

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, APRIL 4, 2018 AT 7:00 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT, TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - June 7, 2017
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-03: (6400 Bentley Avenue, Willowbrook, Illinois - Hinsdale Animal Cemetery PUD). Petition for a Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; a petition for a rezoning of one (1) parcel from R-1A to R-1; approval of a Final Plat of Subdivision; and approval of a Preliminary and Final Plat of PUD
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 18-01: (500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way, Willowbrook, Illinois - Willowbrook Centre PUD Amendment). Petition for an Amendment to a Planned Unit Development including certain relief exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the property legally described below into three (3) lots.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
6. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 18-02: (201 63rd Street, Willowbrook, Illinois - JKC Ice Rink PUD Amendment). Petition for an Amendment to a Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, more specifically a Skating Rink.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
7. VISITOR'S BUSINESS
8. COMMUNICATIONS
9. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, JUNE 7, 2017, AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDRON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER

Chairman Kopp called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at roll call were Chairman Kopp, Vice-Chairman Wagner, Commissioners Soukup, Kaucky, and Ruffolo.

Absent: Commissioners Lacayo and Remkus.

Also present were Village Planner Anna Franco and Building Inspector Roy Giuntoli.

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Regular Meeting April 5, 2017

MOTION: Made by Commissioner Soukup, seconded by Commissioner Ruffolo, to approve the Omnibus Vote Agenda.

MOTION DECLARED CARRIED

4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-02: (640 Joliet Road, Willowbrook, Illinois – Barbara Motorworks, Ltd.). Petition for a special use approval of a \$18,800 square foot (approximate) indoor auto sales use in the M-1 Zoning District.

- A. PUBLIC HEARING
- B. DISCUSSION/RECOMMENDATION

SEE COURT REPORTER MINUTES

MOTION: Made by Vice-Chairman Wagner, seconded by Commissioner Ruffolo that based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for

PC 17-02 for the June 7, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval for a special use for "Indoor Auto Sales" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-02 for the June 7, 2017 Plan Commission meeting.

ROLL CALL: AYES: Commissioners Soukup, Ruffolo, Kaucky, Vice-Chairman Wagner, and Chairman Kopp. NAYS: None. ABSENT: Commissioners Lacayo and Remkus.

MOTION DECLARED CARRIED

5. PLAN COMMISSION CONSIDERATION: Adoption of the "Plan Commission Public Hearing Guidelines" document for use at future Village Plan Commission meetings and for publication on the Village's website.

A. DISCUSSION/RECOMMENDATION

SEE COURT REPORTER MINUTES

6. VISITOR'S BUSINESS

None.

7. COMMUNICATIONS

SEE COURT REPORTER MINUTES

8. ADJOURNMENT

MOTION: Made by Commissioner Soukup, seconded by Vice-Chairman Wagner, to adjourn the regular meeting of the Plan Commission at the hour of 8:09 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

April 4 , 2018.

Minutes transcribed by Cindy Stuchl

Chairman

WITNESS:

Date: June 7, 2017

**VILLAGE OF WILLOWBROOK ZONING HEARING
17-02**

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VILLAGE OF WILLOWBROOK
PUBLIC HEARING
ZONING HEARING CASE NO. 17-02

REPORT OF PROCEEDINGS had at the
Public Hearing of the above-entitled case before
The Planning Commission at Hinsdale South High
School, Little Theater, 7401 Clarendon Hills Road,
City of Darien, Illinois, on the 7th day of June,
2017, at the hour of 7:00 p.m.

PRESENT:

Daniel Kopp, Chairman
John Wagner
James Soukup
Leonard Kaucky
Gregory Ruffolo
Roy Giuntoli, Building Inspector
Anna Franco, Planning Consultant

1 (Whereupon the hearing started
2 at 7:00 p.m.)
3

4 MR. KOPP: Next item on the agenda is
5 the Zoning Hearing Case No. 17-02. This is Zoning
6 Hearing Case 17-02, petition for a special use
7 approval of an 18,000 square foot indoor auto
8 sales use in the M1 Zoning District.

9 The property is at 640 Joliet
10 Road, Willowbrook, Illinois. The applicant will
11 identify himself shortly, and notice of this
12 public hearing was published in The Doings
13 newspaper within the requisite period before this
14 hearing.

15 Is there a representative from
16 the applicant who would like to speak?

17 MR. LONGO: Yes.

18 (Mr. Chris Long was sworn.)

19 MR. LONGO: My is Chris Longo. I
20 work for Mr. Barbara and representing him and
21 Barbara Motorworks on this matter. Actually,
22 while you were looking for that information, Anna,
23 I found the email you sent me. It was an email
24 sent on May 18 indicating that the public notice

1 for the June 7 Plan Commission meeting was
2 published in today's edition of The Doings paper.
3 So it was the, I guess, the May 18th edition of
4 The Doings paper.

5 MS. FRANCO: Thank you.

6 MR. LONGO: You're very welcome.

7 You're very welcome. I hope to set the record for
8 the briefest presentation.

9 First of all, Mr. Barbara
10 would like to thank the Village and Plan
11 Commission for the opportunity to present our
12 needs at this meeting. We're simply seeking to
13 renew a vehicle dealer license which Mr. Barbara
14 has maintained for quite a few years to be in
15 compliance with Illinois state law. We have no
16 intentions of turning our newly landscaped area
17 into an outdoor used car lot. We don't have any
18 plans nor will we place any outdoor signage on our
19 property or make any other attempt to lure traffic
20 off of I-55 or Kingery Highway. Mr. Barbara
21 simply is a car enthusiast who attends many car
22 events and auctions such as the Barrett-Jackson
23 auctions and Mecum auctions. And when conducting
24 transactions at these auctions, he's found as a

1 licensed vehicle dealer being able to operate in
2 that way makes it easier when he's transacting
3 business at those types of events. And that's
4 pretty much it.

5 MS. FRANCO: Great.

6 MR. KOPP: Do any of the
7 Commissioners have any questions for the
8 applicant?

9 Anna, do you want to give your
10 presentation?

11 MS. FRANCO: Yes. So as Mr. Longo
12 stated, Mr. Barbara, who he is representing, would
13 like to renew his vehicle dealer license for his
14 new building that he has just finished
15 construction on at 640 Joliet Road. That's
16 located at the northeast corner of Quincy and
17 Joliet Road, and it's also located in the M1
18 Zoning District.

