (7760 QUINCY)	130.63	337.39	3,000.00	11.25	2,662.61	6,000.00	5,662.61
01-30-630-238	FIAT	0.00	3,500.00	3,500.00	100.00	0.00	7,000.00	3,500.00
01-30-630-241	FEES - FIELD COURT ATTORNE	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00	24,000.00
01-30-630-242	DUPAGE CHILDREN'S CENTER	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-30-630-245	FIRING RANGE	0.00	331.58	2,500.00	13.26	2,168.42	5,000.00	4,668.42
01-30-630-246	RED LIGHT - ADJUDICATOR	1,232.00	1,232.00	6,000.00	20.53	4,768.00	12,000.00	10,768.00
01-30-630-247	RED LIGHT - CAMERA FEES	22,475.00	22,475.00	275,000.00	8.17	252,525.00	550,000.00	527,525.00
01-30-630-248	RED LIGHT - COM ED	119.15	362.60	2,000.00	18.13	1,637.40	4,000.00	3,637.40
01-30-630-249	RED LIGHT - MISC FEE	2,322.00	2,352.00	22,000.00	10.69	19,648.00	44,000.00	41,648.00
01-30-630-250	SANITARY (7760 QUINCY)	0.00	0.00	400.00	0.00	400.00	800.00	800.00
01-30-630-301	OFFICE SUPPLIES	0.00	763.83	7,000.00	10.91	6,236.17	14,000.00	13,236.17
01-30-630-302	PRINTING & PUBLISHING	0.00	178.00	5,450.00	3.27	5,272.00	10,900.00	10,722.00
01-30-630-303	FUEL/MILEAGE/WASH	373.06	9,190.64	65,000.00	14.14	55,809.36	130,000.00	120,809.36
01-30-630-304	SCHOOLS/CONFERENCES/TRA	600.00	8,912.73	30,207.00	29.51	21,294.27	60,414.00	51,501.27
01-30-630-305	TUITION REIMBURSEMENT	0.00	2,250.00	6,000.00	37.50	3,750.00	12,000.00	9,750.00
01-30-630-306	REIMB PERSONNEL EXPENSES	63.63	63.63	0.00	100.00	(63.63)	0.00	(63.63)
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	145.00	3,233.27	17,485.00	18.49	14,251.73	34,970.00	31,736.73
01-30-630-308	CADET PROGRAM	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
01-30-630-311	POSTAGE & METER RENT	485.29	962.26	4,000.00	24.06	3,037.74	8,000.00	7,037.74
01-30-630-315	COPY SERVICE	111.09	471.97	4,000.00	11.80	3,528.03	8,000.00	7,528.03
01-30-630-331	OPERATING SUPPLIES	876.58	982.12	3,500.00	28.06	2,517.88	7,000.00	6,017.88
01-30-630-345	UNIFORMS	506.88	1,432.97	33,000.00	4.34	31,567.03	66,000.00	64,567.03
01-30-630-346	AMMUNITION	0.00	0.00	13,000.00	0.00	13,000.00	26,000.00	26,000.00
01-30-630-401	OPERATING EQUIPMENT	389.37	6,004.35	26,900.00	22.32	20,895.65	53,800.00	47,795.65
01-30-630-402	BODY CAMERAS	0.00	0.00	33,846.00	0.00	33,846.00	67,692.00	67,692.00
01-30-630-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	7,500.00	0.00	7,500.00	15,000.00	15,000.00
01-30-630-409	MAINTENANCE - VEHICLES	4,706.14	6,285.99	70,000.00	8.98	63,714.01	140,000.00	133,714.01
01-30-630-421	MAINTENANCE - RADIO EQUIPM	0.00	0.00	12,250.00	0.00	12,250.00	24,500.00	24,500.00

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Fund 01 - GENERAL FUND								
ADMINISTRATION		345,794.25	1,022,216.97	4,767,385.00	21.44	3,745,168.03	9,534,770.00	8,512,553.03
DATA PROCESSING								
01-30-640-212	EDP EQUIPMENT/SOFTWARE	0.00	2,038.80	22,000.00	9.27	19,961.20	44,000.00	41,961.20
01-30-640-225	INTERNET/WEBSITE HOSTING	0.00	0.00	1,968.00	0.00	1,968.00	3,936.00	3,936.00
01-30-640-263	EDP LICENSES	1,563.00	12,526.60	28,315.00	44.24	15,788.40	56,630.00	44,103.40
01-30-640-267	DOCUMENT STORAGE/SCANNI	0.00	0.00	18,000.00	0.00	18,000.00	36,000.00	36,000.00
DATA PROCESSING		1,563.00	14,565.40	70,283.00	20.72	55,717.60	140,566.00	126,000.60
RISK MANAGEMENT								
01-30-645-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
RISK MANAGEMENT		0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
CONSTRUCTION								
01-30-635-288	BUILDING CONSTR & REMODEL	526.20	526.20	112,900.00	0.47	112,373.80	225,800.00	225,273.80
CONSTRUCTION		526.20	526.20	112,900.00	0.47	112,373.80	225,800.00	225,273.80
PATROL								
01-30-650-268	ANIMAL CONTROL	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
01-30-650-340	K-9 PROGRAM	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-650-343	JAIL SUPPLIES	29.59	29.59	1,500.00	1.97	1,470.41	3,000.00	2,970.41
01-30-650-348	DRUG FORFEITURE EXP - STAT	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-30-650-349	DRUG FORFEITURE EXP - FEDE	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
PATROL		29.59	29.59	14,300.00	0.21	14,270.41	28,600.00	28,570.41
INVESTIGATIVE								
01-30-655-339	CONFIDENTIAL FUNDS	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
INVESTIGATIVE		0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
TRAFFIC SAFETY								
01-30-660-105	PART TIME - CROSSING GUARD	0.00	679.90	5,300.00	12.83	4,620.10	10,600.00	9,920.10
TRAFFIC SAFETY		0.00	679.90	5,300.00	12.83	4,620.10	10,600.00	9,920.10
ESDA COORDINATOR								
01-30-665-263	SIREN MAINTENANCE	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ESDA COORDINATOR		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
CRIME PREVENTION								
01-30-670-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-670-331	COMMODITIES	109.89	109.89	5,000.00	2.20	4,890.11	10,000.00	9,890.11
CRIME PREVENTION		109.89	109.89	6,000.00	1.83	5,890.11	12,000.00	11,890.11
TELECOMMUNICATIONS								
01-30-675-235	RADIO DISPATCHING	69,081.48	138,162.96	308,058.00	44.85	169,895.04	616,116.00	477,953.04
TELECOMMUNICATIONS		69,081.48	138,162.96	308,058.00	44.85	169,895.04	616,116.00	477,953.04

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROPRIATION AVAIL.
Fund 01 - GENERAL FUND								
Total Dept 30 - POLICE DEPARTMENT		417,104.41	1,251,055.73	5,478,699.00	22.83	4,227,643.27	10,957,398.00	9,706,342.27
Dept 35 - PUBLIC WORKS DEPARTMENT								
CAPITAL IMPROVEMENTS								
01-35-765-625	VEHICLES - NEW & OTHER	0.00	0.00	56,196.00	0.00	56,196.00	112,392.00	112,392.00
01-35-765-640	VILLAGE ENTRY SIGNS	0.00	0.00	66,667.00	0.00	66,667.00	133,334.00	133,334.00
01-35-765-685	STREET IMPROVEMENTS	0.00	264.12	85,000.00	0.31	84,735.88	170,000.00	169,735.88
CAPITAL IMPROVEMENTS		0.00	264.12	207,863.00	0.13	207,598.88	415,726.00	415,461.88
ADMINISTRATION								
01-35-400-147	MEDICARE	225.64	704.77	4,322.00	16.31	3,617.23	8,644.00	7,939.23
01-35-400-151	IMRF	1,834.59	5,820.43	33,766.00	17.24	27,945.57	67,532.00	61,711.57
01-35-400-161	SOCIAL SECURITY	964.61	2,942.53	17,062.00	17.25	14,119.47	34,124.00	31,181.47
01-35-400-171	SUI - UNEMPLOYMENT	5.39	11.95	186.00	6.42	174.05	372.00	360.05
01-35-710-101	SALARIES - PERMANENT EMPL	35,174.87	62,489.41	251,109.00	24.89	188,619.59	502,218.00	439,728.59
01-35-710-102	OVERTIME	611.47	1,957.41	22,500.00	8.70	20,542.59	45,000.00	43,042.59
01-35-710-103	PART TIME - LABOR	1,134.13	2,516.35	25,000.00	10.07	22,483.65	50,000.00	47,483.65
01-35-710-126	SALARIES - CLERICAL	1,974.47	5,904.30	25,666.00	23.00	19,761.70	51,332.00	45,427.70
01-35-710-141	HEALTH/DENTAL/LIFE INSURAN	4,752.22	12,490.41	45,538.00	27.43	33,047.59	91,076.00	78,585.59
01-35-710-201	TELEPHONES	0.00	393.17	2,500.00	15.73	2,106.83	5,000.00	4,606.83
01-35-710-301	OFFICE SUPPLIES	0.00	89.60	500.00	17.92	410.40	1,000.00	910.40
01-35-710-302	PRINTING & PUBLISHING	0.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00
01-35-710-303	FUEL/MILEAGE/WASH	0.00	1,537.12	9,150.00	16.80	7,612.88	18,300.00	16,762.88
01-35-710-304	SCHOOLS/CONFERENCES/TRA	0.00	35.00	2,000.00	1.75	1,965.00	4,000.00	3,965.00
01-35-710-306	REIMB PERSONNEL EXPENSES	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	310.00	0.00	310.00	620.00	620.00
01-35-710-311	POSTAGE & METER RENT	36.53	36.53	1,500.00	2.44	1,463.47	3,000.00	2,963.47
01-35-710-345	UNIFORMS	140.88	461.76	5,000.00	9.24	4,538.24	10,000.00	9,538.24
01-35-710-401	OPERATING SUPPLIES & EQUIP	3,249.43	3,249.43	3,500.00	92.84	250.57	7,000.00	3,750.57
01-35-710-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION		50,104.23	100,640.17	451,009.00	22.31	350,368.83	902,018.00	801,377.83
DATA PROCESSING								
01-35-715-212	EDP EQUIPMENT/SOFTWARE	0.00	0.00	3,700.00	0.00	3,700.00	7,400.00	7,400.00
01-35-715-225	INTERNET/WEBSITE HOSTING	106.85	223.70	1,370.00	16.33	1,146.30	2,740.00	2,516.30
DATA PROCESSING		106.85	223.70	5,070.00	4.41	4,846.30	10,140.00	9,916.30
ENGINEERING								
01-35-720-245	FEES - ENGINEERING	0.00	7,409.46	55,000.00	13.47	47,590.54	110,000.00	102,590.54
01-35-720-254	PLAN REVIEW - ENGINEER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
ENGINEERING		0.00	7,409.46	56,500.00	13.11	49,090.54	113,000.00	105,590.54
BUILDINGS								
01-35-725-413	MAINTENANCE - GARAGE	471.87	471.87	5,000.00	9.44	4,528.13	10,000.00	9,528.13
01-35-725-414	MAINTENANCE - SALT BINS	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-35-725-415	NICOR GAS	42.97	121.56	3,000.00	4.05	2,878.44	6,000.00	5,878.44

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Fund 01 - GENERAL FUND								
01-35-725-417	SANITARY USER CHARGE	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-35-725-418	MAINTENANCE - PW BUILDING	499.32	2,124.00	10,000.00	21.24	7,876.00	20,000.00	17,876.00
BUILDINGS		1,014.16	2,717.43	19,700.00	13.79	16,982.57	39,400.00	36,682.57
EQUIPMENT REPAIR								
01-35-735-409	MAINTENANCE - VEHICLES	1,025.05	4,649.80	20,000.00	23.25	15,350.20	40,000.00	35,350.20
01-35-735-411	MAINTENANCE - EQUIPMENT	0.00	47.40	500.00	9.48	452.60	1,000.00	952.60
EQUIPMENT REPAIR		1,025.05	4,697.20	20,500.00	22.91	15,802.80	41,000.00	36,302.80
SNOW REMOVAL								
01-35-740-287	SNOW REMOVAL CONTRACT	0.00	0.00	60,000.00	0.00	60,000.00	120,000.00	120,000.00
01-35-740-306	REIMB PERSONAL EXPENSES	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	0.00	1,366.04	4,000.00	34.15	2,633.96	8,000.00	6,633.96
SNOW REMOVAL		0.00	1,366.04	64,200.00	2.13	62,833.96	128,400.00	127,033.96
STREET LIGHTING								
01-35-745-207	ENERGY - STREET LIGHTS	306.95	3,282.10	21,000.00	15.63	17,717.90	42,000.00	38,717.90
01-35-745-223	MAINTENANCE - STREET LIGHT	0.00	0.00	17,000.00	0.00	17,000.00	34,000.00	34,000.00
01-35-745-224	MAINTENANCE - TRAFFIC SIGN	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
STREET LIGHTING		306.95	3,282.10	42,000.00	7.81	38,717.90	84,000.00	80,717.90
STORM WATER IMPROVEMENTS								
01-35-750-286	JET CLEANING CULVERT	0.00	5,575.50	15,000.00	37.17	9,424.50	30,000.00	24,424.50
01-35-750-289	SITE IMPROVEMENTS	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00	30,000.00
01-35-750-290	EQUIPMENT RENTAL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-35-750-328	STREET & ROW MAINTENANCE	3,300.80	22,484.16	160,000.00	14.05	137,515.84	320,000.00	297,515.84
01-35-750-329	MAINTENANCE - SAW MILL CRE	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-35-750-338	TREE MAINTENANCE	35,100.00	46,748.20	85,000.00	55.00	38,251.80	170,000.00	123,251.80
01-35-750-381	STORM WATER IMPROVEMENT	57.60	8,432.30	50,000.00	16.86	41,567.70	100,000.00	91,567.70
STORM WATER IMPROVEMENTS		38,458.40	83,240.16	329,500.00	25.26	246,259.84	659,000.00	575,759.84
STREET MAINTENANCE								
01-35-755-279	TRASH REMOVAL	0.00	0.00	1,250.00	0.00	1,250.00	2,500.00	2,500.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	0.00	12,729.66	52,500.00	24.25	39,770.34	105,000.00	92,270.34
01-35-755-282	REIMB EXP - CONSTRUCTION	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-35-755-283	REIMB EXP - OTHER	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
01-35-755-290	EQUIPMENT RENTAL	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
01-35-755-331	OPERATING SUPPLIES	0.00	0.00	55,000.00	0.00	55,000.00	110,000.00	110,000.00
01-35-755-332	J.U.L.I.E.	1,112.77	1,112.77	2,400.00	46.37	1,287.23	4,800.00	3,687.23
01-35-755-333	ROAD SIGNS	0.00	1,181.15	10,000.00	11.81	8,818.85	20,000.00	18,818.85
01-35-755-401	OPERATING EQUIPMENT	0.00	26.40	1,500.00	1.76	1,473.60	3,000.00	2,973.60
STREET MAINTENANCE		1,112.77	15,049.98	168,900.00	8.91	153,850.02	337,800.00	322,750.02
NUISANCE CONTROL								
01-35-760-258	PEST CONTROL	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00

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Fund 01 - GENERAL FUND								
01-35-760-259	MOSQUITO ABATEMENT	10,220.00	29,780.00	35,300.00	84.36	5,520.00	70,600.00	40,820.00
NUISANCE CONTROL		10,220.00	29,780.00	36,300.00	82.04	6,520.00	72,600.00	42,820.00
Total Dept 35 - PUBLIC WORKS DEPARTMENT		102,348.41	248,670.36	1,401,542.00	17.74	1,152,871.64	2,803,084.00	2,554,413.64
Dept 40 - BUILDING & ZONING DEPARTMENT								
GENERAL MANAGEMENT								
01-40-400-147	MEDICARE	146.89	406.01	1,921.00	21.14	1,514.99	3,842.00	3,435.99
01-40-400-151	IMRF	1,267.97	3,509.49	16,200.00	21.66	12,690.51	32,400.00	28,890.51
01-40-400-161	SOCIAL SECURITY	628.08	1,735.96	8,213.00	21.14	6,477.04	16,426.00	14,690.04
01-40-400-171	SUI - UNEMPLOYMENT	0.00	0.00	93.00	0.00	93.00	186.00	186.00
01-40-810-101	SALARIES - PERMANENT EMPL	7,280.64	21,384.68	94,648.00	22.59	73,263.32	189,296.00	167,911.32
01-40-810-102	OVERTIME	1,507.51	2,249.02	15,000.00	14.99	12,750.98	30,000.00	27,750.98
01-40-810-126	SALARIES - CLERICAL	1,579.57	5,062.13	22,816.00	22.19	17,753.87	45,632.00	40,569.87
01-40-810-141	HEALTH/DENTAL/LIFE INSURAN	1,792.43	5,701.92	23,521.00	24.24	17,819.08	47,042.00	41,340.08
01-40-810-201	TELEPHONES	(143.94)	(1.28)	500.00	(0.26)	501.28	1,000.00	1,001.28
01-40-810-301	OFFICE SUPPLIES	0.00	25.70	1,000.00	2.57	974.30	2,000.00	1,974.30
01-40-810-302	PRINTING & PUBLISHING	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-40-810-303	FUELMILEAGE/WASH	0.00	158.49	1,000.00	15.85	841.51	2,000.00	1,841.51
01-40-810-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-40-810-311	POSTAGE & METER RENT	46.66	46.66	350.00	13.33	303.34	700.00	653.34
01-40-810-315	COPY SERVICE	175.95	558.89	2,640.00	21.17	2,081.11	5,280.00	4,721.11
01-40-810-345	UNIFORMS	0.00	0.00	350.00	0.00	350.00	700.00	700.00
01-40-810-401	OPERATING EQUIPMENT	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-40-810-409	MAINTENANCE - VEHICLES	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
GENERAL MANAGEMENT		14,281.76	40,837.67	193,252.00	21.13	152,414.33	386,504.00	345,666.33
DATA PROCESSING								
01-40-815-267	DOCUMENT STORAGE/SCANNI	0.00	0.00	9,800.00	0.00	9,800.00	19,600.00	19,600.00
01-40-815-305	EDP PERSONNEL TRAINING	0.00	0.00	2,600.00	0.00	2,600.00	5,200.00	5,200.00
DATA PROCESSING		0.00	0.00	12,400.00	0.00	12,400.00	24,800.00	24,800.00
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-40-820-246	FEES - DRAINAGE ENGINEER	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
01-40-820-247	REIMB EXP - ENGINEERING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-40-820-254	PLAN REVIEW - ENGINEER	0.00	3,312.71	5,000.00	66.25	1,687.29	10,000.00	6,687.29
01-40-820-255	PLAN REVIEW - STRUCTURAL	0.00	1,927.00	5,000.00	38.54	3,073.00	10,000.00	8,073.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	0.00	17,330.60	90,000.00	19.26	72,669.40	180,000.00	162,669.40
01-40-820-259	PLAN REVIEW - DRAINAGE ENGI	0.00	1,125.00	15,000.00	7.50	13,875.00	30,000.00	28,875.00
ENGINEERING		0.00	23,695.31	130,500.00	18.16	106,804.69	261,000.00	237,304.69
INSPECTION								
01-40-830-109	PART TIME - INSPECTOR	0.00	5,418.00	40,000.00	13.55	34,582.00	80,000.00	74,582.00
01-40-830-115	PLUMBING INSPECTION	0.00	750.00	7,500.00	10.00	6,750.00	15,000.00	14,250.00



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Fund 01 - GENERAL FUND								
01-40-830-117	ELEVATOR INSPECTION	0.00	43.00	5,000.00	0.86	4,957.00	10,000.00	9,957.00
01-40-830-119	CODE ENFORCEMENT INSPECT	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
INSPECTION		0.00	6,211.00	56,500.00	10.99	50,289.00	113,000.00	106,789.00
Total Dept 40 - BUILDING & ZONING DEPARTMENT		14,281.76	70,743.98	392,652.00	18.02	321,908.02	785,304.00	714,560.02
TOTAL EXPENDITURES		669,280.35	2,241,782.10	10,549,816.00	21.25	8,308,033.90	21,099,632.00	18,857,849.90

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Fund 02 - WATER FUND								
Dept 50 - WATER DEPARTMENTS								
CAPITAL IMPROVEMENTS								
02-50-440-626	VEHICLES - NEW & OTHER	0.00	0.00	56,196.00	0.00	56,196.00	112,392.00	112,392.00
02-50-440-694	DISTRIBUTION SYSTEM REPLA	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
CAPITAL IMPROVEMENTS								
		0.00	0.00	66,196.00	0.00	66,196.00	132,392.00	132,392.00
ADMINISTRATION								
02-50-400-147	MEDICARE	255.45	757.26	3,968.00	19.08	3,210.74	7,936.00	7,178.74
02-50-400-151	IMRF	2,145.51	6,416.44	32,246.00	19.90	25,829.56	64,492.00	58,075.56
02-50-400-161	SOCIAL SECURITY	1,092.53	3,193.64	16,967.00	18.82	13,773.36	33,934.00	30,740.36
02-50-400-171	SUI - UNEMPLOYMENT	3.38	6.57	186.00	3.53	179.43	372.00	365.43
02-50-401-101	SALARIES - PERMANENT EMPL	34,924.43	60,783.43	221,179.00	27.48	160,395.57	442,358.00	381,574.57
02-50-401-102	OVERTIME	3,404.73	8,538.35	40,000.00	21.35	31,461.65	80,000.00	71,461.65
02-50-401-103	PART TIME - LABOR	714.75	1,384.79	10,000.00	13.85	8,615.21	20,000.00	18,615.21
02-50-401-126	SALARIES - CLERICAL	1,974.33	5,903.86	25,666.00	23.00	19,762.14	51,332.00	45,428.14
02-50-401-141	HEALTH/DENTAL/LIFE INSURAN	4,825.13	12,709.13	46,620.00	27.26	33,910.87	93,240.00	80,530.87
02-50-401-201	PHONE - TELEPHONES	309.70	1,512.76	7,500.00	20.17	5,987.24	15,000.00	13,487.24
02-50-401-239	FEES - VILLAGE ATTORNEY	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-401-301	OFFICE SUPPLIES	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
02-50-401-302	PRINTING & PUBLISHING	0.00	4,583.37	4,000.00	114.58	(583.37)	8,000.00	3,416.63
02-50-401-303	FUEL/MILEAGE/WASH	0.00	1,537.11	8,500.00	18.08	6,962.89	17,000.00	15,462.89
02-50-401-304	SCHOOLS CONFERENCE TRAV	20.30	724.25	1,500.00	48.28	775.75	3,000.00	2,275.75
02-50-401-306	REIMB PERSONNEL EXPENSES	0.00	0.00	150.00	0.00	150.00	300.00	300.00
02-50-401-307	FEES DUES SUBSCRIPTIONS	0.00	34.00	600.00	5.67	566.00	1,200.00	1,166.00
02-50-401-311	POSTAGE & METER RENT	722.09	722.09	6,000.00	12.03	5,277.91	12,000.00	11,277.91
02-50-401-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION								
		50,392.33	108,807.05	427,332.00	25.46	318,524.95	854,664.00	745,856.95
OTHER								
02-50-449-102	INTEREST EXPENSE	0.00	4,703.00	9,406.00	50.00	4,703.00	18,812.00	14,109.00
02-50-449-104	BOND PRINCIPAL EXPENSE	0.00	0.00	10,800.00	0.00	10,800.00	21,600.00	21,600.00
02-50-449-105	INTEREST EXPENSE - IEPA LOA	0.00	7,534.18	14,885.00	50.62	7,350.82	29,770.00	22,235.82
02-50-449-106	PRINCIPAL EXPENSE - IEPA LO	0.00	19,689.92	39,563.00	49.77	19,873.08	79,126.00	59,436.08
OTHER								
		0.00	31,927.10	74,654.00	42.77	42,726.90	149,308.00	117,380.90
DATA PROCESSING								
02-50-417-212	EDP EQUIPMENT/SOFTWARE	0.00	390.00	2,800.00	13.93	2,410.00	5,600.00	5,210.00
02-50-417-263	EDP LICENSES	138.00	706.50	8,000.00	8.83	7,293.50	16,000.00	15,293.50
02-50-417-305	EDP PERSONNEL TRAINING	0.00	0.00	1,300.00	0.00	1,300.00	2,600.00	2,600.00
DATA PROCESSING								
		138.00	1,096.50	12,100.00	9.06	11,003.50	24,200.00	23,103.50
ENGINEERING								
02-50-405-245	FEES - ENGINEERING	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
ENGINEERING								
		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
RISK MANAGEMENT								
02-50-415-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00

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<b>Fund 02 - WATER FUND</b>								
<b>RISK MANAGEMENT</b>								
		0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
<b>TRANSFERS TO OTHER FUNDS</b>								
02-50-410-501	REIMBURSE OVERHEAD GENER	47,972.25	143,916.75	575,667.00	25.00	431,750.25	1,151,334.00	1,007,417.25
02-50-900-109	TRANSFER TO WATER CAPITAL	0.00	0.00	400,000.00	0.00	400,000.00	800,000.00	800,000.00
02-50-900-112	TRANSFER TO DEBT SERVICE -	0.00	4,685.50	47,471.00	9.87	42,785.50	94,942.00	90,256.50
<b>TRANSFERS TO OTHER FUNDS</b>								
		47,972.25	148,602.25	1,023,138.00	14.52	874,535.75	2,046,276.00	1,897,673.75
<b>WATER PRODUCTION</b>								
02-50-420-206	ENERGY - ELECTRIC PUMP	975.62	3,046.74	14,000.00	21.76	10,953.26	28,000.00	24,953.26
02-50-420-294	LANDSCAPING - WELLS 1 & 3	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-420-361	CHEMICALS	47.03	47.03	1,500.00	3.14	1,452.97	3,000.00	2,952.97
02-50-420-362	SAMPLING ANALYSIS	90.00	180.00	5,000.00	3.60	4,820.00	10,000.00	9,820.00
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-491	PUMP INSPECTION REPAIR MAI	0.00	21.94	500.00	4.39	478.06	1,000.00	978.06
02-50-420-575	PURCHASE OF WATER	139,458.20	270,104.59	1,739,500.00	15.53	1,469,395.41	3,479,000.00	3,208,895.41
<b>WATER PRODUCTION</b>								
		140,570.85	273,400.30	1,762,500.00	15.51	1,489,099.70	3,525,000.00	3,251,599.70
<b>WATER STORAGE</b>								
02-50-425-473	WELLHOUSE REPAIRS & MAINT	0.00	2,400.00	1,500.00	160.00	(900.00)	3,000.00	600.00
02-50-425-474	WELLHOUSE REPAIRS & MAIN -	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-425-475	MATERIALS & SUPPLIES- STAN	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
02-50-425-485	REPAIRS & MAINTENANCE-STA	0.00	778.05	5,000.00	15.56	4,221.95	10,000.00	9,221.95
<b>WATER STORAGE</b>								
		0.00	3,178.05	10,000.00	31.78	6,821.95	20,000.00	16,821.95
<b>TRANSPORTATION/DISTRIBUTION</b>								
02-50-430-276	LEAK SURVEYS	842.00	3,247.00	9,000.00	36.08	5,753.00	18,000.00	14,753.00
02-50-430-277	WATER DISTRIBUTION REPAIRS	34,183.41	85,629.39	150,000.00	57.09	64,370.61	300,000.00	214,370.61
02-50-430-299	LANDSCAPING - OTHER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
02-50-430-401	OPERATING EQUIPMENT	3,149.50	3,480.45	3,000.00	116.02	(480.45)	6,000.00	2,519.55
02-50-430-425	J. U. L. I. E. MAINTENANCE & SU	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRI	4,968.00	6,605.55	35,000.00	18.87	28,394.45	70,000.00	63,394.45
<b>TRANSPORTATION/DISTRIBUTION</b>								
		43,142.91	98,962.39	199,000.00	49.73	100,037.61	398,000.00	299,037.61
<b>METERS &amp; BILLING</b>								
02-50-435-278	METERS FLOW TESTING	0.00	0.00	11,746.00	0.00	11,746.00	23,492.00	23,492.00
02-50-435-461	NEW METERING EQUIPMENT	0.00	2,943.01	15,000.00	19.62	12,056.99	30,000.00	27,056.99
02-50-435-462	METER REPLACEMENT	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
02-50-435-463	MAINTENANCE - METER EQUIP	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
<b>METERS &amp; BILLING</b>								
		0.00	2,943.01	30,746.00	9.57	27,802.99	61,492.00	58,548.99
<b>Total Dept 50 - WATER DEPARTMENT</b>								
		282,216.34	668,916.65	3,618,166.00	18.49	2,949,249.35	7,236,332.00	6,567,415.35

## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

ACTIVITY FOR MONTH 07/31/19

2019-20

ORIGINAL

BUDGET

YTD BALANCE

07/31/2019

% BDGT

USED

AVAILABLE

BALANCE

APPROP.

AVAIL.

APPROP.

GL NUMBER DESCRIPTION

Fund 02 - WATER FUND

TOTAL EXPENDITURES

282,216.34

668,916.65

3,618,166.00

18.49

2,949,249.35

7,236,332.00

6,567,415.35

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROPRIATION AVAIL.
Fund 03 - HOTEL/MOTEL TAX FUND								
Dept 53 - HOTEL/MOTEL								
COMMUNITY RELATIONS								
03-53-435-303	WILLOWBROOK MOBILE PHONE	0.00	0.00	1,200.00	0.00	1,200.00	2,400.00	2,400.00
03-53-435-308	GRANT PILOT PROGRAM	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
03-53-435-316	LANDSCAPE BEAUTIFICATION	0.00	2,750.00	10,460.00	26.29	7,710.00	20,920.00	18,170.00
03-53-435-317	ADVERTISING - DCVB	0.00	0.00	25,000.00	0.00	25,000.00	50,000.00	50,000.00
03-53-435-318	ADVERTISING - VILLAGE	0.00	0.00	50,000.00	0.00	50,000.00	100,000.00	100,000.00
03-53-435-319	CHAMBER DIRECTORY	0.00	3,000.00	3,000.00	100.00	0.00	6,000.00	3,000.00
COMMUNITY RELATIONS								
		0.00	5,750.00	94,660.00	6.07	88,910.00	189,320.00	183,570.00
ADMINISTRATION								
03-53-401-307	FEES DUES SUBSCRIPTIONS	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00	24,000.00
03-53-401-311	POSTAGE & METER RENT	0.00	0.00	250.00	0.00	250.00	500.00	500.00
ADMINISTRATION								
		0.00	0.00	12,250.00	0.00	12,250.00	24,500.00	24,500.00
SPECIAL EVENTS								
03-53-436-378	WINE & DINE INTELLIGENTLY	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
03-53-436-379	SPECIAL PROMOTIONAL EVENT	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
SPECIAL EVENTS								
		0.00	0.00	4,500.00	0.00	4,500.00	9,000.00	9,000.00
Total Dept 53 - HOTEL/MOTEL								
		0.00	5,750.00	111,410.00	5.16	105,660.00	222,820.00	217,070.00
TOTAL EXPENDITURES								
		0.00	5,750.00	111,410.00	5.16	105,660.00	222,820.00	217,070.00

## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 04 - MOTOR FUEL TAX FUND							
Dept 56 - MOTOR FUEL TAX							
CAPITAL IMPROVEMENTS							
04-56-430-684	STREET MAINTENANCE CONTR	0.00	0.00	265,448.00	0.00	265,448.00	530,896.00
CAPITAL IMPROVEMENTS		0.00	0.00	265,448.00	0.00	265,448.00	530,896.00
Total Dept 56 - MOTOR FUEL TAX		0.00	0.00	265,448.00	0.00	265,448.00	530,896.00
TOTAL EXPENDITURES							
		0.00	0.00	265,448.00	0.00	265,448.00	530,896.00

## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 06 - SSA ONE BOND & INTEREST FUND								
Dept 60 - SSA BOND								
OTHER								
06-60-550-401	BOND PRINCIPAL EXPENSE	0.00	0.00	170,000.00	0.00	170,000.00	340,000.00	340,000.00
06-60-550-402	BOND INTEREST EXPENSE	0.00	76,232.50	152,465.00	50.00	76,232.50	304,930.00	228,697.50
OTHER		0.00	76,232.50	322,465.00	23.64	246,232.50	644,930.00	568,697.50
Total Dept 60 - SSA BOND		0.00	76,232.50	322,465.00	23.64	246,232.50	644,930.00	568,697.50
TOTAL EXPENDITURES								
		0.00	76,232.50	322,465.00	23.64	246,232.50	644,930.00	568,697.50

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROX.	APPROP. AVAIL.
Fund 07 - POLICE PENSION FUND								
Dept 62								
ADMINISTRATION								
07-62-401-242	LEGAL FEES	0.00	200.00	4,000.00	5.00	3,800.00	8,000.00	7,800.00
07-62-401-251	AUDIT FEES	0.00	0.00	3,413.00	0.00	3,413.00	6,826.00	6,826.00
07-62-401-252	ACTUARY SERVICES	0.00	0.00	4,400.00	0.00	4,400.00	8,800.00	8,800.00
07-62-401-253	FINANCIAL ADVISORY FEES	7,175.00	7,175.00	27,500.00	26.09	20,325.00	55,000.00	47,825.00
07-62-401-254	FIDUCIARY INSURANCE	0.00	0.00	3,175.00	0.00	3,175.00	6,350.00	6,350.00
07-62-401-304	SCHOOLS CONFERENCE TRAV	0.00	0.00	4,210.00	0.00	4,210.00	8,420.00	8,420.00
07-62-401-307	FEES DUES SUBSCRIPTIONS	1,540.00	1,540.00	800.00	192.50	(740.00)	1,600.00	60.00
07-62-401-531	DEPT OF INSURANCE FILING FE	0.00	4,316.18	4,381.00	98.52	64.82	8,762.00	4,445.82
07-62-401-543	EXAMS - PHYSICAL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
ADMINISTRATION		8,715.00	13,231.18	54,379.00	24.33	41,147.82	108,758.00	95,526.82
PENSION BENEFITS								
07-62-401-581	PENSION BENEFITS	110,542.98	323,579.04	1,289,460.00	25.09	965,880.96	2,578,920.00	2,255,340.96
07-62-401-583	NON-DUTY DISABILITY BENEFIT	5,897.52	17,692.56	71,057.00	24.90	53,364.44	142,114.00	124,421.44
07-62-401-584	DUTY DISABILITY BENEFITS	6,007.61	18,022.83	72,091.00	25.00	54,068.17	144,182.00	126,159.17
PENSION BENEFITS		122,448.11	359,294.43	1,432,608.00	25.08	1,073,313.57	2,865,216.00	2,505,921.57
Total Dept 62		131,163.11	372,525.61	1,486,987.00	25.05	1,114,461.39	2,973,974.00	2,601,448.39
TOTAL EXPENDITURES								
		131,163.11	372,525.61	1,486,987.00	25.05	1,114,461.39	2,973,974.00	2,601,448.39



## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND								
Dept 65 - WATER CAPITAL IMPROVEMENTS								
CAPITAL IMPROVEMENTS								
09-65-440-600	WATER SYSTEM IMPROVEMENT	0.00	0.00	60,000.00	0.00	60,000.00	120,000.00	120,000.00
09-65-440-602	MTU REPLACEMENT	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
CAPITAL IMPROVEMENTS		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00
Total Dept 65 - WATER CAPITAL IMPROVEMENTS		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00
TOTAL EXPENDITURES								
		0.00	0.00	61,000.00	0.00	61,000.00	122,000.00	122,000.00

## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

ACTIVITY FOR MONTH 07/31/19

2019-20

ORIGINAL BUDGET

YTD BALANCE 07/31/2019

% BDGT USED

AVAILABLE BALANCE

APPROP.

APPROP. AVAIL.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 11 - DEBT SERVICE FUND								
Dept 70 - DEBT SERVICE FUND								
OTHER								
11-70-550-401	BOND PRINCIPAL EXPENSE	0.00	0.00	214,200.00	0.00	214,200.00	428,400.00	428,400.00
11-70-550-402	BOND INTEREST EXPENSE	0.00	56,072.00	112,144.00	50.00	56,072.00	224,288.00	168,216.00
OTHER		0.00	56,072.00	326,344.00	17.18	270,272.00	652,688.00	596,616.00
Total Dept 70 - DEBT SERVICE FUND		0.00	56,072.00	326,344.00	17.18	270,272.00	652,688.00	596,616.00
TOTAL EXPENDITURES		0.00	56,072.00	326,344.00	17.18	270,272.00	652,688.00	596,616.00

## EXPENDITURE REPORT FOR WILLOWBROOK

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PERIOD ENDING 07/31/2019

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & Dept 75 - LAND ACQUISITION/EXPANSION/RENOVATION CAPITAL IMPROVEMENTS								
14-75-930-412	CRC REMODEL (825 MIDWAY D	20,630.91	24,769.25	120,000.00	20.64	95,230.75	240,000.00	215,230.75
CAPITAL IMPROVEMENTS		20,630.91	24,769.25	120,000.00	20.64	95,230.75	240,000.00	215,230.75
Total Dept 75 - LAND ACQUISITION/EXPANSION/RENOV		20,630.91	24,769.25	120,000.00	20.64	95,230.75	240,000.00	215,230.75
TOTAL EXPENDITURES								
		20,630.91	24,769.25	120,000.00	20.64	95,230.75	240,000.00	215,230.75

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 07/31/2019

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/19	YTD BALANCE 07/31/2019	2019-20 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROP.	APPROP. AVAIL.
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRCT TAX								
Dept 15 - PLANNING & ECONOMIC DEVELOPMENT								
CONTINGENCIES								
15-15-401-242	LEGAL FEES	245.00	245.00	10,000.00	2.45	9,755.00	20,000.00	19,755.00
15-15-510-232	CONSULTANTS-DESIGN & OTHE	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
CONTINGENCIES								
		245.00	245.00	12,500.00	1.96	12,255.00	25,000.00	24,755.00
ADMINISTRATION								
15-15-455-513	SALES TAX REBATE- TOWN CE	0.00	0.00	100,000.00	0.00	100,000.00	200,000.00	200,000.00
15-15-455-514	SALES TAX REBATE - PFM	0.00	0.00	170,000.00	0.00	170,000.00	340,000.00	340,000.00
ADMINISTRATION								
		0.00	0.00	270,000.00	0.00	270,000.00	540,000.00	540,000.00
STREET MAINTENANCE								
15-15-745-224	MAINT TRAFFIC SIGNALS	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
STREET MAINTENANCE								
		0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
Total Dept 15 - PLANNING & ECONOMIC DEVELOPMEN								
		245.00	245.00	286,500.00	0.09	286,255.00	573,000.00	572,755.00
TOTAL EXPENDITURES								
		245.00	245.00	286,500.00	0.09	286,255.00	573,000.00	572,755.00
TOTAL EXPENDITURES - ALL FUNDS								
		1,103,535.71	3,446,293.11	17,148,136.00	20.10	13,701,842.89	34,296,272.00	30,849,978.89

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

Receive Plan Commission Recommendation – Public Hearing Case 19-07: Holmes Elementary School Addition – Maercker School District, 5800 South Holmes Avenue, Clarendon Hills, Illinois. Consideration of a petition for approval of an amendment to an existing special use permit, including certain variations from Title 9 of the Village Code to allow a trash enclosure and associated improvements in the R-1 Zoning District.

AGENDA NO. 5e

AGENDA DATE:  
08/12/19

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE:

YES ☐

NO ☐

N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Holmes Elementary School was originally approved and constructed in DuPage County in 1961 and the first building addition was completed in 1969. In association with a second building addition, the subject property was annexed to the Village of Willowbrook in 2002. A Special Use Permit was granted to allow a school on the subject property, per Section 9-5A-2 of the Village code, and approved variations related to the second building addition. In 2016 a Special Use Amendment was granted for new modular classrooms to be used for school children of three (3) to five (5) years of age to meet the requirements of the state mandated Individualized Education Plan (IEP) program. At that time the School District was investigating permanent options for the location of the early childhood program; including, but not limited to, construction of a new facility. Finally, in 2018 a Special Use Amendment was granted for the construction of a two-story, 32,000 square foot addition to the existing school building and improvements to the bus drop area and reworking of the play area and landscaping under Ordinance No. 18-O-26.

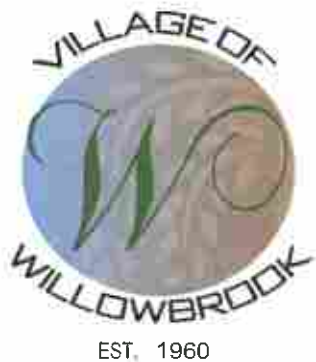
### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Maercker School District 60 is requesting approval of an amendment to an existing special use in the R-1 zoning district including certain variations to allow for the installation of a 280 square foot trash enclosure adjacent to the two-story addition (currently under construction) at Holmes Elementary School, located at 5800 South Holmes Avenue, Clarendon Hills. Prior to the construction of the two-story addition, the trash bins were located near the southwest entrance of the existing school, within a caged fence area. On days of trash pickup, which occur twice a week, these bins were wheeled off to the south end of the property on 58<sup>th</sup> Place, as close to the sidewalk as possible, for access to the trash trucks. The existing bins were completely open to the street and visible to the neighborhood on the days when trash was picked up. During on-going construction, the trash bins are currently located along the southern portion of the school building, unenclosed, and completely visible to the residential properties on 58<sup>th</sup> Place. The proposed trash enclosure will be located just south of the existing playground, adjacent to the bus drop off and easily accessible to trash trucks. The proposed enclosure will require some relief from the Location and Screening of Refuse Disposal Areas under Section 9-12-11 to allow the open side of said enclosure to be oriented so that it faces towards an abutting property or street.

The school district worked through numerous options with the primary focus on the safety of the students and minimizing the impact on the neighborhood.

The Plan Commission discussed the School District's petition at the August 7, 2019 regular meeting of the Plan Commission and voted a unanimous vote of 6-0 of the members present to forward a positive recommendation to the Village Board. Their motion included seven (7) conditions of approval.

**ACTION PROPOSED:** Receive Plan Commission Recommendation.



# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

## MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor  
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: August 12, 2019

SUBJECT: **Zoning Hearing Case 19-07: Holmes Elementary School Trash Enclosure** – Maercker School District, 5800 South Holmes Avenue, Clarendon Hills, Illinois. Consideration of a petition for approval of an amendment to an existing special use permit, including certain variations from Title 9 of the Village Code to allow a trash enclosure and associated improvements in the R 1 Zoning District.

At the regular meeting of the Plan Commission held on August 7, 2019 the above referenced application was discussed and the following motion was made:

**MOTION:** Made by Soukup seconded by Ruffalo that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the staff report prepared for the August 7, 2019 Plan Commission meeting for PC 19-07, and recommend approval of an amendment to the existing special use to allow variations from Section 9-12-11(A)5 and Section 9-12-11(B)2(e) to permit the open side of said enclosure to be oriented so that it faces towards an abutting property or street, subject to the following conditions listed in the staff report for the August 7, 2019 Plan Commission meeting for PC 19-07:

1. The proposed trash enclosure shall comply with the existing 27' exterior side yard setback.
2. The partial architectural elevation shall be revised to include the full, colored elevation of the enclosure. The revised elevation shall specify the materials and colors of the trash enclosure. The trash enclosure shall match the materials and colors of the existing school and addition.
3. The composite landscape plan shall be revised to replace the two deciduous trees on both sides of the trash enclosure with a row of slender evergreen trees on both sides of the trash enclosure for improved year-round screening and decreased visibility of the enclosure from the residential properties on 58th Place. The landscape plan shall include the species name and quantity of the proposed trees.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a Site Development Permit by the Village of Willowbrook.
5. The enclosure shall be used strictly for the confinement of refuse and recycling and shall not be used for the outside storage of any other materials or equipment.
6. The doors of the trash enclosure shall remain closed and locked at all times except when the refuse bins are unloaded and loaded.
7. The amendment to the special use shall apply only to the trash enclosure, proposed landscaping surrounding the trash enclosure, and the associated paving only. No other improvements shown on the plans shall be approved as part of this review.

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

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Umberto Davi

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Gayle Neal

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Brian Pabst

### Chief of Police

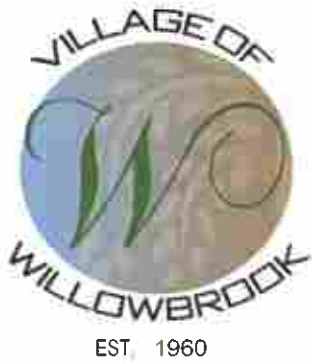
Robert Schaller

### Director of Finance

Carrie Dittman



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# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

## ROLL CALL

AYES: Chairman Kopp, Vice Chairman Wagner, Commissioners Kaucky, Ruffolo, Walec, and Soukup,

NAYS: None

ABSENT: Commissioner Remkus.

## MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:nz

### **Mayor**

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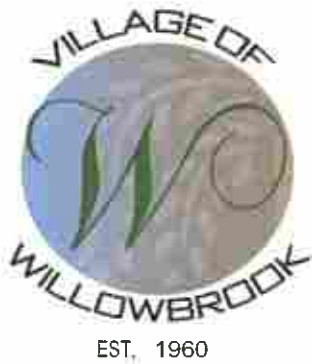
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## FINDINGS OF FACT

### 9-14-4(B): Standards for Special Use

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

**Finding:** The establishment is an existing school facility in which the operation will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The enclosure helps screen the sight of these garbage bins from the neighboring residence and creates a landscaped buffer between those elements and the street.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

**Finding:** The project shall create a better visual barrier between the neighboring properties and the school's existing dumpsters. Current conditions leave the dumpsters out in the open so this would create a better environment for the neighboring properties. The enclosure abides by zoning regulations in having three walls constructed of masonry, and is 6'-0" tall. The masonry matches the existing building to give the same aesthetic of the building. Landscape plantings shall also be provided on either side of the enclosure to abide by zoning regulations as well.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

**Finding:** The establishment of the special use shall not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Pick-up times shall be exactly as they were before so there will be no change in operation as has been established with this existing site.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.**

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EST. 1960

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**Finding:** All engineering has been designed to create code compliant utilities, access roads, drainage and all ancillary public works requirements as exhibited in the attached plans.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Finding:** The project is designed to simplify staff operations and pick-up operations for all trash removal.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Finding:** The special use shall in all other respects conform to the applicable regulations of the district in which it is located. As mentioned in the opening paragraph the new refuse enclosure complies by all the stipulations within the zoning ordinance, and is located at the approved variation setback requirements that were established in the previous year's request.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

**Finding:** More than one year has elapsed since any denial by the Village Board of any prior application for a special use permit has been made as part of this site.

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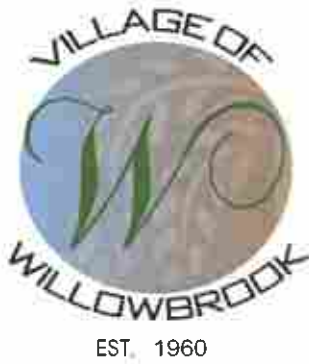
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## FINDINGS OF FACT

### 9-14-4(E): Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

**(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.**

**Finding:** The property in question wouldn't be able to yield a safe and reasonable return for the community in which it serves if the trash bins were left out in the open on the playground. A major priority is the safety and security of the children within the school. Keeping the refuse enclosure far enough away, and with the access doors facing away from the playground, this minimizes any students from trying to access the refuse enclosure. It also keeps lines of sight for all play areas from hardscape, play equipment, and open fields to allow for proper supervision and threat detection for teachers and staff.

**(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.**

**Finding:** The proposed variation will not merely serve as a convenience to the applicant but will alleviate a safety concern as listed above. It will also better serve the community by shielding the open trash bins from the street and neighboring homes.

**(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.**

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises. It is a hardship established by the site limitations of the school location which has heavy grade changes, an unusable side yard, and is located on a corner lot.

**(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**

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**Finding:** The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. In fact, it will remedy an existing condition that is less desirable, and the aesthetics shall match the rest of the facility.

**(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.**

**Finding:** The proposed variation will not impair an adequate supply of light and air to the adjacent property. It shall only be 6'-0" and will maintain the existing conditions for quantity of refuse storage that has been used by the school district for many years.

**(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)**

**Finding:** The proposed variation will not alter the essential character of the locality. The refuse enclosure is designed to match the vocabulary of the site in material.

**(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed variation is in harmony with the spirit and intent of Title 9 of this Code. All of the above comments depict the harmony and intent of Title 9 of this Code.



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**Village of Willowbrook**  
Staff Report to the Village Board

<b>Village Board:</b>	August 12, 2019	
<b>Receive</b>		
<b>Public Hearing Date:</b>	August 7, 2019	
<b>Prepared By:</b>	Ann Choi, Planning Consultant	
<b>Case Title:</b>	<b>19-07: Holmes Elementary School Trash Enclosure</b> , 5800 South Holmes Avenue, Clarendon Hills, Illinois 60514	
<b>Petitioner:</b>	Maercker School District 60, 1 South Cass Avenue, Suite 202, Westmont, IL	
<b>Action Requested:</b>	Consideration of a petition for approval of an amendment to an existing special use permit, including certain variations from Title 9 of the Village Code to allow a trash enclosure and associated improvements in the R-1 Zoning District.	
<b>Location:</b>	Northwest corner of 58 <sup>th</sup> Place and Holmes Avenue, south of Christian Church of Clarendon Hills	
<b>Existing Zoning:</b>	R-1 Single Family Residence District	
<b>Existing Land Use:</b>	Elementary School	
<b>Property Size:</b>	4.13 acres	
<b>Surrounding Land Use:</b>	<b>Use</b>	<b>Zoning</b>
	North Christian Church of Clarendon Hills	Village of Clarendon Hills
	South 58 <sup>th</sup> Plaza	58 <sup>th</sup> Plaza
	East Holmes Avenue	Holmes Avenue
	West Single Family Residential	Unincorporated
<b>Documents Attached:</b>	<ol style="list-style-type: none"><li>1. Findings of Fact, Special Use</li><li>2. Findings of Fact, Variations</li><li>3. Legal Description of Subject Property</li><li>4. Land Title Survey, prepared by Sean T. Krisch, dated 6/15/2018</li><li>5. Site Plan, prepared by CAGE Civil Engineering, dated 7/10/19</li><li>6. Grading Plan, prepared by ARCON, dated 7/10/19</li><li>7. Composite Architectural and Landscape Drawing, prepared by ARCON, dated 5/8/19</li><li>8. Village Engineer's Review Letter, prepared by CBBEL, dated 7/22/19</li><li>9. Special Use and Variations Response Letter, prepared by ARCON, dated 7/15/19</li></ol>	

**Necessary Action by Village Board:** Receive Plan Commission Recommendation.





## CONTEXT

### Site Description

The property is located at the northwest corner of Holmes Avenue and 58th Place in Willowbrook. Although the property has a Clarendon Hills address, it is incorporated in the Village of Willowbrook. The subject property is bordered by Christian Church of Clarendon Hills to the north (incorporated to Clarendon Hills), unincorporated single family residential to the west, 58th Place to the south, and Holmes Avenue to the east. Land uses across Holmes Avenue and 58th Place include a combination of incorporated and unincorporated single-family residential homes (as shown in Exhibit 2).

**Exhibit 1: Location Map**



The site is a total of 4.13 acres and contains an existing +/- 85,882 sq. ft. building commonly known as Holmes Elementary School, including a 32,000 sq.ft., two-story addition that is currently being constructed. The building is used solely for school instruction for children in grades pre-kindergarten through second grade. The property has a lot depth of +/- 603 feet, with +/- 264 feet of frontage along Holmes Avenue and +/- 603 feet of frontage along 58th Place. The main entrance to the building and a school drop-off area is located on the east side of the building off of Holmes Avenue.

**Exhibit 2: Zoning Map**





## INTRODUCTION

Maercker School District 60 has filed an application requesting approval of an amendment to an existing special use for variations from Title 9 of the Village Code to allow the installation of a 28-foot by 10-foot freestanding refuse disposal enclosure and associated improvements at Holmes Elementary School, located at 5800 South Holmes Avenue, Clarendon Hills ("subject property"), together with the following relief:

1. A variation from Section 9-12-11(A)5 to permit the open side of said enclosure to be oriented so that it faces towards an abutting property or street.
2. A variation from Section 9-12-11(B)2(e) to permit the open side of said enclosure to be oriented so that it faces towards an abutting property or street.

The application is subject to review by the Plan Commission regarding the special use amendment, including the zoning relief described above. A mailed notice has been sent to property owners within 250 feet in compliance with Section 9-15-3 of the Zoning Ordinance. The public hearing was properly noticed for the special use and variation request in the July 22, 2019 edition of *The Chicago Sun Times* newspaper.

## OVERVIEW

### Trash Pick up and Operations

Prior to the two-story addition, the trash bins were located near the southwest entrance of the existing school. The school has pick-ups twice a week for all trash/refuge. On a typical day, the bins sat behind a caged fence area adjacent to the southwest entrance of the building. Maintenance staff would be the only employees with access. On days of pick-up, these bins would be wheeled off to the south end of the property on 58<sup>th</sup> Place, as close to the sidewalk as possible, for access to the dumpster truck. The site plan below highlights the areas where the trash bins were located on a daily basis, and illustrates where they were wheeled out to on days of trash pick-up.

**Exhibit 3: Site Plan (Prior to Two-Story Addition)**







**Exhibit 4:** Site Photos (Prior to Construction of the Two-Story Addition)



Prior to the addition, the existing refuse bins were completely open to the street and visible to the neighborhood on the days when trash was picked up, as illustrated in the images above. Currently, the trash bins are now located along the southern portion of the school building, unenclosed, and completely visible to the residential properties on Holmes Avenue, during construction of the two-story addition, as depicted in the image below.

**Exhibit 5:** Site Photos (During Construction of Two-Story Addition)

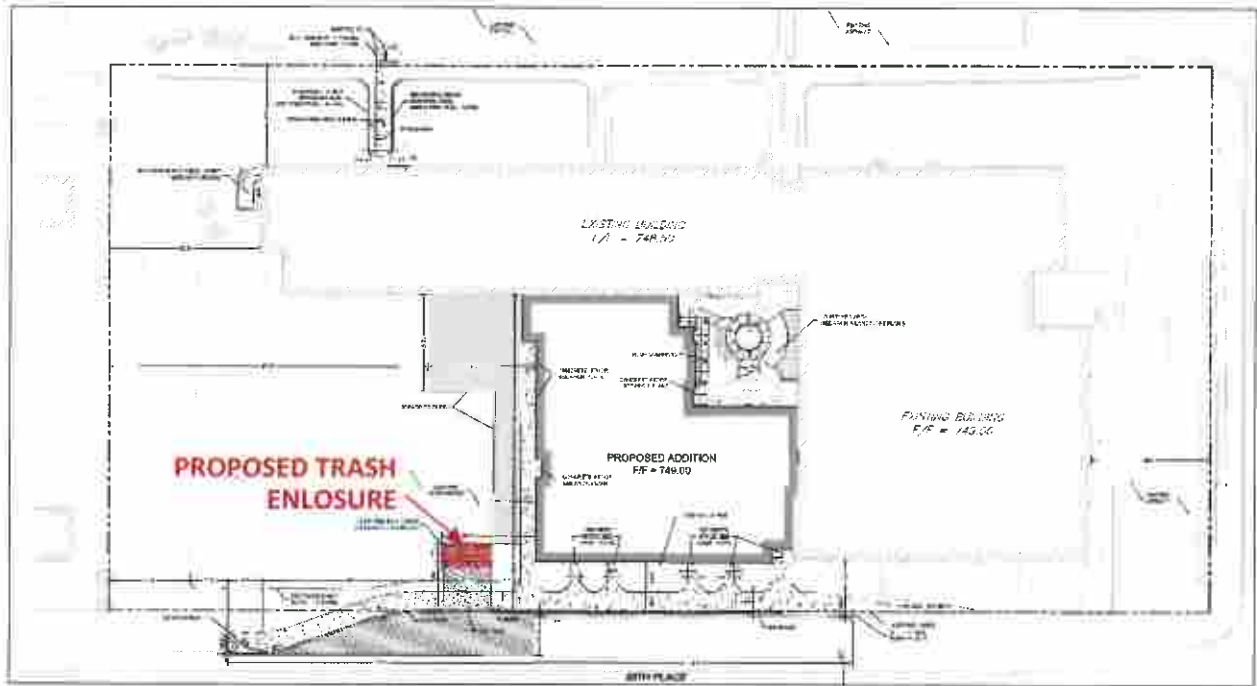




### Development Proposal

Maercker School District proposes to locate a fixed trash enclosure just south of the existing playground, adjacent to the bus drop off and easily accessible to trash trucks. The enclosure will only be used for the confinement of refuse and recycling containers and will be located on an impervious surface (concrete).