19 So the state does need for
20 Mr. Barbara to register at this location.

21 Mr. Barbara -- or the state does need a signature
22 from the Village's zoning official, which is me,
23 stating that an auto dealership business is
24 allowed at the subject property. However, without

1 a special use for an indoor auto dealership, an
2 auto dealership of any kind is prohibited at the
3 property. So I could not sign the form until a
4 special use is potentially approved. Therefore,
5 Mr. Barbara has submitted this petition for a
6 special use for an indoor auto dealership to gain
7 a signature from me on that state form and so he
8 can register his vehicle dealer's license at 640
9 Joliet Road.

10 So this zoning petition is
11 unique in that Mr. Barbara has already received
12 permits and has largely completed construction of
13 an approximately 18,000 -- 19,000-square-foot
14 building on the subject property. Photos of the
15 newly constructed building are shown on Page 3 of
16 the Staff Report.

17 Additionally, architectural
18 plans and a site plan are attached to the Staff
19 Report but only for reference as these plans have
20 already been approved by the Village's building
21 inspector. Since building plans have already been
22 approved, the Plan Commission should evaluate
23 operational considerations of the proposed indoor
24 auto sales special use.

The Plan Commission has recently reviewed operational considerations of another indoor auto sales business when the Commission positively recommended approval of a special use for Highline Auto Sales on Executive Drive back in November of last year. To refresh, Highline Auto Sales is operating an Internet high-end-use car sales business at 555 Executive Drive. So while Mr. Barbara -- so like Highline Auto Sales it would be -- it would have a special use for indoor auto sale business. However, Mr. Barbara, as Mr. Longo has expressed, does not intend to operate an indoor retail -- auto retail business. But if Mr. Barbara is granted a special use for indoor auto sales, he is technically allowed to operate a business similar to Highline Auto if he wishes to. Therefore, staff recommends the Plan Commission consider the conditions of approval listed on Page 5 of the staff report in tonight's motion. These conditions are similar to those that were adopted for Highline Auto, and they also should ensure that any future auto sales business that could be conducted at 640 Joliet Road does not infringe upon the operation and use

1 of adjacent M1 zoned properties.

2 If these conditions are
3 incorporated into the motion tonight, staff is
4 generally supportive of the petition. A future
5 auto sales business would not have the outward
6 appearance of a traditional auto dealership.
7 There would be no outdoor storage of vehicles,
8 minimum signage, and insignificant traffic
9 generation. So if the Plan Commission wishes to
10 forward a positive recommendation to the Board, a
11 sample motion is provided on Page 5 of the staff
12 report.

13 MR. KOPP: Are you aware of the eight
14 conditions that have been proposed?

15 MR. LONGO: Yes. The vehicles being
16 stored inside, consummating all transactions at
17 the location. Yes. Miss Franco had shared those
18 with me.

19 MR. KOPP: And they are acceptable?

20 MR. LONGO: Very much so.

21 MR. KOPP: Any Commissioners have any
22 questions? All right. Does anyone in the
23 audience have any testimony or questions for the
24 applicant?

1 A FEMALE: No. Thank you.

2 MR. KOPP: All right. Unless you
3 want to make a final statement, I will close this
4 public hearing and we will vote on this matter.

5 MR. LONGO: Thank you very much.

6 MR. KOPP: All right. Will someone
7 close this public hearing. Will someone make a
8 motion that based on the submitted petition and
9 testimony provided, I move that the Plan
10 Commission approve and adopt the Standards for
11 Special Use outlined in the Staff Report prepared
12 for PC 17-02 for the June 7, 2017, Plan Commission
13 meeting; and that the Plan Commission recommend to
14 the Village Board approval for a special use for
15 "Indoor Auto Sales" subject to the "Conditions of
16 Approval" listed in the Staff Report prepared for
17 PC 17-02 for the June 7, 2017, Plan Commission
18 meeting.

19 MR. WAGNER: So moved.

20 MR. RUFFOLO: Seconded.

21 MR. KOPP: Ask that the Plan
22 Commission secretary call the vote.

23 MR. GIUNTOLI: Commissioner Soukup.

24 MR. SOUKUP: Yes.

1 MR. GIUTOLI: Commissioner Ruffolo.

2 MR. RUFFOLO: Yes.

3 MR. GIUTOLI: Commissioner Kaucky.

4 MR. KAUCKY: Yes.

5 MR. GIUTOLI: Vice Chairman Wagner.

6 MR. WAGNER: Yes.

7 MR. GIUNTOLI: Chairman Kopp.

8 MR. KOPP: Yes.

9 All right. Thank you. That's
10 it.

11 MR. LONGO: Thank you.

12 MR. KOPP: Thank you very much. Next
13 item on the agenda is consideration of adoption of
14 Plan Commission Public Hearing Guidelines, a
15 document for use at future Plan Commission
16 meetings and publication on the Village's website.

17 Anna, why don't you make your
18 presentation.

19 MS. FRANCO: So this agenda item is
20 to discuss the potential adoption of the Plan
21 Commission Public Hearing Guidelines document that
22 has been provided to you tonight.

23 As many of you know, recent
24 Plan Commission meetings in regards to a highly

1 debated zoning petitioner was a little unruly at
2 times. People were naturally passionate about the
3 subject matter but at times public input got a
4 little out of control. And most importantly, the
5 court reporter had a very difficult time following
6 the input due to numerous interruptions. So to
7 try and avoid meetings like this in the future,
8 staff has provided a draft Plan Commission Public
9 Hearing Guideline document. The purpose of the
10 document is to clarify the intent of the public
11 hearing, outline standard public hearing
12 standards, and set ground rules for public
13 speaking. This type of publication is also used
14 by other Chicagoland municipalities, so it is in
15 practice. So for the use of the document, staff
16 hopes this document is something that could be
17 handed out at meetings, could be read or referred
18 to by the Chairman at meetings that are expected
19 to be somewhat controversial, and posted to the
20 Village's website. So tonight I'm hoping that we
21 can discuss the document, discuss, you know,
22 potential changes, and then depending on the
23 amount of changes, make a motion to adopt the
24 document with the motion that's provided on Page 1

1 of the Staff Report. If there are substantial
2 changes, we can wait until the next Plan
3 Commission meeting to adopt the document if need
4 be.