**Exhibit 6: Proposed Site Plan**



The district worked through numerous options with the primary focus on the safety of the students and minimizing the impact on the neighborhood. The previous enclosure appears to have been constructed of chain link fencing and was completely open to the street and neighborhood. The proposed enclosure provides more screening for the refuse, while still allowing for proper supervision of all the students on site in the play areas. The enclosure will be constructed of masonry on all three sides with three sets of doors facing 58<sup>th</sup> Place. Materials and colors, although not specified in the architectural drawing, appear to match the existing school and addition.

**Exhibit 7: Rendering**







### Property History & Special Use

Holmes Elementary School was originally approved and constructed in DuPage County in 1961 and the first building addition was completed in 1969. In association with a second building addition, the subject property was annexed to the Village of Willowbrook in 2002. A Special Use Permit was granted to allow a school on the subject property, per Section 9-5A-2 of the Village code, and approved variations related to the second building addition.

#### Timeline:

- 1961 - Approval through DuPage County and Initial Construction
- 1969 - First Building Addition
- 2002 - Annexation to the Village of Willowbrook (02-R-25, 02-O-05)
  - Special Use Approval (02-O-06)
  - Plat of Easement (02-R-26)
  - Second Building Addition
- 2016 - Special Use Amendment for Modular Classrooms (16-O-33)
- 2018 - Special Use Amendment for a two-story, 32,000 square foot addition to the existing school building and improvements to the bus drop area and reworking of the play area and landscaping (18-O-26)

### Modular Classrooms

In 2016 the Maercker School District applied for and was granted approval of new modular classrooms to be used for school children of three (3) to five (5) years of age to meet the requirements of the state mandated Individualized Education Plan (IEP) program. At that time the School District was investigating permanent options for the location of the early childhood program; including, but not limited to, construction of a new facility.

**Exhibit 8: Property/Development History**

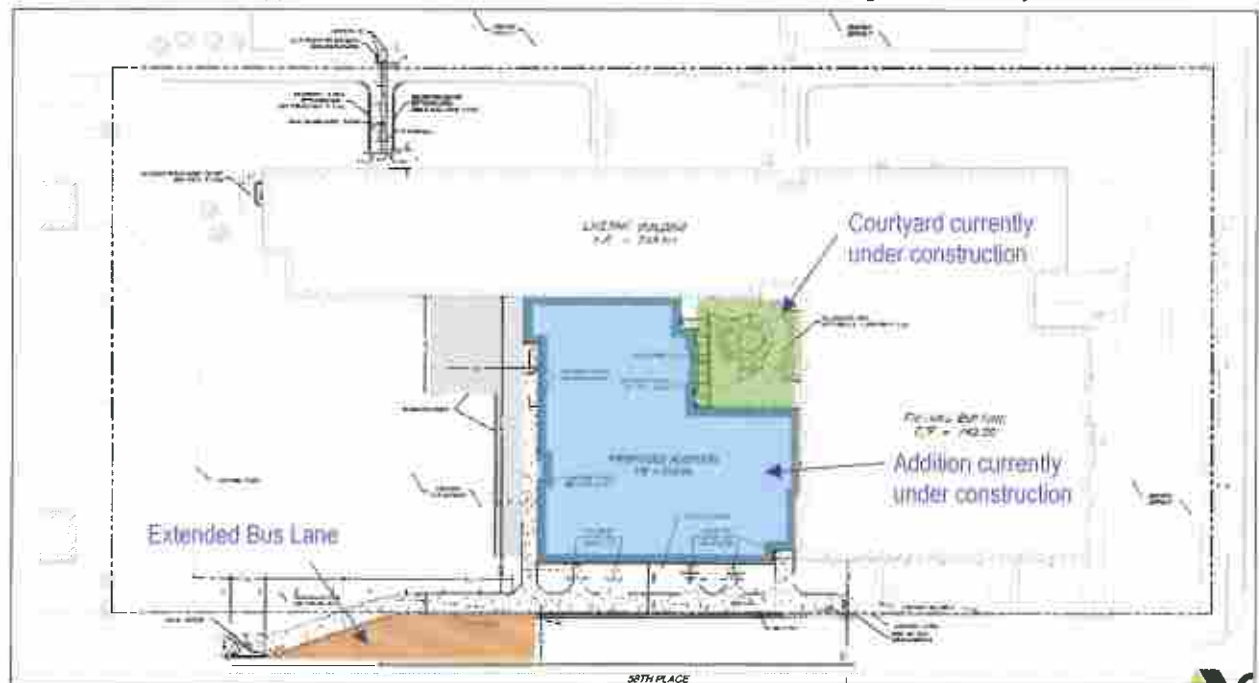




### **Addition and Improvements to Bus Drop Off, Play Area and Landscaping**

In 2018 the Maercker School District applied for and was granted approval of a two-story, 32,000 square foot addition and associated improvements to the bus drop off, play area and landscaping. The two-story addition brought the pre-school program into the building and removed the need of the mobile classrooms, relocated the existing second grade classrooms to the second floor of the school addition, and renovated the existing classroom wing to house only the first grade. All of the classrooms have four walls with secure entries for safety. The bus drop-off was also extended to bring the buses closer to the rear entrance for drop off. All on-site overnight bus parking was moved to the Middle School and over-night bus parking is no longer permitted on the Holmes Elementary School site as part of the 2018 amendment.

**Exhibit 9:** Approved Site Plan under Ordinance No. 18-O-26 including the Two-Story Addition



### **Previously Approved Variations**

#### **Ord. No. 02-O-06**

AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - BOARD OF EDUCATION OF MAERCKER SCHOOL DISTRICT NO. 60 - 5800 HOLMES AVENUE

- (A) Section 9-5A-3(D)3, R-1 District Bulk Regulations, Required Minimum Exterior Side Yard Setback, to permit a reduction in the required minimum exterior side yard setback to twenty-seven feet (27').
- (B) Section 9-10-S(G), Off-Street Parking in Yards, Impervious Surface Setback within a Required Front and Exterior Side Yard, to permit a reduction in the required minimum impervious



- surface setback for parking and drives to five feet (5') within the front yard and to zero feet (0') within the exterior side yard.
- (C) Section 9-10-5(L)2(e), Off-Street Parking, Access Drive Spacing, to permit a reduction in the required minimum centerline spacing to one hundred and two feet (102').
  - (D) Section 9-10-5(L)2(f), Off-Street Parking, Access Drive Separation, to permit a reduction in the required minimum distance from perimeter edge to adjacent street right-of-way on a corner lot to twenty-two feet (22').
  - (E) Section 9-12-4(D)2(i), Accessory Uses, Fence Regulations, to permit an increase in the permitted maximum height of an ornamental fence located anywhere on a lot of an institutional use to eight feet (8') and elimination of the decorative design standard to permit chain link construction.
  - (F) Section 9-12-4(D)2(n), Accessory Uses, Wall Regulations, to permit a reduction in the required minimum wall setback within a required interior side yard to seven feet (7').

**Ord. No. 16-O-33**

AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 02-143 AS APPROVED IN ORDINANCE NO. 02-0-06 AND GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 16-10: 5800 SOUTH HOLMES AVENUE - HOLMES ELEMENTARY SCHOOL TEMPORARY MODULAR CLASSROOMS

- (A) That Section 9-10-5(B) of the Village Code of the Village of Willowbrook establishing the location of required accessory off street parking be varied to allow off-site parking on an adjacent lot with an existing use.
- (B) That Section 9-10-5(K) of the Village Code of the Village of Willowbrook establishing the minimum number of accessory off-street parking spaces for an elementary school be varied by reducing same from one (1) space per employee to sixteen (16) spaces.
- (C) That Section 9-10-5(J) of the Village Code of the Village of Willowbrook establishing parking of certain vehicles prohibited be varied to allow nine (9) overnight bus parking stalls on the subject property.

**Ord. No. 18-O-26**

AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 02-143 AS APPROVED IN ORDINANCE NO. 02-0-06 AND AMENDED IN ORDINANCE 16-O-33 AND GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 18-07: 5800 SOUTH HOLMES AVENUE - HOLMES ELEMENTARY SCHOOL ADDITION

- (A) That Section 9-5A1-3(E) of the Village Code of the Village of Willowbrook providing a maximum lot coverage of 30% be varied to allow for a lot coverage of 39.7%.
- (B) That section 9-5A1-3(G) of the Village Code of the Village of Willowbrook providing a maximum floor area ratio of 0.30 be varied to allow for a floor area ratio of 0.48%.



## STAFF ANALYSIS

In each district there may be established those uses which are accessory to the permitted and special uses listed in the district regulations. The Zoning Code considers refuse bins as permitted accessory structures in rear yards and set forth the location and screening requirements. The applicable requirements regulating refusal disposal areas are summarized in the table below:

**Table 1:** Applicable Requirements for Accessory Structures (Trash Enclosure)

Permitted Accessory Buildings, Structures and Uses				
Item	Code Section	Code Requirement	Proposed	Variation
Maximum Size of Refuse Bins	9-12-2	The greater of 125 sq.ft. or 1% of Lot Area	280 sq.ft.	None
Permitted Encroachment in Rear Yard	9-12-2	Within 10' of lot line and 20' from principal structure on adjacent property	27' from southern lot line and 23' from principal structure	None
Bulk Regulations				
Maximum Height	9-12-4(C)	Not to exceed 15'	6'	None
Location And Screening Of Refuse Disposal Areas				
Screening	9-12-11(A)1	Screened on 3 sides by a solid masonry wall or equiv. material to a height of not less than 6' and no greater than 7' in height	Yes	None
Impervious Surface	9-12-11(A)3	Shall be located on an impervious surface	Concrete pavement	None
Location	9-12-11(A)4	A refuse disposal area shall not be located in front of a building	Within rear yard	None
Orientation	9-12-11(A)5	Open side of enclosure shall not face towards an abutting property or street	Enclosure faces 58 <sup>th</sup> Pl. and residential homes	Yes (authorized)
Foundation Plantings	9-12-11(A)6	Along all exposed sides of the structure	Plantings on west and east sides	None
Location and Screening of Recycling Containers				
Impervious Surface	9-12-11(B)2(a)	Shall be located on an impervious surface	Concrete pavement	None
Screening	9-12-11(B)2(b)	Same as 9-12-11(A)1	Yes	None
Outside storage	9-12-11(B)2(c)	No outside storage of other materials	None	None
Location	9-12-11(B)2(d)	Shall not be located in front of a building	Located in rear yard	None
Orientation	9-12-11(B)2(e)	Same as 9-12-11(A)5	Enclosure faces 58 <sup>th</sup> Pl. and residential homes	Yes (authorized)



## Bulk Requirements

The property is zoned R-1 (with a Special Use). The subject property is further governed by Ordinance No. 18-O-26, which provides in some instances, significant zoning relief from the R-1 bulk regulations. A detailed discussion of important bulk exceptions and variations as it relates to the installation of a trash enclosure is provided below.

1. Minimum Lot Area. The minimum lot area for a public or private Elementary School is five (5) acres plus one acre per one hundred (100) students designed enrollment capacity. The site was annexed into the Village with only 4.13 acres.
2. Minimum Lot Width. For all other uses: One hundred fifty feet (150'). The subject property meets this requirement at two-hundred and sixty-four feet (264').
3. Minimum Lot Depth. For all uses: One hundred fifty feet (150'). The subject property meets this requirement at six-hundred and three feet (603').
4. Building Setbacks. The required and proposed minimum setbacks are shown in Table 2 below. The proposed trash enclosure is in conformance with the Village's required R-1 District front, interior side, and rear yard setback requirements.

**Table 2: Building Setbacks**

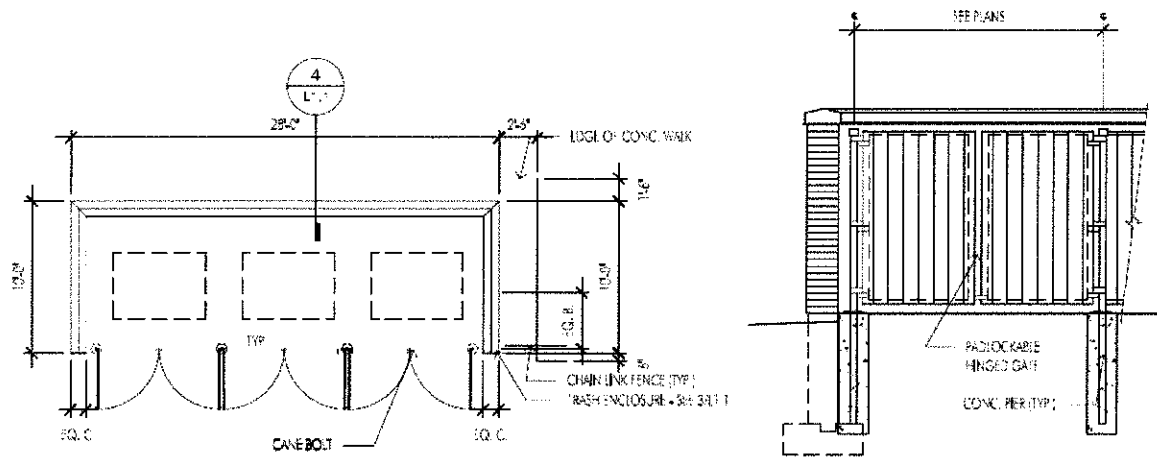
Yard	Description	Required	Provided	Variance
Front	From Holmes Avenue	Min. 60'	More than 60'	None
Interior Side	From Christian Church of CH	Min. 15'	More than 15'	None
Exterior Side	From 58th Place	Min. 27' (Ord. 02-O-06)	27'	None
Rear	From unincorporated residential	Min. 50'	182.4'	None

5. Maximum Lot Coverage. Maximum lot coverage in the R-1 zoning district is 30%. The 71,255 square foot are of the total building footprint after the addition equates to 39.7% coverage, or 9.7% over the maximum. A variation to allow for a lot coverage of 39.7% was approved under Ordinance No. 18-O-26. The 280 square-foot trash enclosure does not count towards this lot coverage.
6. Maximum Floor Area Ratio. Maximum FAR is 0.3 or 30% of the total site area. The subject property is 4.13 acres, or 179,902.8 SF. A variation to allow for a FAR of 0.48% was approved under Ordinance No. 18-O-26. The 280 square-foot trash enclosure does not count towards FAR.

## Elevation and Aesthetics

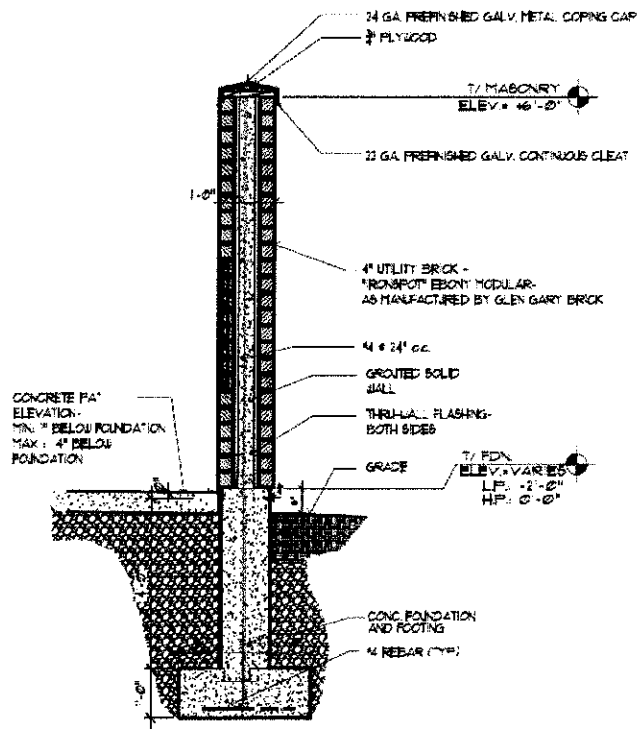
The trash enclosure can accommodate up to three refuse bins and will be constructed of solid masonry walls on three sides. Although the architectural elevation does not specify any colors, the enclosure in the proposed rendering, as depicted in **Exhibit 8**, appears to match the colors and materials of the existing school and new addition. Staff recommends that the architectural drawing be revised to include a full, colored elevation of the enclosure and that specifies the colors and materials of the enclosure.

**Exhibit 10:** Proposed Enclosure Plan, Partial Elevation and Section



**Trash Enclosure Plan**

**Partial Elevation**



**Section**





### Landscaping

The construction and installation of the Holmes School trash enclosure will result in the addition of two (2) new trees. Staff recommends as a condition of approval that these two trees be replaced by a row of slender evergreen trees on both sides of the trash enclosure. This will ensure improved year-round screening and decreased visibility of the enclosure from the residential properties on 58<sup>th</sup> Place.

**Exhibit 11: Proposed Tree Plantings (2 total)**



### Visibility, Access and Safety

A major priority that was considered was the safety and security of the children within the school. The enclosure is located as far away as possible from the entrances of the school, and the access doors are faced away from the playground to minimize access into the refuse enclosure. Lines of sight are maintained for all play areas from hardscape, play equipment, and open fields to allow for proper supervision and threat detection for teachers and staff.

### Appropriateness of Use

The current use on the subject property is Holmes Elementary School, the proposed use is not changing. The special use amendment requested is only to install a trash enclosure south of the existing playground.

### Recommended Conditions for Approval

Staff recommends the following conditions for approval of the Special Use Amendment and request for variations:

1. The proposed trash enclosure shall comply with the existing 27' exterior side yard setback.



2. The partial architectural elevation shall be revised to include the full, colored elevation of the enclosure. The revised elevation shall specify the materials and colors of the trash enclosure. The trash enclosure shall match the materials and colors of the existing school and addition.
3. The composite landscape plan shall be revised to replace the two deciduous trees on both sides of the trash enclosure with a row of slender evergreen trees on both sides of the trash enclosure for improved year-round screening and decreased visibility of the enclosure from the residential properties on 58<sup>th</sup> Place. The landscape plan shall include the species name and quantity of the proposed trees.
4. Final engineering plans shall be reviewed and approved by the Village Engineer prior to issuance of a Site Development Permit by the Village of Willowbrook.
5. The enclosure shall be used strictly for the confinement of refuse and recycling and shall not be used for the outside storage of any other materials or equipment.
6. The doors of the trash enclosure shall remain closed and locked at all times except when the refuse bins are unloaded and loaded.
7. The amendment to the special use shall apply only to the trash enclosure, proposed landscaping surrounding the trash enclosure, and the associated paving only. No other improvements shown on the plans shall be approved as part of this review.

#### **Standards for Special Use Permit**

Section 9-14-5(B) of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use permit. The applicant's responses are provided in Attachment (1).

#### **Standards for Variations**

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provided in Attachment (2).





### **Public Hearing and Recommendation**

The Plan Commission conducted a public hearing on this petition at their August 7, 2019 meeting. The following members were in attendance: Chairman Dan Kopp, Vice Chairman Wagner, Commissioners Ruffalo, Kaucky, Soukup, and Walec. George Demarakis, the project architect, and Sean Nugent, the school district's superintendent, were in attendance. There were no members of the public that came forward with public comments.

Chairman Kopp acknowledged that the proposed trash enclosure would be an improvement to the current situation where the refuse bins are exposed and visible to nearby residential properties and expressed support for the proposed special use amendment and requested variations.

### **Staff Recommendation**

Staff supports the requested special use amendment and variations and recommends the Plan Commission approve the following sample motion:

#### **Zoning Case 19-07 Revised Sample Motion:**

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the staff report prepared for the August 7, 2019 Plan Commission meeting for PC 19-07, and recommend approval of an amendment to the existing special use to allow variations from Section 9-12-11(A)5 and Section 9-12-11(B)2(e) to permit the open side of said enclosure to be oriented so that it faces towards an abutting property or street, subject to the conditions listed in the staff report for the August 7, 2019 Plan Commission meeting for PC 19-07.

#### **Motion**

**The following motion made by Soukup was seconded by Ruffalo and approved unanimous 6-0 roll call vote of the members present:**

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the staff report prepared for the August 7, 2019 Plan Commission meeting for PC 19-07, and recommend approval of an amendment to the existing special use to allow variations from Section 9-12-11(A)5 and Section 9-12-11(B)2(e) to permit the open side of said enclosure to be oriented so that it faces towards an abutting property or street, subject to the conditions listed in the staff report for the August 7, 2019 Plan Commission meeting for PC 19-07.



Attachment 1

Special Use Standards and Findings for PC 19-07 Holmes School Trash Enclosure

**9-14-4(B): Standards for Special Use**

The Plan Commission shall not recommend and the Board of Trustees shall not grant a Special Use Permit from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

**(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

**Finding:** The establishment is an existing school facility in which the operation will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The enclosure helps screen the sight of these garbage bins from the neighboring residence and creates a landscaped buffer between those elements and the street.

**(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

**Finding:** The project shall create a better visual barrier between the neighboring properties and the school's existing dumpsters. Current conditions leave the dumpsters out in the open so this would create a better environment for the neighboring properties. The enclosure abides by zoning regulations in having three walls constructed of masonry, and is 6'-0" tall. The masonry matches the existing building to give the same aesthetic of the building. Landscape plantings shall also be provided on either side of the enclosure to abide by zoning regulations as well.

**(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

**Finding:** The establishment of the special use shall not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Pick-up times shall be exactly as they were before so there will be no change in operation as has been established with this existing site.

**(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.**

**Finding:** All engineering has been designed to create code compliant utilities, access roads, drainage and all ancillary public works requirements as exhibited in the attached plans.



- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

**Finding:** The project is designed to simplify staff operations and pick-up operations for all trash removal.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

**Finding:** The special use shall in all other respects conform to the applicable regulations of the district in which it is located. As mentioned in the opening paragraph the new refuse enclosure complies by all the stipulations within the zoning ordinance, and is located at the approved variation setback requirements that were established in the previous year's request.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).**

**Finding:** More than one year has elapsed since any denial by the Village Board of any prior application for a special use permit has been made as part of this site.



## Attachment 2

### Variation Standards and Findings for PC 19-07 Holmes School Trash Enclosure

#### **9-14-4(E): Standards for Variations**

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.**

**Finding:** The property in question wouldn't be able to yield a safe and reasonable return for the community in which it serves if the trash bins were left out in the open on the playground. A major priority is the safety and security of the children within the school. Keeping the refuse enclosure far enough away, and with the access doors facing away from the playground, this minimizes any students from trying to access the refuse enclosure. It also keeps lines of sight for all play areas from hardscape, play equipment, and open fields to allow for proper supervision and threat detection for teachers and staff.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.**

**Finding:** The proposed variation will not merely serve as a convenience to the applicant but will alleviate a safety concern as listed above. It will also better serve the community by shielding the open trash bins from the street and neighboring homes.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.**

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises. It is a hardship established by the site limitations of the school location which has heavy grade changes, an unusable side yard, and is located on a corner lot.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**

**Finding:** The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. In fact it will remedy an existing condition that is less desirable, and the aesthetics shall match the rest of the facility.



- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.**

**Finding:** The proposed variation will not impair an adequate supply of light and air to the adjacent property. It shall only be 6'-0" and will maintain the existing conditions for quantity of refuse storage that has been used by the school district for many years.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)**

**Finding:** The proposed variation will not alter the essential character of the locality. The refuse enclosure is designed to match the vocabulary of the site in material.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed variation is in harmony with the spirit and intent of Title 9 of this Code. All of the above comments depict the harmony and intent of Title 9 of this Code.



### Attachment 3

#### Legal Description of Subject Property

LOTS 2 THROUGH 25, BOTH INCLUSIVE, TOGETHER WITH THE SOUTH HALF OF VACATED 58TH STREET WHICH LIES NORTH AND ADJOINING SAID LOTS, TOGETHER WITH THE NORTH HALF OF THE VACATED ALLEY LYING SOUTH AND ADJOINING SAID LOTS 2 THROUGH 25, BOTH INCLUSIVE, AND LOTS 78 THROUGH 101, BOTH INCLUSIVE, TOGETHER WITH THE SOUTH HALF OF THE VACATED ALLEY LYING NORTH AND ADJOINING SAID LOTS 78 THROUGH 101, BOTH INCLUSIVE, ALL IN THE WOMAN'S SUBDIVISION OF LOT 7 IN HALL'S SUBDIVISION OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 12, 1892 AS DOCUMENT 48190, IN DUPAGE COUNTY, ILLINOIS.

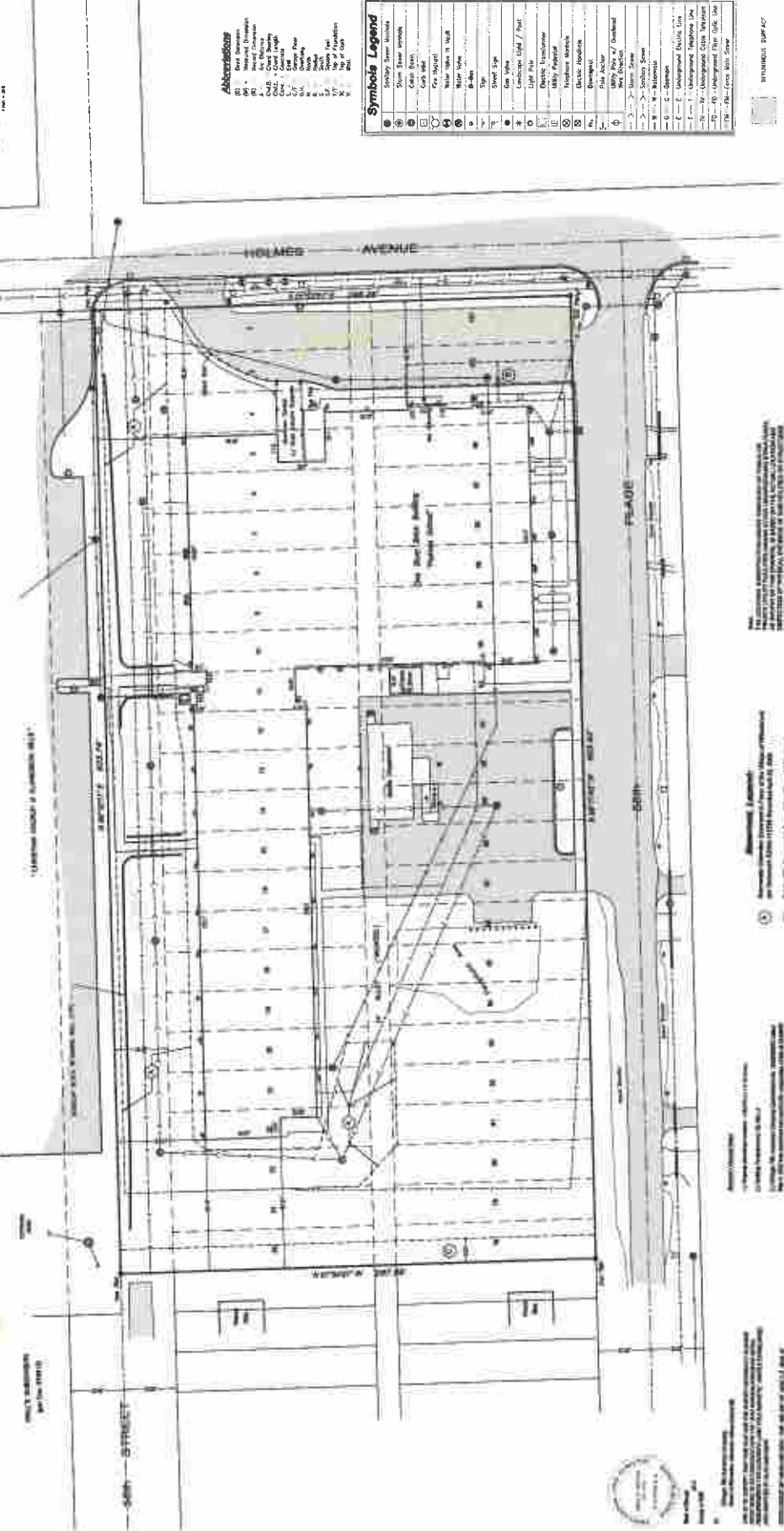
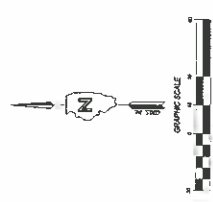


Attachment 4

Land Title Survey, prepared by Sean T. Krisch, dated 6/15/2018

Diagram illustrating a simple machine, possibly a pulley system, showing a red curved path and a red rectangular block.

© 2002 Blackwell Science Ltd, *Journal of Internal Medicine* 252: 111–118



**Abbreviations**

(B)	Bored Dimensions
(M)	Max Dimension
(R)	Recess Dimension
(A)	Any Reference
Chd/B	Child Bore
Chd/L	Child Length
Cut/L	Cut Length
Cut/E	Cut End
C/F	Case Face
G.H.	Grounding
R	Round
S	South
S.F.	Square Feet
77	Top of Foundation
W	West
WPI	Weight

Symbols Legend	
	Sensitivity Meter Indicator
	Shunt Switch Indicator
	Radio Blanking
	Carb. Seal
	Hot Material
	Water Vapor in Fuel
	High Pressure
	High Temperature
	Stop
	Steam Stop
	Gas Valve
	Luminescent Light / Flash
	Light Flash
	Electric Transducer
	Utility Pipeline
	Telephone Service
	Electric Handrail
	Overhead
	Pole Anchor
	Utility Pole or Overhead
	3" - 6" Storm Sewer
	8" - 12" Storm Sewer
	12" - 24" Sanitary Sewer
	24" - 36" Sanitary Sewer
	W - Waterline
	G - Gasmain
	U - Underground Electric Lines
	T - 1" Underground Telephone Line
	N - 2" Underground Telephone Line
	10" - 40" Underground Cable Television
	18" - 48" Underground Fire Main
	24" - 48" Fire Main with Sewer

[illegible][illegible]

1) The first step is to identify the problem. In this case, the problem is that the company is not meeting its sales targets.

2) The second step is to analyze the data. This involves looking at the sales figures for each product line and identifying any trends or patterns.

3) The third step is to develop a plan. This involves setting specific goals for each product line and determining the actions that need to be taken to achieve those goals.

4) The fourth step is to implement the plan. This involves putting the plan into action and monitoring the results.

5) The fifth step is to evaluate the results. This involves comparing the actual results to the goals and determining whether the plan was successful.

[illegible]

**K**  
KRISCH LAND SURVEYING LLC  
P.O. BOX 1007 PLAINFIELD, NJ 07064-0107  
PHONE (908) 427-8888 FAX (908) 427-8889  
www.krischlandsurveying.com  
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[illegible]

PREPARED FOR:  
CAGE CIVIL ENGINEERING  
3110 WOODCREEK DRIVE  
DOWNERS GROVE, IL 60515  
(830) 598-0007

PROJECT  
ALTMAN LAND TILE SURVEY  
HOLMES ELEMENTARY SCHOOL  
5800 HOLMES AVENUE  
CLARENDON HILLS, IL 60514

PROJECT	19-035
CAD NAME	18-013 ALTA.DWG
SCALE	1" = 30'
SHEET	1 of 1
DRAWN BY	STK

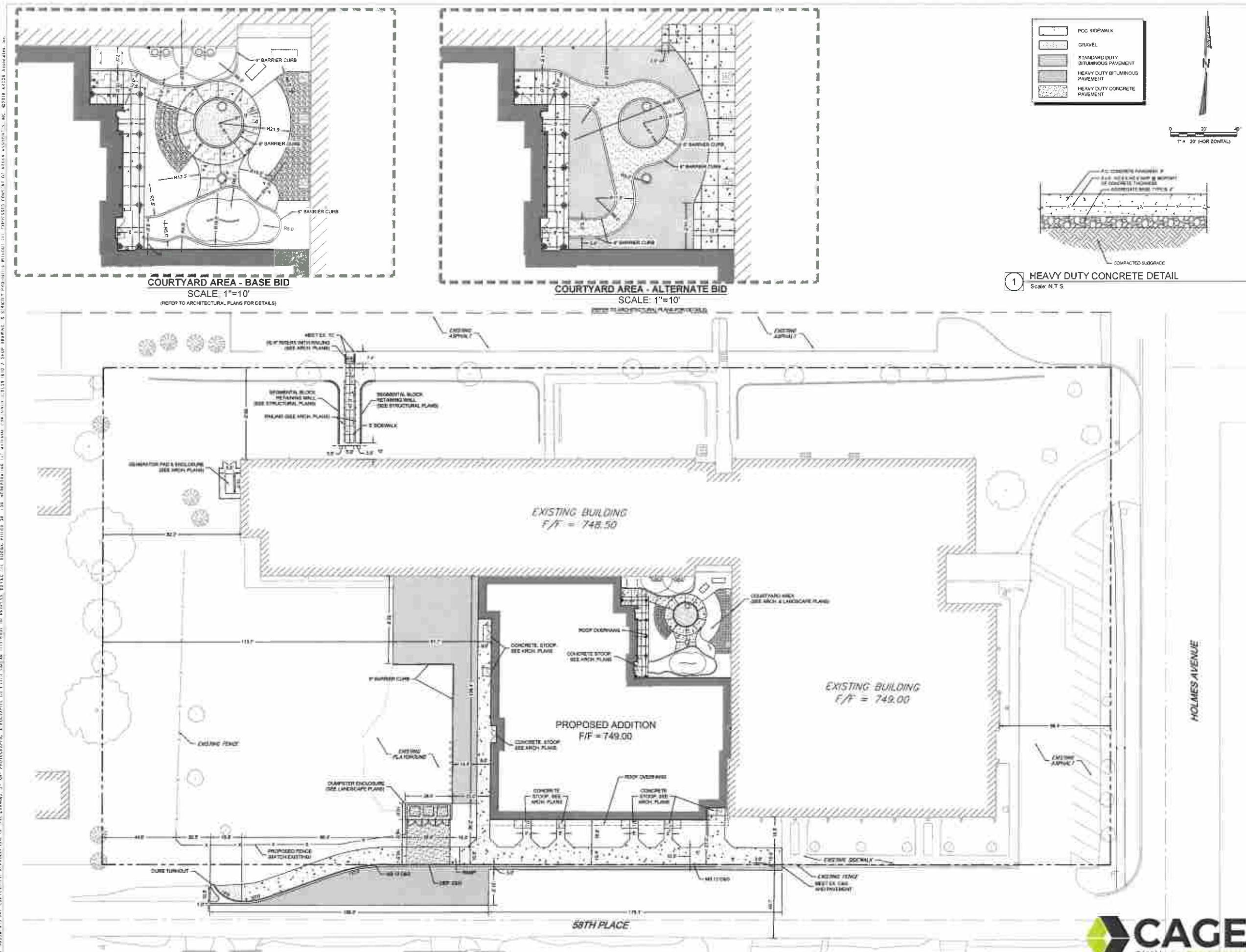




**Attachment 5**

Site Plan, prepared by CAGE Civil Engineering, dated 7/10/19

THIS DOCUMENT IS A COPY OF THE ORIGINAL DRAWING. ANY REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A CIRCLE WITH A NUMBER. THE ORIGINAL DRAWING IS THE ONLY AUTHORITY FOR THE PROJECT. ANY REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A CIRCLE WITH A NUMBER. THE ORIGINAL DRAWING IS THE ONLY AUTHORITY FOR THE PROJECT.



ARCON  
ARCHITECTURAL  
REMODELING  
CONSTRUCTION  
LANDSCAPE ARCHITECTS

2020 South Bailey Road, Suite 40  
Lombard, Illinois 60148  
P: 630-955-1900  
www.arconllc.com

ADDITIONS AND  
REMODELING

at  
HOLMES SCHOOL  
5800 Holmes Ave.  
Clarendon Hills, IL  
60514

for the  
BOARD OF EDUCATION  
Marker 5D 60  
1 S. Cass, Suite 202  
Westmont, IL 60559

ZONING DOCUMENTS

REVISIONS		
No.	Date	By

Project Number:  
18024

Issue Date:  
JULY 10, 2019

Drawn by:  
AMS

Sheet Title:  
SITE LAYOUT PLAN

Sheet Number:  
C1.2

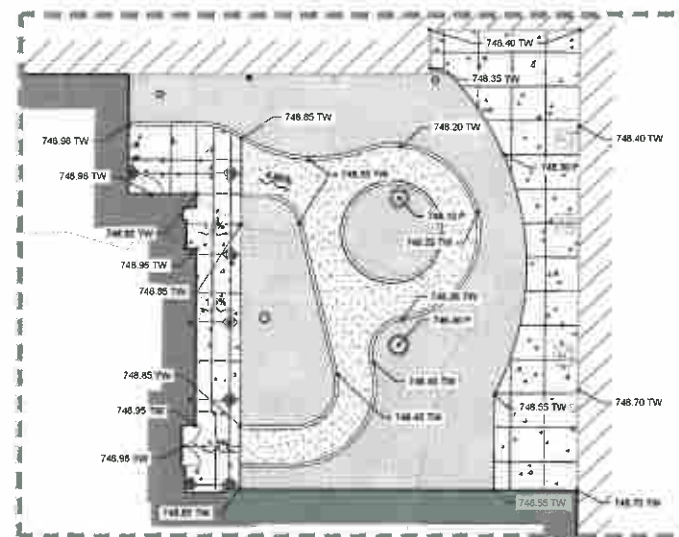
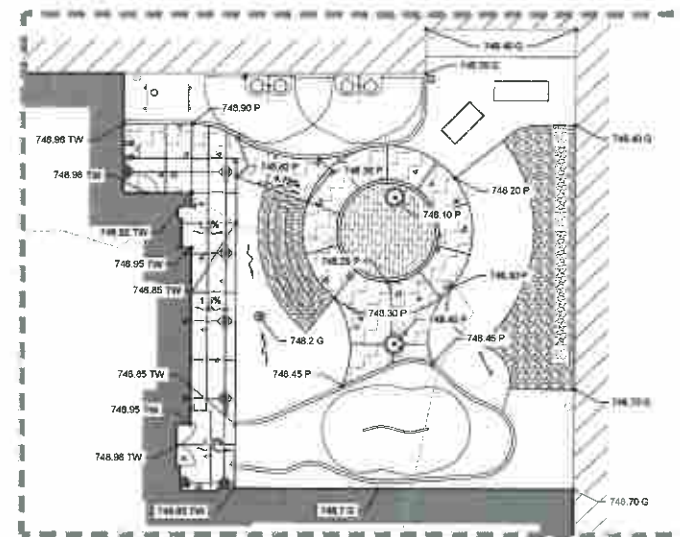
CAGE  
CIVIL ENGINEERS



## Attachment 6

Grading Plan, prepared by CAGE Civil Engineering, dated 7/10/19







## Attachment 7

Composite Landscape and Architectural Drawing, prepared by ARCON, dated 5/8/19





## Attachment 8

Engineering Review Letter, prepared by Christopher B. Burke Engineering, Ltd., dated 7/22/19



**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

July 22, 2019

Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Attention: Ann Choi

Subject: Holmes Elementary School  
Dumpster Enclosure  
(CBBEL Project No. 90-144.H184)

Dear Ann:

As requested on July 19, 2019, we have reviewed the final engineering plans for the above property prepared by Cage Civil Engineering and dated July 10, 2019. We have no objection to a permit being issued for the project, and note the following:

1. Our review of this plan set was for the dumpster enclosure and associated paving only. No other improvements shown on the plans have been considered as part of this review. The proposed addition was previously reviewed, and we have not verified that the plans remain the same.
2. The proposed work is all on the school property, outside of the public right of way.
3. We have not reviewed the plans with respect to the zoning code and understand that is being completed by you and/or Village staff.
4. We understand the proposed dumpster enclosure will likely be moved 6" – 12" north for zoning compliance. We have no objection and it will not change our review.

If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Daniel Lynch', is written over a light blue circular stamp.

Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department

cc: Roy Giuntoli





Attachment 9

Special Use and Variation Request Letter, prepared by ARCON, dated 7/15/19



July 15, 2019

Village of Willowbrook  
835 Midway Drive  
Willowbrook IL 60527

RE: ADDITION AT HOLMES ELEMENTARY SCHOOL  
MAERCKER SCHOOL DISTRICT 60  
5800 HOLMES AVENUE  
CLARENDON HILLS, IL 60514  
PROJECT NO. 18024

#### REQUEST FOR SPECIAL USE

Below is the request for special use and variation amendments for the project at Holmes Elementary School. The scope is to build a new refuse enclosure on site to screen and protect the existing dumpsters that are used by the district. The proposed design abides by all zoning codes regarding setbacks, construction, and size for the associated work. Per zoning ordinance, the refuse disposal areas should have (3) sides constructed of solid masonry walls, which this design matches. The enclosure is only to be used for the confinement of refuse and recycling containers, which it shall. The refuse shall be located on an impervious surface: Concrete. The open of said enclosure shall be oriented so that, to the greatest extent possible, it does not face toward the abutting property or street. The district worked through countless options with the primary focus on the safety of the students and minimizing the impact on the neighborhood. Their existing refuse enclosure was completely open to the street and neighborhood and we believe this design helps better screen the refuse than it did previously, while still allowing for proper supervision of all the students on site in the play areas. No other location works on the tight property line, and therefore we believe this solution is the 'greatest extent possible'. Lastly, the foundation landscape shall be placed on either side of the enclosure.

The proposed design meets the Standards for Special Use by addressing the following:

- A. The establishment is an existing school facility in which the operation will not be detrimental to or endanger the public health, safety, morals comfort or general welfare. The enclosure helps screen the sight of these garbage bins from the neighboring residence and creates a landscaped buffer between those elements and the street.
- B. The project shall create a better visual barrier between the neighboring properties and the school's existing dumpsters. Current conditions leave the dumpsters out in the open so this would create a better environment for the neighboring properties. The enclosure abides by zoning regulations in having three walls constructed of masonry, and is 6'-0" tall. The masonry matches the existing building to give the same aesthetic of the building. Landscape plantings shall also be provided on either side of the enclosure to abide by zoning regulations as well.
- C. The establishment of the special use shall not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Pick-up times shall be exactly as they were before so there will be no change in operation as has been established with this existing site.
- D. All engineering has been designed to create code compliant utilities, access roads, drainage and all ancillary public works requirements. See attached plans.

RE: ADDITION AT HOLME ELEMENTARY SCHOOL  
MAERCKER SCHOOL DISTRICT 60  
5800 HOLMES AVENUE  
CLARENDON HILLS, IL 60514  
PROJECT NO. 18024

## PAGE TWO

- E. The project is designed to simplify staff operations and pick-up operations for all trash removal.
- F. The special use shall in all other respects conform to the applicable regulations of the district in which it is located. As mentioned in the opening paragraph the new refuse enclosure complies by all the stipulations within the zoning ordinance, and is located at the approved variation setback requirements that were established in the previous year's request.
- G. More than one year has elapsed since any denial by the Village Board of any prior application for a special use permit has been made as part of this site.

## REQUEST FOR VARIATION

The proposed design meets the Standards for Variations by addressing the following:

The proposed special use relates to a school that has been in operation for decades, and in an effort to retain such an important asset to the community is being updated to better suit the community needs and daily operations of the building. Safety of both the students and community are a priority and creating this trash enclosure will help maintain safer precautions, better operations, and a more pleasant aesthetic than what currently existed. This will remove the hardship created due to a constrained site with limited access and steep grade changes. Working with the school district, we believe the proposed design is in harmony with the spirit and intent of Title 9 of this code.

- A. The property in question wouldn't be able to yield a safe and reasonable return for the community in which it serves if the trash bins were left out in the open on the playground. A major priority is the safety and security of the children within the school. Keeping the refuse enclosure far enough away, and with the access doors facing away from the playground, this minimizes any students from trying to access the refuse enclosure. It also keeps lines of sight for all play areas from hardscape, play equipment, and open fields to allow for proper supervision and threat detection for teachers and staff.
- B. The proposed variation will not merely serve as a convenience to the applicant but will alleviate a safety concern as listed above. It will also better serve the community by shielding the open trash bins from the street and neighboring homes.
- C. The alleged hardship has not been created by any person presently having a proprietary interest in the premises. It is a hardship established by the site limitations of the school location which has heavy grade changes, an unusable side yard, and is located on a corner lot.
- D. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. In fact it will remedy an existing condition that is less desirable, and the aesthetics shall match the rest of the facility.

RE: ADDITION AT HOLME ELEMENTARY SCHOOL  
MAERCKER SCHOOL DISTRICT 60  
5800 HOLMES AVENUE  
CLARENDON HILLS, IL 60514  
PROJECT NO. 18024

PAGE THREE

E. The proposed variation will not impair an adequate supply of light and air to the adjacent property. It shall only be 6'-0" and will maintain the existing conditions for quantity of refuse storage that has been used by the school district for many years.

F. The proposed variation will not alter the essential character of the locality. The refuse enclosure is designed to match the vocabulary of the site in material.

G. The proposed variation is in harmony with the spirit and intent of Title 9 of this Code. All of the above comments depict the harmony and intent of Title 9 of this Code.

Sincerely,  
ARCON Associates, Inc.



George Demarakis  
Associate Principal

GDD/gs

J:\1 D60M\18024 Additions & Remodeling @ Holmes School\1 Docs\Corr\18024C006.wpd

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

AN RESOLUTION DECLARING SURPLUS PROPERTY AND  
AUTHORIZING THE SALE OF THE SAME.

AGENDA NO. **5f.**

AGENDA DATE: **08/12/2019**

STAFF REVIEW: ROBERT SCHALLER

SIGNATURE: Bob Schaller/mm

LEGAL REVIEW: TOM BASTIAN

SIGNATURE: Tom Bastian/mm

RECOMMENDED BY VILLAGE ADMIN.: BRIAN PABST SIGNATURE: Brian Pabst

REVIEWED & APPROVED BY COMMITTEE: YES ☐ N/A ☒

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM,  
OTHER PERTINENT HISTORY)

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

Staff has a Village owned vehicle deemed surplus ready for disposal.

VIN	Year	Make	Model
1FM5K8AT6FGA28498	2015	FORD	EXPLORER
1FM5K8AT4FGA28497	2015	FORD	EXPLORER

Staff recommends the Mayor and Board of Trustees pass the ordinance authorizing the sale of the vehicle listed above.

**ACTION PROPOSED:**

PASS ORDINANCE

**RESOLUTION NO. 19-O-\_\_\_\_\_**

**AN RESOLUTION OF THE VILLAGE OF WILLOWBROOK DECLARING SURPLUS  
PROPERTY AND AUTHORIZING THE SALE OF THE SAME**

WHEREAS, in the opinion of a majority of the corporate authorities of the Village of Willowbrook, it is no longer necessary or useful or in the best interests of the Village of Willowbrook, to retain ownership of the personal property hereinafter described; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Willowbrook to dispose of said personal property.

NOW THEREFORE, be it ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook as follows:

SECTION ONE: Pursuant to 65 ILCS 5/11-76-4, the Mayor and Board of Trustees of the Village of Willowbrook find that the property legally described on Exhibit "A" attached thereto and made a part hereof, not owned by the Village of Willowbrook, is no longer necessary or useful to the Village of Willowbrook and the best interests of the Village of Willowbrook will be served by its disposal.

SECTION TWO: Pursuant to 65 ILCS 5/11-76-4, the Village Administrator is hereby authorized and directed to dispose of the property set forth on Exhibit "A" now owned by the Village of Willowbrook in any manner he deems appropriate, with or without advertisement.

SECTION THREE: The sale or disposition of said surplus property is "AS IS" with no warranty, either express or implied, of merchantability or fitness for a particular purpose.

SECTION FOUR: This Ordinance shall in be full force and effect from and after its passage and approval in the manner provided by law.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

PASSED and APPROVED this 12<sup>th</sup> day of August, 2019 by a roll call vote as follows:

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

## **EXHIBIT “A”**



**EXHIBIT "A"**

<b>VIN</b>	<b>Year</b>	<b>Make</b>	<b>Model</b>
<b>1FM5K8AT6FGA28498</b>	<b>2015</b>	<b>FORD</b>	<b>EXPLORER</b>
<b>1FM5K8AT4FGA28497</b>	<b>2015</b>	<b>FORD</b>	<b>EXPLORER</b>

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:****AGENDA NO.** 5g

A Proclamation Designating October 6–12, 2019 as Fire Prevention Week in the Village of Willowbrook, DuPage County, Illinois

**AGENDA DATE:** 08/12/19**STAFF REVIEW:** Michael Mertens, Assistant Village Administrator**SIGNATURE:** M. Mertens**LEGAL REVIEW:** Tom Bastian, Village Attorney**SIGNATURE:** Tom Bastian**RECOMMENDED BY:** Brian Pabst, Village Administrator**SIGNATURE:** Brian Pabst**REVIEWED & APPROVED BY COMMITTEE:** YES ☐ NO ☐ N/A ☒**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The Village of Willowbrook is committed to ensuring the safety and security of all those living in and visiting the Village of Willowbrook. The Village of Willowbrook and the Tri-State Fire Protection District first responders are dedicated to reducing the occurrence of home fires and home fire injuries through prevention and protection education. The 2019 Fire Prevention Week theme, "Not Every Hero Wears a Cap. Plan and Practices Your Escape!" works to educate everyone about the small but important actions they can take to keep themselves and those around them safe. Fire Prevention Week is planned for October 6<sup>th</sup> through October 12<sup>th</sup>, 2019.

**ACTION PROPOSED:** Adopt the Proclamation.

# PROCLAMATION

**WHEREAS**, the Village of Willowbrook is committed to ensuring the safety and security of all those living in and visiting the Village of Willowbrook; and

**WHEREAS**, fire is a serious public safety concern both locally and nationally, and homes are the locations where people are at greatest risk from fire; and

**WHEREAS**, fires killed 3,400 civilians in the United States in 2017, according to the National Fire Protection Association, and fire departments in the United States responded to 1,319,500 fires; and four out of five fire deaths occur at home each year; and

**WHEREAS**, the Village of Willowbrook residents should identify places in their home where fires can start and eliminate those hazards; and

**WHEREAS**, working smoke alarms cut the risk of dying in reported home fires in half; and Willowbrook residents should install smoke alarms in every sleeping room, outside each separate sleeping area, and on every level of the home; and

**WHEREAS**, Willowbrook residents should listen for the sound of the smoke alarm and when it sounds, respond by going outside immediately to the designated meeting place; and

**WHEREAS**, Willowbrook residents who have planned and practiced a home fire escape plan are more prepared and will therefore be more likely to survive a fire; and

**WHEREAS**, the Village of Willowbrook and the Tri-State Fire Protection District first responders are dedicated to reducing the occurrence of home fires and home fire injuries through prevention and protection education; and

**WHEREAS**, the 2019 Fire Prevention Week theme, "Not Every Hero Wears a Cape. Plan and Practice Your Escape!" works to educate everyone about the small but important actions they can take to keep themselves and those around them safe.

**NOW, THEREFORE**, I, Frank Trilla, Mayor of the Village of Willowbrook, do hereby proclaim October 6<sup>th</sup> through October 12<sup>th</sup>, 2019, as

## **"FIRE PREVENTION WEEK 2019 IN WILLOWBROOK"**

and I urge all of the citizens of Willowbrook to be aware of their surroundings, look for available ways out in the event of a fire or other emergency, respond when the smoke alarm sounds by exiting the building immediately, and to support the many public safety activities and efforts of the Village of Willowbrook and the Tri-State Fire Protection District during Fire Prevention Week 2019.

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

AN ORDINANCE GRANTING A VARIATION FROM THE ZONING ORDINANCE AND APPROVING A FINAL PLAT OF SUBDIVISION.

6350 AND 6406 Clarendon Hills Road – Reyes Subdivision.

### AGENDA NO.

6

### AGENDA DATE:

08/12/19

**STAFF REVIEW:** Ann Choi, Planning Consultant

**SIGNATURE:**



**LEGAL REVIEW:** Tom Bastian, Village Attorney

**SIGNATURE:**



**RECOMMENDED BY:** Brian Pabst, Village Administrator

**SIGNATURE:**



**REVIEWED & APPROVED BY COMMITTEE:**

YES ☐

NO ☐

N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Marc and Maureen Reyes, the current property owners of 6350 Clarendon Hills Road and 6406 Clarendon Hills Road ("applicant"), have filed an application seeking Final Subdivision Plat approval to consolidate the two lots located at 6350 Clarendon Hills Road and 6406 Clarendon Hills Road ("subject properties") into a single lot of record, together with the following relief: a variation from Section 9-5B-3(D)2 to reduce the interior side yard setback from 20 feet to 14.66 feet along the north property line.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The applicant wishes to consolidate the two residential lots in order to build an addition to their existing home over the lot line (between the two lots) at some future time. An existing 6" water main runs along the east-west lot line between the two residential lots which makes it infeasible for a future expansion along the southern portion of the existing residence. A new 6" water main will be relocated within a variable 15-foot and 25-foot wide drainage and utility easement that runs along the east, west and southern lot lines.

The existing single-family residence currently conforms to the minimum requirements of the zoning ordinance. However, the proposed lot consolidation of the subject properties would create a nonconformity with regards to the interior side yard setback along the north property line. The required interior side yard setback is calculated based on the width of the lot; currently the interior side yard setback is 10% of the lot width, or 10 feet. The existing single-family home is currently setback from the north property line at a distance of 14.66 feet. After the proposed lot consolidation, however, the required interior setback would increase to 20 feet. The applicant is thus requesting a 26.7% reduction in the minimum interior side yard requirement to 14.66 feet. Approval of the variation from Section 9-5B-3(D)2 would allow the existing single-family residence to be considered a legal structure with regard to the interior side yard requirement along the north property line.

The Plan Commission voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board. Their motion included four (4) recommended conditions. These recommended conditions are listed in the Staff Report dated July 22, 2019.