5 Also, I want to direct your
6 attention to Dan Kopp's -- Chairman Dan Kopp did
7 provide a number of edits to the draft guidelines.
8 That's the red-lined document that appears after
9 the draft in the Staff Report, so that's something
10 to review as well when you're discussing tonight.

11 MR. KOPP: I want to mention a few
12 things. You hit on one of them. Identification
13 of the speakers. That, you know, I take the blame
14 for that. Vice Chairman Wagner is much better at
15 controlling speakers and making them identify
16 themselves than I am. So I'm going to hope if we
17 ever have another meeting like that again, I'm
18 going to -- I think that's up to me. I'm not sure
19 that's actually part of the guidelines other than
20 me not letting five people talk at the same time.

21 So the other two things
22 were -- and then another one is -- well, the other
23 two things are more policy oriented, and that's
24 time limits and repetitive testimony. And we had

1 an email discussion. We all did. It was cut
2 short properly about time limits. And I know this
3 has come up in the ten or so years I've been on
4 the Plan Commission, other people brought it up.
5 Commissioner Lacayo had brought it up. I
6 personally -- and this is me personally -- am
7 opposed to time limits because this is, as we just
8 saw, this is kind of the front line of democracy.
9 People want to talk, and I prefer to give people
10 the right to talk. And, actually, my second point
11 is about repetitive testimony and that's similar.
12 I also think that just because two people have
13 said they didn't want something, if there is
14 another 30 people in the room, they may want to
15 say they don't want that because, as has happened
16 in this last hearing, they want to make it clear.
17 And somebody even asked me at the prior -- the
18 most recent hearing, did I acknowledge that the
19 majority of people in the room were against that
20 application, and I said well yes. And besides all
21 the catcalling and booing, it's because there was
22 about 20 to 1 of the testimony. So, again, it's
23 frustrating, and I know we all want to go home.
24 Me, personally, I am opposed to time limits. I am

1 opposed to limiting repetitive testimony. That
2 being said, I will certainly try -- and I tried at
3 the last meeting -- to stop people -- the same
4 people from speaking for the fourth or fifth time.
5 And once we hear someone is opposed -- or the joke
6 I always make is drainage. Except for that last
7 meeting, everybody always complains about
8 drainage. After three or four people talk about
9 drainage, we don't really need another ten people
10 to speak about drainage. But I personally would
11 rather not have a rule settling time limits or
12 rule prohibiting repetitive testimony, but I am
13 very interested in what the rest of you think.

14 MR. WAGNER: Well, recently I
15 attended numerous District 86 school board
16 meetings. They have a strict rule of three
17 minutes per person, and you also have to before
18 the meeting starts sign in to be able to speak.
19 Those meetings typically range from 50 to 100
20 people approximately, and their agendas are
21 typically very large, and I think they try to do
22 it to keep themselves from being there until 1:00
23 or 2:00 o'clock in the morning. I tend to agree
24 with you. If a person comes to a public meeting,

1 they probably -- whether it's repetitive or not --
2 I feel as though they've taken the effort to come
3 to a public meeting, they should probably be able
4 to speak. However, the time limit in many
5 respects causes you to think about what you're
6 going to say and possibly be more succinct to the
7 point rather than repeating a lot of what someone
8 else said. I kind of like -- and I know these are
9 the hearing rules. In my approximately 20 years
10 of being on the Board, there's only been, really,
11 the number of public hearings you can count on one
12 hand where there were quite a number of people,
13 and there's really only been a few that have been
14 unruly. I would like to see a limit put on this
15 only because we could enforce it at a specific
16 meeting if we chose to where we have a situation
17 where there's a lot of people and maybe it's
18 unruly or maybe it's a very contested situation.
19 Whereas, tonight, we had a huge number of people
20 in the audience that, you know, it doesn't matter
21 if somebody would speak for ten minutes. It would
22 seem to me we could allow them to exceed a limit
23 if we chose. But without a limit, as you said,
24 people will try and speak four and five times.

1 And from what I see at some of our meetings, we
2 have an audience that maybe doesn't understand the
3 process where it's difficult for the court
4 reporter to follow any of this discussion because
5 it becomes a conversation rather than an entrance
6 of testimony.

7 MR. KOPP: Well, and this would be a
8 question for the Village attorney. And I don't
9 practice in this area of law. This is
10 specifically a public hearing, and some of those
11 other meetings you're talking about are not. And
12 not only is it a public hearing, there is cases
13 that say that the public gets the opportunity to
14 ask questions and give testimony, and there is a
15 famous case from like 15 years ago where Lisle, I
16 think, got in trouble for a big theater
17 development because they didn't allow the people
18 to do that.

19 MR. WAGNER: It's not my intent to
20 limit --

21 MR. KOPP: So it's just not
22 testimony. I do have to -- I think I have to
23 allow them to ask questions of the applicant.

24 MR. WAGNER: You do. And I agree

1 with you. However, the way I've seen done in some
2 meetings is the questions can be asked question
3 one, two, three, and four, but it may not require
4 an instant response from the applicant at that
5 time and that's where I think --

6 MR. KOPP: I tried to do that this
7 time.

8 MR WAGNER: -- where conversation
9 gets started.

10 MR. KOPP: A few times allowing the
11 applicant to listen to the four questions and then
12 answer the four at that point.

13 MR. WAGNER: But in many
14 presentations I've done over the years, especially
15 like in Village of Hinsdale when they were redoing
16 their zoning ordinance and so forth, all of the
17 questions would be asked, but there wouldn't be a
18 response by the applicant until the end, and then
19 the applicant would go through each question that
20 was asked and choose to either answer it or add
21 testimony to the record about it or choose not to
22 answer it. So I guess, I would like to see a time
23 limit placed on it and it could either be -- it
24 would be up to you, Mr. Chairman, whether it be

1 enforced or not, but just from experience with the
2 school district lately, I found that the
3 statements that were made when there was a time
4 limit were very succinct and there wasn't a lot of
5 repetitive discussion. And I guess you can ask
6 that if a person asks for additional time, it
7 could either be granted or not granted, I suppose.

8 MR. RUFFOLO: Mr. Chairman, as well
9 as Mr. Vice Chairman, I want to say, first of all,
10 that I think generally both of you when running
11 this meeting do a great job, and it's a pleasure
12 being a part of this Commission. I think that
13 we've experienced some difficult -- one or two
14 difficult meetings of late. We can all look back
15 in hindsight and say things could have been done
16 differently; but I think perhaps the moment and
17 the opportunity is here, and I take seriously the
18 comments and sort of opposing comments that both
19 of you have laid out. I personally would be in
20 favor of a time limit on the applicant -- on the
21 questioners, an opportunity to pose their question
22 and I think three minutes is a good start. Are we
23 going to run a stop clock? I don't think so. But
24 that's about managing the meeting as both of you

1 do very well. So I would recommend that we do, at
2 least to that aspect of it, adopt -- whether it's
3 three minutes, four minutes, five minutes,
4 whatever we all agree on, but I think there should
5 be a limitation. Further, I would suggest that we
6 shouldn't allow one or two or three people in the
7 audience to dominate the conversation without
8 giving everyone else an opportunity to all weigh
9 in. So if there's 50 people here, I think the
10 first speaker gets his chance. They take their
11 three minutes. It goes on to Speaker No. 2 and on
12 through the 49th and 50th person. And then if
13 there still is more discussion needed, you can
14 come back to that first person. But I see as in
15 any societal issue when there are people that are
16 very well versed or not versed but want to be
17 heard, they will dominate the conversation to the
18 detriment of the process and I believe to the
19 detriment of the outcome. So I think that that is
20 something that should be considered.

21 I don't necessarily think
22 that -- time is important. Registration, I think,
23 could or could not. I'm not sure if it's
24 appropriate or lawful in this particular setting

1 that people have to register. But I do think that
2 being mindful of the time limit is really
3 effective in managing the meeting.

4 MR. KOPP: All right. What I said,
5 actually, in my markup, time for each speaker may
6 be limited by the Chairman. In Section 6 of the
7 proposed guidelines, I didn't strike the time
8 could be limited by the Chairman. I just said if
9 announced at the outset of the public hearing
10 because I do think once you start the hearing, you
11 can't let somebody speak for ten minutes and then
12 say, okay, from now on you only get three minutes.
13 But sure, I'm certainly open or will do -- I
14 shouldn't even say open -- if the Board thinks
15 that we should impose a time limit, if we had
16 another meeting where there is 15 people in the
17 audience, that would be fine as long as we had
18 announced it at the outset.

19 I would prefer not to make
20 people sign up because they just won't know to do
21 it. They won't know to get here on time.

22 MR. RUFFOLO: I think rarely do we
23 have that many people at any of these meetings
24 where we really have an issue. Signing up is

1 probably not the most important part of this
2 discussion.

3 MS. FRANCO: I want to add, we do
4 have a court reporter at any public hearing. So
5 if they do state their name initially, we will
6 have their name. And if they state their address,
7 we will have their address. But the Board
8 meetings, they don't necessarily need to do that
9 and it's not recorded by a court reporter.

10 MR. KOPP: No. And, again, this is
11 what I was referring to when I read the transcript
12 that absolutely was not your fault. People were
13 sworn in, but then they were talking and then they
14 were talking again, and I wasn't controlling the
15 meeting.

16 MR. KAUCKY: There were very good
17 comments about controlling the times and so forth.
18 I've been to the District 86 meetings, and I have
19 spoken there more than a few times. I like the
20 idea you get a lot said in three minutes and it's
21 concise. So I think it's something to consider
22 for us to do if we have a controversial subject at
23 a meeting.

24 I am amazed that the outside

1 influence that is allowed during public hearings
2 as noted by the last Village Board meeting I
3 attended. And I'm wondering to myself, and I need
4 to be educated on this because it is a public
5 hearing, but I'm wondering what is the role of the
6 citizens of Willowbrook versus people who come in
7 from outside to speak at our public meetings.

8 MR. KOPP: I can't speak to the --
9 I'm sorry to interrupt -- to the trustees' meeting
10 but the ones that spoke at our meeting, they were
11 generally identified when they're citizens and
12 because the one guy talked, well, we know where he
13 lived. And then the other guy that kept saying we
14 have to go up to the second floor bedroom, they
15 obviously all lived across 83. I don't know about
16 all the doctors that showed up.

17 MR. KAUCKY: I think we were here to
18 represent Willowbrook. The public in my opinion,
19 the comments that come from the Willowbrook
20 residents ought to have more influence in terms of
21 what the Commissioners would consider, I would
22 think. Am I wrong in saying that? Am I wrong?

23 MR. KOPP: That's how I think. Yeah.
24 When we did the big shopping center, actually, as

1 Chairman Wagner did that whole thing because I was
2 conflicted out, I asked -- afterwards I asked
3 someone like do we need to listen to the people
4 from Darien, and I asked -- and I went to the
5 Village attorney and he said yes, they should be
6 able to testify. You can't just say only
7 Willowbrook people have to testify. It doesn't
8 mean you have to give the same weight.

1 it to any extent. I'm concerned about it. I
2 really am.

3 MR. SOUKUP: It's a shame that it
4 can't be controlled because when you get guys from
5 New England coming and telling us what to do here.
6 You know, that's who was at that meeting, and it
7 was also at the Board meeting. It was ridiculous,
8 really. And that's why I say, they almost, you
9 know -- they purposely called all those people in
10 from all over the place. And it snuffs out the
11 citizens. Like one trustee said when they were
12 voting, he said well, I have to vote with my
13 constituents.

14 MR. KAUCKY: No one had any
15 statistics to say there's like 80 percent
16 Willowbrook residents out here saying they don't
17 want this. There is no proof of the people's
18 residency when they were making these negative
19 comments.

20 MR. SOUKUP: That's right.

21 MR. KAUCKY: That's what I find very
22 unfair.

23 MR. SOUKUP: At that meeting it was
24 ridiculous both here and with the trustees when I

1 was there. It was -- you know, it was not a
2 meeting. And like I say, the one trustee of the
3 Village said well, I have to vote with my
4 constituents and he was the changing vote you
5 might say.

6 MR. KAUCKY: He had no reason to say
7 that because he didn't know what the statistics
8 were in that group. He didn't know.