**ACTION PROPOSED:** Consideration of Attached Ordinance.

**ORDINANCE NO. 19-0-\_\_\_\_\_**

**AN ORDINANCE GRANTING A VARIATION FROM THE ZONING ORDINANCE  
AND APPROVING A FINAL PLAT OF SUBDIVISION  
6350 AND 6406 CLARENDON HILLS ROAD – REYES SUBDIVISION**

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**WHEREAS**, on or about April 10, 2019, Marc and Maureen Reyes, hereinafter “APPLICANT”, filed an application with the Village of Willowbrook with respect to the property legally described on Exhibit “A” attached hereto, which is, by this reference, incorporated herein (“SUBJECT REALTY”). Said application requested that the Village grant a variation from the requirements of the Zoning Ordinance of the Village to reduce the interior side yard setback from twenty feet (20’) to fourteen and 66/100 feet (14.66’) and approve a Final Plat of Subdivision with respect to the SUBJECT REALTY; and,

**WHEREAS**, a public notice was published in compliance with Section 9-15-3(a) of the Willowbrook Municipal Code, in the Chicago Sun Times on July 1, 2019, which is more than fifteen (15) days but less than thirty (30) days prior to the public hearing date; a notice was mailed by the Village Zoning Officer to all adjacent owners within two hundred-fifty (250) feet in each direction of the location for which the VARIATION is requested more than fifteen (15) days but less than thirty (30) days prior to public hearing date in compliance with 9-15-3(B) of the Willowbrook Municipal Code; and public notice was provided by posting on the property a sign visible to the general public complying with the requirements of Sections 9-15-3(D) of the Willowbrook Municipal Code, for at least fifteen (15) consecutive days prior to the public hearing date; and,

**WHEREAS**, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about July 17, 2019, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

**WHEREAS**, at said Public Hearing, the applicant provided testimony in support of the proposed amendments to the Village of Willowbrook Zoning Ordinance, and all interested parties had an opportunity to be heard; and,

**WHEREAS**, the Plan Commission forwarded its recommendations, including its Findings of Fact, to the President and Board of Trustees on or about July 22, 2019, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

**WHEREAS**, the Mayor and Board of Trustees of the Village of Willowbrook have received the recommendation of the Plan Commission pursuant to a memorandum dated July 22, 2019.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

**SECTION ONE:** The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

**SECTION TWO:** That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

**SECTION THREE:** That pursuant to Section 9-5B-3(D)2 of the Village Code, the following variation from the provisions of the Zoning ordinance be and the same are hereby granted for the SUBJECT REALTY:

- A. From Section 9-5B-3(D)2 to reduce the interior side yard setback from twenty feet (20') to fourteen and 66/100 feet (14.66') along the north property line.

**SECTION FOUR:** That the relief granted in Section Three of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following plans and conditions:

1. Final Plat of Subdivision of "Reyes Subdivision", prepared by Intech Consultants, Inc., dated 2/5/2019 and bearing the latest revision date of 4/9/2019, consisting of one (1) sheet, attached hereto as Exhibit "C".
2. The applicant shall complete all of the water main improvements depicted on the Final Engineering Drawings, prepared by Intech Consultants, Inc., bearing the latest revision date of 5/23/19, consisting of three (3) sheets, attached hereto as Exhibit "D", prior to the issuance of a building permit for any additions to the existing single-family residence, and not more than one year after the date that the Final Plat of Subdivision is approved by the Board of Trustees.
3. The variation for the reduced side yard setback shall only apply to the existing single-family residence that exists on the property as of the date of the application, and does not apply to any other structure, including any new residence built on the property.
4. A Letter of Credit in an amount of no less than \$40,833.50 shall be submitted to the Village to guarantee the construction of all public improvements associated with the Reyes Subdivision.

**SECTION FIVE:** That passage of this Ordinance shall constitute approval of the Final Plat of the Reyes Subdivision, as prepared by Intech Consultants, Inc., consisting of one (1) sheet, dated February 5, 2019 and bearing the latest revision date of April 9, 2019.

**SECTION SIX:** That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

**SECTION SEVEN:** That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this August 12, 2019.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen,  
Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_  
                                 NAYS: \_\_\_\_\_  
                                 ABSTENTIONS: \_\_\_\_\_  
                                 ABSENT: \_\_\_\_\_



## **EXHIBIT A**

### **LEGAL DESCRIPTION OF SUBJECT REALTY**

PINS:

09-22-203-017 (Lot 2)

09-22-203-018 (Lot 3)

LOTS 2 AND 3 IN TUDOR MANOR SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED APRIL 17, 1978 AS DOCUMENT R78-31342 IN DUPAGE COUNTY, ILLINOIS.

## **EXHIBIT B**

### **RECOMMENDATION AND FINDINGS OF FACT**

#### **MEMORANDUM**

MEMO TO: Frank A. Trilla, Mayor  
Board of Trustees

MEMO FROM: Daniel Kopp, Chairman, Plan Commission

DATE: July 22, 2019

SUBJECT: Reyes Subdivision, 6350 Clarendon Hills Road and 6406 Clarendon Hills Road, Willowbrook IL 60527. Consideration of a petition for Review and Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation), Approval of Written Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation), a variation from Section 9-5B-3(D)2 of the Village of Willowbrook Zoning Ordinance to reduce the interior side yard setback from twenty feet (20') to fourteen and 66/100 feet (14.66') along the north property line, and consideration of other such relief, exceptions and variations from Title 9 of the Village Code.

At the special meeting of the Plan Commission held on July 17, 2019, the above referenced application was discussed and the following motion was made:

MOTION: Made by Remkus and seconded by Walec that based on the submitted petition and testimony provided, I move that the Plan Commission finds that the proposed Reyes Subdivision Final Plat of Subdivision consolidating 6350 Clarendon Hills Road and 6406 Clarendon Hills Road into a single Lot of Record, which requires a variation from Section 9-5B-3(D)2 of the Zoning Ordinance to reduce the minimum interior side yard setback along the north property line, meets the Subdivision Regulation standards for approving such final plat and associated variations; that the Plan Commission approve and adopt the Standards for Variations outlined in the Staff Report for PC 19-02 for the July 17, 2019 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a variation from Section 9-5B-3(D)2 to reduce the minimum interior side yard setback along the north property line; and the Plan Commission has reviewed the Final Plat of Subdivision and recommends approval of a Final Plat of Subdivision for PC 19-02 for the July 17, 2019 Plan Commission meeting, subject to the conditionals of approval and plans listed in the Staff Report prepared for PC 19-02 for the July 17, 2019 Plan Commission meeting:

1. Final Plat of Subdivision of "Reyes Subdivision", prepared by Intech Consultants, Inc., bearing a revision date of 4/9/2019, consisting of one (1) sheet.

2. The applicant shall complete all of the water main improvements depicted on the Final Engineering Drawings, prepared by Intech Consultants, Inc., bearing a revision date of 5/23/19, consisting of three (3) sheets, prior to the issuance of a building permit for any additions to the existing single-family residence, and not more than one year after the date that the Final Plat of Subdivision is approved by the Board of Trustees.
3. The variation for the reduced side yard setback shall only apply to the existing single-family residence that exists on the property as of the date of the application, and does not apply to any other structure, including any new residence built on the property.
4. A Letter of Credit in an amount of no less than \$40,833.50 shall be submitted to the Village to guarantee the construction of all public improvements associated with the Reyes Subdivision.

ROLL CALL: AYES: Chairman Kopp, Commissioners Kaucky, Soukup, Remkus, and Walec;  
NAYS: None. ABSENT: Vice Chairman Wagner, Commissioner Ruffalo.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

## FINDINGS OF FACT

### Standards for Variations

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variation. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Applicant Finding:** The subject property includes the applicant's home, which they desire to continue using as their residence. Their desire is to expand the existing home at the side, onto the adjacent lot which they acquired for that purpose. The ordinance would require them to remove the northern, currently conforming, portion of the existing home as a condition of consolidating the two lots. Removal of the conforming home, just to rebuild a few feet to the south, would be economically prohibitive.

**Staff Finding:** The applicant demolished the existing home on the 6406 Clarendon Hills Road lot in late 2018 so that an addition could be built to the existing single-family residence on the 6350 Clarendon Hills Road lot sometime in the future. In order to accommodate this future addition, the relocation of an existing 6" water main was necessary since it ran directly between the two lots, and would run underneath any future expansion of the existing home. The applicant was required to go through the subdivision process to facilitate the relocation of the water main. The consolidation of the two lots required a variation from the zoning ordinance due to a nonconformity (interior side yard setback) that would result from the act of consolidation. The approval of the requested variation would allow the existing single-family residence to be considered a legal structure and this would allow the consolidation under the Subdivision Ordinance to be approved because it would meet all requirements under the Subdivision Ordinance. Without the approval of the variation, the consolidation of the lots could not occur. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the R-2 Single-family Residence District.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Applicant Finding:** The location of the existing home conforms with the zoning ordinance, and matches the distance between home and lot line and from home to home in the neighborhood. Allowing the existing home to remain in its current location, rather than require the removal of the home as a condition of the required consolidation of the two lots, alleviates the unusual and unnecessary requirement of removal of a substantial portion of the home to meet the new setback based on the increased width of the lot.

**Staff Finding:** If the strict letter of the regulations were carried out, the applicant would be required to remove the portion of the existing residence that encroaches in the newly nonconforming interior side yard setback along the north property line. Another alternative would be to pick up the entire residence from its foundation and setting it down less than six feet to the south. The variation will allow the applicant and property owner to maintain her existing home on two lots that she currently owns, without requiring the applicant/property owner to remove the portion of the structure that encroaches in the new interior side yard setback, or relocate the entire home, both of which would be cost prohibitive.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Applicant Finding:** The home was set in its current location long ago, prior to the current owner's (the applicant's) involvement. The current owners did not create the ordinance requirement nor the application of the ordinance in this context, the addition of land on the far side of a lot from a home located in a conforming location relative to the adjacent home.

**Staff Finding:** The hardship has been created by the simple act of consolidating the two residential lots. The applicant's home and lot currently conform to all bulk regulations, including the interior side yard setback, required by the R-2 zoning district (the underlying zoning district of the subject properties). The applicant merely desires to consolidate the adjacent lot, which they recently acquired, with their existing property, in order to build an addition to their existing home over the lot line (between the two lots) at some future time. An existing 6" water main that runs between the two lots makes it infeasible for a planned expansion along the southern portion of the existing residence. In the event of a potential water main rupture, the Village could not wait while the property owner makes arrangements to disassemble a connecting link bridge to bring in a backhoe to repair the break. It is therefore necessary to vacate the current easement and dedicate a new easement for the relocation of the water main. In order to facilitate this project, the two residential lots would first need to be consolidated through the subdivision process.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Applicant Finding:** The home, currently conforming relative to its relation to the neighboring property, will remain in its current location. No injury nor detriment will result from the existing home remaining in its present location, nor will the preservation of the existing conforming home be injurious or detrimental to the public welfare, nor injurious to other property in the neighborhood.

**Staff Finding:** The proposed variation will allow the applicant/property owner to maintain her existing home on two lots that she currently owns. The existing residence will maintain the same distance from the north property line after lot consolidation. The applicant is not proposing to redevelop the consolidated lot with a new building; the variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built. The proposed variation to relieve the petitioner of the requirement to conform to the minimum requirements of the zoning ordinance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Applicant Finding:** The home will remain in its current location relative to its neighbor – so there will be no negative restriction on either light or air. There will be one rather than two homes, so to that extent, congestion should be reduced. No negative impact to fire nor public safety will result.

**Staff Finding:** The proposed variation will allow the applicant/property owner to maintain her existing home on two lots that she currently owns. The existing residence will maintain the same distance from the north property line after lot consolidation. The applicant is not proposing to redevelop the consolidated lot with a new building; the variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built. Therefore, the proposed variation will not impair an adequate supply of light and air to the adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

- (F) The proposed variation will not alter the essential character of the locality.

**Applicant Finding:** The essential character of the locality is single-family residential, which will not be altered.

**Staff Finding:** The existing residence will maintain the same setback distance from the north property line after lot consolidation. No building alterations are being proposed as part of this application. The proposed variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built, and will not alter the essential character of the locality.

**(G)** The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997).

**Applicant Finding:** The proposed variation is in harmony with the spirit and intent of the Code.

**Staff Finding:** The proposed variation is in harmony with the spirit and intent of this title. The granting of the requested variation will allow the existing single-family residence to be considered a legal structure in order for the consolidation of two adjoining residential lots.

**EXHIBIT C**

FINAL PLAT OF SUBDIVISION  
DATED 2/5/2019 AND BEARING THE LATEST REVISION DATE OF 4/9/2019  
(1 SHEET)





**EXHIBIT D**

FINAL ENGINEERING DRAWINGS  
BEARING THE LATEST REVISION DATE OF 5/23/2019  
(3 SHEETS)

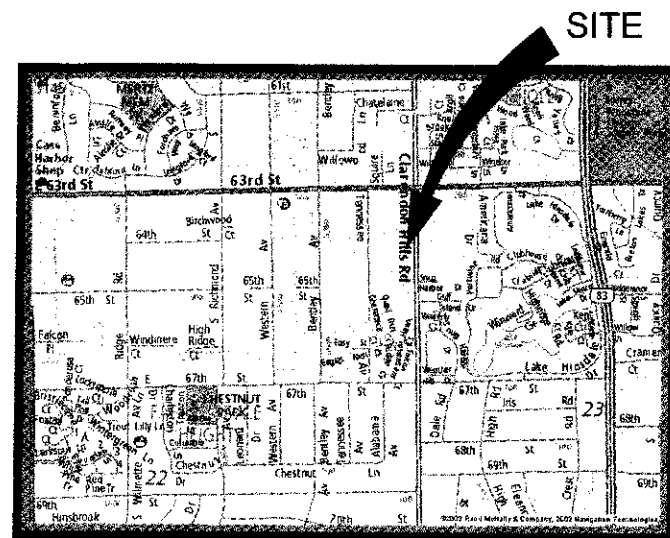
FINAL ENGINEERING  
**CLARENDON HILLS**  
WATERMAIN RELOCATION  
WILLOWBROOK, ILLINOIS

**OWNER/DEVELOPER:**

MAUREEN & MARC REYES  
6350 CLARENDON HILLS ROAD  
WILLOWBROOK, ILLINOIS

**ENGINEER:**

INTECH CONSULTANTS, INC.  
1989 UNIVERSITY LANE, SUITE D  
LISLE, ILLINOIS 60532-4500  
PHONE NO.: 630-964-5656  
E-MAIL: [seifert@intechconsultants.com](mailto:seifert@intechconsultants.com)  
ILLINOIS REGISTRATION NUMBER 184-001040



## INDEX

1. COVER SHEET
2. PLAN
3. SPECIFICATIONS AND DETAILS

**LOCATION MAP**  
NOT TO SCALE

## BENCHMARKS

**CONTROL BENCHMARKS:**



























**BRONZE DISK LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF ROUTE 34 (OGDEN AVENUE ) AND CASS AVENUE.  
ELEVATION 746.26 (NAVD 88)**

**BRASS DISK LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF GARFIELD AVENUE AND EAST HINSDALE ROAD.  
ELEVATION 988.82 (NAVD 88)**

**SITE BENCHMARK:**

**RIM OF SANITARY STRUCTURE LOCATED NORTHEAST OF SIT.  
ELEVATION 735.01 (NAVD 88)**

## LEGEND

EXISTING	PROPOSED	
		SANITARY SEWER
		STORM SEWER
		WATERMAIN
		OVERHEAD WRES
		INLET
		MANHOLE WITH CLOSED LID
		MANHOLE WITH OPEN LID
		FLARED END SECTION
		VALVE IN VAULT
		VALVE AND BOX
		YARD LIGHT
		POWER POLE
		PEDESTAL
		CURB & GUTTER
		SPOT ELEVATION
		CONTOUR
		TREE
		PINE
		SHRUB
		BUSHES
		CALLOUT FOR SANITARY MANHOLE
		CALLOUT FOR STORM STRUCTURE

FOR UNDERGROUND UTILITY  
LOCATIONS, CALL  
J.U.L.I.E.  
TOLL FREE  
TEL. 800-892-0123

REVIEW SET  
NOT FOR CONSTRUCTION

**INTECH CONSULTANTS, INC.**  
**ENGINEERS • SURVEYORS**  
399 UNIVERSITY LANE, SUITE D  
JOLIET, ILLINOIS 60532  
PHONE: 630-564-5566  
ILLINOIS REGISTRATION No. 154-001040

MAUREEN & MARC REYES  
6350 CLARENDON HILLS RD  
WILLOWBROOK, IL

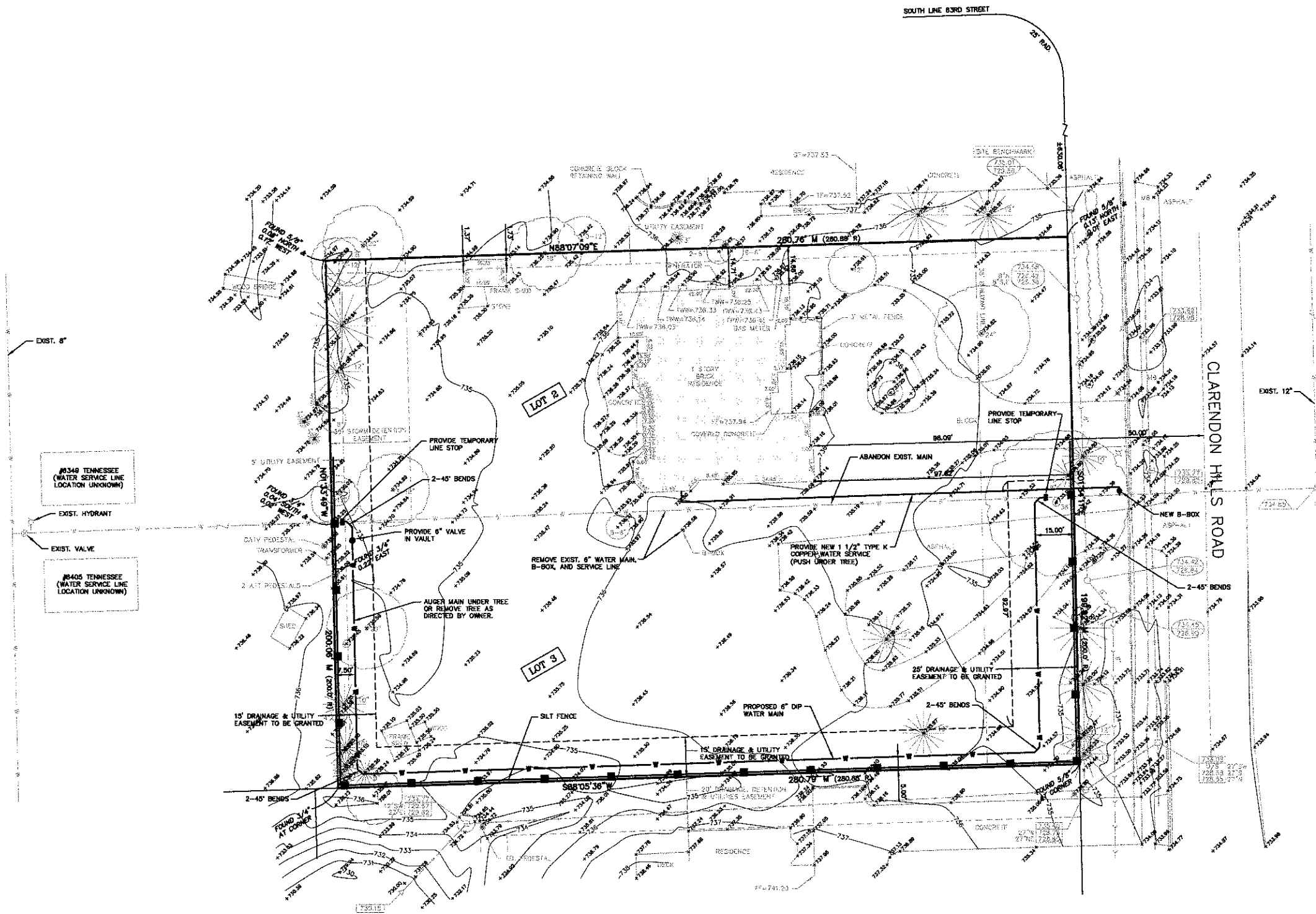
6350 CLARENDON HILLS RD  
WATERMAIN  
RELOCATION

COVER SHEET

SCALE	NONE
DATE	4-9-19
DRAWN	SJP
DESIGNED	EFS
PROJECT NO.	7188
SHEET	OF
1	3

6350 CLARENDON HILLS RD WATERMAIN RELOCATION

TENNESSEE AVENUE



NOTES:

1. THE NEW SERVICE LINE FOR THE EXISTING RESIDENCE SHALL BE INSTALLED AND THE HOUSE CONNECTED TO THE NEW SERVICE LINE PRIOR TO THE START OF THE BALANCE OF THE PROPOSED CONSTRUCTION SO THAT SERVICE TO THE EXISTING RESIDENCE IS NOT INTERRUPTED BY CONSTRUCTION.
2. THE CONTRACTOR SHALL TAKE EXTREME CARE TO MINIMIZE THE DAMAGE TO THE ROOT SYSTEM OF THE 36" TREE IN THE FRONT YARD. ROOTS SHOULD BE CUT/PRUNED IN THE VICINITY OF THE EXCAVATION, AND TRENCHES KEPT TO THE MINIMUM WIDTH NECESSARY TO INSTALL THE NEW MAIN.
3. THIS PLAN ILLUSTRATES THE USE OF TWO TEMPORARY LINE STOPS AND THE INSTALLATION OF A NEW WATER MAIN. HOWEVER, IF THE CONTRACTOR DESIRES TO DO SO, WITH THE PRIOR APPROVAL OF THE VILLAGE OF WILLOWBROOK, THE CONTRACTOR MAY BE ABLE TO ISOLATE THE AREA, PRESSURE TEST AND CHLORINATE BETWEEN THE EXISTING VALVES ON CLARENDON HILLS ROAD AND TENNESSEE AVENUE AND ELIMINATE THE LINE STOPS AND THE PROPOSED VALVE, PROVIDED THAT:
  - A) THE SERVICE TAPS FOR 6349 TENNESSEE AVENUE AND 6405 TENNESSEE AVENUE ARE NOT CONNECTED TO THE MAIN BETWEEN THE TWO VALVES.
  - B) THE CONTRACTOR ACCEPTS ANY AND ALL RISKS AND ASSUMES ALL COSTS ASSOCIATED WITH THE PRESSURE TESTING AND CHLORINATION OF THE EXISTING PIPING BETWEEN THE TWO VALVES, INCLUDING BUT NOT LIMITED TO THE REPAIR AND/OR REPLACEMENT OF THE OFFSITE PORTIONS OF THE MAIN AND ANY RESTORATION OF OFFSITE AREAS THAT ARE DISTURBED BY ANY SUCH REPAIRS AND OR REPLACEMENTS THAT BECOME NECESSARY.
4. ALL DISTURBED ONSITE AREAS SHALL BE RESTORED WITH A MINIMUM OF 6" OF TOPSOIL AND SOD, UNLESS DIRECTED OTHERWISE BY THE OWNER.

REVIEW SET  
NOT FOR CONSTRUCTION

INTECH CONSULTANTS, INC.  
1889 UNIVERSITY LANE, SUITE D  
WILLOWBROOK, IL 60092  
PHONE: 630-384-5656

MAUREEN & MARC REYES  
6350 CLARENDON HILLS RD  
WILLOWBROOK, IL

6350 CLARENDON HILLS RD  
WATERMAIN  
RELOCATION

PLAN

SCALE	1"=20'
DATE	4-9-19
DRAWN	SJP
DESIGNED	EFB
PROJECT NO.	7188
SHEET	2 OF 3

# GENERAL NOTES

## 1. DEFINITION OF TERMS:

- THE CONTRACTOR IS THE INDIVIDUAL, FIRM, PARTNERSHIP, OR CORPORATION CONTRACTING WITH THE OWNER FOR PERFORMANCE OF THE PRESCRIBED WORK.
- THE OWNER IS THE INDIVIDUAL, FIRM, PARTNERSHIP, OR CORPORATION HAVING THE AUTHORITY TO AWARD THE CONTRACT FOR THE PRESCRIBED WORK.
- THE ENGINEER WHERE SPECIFICALLY REFERRED TO IN THE SPECIAL PROVISIONS SHALL BE THE OWNER'S REPRESENTATIVE.

## 2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE FOLLOWING, WHICH SHALL ALSO BE INCIDENTAL TO THE COST OF CONSTRUCTION:

- EXAMINATION OF THE ENGINEERING PLANS AND SPECIFICATIONS AND THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID, AND NOTIFYING THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
- THE OBTAINING OF ANY NECESSARY PERMITS NOT PREVIOUSLY APPLIED FOR BY THE OWNER, AND POSTING OF THE NECESSARY BONDS.
- THE NOTIFICATION OF THE START OF CONSTRUCTION TO ALL JURISDICTIONAL AGENCIES, UTILITY COMPANIES, AND THE ENGINEER, AT LEAST TWO (2) WORKING DAYS PRIOR TO SAID START. ALL EXISTING UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION AND BE PROTECTED DURING CONSTRUCTION.
- CALLING ATTENTION TO THE OWNER OF ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THE LINES AND GRADES WHICH ARE BELIEVED TO BE IN ERROR HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER. ADDITIONAL STAKING THAT MAY BE REQUIRED DUE TO CONTRACTOR NEGLIGENCE SHALL BE PAID FOR BY THE CONTRACTOR.
- THE PROVIDING OF SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE PROSECUTION OF THE CONSTRUCTION WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF DEBRIS, THE PROTECTING OF CONSTRUCTION HAZARDS WITH BARRICADES, AND THE KEEPING OF PUBLIC STREET PAVEMENTS CLEAN OF CONSTRUCTION DIRT AND DEBRIS.
- THE RESTORATION TO THE ORIGINAL CONDITION OR BETTER OF ANY OFFSITE AREAS THAT ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION.
- THE TESTING OF MATERIALS, IF REQUIRED BY THE OWNER AND/OR THE JURISDICTIONAL AGENCIES.
- THE GUARANTEE OF ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR UPON FINAL ACCEPTANCE BY THE OWNER AND THE JURISDICTIONAL AGENCIES.
- THE TRAFFIC CONTROL AND PROTECTION OF ALL WORK CONDUCTED WITHIN PUBLIC RIGHTS-OF-WAY, SHALL BE IN ACCORDANCE WITH THE APPLICABLE ARTICLES OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ILLINOIS SUPPLEMENT TO THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

## 3. THE OWNER SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- SCHEDULING THE NECESSARY PRE-CONSTRUCTION MEETING(S) WITH THE JURISDICTIONAL AGENCIES.
- THE ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING:
  - TO PERIODICALLY VISIT THE CONSTRUCTION SITE IN ORDER TO BETTER CARRY OUT THE DUTIES AND RESPONSIBILITIES ASSIGNED BY THE OWNER AND UNDERTAKEN BY THE ENGINEER.
  - THE ENGINEER SHALL NOT, DURING SUCH VISITS OR AS A RESULT OF SUCH OBSERVATIONS OF THE CONTRACTOR(S) WORK IN PROGRESS, SUPERVISE, DIRECT, OR HAVE CONTROL OVER THE CONTRACTOR(S) WORK, NOR SHALL THE ENGINEER HAVE AUTHORITY OVER OR RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR(S), FOR SAFETY PRECAUTIONS AND PROGRAMS INCIDENT TO THE WORK OF THE CONTRACTOR(S), OR FOR ANY FAILURE OF THE CONTRACTOR(S) TO COMPLY WITH LAWS, RULES, REGULATIONS, ORDINANCES, CODES OR ORDERS APPLICABLE TO THE CONTRACTOR(S) FURNISHING AND PERFORMING THEIR WORK. ACCORDINGLY, THE ENGINEER CAN NEITHER GUARANTEE THE PERFORMANCE OF THE CONSTRUCTION CONTRACTS BY THE CONTRACTOR(S) NOR ASSUME RESPONSIBILITY FOR THE CONTRACTOR(S) FAILURE TO FURNISH AND PERFORM THEIR WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

## STANDARD SPECIFICATIONS

- THE STANDARD SPECIFICATIONS WHICH APPLY TO THE CONSTRUCTION WORK AS SHOWN ON THE ENGINEERING PLANS ARE CONTAINED IN THE FOLLOWING DOCUMENTS:
  - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION BY THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION.
  - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" AS ADOPTED JULY 2009 BY THE ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
  - STANDARD SPECIFICATIONS AS CURRENTLY IN EFFECT BY THE LOCAL JURISDICTIONAL AGENCY.
- IN THE EVENT OF A CONFLICT BETWEEN STATEMENTS WHICH APPLY TO THE CONSTRUCTION WORK, THE STATEMENT CONTAINED WITHIN THE DOCUMENT FIRST ENUMERATED BELOW SHALL GOVERN:
  - SPECIAL PROVISIONS
  - GENERAL NOTES
  - NOTES AND DETAILS ON THE ENGINEERING PLANS
  - STANDARD SPECIFICATIONS, AS DEFINED IN PARAGRAPH 1 ABOVE.

# SPECIAL PROVISIONS

## 1. UNDERGROUND IMPROVEMENTS

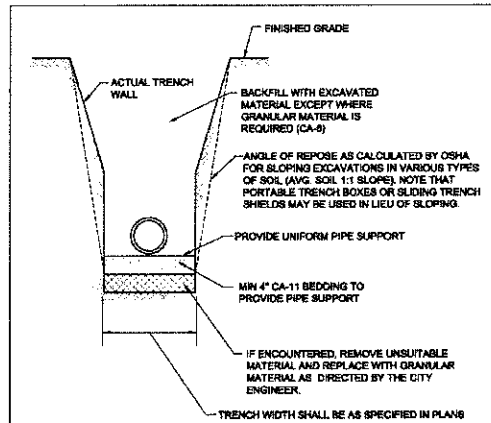
### A. WATER MAIN AND SERVICES

- MATERIAL FOR THE WATER MAIN SHALL BE DUCTILE IRON PIPE, WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ANSI/AWWA C151/A21.5-02 (OR LATEST EDITION), CLASS 52 MINIMUM THICKNESS DESIGNATION. WATER SERVICE MATERIAL SHALL BE TYPE "K" COPPER.
- JOINTS FOR THE DUCTILE IRON PIPE SHALL BE THE PUSH-ON (BELL-TITE) TYPE, AWWA C600-99 (OR LATEST EDITION).
- COVER OVER THE PIPE SHALL BE AS INDICATED ON THE ENGINEERING PLANS.
- POLYETHYLENE ENCASEMENT, CONFORMING TO AWWA C105-82 SHALL BE PROVIDED FOR ALL DUCTILE IRON PIPE PLACED IN CORROSIVE SOILS, AS DETERMINED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- SERVICES SHALL TERMINATE AT THE VALVE BOX (SINGLE FAMILY DEVELOPMENT), OR TO WITHIN FIVE (5) FEET FROM THE FACE OF A PROPOSED BUILDING BEING SERVED (MULTI-FAMILY AND COMMERCIAL DEVELOPMENT). THE TERMINATION POINTS SHALL BE CLEARLY LOCATED WITH A BLUE-TOPPED 4-INCH X 4-INCH STAKE.
- SIZES SHALL BE AS INDICATED ON THE ENGINEERING PLAN.

### B. INCIDENTAL TO CONSTRUCTION

#### THE UNDERGROUND CONTRACTOR SHALL:

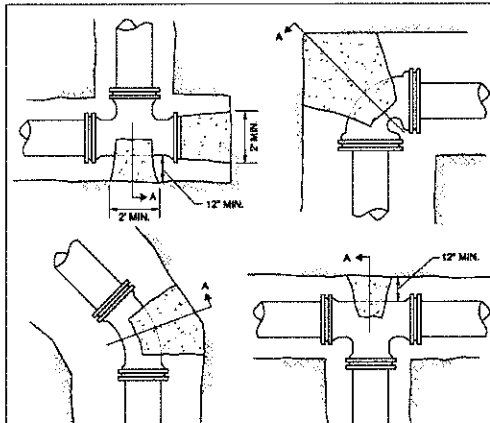
- ADHERE TO THE CRITERIA FOR THE SEPARATION BETWEEN WATER MAINS AND THE STORM AND SANITARY SEWER LINES AS DESCRIBED IN THE "TECHNICAL POLICY STATEMENTS", DIVISION OF PUBLIC WATER SUPPLIES, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (SEE STANDARD SPECIFICATIONS).
- BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES. THE CONTRACTOR SHALL EXCAVATE AROUND THE EXISTING UTILITIES TO DETERMINE THEIR EXACT LOCATION AND ELEVATION PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY IMPROVEMENTS.
- BE RESPONSIBLE FOR MAINTAINING THE TOP OF ANY UTILITY TRENCH AT LEAST TWO (2) FEET AWAY FROM ANY EXISTING OR PROPOSED CURB OR PAVEMENT. IN THOSE INSTANCES WHERE THE TRENCH RUNS PARALLEL TO SAID CURB OR PAVEMENT.
- BE RESPONSIBLE FOR THE DEWATERING OF UTILITY TRENCHES DURING CONSTRUCTION AND PROVIDING THE NECESSARY TRENCH BRACING THAT MAY BE REQUIRED TO ASSURE SAFE WORKING CONDITIONS.
- REMOVE SOFT MATERIALS THAT MAY BE ENCOUNTERED AT THE PIPE INVERT ELEVATION TO A DEPTH OF AT LEAST ONE (1) FT. BELOW THE BOTTOM OF THE PIPE, AND BACKFILL WITH COMPACTED BEDDING MATERIAL.
- NOT DAMAGE THE ROAD SUBGRADE WITH EXCESSIVE WATER SATURATION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM. THE COST OF REPAIR FOR SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. HOSES SHOULD BE USED TO DIRECT THE WATER FROM HYDRANT FLUSHING INTO THE STORM SEWER SYSTEM (IF AVAILABLE).
- REPAIR ANY EXISTING FIELD DRAINAGE TILE DAMAGED DURING CONSTRUCTION, AND PROPERLY REROUTED AND/OR CONNECT SAID TILE TO THE NEAREST STORM SEWER OUTLET. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILE SHALL BE PROPERLY INDICATED ON THE CONTRACTOR'S RECORD DRAWING.
- FURNISH ONE (1) SET OF RECORD DRAWINGS TO THE ENGINEER UPON COMPLETION OF THE SANITARY SEWERS AND WATER MAINS. DRAWINGS SHALL SHOW THE LOCATION OF ALL SANITARY SEWER WYES MEASURED FROM THE NEAREST DOWNSTREAM MANHOLE, HYDRANTS, VALVES, INDIVIDUAL SERVICE BOXES, AND ALL CROSSINGS WITH OTHER UTILITIES.
- BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS APPLICABLE.
- TESTING AND FINAL ACCEPTANCE
  - WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL REQUIREMENTS PRIOR TO ITS FINAL ACCEPTANCE. THE PRESSURE AND LEAKAGE TESTS AND DISINFECTION OF THE MAINS SHALL BE AS DESCRIBED IN THE "STANDARD SPECIFICATIONS" UNLESS THE LOCAL REQUIREMENTS ARE MORE RESTRICTIVE. ALL VALVE VAULTS SHALL BE CLEAN AND FREE OF DEBRIS AND WATER, AND INDIVIDUAL SERVICE BOXES SHALL BE VISIBLE AND CLEARLY LOCATED PRIOR TO THEIR FINAL ACCEPTANCE.



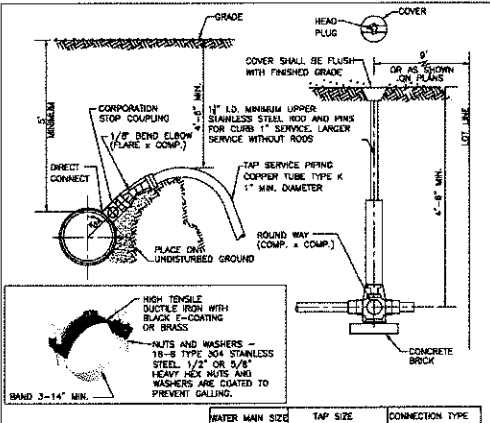
## NOTES:

- IN PAVED AREAS ALL TRENCHES SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 650.07 OF THE DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, METHOD 1, 95% MINIMUM STANDARD PROCTOR.
- DUCTILE IRON WATER MAIN TO BE CLASS 52. ALL DUCTILE IRON PIPE IS TO BE ENCASED IN POLYETHYLENE FILM. POLYETHYLENE ENCASEMENT TO BE INSTALLED IN ACCORDANCE WITH AWWA C105A21.5-99 (OR LATEST EDITION).
- STAINLESS STEEL NUTS, BOLTS, BOLTS, AND WASHERS, TYPE 304 OR BETTER, WILL BE REQUIRED ON ALL WATER MAIN INSTALLATIONS. THIS WOULD APPLY TO HYDRANTS, TAPPING SLICES, VALVES, FITTINGS, RESTRAINT, AND OTHER APPURTENANCES BURIED OR IN VALVE VAULTS. MECHANICAL JOINTS AND RESTRAINT GLANDS REQUIRE 304 STAINLESS STEEL T-BOLTS. AN ANTI-SEIZE COMPOUND SHALL BE FACTORY APPLIED TO NUTS OR BOLTS - ANY DAMAGE TO THIS COATING SHALL BE REPAIRED WITH FIELD-APPLIED, APPROVED ANTI-SEIZE COMPOUND THAT IS A MOLYBDENUM-BASED LUBRICANT, SLOTTIX NEVER-SEIZ OR APPROVED EQUAL.

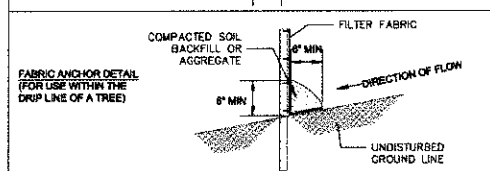
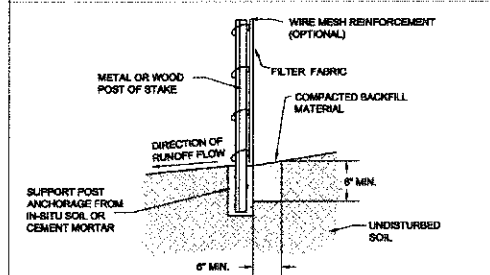
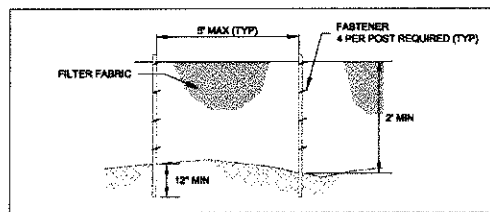
## WATER MAIN TRENCH SECTION



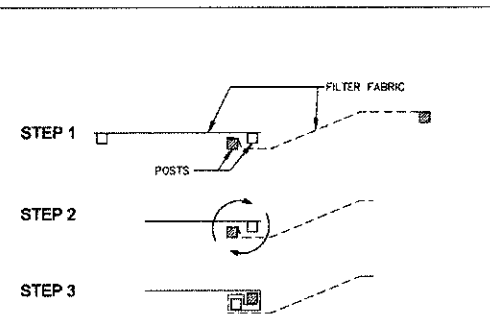
## THRUST BLOCK



## SERVICE TAP AND CONNECTION



## TEMPORARY EROSION CONTROL MEASURE - SILT FENCE



- STEPS FOR THE ATTACHMENT OF TWO SILT FENCES:
- PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
  - ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.
  - DRIVE BOTH POSTS A MINIMUM OF 18 INCHES INTO THE GROUND AND BURY THE FLAP.

- NOTES:
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  - FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 502 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NON-WOVEN OR 60 FOR WOVEN.
  - FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
  - DEPENDENT UPON THE CONFIGURATION, ATTACH FABRIC AND WIRE MESH WITH HOG RINGS, STEEL POST WITH THE WIRES, WOOD POST WITH NAILS.

INTECH CONSULTANTS, INC.  
ENGINEERS - SURVEYORS  
1889 UNIVERSITY LANE, SUITE D  
LIBLE, ILLINOIS 60532  
PHONE: 630-964-5656  
ILLINOIS REGISTRATION NO. 184-001040

MAUREEN & MARC REYES  
6350 CLARENDON HILLS RD  
WILLOWBROOK, IL

6350 CLARENDON HILLS RD  
WATERMAIN  
RELOCATION

SPECIFICATIONS  
AND DETAILS

SCALE: NONE  
DATE: 4-9-19  
DRAWN: SJP  
DESIGNED: EFS  
PROJECT NO: 7188  
SHEET: 3 OF 3

REVIEW SET  
NOT FOR CONSTRUCTION



## Village of Willowbrook

### Staff Report to the Village Board

**Village Board:**

**Receive** July 22, 2019  
**Ordinance Consideration** August 12, 2019

**Plan Commission:**

**Hearing Date** July 17, 2019

**Prepared By:** Ann Choi, Planning Consultant

**Case Title:** **Reyes Subdivision (Two Residential Lot Consolidation)**

**Petitioner:** Marc and Maureen Reyes  
6350 South Clarendon Hills Road, Willowbrook, IL 60527

**Action Requested:** Review and Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation) and Approval of Written Recommendation Regarding Final Plat for 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois (minor subdivision for two residential lot consolidation), a variation from Section 9-5B-3(D)2 of the Village of Willowbrook Zoning Ordinance to reduce the interior side yard setback from twenty feet (20') to fourteen and 66/100 feet (14.66') along the north property line, and consideration of other such relief, exceptions and variations from Title 9 of the Village Code.

**Purpose:** The consolidation of two existing residential lots into a single Lot of Record.

**Location:** 6350 and 6406 South Clarendon Hills Road, Willowbrook, Illinois.

**PINs:** 09-22-203-017 (Lot 2) and 09-22-203-018 (Lot 3)

**Existing Zoning:** R-2 Single-family Residential District

**Proposed Zoning:** R-2 Single-family Residential District

**Property Size:** 1.289 Acres

**Surrounding Land Use:**

	Use	Zoning
North	Single-family Residential	R-2
South	Single-family Residential	R-1A
East	Single-family Residential, Multiple Family Residential	R-1, R-5
West	Single-family Residential	R-2

**Necessary Action by  
By Village Board:**

**Consideration of Attached Ordinance.**



## **Documents Attached:**

- Attachment 1: Legal Description
- Attachment 2: Location Map (1 Sheet)
- Attachment 3: Engineering Drawings, bearing a revision date of 5/23/19 (3 Sheets)
- Attachment 4: Final Plat of Subdivision, bearing a revision date of 4/9/19 (1 Sheet)
- Attachment 5: Engineer's Review Letter (CBBEL), dated 5/23/ 2019, (1 Sheet)
- Attachment 6: Engineer's Estimate of Probable Cost, dated 5/17/ 2019, (1 Sheet)



## Background

### Introduction

Marc and Maureen Reyes, the current property owners of 6350 Clarendon Hills Road and 6406 Clarendon Hills Road ("applicant"), have filed an application seeking Final Subdivision Plat approval to consolidate the two lots located at 6350 Clarendon Hills Road and 6406 Clarendon Hills Road ("subject properties") into a single lot of record, together with the following relief:

1. A variation from Section 9-5B-3(D)2 to reduce the interior side yard setback from 20 feet to 14.66 feet along the north property line.

This application is subject to review by the Plan Commission regarding the subdivision, including the requested zoning relief describe above.

A mailed notice has been sent to property owners within 250 feet in compliance with Section 9-15-3 of the Zoning Ordinance. The public hearing was properly noticed for the variation request in the July 1, 2019 edition of *The Chicago Sun Times* newspaper.

### Description of Site and History

The subject properties are located on the west side of Clarendon Hills Road, just south of 63<sup>rd</sup> Street. The subject properties are Lots 2 and 3 in the Tudor Manor Subdivision, which was approved by the Village in 1978. The northern lot of the combined 1.289-acre subject property is currently improved with a one-story single-family home. In 2018, the single-family home located on the southern lot was demolished. Both lots compose the subject property, and the proposed consolidated lot measures approximately 200 feet by 280 feet with a total approximate area of 56,000 square feet. An existing 6-inch water main currently runs along the east-west property line between the two properties that will require relocation. The accompanying easement will need to be vacated and rededicated in accordance with current provisions as part of the subdivision process. The easement and water main relocation have been reviewed by the Village Engineer and is discussed in the Staff Analysis portion of this report.

The subject properties are located within the R-2 Single Family Residential Zoning District and currently consists of two (2) buildable lots measuring approximately 28,065 square feet (6350 Clarendon Hills Road) and approximately 28,065 square feet (6406 Clarendon Hills Road). The 6406 Clarendon Hills Road parcel is a vacant lot, previously improved with a single-family residence which was torn down in late 2018. The 6350 Clarendon Hills Road parcel is improved with an existing single-family residence. The existing parcels are depicted in **Exhibit 1** and **Exhibit 2** on the following page.

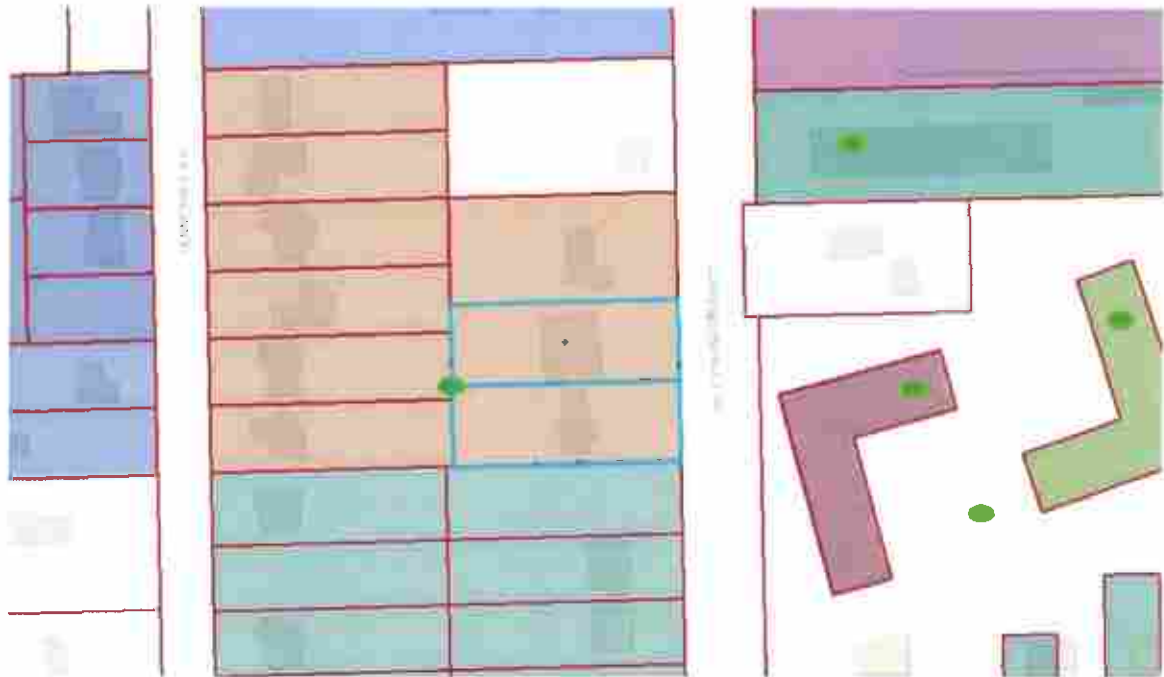
The Comprehensive Plan Land Use Plan designates the subject properties as appropriate for low density residential development. The current R-2 zoning designation is consistent with the Comprehensive Plan.

The applicant resides at 6350 Clarendon Hills Road. As previously stated, the residence at 6406 Clarendon Hills Road was demolished in late 2018 in preparation for the expansion of the existing home on 6350 Clarendon Hills Road. The applicant purchased the adjacent property at 6406 Clarendon Hills Road in 2018 for the purpose of consolidating with their lot at 6350 Clarendon Hills Road. If approved, the proposed subdivision would consolidate the two parcels into a single buildable lot with a lot area of approximately 56,000 square feet. The applicant has indicated to planning staff that an addition to their existing home is planned sometime in the future, but no architectural plans have been submitted to the Village at this time.





**Exhibit 1: Map View of the subject properties**



**Exhibit 2: Aerial View of the subject properties**



### **Surrounding Zones and Uses**

Surrounding zoning and uses include single-family residential lots in the R-2 zoning district to the north and west, single-family residential lots in the R-1A zoning district to the south, a single-family residential lot in the R-1 zoning district and a multi-family residential lot in the R-5 zoning district to the south ("The Lawns")



condominiums), and single-family residences in the R-2 zoning district to the west. The Comprehensive Plan designates the site for “Low Density Residential (1-4 dwelling units/acre)” uses, which corresponds to the R-2 Single-family Residential Zoning District.

**Exhibit 3: Zoning Map (R-2 Single-family Residential)**



### Existing Streets and Circulation

Clarendon Hills Road is designated as a Minor Arterial and forms the eastern boundary of the site with a required right-of-way width of 100 feet.

### Overview

#### Development Proposal

The applicant is requesting approval of a Final Plat of Subdivision for a two residential lot subdivision (lot consolidation). The applicant has also requested a waiver from the preliminary plat requirements. Because this subdivision meets the standards for a “minor subdivision”, as defined in Section 10-3-4(G) of the Subdivision Regulations, the preliminary plat may be waived by the zoning officer.

As previously stated, the property is zoned R-2. The proposed consolidated lot would meet the bulk standards of the R-2 zoning district, with the exception of the interior side yard setback. The existing single-family home located at 6350 Clarendon Hills Road currently complies with the R-2 interior side yard setback of 8.5 feet or 10% of the lot width, whichever is greater. After consolidation, however, a nonconformity would be created since the interior side yard setback would be calculated based on the new lot width of 200 feet. Thus, a variation to reduce the interior side yard setback is needed.

### Staff Analysis

#### Compliance with Zoning Standards

The extent to which the proposed lot complies with the minimum bulk regulations for the R-2 district are provided in **Exhibit 4** on the following page. Items highlighted in **RED** are items of zoning noncompliance. Staff evaluation of the proposed Reyes Subdivision indicates that one zoning nonconformity is created with respect to the required setback. The proposed subdivision therefore requires zoning relief from the minimum interior side yard setback requirement.



**Exhibit 4: R-2 Zoning District Compliance Table**

R-2 Zoning District				
Item	Code Section or Ordinance	Code Requirement	Proposed	Departure
Minimum Lot Area	9-5B-3(A)	13,000 square feet	56,000 square feet	None
Minimum Lot Width	9-5B-3(B)	75'	200'	None
Minimum Lot Depth	9-5B-3(C)	150'	280'	None
Minimum Front Yard Setback	9-5B-3(D)1	40'	98.09'	None
<b>Minimum Interior Side Yard Setback</b>	<b>9-5B-3(D)2</b>	<b>20'</b>	<b>14.66'</b>	<b>Yes</b>
Minimum Exterior Side Yard Setback	9-5B-3(D)3	40'	n/a	n/a
Minimum Rear Yard Setback	9-5B-3(D)4	30'	109.67'	None
Maximum Lot Coverage	9-5B-3(E)	30%	Approximately 9%	None
Maximum Height	9-5B-3(F)	35' or two stories, whichever is less	30'	None
Maximum Floor Area Ratio	9-5B-3(G)	0.30	Less than 0.30	None

#### **Compliance with Subdivision Standards**

All changes to the configuration of lot lines are subject to the Title 10 Subdivision Regulations, and are subject to review and approval by the Plan Commission and Village Board. As part of that review process, lot consolidations are subject to review for compliance with both the Village's Subdivision Regulations and the Zoning Ordinance.

The proposed subdivision complies with the requirements of Section 10-4-3 Design Layout Standards – Lots:

#### **(A) Sizes and Shapes:**

1. The lot size, width, depth and shape in any subdivision proposed for residential uses shall be appropriate for the location and the type of development contemplated.

**The proposed consolidation would meet the minimum requirements for lot area, lot width and lot depth in the R-2 zoning district. The proposed lot consolidation would result in a lot area of approximately 56,000 square feet, a lot width of approximately 200 feet, and a lot depth of approximately 280 feet. The shape of the consolidated lot would be regular and measure approximately 200 feet by 280 feet. The applicant is requesting a lot consolidation to allow for a future addition to the existing single-family residence that would potentially extend over the existing lot line between the subject properties. The lot size, width, depth and shape are appropriate for the location and the type of development contemplated.**

2. Lot areas and widths shall conform to at least the minimum requirements of the zoning ordinance for the district in which the subdivision is proposed.

**The minimum lot area and width for the R-2 zoning district are 13,000 square feet and 75 feet, respectively. The proposed consolidation would result in a lot area of approximately 56,000 square feet and a lot width of approximately 200 feet. Therefore, the lot area and width**



**would conform to the minimum requirements of the zoning ordinance for the district in which the subdivision is proposed.**

3. Building setback lines shall conform to at least the minimum requirements of the zoning ordinance.

**The proposed lot consolidation would not conform to the minimum interior side yard setback required by the zoning ordinance, and the applicant is therefore requesting approval of a variation from Section 9-5B-3(D)2 to meet the requirements of the Subdivision Ordinance and allow for the consolidation of the subject properties. The existing single-family residence currently conforms to the minimum requirements of the zoning ordinance. However, the proposed lot consolidation of the subject properties would create a nonconformity with regards to the interior side yard setback along the north property line. The required interior side yard setback is calculated based on the width of the lot; currently the interior side yard setback is 10% of the lot width, or 10 feet. The existing single-family home is currently setback from the north property line at a distance of 14.66 feet; therefore, it complies with the existing interior side yard setback requirement. After the proposed lot consolidation, the required interior setback would increase to 20 feet. The applicant is thus requesting a 26.7% reduction in the minimum interior side yard requirement to 14.66 feet. Approval of the variation from Section 9-5B-3(D)2 would cause the existing single-family residence to become a legal structure with regard to the interior side yard requirement and therefore building setback lines would conform to at least the minimum requirements of the zoning ordinance.**

4. Excessive lot depth in relation to width shall be avoided. A depth to width ratio of three to one (3:1) shall normally be considered a maximum. (Ord. 79-O-43, 11-26-1979)

**The lot depth is currently approximately 280 feet and the proposed lot width would be approximately 200 feet. The proposed lot consolidation would result in a lot depth to width ratio of 1.4:1, significantly lower than the 3:1 maximum requirement.**

5. Through lots having frontage on two (2) parallel streets are discouraged and shall only be permitted in circumstances where the Village Board determines that the health, safety and general welfare of the affected public will not be adversely impacted. (Ord. 05-O-17, 6-13-2005)

**This requirement is not applicable since the subject properties are not currently through lots and will not become through lots after consolidation.**

**(B) Arrangement:**

1. Every lot shall front on a street.

**The proposed lot consolidation would result in a lot that fronts on Clarendon Hills Road.**

2. Side lot lines shall be at right angles or radial to the street lines.

**The subject properties are located on the west side of Clarendon Hills Road. As indicated in the Final Plat of Subdivision, the side lot lines will be at right angles to Clarendon Hills Road.**



3. Streets and lots shall be arranged, to the extent possible, so as to assure that dwellings do not face rear or side yards of lots across streets wherever possible. Where such lot relationships are permitted to exist, through lots shall be screened from the street by berms or intensive and obscuring landscaping. (Ord. 79-O-43, 11-26-1979)

**The proposed lot consolidation will not alter the orientation of the existing single-family residence. The existing single-family residence currently faces Clarendon Hills Road and will continue to face Clarendon Hills Road after subdivision occurs.**

### **Subdivision Improvements**

The applicant wishes to consolidate the two residential lots in order to build an addition to their existing home over the lot line (between the two lots) at some future time. An existing 6" water main runs along the east-west lot line between the two residential lots which makes it infeasible for a future expansion along the southern portion of the existing residence. A new 6" water main will be relocated within a variable 15-foot and 25-foot wide drainage and utility easement that runs along the east, west and southern lot lines on Lot 3 of the Tudor Manor Subdivision as depicted in **Attachment 3**. The reason for the water main relocation is that in the event of a potential water main rupture in the future, the Village could not wait while the property owner makes arrangements to disassemble a connecting link bridge to bring in a backhoe to repair the break. It is therefore necessary to vacate the current easement and dedicate a new easement for the relocation of the water main. In order to facilitate this project, the two residential lots would first need to be consolidated through the subdivision process. The relocation of the water main will not affect water service to the existing homes on Clarendon Hills Road and Tennessee Avenue, and would not involve the relocation of any existing fire hydrants.