9 MR. SOUKUP: It was a shame that
10 there wasn't some way you can say would the
11 citizens of Willowbrook please raise your hands so
12 you know how many are there. These were people
13 from -- well, that one woman that was ridiculous,
14 she lived in the northwest corner of Downers Grove
15 and she wasn't going to shop at Target anymore
16 because bullets were going to be flying around.
17 That's why at that trustees' meeting I got up and
18 said about how safe it is. That it could have
19 been open air shooting range and wouldn't have
20 bothered any homes whatsoever because they were
21 shooting to the east and all the homes were to the
22 west. They would never have been affected. And
23 it was disgusting really.

24 MR. KAUCKY: I just want to say I

1 really would consider a time limit as one way of
2 controlling this.

3 MR. RUFFOLO: Mr. Chairman, I think
4 everybody is kind of focusing on the same thing,
5 and that is let's not have overweighted testimony
6 or comments or questions coming from people that
7 are not restricted by making their statements
8 concise. And I think, frankly, time is a good
9 suggestion to limit questions. And if the meeting
10 requires additional time and there's still time
11 that evening for the interested parties to comment
12 again when it gets to be their turn after everyone
13 else has had a chance to be heard, it goes back to
14 where it started. I think that's a fair
15 democratic way to do things so everybody gets a
16 chance to have their voice heard and not have any
17 one particular person or group of people dominate
18 the conversation.

19 MR. KOPP: All right. Okay. So
20 sounds like some time limits at appropriate
21 meetings is fine. It seems like three minutes is
22 what most people would say. And, again, well, I
23 suppose we can have a rule -- it's not in here --
24 something to the effect of if there is several

1 people that want to testify, you're only to
2 speak -- you're only allowed to speak once. You
3 don't automatically get a chance a second time.
4 Because the one guy, cut him off after like five
5 times, and there was another guy that spoke
6 several times.

7 MR. WAGNER: I think at that point,
8 you as chairman, if there is new information being
9 brought forth, you can allow the testimony. But
10 if it's simply repetitive and the guy has spoken
11 five times, and he's only repeating everything
12 that's been said, I think that at some point
13 somebody would have to say something and then see
14 where all that goes.

15 I had one additional question.
16 Sentence No. 1, "The chairman makes a motion to
17 open the public hearing." Do we have to make a
18 motion to open? You're the chairman and you're
19 opening the public hearing.

20 MR. KOPP: I will admit I have been
21 following the custom that --

22 MR. WAGNER: Is that the process? I
23 was just --

24 MR. KOPP: No. That's a good

1 question. I have not been doing that because my
2 predecessor didn't do it. And when he gave me the
3 script, he said he opened the public hearing.

4 MR. WAGNER: That's what I'm saying.
5 I'm suggesting that's appropriate. I don't know
6 that there's a motion necessary to open a public
7 hearing. The hearing has been published. It's
8 the chairman's point at that -- or the acting
9 chairman at that point to open the public hearing.
10 I think that's the only funny thing I saw that --

11 MR. KOPP: That's a good point.

12 MR. WAGNER: That could be unusual.

13 MR. RUFFOLO: Can we refer that to
14 the city attorney and ask them to clarify that?

15 MS. FRANCO: Yeah. And that's
16 been -- I know we don't do it here, but that's
17 been my knowledge of other meetings. They do make
18 a motion to open it, but I'll check with our
19 attorney.

20 MR. KOPP: I'm sure it's in Robert's
21 Rules of Order.

22 MR. WAGNER: If it's part of a
23 procedure, please leave it in. But if it's not, I
24 didn't understand why we would be asking the

1 Commission whether we can open the public hearing
2 or not. Doesn't make a lot of sense to me.

3 MS. FRANCO: I'll check on that.

4 MR. KOPP: No. 6. The statement like
5 speakers may not be allowed to speak more than
6 once.

7 MS. FRANCO: Should we add until all
8 persons have provided testimony?

9 MR. KOPP: Yeah. That's a good
10 point.

11 MS. FRANCO: Unless we do want to
12 limit them to just one statement. But my
13 understanding is that we wanted to have everyone
14 speak once, at least to get their chance before
15 people make a second statement or third statement.

16 MR. KOPP: That's a good point.

17 MR. SOUKUP: In an election, you have
18 to be registered to vote.

19 MR. WAGNER: You can play both sides
20 of that coin, though. I agree with what you said,
21 and many times I have the same thought process
22 going on. However, usually the petitioner and his
23 group are not residents, you know. So if you're
24 rebutting a resident with information and they're

1 not a resident, I think they're an expert at that
2 point, and I think that's the other side of the
3 coin that we maybe don't want to listen to one
4 side or --

5 MR. SOUKUP: They are the
6 petitioners. They are not the ones -- that's like
7 at that meeting, both meetings, it was disgusting.

8 MR. WAGNER: I agree with you. It
9 was a difficult meeting.

10 MR. SOUKUP: It was disgusting and I
11 had heard they were going to come here for that
12 second meeting that they got on the Internet to
13 get people here.

14 MR. GIUNTOLI: Activists.

15 MR. SOUKUP: And he testified at our
16 meeting and he got on the Internet and when he
17 told me, I told Joanne we're going to have a crowd
18 here and sure enough we did. And it was a crowd
19 from then on in from all over the country. That's
20 the trouble, the antigun people. I don't own a
21 rifle, but still I was in Germany after World War
22 II. In fact, I went into the Army of Occupation,
23 and I saw the devastation that happened because
24 the German people after World War I taking their

1 arms away from them, and that is how it allowed
2 the Nazis to come up and there was another war. I
3 saw that and it was terrible.

4 MR. KOPP: All right. Another
5 technical issue, Anna, if I have to make a motion
6 to open the meeting, I'm assuming I'm supposed to
7 make that motion to close the meeting.

8 MS. FRANCO: Yes, that is true. So
9 that would be No. 9. Well, the Plan Commission
10 will close the public hearing. It was No. 7 but
11 No. 8 on your markup says, "The Plan Commission
12 will close the public hearing once sufficient
13 testimony has been provided." It doesn't say,
14 though, that you'll make a motion to open it. I
15 mean, just to keep us from having to revise this
16 again, we could state that, you know, the chairman
17 opens the public hearing instead of make a motion
18 to open. That way you could make a motion if you
19 wish to, but it's inferred that you are going to
20 open it in some way.

21 MR. KOPP: Okay. That's fine.

22 MS. FRANCO: The chairman opens the
23 public hearing. As simple as that.

24 MR. KOPP: All right. That's it for

1 me on that issue, unless anybody else...

2 MR. WAGNER: No.

3 MS. FRANCO: Can you go over the
4 language I think you were writing something down
5 for 6.

6 MR. KOPP: I wrote, "Speakers may not
7 be allowed to speak more than once until all
8 persons have had an opportunity to speak." And
9 then when you look, I put in my comments, I put
10 one thing in brackets, obviously, which should be
11 deleted that sets the ground rules. It was just a
12 note.

13 MS. FRANCO: So there is two items,
14 one to No. 1 under public hearing procedure and
15 then another to No. 6 under ground rules for
16 speaking at public hearings.

17 MR. KOPP: Right.

18 MR. RUFFOLO: Those are the only two
19 edits?

20 MS. FRANCO: Those are the only two
21 edits unless we want to state that time limit.

22 MR. RUFFOLO: That's where I was
23 going with my question exactly. Are we not going
24 to define a time limit?

MR. KOPP: It says, and I am happy to do that, but in No. 6, it says time for each speaker may be limited by the chairman if announced at the outset of the public hearing.

MS. FRANCO: Where is that?

MR. KOPP: No. 6 of the public hearing procedure, the second paragraph. Did you want to be more specific? Did you want to make it mandatory?

MR. KAUCKY: I agree.

9 MR. KAUCKY: I agree.

16 MS. FRANCO: And yeah. Coming away
17 from this meeting, instead of having a vote
18 tonight, I can take this draft that we marked up,
19 review it with the Village attorney, send it out
20 again with the statement that he finds no flaws
21 with it, or he does, and we can review it at the
22 next meeting.

23 MR. KOPP: All right. So the Village
24 Board, I think, has a three-minute requirement, or

1 at least they used to.

2 MS. FRANCO: They do. But that's not
3 a public hearing.

4 MR. KOPP: Right. That's what I'm
5 concerned about. All right. So that change,
6 then, I think would be in Paragraph 6. The
7 parenthetical time for each speaker will be
8 limited to three minutes. And I leave it at that.

9 MR. SOUKUP: Good.

10 MS. FRANCO: Okay.

11 MR. WAGNER: I think it is the
12 absolute rare occasion that we will have to
13 enforce any of this. I look back on this. In my
14 mind, there has only been two public hearings that
15 tended to get a little bit controversial.

16 MR. KOPP: And we went ten years with
17 none. Both in the past year.

18 MR. WAGNER: Yeah.

19 MR. KOPP: All right. That's it for
20 that issue.

21 Obviously, no visitor
22 business. Communications. As I mentioned, I
23 believe Bernie resigned because he sold his house
24 and is no longer living in Willowbrook. So I told

1 him to move back. When he does, we will get him
2 back. And I assume the mayor is looking for a
3 replacement.

4 MS. FRANCO: Yes.

5 MR. KOPP: You sort of feel like
6 telling these people, you get all fired up. Why
7 don't you -- we all volunteer. I don't know if
8 you contacted the mayor or the mayor contacted
9 you. We all volunteered. Why don't you
10 volunteer? But they're not interested.

11 Anna, did you have any
12 communications?

13 MS. FRANCO: There is no upcoming
14 zoning petitions that I know of, formal petitions.
15 I have been working with the owners of -- the
16 owner of the lot next to Ashton Place and the
17 owner of the shopping center to kind of work
18 through that parking disagreement; and to this
19 point, it's sort of a feud at this point to try
20 and come to some resolution to move forward with
21 either the Midwest Badminton Club proposal or a
22 new proposal of some sort. But they seem to have
23 hit a standstill at this point, and I'm not sure
24 if Midwest Badminton Club wants to proceed to get

1 zoning approval, which is disappointing, but
2 they've kind of had enough of this back and forth
3 between the two property owners. I am unsure
4 where that is right now. I'm hoping that they can
5 proceed, you know. Because they did get positive
6 feedback from the Plan Commission back in January
7 and as you may have noticed, and Roy just showed
8 me a little sticky note, there is a fence on the
9 lot next to Ashton Place at the parking area, or
10 at least a portion of it. Steve Heinich, the
11 owner of that property, submitted a permit to Roy,
12 which was approved to put a fence up on all but 38
13 spaces of that 129-space lot. 38 spaces is what
14 they're entitled to per that parking agreement
15 between the two property owners. So it's kind of
16 a strong statement being made by Mr. Steve
17 Heinich. So yeah, that's the most recent
18 development.

19 MR. WAGNER: Good.

20 MR. KOPP: Do they need more spaces
21 when they have big events at Ashton Place?

22 MS. FRANCO: They are -- so the
23 shopping center is required to meet a minimum
24 parking requirement of like 300 -- I think it's

1 386 spaces. I was reviewing it today. They
2 cannot meet that requirement without the adjacent
3 property.

4 MR. KOPP: I mean was putting this
5 fence effective? Does that mean there is people
6 that can't park when they have a big wedding?

7 MS. FRANCO: They can park in the 38
8 spaces, but I'm not familiar with parking during
9 those big events. Roy.

10 MR. GIUNTOLI: I would say the
11 parking lot that's -- the full parking lot that's
12 behind the adjacent property has many parking
13 spaces. 100 place, 110 plus. So he blocked off
14 maybe about 60, 70 of them. The minimum amount
15 that they need to have is still there. But I
16 guess what he's saying is okay, fine, if I agree
17 to letting you use these 35 at one point, fine.
18 But you're not going to use 36. And I'm closing
19 off all the rest of them.

20 MR. KOPP: Is that really going to do
21 anything, is my point?

22 MR. GIUNTOLI: It might if they have
23 a larger event.

24 MR. WAGNER: It will force someone's

1 hand.

2 MR. GIUTOLI: It will force someone's
3 hand. They may have a larger event, standing room
4 event at Ashton Place, and then suddenly you will
5 have a lot more bodies there, a lot more cars. It
6 could overflow out into the street or, like you
7 said, force somebody's hand. So it's definitely
8 done to force --

9 MR. WAGNER: Clearly.

10 MR. GIUNTOLI: -- clearly to force
11 someone's hands. That's our opinion. But he did
12 propose at first a noncompliant fence, and we made
13 him go back to the drawing board and come back
14 with a compliant one, which clearly indicated he
15 didn't care if people walk onto the property. He
16 only cares if cars go into that section of the
17 parking lot. So, again, clearly what it was for
18 was established.