### **Wetlands/Stormwater Management**

The consolidation of two existing residential lots will not generate an increase of any net new impervious area. Therefore, no stormwater detention is required.

## **Findings of Fact**

### **Standards for Variations**

Section 9-14-4(E) of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

**(A)** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Applicant Finding:** The subject property includes the applicant's home, which they desire to continue using as their residence. Their desire is to expand the existing home at the side, onto the adjacent lot which they acquired for that purpose. The ordinance would require them to remove the northern, currently conforming, portion of the existing home as a condition of consolidating the two lots. Removal of the conforming home, just to rebuild a few feet to the south, would be economically prohibitive.

**Staff Finding:** The applicant demolished the existing home on the 6406 Clarendon Hills Road lot in late 2018 so that an addition could be built to the existing single-family residence on the 6350





Clarendon Hills Road lot sometime in the future. In order to accommodate this future addition, the relocation of an existing 6" water main was necessary since it ran directly between the two lots, and would run underneath any future expansion of the existing home. The applicant was required to go through the subdivision process to facilitate the relocation of the water main. The consolidation of the two lots required a variation from the zoning ordinance due to a nonconformity (interior side yard setback) that would result from the act of consolidation. The approval of the requested variation would allow the existing single-family residence to be considered a legal structure and this would allow the consolidation under the Subdivision Ordinance to be approved because it would meet all requirements under the Subdivision Ordinance. Without the approval of the variation, the consolidation of the lots could not occur. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the R-2 Single-family Residence District.

**(B)** The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Applicant Finding:** The location of the existing home conforms with the zoning ordinance, and matches the distance between home and lot line and from home to home in the neighborhood. Allowing the existing home to remain in its current location, rather than require the removal of the home as a condition of the required consolidation of the two lots, alleviates the unusual and unnecessary requirement of removal of a substantial portion of the home to meet the new setback based on the increased width of the lot.

**Staff Finding:** If the strict letter of the regulations were carried out, the applicant would be required to remove the portion of the existing residence that encroaches in the newly nonconforming interior side yard setback along the north property line. Another alternative would be to pick up the entire residence from its foundation and setting it down less than six feet to the south. The variation will allow the applicant and property owner to maintain her existing home on two lots that she currently owns, without requiring the applicant/property owner to remove the portion of the structure that encroaches in the new interior side yard setback, or relocate the entire home, both of which would be cost prohibitive.

**(C)** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Applicant Finding:** The home was set in its current location long ago, prior to the current owner's (the applicant's) involvement. The current owners did not create the ordinance requirement nor the application of the ordinance in this context, the addition of land on the far side of a lot from a home located in a conforming location relative to the adjacent home.

**Staff Finding:** The hardship has been created by the simple act of consolidating the two residential lots. The applicant's home and lot currently conform to all bulk regulations, including the interior side yard setback, required by the R-2 zoning district (the underlying zoning district of the subject properties). The applicant merely desires to consolidate the adjacent lot, which they recently acquired, with their existing property, in order to build an addition to their existing home over the lot line (between the two lots) at some future time. An existing 6" water main that runs between the two lots makes it infeasible for a planned expansion along the southern portion of the existing residence. In the event of a potential water main rupture, the Village could not wait while the property owner makes arrangements to disassemble a connecting link bridge to bring in a backhoe



to repair the break. It is therefore necessary to vacate the current easement and dedicate a new easement for the relocation of the water main. In order to facilitate this project, the two residential lots would first need to be consolidated through the subdivision process.

**(D)** The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Applicant Finding:** The home, currently conforming relative to its relation to the neighboring property, will remain in its current location. No injury nor detriment will result from the existing home remaining in its present location, nor will the preservation of the existing conforming home be injurious or detrimental to the public welfare, nor injurious to other property in the neighborhood.

**Staff Finding:** The proposed variation will allow the applicant/property owner to maintain her existing home on two lots that she currently owns. The existing residence will maintain the same distance from the north property line after lot consolidation. The applicant is not proposing to redevelop the consolidated lot with a new building; the variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built. The proposed variation to relieve the petitioner of the requirement to conform to the minimum requirements of the zoning ordinance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**(E)** The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Applicant Finding:** The home will remain in its current location relative to its neighbor – so there will be no negative restriction on either light or air. There will be one rather than two homes, so to that extent, congestion should be reduced. No negative impact to fire nor public safety will result.

**Staff Finding:** The proposed variation will allow the applicant/property owner to maintain her existing home on two lots that she currently owns. The existing residence will maintain the same distance from the north property line after lot consolidation. The applicant is not proposing to redevelop the consolidated lot with a new building; the variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built. Therefore, the proposed variation will not impair an adequate supply of light and air to the adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**(F)** The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

**Applicant Finding:** The essential character of the locality is single-family residential, which will not be altered.

**Staff Finding:** The existing residence will maintain the same setback distance from the north property line after lot consolidation. No building alterations are being proposed as part of this application. The proposed variation would merely allow the existing single-family residence to remain and exist in the same location as it has since it was built, and will not alter the essential character of the locality.

**(G)** The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)



**Applicant Finding:** The proposed variation is in harmony with the spirit and intent of the Code.

**Staff Finding:** The proposed variation is in harmony with the spirit and intent of this title. The granting of the requested variation will allow the existing single-family residence to be considered a legal structure in order for the consolidation of two adjoining residential lots.

### **Staff Recommendation**

Staff has found the application materials to be complete and the Final Plat to be in compliance with the Zoning and Subdivision Codes. Staff recommends that the Plan Commission recommend to the President and Village Board approval of a variation from Section 9-5B-3(D)2 of the Village of Willowbrook Zoning Ordinance to reduce the interior side yard setback from twenty feet (20') to fourteen and 66/100 feet (14.66') along the north property line, and a Final Plat of Subdivision in the R-2 District for the subject property legally described in **Attachment 1**, subject to the following plans and conditions listed below:

1. Final Plat of Subdivision of "Reyes Subdivision", prepared by Intech Consultants, Inc., bearing a revision date of 4/9/2019, consisting of one (1) sheet.
2. The applicant shall complete all of the water main improvements depicted on the Final Engineering Drawings, prepared by Intech Consultants, Inc., bearing a revision date of 5/23/19, consisting of three (3) sheets, prior to the issuance of a building permit for any additions to the existing single-family residence, and not more than one year after the date that the Final Plat of Subdivision is approved by the Board of Trustees.
3. The variation for the reduced side yard setback shall only apply to the existing single-family residence that exists on the property as of the date of the application, and does not apply to any other structure, including any new residence built on the property.
4. A Letter of Credit in an amount of no less than \$40,833.50 shall be submitted to the Village to guarantee the construction of all public improvements associated with the Reyes Subdivision.

### **Public Hearing and Recommendation**

The Plan Commission conducted a public hearing on this petition at their July 17, 2019 meeting. The following members were in attendance: Chairman Dan Kopp, Commissioners Kaucky, Soukup, Remkus and Walec. There were three members of the public that came forward with public comments. The first speaker, a neighbor directly across the street, voiced some concern regarding wood chipping during the previous Saturday and Sunday evenings, and complained that it was very disruptive. She wanted to ensure that landscaping maintenance would not occur on Saturday or Sunday evenings. The second speaker asked whether the proposed consolidation would give the property owner an opportunity to build a much bigger structure on it in the future and still maintain the 14-foot setback? Planner Choi responded that the applicant was not requesting a rezoning, and that the property owner would be allowed to build up to the maximum set forth in the bulk regulations. Chairman Kopp also stated that if the existing structure were to be torn down, and a bigger structure put up, the approved variation would not apply.

A third speaker inquired about the public comment letters that were submitted to the Plan Commission. Chairman Kopp explained the letters were complaints about the tear down of the existing trees on the Reyes' properties. Maureen Reyes, applicant, explained that the trees were torn down after she consulted with an arborist and the arborist confirmed they were dead, or were near dead.





## **Motion**

Following staff's report and the Plan Commission's discussion, the following motion by Commissioner Remkus was seconded by Commissioner Walec and approved by a unanimous roll call vote of the members present:

**Based on the submitted petition and testimony provided, I move that the Plan Commission finds that the proposed Reyes Subdivision Final Plat of Subdivision consolidating 6350 Clarendon Hills Road and 6406 Clarendon Hills Road into a single Lot of Record, which requires a variation from Section 9-5B-3(D)2 of the Zoning Ordinance to reduce the minimum interior side yard setback along the north property line, meets the Subdivision Regulation standards for approving such final plat and associated variations; that the Plan Commission approve and adopt the Standards for Variations outlined in the Staff Report for PC 19-02 for the July 17, 2019 Plan Commission meeting; that the Plan Commission recommend to the Village Board approval of a variation from Section 9-5B-3(D)2 to reduce the minimum interior side yard setback along the north property line; and the Plan Commission has reviewed the Final Plat of Subdivision and recommends approval of a Final Plat of Subdivision for PC 19-02 for the July 17, 2019 Plan Commission meeting, subject to the conditionals of approval and plans listed in the Staff Report prepared for PC 19-02 for the July 17, 2019 Plan Commission meeting.**



**Attachment 1**  
**Legal Description**

**PINS:**

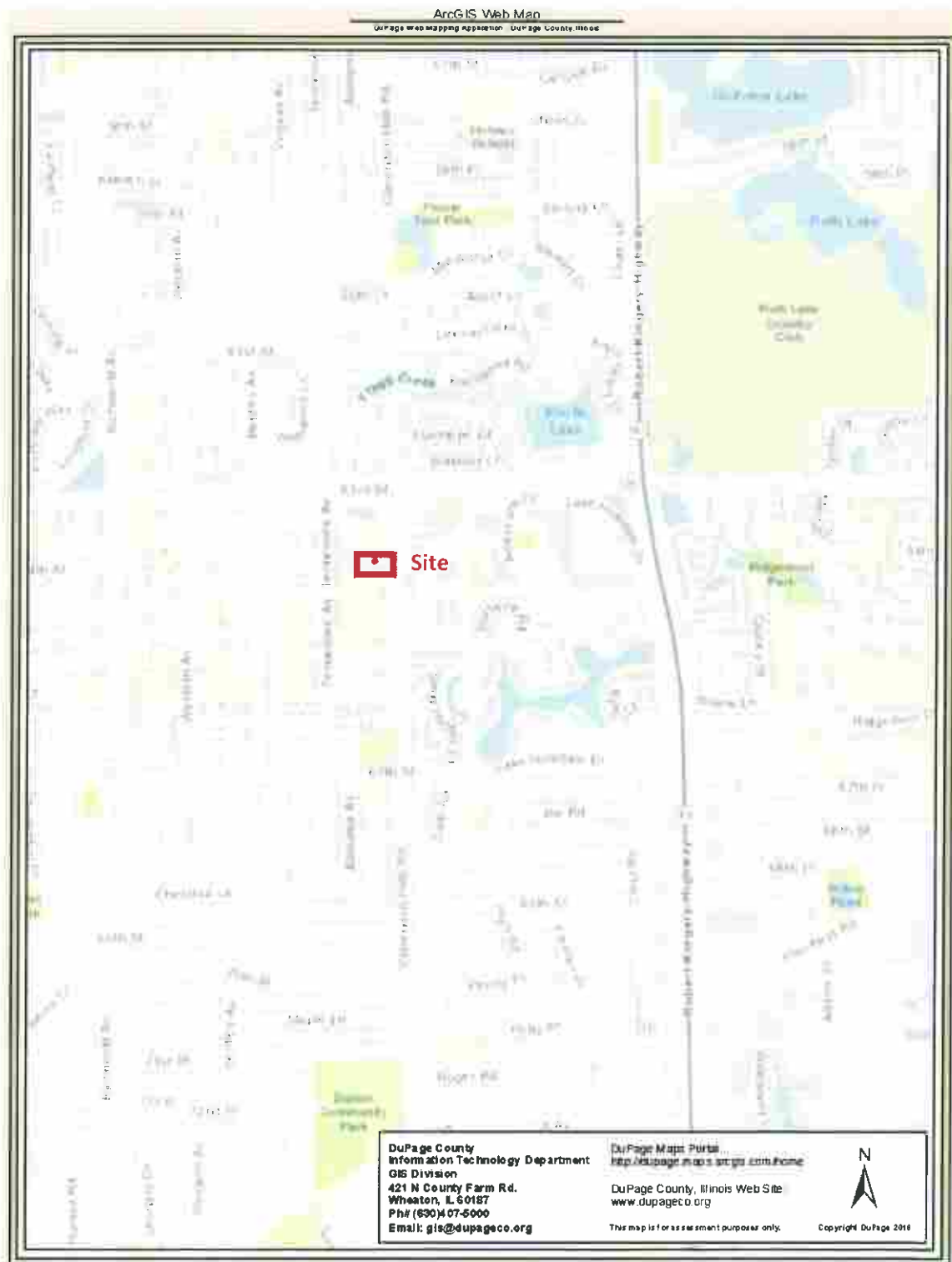
09-22-203-017 (Lot 2)

09-22-203-018 (Lot 3)

LOTS 2 AND 3 IN TUDOR MANOR SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED APRIL 17, 1978 AS DOCUMENT R78-31342 IN DUPAGE COUNTY, ILLINOIS.



**Attachment 2**  
**Location Map (1 Sheet)**





**Attachment 3**  
Final Engineering Drawings, bearing a revision date of 5/23/2019, (3 Sheets)

# FINAL ENGINEERING

## 6350 CLARENDON HILLS ROAD

### WATERMAIN RELOCATION

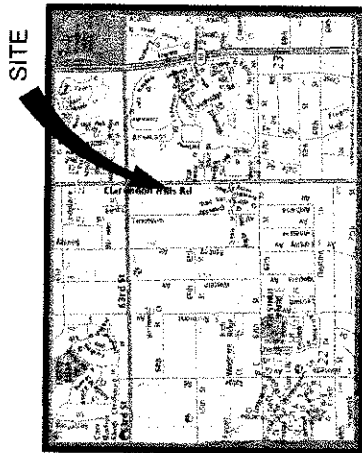
### WILLOWBROOK, ILLINOIS

#### OWNER/DEVELOPER:

MAUREEN & MARC REYES  
6350 CLARENDON HILLS ROAD  
WILLOWBROOK, ILLINOIS

#### ENGINEER:

INTECH CONSULTANTS, INC.  
1989 UNIVERSITY LANE, SUITE D  
LISLE, ILLINOIS 60532-4500  
PHONE NO.: 630-964-5656  
E-MAIL: seifer@intechconsultants.com  
ILLINOIS REGISTRATION NUMBER 184-001040



#### INDEX

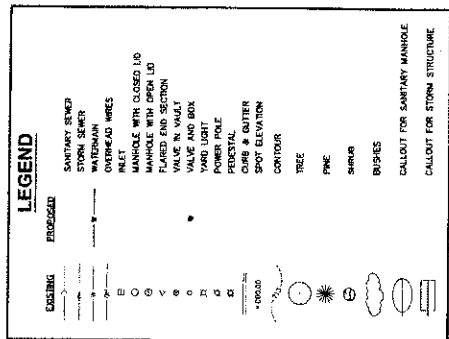
1. COVER SHEET
2. PLAN
3. SPECIFICATIONS AND DETAILS

#### LOCATION MAP

NOT TO SCALE

#### BENCHMARKS

**GENERAL BENCHMARKS:**  
BRONZE DISK LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CLARENDON HILLS ROAD AND EAST PRESDALE ROAD.  
(ELEVATION 150.21 (MAD 85))  
BRASS DISK LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF CLARENDON HILLS ROAD AND EAST PRESDALE ROAD.  
(ELEVATION 150.21 (MAD 85))  
**SITE BENCHMARK:**  
IRON OF SANITARY STRUCTURE LOCATED NORTHEAST OF RT.  
(ELEVATION 150.21 (MAD 85))



FOR UNDERGROUND UTILITY  
LOCATIONS, CALL  
JULIE  
TOLL FREE  
TEL. 800-892-0123



REVIEW SET  
NOT FOR CONSTRUCTION

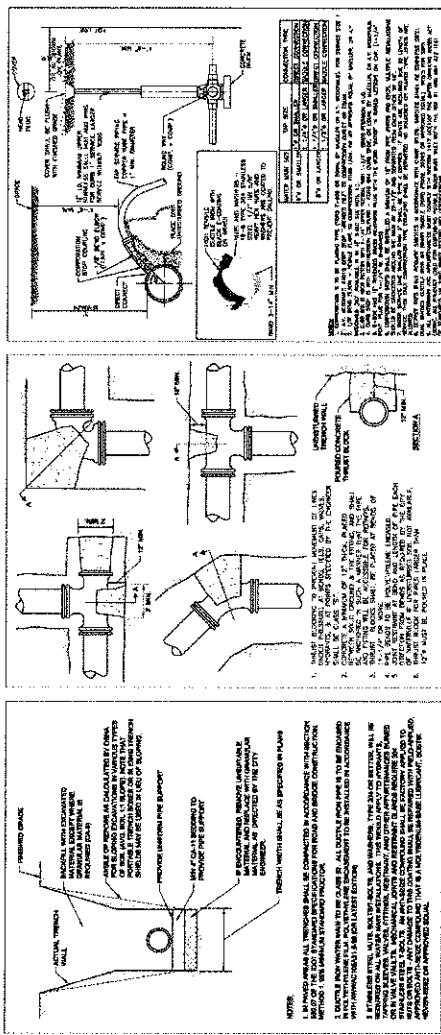
6350 CLARENDON HILLS RD WATERMAIN RELOCATION		COVER SHEET		6350 CLARENDON HILLS RD WATERMAIN RELOCATION		MAUREEN & MARC REYES 6350 CLARENDON HILLS RD WILLOWBROOK, IL		INTECH CONSULTANTS, INC. ENGINEERS - SURVEYORS 1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS 60532 PHONE: 630-964-5656		DATE: 12/19/19 BY: JMR CHECKED: JMR APPROVED: JMR	
PROJECT NO. 184-001040		SHEET NO. 1		TOTAL SHEETS 3		DATE: 12/19/19		BY: JMR		CHECKED: JMR	



WILLOWBROOK, IL

DATE	TIME	REMARKS	BY
10/12/12	1	PER VILLAGE MEETING	W
10/12/12	2	NO MEETING THIS SHEET	W

WATER MAIN TRENCH SECTION

[illegible]

- C. MOTIFS AND DETAILS ON THE ENGINEERING PLANS



**Attachment 4**

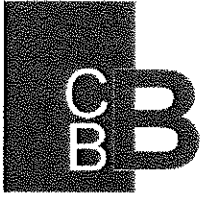
Final Plat of Subdivision, bearing a revision date of 4/9/2019, (1 Sheet)







**Attachment 5**  
Engineer's Review Letter (CBBEL), dated 5/23/ 2019, (1 Sheet)



**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

May 23, 2019

Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Attention: Ann Choi

Subject: Reyes Subdivision – 6350/6406 Clarendon Hills Rd.  
First Review  
(CBBEL Project No. 900144.H208)

Dear Ann:

As requested, we have reviewed the following documents associated with this project on behalf of the Village of Willowbrook:

- Final Engineering Plans prepared by Intech Consultants, Inc. and bearing a revision date of May 23, 2019
- Final Plat of Subdivision prepared by Intech Consultants, Inc. and dated April 9, 2019
- Engineer's Estimate of Probable Cost prepared by Intech Consultants, Inc. and dated May 17, 2019

In our opinion, the plans and plat are now in general compliance with Village Code and standard engineering methods. Section 10-3-5C(2) of Village Code provides for a development security in the amount of 125% of the engineer's opinion of probable construction cost. The engineer's estimate is in the amount of \$32,666.75, therefore the required development security must be in an amount no less than \$40,833.50. A copy of the engineer's estimate is attached for reference.

Please feel free to contact me at (847) 823-0500 should you have any questions.

Sincerely,

Daniel L. Lynch, PE CFM  
Head, Municipal Engineering Department

Cc Roy Giuntoli



**Attachment 6**  
Engineer's Estimate of Probable Cost, dated 5/17/ 2019, (2 Sheets)

ENGINEER'S OPINION OF  
PROBABLE CONSTRUCTION COST

May 17, 2019

**6350 Clarendon Hills Road  
Water Main Relocation**

**Willowbrook, Illinois**

PREPARED FOR:

**Mr. & Mrs. Reyes  
6350 Clarendon Hills Road  
Willowbrook, Illinois**

PREPARED BY:

**INTECH CONSULTANTS, INC.  
1989 University Lane, Suite D  
Lisle, Illinois 60532**

**RECEIVED**

**MAY 20 2019**

**VILLAGE OF WILLOWBROOK  
BUILDING & ZONING DIVISION**





**INTECH CONSULTANTS, INC.**  
CONSULTING ENGINEERS / SURVEYORS

Illinois Registered Professional Design Firm No. 184-001040

**6350 Clarendon Hills Road  
Willowbrook, Illinois**

May 17, 2019

Job # 7188

S:\DATA\7000 SURVEY\7188\Cost Estimate.xls\Cost Est -2011

**ENGINEER'S OPINION OF PROBABLE  
CONSTRUCTION COST**

NO.	ITEM	UNIT	QUANTITY	UNIT COST	TOTAL AMOUNT
1	Topsoil Replacement, 6"	SY	150	\$4.00	\$600.00
2	Seeding, Class 2	AC	0.03	\$3,350.00	\$100.50
3	Silt Fence	LF	525	\$2.65	\$1,391.25
<b>TOTAL GRADING</b>					<b>\$2,091.75</b>

<b>WATER MAIN</b>					
1	6" Dia. DIP (inc. 45 degree elbows)	LF	450	\$38.50	\$17,325.00
2	6" Valve in box	EA	1	\$1,250.00	\$1,250.00
3	Temporary Line Stops	EA	2	\$5,000.00	\$10,000.00
4	1.5" Dia. Copper Service inc b-box	EA	1	\$2,000.00	\$2,000.00
<b>TOTAL WATER MAIN</b>					<b>\$30,575.00</b>

**SUMMARY**

GRADING	\$2,091.75
WATER MAIN	\$30,575.00
<b>TOTAL</b>	<b>\$32,666.75</b>

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

An Ordinance amending Section 9-9-7, entitled "Fire and Explosion Hazard Standards," of Chapter 9, entitled "Performance Standards," of Title 9, entitled "Zoning Title of the Village," of the Willowbrook Municipal Code of the Village of Willowbrook, Dupage County, Illinois

AGENDA NO. 7

AGENDA DATE:  
08/12/19

STAFF REVIEW: Ann Choi, Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☐ N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Please see below for a timeline of actions related to the petition for Zoning Case No. 19-05:

<b>May 15, 2019</b>	The Village of Willowbrook submits an application for the proposed text amendment.
<b>June 5, 2019</b>	The Plan Commission held a public hearing for the petition.
<b>July 17, 2019</b>	The Plan Commission held a second public hearing for the petition. The Plan Commission made a positive recommendation of a unanimous vote of 5-0 of the members present, to the Village Board.
<b>July 22, 2019</b>	The Village Board receives the Plan Commission's positive recommendation.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The Village of Willowbrook has identified various sections of the Zoning Ordinance, specifically the Fire and Explosions Hazard standards that require clarification. This section was originally drafted in 1975 and amended in 1997. The current language is somewhat ambiguous and outdated, and these proposed amendments will eliminate inconsistencies, widen the scope of potential uses that would require a special use, reference the latest version of the International Fire Code, the ICC IFC-2018 (IFC), and require certain users to provide to the Village a copy of any permits that are required by State and Federal agencies in regards to hazardous materials. The Plan Commission has considered the proposed text amendment under Zoning Case No. 19-05 in conjunction with two additional text amendments as part of a Village-wide review of its current zoning code during the public hearing on July 17, 2019.

**ACTION PROPOSED:** Consideration of Attached Ordinance.

**ORDINANCE NO. 19-O-\_\_**

**AN ORDINANCE AMENDING SECTION 9-9-7, ENTITLED “FIRE AND EXPLOSION  
HAZARD STANDARDS,” OF CHAPTER 9, ENTITLED “PERFORMANCE  
STANDARDS,” OF TITLE 9, ENTITLED “ZONING TITLE OF THE VILLAGE,” OF  
THE WILLOWBROOK MUNICIPAL CODE OF THE VILLAGE OF  
WILLOWBROOK, DUPAGE COUNTY, ILLINOIS**

---

**WHEREAS**, on or about May 15, 2019, the Village of Willowbrook, as applicant, filed an application for a certain text amendment to the Zoning Title of the Village of the Willowbrook Municipal Code (the “Zoning Code) relating to the fire and explosion hazard standards set forth in the Zoning Code; and

**WHEREAS**, Notice of Public Hearing on said text amendment to the Zoning Code was published in the Chicago Sun-Times on or about July 1, 2019, all as required by the statutes of the State of Illinois and the ordinances of the Village of Willowbrook; and

**WHEREAS**, a public hearing was conducted by the Plan Commission of the Village of Willowbrook on July 17, 2019, pursuant to said Notice, all as required by the statutes of the State of Illinois and the ordinances of the Village of Willowbrook; and

**WHEREAS**, at said public hearing, the applicant provided testimony in support of the proposed text amendment to the Zoning Code, and all interested parties had an opportunity to be heard; and

**WHEREAS**, at said public hearing, the Plan Commission recommended that the Mayor and Board of Trustees of the Village of Willowbrook (the “Corporate Authorities”) approve the proposed text amendment; and



**WHEREAS**, the Corporate Authorities of the Village find that it is in the best interest of the Village of Willowbrook and its residents to amend the Zoning Code, as set forth in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

**SECTION ONE.** That the foregoing recital clauses to this Ordinance are adopted as the findings of the Corporate Authorities of the Village of Willowbrook and are incorporated herein by specific reference.

**SECTION TWO.** That Section 9-9-7, entitled "Fire and Explosion Hazard Standards," of Chapter 9, entitled "Performance Standards," of Title 9, entitled "Zoning Title of the Village," of the Willowbrook Municipal Code of the Village of Willowbrook be and is hereby amended by deleting the same in its entirety and inserting therefore the following:

**9-9-7: HAZARDOUS MATERIALS STANDARDS:**

(A) **Required Performance Level:** All operations, activities and uses shall be conducted so as to comply with the performance standards governing hazardous materials prescribed below.

(B) **Definitions.** The following terms as used in Section 9-9-7 shall have the meaning respectively ascribed to them in this section, unless the context otherwise requires.

**BOILING POINT** is the temperature at which the vapor pressure equals atmospheric pressure, such that the pressure of the atmosphere can no longer hold the liquid in a liquid state and bubbles begin to form. In general, a low boiling point (Class 1A) indicates a high vapor pressure and, possibly, an increased fire hazard.

**CHEMICAL:** An element, chemical compound or mixture of elements or compounds or both.

**CONTAINER:** A vessel of 60 gallons or less in capacity used for transporting or storing hazardous materials. Pipes, piping systems, engines and engine fuel tanks are not considered to be containers.

**CYLINDER:** A pressure vessel designed for pressures higher than 40 psia (275.6 kPa) and having a circular cross section. It does not include a portable tank, multiunit tank car tank, cargo tank or tank car.

**ENVIRONMENTALLY DAMAGING SUBSTANCES:** Any substance spilled or released into the environment in sufficient quantity so as to cause actual or potential human health problems if not dealt with by remedial action, or to contaminate air, land or water.

**EXPLOSION:** An effect produced by the sudden violent expansion of gases, which may be accompanied by a shock wave or disruption, or both, of enclosing materials or structures. An explosion could result from chemical changes such as rapid oxidation, deflagration, or detonation, decomposition of molecules and runaway polymerization (usually detonation).

**FACILITY:** Any building, structure, installation, equipment, pipe or pipeline including but not limited to any pipe into a sewer or publicly owned treatment works, well, pit, pond, lagoon, impoundment, ditch, landfill, storage container, motor vehicle, rolling stock or air craft or any site where hazardous materials or environmentally damaging substances have been deposited, stored, disposed of, placed or otherwise came to be located.

**FLAMMABLE GAS:** A material which is a gas at 68°F or less at 14.7 pounds per square inch atmosphere (psia) (101 kPa) of pressure [a material that has a boiling point of 68°F or less at 14.7 psia (101 kPa)] which:

1. Is ignitable at 14.7 psia (101 kPa) when in a mixture of 13 percent or less by volume with air; or
2. Has a flammable range at 14.7 psia (101 kPa) with air of not less than 12 percent, regardless of the lower limit.

The limits specified shall be determined at 14.7 psia (101 kPa) of pressure and a temperature of 68°F in accordance with ASTM E681.

**FLAMMABLE LIQUID:** A liquid having a closed cup flash point below 100°F. Flammable liquids are further categorized into a group known as Class I liquids. The Class I category is subdivided as follows:

**Class IA.** Liquids having a flash point below 73°F and having a boiling point below 100°F.

**Class IB.** Liquids having a flash point below 73°F and having a boiling point at or above 100°F.

**Class IC.** Liquids having a flash point at or above 73°F and below 100°F.

The category of flammable liquids does not include compressed gases or cryogenic fluids.

**FLAMMABLE LIQUIFIED GAS:** A liquefied compressed gas which, under a charged pressure, is partially liquid at a temperature of 68°F (20°C) and which is flammable.

**FLAMMABLE MATERIAL:** A material capable of being readily ignited from common sources of heat or at a temperature of 600°F or less.

**FLAMMABLE SOLID:** A solid, other than a blasting agent or explosive, that is capable of causing fire through friction, absorption of moisture, spontaneous chemical change or retained heat from manufacturing or processing, or which has an ignition temperature below 212°F or which burns so vigorously and persistently when ignited as to create a serious hazard. A chemical shall be considered a flammable solid as determined in accordance with the test method of CPSC 16 CFR Part 1500.44, if it ignites and burns with a self-sustained flame at a rate greater than 0.0866 inch per second along its major axis.

**FLASHPOINT** is the minimum temperature at which the vapor concentration near the surface of the liquid is high enough to form an ignitable mixture. Any liquid with a flashpoint less than 100°F (Class 1A) is considered to be a flammable liquid. A liquid with a flashpoint between 100°F and 200°F is combustible. In general, the relative hazard of a flammable liquid increases as the flashpoint decreases.

**HAZARDOUS MATERIALS:** Substances or materials in quantity and forms that may pose an unreasonable risk to health, safety or property when stored, transported or used in commerce. Such materials include but are not limited to: explosives, blasting agents, poisons, flammable and combustible liquids, flammable and non-flammable gases, corrosives, oxidizers, organic peroxides, flammable solids, radioactive materials, etiological agents. Hazardous materials also include hazardous substances and hazardous wastes.

**HAZARDOUS SUBSTANCES:** Any substance designated under the Clean Water Act and Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 USC Sec. 9601 et seq.), as now or hereafter amended, as posing a threat to the waterways and the environment when released.

**HAZARDOUS WASTE:** Discarded material under Resource Conservation and Recovery Act (RCRA) (42 USC Sec. 6901 et seq.) regulated by the United States Environmental Protection Agency because of public health and safety concerns.

**RELEASE:** Any spilling, leaking, pumping, pouring, emitting, escaping, emptying, discharging, injecting, leaching, dumping, disposing, exploding or burning of hazardous materials or environmentally damaging substances into or on any land, air, water, well, stream, sewer, or pipe such that hazardous materials

or any constituent or environmentally damaging substances thereof, that may enter the environment.

**RESPONSIBLE PARTY** or **PARTIES** include the following:

1. The owner and operator of a facility or vessel from which there is a fire or release or threatened release of hazardous materials or environmentally damaging substances;
2. Any person who at the time of disposal, transport, storage, or treatment of hazardous materials or environmentally damaging substances owned or operated the facility or vehicle used for such disposal, transport, treatment or storage from which there was a fire, release or threatened release of hazardous materials or environmentally damaging substances;
3. Any person who by contract, agreement or otherwise has arranged with another party or entity for transport, storage, disposal or treatment of hazardous materials or environmentally damaging substances owned, controlled or possessed by such person at a facility owned and operated by another party or entity from which there is fire, release or threatened release of such hazardous materials or environmentally damaging substances;
4. Any person who accepts or accepted any hazardous materials or environmentally damaging substances for transport to disposal, storage or treatment sites from which there is a fire, release or threatened release of hazardous materials or environmentally damaging substances;
5. In the case of an abandoned facility or vehicle any person owning or operating the abandoned facility or any person who owned or operated or otherwise controlled activities at the abandoned facility immediately prior to abandonment;
6. In the case of a land trust owning or operating a facility or vehicle the person owning the beneficial interest in the land trust.

**TANK:** A vessel containing more than 60 gallons.

**VAPOR PRESSURE** is a measure of a liquid's volatility. A high vapor pressure usually is an indication of a volatile liquid, or one that readily vaporizes.

**VOLATILITY** is the tendency or ability of a liquid to vaporize.

(C) General Requirements:

1. **Safe hazardous materials storage required.** Hazardous materials shall be stored in such a way that products which, when mixed, react violently or evolve toxic fumes, vapors or gases, or that, in combination, become hazardous by reason of toxicity, oxidizing power, flammability or other properties are not in close proximity. These materials shall be handled, stored, utilized or manufactured in accordance with the International Fire Code

("IFC"), as adopted by the Village, and shall be stored separately, segregated by distance, partitions, or other methods as required by the IFC.

2. **Unlawful releases prohibited.** No person shall cause, threaten, or allow the release of hazardous materials, unless such release is in accordance with an appropriate permit granted by the Illinois Environmental Protection Agency ("IEPA") or other State or Federal agency having primary authority over the release, as permitted by the IEPA, and such release is in such a place and manner as will not create a hazard to human health, property, or the environment. Any prohibited release is hereby declared a public nuisance. Any violation of this section shall be subject to the general penalty provisions of the Willowbrook Municipal Code and/or revocation of any special use permit issued.
3. Activities involving the manufacturing, processing, generation, storage or utilization, or any combination thereof, of the following materials or products are permitted only in accordance with the regulations of each zoning district. Such materials or products shall include, but are not limited to, the following:
  - a. Any material or product which contains a chemical compound, mixture or device, the primary or common purpose of which is to function by explosion including any material or product determined to be within the scope of the United States Code (USC) Title 18: Chapter 40 or any material or product classified as an explosive by the International Fire Code ("IFC"), as adopted by the Village, other than consumer fireworks, 1.4G (Class C, Common) by the hazardous materials regulations of the Department of Transportation ("DOT") 49 CFR, Parts 100-185.
  - b. Nuclear fuels, fissionable materials and products and reactor elements such as uranium 235 and plutonium 239.
  - c. Any materials or products that constitute a physical or health hazard as identified by the IFC, as adopted by the Village, as High-Hazard Group H occupancies.
  - d. Any chemicals governed by the Environmental Protection Agency ("EPA"), and regulated by the IEPA.
4. **Liability for costs.** Each responsible party or parties shall be liable to the Village of Willowbrook for all costs incurred by the Village resulting from a fire, release or threatened release involving hazardous materials. This section shall not limit any fines or penalties resulting from a successful prosecution for violation of the Willowbrook Municipal Code.

(D) Standards In The M-1 Light Manufacturing District:

1. The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, storage or utilization, or any combination thereof, of any of the materials or products identified under Section 9-9-7(C)3 shall be allowed only as a special use.

**Exceptions:** hazardous materials that are utilized for the following on-site activities: yard and building maintenance, custodial services, forklift operations, and other ancillary purposes as authorized by the Building Official.

2. The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, storage or utilization, or any combination thereof, of materials or products that constitute a physical or health hazard as identified in the IFC, as adopted by the Village, as High-Hazard Group H occupancies shall require you to make an application for a Village of Willowbrook issued Operational Permit for the purpose of assisting facilities in correctly reporting chemicals, their quantities, locations, and hazards for the benefit of alerting emergency response agencies to chemical hazards at a facility should an emergency occur. Having properly informed emergency responders allows a more effective and well-organized response and can limit liability and injuries during a response effort due to one or more of the following issues:
  - a. Hazardous or flammable materials or processes
  - b. High fire loads
  - c. Materials or processes that have unique fire management characteristics, as determined by the authority having jurisdiction over the matter.

**Exceptions:** hazardous materials that are utilized for the following on-site activities: yard and building maintenance, custodial services, forklift operations, and other ancillary purposes as authorized by the Building Official.

3. The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, utilization or storage, or any combination thereof, of hazardous materials or products that require a permit or reporting by the United States Environmental Protection Agency ("EPA") or the Illinois Environmental Protection Agency ("IEPA"), shall, prior to commencement of operations, provide a copy of any permit(s) or report(s) required by the EPA or IEPA to the Village.
4. The manufacturing, processing, generation, storage or utilization, or any combination thereof, of flammable liquids or materials which produce

flammable or explosive vapors or gases shall be permitted in accordance with Table IV of this section, except that the storage of finished products in original sealed containers as defined in this section shall be permitted.

TABLE IV  
TOTAL CAPACITY OF FLAMMABLE  
MATERIALS PERMITTED, GALLONS

(a) Industries engaged in storage for resale:

-	<u>Above Ground</u>	Below Ground
Class IC	Prohibited	100,000
Class IB	Prohibited	100,000
Class IA	Prohibited	<u>100,000</u>
Total	-	300,000

(b) Industries engaged in utilization or manufacture, or a combination thereof, of flammable materials where storage is an ancillary use:

-	<u>Above Ground</u>	Below Ground
Class IC	50,000	100,000
Class IB	25,000	100,000
Class IA	<u>Prohibited</u>	<u>100,000</u>
Total	75,000	300,000

**SECTION THREE.** That the remaining terms and provisions of the Zoning Title of the Village of the Willowbrook Municipal Code of the Village of Willowbrook remain in full force and effect and are not amended, altered or modified except as set forth in this Ordinance.

**SECTION FOUR.** This Ordinance shall be in full force and effect from and after its passage, approval and publication, in pamphlet form, in the manner provided by law.

**PASSED and APPROVED** this 12<sup>th</sup> day of August, 2019.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_  
                                 NAYS: \_\_\_\_\_  
                                 ABSTENTIONS: \_\_\_\_\_  
                                 ABSENT: \_\_\_\_\_

Published in pamphlet form  
this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Leroy Hansen, Village Clerk





**Village of Willowbrook**  
Staff Report to the Village Board

<b>Village Board:</b>	
<b>Receive</b>	July 22, 2019
<b>Ordinance Consideration</b>	August 12, 2019
<b>Plan Commission:</b>	
<b>Hearing Date</b>	June 5, 2019
<b>Second Hearing Date</b>	July 17, 2019
<b>Prepared By:</b>	Ann Choi, Planning Consultant
<b>Case Title:</b>	PC 19-05: Text Amendments to amend Section 9-9-7 of Title 9 - Zoning Title of the Village of Willowbrook Municipal Code regarding fire and explosion hazard standards.
<b>Petitioner:</b>	Village of Willowbrook
<b>Action Requested by Applicant:</b>	Consideration and recommendation of text amendments to the Zoning Ordinance of the Village of Willowbrook.
<b>Code Sections to be by Amended or Added:</b>	Title 9 – Zoning Sections:  9-9-7                      FIRE AND EXPLOSION HAZARD STANDARDS
<b>Documents Attached:</b>	<b>Attachment 1:</b> Section 9-9-7 (current version of the Village of Willowbrook Municipal Code) <b>Attachment 2:</b> EPCRA Sections 311-312 (3 Pages) <b>Attachment 3:</b> Appendix A To Part 355—The List Of Extremely Hazardous Substances And Their Threshold Planning Quantities (6 Pages) <b>Attachment 4:</b> Appendix B To Part 355—The List Of Extremely Hazardous Substances And Their Threshold Planning Quantities (6 Pages)

<b>Necessary Action by Village Board:</b>	Consideration of Attached <b>Ordinance.</b>
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## History & Discussion of Request

The Village of Willowbrook has identified various sections of the Zoning Ordinance, specifically the Fire and Explosions Hazard standards of the M-1 Light Manufacturing Zoning District that require clarification. This section was originally drafted in 1975 and amended in 1997. The current language is somewhat ambiguous and outdated, and these proposed amendments will eliminate inconsistencies, widen the scope of potential uses that would require a special use, reference the latest version of the International Fire Code, the ICC IFC-2018 (IFC), and require certain users to file inventory reports of hazardous substances.

## Follow-up Items from June 5, 2019 Plan Commission Meeting

The Plan Commission posed a number of questions at the June 5, 2019 Plan Commission meeting and requested responses for review and discussion for the July 17, 2019 Plan Commission. These questions are outlined below:

1. Will the proposed text amendment affect any residents who have propane on their property for household use (for example: lawnmower)?

**Staff Response:** No. The proposed Section 9-9-7(D), which talks about the special use requirement, only applies to the M-1 zoning district so it would not apply to any residents.

2. What theoretical problems exist with the current code?

**Staff Response:** The current code is outdated as the last update was in 1997, and that update applied to only certain portions of the code. Some portions have not been updated since 1975. The current code does not refer to the latest version of the International Fire Code. The latest version is ICC IFC-2018 (IFC).

Under the current code, a special use only required when a facility is involved in all three of the following activities: manufacturing, storage, utilization of materials or products which decompose by detonation. The amended code would require a special use involving one of the following activities: manufacturing, processing, generation, storage, or utilization of any materials listed in the proposed Section 9-9-7(C)3.

The current code, as the title indicates, is limited to operations, activities and uses that present fire and explosion hazards, but does not address the scope of hazardous materials conditions (storage and use) that could be present in many of Willowbrook's current facilities in the M-1 light manufacturing district. Additionally, the charts listed under Section 9-9-7(C)4 do not have a clear reference back to any known source and it is unknown how the temperature ranges were determined.

3. What triggers a special use requirement?

**Staff Response:**

- |                 |                              |
|-----------------|------------------------------|
| - Manufacturing | - Utilization                |
| - Processing    | - Storage                    |
| - Generation    | - Or any combination thereof |



Of any materials or products identified under the proposed Section 9-9-7(C)3, except for materials used for the following on-site activities: yard maintenance, custodial services, forklift operations, or other ancillary purposes as authorized by the Building Official.

4. Do you have to request a special use simply to have propane storage for vehicles on-site?

**Staff Response:** No. Propane for forklift operations would be excluded from requiring a special use.

5. How many businesses would be directly impacted by the proposed text amendments?

**Staff Response:** Since a special use permit cannot be applied retroactively, the number of existing businesses that would be impacted is zero.

However, an operational permit would affect any business having the following:

- Hazardous or flammable materials or processes
- Hire Fire Loads
- Materials or processes that have unique fire management characteristics

The purpose of an operational permit is to assist facilities in correctly reporting chemicals, their quantities, locations, and hazards for the benefit of alerting emergency response agencies to chemical hazards at a facility should an emergency occur. Having properly informed emergency responders allows a more effective and well-organized response and can limit liability and injuries during a response effort due to one or more of the above stated issues.

6. Are the proposed text amendments adopting the standards that are already set by the federal government or the EPA?

**Staff Response:** Yes, the proposed amendments reference current federal and EPA standards.

7. Are the proposed text amendments creating new reporting requirements that the EPA doesn't require?

**Staff Response:** The special use permit would not create new reporting requirements. The operational permit would create new reporting requirements. The Operational Permit would be reviewed and approved under the building code amendments.

8. Have we compared this to ordinances that are acceptable in other communities right now? Is this far off of what everyone else is doing? Is Willowbrook far more restrictive in what's being written or being proposed than in neighboring communities?

**Staff Response:** Other communities have adopted IFC 2018 such as Naperville, Barrington, Addison, Tinley Park, and Orland Park. Every community has their own needs, assesses their own community needs differently, and therefore there is no straightforward comparison of each community's codes.



## Proposed Amendments

The following sections are to be amended. New language is highlighted in the color red. Language to be eliminated is indicated with a strikethrough. The italicized blue text provides an explanation for the change and is intended for informational purposes only. (The blue text is not part of the actual text amendment).

Amend Section 9-9-7 as follows:

**9-9-7: ~~FIRE AND EXPLOSION HAZARD~~ HAZARDOUS MATERIALS STANDARDS:**

*(The title of the section is changed to broaden the scope of materials to include all hazardous materials.)*

- (A) Required Performance Level: All operations, activities and uses shall be conducted so as to comply with the performance standards governing fire and explosion hazards ~~hazardous materials~~ prescribed below.
- (B) **Definitions.** The following terms as used in ~~Section~~ 9-9-7 shall have the meaning respectively ascribed to them in this section, unless the context otherwise requires.

**BOILING POINT:** The temperature at which the vapor pressure equals atmospheric pressure, such that the pressure of the atmosphere can no longer hold the liquid in a liquid state and bubbles begin to form. In general, a low boiling point (Class 1A) indicates a high vapor pressure and, possibly, an ~~increased fire hazard~~.

**CHEMICAL:** An element, chemical compound or mixture of elements or compounds or both.

**CONTAINER:** A vessel of 60 gallons or less in capacity used for ~~transporting or storing~~ hazardous materials. Pipes, piping systems, engines and engine fuel tanks are not considered to be containers.

**CYLINDER:** A pressure vessel designed for pressures higher than 40 psia (275.6 kPa) and having a circular cross section. It does not include a portable tank, multiunit tank car tank, cargo tank or tank car.

**ENVIRONMENTALLY DAMAGING SUBSTANCES:** Any substance spilled or released into the environment in sufficient quantity so as to cause actual or potential human health problems if not dealt with by remedial action, or to contaminate air, land or water.

**EXPLOSION:** An effect produced by the sudden violent expansion of gases, which may be accompanied by a shock wave or disruption, or both, of enclosing materials or structures. An explosion could result from chemical changes such as rapid oxidation, deflagration, or detonation, ~~decomposition~~ of molecules and run-away ~~polymerization~~ (usually detonation)

**FACILITY:** Any building, structure, installation, equipment, pipe or pipeline including but not limited to any pipe into a sewer or publicly owned treatment works, well, pit, pond, lagoon, impoundment, ditch, landfill, storage container, motor vehicle, rolling stock or air craft or any site where hazardous materials or environmentally damaging substances have been deposited, stored, ~~disposed~~ of, placed or otherwise came to be located.

**FLAMMABLE GAS:** A material which is a gas at 68°F or less at 14.7 pounds per square inch atmosphere (psia) (101 kPa) of pressure [a material that has a boiling point of 68°F or less at 14.7 psia (101 kPa)] which:



1. Is ignitable at 14.7 psia (101 kPa) when in a mixture of 13 percent or less by volume with air; or
2. Has a flammable range at 14.7 psia (101 kPa) with air of not less than 12 percent, regardless of the lower limit.

The limits specified shall be determined at 14.7 psia (101 kPa) of pressure and a temperature of 68°F in accordance with ASTM E681.

**FLAMMABLE LIQUEFIED GAS:** A liquefied compressed gas which, under a charged pressure, is partially liquid at a temperature of 68°F (20°C) and which is flammable.

**FLAMMABLE LIQUID:** A liquid having a closed cup flash point below 100°F. Flammable liquids are further categorized into a group known as Class I liquids. The Class I category is subdivided as follows:

**Class IA.** Liquids having a flash point below 73°F and having a boiling point below 100°F.

**Class IB.** Liquids having a flash point below 73°F and having a boiling point at or above 100°F.

**Class IC.** Liquids having a flash point at or above 73°F and below 100°F.

The category of flammable liquids does not include compressed gases or cryogenic fluids.

**FLAMMABLE MATERIAL:** A material capable of being readily ignited from common sources of heat or at a temperature of 600°F or less.

**FLAMMABLE SOLID:** A solid, other than a blasting agent or explosive, that is capable of causing fire through friction, absorption of moisture, spontaneous chemical change or retained heat from manufacturing or processing, or which has an ignition temperature below 212°F or which burns so vigorously and persistently when ignited as to create a serious hazard. A chemical shall be considered a flammable solid as determined in accordance with the test method of CPSC 16 CFR Part 1500.44, if it ignites and burns with a self-sustained flame at a rate greater than 0.0866 inch per second along its major axis.

**FLASHPOINT:** The minimum temperature at which the vapor concentration near the surface of the liquid is high enough to form an ignitable mixture. Any liquid with a flashpoint less than 100°F (Class 1A) is considered to be a flammable liquid. A liquid with a flashpoint between 100°F and 200°F is combustible. In general, the relative hazard of a flammable liquid increase as the flashpoint decreases.

**HAZARDOUS MATERIALS:** Substances or materials in quantity and forms that may pose an unreasonable risk to health, safety or property when stored, transported or used in commerce. Such materials include but are not limited to: explosives, blasting agents, poisons, flammable and combustible liquids, flammable and non-flammable gases, corrosives, oxidizers, organic peroxides, flammable solids, radioactive materials, etiological agents. Hazardous materials also include hazardous substances and hazardous wastes.

**HAZARDOUS SUBSTANCES:** Any substance designated under the Clean Water Act and Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 USC Sec. 9601 et seq.), as now or hereafter amended, as posing a threat to the waterways and the environment when released.



**HAZARDOUS WASTE:** Discarded material under Resource Conservation and Recovery Act (RCRA) (42 USC Sec. 6901 et seq.) regulated by the United States Environmental Protection Agency because of public health and safety concerns.

**RELEASE:** Any spilling, leaking, pumping, pouring, emitting, escaping, emptying, discharging, injecting, leaching, dumping, disposing, exploding or burning of hazardous materials or environmentally damaging substances into or on any land, air, water, well, stream, sewer, or pipe such that hazardous materials or any constituent or environmentally damaging substances thereof, that may enter the environment.

**RESPONSIBLE PARTY or PARTIES** include the following:

1. The owner and operator of a facility or vessel from which there is a fire or release or threatened release of hazardous materials or environmentally damaging substances;
2. Any person who at the time of disposal, transport, storage, or treatment of hazardous materials or environmentally damaging substances owned or operated the facility or vehicle used for such disposal, transport, treatment or storage from which there was a fire, release or threatened release of hazardous materials or environmentally damaging substances;
3. Any person who by contract, agreement or otherwise has arranged with another party or entity for transport, storage, disposal or treatment of hazardous materials or environmentally damaging substances owned, controlled or possessed by such person at a facility owned and operated by another party or entity from which there is fire, release or threatened release of such hazardous materials or environmentally damaging substances;
4. Any person who accepts or accepted any hazardous materials or environmentally damaging substances for transport to disposal, storage or treatment sites from which there is a fire, release or threatened release of hazardous materials or environmentally damaging substances;
5. In the case of an abandoned facility or vehicle any person owning or operating the abandoned facility or any person who owned or operated or otherwise controlled activities at the abandoned facility immediately prior to abandonment;
6. In the case of a land trust owning or operating a facility or vehicle the person owning the beneficial interest in the land trust.

**TANK:** A vessel containing more than 60 gallons.

**VAPOR PRESSURE:** A measure of a liquid's volatility. A high vapor pressure usually is an indication of a volatile liquid, or one that readily vaporizes.

**VOLATILITY:** The tendency or ability of a liquid to vaporize.

*(Definitions from the IFC 2018 and Occupational Safety and Health Administration "OSHA" have been added to provide clarity and ease for users who may not have access to the IFC 2018 Manual).*

**(B) (C) General Requirements:**

1. ~~Activities involving the storage, utilization or manufacture of materials or products which decompose by detonation are permitted only in accordance with the regulations of each zoning district. Such materials shall include, but are not limited to: all primary explosives such as lead azide, lead~~





~~styphnate, fulminates and tetracene; all high explosives such as TNT, RDX, HMX, PETN, and picric acid, propellants and components thereof, such as nitrocellulose, black powder, boron hydrides, hydrazine and its derivatives; pyrotechnics and fireworks such as magnesium powder, potassium chlorate and potassium nitrate; blasting explosives such as dynamite and nitroglycerine; unstable organic compounds such as acetylides, tetrazoles and ozonides; strong oxidizing agents such as perchloric acid, perchlorates, chlorates and hydrogen peroxide in concentrations greater than thirty five percent (35%); and nuclear fuels, fissionable materials and products and reactor elements such as uranium 235 and plutonium 239. (Hazardous materials are listed in greater detail under the proposed Section 9-9-7(C)4 below. Reference to unstable organic compounds has been deleted because these materials are regulated by the IFC.)~~

**Safe hazardous materials storage required.** Hazardous materials shall be stored in such a way that products which, when mixed, react violently or evolve toxic fumes, vapors or gases, or that, in combination, become hazardous by reason of toxicity, oxidizing power, flammability or other properties are not in close proximity. These materials shall be handled, stored, utilized or manufactured in accordance with the **International Fire Code ("IFC")**, as adopted by the Village, and shall be stored separately, **segregated** by distance, partitions, or other methods as required by the IFC.

2. ~~Where materials or products which decompose by detonation are permitted, these materials shall be handled, stored, utilized or manufactured in accordance with the National Fire Codes published by the National Fire Protection Association. (Ord. 75 O-3, 3-10-1975)~~

**Unlawful releases prohibited.** No person shall cause, threaten, or allow the release of hazardous materials, unless such release is in accordance with an appropriate permit granted by the Illinois Environmental Protection Agency ("IEPA") or other State or Federal agency having primary authority over the release, as permitted by the IEPA, and such release is in such a place and manner as will not create a hazard to human health, property, or the environment. Any prohibited release is hereby declared a public nuisance. Any violation of this section shall be subject to the general penalty provisions of the Willowbrook Municipal Code and/or revocation of any special use permit issued.

3. Activities involving the manufacturing, processing, generation, storage or utilization, or any combination thereof, of the following materials or products are permitted only in accordance with the regulations of each zoning district. Such materials or products shall include, but are not limited to, the following:
  - a. Any material or product which contains a chemical compound, mixture or device, the primary or common purpose of which is to function by explosion including any material or product determined to be within the scope of the **United States Code (USC) Title 18: Chapter 40** or any material or product classified as an explosive **by the International Fire Code ("IFC")**, as adopted by the Village, other than consumer fireworks, 1.4G (Class C, Common) by the hazardous materials regulations of the **Department of Transportation ("DOTn") 49 CFR, Parts 100-185.**



- b. Nuclear fuels, fissionable materials and products and reactor elements such as uranium 235 and plutonium 239. *(These materials are not addressed by the IFC 2018.)*
  - c. Any materials or products that constitute a physical or health hazard as identified by the IFC, as adopted by the Village, as High-Hazard Group H occupancies.
  - d. Any chemicals governed by the Environmental Protection Agency ("EPA"), and regulated by the IEPA.
4. Liability for costs. Each responsible party or parties shall be liable to the Village of Willowbrook for all costs incurred by the Village resulting from a fire, release or threatened release involving hazardous materials. This section shall not limit any fines or penalties resulting from a successful prosecution for violation of the Willowbrook Municipal Code.