19 MR. WAGNER: Pete's Fresh Market.

20 Are we going to tear up Plainfield Road and Route
21 83 soon?

22 MR. GIUNTOLI: I had a conversation
23 with Eugene, the site superintendent. He says
24 that tentative plans to start road construction is

1 late July with a three-month estimated time of
2 completion.

3 MS. FRANCO: What?

4 MR. SOUKUP: July?

5 MR. WAGNER: Really?

6 MR. RUFFOLO: When are they thinking
7 this thing is going to open, about three years
8 from now?

9 MR. GIUTOLI: We have no hard date.

10 MR. WAGNER: They can't open up
11 unless the road improvements are in.

12 MR. GIUTOLI: They can't open it
13 until the road improvements are in.

14 MR. WAGNER: That's why I'm wondering
15 why we haven't dug up the street.

16 MR. GIUNTOLI: Because I believe he
17 just recently received IDOT approval, like two
18 days ago.

19 MS. FRANCO: It must have been.

20 MR. GIUNTOLI: You saw the emails
21 going around. I think he just received --

22 MR. WAGNER: Did they resolve the --

23 MR. GIUTOLI: For the time being.

24 MR. WAGNER: -- northwest corner?

1 MS. FRANCO: Yes. Well, yeah. Like
2 Roy said, for the time being. They did execute a
3 lease agreement for that property for five or so
4 years because IDOT wouldn't let them buy that
5 property outright for some reason. So it's like a
6 lease-to-buy agreement.

7 MR. GIUNTOLI: Again, there is other
8 emails. There could be reasons why, IDOT's method
9 to their madness.

10 MR. WAGNER: So they have to
11 reconfigure the retention pond in the office park?

12 MR. GIUNTOLI: No. I think it has to
13 do with what improvements may occur on Kingery in
14 the future.

15 MS. FRANCO: If they want to widen
16 the roadway.

17 MR. GIUNTOLI: If they want to widen,
18 they're not sure who is going to own what or
19 whatever. I think they wanted to keep the ball
20 moving for the Pete's Fresh Market development.
21 So rather than outright sale, they gave them a
22 five-year lease so he can at least get going on
23 it. And negotiations will be ongoing for the
24 outright purchase of it once it's determined

1 everyone's use of all of that property which
2 hasn't been -- I guess, you know, all the "I's"
3 aren't dotted and "T's" aren't crossed yet.

4 MR. WAGNER: Maybe you'll be issuing
5 a fence permit soon.

6 MR. RUFFOLO: Roy, could you give a
7 high-level road construction summary of what is --
8 for that project as to what is planned, i.e. on
9 Plainfield, anything at 83 and anything north on
10 83.

11 MS. FRANCO: Do you --

12 MR. GIUNTOLI: I think you would know
13 more of it than I would. I am more in the
14 property.

15 MR. RUFFOLO: I will redirect the
16 question.

17 MS. FRANCO: So on Plainfield Road,
18 which is under the jurisdiction of DuPage County,
19 they are planning a signal -- do you know where
20 that existing access is to the Kmart on
21 Plainfield?

22 MR. RUFFOLO: I do.

23 MS. FRANCO: They're planning a
24 signal there as well as a turn lane. And I think

1 they're widening or some small improvement to the
2 turn lane from Plainfield to 83 going north.
3 There's some small improvement there. But the
4 next major improvement -- there is essentially two
5 big improvements. The next improvement is on 83,
6 which, of course, is an IDOT road, which is the
7 left turn lane into Pete's Fresh Market. So those
8 are the two big ones. There is other small things
9 like putting -- replacing curbs.

10 MR. GIUNTOLI: Isn't there two
11 southbound turn lanes going to come off of
12 Plainfield onto Kingery. Is there two southbound
13 lanes?

14 MR. WAGNER: Yes. That's what has to
15 happen because there's already two left turn lanes
16 from 83 to eastbound Plainfield.

17 MS. FRANCO: So I think there's two.

18 MR. WAGNER: There's only one --

19 MR. GIUNTOLI: I recall that. Two
20 south and two north.

21 MR. WAGNER: Correct.

22 MS. FRANCO: Yeah. I'm not sure
23 about -- I guess I would have to check the plans a
24 little bit but yeah. You know, I can email you

1 that separately so you can see that. But yeah.

2 MR. GIUTOLI: It's that much work in
3 this much time.

4 MS. FRANCO: Three months.

5 MR. GIUNTOLI: They said three
6 months.

7 MR. RUFFOLO: Roy/Anna, there was
8 conversation about limiting access at 83 and
9 Plainfield with bollards to turn into or prevent
10 turning into the Wendy's when you're westbound.

11 MR. WAGNER: Good.

12 MR. RUFFOLO: It was good. I'm
13 asking. You guys are the professionals. That was
14 the discussion point that had been brought up.

15 MR. GIUTOLI: Because I know one of
16 the holdups was that I heard Eugene say that some
17 of their improvements go quite a bit west of 83.

18 MR. RUFFOLO: Yes.

19 MR. GIUTOLI: Which could include
20 just that.

21 MR. RUFFOLO: Yes.

22 MR. GIUTOLI: So you wouldn't be able
23 to turn into it. Because I think there is two
24 lanes going north of there or a curb.

1 MR. WAGNER: But the county typically
2 goes with a curb instead of the things because
3 they get run over. A maintenance item.

4 MR. GIUNTOLI: Why don't you follow
5 up.

6 MS. FRANCO: I'll follow up with you
7 on this.

8 MR. GIUTOLI: Copy me on the email.

9 MR. RUFFOLO: I would appreciate
10 that.

11 MR. GIUNTOLI: If I would have known,
12 I would have brought the plans along.

13 MR. WAGNER: The only other question
14 I have: What's going on with the bowling alley?

15 MS. FRANCO: We actually had a few
16 proposals -- not a few. One proposal that has
17 been revised a few times for the bowling alley
18 property to include two drive-thru restaurants and
19 a retail space. Essentially, it was too much on
20 one property. They didn't meet the parking
21 standards. But the property next door, which is
22 the TCF Bank property, they actually want to
23 redevelop as well. So Tim -- Tim Halik, he
24 contacted both to see if they would be interested

1 in doing a joint PUD to develop both those
2 properties simultaneously so that they had cross
3 access, maybe some sort of shared parking; but I
4 haven't seen any response to that email. But, you
5 know, that was a potential plan because they both
6 submitted something separately; but it would have
7 worked better for both parties if they filed
8 jointly. So it's basically drive-thru restaurants
9 on both. Maybe something like an Oberweis was
10 thrown out, but not so sure on the final
11 businesses there.