~~(C)~~ (D) Standards In The M-1 Light Manufacturing District:

1. ~~Uses involving the manufacture, storage and utilization of materials and products which decompose by detonation may be allowed only as a special use.~~  
The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, storage or utilization, or any combination thereof, of any of the materials or products identified under Section 9-9-7(C)3 shall be allowed only as a special use.

**Exceptions:** Hazardous materials that are utilized for the following on-site activities: yard and building maintenance, custodial services, forklift operations, and other ancillary purposes as authorized by the Building Official.

*(The "or" and "or any combination thereof" eliminates any ambiguity, making special uses mandatory, not optional, that involve one or more of the categories listed. The text amendment broadens the scope of those uses which would require a special use. Exceptions have been added to allow businesses that use certain materials for daily on-site maintenance activities to be excluded from the special use requirement. These materials would still be regulated by the IFC 2018.)*

2. ~~The storage, utilization or manufacture of solid materials or products ranging from incombustible to moderate burning is permitted.~~  
The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, storage or utilization, or any combination thereof, of materials or products that constitute a physical or health hazard as identified in the IFC, as adopted by the Village, as High-Hazard Group H occupancies shall require you to make an application for a Village of Willowbrook issued Operational Permit for the purpose of assisting facilities in correctly reporting chemicals, their quantities, locations, and hazards for the benefit of alerting





emergency response agencies to chemical hazards at a facility should an emergency occur. Having properly informed emergency responders allows a more effective and well-organized response and can limit liability and injuries during a response effort due to one or more of the following issues:

- a. Hazardous or flammable materials or processes
- b. High fire loads
- c. Materials or processes that have unique fire management characteristics, as determined by the authority having jurisdiction over the matter

**Exceptions:** Hazardous materials that are utilized for the following on-site activities: yard and building maintenance, custodial services, forklift operations, and other ancillary purposes as authorized by the Building Official.

- ~~2. The storage, utilization or manufacture of solid materials or products ranging from free or active burning to intense burning is permitted provided that said materials or products are stored, manufactured or utilized in fire-resistant and fire-protected buildings or spaces. Said materials or products shall be stored so that they are set back at least one hundred feet (100') from all lot lines. (This section has been deleted because it is already covered in the IFC 2018.)~~
3. The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, utilization or storage, or any combination thereof, of materials or products in quantities that equal or exceed the thresholds in amounts that have been determined by the Federal Emergency Planning and Community Right to Know Act ("EPCRA") Sections 311-312 under the following categories: Extremely Hazardous Substances (EHSs) (40 CFR part 355 Appendix A and Appendix B), gasoline (all grade combined) at a retail gas station, diesel fuel (all grades combined) at a retail gas station, and all other hazardous chemicals, shall, prior to commencement of operations at or exceeding the thresholds, obtain a Resource Conservation and Recovery Act ("RCRA") permit and provide a copy of said permit to the Village and complete and file Tier II reports required by the Federal EPCRA or Toxic Release Inventory ("TRI") and provide copies of the same to the Village.

*(This section is amended to broaden the scope of uses that must comply with Table IV(b) in the new Section 9-9-7(D), and requires a Resource Conservation and Recovery Act ("RCRA") permit for facilities that store, utilize or manufacture flammable liquids at or above the thresholds set by the EPA. The Village of Willowbrook will use the thresholds set by the EPA and the Emergency Planning and Community Right to Know Act ("EPCRA") Hazardous Chemical Inventory Reporting Requirements, included for reference only, as Attachments 2, 3 and 4, of this report. The EPA periodically makes updates to these documents; therefore, facilities shall use the most updated thresholds found on the EPA's website. The proposed text amendment also requires those facilities to file Tier II reports required by the EPCRA or Toxic Release Inventory ("TRI") and provide copies of the same to the Village. Tier II reports serve as an inventory of hazardous chemicals for certain users, and would assist emergency responders in identifying which facilities store potentially dangerous substances on site.)*



The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, utilization or storage, or any combination thereof, of hazardous materials or products that require a permit or reporting by the United States Environmental Protection Agency ("EPA") or the Illinois Environmental Protection Agency ("IEPA"), shall, prior to commencement of operations, provide a copy of any permit(s) or report(s) required by the EPA or IEPA to the Village.

*(The reason for this change is that the Village's intent was not to impose any requirements beyond what the federal or state government requires but the modified amendment would require businesses to provide to the Village a copy of any permits that are required by the EPA/IEPA in regards to hazardous materials.)*

4. The storage, utilization or manufacture manufacturing, processing, generation, storage or utilization, or any combination thereof, of flammable liquids or materials which produce flammable or explosive vapors or gases shall be permitted in accordance with table IV of this section, except that the storage of finished products in original sealed containers as defined in this section of fifty five (55) gallons or less shall be unrestricted permitted.

*(The text amendment introduces new activities and clarifies that if any of the categories listed are present, it will be subject to the standards listed in Table IV. The text amendment revises the 55 gallon maximum to permit the storage of finished products in original sealed "containers". Containers, as defined by the IFC 2018, have a maximum capacity of 60 gallons or less. The text amendment also replaces the term "unrestricted" with the term "permitted" because the Village would still defer to the IFC 2018 to determine how these materials shall be handled, stored, etc.)*

TABLE IV  
TOTAL CAPACITY OF FLAMMABLE  
MATERIALS PERMITTED, GALLONS

(a) Industries engaged in storage for resale:

-	<u>Above Ground</u>	<u>Below Ground</u>
<del>Materials having a closed cup flash point over 187°F but less than 350°F</del> Class IA	Prohibited	100,000
<del>Materials having a closed cup flash point from and including 105°F to and including 187°F</del> Class IB	Prohibited	100,000
<del>Materials having a closed cup flash point of less than 105°F</del> Class IC	Prohibited	<u>100,000</u>
Total	-	300,000



*(Table IV(a) defines the maximum quantities (in gallons) of certain for resale materials that are permitted to be stored above ground and below ground. The text amendment gives the Village additional oversight in regulating these potentially hazardous materials by requiring that they comply with Table IV. The IFC 2018 does not specifically limit the quantities of above ground or below ground storage of hazardous materials. The IFC 2018 regulates the use, handling and storage of these materials in indoor and outdoor environments.)*

- (b) Industries engaged in utilization ~~and~~ or manufacture, or a combination thereof, of flammable materials where storage is an ancillary use:

	<u>Above Ground</u>	<u>Below Ground</u>
<del>Materials having a closed cup flash point over 187°F but less than 350°F</del> Class 1A	50,000	100,000
<del>Materials having a closed cup flash point from and including 105°F to and including 187°F</del> Class 1B	25,000	100,000
<del>Materials having a closed cup flash point of less than 105°F</del> Class 1C	<u>Prohibited</u>	<u>100,000</u>
Total	75,000	300,000

~~When flammable gases are stored, utilized or manufactured and measured in cubic feet, the quantity in cubic feet at standard temperature and pressure permitted shall not exceed thirty (30) times the quantities listed above. (Ord. 97-05, 1-27-1997)~~

*(Table IV(b) defines the maximum quantities (in gallons) of certain materials that are permitted to be stored above ground and below ground where storage is an ancillary use. The text amendment clarifies that if any (or a combination thereof) of the categories listed are present, it will be subject to the standards listed in Table IV(b). Tables IV(a) and IV(b) should be revised so that the order of classes from top to bottom reads as follows: Class 1C, Class 1B and lastly Class 1A. These would align with the temperature ranges from least volatile to most volatile class of flammable liquids.)*

### Staff Recommendation

The last update to Section 9-9-7 was in 1997, and that update applied to only certain portions of the code. Some portions have not been updated since 1975 and is outdated as it has not been updated in over 20 years. The proposed text amendment will clarify some inconsistencies in the current code, refer to the latest version of the International Fire Code ICC IFC-2018, broadens the scope of those uses which would require a special use, and includes exceptions to allow businesses that use certain materials for daily on-site maintenance activities to be excluded from the special use requirement. Staff supports the proposed text amendment.



## Plan Commission Public Hearing Summary

The Plan Commission conducted a public hearing on this petition at their July 17, 2019 meeting. The following members were in attendance: Chairman Dan Kopp, Commissioners Kaucky, Soukup, Remkus and Walec.

Staff requested to modify the proposed text amendment as it was presented in the staff report for the July 17, 2019 Plan Commission meeting to incorporate the following changes:

1. Include the following definitions under the proposed Section 9-9-7(B):

**VOLATILITY** is the tendency or ability of a liquid to vaporize.

**VAPOR PRESSURE** is a measure of a liquid's volatility. A high vapor pressure usually is an indication of a volatile liquid, or one that readily vaporizes.

**BOILING POINT** is the temperature at which the vapor pressure equals atmospheric pressure, such that the pressure of the atmosphere can no longer hold the liquid in a liquid state and bubbles begin to form. In general, a low boiling point (Class 1A) indicates a high vapor pressure and, possibly, an increased fire hazard.

**FLASHPOINT** is the minimum temperature at which the vapor concentration near the surface of the liquid is high enough to form an ignitable mixture. Any liquid with a flashpoint less than 100oF (Class 1A) is considered to be a flammable liquid. A liquid with a flashpoint between 100oF and 200oF is combustible. In general, the relative hazard of a flammable liquid increase as the flashpoint decreases.

2. Revise Section 9-9-7(D)3 to read:

The use of a facility, building or structure, or a portion thereof, that involves the manufacturing, processing, generation, utilization or storage, or any combination thereof, of hazardous materials or products that require a permit or reporting by the United States Environmental Protection Agency ("EPA") or the Illinois Environmental Protection Agency ("IEPA"), shall, prior to commencement of operations, provide a copy of any permit(s) or report(s) required by the EPA or IEPA to the Village.

3. Revise Tables IV(a) and IV(b) so that the order of classes from top to bottom reads as follows: Class 1C, Class 1B and lastly Class 1A. These would align with the temperature ranges from least volatile to most volatile class of flammable liquids. The maximum number of gallons shall remain the same as the current code. See revised tables on the following page:



(a) Industries engaged in storage for resale:

	<u>Above Ground</u>	<u>Below Ground</u>
<del>Materials having a closed cup flash point over 187°F but less than 350°F</del> Class IC	Prohibited	100,000
<del>Materials having a closed cup flash point from and including 105°F to and including 187°F</del> Class IB	Prohibited	100,000
<del>Materials having a closed cup flash point of less than 105°F</del> Class IA	Prohibited	<u>100,000</u>
Total	-	300,000

(b) Industries engaged in utilization and or manufacture, or a combination thereof, of flammable materials where storage is an ancillary use:

	<u>Above Ground</u>	<u>Below Ground</u>
<del>Materials having a closed cup flash point over 187°F but less than 350°F</del> Class IC	50,000	100,000
<del>Materials having a closed cup flash point from and including 105°F to and including 187°F</del> Class IB	25,000	100,000
<del>Materials having a closed cup flash point of less than 105°F</del> Class IA	<u>Prohibited</u>	<u>100,000</u>
Total	75,000	300,000

Additionally, various members of the public provided comments and urged the Village to enact regulations that are stricter than what state and federal laws currently impose to protect the community. The Plan Commission acknowledged the concerns of the residents and communities and assured the audience that the proposed text amendment would be a vast improvement to the current code and should be thought of as a first step to addressing the problems with the current code.



## **Motion**

Following staff's report and the Plan Commission's discussion, the following motion by Commissioner Remkus was seconded by Commissioner Soukup and approved by a unanimous roll call vote of the members present:

**Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board approval of the text amendments presented on Pages 1 to 11 of the Staff Report for PC Case Number 19-05 to amend Section 9-9-7 of the Zoning Title of the Village of Willowbrook regarding fire and explosion hazard standards, with the following changes: Add the definitions of Volatility, Vapor Pressure, Boiling Point and Flashpoint to Section 9-9-7(B); revise the language to the proposed Section 9-9-7(D)3 to eliminate a requirement for the RCRA permit and replace with language requiring copies of any permit required by the EPA/IEPA to be provided to the Village; and revise Tables IV(a) and IV(b) so that the above ground storage of flammable liquid classes are ordered from the least volatile to most volatile class.**



**Attachment 1**  
**Current Version of Section 9-9-7**  
**(2 pages)**

## 9-9-7: FIRE AND EXPLOSION HAZARD STANDARDS:

(A) Required Performance Level: All operations, activities and uses shall be conducted so as to comply with the performance standards governing fire and explosion hazards prescribed below.

### (B) General Requirements:

1. Activities involving the storage, utilization or manufacture of materials or products which decompose by detonation are permitted only in accordance with the regulations of each zoning district. Such materials shall include, but are not limited to: all primary explosives such as lead azide, lead styphnate, fulminates and tetracene; all high explosives such as TNT, RDX, HMX, PETN, and picric acid, propellants and components thereof, such as nitrocellulose, black powder, boron hydrides, hydrazine and its derivatives; pyrotechnics and fireworks such as magnesium powder, potassium chlorate and potassium nitrate; blasting explosives such as dynamite and nitroglycerine; unstable organic compounds such as acetylides, tetrazoles and ozonides; strong oxidizing agents such as perchloric acid, perchlorates, chlorates and hydrogen peroxide in concentrations greater than thirty five percent (35%); and nuclear fuels, fissionable materials and products and reactor elements such as uranium 235 and plutonium 239.
2. Where materials or products which decompose by detonation are permitted, these materials shall be handled, stored, utilized or manufactured in accordance with the National Fire Codes published by the National Fire Protection Association. (Ord. 75-O-3, 3-10-1975)

### (C) Standards In The M-1 Light Manufacturing District:

1. Uses involving the manufacture, storage and utilization of materials and products which decompose by detonation may be allowed only as a special use.
2. The storage, utilization or manufacture of solid materials or products ranging from incombustible to moderate burning is permitted.
3. The storage, utilization or manufacture of solid materials or products ranging from free or active burning to intense burning is permitted provided that said materials or products are stored, manufactured or utilized in fire-resistant and fire-protected buildings or spaces. Said materials or products shall be stored so that they are set back at least one hundred feet (100') from all lot lines.
4. The storage, utilization or manufacture of flammable liquids or materials which produce flammable or explosive vapors or gases shall be permitted in accordance with table IV of this section, except that the storage of finished products in original sealed containers of fifty five (55) gallons or less shall be unrestricted.

TABLE IV  
TOTAL CAPACITY OF FLAMMABLE  
MATERIALS PERMITTED, GALLONS

(a) Industries engaged in storage for resale:



	<u>Above Ground</u>	<u>Below Ground</u>
Materials having a closed cup flash point over 187°F but less than 350°F	Prohibited	100,000
Materials having a closed cup flash point from and including 105°F to and including 187°F	Prohibited	100,000
Materials having a closed cup flash point of less than 105°F	Prohibited	<u>100,000</u>
<b>Total</b>		<b>300,000</b>

(b) Industries engaged in utilization and manufacture of flammable materials where storage is an ancillary use:

	<u>Above Ground</u>	<u>Below Ground</u>
Materials having a closed cup flash point over 187°F but less than 350°F	50,000	100,000
Materials having a closed cup flash point from and including 105°F to and including 187°F	25,000	100,000
Materials having a closed cup flash point of less than 105°F	<u>Prohibited</u>	<u>100,000</u>
<b>Total</b>	<b>75,000</b>	<b>300,000</b>

When flammable gases are stored, utilized or manufactured and measured in cubic feet, the quantity in cubic feet at standard temperature and pressure permitted shall not exceed thirty (30) times the quantities listed above. (Ord. 97-O-05, 1-27-1997)



**Attachment 2**  
**EPCRA Sections 311-312, Facilities That Are Covered**  
**(3 pages)**



## EPCRA Sections 311-312

### Emergency Planning and Community Right-to-Know Act (EPCRA) Hazardous Chemical Inventory Reporting Requirements

For any hazardous chemical used or stored in the workplace, facilities must maintain a material safety data sheet (MSDS) (or Safety Data Sheet, SDS).

Facilities must submit MSDSs (or SDSs), or a list of hazardous chemicals, to their State Emergency Response Commission (SERC), Local Emergency Planning Committee (LEPC) and local fire department.

Facilities must also submit an annual inventory of these chemicals by March 1 of each year to their SERC, LEPC and local fire department. The information submitted by facilities must be made available to the public.

- [What facilities are covered?](#)
- [What is a hazardous chemical?](#)
- [What are facilities required to do?](#)
- [How do I submit a Tier I or Tier II Inventory Report?](#)
- [Where can I find more information on these requirements?](#)

#### What facilities are covered?

Any facility that is required to maintain MSDSs (or SDSs) under the Occupational Safety and Health Administration (OSHA) regulations for hazardous chemicals stored or used in the work place.

Facilities with chemicals in quantities that equal or exceed the following thresholds must report:

- For Extremely Hazardous Substances (EHSs)(40 CFR part 355 [Appendix A](#) and [Appendix B \(PDF\)](#)), either 500 pounds or the Threshold Planning Quantity (TPQ), whichever is lower.
- For gasoline (all grades combined) at a retail gas station, the threshold level is 75,000 gallons (or approximately 283,900 liters), if the tank(s) was stored entirely underground and was in compliance at all times during the preceding calendar year with all applicable Underground Storage Tank (UST) requirements at 40 CFR part 280 or requirements of the State UST program approved by the Agency under 40 CFR part 281.
- For diesel fuel (all grades combined) at a retail gas station, the threshold level is 100,000 gallons (or approximately 378,500 liters), if the tank(s) was

stored entirely underground and the tank(s) was in compliance at all times during the preceding calendar year with all applicable UST requirements at 40 CFR part 280 or requirements of the State UST program approved by the Agency under 40 CFR part 281.

- For all other hazardous chemicals: 10,000 pounds.

### **What is a hazardous chemical?**

Hazardous chemicals are substances for which a facility must maintain a MSDS (or SDS) under the OSHA (Occupational Safety and Health Administration) Hazard Communication Standard, which lists the criteria used to identify a hazardous chemical. MSDSs (or SDSs) are detailed information sheets that provide data on health hazards and physical hazards of chemicals along with associated protective measures. Over 500,000 products have MSDSs (SDSs) which are normally obtained from the chemical manufacturer.

### **What are facilities required to do?**

- Under Section 311 of the Emergency Planning and Community Right-to-Know Act (EPCRA), facilities must submit the MSDSs (or SDSs) of hazardous chemicals present on-site at or above the reporting threshold to their SERC, LEPC, and local fire department. Facilities may choose to submit a list of the hazardous chemicals grouped into hazard categories instead. This is a one-time submittal. New facilities have three months after becoming subject to the OSHA regulations to submit their MSDSs (or SDSs) or the list of the hazardous chemicals to their SERC, LEPC, and the fire department.
- Facilities that need to submit MSDSs (or SDSs) or the list of hazardous chemicals under Section 311, also need to submit an annual inventory report for the same chemicals (EPCRA (Emergency Planning and Community Right-to-Know Act) Section 312). This inventory report must be submitted to the SERC, LEPC and local fire department by March 1 of each year.

### **How do I submit a Tier I or Tier II Inventory Report?**

Facilities covered by these requirements must submit an emergency and hazardous chemical inventory form to their SERC, LEPC and the local fire department annually. Facilities provide either a Tier I or Tier II form. Most states require the Tier II form. Tier II forms require basic facility identification information, employee contact information for both emergencies and non-emergencies, and information about chemicals stored or used at the facility. EPA recently revised the Tier II form to include additional data elements which would be useful of local planners and responders.

The following is a list of some of the information required on the inventory form:

- The chemical name or the common name as indicated on the MSDS (or SDS)
- An estimate of the maximum amount of the chemical present at any time during the preceding calendar year and the average daily amount

- A brief description of the manner of storage of the chemical
- The location of the chemical at the facility
- An indication of whether the owner of the facility elects to withhold location information from disclosure to the public

[Tier I Forms and Instructions](#)

[Tier II Forms and Instructions](#)

[Tier II Reporting Requirements by State](#) and [Tier2 Submit Software](#)

### **Where can I find more information on these requirements?**

For more information, see [40 CFR part 370](#) and [EPCRA Amendments and Guidance](#).

LAST UPDATED ON APRIL 4, 2018



**Attachment 3**  
**Appendix A To Part 355**  
**The List Of Extremely Hazardous Substances And Their Threshold Planning Quantities**  
**(6 pages)**

Pt. 355, App. A

40 CFR Ch. I (7-1-13 Edition)

*Release* means any spilling, leaking, pumping, pouring, emitting, emptying, discharging, injecting, escaping, leaching, dumping, or disposing into the environment (including the abandonment or discarding of barrels, containers, and other closed receptacles) of any hazardous chemical, EHS, or CERCLA hazardous substance.

*Reportable quantity* means, for any CERCLA hazardous substance, the quantity established in Table 302.4 of 40 CFR 302.4, for such substance. For any EHS, reportable quantity means the quantity established in Appendices A and B of this part for such substance. Unless and until superseded by regulations establishing a reportable quantity for newly listed EHSs or CERCLA hazardous substances, a weight of 1 pound shall be the reportable quantity.

*SERC* means the State Emergency Response Commission for the State in which the facility is located except where the facility is located in Indian Country, in which case, SERC means the Emergency Response Commission for the Tribe under whose jurisdiction

the facility is located. In the absence of a SERC for a State or Indian Tribe, the Governor or the chief executive officer of the tribe, respectively, shall be the SERC. Where there is a cooperative agreement between a State and a Tribe, the SERC shall be the entity identified in the agreement.

*Solution* means any aqueous or organic solutions, slurries, viscous solutions, suspensions, emulsions, or pastes.

*State* means any State of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, American Samoa, the United States Virgin Islands, the Northern Mariana Islands, any other territory or possession over which the United States has jurisdiction and Indian Country.

*Threshold planning quantity* means, for a substance listed in Appendices A and B of this part, the quantity listed in the column "threshold planning quantity" for that substance.

[73 FR 65462, Nov. 3, 2008, as amended at 73 FR 76960, Dec. 18, 2008; 77 FR 16688, Mar. 22, 2012]

APPENDIX A TO PART 355—THE LIST OF EXTREMELY HAZARDOUS SUBSTANCES AND THEIR THRESHOLD PLANNING QUANTITIES

[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
75-86-5	Acetone Cyanohydrin		10	1,000
1752-30-3	Acetone Thiocarbamide		1,000	1,000/10,000
107-02-8	Acrolein		1	500
79-06-1	Acrylamide	f	5,000	1,000/10,000
107-13-1	Acrylonitrile	f	100	10,000
814-68-6	Acrylyl Chloride	d	100	100
111-69-3	Adiponitrile	f	1,000	1,000
116-06-3	Aldicarb	b	1	100/10,000
309-00-2	Aldrin		1	500/10,000
107-18-6	Allyl Alcohol		100	1,000
107-11-9	Allylamine		500	500
20859-73-8	Aluminum Phosphide	a	100	500
54-62-6	Aminopterin		500	500/10,000
78-53-5	Amilor		500	500
3734-97-2	Amilor Oxalate		100	100/10,000
7664-41-7	Ammonia	f	100	500
300-62-9	Amphetamine		1,000	1,000
62-53-3	Aniline	f	5,000	1,000
88-05-1	Aniline, 2,4,6-Trimethyl-		500	500
7783-70-2	Antimony Pentafluoride		500	500
1397-94-0	Antimycin A	b	1,000	1,000/10,000
86-88-4	ANTU		100	500/10,000
1303-28-2	Arsenic Pentoxide		1	100/10,000
1327-53-3	Arsenous Oxide	d	1	100/10,000
7784-34-1	Arsenous Trichloride		1	500
7784-42-1	Arsine		100	100
2642-71-9	Azinphos-Ethyl		100	100/10,000
86-50-0	Azinphos-Methyl		1	10/10,000
98-87-3	Benzal Chloride		5,000	500

## Environmental Protection Agency

## Pt. 355, App. A

[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
98-16-8	Benzenamine, 3-(Trifluoromethyl)-		500	500
100-14-1	Benzene, 1-(Chloromethyl)-4-Nitro-		500	500/10,000
98-05-5	Benzenearsonic Acid		10	10/10,000
3615-21-2	Benzimidazole, 4,5-Dichloro-2-(Trifluoromethyl)-	c	500	500/10,000
98-07-7	Benzoic Chloride		10	100
100-44-7	Benzyl Chloride		100	500
140-29-4	Benzyl Cyanide	d	500	500
15271-41-7	Bicyclo[2.2.1]Heptane-2-Carbonitrile, 5-Chloro-6-(((Methylamino)Carbonyl)Oxy)Imino-, (1s-(1-alpha,2-beta,4-alpha,5-alpha,6E))-		500	500/10,000
534-07-6	Bis(Chloromethyl) Ketone		10	10/10,000
4044-65-9	Bitoscanate		500	500/10,000
10294-34-5	Boron Trichloride		500	500
7637-07-2	Boron Trifluoride		500	500
353-42-4	Boron Trifluoride Compound With Methyl Ether (1:1)		1,000	1,000
28772-56-7	Bromadiolone		100	100/10,000
7726-95-6	Bromine	f	500	500
1306-19-0	Cadmium Oxide		100	100/10,000
2223-93-0	Cadmium Stearate	b	1,000	1,000/10,000
7778-44-1	Calcium Arsenate		1	500/10,000
8001-35-2	Camphchlor		1	500/10,000
56-25-7	Cantharidin		100	100/10,000
51-83-2	Carbachol Chloride		500	500/10,000
26419-73-8	Carbamic Acid, Methyl-, O-((2,4-Dimethyl-1, 3-Dithiolan-2-yl)Methylene)Amino)-		100	100/10,000
1563-66-2	Carbofuran		10	10/10,000
75-15-0	Carbon Disulfide	f	100	10,000
786-19-6	Carbophenothion		500	500
57-74-9	Chlordane		1	1,000
470-90-6	Chlortenvinfos		500	500
7782-50-5	Chlorine		10	100
24934-91-6	Chlormephos		500	500
999-61-5	Chlormequat Chloride	d	100	100/10,000
79-11-8	Chloroacetic Acid		100	100/10,000
107-07-3	Chloroethanol		500	500
627-11-2	Chloroethyl Chloroformate		1,000	1,000
67-66-3	Chloroform	f	10	10,000
542-88-1	Chloromethyl Ether	d	10	100
107-30-2	Chloromethyl Methyl Ether	b	10	100
3691-35-8	Chlorophacinone		100	100/10,000
1982-47-4	Chloroxuron		500	500/10,000
21923-23-9	Chlorthiophos	d	500	500
10025-73-7	Chromic Chloride		1	1/10,000
62207-76-5	Cobalt, ((2,2'-(1,2-Ethanedithiolbis (Nitrilomethylidene)) Bis(6-Fluorophenolato))(2-)-N,N',O,O')-		100	100/10,000
10210-68-1	Cobalt Carbonyl	d	10	10/10,000
64-86-8	Colchicine	d	10	10/10,000
56-72-4	Coumaphos		10	100/10,000
5836-29-3	Coumatetralyl		500	500/10,000
95-48-7	Cresol, o-		100	1,000/10,000
535-89-7	Crimidine		100	100/10,000
4170-30-3	Crotonaldehyde		100	1,000
123-73-9	Crotonaldehyde, (E)-		100	1,000
506-68-3	Cyanogen Bromide		1,000	500/10,000
506-78-5	Cyanogen Iodide		1,000	1,000/10,000
2636-26-2	Cyanophos		1,000	1,000
675-14-9	Cyanuric Fluoride		100	100
66-81-9	Cycloheximide		100	100/10,000
108-91-8	Cyclohexylamine	f	10,000	10,000
17702-41-9	Decaborane(14)		500	500/10,000
8065-48-3	Demeton		500	500
919-86-8	Demeton-S-Methyl		500	500
10311-84-9	Dialiflor		100	100/10,000
19287-45-7	Diborane		100	100
111-44-4	Dichloroethyl ether		10	10,000
149-74-6	Dichloromethylphenylsilane		1,000	1,000
62-73-7	Dichlorvos		10	1,000
141-66-2	Dicrotophos		100	100
1464-53-5	Diepoxybutane		10	500
814-49-3	Diethyl Chlorophosphate	d	500	500
71-63-6	Digitoxin	b	100	100/10,000



[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity * (pounds)	Threshold planning quantity (pounds)
2238-07-5	Diglycidyl Ether		1,000	1,000
20830-75-5	Digoxin	d	10	10/10,000
115-26-4	Dimetox		500	500
60-51-5	Dimethoate		10	500/10,000
2524-03-0	Dimethyl Phosphorochloridothioate		500	500
77-78-1	Dimethyl sulfate		100	500
75-78-5	Dimethyldichlorosilane	d	500	500
57-14-7	Dimethylhydrazine		10	1,000
99-98-9	Dimethyl-p-Phenylenediamine		10	10/10,000
644-64-4	Dimetilan		1	500/10,000
534-52-1	Dinitroresol		10	10/10,000
88-85-7	Dinoseb		1,000	100/10,000
1420-07-1	Dinoterb		500	500/10,000
78-34-2	Dioxathion		500	500
82-66-6	Diphacinone		10	10/10,000
152-16-9	Diphosphoramide, Octamethyl-		100	100
298-04-4	Disulfoton		1	500
514-73-8	Dithiazanine iodide		500	500/10,000
541-53-7	Dithiobiuret		100	100/10,000
316-42-7	Emetine, Dihydrochloride	d	1	1/10,000
115-29-7	Endosulfan		1	10/10,000
2778-04-3	Endothion		500	500/10,000
72-20-8	Endrin		1	500/10,000
106-89-8	Epichlorohydrin	f	100	1,000
2104-64-5	EPN		100	100/10,000
50-14-6	Ergocalciferol	b	1,000	1,000/10,000
379-79-3	Ergotamine Tartrate		500	500/10,000
1622-32-8	Ethanesulfonyl Chloride, 2-Chloro-		500	500
10140-87-1	Ethanol, 1,2-Dichloro-, Acetate		1,000	1,000
563-12-2	Ethion		10	1,000
13194-48-4	Ethoprophos		1,000	1,000
538-07-8	Ethylbis(2-Chloroethyl)Amine	d	500	500
371-62-0	Ethylene Fluorohydrin	b, d	10	10
75-21-8	Ethylene Oxide	f	10	1,000
107-15-3	Ethylenediamine		5,000	10,000
151-56-4	Ethylenimine		1	500
542-90-5	Ethylthiocyanate		10,000	10,000
22224-92-6	Fenamiphos		10	10/10,000
115-90-2	Fensulfthion	d	500	500
4301-50-2	Fluometil		100	100/10,000
7782-41-4	Fluorine	e	10	500
640-19-7	Fluoroacetamide		100	100/10,000
144-49-0	Fluoroacetic Acid		10	10/10,000
359-06-8	Fluoroacetyl Chloride	b	10	10
51-21-8	Fluorouracil		500	500/10,000
944-22-9	Fonofos		500	500
50-00-0	Formaldehyde	f	100	500
107-16-4	Formaldehyde Cyanohydrin	d	1,000	1,000
23422-53-9	Formetanate Hydrochloride	d	100	500/10,000
2540-82-1	Formothion		100	100
17702-57-7	Formparanate		100	100/10,000
21548-32-3	Fosthietan		500	500
3878-19-1	Fuberidazole		100	100/10,000
110-00-9	Furan		100	500
13450-90-3	Gallium Trichloride		500	500/10,000
77-47-4	Hexachlorocyclopentadiene	d	10	100
4835-11-4	Hexamethylenediamine, N,N'-Dibutyl-		500	500
302-01-2	Hydrazine		1	1,000
74-90-8	Hydrocyanic Acid		10	100
7647-01-0	Hydrogen Chloride (gas only)	f	5,000	500
7664-39-3	Hydrogen Fluoride		100	100
7722-84-1	Hydrogen Peroxide (Conc > 52%)	f	1,000	1,000
7783-07-5	Hydrogen Selenide		10	10
7783-06-4	Hydrogen Sulfide	f	100	500
123-31-9	Hydroquinone	f	100	500/10,000
13463-40-6	Iron, Pentacarbonyl-		100	100
297-78-9	Isobenzan		100	100/10,000
78-82-0	Isobutyronitrile	d	1,000	1,000
102-36-3	Isocyanic Acid, 3,4-Dichlorophenyl Ester		500	500/10,000
465-73-6	Isodrin		1	100/10,000
55-91-4	Isotriphosphate	b	100	100

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[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
4098-71-9	Isophorone Diisocyanate	g	500	500
108-23-6	Isopropyl Chloroformate		1,000	1,000
119-38-0	Isopropylmethyl-pyrazolyl Dimethylcarbamate		100	500
78-97-7	Lactonitrile		1,000	1,000
21609-90-5	Leptophos		500	500/10,000
541-25-3	Lewisite	b, d	10	10
58-89-9	Lindane		1	1,000/10,000
7580-67-8	Lithium Hydride		100	100
109-77-3	Malononitrile	a	1,000	500/10,000
12108-13-3	Manganese, Tricarbonyl Methylcyclopentadienyl	d	100	100
51-75-2	Mechlorethamine	b	10	10
950-10-7	Mephosfolan		500	500
1600-27-7	Mercuric Acetate		500	500/10,000
7487-94-7	Mercuric Chloride		500	500/10,000
21908-53-2	Mercuric Oxide		500	500/10,000
10476-95-6	Methacrolein Diacetate		1,000	1,000
760-93-0	Methacrylic Anhydride		500	500
126-98-7	Methacrylonitrile	d	1,000	500
920-46-7	Methacryloyl Chloride		100	100
30674-80-7	Methacryloyloxyethyl Isocyanate	d	100	100
10265-92-6	Methamidophos		100	100/10,000
558-25-8	Methanesulfonyl Fluoride		1,000	1,000
950-37-8	Methidathion		500	500/10,000
2032-65-7	Methiocarb		10	500/10,000
16752-77-5	Methomyl	d	100	500/10,000
151-38-2	Methoxyethylmercuric Acetate		500	500/10,000
80-63-7	Methyl 2-Chloroacrylate		500	500
74-83-9	Methyl Bromide	f	1,000	1,000
79-22-1	Methyl Chloroformate	d	1,000	500
60-34-4	Methyl Hydrazine		10	500
624-83-9	Methyl Isocyanate		10	500
556-61-6	Methyl Isothiocyanate	a	500	500
74-93-1	Methyl Mercaptan	f	100	500
3735-23-7	Methyl Phenkapton		500	500
676-97-1	Methyl Phosphonic Dichloride	a	100	100
556-64-9	Methyl Thiocyanate		10,000	10,000
78-94-4	Methyl Vinyl Ketone		10	10
502-39-6	Methylmercuric Dicyanamide		500	500/10,000
75-79-6	Methyltrichlorosilane	d	500	500
1129-41-5	Metolcarb		1,000	100/10,000
7786-34-7	Mevinphos		10	500
315-18-4	Mexacarbate	d	1,000	500/10,000
50-07-7	Mitomycin C		10	500/10,000
6923-22-4	Monocrotophos		10	10/10,000
2763-96-4	Muscimol		1,000	500/10,000
505-60-2	Mustard Gas	d	500	500
13463-39-3	Nickel Carbonyl		10	1
54-11-5	Nicotine	b	100	100
65-30-5	Nicotine Sulfate		100	100/10,000
7697-37-2	Nitric Acid		1,000	1,000
10102-43-9	Nitric Oxide	b	10	100
98-95-3	Nitrobenzene	f	1,000	10,000
1122-60-7	Nitrocyclohexane		500	500
10102-44-0	Nitrogen Dioxide		10	100
62-75-9	Nitrosodimethylamine	d	10	1,000
991-42-4	Norbormide		100	100/10,000
	Organorhodium Complex (PMN-82-147)		10	10/10,000
630-60-4	Ouabain	b	100	100/10,000
23135-22-0	Oxamyl		100	100/10,000
78-71-7	Oxetane, 3,3-Bis(Chloromethyl)-		500	500
2497-07-6	Oxydisulfoton	d	500	500
10028-15-6	Ozone		100	100
1910-42-5	Paraquat Dichloride		10	10/10,000
2074-50-2	Paraquat Methosulfate		10	10/10,000
56-38-2	Parathion	b	10	100
298-00-0	Parathion-Methyl	b	100	100/10,000
12002-03-8	Paris Green		1	500/10,000
19624-22-7	Pentaborane		500	500
2570-26-5	Pentadecylamine		100	100/10,000
79-21-0	Peracetic Acid		500	500
594-42-3	Perchloromethylmercaptan		100	500

[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
108-95-2	Phenol		1,000	500/10,000
4418-66-0	Phenol, 2,2'-Thiobis(4-Chloro-6-Methyl)-		100	100/10,000
64-00-6	Phenol, 3-(1-Methylethyl)-, Methylcarbamate		10	500/10,000
58-36-6	Phenoxarsine, 10,10'-Oxydi-		500	500/10,000
696-28-6	Phenyl Dichloroarsine	d	1	500
59-88-1	Phenylhydrazine Hydrochloride		1,000	1,000/10,000
62-38-4	Phenylmercury Acetate		100	500/10,000
2097-19-0	Phenylsilatrane	d	100	100/10,000
103-85-5	Phenylthiourea		100	100/10,000
298-02-2	Phorate		10	10
4104-14-7	Phosacetim		100	100/10,000
947-02-4	Phosfolan		100	100/10,000
75-44-5	Phosgene	f	10	10
13171-21-6	Phosphamidon		100	100
7803-51-2	Phosphine		100	500
2703-13-1	Phosphonothioic Acid, Methyl-, O-Ethyl O-(4-(Methylthio) Phenyl) Ester.		500	500
50782-69-9	Phosphonothioic Acid, Methyl-, S-(2-(Bis(1-Methylethyl)Amino)Ethyl) O-Ethyl Ester.		100	100
2665-30-7	Phosphonothioic Acid, Methyl-, O-(4-Nitrophenyl) O-Phenyl Ester.		500	500
3254-63-5	Phosphoric Acid, Dimethyl 4-(Methylthio)Phenyl Ester.		500	500
2587-90-8	Phosphorothioic Acid, O,O-Dimethyl-S-(2-Methylthio) Ethyl Ester.	b, c	500	500
7723-14-0	Phosphorus	a, d	1	100
10025-87-3	Phosphorus Oxichloride		1,000	500
10026-13-8	Phosphorus Pentachloride	a	500	500
7719-12-2	Phosphorus Trichloride		1,000	1,000
57-47-6	Physostigmine		100	100/10,000
57-64-7	Physostigmine, Salicylate (1:1)		100	100/10,000
124-87-8	Picrotoxin		500	500/10,000
110-89-4	Piperidine		1,000	1,000
23505-41-1	Pirimifos-Ethyl		1,000	1,000
10124-50-2	Potassium Arsenite		1	500/10,000
151-50-8	Potassium Cyanide	a	10	100
506-61-6	Potassium Silver Cyanide	a	1	500
2631-37-0	Promecarb	d	1,000	500/10,000
106-96-7	Propargyl Bromide		10	10
57-57-8	Propiolactone, Beta-		10	500
107-12-0	Propionitrile		10	500
542-76-7	Propionitrile, 3-Chloro-		1,000	1,000
70-69-9	Propiophenone, 4-Amino-	c	100	100/10,000
109-61-5	Propyl Chloroformate		500	500
75-56-9	Propylene Oxide	f	100	10,000
75-55-8	Propyleneimine		1	10,000
2275-18-5	Prothoate		100	100/10,000
129-00-0	Pyrene	b	5,000	1,000/10,000
140-76-1	Pyridine, 2-Methyl-5-Vinyl-		500	500
504-24-5	Pyridine, 4-Amino-	d	1,000	500/10,000
1124-33-0	Pyridine, 4-Nitro-1-Oxide		500	500/10,000
53558-25-1	Pyriminil	d	100	100/10,000
14167-18-1	Salcomine		500	500/10,000
107-44-8	Sarin	d	10	10
7783-00-8	Selenious Acid		10	1,000/10,000
7791-23-3	Selenium Oxichloride		500	500
563-41-7	Semicarbazide Hydrochloride		1,000	1,000/10,000
3037-72-7	Silane, (4-Aminobutyl)Diethoxymethyl-		1,000	1,000
7631-89-2	Sodium Arsenate		1	1,000/10,000
7784-46-5	Sodium Arsenite		1	500/10,000
26628-22-8	Sodium Azide (Na(N <sub>3</sub> ))	a	1,000	500
124-65-2	Sodium Cacodylate		100	100/10,000
143-33-9	Sodium Cyanide (Na(CN))	a	10	100
62-74-8	Sodium Fluoroacetate		10	10/10,000
13410-01-0	Sodium Selenate		100	100/10,000
10102-18-8	Sodium Selenite	d	100	100/10,000
10102-20-2	Sodium Tellurite		500	500/10,000
900-95-8	Stannane, Acetoxytriphenyl-	c	500	500/10,000
57-24-9	Strychnine	b	10	100/10,000
60-41-3	Strychnine Sulfate		10	100/10,000
3689-24-5	Sulfotep		100	500

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[Alphabetical Order]

CAS No.	Chemical name	Notes	Reportable quantity * (pounds)	Threshold planning quantity (pounds)
3569-57-1	Sulfoxide, 3-Chloropropyl Octyl		500	500
7446-09-5	Sulfur Dioxide	f	500	500
7783-60-0	Sulfur Tetrafluoride		100	100
7446-11-9	Sulfur Trioxide	a	100	100
7664-93-9	Sulfuric Acid		1,000	1,000
77-81-6	Tabun	b, d	10	10
7783-80-4	Tellurium Hexafluoride	e	100	100
107-49-3	TEPP		10	100
13071-79-9	Terbufos	d	100	100
78-00-2	Tetraethyllead	b	10	100
597-64-8	Tetraethyltin	b	100	100
75-74-1	Tetramethyllead	b, f	100	100
509-14-8	Tetranitromethane		10	500
10031-59-1	Thallium Sulfate	d	100	100/10,000
6533-73-9	Thallous Carbonate	b, d	100	100/10,000
7791-12-0	Thallous Chloride	b, d	100	100/10,000
2757-18-8	Thallous Malonate	b, d	100	100/10,000
7446-18-6	Thallous Sulfate		100	100/10,000
2231-57-4	Thiocarbazine		1,000	1,000/10,000
39196-18-4	Thiofanox		100	100/10,000
297-97-2	Thionazin		100	500
108-98-5	Thiophenol		100	500
79-19-6	Thiosemicarbazide		100	100/10,000
5344-82-1	Thiourea, (2-Chlorophenyl)-		100	100/10,000
614-78-8	Thiourea, (2-Methylphenyl)-		500	500/10,000
7550-45-0	Titanium Tetrachloride		1,000	100
584-84-9	Toluene 2,4-Diisocyanate		100	500
91-08-7	Toluene 2,6-Diisocyanate		100	100
110-57-6	Trans-1,4-Dichlorobutene		500	500
1031-47-6	Triamphos		500	500/10,000
24017-47-8	Triazofos		500	500
76-02-8	Trichloroacetyl Chloride		500	500
115-21-9	Trichloroethylsilane	d	500	500
327-98-0	Trichloronate	e	500	500
98-13-5	Trichlorophenylsilane	d	500	500
1558-25-4	Trichloro(Chloromethyl)Silane		100	100
27137-85-5	Trichloro(Dichlorophenyl) Silane		500	500
998-30-1	Triethoxysilane		500	500
75-77-4	Trimethylchlorosilane		1,000	1,000
824-11-3	Trimethylpropane Phosphite	d	100	100/10,000
1066-45-1	Trimethyltin Chloride		500	500/10,000
639-58-7	Triphenyltin Chloride		500	500/10,000
555-77-1	Tris(2-Chloroethyl)Amine	d	100	100
2001-95-8	Valinomycin	b	1,000	1,000/10,000
1314-62-1	Vanadium Pentoxide		1,000	100/10,000
108-05-4	Vinyl Acetate Monomer	f	5,000	1,000
81-81-2	Warfarin		100	500/10,000
129-06-6	Warfarin Sodium	d	100	100/10,000
28347-13-9	Xylylene Dichloride		100	100/10,000
58270-08-9	Zinc, Dichloro(4,4-Dimethyl-5(((Methylamino)Carbonyl)Oxy)Imino)Pentanenitrile)-, (T-4)-		100	100/10,000
1314-84-7	Zinc Phosphide	a	100	500

\* Only the statutory or final RQ is shown. For more information, see 40 CFR 355.61.

Notes:

a. This material is a reactive solid. The TPQ does not default to 10,000 pounds for non-powder, non-molten, non-solution form.

b. The calculated TPQ changed after technical review as described in a technical support document for the final rule, April 22, 1987.

c. Chemicals added by final rule, April 22, 1987.

d. Revised TPQ based on new or re-evaluated toxicity criteria, April 22, 1987.

e. The TPQ was revised due to calculation error, April 22, 1987.

f. Chemicals on the original list that do not meet toxicity criteria but because of their acute lethality, high production volume and known risk are considered chemicals of concern ("Other chemicals"), November 17, 1986 and February 15, 1990.

g. The TPQ was recalculated (September 8, 2003) since it was mistakenly calculated in the April 22, 1987 final rule under the wrong assumption that this chemical is a reactive solid, when in fact it is a liquid. RQ for this chemical was adjusted on September 11, 2006.



**Attachment 4**  
**Appendix B To Part 355**  
**The List Of Extremely Hazardous Substances And Their Threshold Planning Quantities**  
**(6 pages)**

Pt. 355, App. B

40 CFR Ch. I (7-1-13 Edition)

APPENDIX B TO PART 355—THE LIST OF EXTREMELY HAZARDOUS SUBSTANCES AND  
 THEIR THRESHOLD PLANNING QUANTITIES  
 [CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity * (pounds)	Threshold planning quantity (pounds)
0	Organorhodium Complex (PMN-82-147)		10	10/10,000
50-00-0	Formaldehyde	f	100	500
50-07-7	Mitomycin C		10	500/10,000
50-14-6	Ergocalciferol	b	1,000	1,000/10,000
51-21-8	Fluorouracil		500	500/10,000
51-75-2	Mechlorethamine	b	10	10
51-83-2	Carbachol Chloride		500	500/10,000
54-11-5	Nicotine	b	100	100
54-62-6	Aminopterin		500	500/10,000
55-91-4	Isoflurophate	b	100	100
56-25-7	Cantharidin		100	100/10,000
56-38-2	Parathion	b	10	100
56-72-4	Coumaphos		10	100/10,000
57-14-7	Dimethylhydrazine		10	1,000
57-24-9	Strychnine	b	10	100/10,000
57-47-6	Physostigmine		100	100/10,000
57-57-8	Propiolactone, Beta-		10	500
57-64-7	Physostigmine, Salicylate (1:1)		100	100/10,000
57-74-9	Chlordane		1	1,000
58-36-6	Phenoxarsine, 10,10'-Oxydi-		500	500/10,000
58-89-9	Lindane		1	1,000/10,000
59-88-1	Phenylhydrazine Hydrochloride		1,000	1,000/10,000
60-34-4	Methyl Hydrazine		10	500
60-41-3	Strychnine sulfate		10	100/10,000
60-51-5	Dimethoate		10	500/10,000
62-38-4	Phenylmercury Acetate		100	500/10,000
62-53-3	Aniline	f	5,000	1,000
62-73-7	Dichlorvos		10	1,000
62-74-8	Sodium Fluoroacetate		10	10/10,000
62-75-9	Nitrosodimethylamine	d	10	1,000
64-00-6	Phenol, 3-(1-Methylethyl)-, Methylcarbamate		10	500/10,000
64-86-8	Colchicine	d	10	10/10,000
65-30-5	Nicotine sulfate		100	100/10,000
66-81-9	Cycloheximide		100	100/10,000
67-66-3	Chloroform	f	10	10,000
70-69-9	Propiophenone, 4-Amino-	c	100	100/10,000
71-63-6	Digitoxin	b	100	100/10,000
72-20-8	Endrin		1	500/10,000
74-83-9	Methyl Bromide	f	1,000	1,000
74-90-8	Hydrocyanic Acid		10	100
74-93-1	Methyl Mercaptan	f	100	500
75-15-0	Carbon Disulfide	f	100	10,000
75-21-8	Ethylene Oxide	f	10	1,000
75-44-5	Phosgene	f	10	10
75-55-8	Propyleneimine		1	10,000
75-56-9	Propylene Oxide	f	100	10,000
75-74-1	Tetramethyllead	b, f	100	100
75-77-4	Trimethylchlorosilane		1,000	1,000
75-78-5	Dimethyldichlorosilane	d	500	500
75-79-6	Methyltrichlorosilane	d	500	500
75-86-5	Acetone Cyanohydrin		10	1,000
76-02-8	Trichloroacetyl Chloride		500	500
77-47-4	Hexachlorocyclopentadiene	d	10	100
77-78-1	Dimethyl Sulfate		100	500
77-81-6	Tabun	b, d	10	10
78-00-2	Tetraethyllead	b	10	100
78-34-2	Dioxathion		500	500
78-53-5	Amilon		500	500
78-71-7	Oxetane, 3,3-Bis(Chloromethyl)-		500	500
78-82-0	Isobutyronitrile	d	1,000	1,000
78-94-4	Methyl Vinyl Ketone		10	10
78-97-7	Lactonitrile		1,000	1,000
79-06-1	Acrylamide	f	5,000	1,000/10,000
79-11-8	Chloroacetic Acid		100	100/10,000
79-19-6	Thiosemicarbazide		100	100/10,000
79-21-0	Peracetic Acid		500	500
79-22-1	Methyl Chloroformate	d	1,000	500
80-63-7	Methyl 2-Chloroacrylate		500	500

## Environmental Protection Agency

## Pt. 355, App. B

[CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
81-81-2	Warfarin		100	500/10,000
82-66-6	Diphacinone		10	10/10,000
86-50-0	Azinphos-Methyl		1	10/10,000
86-88-4	ANTU		100	500/10,000
88-05-1	Aniline, 2,4,6-Trimethyl-		500	500
88-85-7	Dinoseb		1,000	100/10,000
91-08-7	Toluene 2,6-Diisocyanate		100	100
95-48-7	Cresol, o-		100	1,000/10,000
98-05-5	Benzeneearsonic Acid		10	10/10,000
98-07-7	Benzotrichloride		10	100
98-13-5	Trichlorophenylsilane	d	500	500
98-16-8	Benzenamine, 3-(Trifluoromethyl)-		500	500
98-87-3	Benzal Chloride		5,000	500
98-95-3	Nitrobenzene	f	1,000	10,000
99-98-9	Dimethyl-p-Phenylenediamine		10	10/10,000
100-14-1	Benzene, 1-(Chloromethyl)-4-Nitro-		500	500/10,000
100-44-7	Benzyl Chloride		100	500
102-36-3	Isocyanic Acid, 3,4-Dichlorophenyl Ester		500	500/10,000
103-65-5	Phenylthiourea		100	100/10,000
106-89-8	Epichlorohydrin	f	100	1,000
106-96-7	Propargyl Bromide		10	10
107-02-8	Acrolein		1	500
107-07-3	Chloroethanol		500	500
107-11-9	Allylamine		500	500
107-12-0	Propionitrile		10	500
107-13-1	Acrylonitrile	f	100	10,000
107-15-3	Ethylenediamine		5,000	10,000
107-16-4	Formaldehyde Cyanohydrin	d	1,000	1,000
107-18-6	Allyl Alcohol		100	1,000
107-30-2	Chloromethyl Methyl Ether	b	10	100
107-44-8	Sarin	d	10	10
107-49-3	TEPP		10	100
108-05-4	Vinyl Acetate Monomer	f	5,000	1,000
108-23-6	Isopropyl Chloroformate		1,000	1,000
108-91-8	Cyclohexylamine	f	10,000	10,000
108-95-2	Phenol		1,000	500/10,000
108-98-5	Thiophenol		100	500
109-61-5	Propyl Chloroformate		500	500
109-77-3	Malononitrile		1,000	500/10,000
110-00-9	Furan		100	500
110-57-6	Trans-1,4-Dichlorobutene		500	500
110-89-4	Piperidine		1,000	1,000
111-44-4	Dichloroethyl Ether		10	10,000
111-69-3	Adiponitrile	f	1,000	1,000
115-21-9	Trichloroethylsilane	d	500	500
115-26-4	Dimetox		500	500
115-29-7	Endosulfan		1	10/10,000
115-90-2	Fensulfthion	d	500	500
116-06-3	Aldicarb	b	1	100/10,000
119-38-0	Isopropylmethyl-pyrazolyl Dimethylcarbamate		100	500
123-31-9	Hydroquinone	f	100	500/10,000
123-73-9	Crotonaldehyde, (E)-		100	1,000
124-65-2	Sodium Cacodylate		100	100/10,000
124-87-8	Picrotoxin		500	500/10,000
126-98-7	Methacrylonitrile	d	1,000	500
129-00-0	Pyrene	b	5,000	1,000/10,000
129-06-6	Warfarin Sodium	d	100	100/10,000
140-29-4	Benzyl Cyanide	d	500	500
140-76-1	Pyridine, 2-Methyl-5-Vinyl-		500	500
141-66-2	Dicrotophos		100	100
143-33-9	Sodium Cyanide (Na(CN))	a	10	100
144-49-0	Fluoroacetic Acid		10	10/10,000
149-74-6	Dichloromethylphenylsilane		1,000	1,000
151-38-2	Methoxyethylmercuric Acetate		500	500/10,000
151-50-8	Potassium Cyanide	a	10	100
151-56-4	Ethylenimine		1	500
152-16-9	Diphosphoramide, Octamethyl-		100	100
297-78-9	Isobenzan		100	100/10,000
297-97-2	Thionazin		100	500
298-00-0	Parathion-Methyl	b	100	100/10,000
298-02-2	Phorate		10	10

[CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity * (pounds)	Threshold planning quantity (pounds)
298-04-4	Disulfoton		1	500
300-62-9	Amphetamine		1,000	1,000
302-01-2	Hydrazine		1	1,000
309-00-2	Aldrin		1	500/10,000
315-18-4	Mexacarbate		1,000	500/10,000
316-42-7	Emetine, Dihydrochloride	d	1	1/10,000
327-98-0	Trichloronate	e	500	500
353-42-4	Boron Trifluoride Compound With Methyl Ether (1:1)		1,000	1,000
359-06-8	Fluoroacetyl Chloride	b	10	10
371-62-0	Ethylene Fluorohydrin	b, d	10	10
379-79-3	Ergotamine Tartrate		500	500/10,000
465-73-6	Isodrin		1	100/10,000
470-90-6	Chlorfenvinfos		500	500
502-39-6	Methylmercuric Dicyanamide		500	500/10,000
504-24-5	Pyridine, 4-Amino-	d	1,000	500/10,000
505-60-2	Mustard Gas	d	500	500
506-61-6	Potassium Silver Cyanide	a	1	500
506-68-3	Cyanogen Bromide		1,000	500/10,000
506-78-5	Cyanogen Iodide		1,000	1,000/10,000
509-14-8	Tetranitromethane		10	500
514-73-8	Dithiazanine Iodide		500	500/10,000
534-07-6	Bis(Chloromethyl) Ketone		10	10/10,000
534-62-1	Dinitrocresol		10	10/10,000
535-89-7	Crimidine		100	100/10,000
538-07-8	Ethylbis(2-Chloroethyl)Amine	d	500	500
541-25-3	Lewisite	b, d	10	10
541-53-7	Dithiobiuret		100	100/10,000
542-76-7	Propionitrile, 3-Chloro-		1,000	1,000
542-88-1	Chloromethyl Ether	d	10	100
542-90-5	Ethylthiocyanate		10,000	10,000
555-77-1	Tris(2-Chloroethyl)Amine	d	100	100
556-61-6	Methyl Isothiocyanate	a	500	500
556-64-9	Methyl Thiocyanate		10,000	10,000
558-25-8	Methanesulfonyl Fluoride		1,000	1,000
563-12-2	Ethion		10	1,000
563-41-7	Semicarbazide Hydrochloride		1,000	1,000/10,000
584-84-9	Toluene 2,4-Diisocyanate		100	500
594-42-3	Perchloromethylmercaptan		100	500
597-64-8	Tetraethyltin	b	100	100
614-78-8	Thiourea, (2-Methylphenyl)-		500	500/10,000
624-83-9	Methyl Isocyanate		10	500
627-11-2	Chloroethyl Chloroformate		1,000	1,000
630-60-4	Quabain	b	100	100/10,000
639-58-7	Triphenyltin Chloride		500	500/10,000
640-19-7	Fluoroacetamide		100	100/10,000
644-64-4	Dimetilan		1	500/10,000
675-14-9	Cyanuric Fluoride		100	100
676-97-1	Methyl Phosphonic Dichloride	a	100	100
696-28-6	Phenyl Dichloroarsine	d	1	500
760-93-0	Methacrylic Anhydride		500	500
786-19-6	Carbophenothion		500	500
814-49-3	Diethyl Chlorophosphate	d	500	500
814-68-6	Acrylyl Chloride	d	100	100
824-11-3	Trimethylolpropane Phosphite	d	100	100/10,000
900-95-8	Stannane, Acetoxytriphenyl-	c	500	500/10,000
919-86-8	Demeton-S-Methyl		500	500
920-46-7	Methacryloyl Chloride		100	100
944-22-9	Fonofos		500	500
947-02-4	Phosfolan		100	100/10,000
950-10-7	Mephosfolan		500	500
950-37-8	Methidathion		500	500/10,000
991-42-4	Norbormide		100	100/10,000
998-30-1	Triethoxysilane		500	500
999-81-5	Chloromequat Chloride	d	100	100/10,000
1031-47-6	Triamiphos		500	500/10,000
1066-45-1	Trimethyltin Chloride		500	500/10,000
1122-60-7	Nitrocyclohexane		500	500
1124-33-0	Pyridine, 4-Nitro-, 1-Oxide		500	500/10,000
1129-41-5	Metolcarb		1,000	100/10,000
1303-28-2	Arsenic Pentoxide		1	100/10,000
1306-19-0	Cadmium Oxide		100	100/10,000



## Environmental Protection Agency

## Pt. 355, App. B

[CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity * (pounds)	Threshold planning quantity (pounds)
1314-62-1	Vanadium Pentoxide		1,000	100/10,000
1314-84-7	Zinc Phosphide	a	100	500
1327-53-3	Arsenous Oxide	d	1	100/10,000
1397-94-0	Antimycin A	b	1,000	1,000/10,000
1420-07-1	Dinoterb		500	500/10,000
1464-53-5	Diepoxybutane		10	500
1558-25-4	Trichloro(Chloromethyl)Silane		100	100
1563-66-2	Carbofuran		10	10/10,000
1600-27-7	Mercuric Acetate		500	500/10,000
1622-32-8	Ethanesulfonyl Chloride, 2-Chloro-		500	500
1752-30-3	Acetone Thiosemicarbazide		1,000	1,000/10,000
1910-42-5	Paraquat Dichloride		10	10/10,000
1982-47-4	Chloroxuron		500	500/10,000
2001-95-8	Valinomycin	b	1,000	1,000/10,000
2032-65-7	Methiocarb		10	500/10,000
2074-50-2	Paraquat Methosulfate		10	10/10,000
2097-19-0	Phenylsilatrane	d	100	100/10,000
2104-64-5	EPN		100	100/10,000
2223-93-0	Cadmium Stearate	b	1,000	1,000/10,000
2231-57-4	Thiocarbazine		1,000	1,000/10,000
2238-07-5	Diglycidyl Ether		1,000	1,000
2275-18-5	Prothoate		100	100/10,000
2497-07-6	Oxydisulfoton	d	500	500
2524-03-0	Dimethyl Phosphorochlorodithioate		500	500
2540-82-1	Formothion		100	100
2570-26-5	Pentadecylamine		100	100/10,000
2587-90-8	Phosphorothioic Acid, O,O-Dimethyl-S-(2-Methylthio) Ethyl Ester.	b, c	500	500
2631-37-0	Promecarb	d	1,000	500/10,000
2636-26-2	Cyanophos		1,000	1,000
2642-71-9	Azinphos-Ethyl		100	100/10,000
2665-30-7	Phosphonothioic Acid, Methyl-, O-(4-Nitrophenyl) O-Phenyl Ester.		500	500
2703-13-1	Phosphonothioic Acid, Methyl-, O-Ethyl O-(4-(Methylthio)Phenyl) Ester.		500	500
2757-18-8	Thallous Malonate	b, d	100	100/10,000
2763-96-4	Muscimol		1,000	500/10,000
2778-04-3	Endothion		500	500/10,000
3037-72-7	Silane, (4-Aminobutyl)Diethoxymethyl-		1,000	1,000
3254-63-5	Phosphoric Acid, Dimethyl 4-(Methylthio)Phenyl Ester.		500	500
3569-57-1	Sulfoxide, 3-Chloropropyl Octyl		500	500
3615-21-2	Benzimidazole, 4,5-Dichloro-2-(Trifluoromethyl)-	c	500	500/10,000
3689-24-5	Sulfotep		100	500
3691-35-8	Chlorophacinone		100	100/10,000
3734-97-2	Amiton Oxalate		100	100/10,000
3735-23-7	Methyl Phenkapton		500	500
3878-19-1	Fuberidazole		100	100/10,000
4044-65-9	Bitoscanate		500	500/10,000
4098-71-9	Isophorone Diisocyanate	g	500	500
4104-14-7	Phosacetim		100	100/10,000
4170-30-3	Crotonaldehyde		100	1,000
4301-50-2	Fluometil		100	100/10,000
4418-66-0	Phenol, 2,2'-Thiobis(4-Chloro-6-Methyl)-		100	100/10,000
4835-11-4	Hexamethylenediamine, N,N'-Dibutyl-		500	500
5344-82-1	Thiourea, (2-Chlorophenyl)-		100	100/10,000
5836-29-3	Coumatetralyl		500	500/10,000
6533-73-9	Thallous Carbonate	b, d	100	100/10,000
6923-22-4	Monocrotophos		10	10/10,000
7446-09-5	Sulfur Dioxide	f	500	500
7446-11-9	Sulfur Trioxide	a	100	100
7446-18-6	Thallous Sulfate		100	100/10,000
7487-94-7	Mercuric Chloride		500	500/10,000
7550-45-0	Titanium Tetrachloride		1,000	100
7580-67-8	Lithium Hydride	a	100	100
7631-89-2	Sodium Arsenate		1	1,000/10,000
7637-07-2	Boron Trifluoride		500	500
7647-01-0	Hydrogen Chloride (gas only)	f	5,000	500
7664-39-3	Hydrogen Fluoride		100	100
7664-41-7	Ammonia	f	100	500
7664-93-9	Sulfuric Acid		1,000	1,000

[CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
7697-37-2	Nitric Acid		1,000	1,000
7719-12-2	Phosphorus Trichloride		1,000	1,000
7722-84-1	Hydrogen Peroxide (Conc >52%)	f	1,000	1,000
7723-14-0	Phosphorus	a, d	1	100
7726-95-6	Bromine	f	500	500
7778-44-1	Calcium Arsenate	f	1	500/10,000
7782-41-4	Fluorine	e	10	500
7782-50-5	Chlorine		10	100
7783-00-8	Selenious Acid		10	1,000/10,000
7783-06-4	Hydrogen Sulfide	f	100	500
7783-07-5	Hydrogen Selenide		10	10
7783-60-0	Sulfur Tetrafluoride		100	100
7783-70-2	Antimony Pentafluoride		500	500
7783-80-4	Tellurium Hexafluoride	e	100	100
7784-34-1	Arsenous Trichloride		1	500
7784-42-1	Arsine		100	100
7784-46-6	Sodium Arsenite		1	500/10,000
7786-34-7	Mevinphos		10	500
7791-12-0	Thallous Chloride	b, d	100	100/10,000
7791-23-3	Selenium Oxychloride		500	500
7803-51-2	Phosphine		100	500
8001-35-2	Camphochlor		1	500/10,000
8065-48-3	Demeton		500	500
10025-73-7	Chromic Chloride		1	1/10,000
10025-87-3	Phosphorus Oxychloride		1,000	500
10026-13-6	Phosphorus Pentachloride	a	500	500
10028-15-6	Ozone		100	100
10031-59-1	Thallium Sulfate	d	100	100/10,000
10102-18-8	Sodium Selenite	d	100	100/10,000
10102-20-2	Sodium Tellurite		500	500/10,000
10102-43-9	Nitric Oxide	b	10	100
10102-44-0	Nitrogen Dioxide		10	100
10124-50-2	Potassium Arsenite		1	500/10,000
10140-87-1	Ethanol, 1,2-Dichloro-, Acetate		1,000	1,000
10210-68-1	Cobalt Carbonyl	d	10	10/10,000
10265-92-6	Methamidophos		100	100/10,000
10294-34-5	Boron Trichloride		500	500
10311-84-9	Dialifor		100	100/10,000
10476-95-6	Methacrolein Diacetate		1,000	1,000
12002-03-8	Paris Green		1	500/10,000
12108-13-3	Manganese, Tricarbonyl Methylcyclopentadienyl	d	100	100
13071-79-9	Terbufos	d	100	100
13171-21-6	Phosphamidon		100	100
13194-48-4	Ethoprophos		1,000	1,000
13410-01-0	Sodium Selenate		100	100/10,000
13450-90-3	Gallium Trichloride		500	500/10,000
13463-39-3	Nickel Carbonyl		10	1
13463-40-6	Iron, Pentacarbonyl-		100	100
14167-18-1	Salcomine		500	500/10,000
15271-41-7	Bicyclo[2.2.1]Heptane-2-Carbonitrile, 5-Chloro-6-(((Methylamino)Carbonyl)Oxy)Imino)-, (1s-(1-alpha,2-beta,4-alpha,5-alpha,6E))-		500	500/10,000
16752-77-6	Methomyl	d	100	500/10,000
17702-41-9	Decaborane(14)		500	500/10,000
17702-57-7	Formparanate		100	100/10,000
19287-45-7	Diborane		100	100
19624-22-7	Pentaborane		500	500
20630-75-5	Digoxin	d	10	10/10,000
20859-73-8	Aluminum Phosphide	a	100	500
21548-32-3	Fosthietan		500	500
21609-90-5	Leptophos		500	500/10,000
21908-53-2	Mercuric Oxide		500	500/10,000
21923-23-9	Chlorthiophos	d	500	500
22224-92-6	Fenamiphos		10	10/10,000
23135-22-0	Oxaryl		100	100/10,000
23422-53-9	Formetanate Hydrochloride	d	100	500/10,000
23505-41-1	Pirimifos-Ethyl		1,000	1,000
24017-47-8	Triazofos		500	500
24934-91-6	Chlormephos		500	500
26419-73-8	Carbamic Acid, Methyl-, O-(((2,4-Dimethyl-1, 3-Dithiolan-2-yl)Methylene)Amino)-		100	100/10,000

[CAS Number Order]

CAS No.	Chemical name	Notes	Reportable quantity* (pounds)	Threshold planning quantity (pounds)
26628-22-8 .....	Sodium Azide (Na(N <sub>3</sub> )) .....	a .....	1,000	500
27137-85-5 .....	Trichloro(Dichlorophenyl)Silane .....	.....	500	500
28347-13-9 .....	Xylylene Dichloride .....	.....	100	100/10,000
28772-56-7 .....	Bromadiolone .....	.....	100	100/10,000
30674-80-7 .....	Methacryloyloxyethyl isocyanate .....	.....	100	100
39196-18-4 .....	Thiofanox .....	.....	100	100/10,000
50782-69-9 .....	Phosphonothioic Acid, Methyl-, S-(2-(Bis(1-Methylethyl)Amino)Ethyl) O-Ethyl Ester.	.....	100	100
53558-25-1 .....	Pyriminil .....	d .....	100	100/10,000
58270-08-9 .....	Zinc, Dichloro(4,4-Dimethyl-5((((Methylamino) Carbonyl)Oxy)Imino)Pentanenitrile)-, (T-4)-.	.....	100	100/10,000
62207-76-5 .....	Cobalt, ((2,2'-(1,2-Ethanediyldis (Nitrilomethylidyne)) Bis(6-Fluorophenolato)) (2-)-N,N',O,O')-	.....	100	100/10,000

\* Only the statutory or final RQ is shown. For more information, see 40 CFR 355.61.

**Notes:**

a. This material is a reactive solid. The TPQ does not default to 10,000 pounds for non-powder, non-molten, non-solution form. b. The calculated TPQ changed after technical review as described in a technical support document for the final rule, April 22, 1987.

c. Chemicals added by final rule, April 22, 1987.

d. Revised TPQ based on new or re-evaluated toxicity data, April 22, 1987.

e. The TPQ was revised due to calculation error, April 22, 1987.

f. Chemicals on the original list that do not meet toxicity criteria but because of their acute lethality, high production volume and known risk are considered chemicals of concern ("Other chemicals"). (November 17, 1986, and February 15, 1990.)

g. The TPQ was recalculated (September 8, 2003) since it was mistakenly calculated in the April 22, 1987, final rule under the wrong assumption that this chemical is a reactive solid, when in fact it is a liquid. RQ for this chemical was adjusted on September 11, 2006.

## PART 370—HAZARDOUS CHEMICAL REPORTING: COMMUNITY RIGHT-TO-KNOW

### Subpart A—General Information

## Sec.

370.1 What is the purpose of this part?

370.2 Who do "you," "I," and "your" refer to in this part?

370.3 Which section contains the definitions of the key words used in this part?

### Subpart B—Who Must Comply

370.10 Who must comply with the hazardous chemical reporting requirements of this part?

370.11 [Reserved]

370.12 What hazardous chemicals must I report under this part?

370.13 What substances are exempt from these reporting requirements?

370.14 How do I report mixtures containing hazardous chemicals?

### Subpart C—Reporting Requirements

370.20 What are the reporting requirements of this part?

#### HOW TO COMPLY WITH MSDS REPORTING

370.30 What information must I provide and what format must I use?

370.31 Do I have to update the information?

370.32 To whom must I submit the information?

370.33 When must I submit the information?

#### HOW TO COMPLY WITH INVENTORY REPORTING

370.40 What information must I provide and what format must I use?

370.41 What is Tier I inventory information?

370.42 What is Tier II inventory information?

370.43 What codes are used to report Tier I and Tier II inventory information?

370.44 To whom must I submit the inventory information?

370.45 When must I submit the inventory information?

### Subpart D—Community Access to Information

370.60 How does a person obtain MSDS information about a specific facility?

370.61 How does a person obtain inventory information about a specific facility?

370.62 What information may a State or local official request from a facility?

370.63 What responsibilities do the SERC and the LEPC have to make requested information available?

370.64 What information can I claim as trade secret or confidential?

370.65 Must I allow the local fire department to inspect my facility and must I provide specific location information about hazardous chemicals at my facility?

370.66 How are key words in this part defined?

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

**AN ORDINANCE AMENDING THE VILLAGE CODE OF THE VILLAGE OF WILLOWBROOK TITLE 9-ZONING ORDINANCE (ANTENNA REGULATIONS FOR VILLAGE ZONING DISTRICTS)**

**AGENDA NO. 8**

**AGENDA DATE: 08/12/19**

**STAFF REVIEW:** Ann Choi, Planning Consultant

**SIGNATURE:** 

**LEGAL REVIEW:** Tom Bastian, Village Attorney

**SIGNATURE:** 

**RECOMMENDED BY:** Brian Pabst, Village Administrator

**SIGNATURE:** 

**REVIEWED & APPROVED BY COMMITTEE:** YES ☐ NO ☐ N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Village staff proposes text amendments to the Village Zoning Code to remove outdated information and to bring it into compliance with the recently enacted state laws. The proposed amendments to the Zoning Code will also clarify the application of certain bulk regulations to the permitted accessory use of amateur radio antennas in residential districts. Please see below for a timeline of actions related to the petition for Zoning Case No. 19-04:

<b>May 15, 2019</b>	The Village of Willowbrook submits an application for the proposed text amendment.
<b>June 5, 2019</b>	The Plan Commission held a public hearing for the petition.
<b>July 17, 2019</b>	The Plan Commission held a second public hearing for the petition. The Plan Commission made a positive recommendation of a unanimous vote of 5-0 of the members present, to the Village Board.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Pursuant to the proposed text amendment, Section 9-3-15 of the Village Zoning Code will be amended to remove references to the Director of Municipal Services, a position which no longer exists within the Village. Section 9-3-15 will also be amended to acknowledge that certain provisions contained therein are preempted by the Small Wireless Facilities Deployment Act, 50 ILCS 840/1 et seq. recently adopted by the State of Illinois. The Small Wireless Facilities Deployment Act sets forth certain bulk standards for right-of-way construction of Small Wireless Antenna Facilities and permits the installation of such antennas within Commercial and Industrial districts. The Village of Willowbrook previously amended Title 4 of the Village Code to comply with the recent state law, and the proposed amendment to the Zoning Code will clarify the relevant code sections to proposed small wireless service providers. The remaining proposed amendments to Section 9-3-15 will clarify the application of the height, setback and aesthetic standards contained therein to amateur radio antennas and uses. The proposed text amendment will revise Section 9-12-2 of the Zoning Code to remove outdated language regarding setbacks for amateur radio antennas. This is an administrative correction; as Section 9-12-2 of the Zoning Code had previously been preempted by the setback requirements of Section 9-3-15. The revised language will refer amateur radio users to the correct section of the Zoning Code. Likewise, Section 9-12-4 will be amended to clarify that the limitations on height of amateur radio antennas and support structures are governed by Section 9-3-15 and not by the 15' limitation imposed on other types of accessory uses. One member of the public came out in opposition to the proposed text amendment and recommended that the Village create an entirely separate ordinance for the regulation of amateur radio antennas. The Plan Commission found the proposed text amendment to be reasonable and voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board.

**ACTION PROPOSED:** Consideration of Attached Ordinance.

**ORDINANCE NO. 19-0-\_\_\_\_\_**

**AN ORDINANCE AMENDING THE VILLAGE CODE OF  
THE VILLAGE OF WILLOWBROOK  
TITLE 9-ZONING ORDINANCE  
(ANTENNA REGULATIONS FOR VILLAGE ZONING DISTRICTS)**

---

**WHEREAS**, on or about May 17, 2019, the Village of Willowbrook, as applicant, filed an application for certain text amendments to the Zoning Ordinance of the Village of Willowbrook relating to the regulation of antenna installations in Village Zoning Districts; and,

**WHEREAS**, Notice of Public Hearing on said text amendments to the Village of Willowbrook Zoning Ordinance was published in the Chicago Sun-Times on or about July 1, 2019, all as required by the statutes of the State of Illinois and the ordinances of the Village of Willowbrook; and,

**WHEREAS**, a Public Hearing was conducted by the Plan Commission of the Village of Willowbrook on July 17, 2019, pursuant to said Notice, all as required by the statutes of the State of Illinois and the ordinances of the Village of Willowbrook; and,

**WHEREAS**, at said Public Hearing, the applicant provided testimony in support of the proposed amendments to the Village of Willowbrook Zoning Ordinance, and all interested parties had an opportunity to be heard; and,

**WHEREAS**, the Mayor and Board of Trustees of the Village of Willowbrook have received the recommendation of the Plan Commission pursuant to a memorandum dated July 22, 2019.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

**SECTION ONE:** That Title 9, Chapter 3, Section 9-3-15 of the Village Code of the Village of Willowbrook is hereby amended to read as follows:

### **9-3-15: ANTENNAS AND TOWERS FOR PERSONAL WIRELESS SERVICES:**

Antennas and/or towers for personal wireless services shall not be installed without first obtaining a permit from the Village Administrator or his/her designee. The following regulations shall govern the installation of antennas and towers for personal wireless services facilities:

- (A) For the purposes of this section, the following words and terms shall be construed as herein defined:

ANTENNA: Any exterior apparatus designed for the sending and/or receiving of electromagnetic waves, and used for personal wireless services.

FAA: The Federal Aviation Administration.

FCC: The Federal Communications Commission.

PERSONAL WIRELESS SERVICES: Commercial mobile services, common carrier wireless exchange access services, amateur radio communications, including shortwave, HAM, or CB Radio services, and unlicensed wireless services (i.e., telecommunications services using duly authorized devices which do not require individual licenses, but not including direct to home satellite services).

TOWER: Any structure designed and constructed primarily for, and used for, the purpose of supporting one or more antennas.

- (B) The purpose and intention of this section is to provide for the installation of antennas and towers for personal wireless services so as to: encourage the location of commercial towers in nonresidential areas and minimize the total number of towers throughout the Village; encourage users of towers and antennas to locate them, to the extent possible, in areas where the adverse impact on the Village is minimal; encourage users of towers and antennas to configure them in a way that minimizes the adverse visual impact of the towers and antennas; to require location of towers and antennas a safe distance from adjacent property owners; and to comply with the requirements of Federal law.
- (C) Antennas and towers for personal wireless services, complying with the requirements of this section, may be installed on lots, except parks, in the following districts:

B-1	Neighborhood Shopping District
B-2	Community Shopping District
B-3	General Business District
B-4	Highway and Service Business District
L-O-P	Limited Office Professional District
O-R	Office and Research District
L-O-R	Limited Office and Research District
M-1	Light Manufacturing District

Further, antennas for personal wireless services, complying with the requirements of this section, may be installed on lots in the R-5 Residential District, or lots owned by the Village, a unit of local government, the State, or the Federal government, in any residential district.

Antennas and towers for personal wireless services may be installed on lots with different existing principal structures and/or uses. Such antennas and towers, complying with the requirements of this section, shall not be deemed to be either principal or accessory structures or uses, but shall be permitted additional structures. Such antennas and towers, including all associated electrical and mechanical equipment, shall, however, be included for purposes of determining maximum lot coverages for the lots upon which they are located.

Notwithstanding the foregoing, antennas and towers used for amateur radio communications, including shortwave, CB, or HAM radio transmitting and receiving, are hereby deemed permitted accessory structures and uses in rear yards of all residential districts as described in Section 9-12-2 of the Willowbrook Municipal Code.

- (D) Antennas and towers for personal wireless services may be installed on lots as provided at subsection (C) of this section, in accordance with the following:
1. No new tower shall be permitted unless the applicant demonstrates to the reasonable satisfaction of the Village Administrator or his/her designee that no existing tower or structure can accommodate the applicant's proposed antenna. Evidence submitted to demonstrate that no existing tower or structure can accommodate the applicant's proposed antenna may consist of any of the following:
    - (a) No existing towers or structures are located within the geographic area required to meet applicant's engineering requirements.

- (b) Existing towers or structures are not of sufficient height to meet applicant's engineering requirements.
  - (c) Existing towers or structures do not have sufficient structural strength to support applicant's proposed antenna and related equipment.
  - (d) The applicant's proposed antenna would cause electromagnetic interference with the antenna on the existing towers or structures, or the antenna on the existing towers or structures would cause interference with the applicant's proposed antenna.
  - (e) The fees, costs, or contractual provisions required by the owner in order to share an existing tower or structure or to adapt an existing tower or structure for sharing are unreasonable. Costs exceeding new tower development are presumed to be unreasonable.
  - (f) The applicant demonstrates that there are other limiting factors that render existing towers and structures unsuitable.
2. Each tower shall be of a monopole type (i.e., a cylindrical, tapering metal pole without guywires) and shall have a galvanized finish or be painted a neutral color so as to minimize visual obstructiveness. The provisions of this paragraph shall not apply to amateur radio devices, including shortwave, HAM or CB radio antenna facilities.
  3. Each tower shall be roof mounted, i.e., structurally attached to the roof of a building, or freestanding, i.e., structurally attached directly to the ground.
  4. No freestanding tower shall exceed a total height of twenty feet (20') above the zoning district's maximum building height, and no roof mounted tower shall exceed a total height of twenty feet (20') above the building height, both as measured to the highest point of the tower, including the height of any antennas attached thereto, unless the applicant can demonstrate to the satisfaction of the Village Administrator or his/her designee that more height is physically necessary in order to permit the provision of personal wireless services and no alternative location or locations exist which would permit the provision of personal wireless services without a tower of such height; in which case, the tower shall not exceed the minimum height necessary to provide personal wireless services.
  5. Each tower shall be installed, and at all times maintained, in accordance with the Village's Building Code, Title 4, Chapter 2 of this Code, and with all applicable Federal, State and local laws, ordinances, codes, rules, regulations and standards, including, but not limited to, those of the FAA and the FCC.
  6. Each tower shall be equipped with an appropriate anticlimbing device or devices; and shall feature security fencing and/or other security measures, unless the applicant can demonstrate to the satisfaction of the Village Administrator or his/her designee that such fencing and/or other security measures may be waived without a significant adverse impact on public safety.
  7. Not more than one freestanding tower shall be installed on any zoning lot.



8. Each freestanding tower shall comply with all required setbacks for the zoning district in which such tower is located and, further, shall be setback from any adjacent property in the R-1, R-1A, R-2, R-3 and/or R-4 Residential Districts a distance not less than the height of such tower.
  9. No freestanding tower shall be installed less than five hundred feet (500') from any other freestanding tower.
  10. No tower shall be artificially illuminated, unless artificial illumination is required by the FAA or other regulatory agency having jurisdiction; in which case, such artificial illumination shall be limited to that which is so required.
  11. Antennas may be installed by structurally attaching them to a tower which complies with the requirements of this section, or by structurally attaching them directly to a principal structure which complies with the requirements of the district in which such structure is located.
  12. No antenna installed by direct structural attachment to an existing structure shall exceed a total height of ten feet (10') above the height of such structure.
  13. No antenna installed by structural attachment to a roof mounted tower or directly to a building shall overhang, or project, more than twenty four inches (24") beyond the plane of any exterior wall of such building.
  14. Each antenna, including all associated electrical and mechanical equipment, shall be of a neutral color identical to, or closely compatible with, the color of the supporting structure so as to minimize visual obstructiveness.
  15. All towers and antennas, including all associated electrical and mechanical equipment, shall be designed to the extent practicable to use materials, colors, textures, screening and landscaping which visually blend with the surrounding property.
- (E) Each applicant for a permit pursuant to this section shall provide to the Village Administrator or his/her designee an inventory of its existing towers within the Village and within one-half ( $\frac{1}{2}$ ) mile of the corporate limits of the Village, including specific information detailing the location, height and design of each such tower.
- (F) Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned, and the owner of such antenna or tower shall remove same within thirty (30) days of receipt of notice from the Village Administrator or his/her designee notifying the owner of such abandonment.
- (G) To the extent that this section is in conflict with the Small Wireless Facilities Deployment Act, 50 ILCS 840/1 et seq. or the provisions of Section 4-6-3 of the Willowbrook Municipal Code, this section shall not apply to the deployment of small wireless facilities in Village Zoning Districts.

**SECTION TWO:** That the section of the table contained in Title 9, Chapter 12, Section 9-12-2 referring to “Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving, and television, receiving” is hereby amended to read as follows:

Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving	Subject to bulk and setback regulations set forth in Section 9-3-15 of this Title.	-	-	X	-
Antenna, television, receiving	Within 15' of lot line, not more than 2 antennae on any 1 structure	-	-	X	-

**SECTION THREE:** The remaining provisions of Section 9-12-2 shall remain in full force and effect and unamended by this Ordinance.

**SECTION FOUR:** That Title 9, Chapter 12, Section 9-12-4(c) is hereby amended to read as follows:

- (c) All detached accessory structures shall not exceed fifteen feet (15') in height except:
1. The height of signs shall be regulated by Chapter 11 of this title.
  2. The height of any flagpole shall not exceed thirty feet (30'). The length of the flag shall not exceed one-third (1/3) of the height of the flagpole to which it is attached.
  3. The height of detached canopies shall not exceed eighteen feet (18') with a minimum clearance above grade of fourteen feet (14').
  4. The height of antenna for use in shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving shall be regulated by Section 9-3-15 of this Title.

**SECTION FIVE:** All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION SIX:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED and APPROVED this August 12, 2019.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen,  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_  
NAYS: \_\_\_\_\_  
ABSTENTIONS: \_\_\_\_\_  
ABSENT: \_\_\_\_\_



## Village of Willowbrook

### Staff Report to the Village Board

<b>Village Board:</b>	
<b>Receive</b>	July 22, 2019
<b>Ordinance Consideration</b>	August 12, 2019
<b>Plan Commission:</b>	
<b>Hearing Date</b>	June 5, 2019
<b>2nd Hearing Date</b>	July 17, 2019
<b>Prepared By:</b>	Ann Choi, Planning Consultant
<b>Case Title:</b>	PC 19-04: Text Amendments to amend Sections 9-3-15, 9-12-2 and 9-12-4(C) of the Zoning Title of the Village of Willowbrook regarding regulation of telecommunications antennas and antenna support structures.
<b>Petitioner:</b>	Village of Willowbrook
<b>Action Requested by Applicant:</b>	Consideration and recommendation of text amendments to the Zoning Ordinance of the Village of Willowbrook.
<b>Code Sections to be by Amended or Added:</b>	Title 9 – Zoning Sections:  9-3-15           Antennas and Towers for Personal Wireless Services 9-12-2         Permitted Accessory Buildings, Structures and Uses 9-12-4(C)      Bulk Regulations

<b>Necessary Action by Village Board:</b>	Consideration of Attached Ordinance.
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## History & Discussion of Request

Village staff proposes text amendments to the Village Zoning Code to remove outdated information and to bring it into compliance with the recently enacted state laws. The proposed amendments to the Zoning Code will also clarify the application of certain bulk regulations to the permitted accessory use of amateur radio antennas in residential districts.

Pursuant to the proposed text amendment, Section 9-3-15 of the Village Zoning Code will be amended to remove references to the Director of Municipal Services, a position which no longer exists within the Village. Section 9-3-15 will also be amended to acknowledge that certain provisions contained therein are preempted by the Small Wireless Facilities Deployment Act, 50 ILCS 840/1 et seq. recently adopted by the State of Illinois. The Small Wireless Facilities Deployment Act sets forth certain bulk standards for right-of-way construction of Small Wireless Antenna Facilities and permits the installation of such antennas within Commercial and Industrial districts. The Village of Willowbrook previously amended Title 4 of the Village Code to comply with the recent state law, and the proposed amendment to the Zoning Code will clarify the relevant code sections to proposed small wireless service providers. The remaining proposed amendments to Section 9-3-15 will clarify the application of the height, setback and aesthetic standards contained therein to amateur radio antennas and uses.

The proposed text amendment will revise Section 9-12-2 of the Zoning Code to remove outdated language regarding setbacks for amateur radio antennas. This is an administrative correction; as Section 9-12-2 of the Zoning Code had previously been preempted by the setback requirements of Section 9-3-15. The revised language will refer amateur radio users to the correct section of the Zoning Code. Likewise, Section 9-12-4 will be amended to clarify that the limitations on height of amateur radio antennas and support structures are governed by Section 9-3-15 and not by the 15' limitation imposed on other types of accessory uses.

### Amend Sections 9-3-15, 9-12-2 and 9-12-4(C) as follows:

Pursuant to the proposed text amendment, Sections 9-3-15, 9-12-2 and 9-12-4(C) of the Village Zoning Code will be amended to remove references to the Director of Municipal Services, a position which no longer exists within the Village. All instances of "Director of Municipal Services" will be replaced with **"Village Administrator or his/her designee"**.

### Amend Section 9-3-15(A) as follows:

Add to the definition of PERSONAL WIRELESS SERVICES "amateur radio communications, including shortwave, HAM, or CB Radio services," before "and unlicensed wireless services (i.e., telecommunications services using duly authorized devices which do not require individual licenses, but not including direct to home satellite services)."

#### Existing text:

"PERSONAL WIRELESS SERVICES: Commercial mobile services, common carrier wireless exchange access services, and unlicensed wireless services (i.e., telecommunications services using duly authorized devices which do not require individual licenses, but not including direct to home satellite services)."

#### Proposed text:

"PERSONAL WIRELESS SERVICES: Commercial mobile services, common carrier wireless exchange access services, **amateur radio communications, including shortwave, HAM, or CB Radio services**, and unlicensed wireless services (i.e., telecommunications services using duly authorized devices which do not require individual licenses, but not including direct to home satellite services)."



**Amend Section 9-3-15(B) as follows:**

Add "to require location of towers and antennas a safe distance from adjacent property owners;" before "and to comply with the requirements of Federal Law".

**Existing text:**

"The purpose and intention of this section is to provide for the installation of antennas and towers for personal wireless services so as to: encourage the location of towers in nonresidential areas and minimize the total number of towers throughout the Village; encourage users of towers and antennas to locate them, to the extent possible, in areas where the adverse impact on the Village is minimal; encourage users of towers and antennas to configure them in a way that minimizes the adverse visual impact of the towers and antennas; and to comply with the requirements of Federal law."

**Proposed text:**

"The purpose and intention of this section is to provide for the installation of antennas and towers for personal wireless services so as to: encourage the location of towers in nonresidential areas and minimize the total number of towers throughout the Village; encourage users of towers and antennas to locate them, to the extent possible, in areas where the adverse impact on the Village is minimal; encourage users of towers and antennas to configure them in a way that minimizes the adverse visual impact of the towers and antennas; **to require location of towers and antennas a safe distance from adjacent property owners;** and to comply with the requirements of Federal law."

**Amend Section 9-3-15(C) as follows:**

Add "Notwithstanding the foregoing, antennas and towers used for amateur radio communications, including shortwave, CB, or HAM radio transmitting and receiving, are hereby deemed permitted accessory structures and uses in rear yards of all residential districts as described in Section 9-12-2 of the Willowbrook Municipal Code." as the last paragraph of this section.

**Proposed text:**

Antennas and towers for personal wireless services, complying with the requirements of this section, may be installed on lots, except parks, in the following districts:

B-1	Neighborhood Shopping District
B-2	Community Shopping District
B-3	General Business District
B-4	Highway and Service Business District
L-O-P	Limited Office Professional District
O-R	Office and Research District
L-O-R	Limited Office and Research District
M-1	Light Manufacturing District



Further, antennas for personal wireless services, complying with the requirements of this section, may be installed on lots in the R-5 Residential District, or lots owned by the Village, a unit of local government, the State, or the Federal government, in any residential district.

Antennas and towers for personal wireless services may be installed on lots with different existing principal structures and/or uses. Such antennas and towers, complying with the requirements of this section, shall not be deemed to be either principal or accessory structures or uses, but shall be permitted additional structures. Such antennas and towers, including all associated electrical and mechanical equipment, shall, however, be included for purposes of determining maximum lot coverages for the lots upon which they are located.

**Notwithstanding the foregoing, antennas and towers used for amateur radio communications, including shortwave, CB, or HAM radio transmitting and receiving, are hereby deemed permitted accessory structures and uses in rear yards of all residential districts as described in Section 9-12-2 of the Willowbrook Municipal Code.**

**Amend Section 9-3-15(D)(2) as follows:**

Add "The provisions of this paragraph shall not apply to amateur radio devices, including shortwave, HAM or CB radio antenna facilities." as the last sentence of this paragraph.

Existing text:

"Each tower shall be of a monopole type (i.e., a cylindrical, tapering metal pole without guywires) and shall have a galvanized finish or be painted a neutral color so as to minimize visual obstructiveness."

Proposed text:

"Each tower shall be of a monopole type (i.e., a cylindrical, tapering metal pole without guywires) and shall have a galvanized finish or be painted a neutral color so as to minimize visual obstructiveness. **The provisions of this paragraph shall not apply to amateur radio devices, including shortwave, HAM or CB radio antenna facilities.**"

**Amend Section 9-3-15 as follows:**

Add "(G) To the extent that this section is in conflict with the Small Wireless Facilities Deployment Act, 50 ILCS 840/1 et seq. or the provisions of Section 4-6-3 of the Willowbrook Municipal Code, this section shall not apply to the deployment of small wireless facilities in Village Zoning Districts."

**Amend Section 9-12-2 as follows:**

Delete "Within 15' of lot line, not more than 2 antennae on any 1 structure" from the "Permitted Encroachment" column under the following "Permitted Use/Obstruction" category: "Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving and television, receiving".

Add "Subject to bulk and setback regulations set forth in Section 9-3-15 of this Title," under the "Permitted Encroachment" column in the following "Permitted Use/Obstruction" category: "Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving and television, receiving".

Delete "and television, receiving" from the section of the table referring to "Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving and television, receiving".

Add "Antenna, television, receiving" as its own category underneath same section of the table.



Existing text:

Permitted Use/Obstruction	Permitted Encroachment	F	S	R	C
Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving and television, receiving	Within 15' of lot line, not more than 2 antennae on any 1 structure	-	-	X	-

Proposed text:

Permitted Use/Obstruction	Permitted Encroachment	F	S	R	C
Antenna, shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving	Subject to bulk and setback regulations set forth in Section 9-3-15 of this Title.	-	-	X	-
Antenna, television, receiving	Within 15' of lot line, not more than 2 antennae on any 1 structure	-	-	X	-

Note:

"X"-Denotes permitted obstruction in yard or court

"-"-Denotes prohibited obstruction in yard or court

"F"-Denotes in front yards and exterior side yards adjoining a street

"S"-Denotes in interior side yards

"R"-Denotes in rear yards

"C"-Denotes in open court yards

**Amend Section 9-12-4(C) as follows:**

Add "4. The height of antenna for use in shortwave radio, transmitting and receiving, citizen band radio, transmitting and receiving, broadcast band radio, receiving shall be regulated by Section 9-3-15 of this Title."





## **Staff Recommendation**

Staff supports the proposed text amendments. If the Plan Commission concurs, the following sample recommendation is offered for consideration.

## **Plan Commission Public Hearing Summary**

The Plan Commission conducted a public hearing on this petition at their July 17, 2019 meeting. The following members were in attendance: Chairman Dan Kopp, Commissioners Kaucky, Soukup, Remkus and Walec. One member from the public provided public comments and was generally opposed to the proposed text amendment. He recommended that the Village propose an entirely separate ordinance to address amateur radio antennas in lieu of proposing amendments to an existing section of the code that deals with small wireless facilities.

## **Motion**

Following staff's report and the Plan Commission's discussion, the following motion by Commissioner Remkus was seconded by Commissioner Soukup and recommended approval by a unanimous roll call vote of the members present:

**Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board approval of the text amendments presented on Pages 1 to 5 of the Staff Report for PC Case Number 19-04 to amend Sections 9-3-15, 9-12-2 and 9-12-4(C) of the Zoning Title of the Village of Willowbrook. The proposed text amendments will remove outdated information, bring the zoning code into compliance with the recently enacted state laws, and clarify the application of certain bulk regulations to the permitted accessory use of amateur radio antennas in residential districts.**

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

AGENDA NO. **9**

**AN ORDINANCE AMENDING SECTION 4-2-11 ENTITLED "PERMIT FEES;" AND SECTION 4-2-48 ENTITLED "FIRE CODE ADOPTED;" OF CHAPTER 2 ENTITLED "BUILDING CODE" OF TITLE 4 ENTITLED "MUNICIPAL SERVICES" OF THE VILLAGE CODE OF ORDINANCES OF THE VILLAGE OF WILLOWBROOK**

AGENDA DATE: 08/12/19

STAFF REVIEW: Mike Mertens, Assistant Village Admin.

SIGNATURE: M. Mertens

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: Tom Bastian

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE: Brian Pabst

REVIEWED & APPROVED BY COMMITTEE:

YES ☒

NO ☐

N/A ☐

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The Village of Willowbrook utilizes TPI Building Consultants, Inc (TPI) for our Village building plan review and building inspection services. Representatives from TPI worked with the Village of Lombard on the development of a Hazardous Materials Reporting and Operational Permit System. Staff would recommend that the Village of Willowbrook consider a similar program for our community. As a comparison the Village of Lombard issued 30 Operational Permits in 2018 for a community of 43,745 people. Staff would recommend amending our code and establishing a yearly Operational Permit with the associated reporting and fee requirements. Section 430 ILCS 45 / Illinois Chemical Safety Act allows for the establishment of an orderly system to assure that responsible parties are adequately prepared to respond to the release of chemical substances into the environment and improves the ability of State and Local authorities to respond to such releases.

The Village of Willowbrook's Fire Code would be modified to require that any firm that maintains, stores, or handles hazardous materials, or conduct processes which produce conditions hazardous to life and property, apply for and be issued an Operational Permit with associated fees. This would allow the Village to gather information on the identified chemicals so that the requirements for the use and storage of hazardous materials, as defined by the International Fire Code, can be met. The Village of Willowbrook's Fire Code would require an Operational Permit to be issued and renewed annually for those occupancies that exceed the allowable quantities of identified hazardous materials at their facility.

This situation would require firms to make application for a Village issued Operational Permit for the sole purpose of making preparations to manage a heightened safety risk in your facility due to one or more of the following issues:

- Hazardous or flammable materials or processes
- High Fire Loads
- Materials or processes that have unique fire management characteristics

A supplemental exhibit is attached to clarify the process of establishing an Operational Permit, review the right of entry, inspection authority, inspection scenarios, violations and violation penalties.

**ACTION PROPOSED:** Pass Ordinance as presented.

**ORDINANCE NO. 19-0-\_\_**

**AN ORDINANCE AMENDING SECTION 4-2-11 ENTITLED “PERMIT FEES:” AND  
SECTION 4-2-48 ENTITLED “FIRE CODE ADOPTED:” OF CHAPTER 2 ENTITLED  
“BUILDING CODE” OF TITLE 4 ENTITLED “MUNICIPAL SERVICES” OF THE  
VILLAGE CODE OF ORDINANCES OF THE VILLAGE OF WILLOWBROOK**

---

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Code of the Village of Willowbrook be amended as follows:

**SECTION ONE.** Section 4-2-11 entitled “Permit Fees:” of Chapter 2 entitled “Building Code:” of Title 4 entitled “Municipal Services” as amended is hereby further amended in its entirety to read as follows:

**“4-2-11: PERMIT FEES:** The permit fees applicable to all development, building or construction within the village shall be those fees and charges as set forth herein.

**(A) Building Permit Fees:**

**1. Single-Family Residential Structures:**

**(a) Building Architectural Plan Examination and review fee (In-House):**

- (1) Initial:** Four hundred fifty dollars (\$450.00)
- (2)** In situations where the building plans are required to be subjected to additional reviews, an additional examination and review fee of Two hundred seventy-five dollars (\$275.00) shall be charged for each additional examination and review.

**(b) Grading plan examination and review fee:**

- (1)** Five hundred dollars (\$500.00).
- (2)** Grading plan examination and review fee: In situations where the grading plan plans are required to be subjected to additional reviews, an additional examination and review fee of two hundred fifty dollars (\$250.00) shall be charged for each additional examination and review.

**(c) Building Permit Fee, Residential:**

- (1)** Interior habitable areas, including, but not limited to, all floors including basement, crawl space, attic, etc. All residential building permit fees shall be incorporated within a cubical content fee calculated as follows: Eight cents (\$0.08) per cubic foot.
- (2)** Exterior roofed over and open areas that are contiguous with the SFR structure, including, but not limited to, porches, entry ways, etc.: All residential building

permit fees shall be incorporated within a cubical content fee calculated as follows: Two cents (\$0.02) per cubic foot.

- (d) Alterations, remodeling and repairs not requiring architectural plans or detailed drawings: One hundred and twenty-five dollars (\$125.00).
- (e) Foundation Only Permit Fee:
  - (1) A fee of sixty cents (\$0.60) per square foot based on foundation lot coverage dimensions (in conjunction with a new single-family residence building permit).
  - (2) Plan examination and review fee: Three hundred dollars (\$300.00)
  - (3) In situations where the 'foundation only' plans are required to be subjected to additional reviews, an additional examination and review fee of one hundred seventy-five dollars (\$175.00) shall be charged for each additional examination and review.
- (f) Outside Agency Reviews: The plan review for Single-Family Residential structures, including additions thereto, may be performed by a 3<sup>rd</sup> party plan review agency. All fees and charges related to the performance of this service shall be borne by the permittee.
- (g) Permit Applications: All New Single-Family Residential Structure permit applications shall be accompanied by a cash deposit of one thousand dollars (\$1000.00).
- (h) Should a permit be issued, the deposit shall be credited to the entire building permit fee. Should the Building Official or his/her designee determine not to issue the requested permit, or should the permit not be issued for any other reason, the entire deposit shall be retained by the Village as liquidated damages for the purpose of compensating the Village for costs incurred in the examination and review of the building permit application.  
(Ord. 02-O-10, 5-13-2002; amd. Ord. 05-O-32, 11-14-2005)

2. Multi-Family/Nonresidential Buildings, Including Parking Garages and Parking Decks:

- (a) Permit Applications: All permit applications shall be accompanied by a cash deposit of an amount in accordance with the following table to secure the payment of all costs incurred by the village in processing and reviewing such applications:

Gross Floor Area Of Proposed Structure (In Square Feet):	Required Plan Review Cash Deposit Amount:
(1) 1 to 1000	\$1,000.00
(2) 1,001 to 5,000	\$2,500.00
(3) 5,001 to 20,000	\$5,000.00
(4) 20,001 to 100,000	\$7,500.00
(5) 100,001 to 200,000	\$10,000.00
(6) Over 200,000	\$12,500.00

(Ord. 02-O-10, 5-13-2002)

Should a permit be issued, the deposit shall be credited to the entire building permit fee. Should the Building Official or his/her designee determine not to issue the requested permit, or should the permit not be issued for any other reason, the entire

deposit shall be retained by the village as liquidated damages for the purpose of compensating the village for costs incurred in the examination and review of the building permit application.

(Ord. 02-O-10, 5-13-2002; amd. Ord. 05-O-32, 11-14-2005)

- (b) Multi-Family/Nonresidential Buildings Building plan examination and review fee shall be determined based on the project. Minimum fees apply (In-House):

<u>(Square Feet):</u>	<u>Review Fee:</u>
(1) 1 to 1000	\$750.00
(2) 1,001 to 5,000	\$1,750.00
(3) 5,001 to 20,000	\$3,500.00
(4) 20,001 to 100,000	\$7,000.00
(5) 100,001 to 200,000	\$9,000.00
(6) Over 200,000	\$11,000.00

- (c) Additional [In-House] Reviews: In situations where plans are required to be subjected to additional reviews, an additional examination and review fee of one half (1/2) of the amount listed in (A)(2)(b)(1) shall be charged for each additional examination and review.
- (d) Outside Agency Reviews: The plan review for multi-family and nonresidential buildings, including additions thereto, may be performed by a 3<sup>rd</sup> party plan review agency. All fees and charges related to the performance of this service shall be borne by the permittee.
- (e) Building Permit Fees, Cubical Content: All commercial building permit fees shall be incorporated within a cubical content fee calculated as follows:
- (1) First 100,000 cubic feet: \$0.10 per cubic foot
  - (2) Each cubic foot in excess of 100,000 cubic feet up to and including 200,000 cubic feet: \$0.0775 per cubic foot
  - (3) Each cubic foot in excess of 200,000 cubic feet up to and including 500,000 cubic feet: \$0.055 per cubic foot
  - (4) Each cubic foot in excess of 500,000 cubic feet: \$0.0325 per cubic foot
- (f) Building Permit Fees, Mechanical Content (where Applicable):
- (1) Electrical permit fee add 0.25 x building permit fee calculated in Section (A)(2)(e).
  - (2) Plumbing permit fee add 0.25 x building permit fee calculated in Section (A)(2)(e).
  - (3) Mechanical permit fee add 0.25 x building permit fee calculated in Section (A)(2)(e).
- (g) Multi-Family and Nonresidential Uses: For new construction, a minimum building permit and inspection fee of three thousand dollars (\$3,000.00) shall apply.
- (h) Foundation Only Permit:
- (1) A fee of eighty cents (\$0.80) per square foot based on foundation lot coverage dimensions (in conjunction with a building permit).
  - (2) Plan examination and review fee: Four hundred dollars \$400.00).

- (3) In situations where the foundation only plans are required to be subjected to additional reviews, an additional examination and review fee of two hundred dollars \$200.00 shall be charged for each additional examination and review.
- (i) Multi-Family and Nonresidential Uses:
  - (1) Building Permit fees for alterations, conversions, remodeling, structural repairs, tenant completions, Build-Outs, etc., (Whereas a "Certificate of Occupancy" Issued after Final Construction Inspection is Approved by all Parties, shall be charged as follows: shall be charged as follows: Each cubic foot: \$0.055 per cubic foot
  - (2) Building Permit fees for alterations, Vanilla Boxes (No Build-out Plan(s) (Whereas a "Certificate of Completion" Issued after Final Construction Inspection is Approved by all Parties, shall be charged as follows: Each cubic foot: \$0.0325 per cubic foot
3. Off Street Parking, Parking Lots & Driveways:
  - (a) Resurfacing or Reconstruction: The resurfacing or reconstruction of any private roadway, parking area, driveway, etc., or the modification of the surface of any watercourse or ponding area shall require a permit.
  - (b) Multi-Family and Nonresidential/Commercial Uses:
    - (1) Newly Constructed: A permit fee of seven cents (\$0.07) per square foot of pavement surface.
    - (2) All permit applications for an existing parking lot overlay or reconstruction shall be accompanied by a proposed striping plan which indicates the size, layout and number of regular and disabled/accessible parking spaces and the location of all required above grade signs designating parking spaces which are reserved for disabled individuals and the indicated fines signage. The fee for such permit shall be in accordance with the following: Three hundred fifty dollars (\$350.00)
    - (3) Commercial Sealcoating: The sealcoating and restriping of any parking area shall require a permit signed by the Building Official. The fee for such permit shall be one hundred dollars \$100.00. The permit application for sealcoating shall be accompanied by a proposed striping plan which indicates the size, layout and number of both regular and disabled accessible/handicapped parking spaces and the location of all required above grade signs designating parking spaces which are reserved for disabled individuals.
  - (c) Residential (Single Family, Attached & Detached):
    - (1) Newly Constructed Driveways:
      - (a) Without a Culvert: One Hundred twenty-five Dollars (\$125.00).
      - (b) With a Culvert: One Hundred Fifty Dollars (\$150.00).
    - (2) Existing, Re-Constructed/Re-Surfaced Driveways:
      - (a) Without a Culvert: One Hundred Dollars (\$100.00).
      - (b) With a Culvert: One Hundred Fifty Dollars (\$125.00).
4. Accessory Structures: (Including but not limited to: Garages, Shed, Gazebos, etc.)
  - (a) In Single-Family Residential, building permit fee:
    - (1) Structures equal to or under 60 Square Feet: Thirty-five dollars (\$35.00)
    - (2) Structures greater than 60 square feet and under 125 Square Feet: Seven cents (\$0.07) per cubic foot of cubical content.
      - (a) With a Minimum fee of: Fifty dollars (\$50.00)

- (3) Structures greater than 126 Square Feet and under 200 Square Feet: Seven cents (\$0.07) per cubic foot of cubical content.
    - (a) With a Minimum fee of: Seventy-five dollars (\$75.00)
  - (4) Structures greater than 200 Square Feet: Seven cents (\$0.07) per cubic foot of cubical content.
    - (a) With a Minimum fee of: One hundred and seventy-five dollars (\$175.00)
- (b) In Non-Residential & Multi-Family, building permit fee:
  - (1) Per 4-2-11(A)(2)
    - (a) With a Minimum fee of: Three hundred and fifty dollars (\$350.00)
- 5. All Attached or Detached Decks:
  - (a) Single-Family, Attached/Detached (Townhouses, Duplexes): Fifty dollars (\$50.00).
  - (b) MFR New or Rehab (Condo Unit), Per Unit: Fifty dollars (\$50.00).
  - (c) MFR (Common Area): Seventy-five dollars (\$75.00).
  - (d) Non-Res / Commercial: one hundred dollars (\$100.00).
- 6. Miscellaneous Flatwork (Concrete, paver, etc.), Patios, Service Walks, Stoops/Steps, etc.:
  - (a) Single-Family, Attached/Detached (Townhouses, Duplexes): Walkways, Stoops only (Public or Private/Service): Fifty dollars (\$50.00).
  - (b) SFR, Patios only (Concrete, Pavers, etc.) Sixty dollars (\$60.00).
  - (c) SFR, Patios & Walk on one Permit. Eighty-five dollars (\$85.00).
  - (d) MFR/Non-Residential, Patios & walks (Condo Unit) (Concrete, Pavers, etc.) Fifty dollars (\$50.00).
  - (e) Multi-Family Residential (Common Area)/Non-Residential: Patios, Walkways, Stoops - Concrete, Pavers, etc.: Seventy-five dollars (\$75.00).
- 7. Private Street Re-Construction:
  - (a) Single Family Residential: One Hundred Fifty dollars (\$150.00).
  - (b) Multi-Family Residential: Two Hundred Fifty dollars (\$250.00).
  - (c) Non- Residential / Commercial: Three Hundred Fifty dollars (\$350.00).
- 8. Exterior Structural Alterations:
  - (a) Residential districts: A permit fee of six cents (\$0.06) per cubic foot of cubical content of the area which is the subject of the alteration.
    - (1) A minimum fee of two hundred fifty dollars (\$250.00) shall apply.
  - (b) Nonresidential districts: A permit fee of eight cents (\$0.08) per cubic foot of cubical content of the area which is the subject of the alteration.
    - (1) A minimum fee of five hundred fifty dollars (\$500.00) shall apply.
- 9. Existing Structure Moving:
  - (a) Single Family Residential "House" Moving: One Thousand dollars (\$1000.00) shall apply.
  - (b) Single Family Residential "Garage" Moving: One hundred dollars (\$100.00) (New Section) shall apply.
  - (c) Single Family Residential "Shed" Moving: twenty-five dollars (\$25.00) (New Section) shall apply.
- 10. Fences:
  - (a) Residential R1-R4 districts: Fifty dollars (\$50.00).
  - (b) Residential R5 districts: Seventy-five dollars (\$75.00).
  - (c) Commercial Districts: One hundred twenty-five dollars (\$125.00).
- 11. Satellite Earth Stations:
  - (a) Residential R1-R4 districts: One hundred dollars (\$100.00).

- (b) Residential R5 districts: One hundred fifty dollars (\$150.00).
- (c) Commercial Districts: Two hundred dollars (\$200.00). (No Change)
- 12. Personal Communication Services (PCS) Antennas:
  - (a) Freestanding Tower Mounted Devices:
    - (1) Residential, Amateur Radio Antenna/Equipment: Two hundred dollars (\$200.00).
    - (2) Non-Residential/Commercial Installations: Four thousand five hundred dollars (\$4,500.00).
  - (b) Building Mounted Devices:
    - (1) Residential, Amateur Radio Antenna/Equipment: One hundred fifty dollars (\$150.00).
    - (2) Non-Residential/Commercial Installations: Three thousand seven hundred fifty dollars (\$3,750.00).
  - (c) Alterations, modifications, additions to existing PCS equipment:
    - (1) Residential, Amateur Radio Antenna/Equipment: One hundred dollars (\$100.00).
    - (2) Non-Residential/Commercial Installations: Six hundred twenty-five dollars (\$625.00).
- 13. Swimming Pools:
  - (a) Swimming pools having sides which are equal to or more than four feet (4') above surrounding grade: one hundred fifty dollars (\$150.00).
  - (b) Swimming pools having sides less than four feet (4') above surrounding grade, including all pools constructed in ground:
    - (1) Residential: Three hundred dollars (\$300.00).
    - (2) Commercial: Five hundred dollars (\$500.00).
  - (c) Mechanical Installations related to a Pool:
    - (1) Electric w/ pool (Single-Family Residential): Fifty dollars (\$50.00).
    - (2) Electric w/ pool (Multifamily/Non-Residential): One hundred twenty-five dollars (\$125.00).
    - (3) Plumbing w/ pool (Single-Family Residential): Fifty dollars (\$50.00).
    - (4) Plumbing w/ pool (Multifamily/Non-Residential): One hundred twenty-five dollars (\$125.00).
    - (5) Fuel Gas w/ pool (Single-Family Residential): Fifty dollars (\$50.00).
    - (6) Fuel Gas w/ pool (Multifamily/Non-Residential): One hundred twenty-five dollars (\$125.00).
  - (d) Temporary Inflatable Pool: Fifty dollars (\$50.00).
- 14. Reroofing/Tear Offs Fees:
  - (a) All permit application shall be accompanied by an affidavit indicating the exact number of roofing layers that are currently on the residence. Alternately, the proposal can indicate "Tear-off All Existing".
  - (b) New Roof:
    - (1) Single-Family Residential (Detached/Attached), per residence: Seventy-five dollars (\$75.00).
    - (2) Single-Family Residential, Accessory Structure: Twenty-five dollars (\$25.00).
    - (3) Multi-Family Residential: Two hundred dollars (\$200.00).
    - (4) Non-Residential/Commercial: three hundred dollars (\$300.00).
  - (c) Re-Roof:



- (1) Single-Family Residential (Detached/Attached), per residence: Fifty dollars (\$50.00).
  - (2) Single-Family Residential, Accessory Structure: Fifteen dollars (\$15.00).
  - (3) Multi-Family Residential (Per Building): One hundred Fifty dollars (\$150.00).
  - (4) Non-Residential/Commercial (Per Building): Two hundred fifty dollars (\$250.00).
- 15. Remove & Replace Fenestration (windows, doors, skylights, etc.) Fees:
  - (a) Single-Family Residential (Detached / Attached):
    - (1) One through five (1-5) openings: Fifty dollars (\$50.00).
    - (2) Over six (6) openings: Seventy-five dollars (\$75.00).
  - (b) Multi-Family Residential:
    - (1) Condominiums: Fifty dollars (\$50.00).
    - (2) Common Area: One hundred dollars (\$100.00).
    - (3) If above no's 1 and 2 are over six (6) windows, add Twenty-five dollars (\$25.00).
  - (c) Commercial:
    - (1) One through five (1-5) openings: One hundred dollars (\$100.00).
    - (2) Over six (6) openings: One hundred fifty dollars (\$150.00).
- 16. Plus, all applicable Review & Inspection Fees

(B) Plumbing Permit Fees:

- 1. Residential; Single-Family (Attached/detached), Townhouse, Condominium:
  - (a) Fourteen dollars (\$14.00) per fixture.
  - (b) One hundred twenty dollars (\$120.00) minimum.
- 2. Commercial, Multi-Family (Building):
  - (a) Twenty-four dollars (\$24.00) per fixture.
  - (b) One hundred eighty dollars (\$180.00) minimum.
- 3. Minor Plumbing Alterations:
  - (a) Residential: Seventy-five dollars (\$75.00).
  - (b) Commercial: One hundred twenty-five dollars (\$125.00)
- 4. Lawn Sprinkling Systems:
  - (a) Residential: One hundred dollars (\$100.00)
  - (b) Multi-Family Residential: One hundred twenty-five dollars (\$125.00)
  - (c) Commercial: One hundred fifty dollars (\$150.00)
- 5. Water Heater/Boiler, New, Each:
  - (a) Residential/Multi-Family Residential: Seventy-five dollars (\$75.00)
  - (b) Commercial/Non-Residential: One hundred twenty-five dollars (\$125.00)
- 6. Water Heater/Boiler, Replacement, Each:
  - (a) Residential/Multi-Family Residential: Sixty dollars (\$60.00)
  - (b) Commercial/Non-Residential: Seventy-five dollars (\$75.00)
- 7. Water Service Connection (Per Building, each) Fee: See Title 6-8-2 for applicable fee schedule,
- 8. Water Service Disconnection (Per Building, each):
  - (a) Residential, Single-family attached / detached: One hundred twenty-five dollars (\$125.00)
  - (b) Multi-Family Residential: One hundred fifty dollars (\$150.00)

- (c) Commercial: Two hundred dollars (\$200.00)
- 9. Plus, all applicable Review & Inspection Fees

(C) Electrical Permit Fees:

1. Residential (Single-Family, Duplex, Townhouse, Condominium (per unit))
  - (a) New Service:
    - (1) Each 200 Amp: One hundred Seventy-five dollars \$175.00.
    - (2) Plus \$12.00 per Circuit.
    - (3) Plus \$17.00 per Motor/Fan.
  - (b) Existing Service Upgrade
    - (1) From under 200 Amps up to 200 Amps: One hundred dollars \$100.00.
    - (2) From 200 Amps up to 400 Amps: One hundred twenty-five dollars \$125.00.
    - (3) From under 200 Amps up to 400 Amps: One hundred fifty dollars \$150.00.
  - (c) Remodels, Alterations, etc.:
    - (1) Minimum Fee: Seventy-five dollars \$75.00.
2. Commercial, Multi-Family Residential:
  - (a) New Service:
    - (1) Each 200 Amp, up to 1000 Amp: Two hundred fifty dollars \$250.00.
    - (2) Excess Services: Fees for services in excess of one thousand (1,000) amperes shall be computed on the basis of the rating of the service disconnects installed prorated according to the schedule above and shall include feeders, risers and all wiring and equipment up to the branch circuit distribution panels or motor power panels or control centers.
    - (3) Plus \$18.00 per Circuit.
    - (4) Plus \$20.00 per Motor/Fan.
  - (b) Existing Service Upgrade
    - (1) Each 200 Amps: One hundred seventy-five dollars (\$175.00).
    - (2) Plus \$18.00 per Circuit.
  - (c) Remodels, Alterations, Build-Outs, etc. (Commercial & Multi-Family Res. Common Area): Minimum Fee: One hundred twenty-five dollars (\$125.00).
3. Back-up Generators:
  - (a) Residential: Seventy-five dollars (\$75.00).
  - (b) Commercial: One hundred twenty-five dollars (\$125.00).
4. Electric Vehicle Charging Stations:
  - (a) Residential: Seventy-five dollars (\$75.00).
  - (b) Commercial
    - (1) First Controller Unit: One hundred twenty-five dollars (\$125.00).
    - (2) Each Controller Unit after first: twenty-five dollars (\$25.00).
5. Temporary Electrical Services:
  - (a) Residential: Seventy-five dollars (\$75.00).
  - (b) Commercial: One hundred twenty-five dollars (\$125.00).
6. Low Voltage Electrical Systems: Fee for the installation of low voltage electrical systems, including but not limited to, burglar alarms, fire alarms, camera, computer systems shall be:
  - (a) Residential (Single-Family, Duplex, Townhouse, Condominium (per unit): Sixty dollars (\$60.00)
  - (b) Multi-Family Residential, Common Area: Seventy-five dollars (\$75.00)

- (c) Commercial:
    - (1) Single Condominium Unit: One hundred dollars (\$100.00).
    - (2) Entire Building and/or Common Areas: One hundred twenty-five dollars (\$125.00).
- 7. Solar Photovoltaic Systems:
  - (a) Residential (Single-Family, Duplex, Townhouse, Condominium (per unit): Fifty dollars (\$50.00).
  - (b) Multi-Family Residential - Common Area: One Hundred fifty dollars (\$150.00).
  - (c) Commercial, Multi-Family Residential - Common Area: Two-Hundred fifty dollars (\$250.00).
- 8. Plus, all applicable Review & Inspection Fees

(D) Heating, Ventilation, Air Conditioning (HVAC) Permit Fees:

- 1. Residential (Single-Family, Duplex, Townhouse, Condominium (per unit)):
  - (a) Each new Air conditioner condenser: One hundred dollars (\$100.00).
  - (b) Each new forced air furnace / boiler: One hundred dollars (\$100.00).
  - (c) Each replaced Air conditioner condenser: Seventy-five dollars (\$75.00).
  - (d) Each replaced forced air furnace / boiler: Seventy-five dollars (\$75.00).
- 2. Commercial, Non-Residential Condominium Unit:
  - (a) Each new Air conditioner condenser: One hundred dollars (\$100.00).
  - (b) Each new forced air furnace / boiler: One hundred dollars twenty-five (\$125.00).
  - (c) Each replaced Air conditioner condenser: One hundred dollars (\$100.00).
  - (d) Each replaced forced air furnace / boiler: One hundred dollars (\$100.00).
- 3. Commercial:
  - (a) Each New Roof Top Unit (RTU): Two hundred dollars (\$200.00).
  - (b) Each replaced Roof Top Unit (RTU): One hundred dollars twenty-five (\$125.00).
- 4. Plus, all applicable Review & Inspection Fees

(E) Sign Permit Fees: The fee to be charged for permits issued for the erection, construction or alteration of any sign, or advertising structure, marquee, canopy or awning, as defined in this subsection:

- 1. Non-Illuminated Signs:
  - (a) Flat fee, per sign: Ninety dollars (\$90.00)
  - (b) Plus, one dollar and seventy-five cents (\$1.75) per square foot of gross surface area of each face thereof.
- 2. Illuminated Signs:
  - (a) Flat fee, per sign: One hundred seventy-five dollars (\$175.00)
  - (b) Plus, six dollars (\$6.00) per square foot of gross surface area of each face thereof.
- 3. Marquees, Canopies and Awnings:
  - (a) Flat fee, per sign: Ninety dollars (\$90.00)
  - (b) Plus, one dollar and seventy-five cents (\$1.75) per square foot of gross surface area of each face thereof.

4. Existing Freestanding Sign Panel Change:
  - (a) Non-Illuminated:
    - (1) Flat fee, per sign: Fifty dollars (\$50.00)
    - (2) Plus, fifty cents (\$0.50) per square foot of gross surface area of each face thereof.
  - (b) Illuminated:
    - (1) Flat fee, per sign: Seventy-five dollars (\$75.00).
    - (2) Plus, one dollar and fifty cents (\$1.50) per square foot of gross surface area of each face thereof.
5. Temporary Signs, as regulated under the provisions of the Zoning Ordinance: Sixty dollars (\$60.00) per each two (2) week period, (eight (8) weeks maximum per calendar year).
6. Plus, all applicable Review Fees:
  - (a) Building Mounted: Ninety dollars (\$90.00)
  - (b) Free-Standing: One hundred eighty dollars (\$180.00)
  - (c) Temporary, per application: Twenty-five dollars (\$25.00)
  - (d) Each subsequent re-review fee shall be 50% of the initial review.
7. Plus, all applicable Inspection Fees.

(F) Conveyance Systems Permit Fees:

1. Review fee:
  - (a) Five (5) floors or less: Four hundred fifty dollars (\$450.00)
  - (b) Over five (5) floors: Six hundred dollars (\$600.00)
2. Initial Inspection/Re-Inspection fees, newly Installed:
  - (a) Initial (immediately after installation) One hundred fifty dollars (\$150.00)
  - (b) Re-Inspection, each: One hundred dollars (\$100.00)
3. Elevator, Escalators, Lifts (moves personnel):
  - (a) Five (5) floors or less: Five hundred dollars (\$500.00)
  - (b) Each additional floor over 5: One hundred dollars (\$100.00)
  - (c) Hand operated, 5 floors or less: One hundred fifty (\$150.00)
  - (d) Semiannual Inspection (per conveyance):
    - (1) First: One hundred seventy-five dollars (\$175.00)
    - (2) Re-inspection: One hundred seventy-five dollars (\$175.00), per re-inspection.
4. Dumbwaiter, conveyor, miscellaneous conveyance system fees (moves material):
  - (a) Five (5) floors or less: Five hundred dollars (\$500.00)
  - (b) Each additional floor over Five (5): Fifty dollars (\$50.00)
  - (c) Hand operated, Five (5) floors or less: (\$40.00)
  - (d) Semiannual Inspection (per conveyance):
    - (1) First: One hundred Twenty-five dollars (\$125.00)
    - (2) Re-inspection: One hundred dollars (\$100.00), per re-inspection
5. Modernization, modification: One hundred fifty dollars (\$150.00)
6. Plus, all applicable Review & Inspection Fees:

(G) Miscellaneous Permit Fees:

1. Final Inspections for "Certificate of Occupancy" (CO):
  - (a) Single-Family Residential:
    - (1) Architectural (Construction Final): Two hundred dollars (\$200.00).

- (2) Civil Engineering (As-Built/Final Topography Review & Site Visit): One hundred seventy-five dollars (\$175.00)
- (b) Multi-Family Architectural (Construction Final): One hundred dollars (\$100.00) Per dwelling unit.
- (c) Commercial/Nonresidential:
  - (1) Architectural (Construction Final):
    - (a) Individual Unit / Tenant Build-out: Two hundred dollars (\$200.00).
    - (b) New Building: Three hundred dollars (\$300.00).
  - (2) Civil Engineering (As-Built/Final Topography Review & Site Visit): Two Hundred fifty dollars (\$250.00).
- 2. Commercial Re-Occupancy Final Inspection for Certificate of Occupancy (CO):
  - (a) Equal to or under one thousand (1,000) square feet: Two hundred dollars (\$200.00).
  - (b) Over one thousand (1,000) square feet: Two hundred fifty dollars (\$250.00).
- 3. Final Inspections for Certificate of Completion (CC) (including but not limited to: remodel, rehab, flatwork, windows, accessory structures, fences, etc.):
  - (a) Single-family Residential & Multi Family Residential (Condo Unit): Forty dollars (\$40.00).
  - (b) Commercial/Nonresidential & Multi Family Res. (Common Area): Sixty dollars (\$60.00).
- 4. Temporary Occupancy Permits (TCO), fee per certificate issuance (predetermined time limits will apply, one-month term typical, 6 months maximum (weather based)):
  - (a) Residential, Per Dwelling Unit: One hundred twenty-five dollars (\$125.00).
  - (b) Nonresidential: Two hundred fifty dollars (\$250.00).
  - (c) It shall be the Temporary Occupancy Permit holder's responsibility to renew permit *prior* to expiration.
- 5. Operational Permit Inspections:
  - (a) Annual Inspection: One hundred dollars (\$100.00)
  - (b) Re-inspection: Seventy-five dollars (\$75.00), per re-inspection
- 6. National Pollutant Discharge Elimination System (NPDES) Inspections:
  - (a) Two hundred fifty dollars (\$250.00) each.
  - (b) Inspections may be performed by a 3<sup>rd</sup> party agency. All fees and charges related to the performance of this service shall be borne by the permittee.
- 7. Reinspection Fees:
  - (a) If an inspection is scheduled and the Inspector determines that the job has not progressed to a point where an Inspection can be made properly and is deemed "Not Approved", or access is not possible to perform the inspection, a one hundred dollar (\$100.00) reinspection fee, per discipline (including but not limited to: Rough/Final, Building/Framing, Electrical, Plumbing, Civil Engineering, Right-of-Way, Water, etc.), will be charged. No further inspections shall be made until such time as the reinspection fee has been paid.
  - (b) It shall be the "Permit Holder's" responsibility to pay all outstanding fees prior to the rescheduling of all subsequent inspections.
- 8. Work without benefit of a Permit:
  - (a) When work requiring a permit has been started prior to the issuance of such permit, the permit fee shall be "double" the amount of the standard permit fee. However, in no instance shall the fee for a permit issued under these circumstances exceed the standard permit fee by an amount in excess of:

- (b) Residential districts: Two hundred fifty dollars (\$250.00).
  - (c) Nonresidential districts, Commercial projects associated with Multifamily Residential properties: Seven hundred fifty dollars (\$750.00).
- 9. Change of Contractor: There shall be a charge of thirty-five dollars (\$35.00), along with the resubmittal of all necessary applications, bonds, and certificates, etc. for approval whenever a contractor is changed after the building permit has been issued.
- 10. Demolition/Wrecking:
  - (a) Residential:
    - (1) Principal Dwellings: One thousand five hundred dollars (\$1,500.00).
    - (2) Detached Garage Structures: One hundred seventy-five dollars (\$175.00).
    - (3) Other Accessory Structures: Fifty dollars (\$50.00).
  - (b) Nonresidential/Multi-Family:
    - (1) Principal Structures: Three thousand dollars (\$3,000.00).
    - (2) Detached Garage Structures: One hundred seventy-five dollars (\$175.00).
    - (3) Other Accessory Structures: Fifty dollars (\$50.00).
  - (c) Interior Demolition:
    - (1) Residential districts: Three hundred dollars (\$300.00), in conjunction with a building permit.
    - (2) Nonresidential districts: Six hundred dollars (\$600.00), in conjunction with a building permit.
  - (d) In-Ground Pools:
    - (1) Residential districts: One hundred dollars (\$100.00).
    - (2) Nonresidential districts: One hundred fifty dollars (\$150.00).
  - (e) Underground storage tanks / vessels (Not gasoline/service station related):
    - (1) Residential districts: One hundred dollars (\$100.00).
    - (2) Nonresidential districts: One hundred fifty dollars (\$150.00).
- 11. Accessory Structure / Temp Use (Commercial/Nonresidential) Review Fee:
  - (a) Outdoor sales / tents, etc.: One hundred fifty dollars (\$150.00).
  - (b) Outdoor seating, per year: Fifty dollars (\$50.00).
- 12. Foundation Stabilization:
  - (a) Residential districts: One hundred dollars (\$100.00).
  - (b) Nonresidential districts: One hundred fifty dollars (\$150.00).
- 13. Grading/Fill Permits:
  - (a) Residential districts: One hundred dollars (\$100.00).
  - (b) Nonresidential districts: One hundred fifty dollars (\$150.00).
  - (c) Pond / Stream Bank Stabilization: One hundred dollars (\$100.00).
- 14. Minimum Permit Fee for any Permit (Not Otherwise Specified Above):
  - (a) Residential districts, Attached/Detached (Townhouses, Duplexes, Condo Unit): One hundred dollars (\$100.00).
  - (b) Residential districts, Including Multifamily Residential Common Areas: One hundred twenty-five dollars (\$125.00).
  - (c) Nonresidential districts: One hundred fifty dollars (\$150.00).
- 15. Construction Water:
  - (a) Residential: Two hundred dollars (\$200.00).
  - (b) Commercial: Three hundred dollars (\$300.00).
- 16. Water Tap Final Inspection:
  - (a) Residential:

- (1) Initial: One hundred twenty-five dollars (\$125.00).
  - (2) Re-inspection: Seventy-five dollars (\$75.00).
- (b) Commercial / Non-Residential:
  - (1) Initial: Two hundred fifty dollars (\$250.00).
  - (2) Re-inspection: One hundred fifty dollars (\$150.00).
- 17. Public Right-of-Way and/or Easement Work: One hundred dollars (\$100.00).
- 18. Photometric Plan review:
  - (a) Residential: One hundred dollars (\$100.00).
  - (b) Commercial: One hundred fifty dollars (\$150.00)
- 19. Site Development Plans:
  - (a) An examination and review fee for the following categories of plans to be determined as follows:
    - (1) Site Plans:
      - (a) Six hundred dollars (\$600.00) per acre
      - (b) With a minimum fee of one thousand two hundred and fifty dollars (\$1,250.00).
    - (2) Landscape Plans, Including Tree Preservation Plans, Screening Plans, Etc.:
      - (a) Six hundred dollars (\$600.00) per acre
      - (b) With a minimum fee of one thousand two hundred and fifty dollars (\$1,250.00).
    - (3) Photometric Plans, Including Site Lighting Plans:
      - (a) Three hundred dollars (\$300.00) per acre,
      - (b) With a minimum fee of Six hundred dollars (\$600.00).
    - (4) Grading Plans, Not Including the Installation of Utilities or Any Other Site Improvements:
      - (a) Three hundred dollars (\$300.00) per acre,
      - (b) With a minimum fee of six hundred dollars (\$600.00) per acre.
    - (5) Utility Extension Plans, Including Water Mains, Sanitary Sewers or Storm Sewers:
      - (a) Two dollars and fifty cents (\$2.50) per lineal foot of pipe,
      - (b) With a minimum fee of Six hundred dollars (\$600.00).
    - (6) Site Engineering Plans:
      - (a) One thousand two hundred and fifty dollars (\$1,250.00) per acre.
      - (b) with a minimum fee of two thousand five hundred dollars (\$2,500.00).
  - (b) 2<sup>nd</sup> and subsequent plan reviews shall be assessed based upon 50% of the initial fee.
  - (c) All site development plan review submittals shall be accompanied by a fee calculated under the assumption that two (2) reviews will be performed. (Ord. 02-O-10, 5-13-2002)
- 20. Commercial Underground Gasoline Pumps:
  - (a) Install New U/G Tanks, Per tank: Six hundred dollars (\$600.00)
  - (b) Install New Gasoline Disp. Pumps, per: Three hundred dollars (\$300.00)
  - (c) Alterations to Existing Gasoline Disp. Pumps, per: Two hundred dollars (\$200.00)
  - (d) Alt's to Existing Gasoline Disp. Pump Base, per Island: Two hundred dollars (\$200.00)
  - (e) Alteration or replacement of underground gasoline pump lines: Two hundred fifty dollars (\$250.00).
  - (f) Removal & Replacement of Existing U/G Tanks: Two thousand dollars (\$2,000.00).

- (g) Removal of U/G Tanks, per: Three hundred dollars (\$300.00)
- 21. Plus, all Applicable Bonds (See 4-2-7 for Fees Schedule)
- 22. Plus, all applicable Review & Inspection Fees”

**SECTION TWO.** That Section 4-2-28 entitled “Fire Code Adopted” of Chapter 2 entitled “Building Code” of Title 4 entitled “Municipal Services” of the Village Code of the Village of Willowbrook, as amended, is hereby further amended to read as follows:

Section 105.1.2 Types of Permits. Operational Permit. Delete in its entirety and in lieu thereof substitute with the following new Section 105.1.2:

Section 105.1.2 Types of Permits. Operational Permit. An operational permit allows an applicant to conduct an operation(s) for which a permit is required by Section 105.6 in accordance with the schedule as outlined in the fee ordinances. A permit fee shall be charged annually for each type of operational permit in accordance with the schedule as outlined in the fee ordinances (see Operational Permit / Product Description and Fee Table below). A permit shall constitute authority to maintain, store or handle materials; or to conduct processes which produce conditions hazardous to life or property.

Operational Permit / Product Description and Fee Table				
	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
A	<b>Compressed Gases. Section 105.6.8:</b> An operational permit is required: Compressed gas. Storage, use or handling at normal temperature and pressure (NTP) of compressed gases in excess of amounts listed in Table 105.6.8 Exception: Vehicles equipped for and using compressed gas as a fuel to propel the vehicle.	Yes	\$150.00	105.6.8



B	<b>Cryogenic Fluids. Section 105.6.10:</b> An operational permit is required: To produce, store, transport onsite, use, handle or dispense cryogenic fluids in excess of the amount listed in Table 105.6.10	Yes	\$150.00	105.6.10
C	<b>Hazardous Materials. Section 105.6.20:</b> An operational permit is required to: Store, transport onsite, dispense, use or handle hazardous materials in excess of the amounts listed in Table 105.6.20	Yes	\$150.00	105.6.20
D	<b>Flammable and Combustible Liquids. Section 5701.4:</b> An operational permit is required:	-	-	-
D 1	To use or operate a pipeline for the transportation with facilities or flammable or combustible liquids. This requirement shall not apply to the offsite transportation (DOTn) (see section 3501.1.2) nor does it apply to piping systems (see section 3503.6)	Yes	\$150.00	5701.4
D 2	To store, handle or use of Class I liquids in excess of 5 gallons (19L) in a building or in excess of 10 gallons (37.9L) outside of a building, except that a permit is not required for the following:	Yes	\$150.00	5701.4
D 2.1	The storage or use of Class I liquids in the fuel tanks of a motor vehicle, aircraft, motorboat, mobile power plant or mobile heating plant unless such storage, in the opinion of the Fire Official would cause an unsafe condition.	No	-	-
D 2.2	The storage or use of paints, oils, varnishes or similar flammable mixtures when such liquids are stored for maintenance, painting or similar purposes for a period of not more than 30 days.	No	-	-
D 3	To store, handle or use Class II or Class IIIA liquids in excess of 25 gallons (95L) in a building or in excess of 60 gallons (227L) outside a building, except for fuel oil used in connection with oil-burning equipment.	Yes	\$150.00	5701.4

D 4	To remove Class I or Class II liquids from an underground storage tank used for fueling motor vehicles by means other than the approved, stationary on-site pumps normally used for dispensing purposes.	Yes	\$150.00	5701.4
D 5	To operate tank vehicles, equipment, tanks, plants, terminals, wells, fuel dispensing stations, refineries, distilleries and similar facilities where flammable and combustible liquids are produced, processed, transported, stored, dispensed or used.	Yes	\$150.00	5701.4
D 6	To install, alter, remove, abandon, place temporarily out of service (for more than 90 days) or otherwise dispose of an underground, protected above-ground or above-ground flammable or combustible tank.	Yes	\$150.00	5701.4
D 7	To change the type of contents stored in a flammable or combustible liquid tank to a material which poses a greater hazard than for which the tank was designed and constructed.	Yes	\$150.00	5701.4
D 8	To manufacture, process, blend, or refine flammable or combustible liquids.	Yes	\$150.00	5701.4
E	Inspection Fees:		See 4-2-11(G)(5)	

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

**SECTION TWO.** This Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publication, in pamphlet form, in the manner provided by law.

PASSED and APPROVED this \_\_\_\_\_ day of July 2019.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen,  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

The Village of Willowbrook is establishing / proposing an Operational Permit program.

Section 430 ILCS 45/ Illinois Chemical Safety Act, as amended, purposes the establishment of an orderly system to assure that responsible parties are adequately prepared to respond to the release of chemical substances into the environment and improves the ability of State and local authorities to respond to such releases.

As such, Village of Willowbrook has proposed to amend amended the International Fire Code (IFC), Section 105.6, (WB 4-2-28(B)(6)) (Title 4, Chapter 2, Section 28, B, 6) to require any firm that maintains, stores, or handles hazardous materials; or conduct processes which produce conditions hazardous to life and property; apply for and be issued an "Operational Permit".

This program allows the 'Authority Having Jurisdiction' (AHJ) (the AHJ is the Village of Willowbrook) to gather information on the business' operations, chemical inventories, personnel, emergency contact information, etc. An Operational permit will be issued and renewed annually, the fees for this program are detailed in both 4-2-28(B)(6) & 4-2-11.

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International Fire Code (4-2-28) Proposed Amendment:

Section 105.1.2 Types of Permits. Operational Permit. Delete in its entirety and in lieu thereof substitute with the following new Section 105.1.2:

Section 105.1.2 Types of Permits. Operational Permit. An operational permit allows an applicant to conduct an operation(s) for which a permit is required by Section 105.6 in accordance with the schedule as outlined in the fee ordinances. A permit fee shall be charged annually for each type of operational permit in accordance with the schedule as outlined in the fee ordinances (see Product Description and Fee Table below). A permit shall constitute permission to maintain, store or handle materials; or to conduct processes which produce conditions hazardous to life or property.

Operational Permit / Product Description and Fee Table				
	Description	Permit Required (Yes or No)	Administrative Permit Fee	IFC Code Reference
A	<b>Compressed Gases. Section 105.6.8:</b> An operational permit is required:  Compressed gas. Storage, use or handling at normal temperature and pressure (NTP) of compressed gases in excess of amounts listed in Table 105.6.8  Exception: Vehicles equipped for and using compressed gas as a fuel to propel the vehicle.	Yes	\$150.00	105.6.8

B	<b>Cryogenic Fluids. Section 105.6.10:</b> An operational permit is required: To produce, store, transport onsite, use, handle or dispense cryogenic fluids in excess of the amount listed in Table 105.6.10	Yes	\$150.00	105.6.10
C	<b>Hazardous Materials. Section 105.6.20:</b> An operational permit is required to: Store, transport onsite, dispense, use or handle hazardous materials in excess of the amounts listed in Table 105.6.20	Yes	\$150.00	105.6.20
D	<b>Flammable and Combustible Liquids. Section 5701.4:</b> An operational permit is required:	-	-	-
D 1	To use or operate a pipeline for the transportation with facilities or flammable or combustible liquids. This requirement shall not apply to the offsite transportation (DOTn) (see section 3501.1.2) nor does it apply to piping systems (see section 3503.6)	Yes	\$150.00	5701.4
D 2	To store, handle or use of Class I liquids in excess of 5 gallons (19L) in a building or in excess of 10 gallons (37.9L) outside of a building, except that a permit is not required for the following:	Yes	\$150.00	5701.4
D 2.1	The storage or use of Class I liquids in the fuel tanks of a motor vehicle, aircraft, motorboat, mobile power plant or mobile heating plant unless such storage, in the opinion of the Fire Official would cause an unsafe condition.	No	-	-
D 2.2	The storage or use of paints, oils, varnishes or similar flammable mixtures when such liquids are stored for maintenance, painting or similar purposes for a period of not more than 30 days.	No	-	-
D 3	To store, handle or use Class II or Class IIIA liquids in excess of 25 gallons (95L) in a building or in excess of 60 gallons (227L) outside a building, except for fuel oil used in connection with oil-burning equipment.	Yes	\$150.00	5701.4

D 4	To remove Class I or Class II liquids from an underground storage tank used for fueling motor vehicles by means other than the approved, stationary on-site pumps normally used for dispensing purposes.	Yes	\$150.00	5701.4
D 5	To operate tank vehicles, equipment, tanks, plants, terminals, wells, fuel dispensing stations, refineries, distilleries and similar facilities where flammable and combustible liquids are produced, processed, transported, stored, dispensed or used.	Yes	\$150.00	5701.4
D 6	To install, alter, remove, abandon, place temporarily out of service (for more than 90 days) or otherwise dispose of an underground, protected above-ground or above-ground flammable or combustible tank.	Yes	\$150.00	5701.4
D 7	To change the type of contents stored in a flammable or combustible liquid tank to a material which poses a greater hazard than for which the tank was designed and constructed.	Yes	\$150.00	5701.4
D 8	To manufacture, process, blend, or refine flammable or combustible liquids.	Yes	\$150.00	5701.4
E	Inspection Fees:		See 4-2-11(G)(5)	

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Once the Operational Permit is applied for both Willowbrook Building Department (WB) staff and Tri-State Fire Protection District (TS) will review the application. Section 105.2.2 Inspections authorized does allow WB & TS to inspect the premises prior to Permit Approval. Submittal shall be reviewed within ~ten (10) business days. Depending on the completeness of the application, the Permit can be either approved and issued, or deficiency comments will be returned to the applicant within the ~ten (10) business days.

**[A] 105.2.2 Inspection authorized.** Before a new operational permit is *approved*, the *fire code official* is authorized to inspect the receptacles, vehicles, buildings, devices, premises, storage spaces or areas to be used to determine compliance with this code or any operational constraints required.

Once an Operational Permit is Issued, an inspection will be scheduled at the facility. The inspections will be performed by both a member of the Willowbrook Building Department staff as well as personnel from the Tri-State Fire Protection District. An inspection will be scheduled by WB & TS staff within five (5) business days.

If a mutually agreed upon inspection date cannot be coordinated with the applicant within the first five (5) days after permit approval and Issuance, a mandatory inspection will be scheduled with ten (10) business days regardless of any delay on the part of the applicant.

The IFC, Section 104.3 Right of Entry, allows for the "Right of Entry" for our Inspectors. If a Permit holder does not allow access to the building, the code also provides a means to gain access through legal means. IFC Section 104.3.1 Warrant essentially allows a municipality to obtain a 'Administrative/Inspection Warrant' to gain access, whereas where a WB Police Officer will accompany Inspectional staff to the site to procure access.

**[A] 104.3 Right of entry.** Where it is necessary to make an inspection to enforce the provisions of this code, or where the *fire code official* has reasonable cause to believe that there exists in a building or on any premises any conditions or violations of this code that make the building or premises unsafe, dangerous or hazardous, the *fire code official* shall have the authority to enter the building or premises at all reasonable times to inspect or to perform the duties imposed on the *fire code official* by this code. If such building or premises is occupied, the *fire code official* shall present credentials to the occupant and request entry. If such building or premises is unoccupied, the *fire code official* shall first make a reasonable effort to locate the *owner*, the *owner's* authorized agent or other person having charge or control of the building or premises and request entry. If entry is refused, the *fire code official* has recourse to every remedy provided by law to secure entry.

**[A] 104.3.1 Warrant.** Where the *fire code official* has first obtained a proper inspection warrant or other remedy provided by law to secure entry, an *owner*, the *owner's* authorized agent or occupant or person having charge, care or control of the building or premises shall not fail or neglect, after proper request is made as herein provided, to permit entry therein by the *fire code official* for the purpose of inspection and examination pursuant to this code.

During the Operation Permit Inspection process, WB & TS staff will be substantiating all matters contained in the Permit, verifying 'onsite' quantities against the 'listed' quantities and code's 'allowable' quantities. Any other observed non-compliance will be addressed at that time.

**Inspection Scenario 1:** No violations observed: Staff will write up documentation stating all matters listed in the OP are in compliance with the terms and conditions listed in the OP. No further action will be required on the part of either party, AHJ or applicant, until the OP annual renewal date.

**Inspection Scenario 2:** Violations observed: Staff will write up documentation stating all observed violations. Whereas a "Re-Inspection shall be mandatory. Said Re-Inspection timeframe shall be determined based upon the site conditions observed; however, in no case shall the re-inspection be later than 10 business days from the initial inspection. (Note: There are no code minimum or maximum requirements for a re-inspection timeframe; once again, the site conditions observed shall dictate.)

**Inspection Scenario 3:** Violations observed & "No Remedial Action Taken" on the part of the OP Holder: Since staff considers this matter a matter of health & life safety, on the eleventh (11<sup>th</sup>) day after "No Remedial Action Taken", long form citations will be issued by WB Staff to the OP holder in accordance with IFC Sections 110 - 110.4; subsequently WB 4-2-28(B)(7); subsequently Title 1, Chapter 4, Section 1 (1-4-1) .

## SECTION 110 VIOLATIONS

[A] **110.1 Unlawful acts.** It shall be unlawful for a person, firm or corporation to erect, construct, alter, repair, remove, demolish or utilize a building, occupancy, premises or system regulated by this code, or cause same to be done, in conflict with or in violation of any of the provisions of this code.

[A] **110.2 Owner/occupant responsibility.** Correction and abatement of violations of this code shall be the responsibility of the *owner* or the owner's authorized agent. Where an occupant creates, or allows to be created, hazardous conditions in violation of this code, the occupant shall be held responsible for the abatement of such hazardous conditions.

[A] **110.3 Notice of violation.** Where the *fire code official* finds a building, premises, vehicle, storage facility or outdoor area that is in violation of this code, the *fire code official* is authorized to prepare a written notice of violation describing the conditions deemed unsafe and, where compliance is not immediate, specifying a time for reinspection.

[A] **110.3.1 Service.** A notice of violation issued pursuant to this code shall be served on the *owner*, the owner's authorized agent, operator, occupant or other person responsible for the condition or violation, either by personal service, mail or by delivering the same to, and leaving it with, some person of responsibility on the premises. For unattended or abandoned locations, a copy of such notice of violation shall be posted on the premises in a conspicuous place at or near the entrance to such premises and the notice of violation shall be mailed by certified mail with return receipt requested or a certificate of mailing, to the last known address of the *owner*, the owner's authorized agent, or occupant.



[A] **110.3.2 Compliance with orders and notices.** A notice of violation issued or served as provided by this code shall be complied with by the *owner*, the owner's authorized agent, operator, occupant or other person responsible for the condition or violation to which the notice of violation pertains.

[A] **110.3.3 Prosecution of violations.** If the notice of violation is not complied with promptly, the *fire code official* is authorized to request the legal counsel of the jurisdiction to institute the appropriate legal proceedings at law or in equity to restrain, correct or abate such violation or to require removal or termination of the unlawful occupancy of the structure in violation of the provisions of this code or of the order or direction made pursuant hereto.

[A] **110.3.4 Unauthorized tampering.** Signs, tags or seals posted or affixed by the *fire code official* shall not be mutilated, destroyed or tampered with, or removed, without authorization from the *fire code official*.

[A] **110.4 Violation penalties.** Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter, repair or do work in violation of the *approved construction documents* or directive of the *fire code official*, or of a permit or certificate used under provisions of this code, shall be guilty of a [SPECIFY OFFENSE], punishable by a fine of not more than [AMOUNT] dollars or by imprisonment not exceeding [NUMBER OF DAYS], or both such fine and imprisonment. Each day that a violation continues after due notice has been served shall be deemed a separate offense.

[A] **110.4.1 Abatement of violation.** In addition to the imposition of the penalties herein described, the *fire code official* is authorized to institute appropriate action to prevent unlawful construction or to restrain, correct or abate a violation; or to prevent illegal occupancy of a structure or premises; or to stop an illegal act, conduct of business or occupancy of a structure on or about any premises.

(Continued Next Page)

#### 4-2-28: FIRE CODE ADOPTED: (B)

7. Section 109.3 Violation Penalties: Delete this section in its entirety and in lieu thereof substitute the following new section 109.3:

Section 109.3 Violation Penalties. Any person who shall violate any provision of this code shall, upon conviction thereof, be subject to a fine of an amount as provided in ~~title 1, chapter 4~~, of the village code of the village of Willowbrook. Each day that a violation continues after due notice has been served, in accordance with the terms and provisions hereof, shall be deemed a separate offense.

#### 1-4-1: GENERAL PENALTY:

Whenever in this Code or in any ordinance of the Village any act is prohibited or is made or declared to be unlawful, or whenever in such Code or ordinance the doing of any act is required or the failure to do any act is declared to be unlawful, where no other penalty is expressly set forth, a violation of this Code or of any ordinance shall be punished by a fine of not less than seventy five dollars (\$75.00) and no more than seven hundred fifty dollars (\$750.00). Each day any violation of any provision of this Code or of any ordinance shall continue shall constitute a separate offense. In addition to a fine, the court may impose a period of conditional discharge as defined in 730 Illinois Compiled Statutes 5/5-1-4 or court supervision as defined in 730 Illinois Compiled Statutes 5/5-1-21 of the Criminal Code for a period of up to six (6) months, an order of restitution, an order to perform community service, an order to complete an education program and/or any other appropriate penalties or conditions authorized in any section of this Code or ordinance or any conditions for conditional discharge set forth in 730 Illinois Compiled Statutes 5/5-6-3 or for court supervision in 730 Illinois Compiled Statutes 5/5-6-3.1 as the foregoing are amended from time to time. (Ord. 12-O-04, 2-13-2012)

At the anniversary date of the annual Operational Permit, repeat.

## VILLAGE OF WILLOWBROOK

### BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

#### ITEM TITLE:

**A RESOLUTION OF THE VILLAGE OF WILLOWBROOK DETERMINING THE LOWEST RESPONSIBLE BIDDER FOR THE 2019/2020 ROADWAY MAINTENANCE PROGRAM AND AWARDING A CONTRACT TO CHICAGOLAND PAVING CONTRACTORS, INC.**

AGENDA NO. **10**

AGENDA DATE: 8/12/19

**STAFF REVIEW:** Joe Coons, Public Works Superintendent

SIGNATURE: Joe Coons / JMC

**LEGAL REVIEW:** Tom Bastian, Village Attorney

SIGNATURE: Tom Bastian

**RECOMMENDED BY:** Brian Pabst, Village Administrator

SIGNATURE: Brian Pabst

**REVIEWED & APPROVED BY COMMITTEE:**

YES ☐

NO ☒

N/A ☐

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, PERTINENT HISTORY)

This year's Motor Fuel Tax (MFT) Roadway Maintenance Program will include full-depth patching on various streets throughout the Village, replacement of defective concrete curb and pedestrian sidewalks, crack sealing, and replacement of worn pavement markings. The public bid opening for this year's program was held at the Village Hall on Thursday, August 1, 2018 at 10:00 AM. A total of four (4) sealed bids were received prior to the deadline:

<u>VENDOR</u>	<u>BID AMOUNT</u>
<i>(Engineer's Estimate)</i>	<i>(\$191,000.00)</i>
M&J Asphalt Paving Company, Inc.	\$185,609.14
Brothers Asphalt Paving, Inc.	\$189,572.88
Lindahl Brothers, Inc.	\$220,651.24
<b>Chicagoland Paving Contractors, Inc.</b>	<b>\$165,000.00</b>

Chicagoland Paving Contractors, Inc., Lake Zurich, IL, is an IDOT pre-qualified bidder. The bid has been reviewed by our Village Engineer, Christopher B. Burke Engineering and were found to be the most responsive and responsible bidder for the 2019/2020 Village of Willowbrook MFT program.

Their bid amount of \$165,000.00 is \$26,000.00 below the engineer's estimate of probable cost for the project.

#### STAFF RECOMMENDATION:

Staff would recommend that the attached resolution authorizing the Mayor and Village Clerk to award the contract for the 2019 MFT Roadway Maintenance Program to Chicagoland Paving Company, Inc. in the amount of \$165,000 be adopted. Once the Village Board awards the contract, it will be sent to IDOT for final contract approval. Once approved, staff will schedule a preconstruction meeting with the contractor. After which, the Village will issue the Notice to Proceed, and the work will begin. Staff anticipates that the work would start soon after September 1, 2019.

**RESOLUTION NO. 19-R-\_\_\_\_\_**

**A RESOLUTION OF THE VILLAGE OF WILLOWBROOK DETERMINING  
THE LOWEST RESPONSIBLE BIDDER FOR THE 2019/2020 ROADWAY  
MAINTENANCE PROGRAM AND AWARDING A  
CONTRACT TO CHICAGOLAND PAVING CONTRACTORS, INC.**

WHEREAS, the Village of Willowbrook publicly advertised, in the manner prescribed by law, for sealed bids for the 2019/2020 Motor Fuel Tax Roadway Maintenance Program (the “Project”); and

WHEREAS, the bids received were publicly opened, examined and declared by officials of Village of Willowbrook on August 1, 2019 at 10:00 a.m.; and

WHEREAS, of the bids received and opened, the lowest responsible bidder for the Project is Chicagoland Paving Contractors, Inc. at a base bid of One Hundred Sixty-Five Thousand and 00/100 Dollars (\$165,000.00).

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated and made a part of this Resolution as though set forth herein.

Section 2: Lowest Responsible Bidder.

The Mayor and Board of Trustees of the Village of Willowbrook do hereby find Chicagoland Paving Contractors, Inc. to be the lowest responsible bidder as set forth in its bid for the 2019/2020 Motor Fuel Tax Roadway Maintenance Project.

Section 3: Conditional Award of Contract.

Chicagoland Paving Contractors, Inc. is hereby awarded the contract for the Project at the price

not to exceed One Hundred Sixty-Five Thousand and 00/100 Dollars (\$165,000.00) as set forth in its bid proposal subject to: the furnishing of the proper bonds and execution of all contract documents.

Section 4:     Execution of Contract.

Provided further that Chicagoland Paving Contractors, Inc. returns to the Village a contract, attached hereto as Exhibit "A" and made a part hereof, with all other written contract documents attached, properly executed by it, along with the proper contract and performance bonds, at which time the Mayor and Board of Trustees is authorized to execute and the Village Clerk is directed to attest to the contract documents for the Project on behalf of the Village.

Section 5:     Effective Date.

This Resolution shall take effect upon its passage and approval in the manner provided by law.

ADOPTED and APPROVED this 12<sup>th</sup> day of August, 2019 by a roll call vote as follows:

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:     AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

## **EXHIBIT A**

### **CONTRACT**

THIS CONTRACT ENTERED INTO THIS \_\_\_\_\_ day of August, 2019 between Chicagoland Paving Contractors, Inc. ("Contractor") and the Village of Willowbrook, a municipal corporation of the State of Illinois ("Village"), in consideration of the following and other valuable consideration the sufficiency of which is hereby acknowledged, the Village and Contractor agree as follows:

1. The Village of Willowbrook has found it to be in the best interests of the Village to retain contractor to perform select street repairs and repaving in the Village.

2. Contractor has submitted a bid to the Village dated August 1, 2019, including all terms, conditions, requirements and specifications contained therein are incorporated herein as "Exhibit A" and expressly made a part of this agreement as if each term, condition and requirement was repeated herein verbatim. In the event any inconsistent terms are contained in this agreement and in "Exhibit A," the terms of this agreement shall control. The bid specifications are attached hereto.

3. Contractor agrees to complete such work in a good and workmanlike manner in accordance with the plans and specifications attached hereto.

4. The Contractor certifies that the Contractor is not delinquent in the payment of taxes to the Illinois Department of Revenue in accordance with 65 ILCS 5/11-42.1-1.

5. Contractor certifies that it is not barred from bidding on state, municipal or other contracts by reason of Sections 33E-3 (bid rigging) or 33E-4 (bid totaling) of the Criminal Code of 1961 (720 ILCS 5/33E-3 and 5/33E-4), and further certifies that it is not barred from bidding

on State, municipal and other contracts by reason of conviction of State laws regarding bid rigging or bid rotation.

6. The Village of Willowbrook agrees to pay Contractor for the performance of the work completed in a good and workmanlike manner (an amount not to exceed One Hundred Sixty-Five Thousand and 00/100 Dollars (\$165,000.00). Payment shall be in conformance with the provisions of the Local Government Prompt Payment Act (50 ILCS 505/1 et. seq.).

7. At the time of execution of the Agreement, the Contractor shall furnish, at Contractor's expense, bonds payable to the Village in the form of bonds set forth herein, secured by a surety company acceptable to the Village, as follows:

A. Faithful performance bond in an amount equal to one hundred percent (100%) of the total contract price, conditioned upon the faithful performance of all covenants and stipulations under the Contract and holding good for a period of one (1) year after the date when final payment becomes due, except as otherwise provided by law or regulation or by the Contract Documents to protect the Owner against the results of defective materials, workmanship, and equipment during that time.

B. Labor and material bond in an amount equal to one hundred percent (100%) of the total Contract Price for the payment of all persons, companies, or corporations who perform labor upon or furnish material to be used in the Work under this Contract.

8. Contractor agrees that not less than the prevailing wage as determined by the Illinois Department of Labor, shall be paid to all laborers, workers and mechanics performing work under this Contract in accordance with the Illinois Prevailing Wage Act and Contractor agrees to comply with all other provisions of the Illinois Prevailing Wage Act (820 ILCS 130/0.01 et. seq.) as amended. If the Department of Labor revises the wage rates, the revised rate

as provided by the Illinois Department of Labor shall apply to this Agreement and Contractor will not be allowed additional compensation on account of said revisions.

Contractor shall make and keep, for a period of not less than five (5) years, records of all laborers, mechanics, and other workers employed by them on the project; the records shall include each worker's name, address, telephone number when available, social security number, classification or classifications, the hourly wages paid in each period, the number of hours worked each day, and the starting and ending times of work each day.

Contractor shall submit monthly, in person, by mail, or electronically a certified payroll to the Village of Willowbrook. The certified payroll shall consist of a complete copy of the records. The certified payroll shall be accompanied by a statement signed by Contractor that:

- A. such records are true and accurate;
- B. the hourly rate paid to each worker is not less than the general prevailing rate of hourly wages required; and
- C. Contractor is aware that filing a certified payroll that he or she knows to be false is a Class B misdemeanor.

Upon seven (7) business days' notice, Contractor shall make available for inspection the records to the Village of Willowbrook, its officers and agents, and to the Director of Labor and his deputies and agents at all reasonable hours at a location within this State. Contractor and each subcontractor shall permit his/her employees to be interviewed on the job, during working hours, by compliance investigators of the Department or the Department of Labor. (See Attached for Certified Payroll Form)



9. Contractor agrees that it has and will comply with all laws relating to the employment preference to veterans in accordance with the Veterans Preference Act (330 ILCS 55/0.01 et. seq.).

10. Contractor agrees that it has and will comply with all laws relating to the employment of Illinois workers in accordance with the Employment of Illinois Workers on Public Works Act (30 ILCS 570/1 et. seq.).

11. Contractor agrees that it, pursuant to 30 ILCS 580/1 et. seq. (“Drug-Free Workplace Act”), will provide a drug-free workplace by:

A. Publishing a statement:

- 1) Notifying employees that the unlawful manufacture, distribution, dispensation, possession, or use of a controlled substance including cannabis, is prohibited in the workplace.
- 2) Specifying the actions that will be taken against employees for violations of such prohibition; and
- 3) Notifying the employee that, as a condition of employment on this Agreement, the employee will:
  - a. Abide by the terms of the statement; and
  - b. Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.

B. Establishing a drug-free awareness program to inform employees about:

- 1) The dangers of drug abuse in the workplace;
- 2) Contractor’s policy of maintaining a drug-free workplace;

3) Any available drug counseling, rehabilitation, and employee assistance program;

and

4) The penalties that may be imposed upon employees for drug violations.

C. Making it a requirement to give a copy of the statement required by Subsection A to each employee engaged in the performance of the Agreement and to post the statement in a prominent place in the workplace.

D. Notifying the Village of Willowbrook within ten (10) days after receiving notice under Subparagraph 11(A) 3 (b) from an employee or otherwise receiving actual notice of such conviction.

E. Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by any employee who is convicted, as required by 30 ILCS 580/5.

F. Assisting employees in selecting a course of action in the event drug counseling treatment and rehabilitation is required and indicating that a trained referral team is in place.

G. Making a good faith effort to continue to maintain a drug-free workplace through implementation of this section.

12. The Contractor certifies that if the Contractor is not a party to a collective bargaining agreement in effect, Contractor is in compliance with the Substance Abuse Prevention on Public Works Projects Act (820 ILCS 265/1, *et seq.*) and if Contractor is a party to a collective bargaining agreement, that agreement deals with the subject matter of the Substance Abuse Prevention on Public Works Projects Act or has in place and is enforcing a written program which meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act.

13. Contractor agrees that it has and will have in place and will enforce a written sexual harassment policy in compliance with 775 ILCS 5/2-105(A)(4).

14. During the performance of this contract, the Contractor agrees as follows:

A. That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, sexual orientation, military status or an unfavorable discharge from military service; and, further, that he or she will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any underutilization.

B. That, if he or she hires additional employees in order to perform this contract or any portion of this contract, he or she will determine the availability (in accordance with the Department's Rules and Regulations) of minorities and women in the areas from which he or she may reasonably recruit and he or she will hire for each job classification for which employees are hired in a way that minorities and women are not underutilized.

C. That, in all solicitations or advertisements for employees placed by him or her or on his or her behalf, he or she will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, sexual orientation, military status or an unfavorable discharge from military service.

D. That he or she will send to each labor organization or representative of workers with which he or she has or is bound by a collective bargaining or other agreement or understanding, a notice advising the labor organization or representative of the contractor's obligations under the Act and the Department's Rules and Regulations. If any labor organization

or representative fails or refuses to cooperate with the contractor in his or her efforts to comply with the Act and Rules and Regulations, the contractor will promptly notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations under the contract.

E. That he or she will submit reports as required by the Department's Rules and Regulations, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Act and the Department's Rules and Regulations.

F. That he or she will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and the Department for purposes of investigation to ascertain compliance with the Act and the Department's Rules and Regulations.

G. That he or she will include verbatim or by reference the provisions of this clause in every subcontract that may be awarded under which any portion of the contract obligations are undertaken or assumed, so that the provisions will be binding upon the subcontractor. In the same manner as with other provisions of this contract, the contractor will be liable for compliance with applicable provisions of this clause by subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply with the provisions. In addition, the contractor will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

In the event of the contractor's non-compliance with the provisions of this Equal Employment Opportunity Clause, the Act or the Rules and Regulations of the Department, the

contractor may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and the contract may be cancelled or voided in whole or in part, and other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation.

15. During the performance of its Agreement with the Village of Willowbrook, Contractor:

Will not maintain or provide for its employees any segregated facilities at any of its establishments, and not permit its employees to perform their services at any location, under its control, where segregated facilities' means any waiting rooms, work areas, restrooms and washrooms, restaurants and other eating areas, time clocks, locker rooms and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation and housing facilities provided for employees which are segregated by explicit directive or are in fact segregated on the basis of race, creed, color, or national origin because of habit, local custom, or otherwise. Contractor (except where it has obtained identical certifications from proposed Subcontractors and material suppliers for specific time periods), obtain certifications in compliance with this subparagraph from proposed subcontractors or material suppliers prior to the award of a subcontract or the consummation of material supply agreements, exceeding \$10,000.00 which are not exempt from the provisions of the Equal Opportunity clause, and that Contractor will retain such certifications in its files.

16. Contractor agrees to assume all risk of loss and to indemnify and hold harmless the Village of Willowbrook, its officers, agents and employees from any and all liabilities, claims, suits, injuries, losses, damages, fines or judgments, including litigation costs and attorneys' fees, arising out of the work performed by Contractor including, to the extent allowed

by law, those liabilities, injuries, claims, suits, losses, damages, fines or judgments, including litigation costs and attorneys' fees arising out of, or alleged to arise out of, the intentional, willful, wanton or negligent acts of Contractor, its employees, agents, assigns and/or subcontractors.

17. The Contractor represents and warrants to the Village that neither it nor any of its principals, shareholders, members, partners, or affiliates, as applicable, is a person or entity named as a Specially Designated National and Blocked Person (as defined in Presidential Executive Order 13224) and that it is not acting, directly or indirectly, for or on behalf of a Specially Designated National and Blocked Person. The Contractor further represents and warrants to the Village that the Contractor and its principals, shareholders, members, partners, or affiliates, as applicable, are not, directly or indirectly, engaged in, and are not facilitating, the transactions contemplated by this Agreement on behalf of any person or entity named as a Specially Designated National and Blocked Person. The Contractor hereby agrees to defend, indemnify and hold harmless the Village, the Corporate Authorities, and all Village elected or appointed officials, officers, employees, agents, representatives, engineers, and attorneys, from and against any and all claims, damages, losses, risks, liabilities, and expenses (including reasonable attorneys' fees and costs) arising from and related to any breach of the foregoing representations and warranties.

18. Insurance requirements shall be as follows:

A. Contractor shall procure and maintain for the duration of the Contract insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Work by the contractor, its agents, representatives, employees or subcontractors.

B. Coverage shall be at least as broad as:

- 1) Insurance Services Office Commercial General Liability Occurrence form CG 0001 (Ed. 11/85); and
- 2) Insurance Services Office form number CA0001 (Ed. 1/87) covering Automobile Liability, symbol 01 “any auto” and endorsement CA0029 (Ed. 12/88) changes in Business Auto and Truckers coverage forms – Insured Contract; and
- 3) Worker’s Compensation as required by the Labor Code of the State of Illinois and Employers’ Liability Insurance.

C. Contractor shall maintain limits no less than:

- 1) Commercial General Liability: \$2,000,000 combined single limit per occurrence for bodily injury, personal injury, and property damage.
- 2) Automobile Liability: \$1,000,000 combined single limit per accident for bodily injury and property damage.
- 3) Worker’s Compensation and Employers’ Liability: Worker’s Compensation limits as required by the Labor Code of the State of Illinois and Employers’ Liability limits of \$1,000,000 per accident.

B. The policies are to contain, or be endorsed to contain the following provisions:

- 1) Commercial General Liability and Automobile Liability Coverages:
  - a. The Village, its officials and employees are to be covered as additional insureds as respects liability arising out of activities performed by or on behalf of the Contractor, as well as materials, and equipment procured, owned, leased, hired or borrowed by the Contractor. The

coverage shall contain no special limits on the scope of the protection afforded to the Village and its officials.

- b. The Contractor's insurance coverage shall be primary insurance as respects the Village, its officials and employees. Any insurance or self-insurance maintained by the Village, its officials or employees shall be excess of Contractor's insurance and shall not contribute with it.
- c. Any failure to comply with reporting provisions of the policies shall not affect coverage provided to the Village, its officials or employees.
- d. Coverage shall state that the Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

2) Worker's Compensation and Employers' Liability Coverage:

The insurer shall agree to waive all rights of subrogation against the Village, its officials, employees or volunteers for losses arising from work performed by the Contractor for the Village.

3) All Coverages:

Each insurance policy required by this clause shall be endorsed to state that the coverage shall not be suspended, voided, canceled, reduced in coverage or in limits except after thirty (30) day's prior written notice by certified mail, return receipt requested, has been given to the Village.



19. Contractor shall at all times observe and comply with all laws, ordinances, and regulations of the federal, state, local and Village government which may in any manner affect the performance of this Contract.

20. No member of the governing body of the Village of Willowbrook or other unit of government and no other officer, employee, or agent of the Village of Willowbrook or other unit of government who exercises any functions or responsibilities in connection with the carrying out of this project to which this Contract pertains, shall have personal interest, direct or indirect, in the Contract.

Additionally, the Contractor certifies that no officer or employee of the Village of Willowbrook has solicited any gratuity, discount, entertainment, hospitality, loan, forbearance, or other tangible or intangible item having monetary value including, but not limited to, cash, food and drink, and honoraria for speaking engagements related to or attributable to the government employment or the official position of the employee or officer from the contractor in violation of Chapter 12 of the Village Code of Ordinances of the Village of Willowbrook, adopted by the Village pursuant to the requirements of Article 10 of the State Officials and Employees Ethics Act.

Finally, The Contractor certifies that the Contractor has not given to any officer or employee of the Village of Willowbrook any gratuity, discount entertainment, hospitality, loan, forbearance, or other tangible or intangible item having monetary value including, but not limited to, cash, food and drink, and honoraria for speaking engagements related to or attributable to the government employment or the official position of the employee or officer from the contractor in violation of Chapter 12 of the Village Code of Ordinances of the Village

of Willowbrook adopted by the Village pursuant to the requirements of Article 10 of the State Officials and Employees Ethics Act.

21. In the event that Contractor shall fail to perform such work within a reasonable time after being assigned such work or shall fail to complete such work in a good and workmanlike manner, the Village of Willowbrook may terminate this Contract by written notice to Contractor, effective immediately upon mailing.

22. All change orders increasing the cost of the contract by Five Thousand Dollars (\$5,000.00) or less must be approved, in writing, by the Village Administrator. All change orders increasing the cost of the contract by Five Thousand Dollars(\$5,000.00) or more must be approved by official action of the Village Board of the Village of Willowbrook.

Additionally, no change order which authorizes or necessitates any increase in the contract price that is fifty percent (50%) or more of the original contract price or that authorizes or necessitates any increase in the price of a subcontract under the contract that is fifty percent (50%) or more of the original subcontract price shall be issued, unless the portion of the contract that is covered by the change order is resubmitted for bidding in the same manner for which the original contract was bid, or unless competitive bidding was waived for the original portion of the contract that is covered by the change order. Bidding for the portion of the contract covered by the change order shall be subject to any requirements to employ females and minorities on the project that existed at the bidding for the original contract, together with any later requirements imposed by law.

23. Notice as provided for herein shall be transmitted to the Village of Willowbrook, Village Administrator, 835 Midway Drive, Willowbrook, Illinois 60527 or to Chicagoland Paving Contractors, Inc., 225 Telser Road, Lake Zurich, Illinois 60047, Attn: Kevin Meartz, as

may be applicable by first class prepaid mail. Any notice to Contractor shall be deemed received when mailed.

24. Contractor agrees to maintain all records and documents for projects of the Public Body in compliance with the Freedom of Information Act, 5 ILCS 140/1 et seq. In addition, Contractor shall produce within three (3) days, without cost to the Public Body, records which are responsive to a request received by the Public Body under the Freedom of Information Act so that the Public Body may provide records to those requesting them within the required five (5) business day period. If additional time is necessary to compile records in response to a request, then Contractor shall so notify the Public Body within three (3) days in order for the Village shall request an extension so as to comply with the Act. In the event that the Village is found to have not complied with the Freedom of Information Act based upon Contractor's failure to produce documents or otherwise appropriately respond to a request under the Act, then Contractor shall indemnify and hold the Village harmless, and pay all amounts determined to be due including but not limited to fines, costs, attorneys' fees and penalties.

25. Time is of the essence of this Contract.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

This Contract is made and executed in duplicate in Willowbrook, DuPage County,  
Illinois the day and year first above written.

CONTRACTOR:

By: \_\_\_\_\_  
Kevin Meartz,  
Its duly authorized agent

ATTEST:

\_\_\_\_\_  
Title: \_\_\_\_\_

VILLAGE OF WILLOWBROOK

By: \_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

## INSTRUCTIONS FOR CERTIFIED PAYROLL FORM

***PLEASE NOTE: THE SUBMISSION OF FALSIFIED PAYROLL RECORDS IS A CRIMINAL OFFENSE.***

1. For all public works projects, Payroll Certifications and Accompanying Affidavit must be filed with the Village of Willowbrook on a monthly basis under the Illinois Prevailing Wage Act (820 ILCS 130/5).
2. The information must be provided for **each payroll period**. Please note the starting and ending dates of each payroll period in the space provided.
3. If you are a contractor or subcontractor working for the Village of Willowbrook on more than one project, please fill out a form for each project.
4. For each project you worked on for the Village of Willowbrook, you must identify the names of employees that worked on the project and their classifications. You must record the number of hours they worked each day of the pay period, along with the total hourly wages paid during that pay period, including the hourly fringe benefits paid.
5. Please note that pertinent information is required on the second sheet. The Subcontractor information, if applicable, is very important; however, it is **ABSOLUTELY IMPERATIVE** that the **AFFIDAVIT** information be completed in its **ENTIRETY** including **SIGNATURE**. If additional forms are needed and copies are made, please be sure to also duplicate the second sheet. A second sheet **MUST** accompany every certified transcript of payroll form showing that you are swearing that the information on each sheet is accurate.
6. Fringe Benefits **MUST** be paid if required for the work classification, regardless of your union or non-union status.
7. If a fringe benefit is paid into a fund, place the letter "F" behind the rate; if the benefit is included on the employee's payroll check, place the letter "E" behind the rate; credit will be given for health insurance paid, payments made into an ERISA approved pension plan, required vacation and/or training (registration in a BAT-approved program).
8. The items requested under the heading, "Contract Information," help to correctly identify the project. If a Contract or Project Number is not known, please do your best to secure the information. The information requested for "Project" and "Project Location" should **always** be completed.
9. You are invited to visit Illinois Department of Labor's web site at [www.state.il.us/agency/idol](http://www.state.il.us/agency/idol) for more detailed information regarding application of the Prevailing Wage Act.

**AFFIDAVIT****SUBCONTRACTORS****Monthly Statement of Compliance**

Date: \_\_\_\_\_

I, \_\_\_\_\_ (name  
signatory party), \_\_\_\_\_ (title),do hereby state: that I pay or supervise the payment  
of the persons employed on the public works project

\_\_\_\_\_ (name

of project); that during the payroll period commencing

on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ (year), and

ending on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ (year),

all persons employed on said project have been

paid the full wages earned, that no rebates

have been or will be made either directly or indirectly

to or on behalf of said \_\_\_\_\_

(name of contractor or subcontractor) from the full

wages earned by any person, and that no

deductions have been made either directly or

indirectly from the full wages earned by any

persons, other than permissible deductions as

defined by Federal and/or State law. I further certify

that this payroll is correct and complete; that the wage

rates contained therein are not less than the actual

rates herein stated and that the classification set forth

for each laborers or mechanic conform to the work

he/she performed.

Signature: \_\_\_\_\_

**Attach explanation of monies paid, copy of contract  
or billing, or other pertinent information.**

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

**\*\* Please Note:** *The submission of falsified payroll records is a criminal offense.*

# Contractor and/or Subcontractor

**Contact Person:**

Company Name: \_\_\_\_\_

Address:

City, State, Zip: \_\_\_\_\_

Telephone:

## Contract Information

Contract Number:

Project Number:

Project: \_\_\_\_\_

**Project:** \_\_\_\_\_

**Project Location:**

Pay Period Starting Date:

Pay Period Ending Date: \_\_\_\_\_

Date Submitted to City:

## Report Hours for Each Day, Including Overtime Hours. List Hourly Prevailing Wage Rate and Hourly Fringe Benefits Allowments.

[illegible]



**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

August 6, 2019

Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Attention: Mike Mertens

Subject: 2019 Road Maintenance Program  
(CBBEL Project No. 900144.H206)

Dear Mike:

Sealed proposals for the 2019 Road Maintenance Program were opened at Village Hall on August 1, 2019. Work in the proposal includes various 3" and 6" hot-mix asphalt patching, crack sealing and thermoplastic pavement striping. A total of four (4) proposals were opened and the results are summarized below:

Bidder Name	Bid Amount
Chicagoland Paving Contractors, Inc.	\$165,000.00
M & J Asphalt Paving Company, Inc.	\$185,609.14
Brothers Asphalt Paving, Inc.	\$189,572.88
Lindahl Brothers, Inc.	\$220,651.24
<b>Engineer's Estimate</b>	<b>\$191,913.75</b>

The lowest responsive bidder for the project was lower than the engineer's estimate. It is our recommendation that the bid construction contract be awarded to Chicagoland Paving Contractors, Inc. in the amount of \$165,000.00.

If you have any questions or would like to further discuss this letter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Daniel Lynch', is written over a light blue circular stamp.

Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department



Willowbrook - 2019 MFT Road Program  
 Bid Tabulation  
 August 1, 2019 at 10:00 AM  
 CBBEL Job No. 900144.H206  
 Prepared August 2, 2019

Engineer's Estimate of Probable Construction Cost										Chicago and Paving Contractors, Inc.				M & J Asphalt Paving Company Inc.				Brothers Asphalt Paving, Inc.				Lindahl Brothers, Inc.			
Item No.	Item	Unit	Quantity	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
40600200	Bituminous Materials (Track Coat)	LB	1,094	\$1.00	\$1,094.00	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94	\$0.01	\$10.94
40603335	Hot-Mix Asphalt Surface Course Mix. "D" N50 (3")	TON	386	\$130.00	\$50,180.00	\$145.00	\$55,970.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00	\$144.00	\$55,584.00
44000161	Hot-Mix Asphalt Surface Removal 3"	SQ YD	2,141	\$6.00	\$12,846.00	\$8.25	\$17,663.25	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50	\$15.50	\$33,185.50
60300305	Frames and Lids to Be Adjusted	EACH	5	\$500.00	\$2,500.00	\$500.00	\$2,500.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00	\$600.00	\$3,000.00
70102620	Traffic Control And Protection, Standard 701E01	LSUM	1	\$10,500.00	\$10,500.00	\$3,470.11	\$3,470.11	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00	\$3,550.00
70300150	Short Term Pavement Marking Removal	SO FT	661	\$2.00	\$1,322.00	\$1.00	\$661.00	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50	\$4.50	\$2,974.50
78000200	Thermoplastic Pavement Marking - Line 4" (White & Yellow)	FOOT	740	\$2.50	\$1,850.00	\$1.20	\$888.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00	\$1.65	\$1,221.00
78000400	Thermoplastic Pavement Marking - Line 6" (White)	FOOT	429	\$4.00	\$1,716.00	\$3.90	\$1,673.10	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65	\$2.85	\$1,222.65
78000600	Thermoplastic Pavement Marking - Line 12" (White)	FOOT	200	\$8.00	\$1,600.00	\$5.05	\$1,010.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00	\$4.25	\$850.00
78000650	Thermoplastic Pavement Marking - Line 24" (Stop Bar)	FOOT	101	\$15.00	\$1,515.00	\$12.00	\$1,212.00	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95	\$5.95	\$600.95
N/A*	Class D Patch, 6" (Special)	SQ YD	289	\$100.00	\$28,900.00	\$61.00	\$17,629.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00	\$73.00	\$21,097.00
N/A*	Crack Filling (Special)	LB	44,509	\$1.75	\$77,890.75	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60	\$1.40	\$62,312.60
<b>Grand Total</b>					<b>\$191,913.75</b>		<b>\$165,000.00</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>
<b>As Read</b>					<b>\$191,913.75</b>		<b>\$165,000.00</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>		<b>\$185,609.14</b>

\*Discrepancy corrected by CBBEL

RETURN WITH BID



**Illinois Department  
of Transportation**

**Local Public Agency  
Formal Contract Proposal**

19-400 6451090  
BID DATE: 8-1-19  
BID TIME: 10:00  
WITH PRINTS: LG SM NO  
COMPLETE DATE/DAYS 210 21

PROPOSAL SUBMITTED BY

ChicagoLand Paving Contractors Inc.  
225 Telser Road  
Lake Zurich, IL 60047

City

State

Zip Code

STATE OF ILLINOIS

COUNTY OF DuPage

Village of Willowbrook

(Name of City, Village, Town or Road District)

FOR THE IMPROVEMENT OF

STREET NAME OR ROUTE NO. Various (See Location Map)

SECTION NO. 19-00000-01-GM

TYPES OF FUNDS MFT

☒ SPECIFICATIONS (required)

☐ PLANS (required)

**For Municipal Projects**

Submitted/Approved/Passed

☒ Mayor ☐ President of Board of Trustees ☐ Municipal Official

7-12-19

Date

**Department of Transportation**

☐ Released for bid based on limited review

Regional Engineer

Date 7-17-2019

**For County and Road District Projects**

Submitted/Approved

Highway Commissioner

Date

Submitted/Approved

County Engineer/Superintendent of Highways

Date



**Note:** All proposal documents, including Proposal Guaranty Checks or Proposal Bid Bonds, should be stapled together to prevent loss when bids are processed.

RETURN WITH BID

NOTICE TO BIDDERS

County DuPage  
Local Public Agency Willowbrook  
Section Number 19-00000-01-GM  
Route Various (See Location Map)

Sealed proposals for the improvement described below will be received at the office of The Village Clerk of The  
Village of Willowbrook, 835 Midway Drive, Willowbrook, IL 60527 until 10:00 AM on August 1, 2019  
Address Time Date

Sealed proposals will be opened and read publicly at the office of The Village Clerk of The  
Village of Willowbrook, 835 Midway Drive, Willowbrook, IL 60527 at 10:00 AM on August 1, 2019  
Address Time Date

DESCRIPTION OF WORK

Name 2019 MFT Road Program - Various (See Location Map) Length: 4000 feet ( 0.76 miles)

Location In the Village of Willowbrook, DuPage County, Illinois: Various Streets (See Location Map)

Proposed Improvement HMA Surface Course Mix "D", HMA Surface Course Removal 3", Class D Patching 6" (Special)

Crack Filling and Thermoplastic Pavement Marking Striping

The Bidding Documents can be downloaded from QuestCDN  
via the Christopher B. Burke Engineering Ltd. (CBBEL)

1. Plans and proposal forms will be available in the office of website <http://cbbel.com/bidding-info/> or [www.questcdn.com](http://www.questcdn.com)

**FOR NON-REFUNDABLE FEE OF \$20.00**

Contact Name: Dan Lynch  
Telephone: (847) 823-0500

Address

2. ☒ Prequalification

If checked, the 2 low bidders must file within 24 hours after the letting an "Affidavit of Availability" (Form BC 57), in duplicate, showing all uncompleted contracts awarded to them and all low bids pending award for Federal, State, County, Municipal and private work. One original shall be filed with the Awarding Authority and one original with the IDOT District Office.

3. The Awarding Authority reserves the right to waive technicalities and to reject any or all proposals as provided in BLRS Special Provision for Bidding Requirements and Conditions for Contract Proposals.

4. The following BLR Forms shall be returned by the bidder to the Awarding Authority:

- BLR 12200: Local Public Agency Formal Contract Proposal
- BLR 12200a Schedule of Prices
- BLR 12230: Proposal Bid Bond (if applicable)
- BLR 12325: Apprenticeship or Training Program Certification (**do not use for federally funded projects**)
- BLR 12326: Affidavit of Illinois Business Office

## RETURN WITH BID

5. The quantities appearing in the bid schedule are approximate and are prepared for the comparison of bids. Payment to the Contractor will be made only for the actual quantities of work performed and accepted or materials furnished according to the contract. The scheduled quantities of work to be done and materials to be furnished may be increased, decreased or omitted as hereinafter provided.
6. Submission of a bid shall be conclusive assurance and warranty the bidder has examined the plans and understands all requirements for the performance of work. The bidder will be responsible for all errors in the proposal resulting from failure or neglect to conduct an in depth examination. The Awarding Authority will, in no case be responsible for any costs, expenses, losses or changes in anticipated profits resulting from such failure or neglect of the bidder.
7. The bidder shall take no advantage of any error or omission in the proposal and advertised contract.
8. If a special envelope is supplied by the Awarding Authority, each proposal should be submitted in that envelope furnished by the Awarding Agency and the blank spaces on the envelope shall be filled in correctly to clearly indicate its contents. When an envelope other than the special one furnished by the Awarding Authority is used, it shall be marked to clearly indicate its contents. When sent by mail, the sealed proposal shall be addressed to the Awarding Authority at the address and in care of the official in whose office the bids are to be received. All proposals shall be filed prior to the time and at the place specified in the Notice to Bidders. Proposals received after the time specified will be returned to the bidder unopened.
9. Permission will be given to a bidder to withdraw a proposal if the bidder makes the request in writing or in person before the time for opening proposals.

# RETURN WITH BID

## PROPOSAL

County DuPage  
Local Public Agency Willowbrook  
Section Number 19-00000-01-GM  
Route Various (See Location Map)

1. Proposal of Chicago Land Paving Contractors Inc.

for the improvement of the above section by the construction of 2019 MFT – Various (See Location Map)  
HMA Surface Course Mix "D", HMA Surface Course Removal 3", Class D Patching 6" (Special),  
Crack Filling and Thermoplastic Pavement Marking Striping

a total distance of 4000 feet, of which a distance of 4000 feet, ( 0.76 miles) are to be improved.

2. The plans for the proposed work are those prepared by Christopher B. Burke Engineering, LTD  
and approved by the Department of Transportation on \_\_\_\_\_
3. The specifications referred to herein are those prepared by the Department of Transportation and designated as  
"Standard Specifications for Road and Bridge Construction" and the "Supplemental Specifications and Recurring Special  
Provisions" thereto, adopted and in effect on the date of invitation for bids.
4. The undersigned agrees to accept, as part of the contract, the applicable Special Provisions indicated on the "Check  
Sheet for Recurring Special Provisions" contained in this proposal.
5. The undersigned agrees to complete the work within 21 working days or by \_\_\_\_\_  
unless additional time is granted in accordance with the specifications.
6. A proposal guaranty in the proper amount, as specified in BLRS Special Provision for Bidding Requirements and  
Conditions for Contract Proposals, will be required. Bid Bonds will be allowed as a proposal guaranty. Accompanying this  
proposal is either a bid bond if allowed, on Department form BLR 12230 or a proposal guaranty check, complying with the  
specifications, made payable to:

The Village of Willowbrook Treasurer of Village of Willowbrook

The amount of the check is 5% Bid Bond ( \_\_\_\_\_ )

7. In the event that one proposal guaranty check is intended to cover two or more proposals, the amount must be equal to  
the sum of the proposal guaranties, which would be required for each individual proposal. If the proposal guaranty check  
is placed in another proposal, it will be found in the proposal for: Section Number 19-00000-01-GM
8. The successful bidder at the time of execution of the contract will be required to deposit a contract bond for the full  
amount of the award. When a contract bond is not required, the proposal guaranty check will be held in lieu thereof. If this  
proposal is accepted and the undersigned fails to execute a contract and contract bond as required, it is hereby agreed  
that the Bid Bond or check shall be forfeited to the Awarding Authority.
9. Each pay item should have a unit price and a total price. If no total price is shown or if there is a discrepancy between the  
product of the unit price multiplied by the quantity, the unit price shall govern. If a unit price is omitted, the total price will  
be divided by the quantity in order to establish a unit price.
10. A bid will be declared unacceptable if neither a unit price nor a total price is shown.
11. The undersigned submits herewith the schedule of prices on BLR 12200a covering the work to be performed under this  
contract.
12. The undersigned further agrees that if awarded the contract for the sections contained in the combinations on  
BLR 12200a, the work shall be in accordance with the requirements of each individual proposal for the multiple bid  
specified in the Schedule for Multiple Bids below.

### SCHEDULE OF PRICES

County DuPage  
Local Public Agency Willowbrook  
Section 19-00000-01-GM  
Route Various (See Location Map)

Schedule for Multiple Ends		
Combination Letter	Sections Included in Combinations	Total

Bidder's Proposal for making Entire Improvements		165,000.00
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BLR 12200a (Rev. 01/24/19)

## RETURN WITH BID

### CONTRACTOR CERTIFICATIONS

County	DuPage
Local Public Agency	Willowbrook
Section Number	19-00000-01-GM
Route	Various (See Location Map)

The certifications hereinafter made by the bidder are each a material representation of fact upon which reliance is placed should the Department enter into the contract with the bidder.

1. **Debt Delinquency.** The bidder or contractor or subcontractor, respectively, certifies that it is not delinquent in the payment of any tax administered by the Department of Revenue unless the individual or other entity is contesting, in accordance with the procedures established by the appropriate revenue Act, its liability for the tax or the amount of tax. Making a false statement voids the contract and allows the Department to recover all amounts paid to the individual or entity under the contract in a civil action.

2. **Bid-Rigging or Bid Rotating.** The bidder or contractor or subcontractor, respectively, certifies that it is not barred from contracting with the Department by reason of a violation of either 720 ILCS 5/33E-3 or 720 ILCS 5/33E-4.

A violation of Section 33E-3 would be represented by a conviction of the crime of bid-rigging which, in addition to Class 3 felony sentencing, provides that any person convicted of this offense or any similar offense of any state or the United States which contains the same elements as this offense shall be barred for 5 years from the date of conviction from contracting with any unit of State or local government. No corporation shall be barred from contracting with any unit of State or local government as a result of a conviction under this Section of any employee or agent of such corporation if the employee so convicted is no longer employed by the corporation and: (1) it has been finally adjudicated not guilty or (2) if it demonstrates to the governmental entity with which it seeks to contract and that entity finds that the commission of the offense was neither authorized, requested, commanded, nor performed by a director, officer or a high managerial agent in behalf of the corporation.

A violation of Section 33E-4 would be represented by a conviction of the crime of bid-rotating which, in addition to Class 2 felony sentencing, provides that any person convicted of this offense or any similar offense of any state or the United States which contains the same elements as this offense shall be permanently barred from contracting with any unit of State or local government. No corporation shall be barred from contracting with any unit of State or local government as a result of a conviction under this Section of any employee or agent of such corporation if the employee so convicted is no longer employed by the corporation and: (1) it has been finally adjudicated not guilty or (2) if it demonstrates to the governmental entity with which it seeks to contract and that entity finds that the commission of the offense was neither authorized, requested, commanded, nor performed by a director, officer or a high managerial agent in behalf of the corporation.

3. **Bribery.** The bidder or contractor or subcontractor, respectively, certifies that it has not been convicted of bribery or attempting to bribe an officer or employee of the State of Illinois or any unit of local government, nor has the firm made an admission of guilt of such conduct which is a matter of record, nor has an official, agent, or employee of the firm committed bribery or attempted bribery on behalf of the firm and pursuant to the direction or authorization of a responsible official of the firm.
4. **Interim Suspension or Suspension.** The bidder or contractor or subcontractor, respectively, certifies that it is not currently under a suspension as defined in Subpart I of Title 44 Subtitle A Chapter III Part 6 of the Illinois Administrative Code. Furthermore, if suspended prior to completion of this work, the contract or contracts executed for the completion of this work may be cancelled.

RETURN WITH BID

SIGNATURES

County DuPage  
Local Public Agency Willowbrook  
Section Number 19-00000-01-GM  
Route Various (See Location Map)

(If an individual)

Signature of Bidder \_\_\_\_\_

Business Address \_\_\_\_\_  
\_\_\_\_\_

(If a partnership)

Firm Name \_\_\_\_\_

Signed By \_\_\_\_\_

Business Address \_\_\_\_\_  
\_\_\_\_\_

Inset Names and Addressed of All Partners



(If a corporation)

Corporate Name Chicagoland Paving Contractors

Signed By [Signature] v.p.  
V. President

Business Address 225 Telser Rd  
Lake Zurich IL 60047

Insert Names of Officers

President Kevin Meertz  
Secretary V.P. William R. Bowes  
Treasurer \_\_\_\_\_

Attest: [Signature]  
Secretary



CHICAGOLAND PAVING CONTRACTORS, INC.  
225 TELSER ROAD  
LAKE ZURICH, IL 60047  
Tel: 847-550-9681 Fax: 847-550-9684  
Office@chicagolandpaving.com

*Certificate of Resolution*

*I, Kevin Meartz, President of CHICAGOLAND PAVING CONTRACTORS, Inc., an Illinois corporation (the Corporation) hereby certifies that the following resolutions were unanimously adopted by the Shareholders and Directors of the Corporation by consent of the Shareholders and Directors dated May 26, 1988:*

*RESOLVED, that CHICAGOLAND PAVING CONTRACTORS, INC., an Illinois Corporation (the Corporation) authorizes William R. Bowes, to have the authority to sign and enter into a contract on behalf of CHICAGOLAND PAVING CONTRACTORS, Inc.*

*FURTHER RESOLVED, that any one or more of the President and any Secretary or Assistant Secretary of the Corporation are authorized, empowered and directed to execute and deliver on behalf of the Corporation, such documents and agreements as they or any of them determine to be necessary or advisable to effectuate the foregoing resolutions.*

*Executed in Lake Zurich, IL on May 26, 1988.*

By:   
Kevin Meartz, President



**Apprenticeship or Training  
Program Certification**

**Return with Bid**

Route	Various (See Location Map)
County	DuPage
Local Agency	Willowbrook
Section	19-00000-01-GM

***All contractors are required to complete the following certification:***

☒ For this contract proposal or for all groups in this deliver and install proposal.

☐ For the following deliver and install groups in this material proposal:

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Illinois Department of Transportation policy, adopted in accordance with the provisions of the Illinois Highway Code, requires this contract to be awarded to the lowest responsive and responsible bidder. The award decision is subject to approval by the Department. In addition to all other responsibility factors, this contract or deliver and install proposal requires all bidders and all bidders' subcontractors to disclose participation in apprenticeship or training programs that are (1) approved by and registered with the United States Department of Labor's Bureau of Apprenticeship and Training, and (2) applicable to the work of the above indicated proposals or groups. Therefore, all bidders are required to complete the following certification:

- I. Except as provided in paragraph IV below, the undersigned bidder certifies that it is a participant, either as an individual or as part of a group program, in an approved apprenticeship or training program applicable to each type of work or craft that the bidder will perform with its own employees.
- II. The undersigned bidder further certifies for work to be performed by subcontract that each of its subcontractors submitted for approval either (A) is, at the time of such bid, participating in an approved, applicable apprenticeship or training program; or (B) will, prior to commencement of performance of work pursuant to this contract, establish participation in an approved apprenticeship or training program applicable to the work of the subcontract.
- III. The undersigned bidder, by inclusion in the list in the space below, certifies the official name of each program sponsor holding the Certificate of Registration for all of the types of work or crafts in which the bidder is a participant and that will be performed with the bidder's employees. Types of work or craft that will be subcontracted shall be included and listed as subcontract work. The list shall also indicate any type of work or craft job category for which there is no applicable apprenticeship or training program available.

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- IV. Except for any work identified above, any bidder or subcontractor that shall perform all or part of the work of the contract or deliver and install proposal solely by individual owners, partners or members and not by employees to whom the payment of prevailing rates of wages would be required, check the following box, and identify the owner/operator workforce and positions of ownership. ☐

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

The requirements of this certification and disclosure are a material part of the contract, and the contractor shall require this certification provision to be included in all approved subcontracts. The bidder is responsible for making a complete report and shall make certain that each type of work or craft job category that will be utilized on the project is accounted for and listed. The Department at any time before or after award may require the production of a copy of each applicable Certificate of Registration issued by the United States Department of Labor evidencing such participation by the contractor and any or all of its subcontractors. In order to fulfill the participation requirement, it shall not be necessary that any applicable program sponsor be currently taking or that it will take applications for apprenticeship, training or employment during the performance of the work of this contract or deliver and install proposal.


Bidder:

Address:

**Chicagoland Paving Contractors Inc.**  
**225 Telser Road**  
**Lake Zurich, IL 60047**

By: \_\_\_\_\_

Title: \_\_\_\_\_

  
(Signature)

**VP.**

*Chicagoland Paving Contractors, Inc.*

225 Teiser Road  
Lake Zurich, IL 60047

Phone: 847-550-9681  
Fax: 847-550-9684

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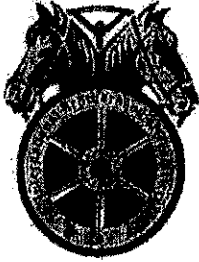
APPRENTICESHIP TRAINING CERTIFICATION

International Brotherhood of Teamsters – Truck Drivers  
Registration No. IL01050004

Operating Engineers Local #150 – Operating Engineers  
Registration No. IL008780173

Heavy Equipment Technician Operating Engineers Local #150 – Heavy  
Repairs  
Registration No. IL01202003

Chicagoland Laborers' – JATC – Construction Craft Laborer  
Registration No. IL01790001



## Illinois Teamsters Joint Council No. 25 and Employers Apprenticeship & Training Fund

990 NE Frontage Road, Suite 4, Joliet, IL 60431

Office: (815) 773-0700 Fax: (815) 773-1122

Info@illinoisteamsterstraining.org

January 17, 2019

To Whom It May Concern:

This letter will certify that Chicagoland Paving Contractors, Inc., is currently contributing and is current with its contributions, as of December 2018, for the Trade of Construction Driver (1032), to the Illinois Teamsters Joint Council No.25 and Employers Apprenticeship & Training Fund.

Any questions, please feel free to contact me at (815) 773-0700.

Very Truly Yours,

Rose Wyler  
Administrative Assistant

cc: file

# The United States Department of Labor

## Office of Apprenticeship

### Certificate of Registration of Apprenticeship Program

*Illinois Teamsters Joint Council No. 25  
Employers JATF  
Joliet, Illinois*

*For The Trade of: Construction Driver*

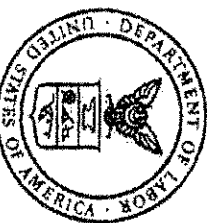
*Registered as part of the National Apprenticeship System  
in accordance with the basic standards of apprenticeship  
established by the Secretary of Labor*

*June 22, 2005*

*Date Revised: April 8, 2016*

*IL8151005004*

*Registration No.*



*Dr. E. G. G.*

*Secretary of Labor*

*ALV L. L.*

*Administrator, Office of Apprenticeship*

# INTERNATIONAL UNION OF OPERATING ENGINEERS

LOCAL UNION NO. 150, 150B, 150A, 150C, 150RA, 150D, 150G, 150M

AFFILIATED WITH THE AFL-CIO AND BUILDING TRADES DEPARTMENT

JAMES M. SWEENEY  
PRESIDENT-BUSINESS MANAGER



(708) 482-8800 - FAX (708) 482-7188  
6200 JOLIET ROAD  
COUNTRYSIDE, IL 60525-3992

January 17, 2019

Chicagoland Paving Contractors, Inc.  
225 Telser Rd  
Lake Zurich, IL 60047

Re: Proof of Compliance with 30 ILCS 500/30-22(6)  
Our File No. MI-00321

Dear Sir or Madam:

At the request of Chicagoland Paving Contractors, Inc., I am providing you with evidence of the Company's compliance with the apprenticeship requirements in 30 ILCS 500/30-22(6) of the Illinois Procurement Code. I am submitting this letter along with apprenticeship certificates (Nos. IL012020003 and IL008780173).

As a signatory contractor with the International Union of Operating Engineers, Local 150, AFL-CIO, Brothers Chicagoland Paving Contractors, Inc., is required by Collective Bargaining Agreement to participate in an applicable apprenticeship and training program approved by and registered with the United States Department of Labor's Bureau of Apprenticeship and Training. The attached certificates are evidence of compliance with the U.S. Department of Labor's apprenticeship requirements.

Thank you for your cooperation in this matter. If you have any questions or concerns, please do not hesitate to contact me.

Very truly yours,

IUOE, Local 150, AFL-CIO  
District 1 dispatch office

Amanda Gunderson

Enclosures: Certificates

**The United States Department of Labor**

Office of Apprenticeship Training, Employer and Labor Services

Bureau of Apprenticeship and Training

Certificate of Registration

Operating Engineers Local #150

Plainfield, Illinois

From the Trade of Operating Engineers

Registered as part of the National Apprenticeship Program  
in accordance with the basic standards of apprenticeship  
established by the Secretary of Labor

November 5, 2002

92 008780173



*E.O. Chao*  
Secretary of Labor

*Anthony D. ...*  
Assistant Secretary, Apprenticeship Training, Employer and Labor Services

08/28/2008 10:24 PM FAX 71

08/18/2016 15:42 FAX 71

0003



FAX NO.

F. 00

**United States Department of Labor**

Office of Apprenticeship Training, Employer and Labor Services

Bureau of Apprenticeship and Training

Certificate of Registration

Heavy Equipment Technician Operating Engineers Local #150

Mainfield, Illinois

For the Trade of Repairer (Heavy)

Registered as part of the National Apprenticeship Program

in accordance with the basic standards of apprenticeship  
established by the Secretary of Labor

May 5, 2002

IL 012020003



*Anthony D. Davis*  
Secretary of Labor

**LiUNA!**  
Chicagoland  
**LABORERS**  
District Council Training & Apprentices Fund

42-L

chicagolaborers.org

22 January 2019

**Executive Director**

Thomas Nordeen

**Labor Trustees**

James P. Connolly  
Martin Dwyer  
Martin Flanagan  
Joseph V. Healy  
Charles V. Loverde III  
William Martin

**Management Trustees**

Seth Gudeman  
Shahe Higgins  
Joseph Koppers  
Robert G. Krug  
David Lorig  
William Vignocchi

Chicagoland Paving Contractors, Inc.  
225 Telser Road  
Lake Zurich, IL 60047

To Whom It May Concern:

Enclosed you will please find a copy of the Department of Labor certification that you requested recently.

You may also use this letter as verification that Chicagoland Paving Contractors, Inc. is indeed signatory to the Chicago Laborers District Council, contributes to the Laborers Apprenticeship Fund and their active account is current.

Should you require anything further, please do not hesitate to contact me.

**Carol Stream Location**

1200 Old Gary Avenue  
Carol Stream IL 60188  
(630) 653-0006

Yours very truly,

*Miranda Maddie*

Miranda Maddie  
Office Manager

**Chicago Location**

5700 West Homer Street  
Chicago IL 60639  
(773) 413-3315



**LiUNA!**  
Feel the Power



# The United States Department of Labor

Office of Apprenticeship Training, Employer and Labor Services

Bureau of Apprenticeship and Training

Certificate of Registration

*Chicagoand Laborers' J.A.T.C.*

*Carol Stream, Illinois*

*For the Trade - Construction Craft Laborer*

*Registered as part of the National Apprenticeship Program*

*in accordance with the basic standards of apprenticeship*

*established by the Secretary of Labor*

April 12, 1999  
Date REVISED August 13, 2004  
IL 017980001  
Registration No.



L. L. Chao  
Secretary of Labor  
Anthony Dunge  
Administrator, Apprenticeship Training, Employer and Labor Services

RETURN WITH BID



**Illinois Department  
of Transportation**

**Affidavit of Illinois Business Office**

County DuPage  
Local Public Agency Willowbrook  
Section Number 19-00000-01-GM  
Route Various

State of IL )  
 ) ss.  
County of Cook )

I, William R. Bawes of Kildeer, IL  
(Name of Affiant) (City of Affiant) (State of Affiant)

being first duly sworn upon oath, states as follows:

1. That I am the V.P. of chicagoland Paving  
officer or position bidder
2. That I have personal knowledge of the facts herein stated.
3. That, if selected under this proposal, chicagoland Paving, will maintain a  
(bidder)  
business office in the State of Illinois which will be located in Lake County, Illinois.
4. That this business office will serve as the primary place of employment for any persons employed in the construction contemplated by this proposal.
5. That this Affidavit is given as a requirement of state law as provided in Section 30-22(8) of the Illinois Procurement Code.

William R. Bawes VP.  
(Signature)  
William R. Bawes  
(Print Name of Affiant)

This instrument was acknowledged before me on 1 day of Aug, 2019

(SEAL)

OFFICIAL SEAL  
JULIE C HEIDERMAN  
NOTARY PUBLIC - STATE OF ILLINOIS  
MY COMMISSION EXPIRES: 11/05/21  
Julie C Heiderman  
(Signature of Notary Public)



# Illinois Department of Transportation

Bureau of Construction  
2300 South Dirksen Parkway/Room 322  
Springfield, Illinois 62764

## Affidavit of Availability For the Letting of \_\_\_\_\_

(Letting date)

Instructions: Complete this form by either typing or using black ink.  
"Authorization to Bid" will not be issued unless both sides of this form are  
completed in detail. Use additional forms as needed to list all work.

### Part I. Work Under Contract

List below all work you have under contract as either a prime contractor or a subcontractor. It is required to include all pending low bids not yet awarded or rejected. In a joint venture, list only that portion of the work which is the responsibility of your company. The uncompleted dollar value is to be based upon the most recent engineer's or owners estimate, and must include work subcontracted to others. If no work is contracted, show NONE.

	1	2	3	4	Awards Pending	
Contract Number						
Contract With	IDOT/61E39	IDOT/61E43	c/o Northlake	v/o Riverside		
Estimated Completion Date	11/30/2018	11/15/2018				
Total Contract Price	89,900.00	224,900.00	219,900.00	739,900.00		Accumulated Totals
Uncompleted Dollar Value if Firm is the Prime Contractor	89,900.00	169,915.00	219,900.00	739,900.00		1,219,615.00
Uncompleted Dollar Value if Firm is the Subcontractor						0.00
						1,219,615.00

### Part II. Awards Pending and Uncompleted Work to be done with your own forces.

List below the uncompleted dollar value of work for each contract and awards pending to be completed with your own forces. All work subcontracted to others will be listed on the reverse of this form. In a joint venture, list only that portion of the work to be done by your company. If no work is contracted, show NONE.

					Accumulated Totals
Earthwork	42,000.00	54,985.00	124,865.00	185,684.00	407,534.00
Portland Cement Concrete Paving					0.00
HMA Plant Mix		7,500.00	4,350.00		11,850.00
HMA Paving		12,550.00	14,350.00		26,900.00
Clean & Seal Cracks/Joints					0.00
Aggregate Bases & Surfaces	30,796.00	39,000.00	7,775.00	99,850.00	177,421.00
Highway, R.R. and Waterway Structures					0.00
Drainage					0.00
Electrical					0.00
Cover and Seal Coats					0.00
Concrete Construction					0.00
Landscaping					0.00
Fencing					0.00
Guardrail					0.00
Painting					0.00
Signing					0.00
Cold Milling, Planning & Rotomilling					0.00
Demolition					0.00
Pavement Markings (Paint)					0.00
Other Construction (List)					0.00
Allowance					0.00
FABRIC					0.00
Totals	72,796.00	114,035.00	151,340.00	285,534.00	623,705.00

Disclosure of this information is **REQUIRED** to accomplish the statutory purpose as outlined in the "Illinois Procurement Code". Failure to comply will result in non-issuance of an "Authorization To Bid". This form has been approved by the State Forms Management Center.

**Part III. Work Subcontracted to Others**

For each contract described in Part I, list all the work you have subcontracted to others.

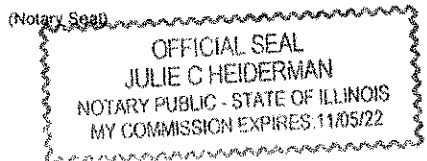
					Awards Pending
Subcontractor	Galaxy	Galaxy	Clean Cut	Action	
Type of Work	sewer	sewer	tree removal	Fence	
Subcontract Price	7,800.00	9,710.00	2,600.00	39,830.00	
Amount Uncompleted	7,800.00	9,710.00	2,600.00	39,830.00	
Subcontractor	McGinty	Carrera	Gary Weiss	CR Schmidt	
Type of Work	Landscape	Concrete	landscape	brick	
Subcontract Price	4,014.00	6,110.00	32,940.00	303,664.00	
Amount Uncompleted	4,014.00	6,110.00	32,940.00	303,664.00	
Subcontractor	No. Contractors	Schollmeyer	Galaxy	Galaxy	
Type of Work	bollards	Landscape	sewer	sewer	
Subcontract Price	5,290.00	40,061.00	28,560.00	20,950.00	
Amount Uncompleted	5,290.00	40,061.00	28,560.00	20,950.00	
Subcontractor			Marvel	Carrera	
Type of Work			concrete	concrete	
Subcontract Price			4,460.00	43,123.00	
Amount Uncompleted			4,460.00	43,123.00	
Subcontractor				Clean Cut	
Type of Work				tree removal	
Subcontract Price				4,840.00	
Amount Uncompleted				4,840.00	
Subcontractor				Schollmeyer	
Type of Work				Landscape	
Subcontract Price				33,618.00	
Amount Uncompleted				33,618.00	
Subcontractor				Garelli Pave.	
Type of Work				striping	
Subcontract Price				8,341.00	
Amount Uncompleted				8,341.00	
Total Uncompleted	17,104.00	55,881.00	68,560.00	454,368.00	

I, being duly sworn, do hereby declare this affidavit is a true and correct statement relating to ALL uncompleted contracts of the undersigned for Federal, State, County, City and private work, including ALL subcontract work, ALL pending low bids not yet awarded or rejected and ALL estimated completion dates subscribed and sworn to before me.

this 1 day of Aug, 2019

Julie C. Heiderman  
Notary Public

My commission expires: 11/5/2022



Type or Print Name William R. Bowes, V.P.  
Officer or Director Title

Signed William R. Bowes

Company Chicagoland Paving Contractors, Inc.

Address 225 Telser Road  
Lake Zurich, IL 60047





THE SILVER LINING®

Bond No. 2417267

### POWER OF ATTORNEY

Know all men by these Presents, That West Bend Mutual Insurance Company, a corporation having its principal office in the City of West Bend, Wisconsin does make, constitute and appoint:

PAUL F PRAXMARER

lawful Attorney(s)-in-fact, to make, execute, seal and deliver for and on its behalf as surety and as its act and deed any and all bonds, undertakings and contracts of suretyship, provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed in amount the sum of: Seven Million Five Hundred Thousand Dollars (\$7,500,000)

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of West Bend Mutual Insurance Company at a meeting duly called and held on the 21<sup>st</sup> day of December, 1999.

*Appointment of Attorney-In-Fact. The president or any vice president, or any other officer of West Bend Mutual Insurance Company may appoint by written certificate Attorneys-In-Fact to act on behalf of the company in the execution of and attesting of bonds and undertakings and other written obligatory instruments of like nature. The signature of any officer authorized hereby and the corporate seal may be affixed by facsimile to any such power of attorney or to any certificate relating therefore and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the company, and any such power so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the company in the future with respect to any bond or undertaking or other writing obligatory in nature to which it is attached. Any such appointment may be revoked, for cause, or without cause, by any said officer at any time.*

In witness whereof, the West Bend Mutual Insurance Company has caused these presents to be signed by its president undersigned and its corporate seal to be hereto duly attested by its secretary this 22nd day of September, 2017.

Attest

Christopher C. Zwygart  
Christopher C. Zwygart  
Secretary



Kevin A. Steiner  
Kevin A. Steiner  
Chief Executive Officer/President

State of Wisconsin  
County of Washington

On the 22nd day of September, 2017, before me personally came Kevin A. Steiner, to me known being by duly sworn, did depose and say that he resides in the County of Washington, State of Wisconsin; that he is the President of West Bend Mutual Insurance Company, the corporation described in and which executed the above instrument; that he knows the seal of the said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation and that he signed his name thereto by like order.



Juli A. Benedum  
Juli A. Benedum  
Senior Corporate Attorney  
Notary Public, Washington Co., WI  
My Commission is Permanent

The undersigned, duly elected to the office stated below, now the incumbent in West Bend Mutual Insurance Company, a Wisconsin corporation authorized to make this certificate, Do Hereby Certify that the foregoing attached Power of Attorney remains in full force effect and has not been revoked and that the Resolution of the Board of Directors, set forth in the Power of Attorney is now in force.

Signed and sealed at West Bend, Wisconsin this 1<sup>st</sup> day of August, 2019.



Heather Dunn  
Heather Dunn  
Vice President – Chief Financial Officer

**Notice:** Any questions concerning this Power of Attorney may be directed to the Bond Manager at NSI, a division of West Bend Mutual Insurance Company.



# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

A RESOLUTION AUTHORIZING THE BOARD OF POLICE COMMISSIONERS (BOPC) TO AFFECT THE ORIGINAL APPOINTMENT OF ONE (1) CANDIDATE TO FILL A VACANCY IN THE RANK OF PATROL OFFICER WITHIN THE VILLAGE POLICE DEPARTMENT

AGENDA NO. 11

AGENDA DATE:

STAFF REVIEW: Brian Pabst, Village Administrator

SIGNATURE:

*Brian Pabst*

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE:

*Tom Bastian*

RECOMMENDED BY: Brian Pabst, Village Administrator

SIGNATURE:

*Brian Pabst*

REVIEWED & APPROVED BY PSC:

YES ☐

NO ☐

N/A ☐

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Due to the retirement of Sergeant within the police department a vacancy has been created within the police department.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Our current police department composition ordinance (Section 5-1-1 of the Village Code of Ordinances) establishes the following as far as number and rank of positions within the police department:

Chief of Police -1

Deputy Chief of Police -1

Sergeants – 3

Patrol Officers – 18

TOTAL: 23 sworn officers

Currently the total number of sworn officers is 22 in the police department.

### ACTION PROPOSED:

Adopt the Resolution, which will enable the BOPC to begin reviewing patrol officer candidates from the current eligibility register in order to hire one (1) new patrol officer.

RESOLUTION NO. 19-R-\_\_\_\_\_

**A RESOLUTION AUTHORIZING THE BOARD OF POLICE COMMISSIONERS  
(BOPC) OF THE VILLAGE OF WILLOWBROOK TO AFFECT THE ORIGINAL  
APPOINTMENT OF ONE (1) CANDIDATE TO FILL A VACANCY IN THE RANK OF  
PATROL OFFICER WITHIN THE VILLAGE POLICE DEPARTMENT**

BE FURTHER RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Board of Police Commissioners (BOPC) is hereby authorized to effect the original appointment of one (1) candidate to fill a vacancy in the rank of patrol officer within the Police Department.

This Resolution shall be in full force and effect upon its passage and approval, as required by law.

ADOPTED and APPROVED this 12<sup>th</sup> day of August, 2019 by a roll call vote as follows:

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE: AN ORDINANCE AMENDING SECTION 3-12-5 ENTITLED "CLASSIFICATIONS," OF CHAPTER 12 ENTITLED "LIQUOR," OF TITLE 3 ENTITLED "BUSINESS" OF THE VILLAGE CODE OF ORDINANCES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS**

**AGENDA NO. 12**

**AGENDA DATE: 08/12/19**

**STAFF REVIEW:** Christine Mardegan, Executive Secretary

**SIGNATURE:** Christine Mardegan

**LEGAL REVIEW:** Thomas Bastian, Village Attorney

**SIGNATURE:** Tom Bastian

**RECOMMENDED BY:** Brian Pabst, Village Administrator

**SIGNATURE:** Brian Pabst

**REVIEWED & APPROVED BY COMMITTEE:** YES ☐ NO ☒ N/A ☐

#### **ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)**

The Village has received a request for a new liquor license from Magic Nails Salon, Ltd 7121 S. Kingery Highway Willowbrook, IL 60627. The business owner would like to enhance their client's customer experience by providing the availability of beer and wine for customers who utilize their establishment for personal spa services.

The Deputy Liquor Commissioner and Assistant Village Administrator have met with the applicant to discuss their business plan and goals for obtaining a Class N liquor License. The Village has received a formal application, it has been reviewed for completeness and the background check has been received.

Historically, the Deputy Liquor Control Commissioner recommends to the Village Board an amendment to the Village Code of Ordinances be considered with regard to the number of liquor licenses within each class of license. The attached Ordinance would amend the Village Code to reflect an increase in the Class N license category from zero (0) to one (1). The Class N license is for Hair and Nail Salons only. The license would provide for the sale of Beer and Wine only with a 2-drink maximum/customer/visit.

If approved, the Class N license would be issued to Magic Nails Salon, Ltd. 7121 S. Kingery Highway Willowbrook, IL 60627. The salon would also have to comply with all other state and local liquor licensing regulations.

It is recommended that the Village Board approve the attached Ordinance amending the Village Code to increase the Class N liquor license from zero (0) to one (1).

**ACTION PROPOSED:** PASS THE ORDINANCE.

**ORDINANCE NO. 19-O-\_\_**

**AN ORDINANCE AMENDING SECTION 3-12-5 ENTITLED "CLASSIFICATIONS,"  
OF CHAPTER 12 ENTITLED "LIQUOR," OF TITLE 3 ENTITLED "BUSINESS"  
OF THE VILLAGE CODE OF ORDINANCES OF  
THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS**

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**WHEREAS**, the corporate authorities of the Village of Willowbrook, are expressly authorized, pursuant to section 4-1 of the Illinois Liquor Control Act (235 ILCS 5/4-1), to regulate the number, classification and license fees authorizing the retail sale of alcoholic liquor in the Village.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

**SECTION ONE:** Section 3-12-5 entitled: "Classifications," of Chapter 12 entitled "Liquor," of Title 3 entitled "Business" of the Village Code of Ordinances of the Village of Willowbrook, DuPage County, Illinois, as amended, is further amended by deleting the last sentence of Subsection 3-12-5(N) and inserting the following sentence in lieu thereof:

"The maximum number of Class N licenses shall be one (1)."

**SECTION TWO:** The remaining provisions of section 3-12-5 shall remain in full force and effect and unamended by this ordinance.

**SECTION THREE:** Any ordinance or portion of any ordinance in conflict with the provisions of this Ordinance is hereby repealed solely to the extent of said conflict.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

**SECTION FOUR.** This Ordinance shall be in full force and effect from and after its passage and approval and publication in the manner provided by law.

PASSED and APPROVED this 12<sup>th</sup> day of August, 2019.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen,  
Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_  
                                 NAYS: \_\_\_\_\_  
                                 ABSTENTIONS: \_\_\_\_\_  
                                 ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<b>ITEM TITLE:</b> <b>A RESOLUTION OF THE VILLAGE OF WILLOWBROOK APPROVING THE STUDY OF A POTENTIAL INTERGOVERNMENTAL AGREEMENT WITH DARIEN, BURR RIDGE AND HINSDALE AS TO THE ACQUISITION OF CERTAIN PROPERTY IN THE VILLAGE OF WILLOWBROOK</b>	<b>AGENDA NO. 13</b>  <b>AGENDA DATE:</b> <u>08/12/19</u>
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**STAFF REVIEW:** Mike Mertens, Assistant Village Admin.    **SIGNATURE:** M. Mertens

**LEGAL REVIEW:** Tom Bastian, Village Attorney    **SIGNATURE:** Tom Bastian

**RECOMMENDED BY:** Brian Pabst, Village Administrator    **SIGNATURE:** Brian Pabst

**REVIEWED & APPROVED BY COMMITTEE:**    YES ☐    NO ☐    N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

The intent of this resolution is for the Village of Willowbrook to meet and confer with representatives of Darien, Burr Ridge and Hinsdale in order to explore the feasibility of entering into an Intergovernmental Agreement providing for the possible acquisition of the Sterigenics property in Willowbrook.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The group will:

- Determine appropriate public purposes for the use of such property upon acquisition.
- Determine whether the public use of the Subject Property should be active or passive.
- Establish rules for the joint use of any such facility by the residents of the participating municipalities.
- Determine financing options and cost allocations among the participating municipalities.
- Involve our elected representatives in this process.
- Determine the need for legislative assistance to achieve the goals of the Intergovernmental Agreement, including but not limited to seeking "quick take" authority from the Illinois General Assembly.

Any proposed agreement developed with the working group would need approval from the Village Board.

**ACTION PROPOSED:** Adopt the resolution as presented.

**RESOLUTION NO. 19-R-\_\_\_\_\_**

**A RESOLUTION OF THE VILLAGE OF WILLOWBROOK APPROVING THE STUDY  
OF A POTENTIAL INTERGOVERNMENTAL AGREEMENT WITH DARIEN, BURR  
RIDGE AND HINSDALE AS TO THE ACQUISITION OF CERTAIN PROPERTY IN  
THE VILLAGE OF WILLOWBROOK**

---

**WHEREAS**, the Village of Willowbrook is a home rule unit of local government pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of local government, the Village may exercise any power and perform any function pertaining to its government and affairs except as limited by Article VII, Section 6; and

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois as follows:

**SECTION 1: Authorization.** The Village Mayor and Village Administrator are hereby authorized to meet and confer with representatives of Darien, Burr Ridge and Hinsdale in order to explore the feasibility of entering into an Intergovernmental Agreement providing for the possible acquisition of the Sterigenics property in the Village of Willowbrook.

**SECTION 2: Potential Elements of Intergovernmental Agreement.** The Village Board determines that any such Intergovernmental Agreement should consider the following elements:

- A. Determining appropriate public purposes for the use of such property upon acquisition.
- B. Determining whether the public use of the Subject Property should be active or passive.
- C. Establishing rules for the joint use of any such facility by the residents of the participating municipalities.

D. Determining financing options and cost allocations among the participating municipalities.

E. Involving all elected representatives in this process.

F. Determining the need for legislative assistance to achieve the goals of the Intergovernmental Agreement, including but not limited to seeking “quit take” authority from the Illinois General Assembly.

**SECTION 3: Report to Board of Trustees.** The Village Mayor and Village Administrator shall, from time to time, advise the Board of Trustees as to the status of such efforts.

**SECTION 4: Effective Date.** This Resolution shall be in full force and effect from and after its passage and approval.

ADOPTED and APPROVED this 12<sup>th</sup> day of August, 2019 by a roll call vote as follows:

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:      AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_