12 MR. GIUTOLI: I have received
13 correspondence from a contractor regarding the
14 demo of the bowling alley building. Tentatively
15 they have it scheduled for late August, but I've
16 seen no documentation as of this time, application
17 for permit.

18 MR. RUFFOLO: As long as we're giving
19 our wish list, are there any updates on the
20 tenancy in the outlot at that intersection?

21 MR. GIUNTOLI: Yes.

22 MS. FRANCO: I'm not sure.

23 MR. GIUNTOLI: I've heard it's a
24 breakfast and lunch restaurant is still going in.

1 We heard that Firehouse Subs is still interested
2 in going in. There is a permit application in
3 plan review for an AT&T retail store in there, and
4 we've heard rumors of, believe it or not, a nail
5 salon.

6 MR. SOUKUP: What?

7 MR. GIUNTOLI: A nail salon. So I
8 think there is six units in there so that would be
9 four of them. The other two have items written
10 on. I think one just says retail space. The
11 other one does have something written in there,
12 but I've heard nothing in stone that was actually
13 going to go through, and I can't remember what it
14 was.

15 MS. FRANCO: Okay.

16 MR. KAUCKY: One last thing on the
17 Pete's Fresh Market. What is the anticipated
18 opening year?

19 MR. WAGNER: There isn't one.

20 MR. KAUCKY: Not even a year?

21 MR. GIUNTOLI: I would say next year.
22 Everyone wants it this year, but I don't think
23 that's realistic. The developer that Pete's Fresh
24 Market -- their development, their realty

1 company --

2 MS. FRANCO: PM Realty.

3 MR. GIUNTOLI: -- has been from a
4 construction standpoint notoriously
5 slow to the point where other communities have
6 like gone after them to speed things up. So it
7 would be no surprise to me if we end up having to
8 do that, too. But things are moving along, all
9 things considered. It's unfortunate that
10 he's chopped his submittal up in so many little
11 places -- in so many different pieces that it's
12 hard to keep them all under place. But we've
13 allowed him to do it, and we'll do our best to
14 keep track of them.

15 MR. RUFFOLO: Thank you.

16 MR. GIUTOLI: You're welcome. One
17 quick question. Are we continuing that public
18 hearing?

19 MR. KOPP: That's a good question.
20 Will someone make a motion to continue the Plan
21 Commission hearing to consider public hearing
22 guidelines to our next meeting. Although, I ask
23 that we don't hold a meeting just to consider
24 that.

1 MS. FRANCO: Okay. Yeah. I will
2 keep that to the next.

3 MR. KOPP: The next meeting when
4 there is another application. Will someone make
5 that motion.

6 MR. WAGNER: So moved.

7 MR. KAUCKY: Second.

8 MR. KOPP: Ask the Plan Commission
9 secretary to call the roll.

10 MR. GIUNTOLI: Commissioner Soukup.

11 MR. SOUKUP: Yes.

12 MR. GIUTOLI: Commissioner Ruffolo

13 MR. RUFFOLO: Yes.

14 MR. GIUTOLI: Commissioner Kaucky.

15 MR. KAUCKY: Yes.

16 MR. GIUTOLI: Vice Chairman Wagner.

17 MR. WAGNER: Yes.

18 MR. GIUNTOLI: Chairman Kopp.

19 MR. KOPP: Yes. So we will make a
20 motion to adjourn.

21 MR. SOUKUP: I will make that motion.

22 MR. WAGNER: Second.

23 MR. KOPP: All in favor say "aye."

24 ALL COMMISSIONERS: Aye.

1 (Which were all the
2 proceedings had in the
3 above-entitled cause.)

4

5 (Whereupon the hearing ended
6 at 8:01 p.m.)

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1 STATE OF ILLINOIS)
2)
2 COUNTY OF COOK)

3

4 I, MARY WOOLSEY, C.S.R., do hereby
5 certify that I am a court reporter doing business
6 in the City of Chicago; that I reported in
7 shorthand the testimony given at the
8 above-entitled hearing on June 7, 2017; and that
9 the foregoing is a true and correct transcript of
10 my shorthand notes so taken as aforesaid.

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15 Certified Shorthand Reporter

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17 Illinois C.S.R. License No. 084-002894

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2 COUNTY OF COOK }

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Village of Willowbrook
Staff Report to the Plan Commission

Plan Commission Date:	April 4, 2018															
Prepared By:	Natalie Zine, Planning Consultant															
Case Title:	Hinsdale Animal Cemetery PUD															
Petitioner:	Bill Remkus, 6415 Western Ave, Willowbrook, IL 60527.															
Action Requested:	Consideration of a petition for a Special Use Permit for a Planned Unit Development with an Animal Cemetery use, to rezone a portion of the subject property from the R-1A Zoning District to the R-1 Zoning District, for approval of a Preliminary Plat of PUD, for approval of a Final Plat of Subdivision, and for consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.															
Purpose:	To allow the petitioner (Mr. Bill Remkus) to expand his Animal Cemetery business and to improve his property with new buildings and site modifications.															
Location:	South of 63 rd Street, East of Western Avenue.															
PINs:	09-22-201-001, 09-22-201-004, 09-22-201-005, 09-22-201-010, 09-22-201-011, 09-22-201-013, 09-22-201-021, 09-22-201-022															
Existing Zoning:	R-1 Residential and R-1A Residential															
Proposed Zoning:	R-1 Residential															
Existing Land Use:	Pet Cemetery															
Property Size:	10.02 Acres															
Surrounding Land Use:	<table><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>Single Family Residential</td><td>R-1</td></tr><tr><td>South</td><td>OUTSD. & Single Family Residential</td><td>R-1, R-2</td></tr><tr><td>East</td><td>Single Family Residential</td><td>R-1, R-2</td></tr><tr><td>West</td><td>Single Family Residential</td><td>R-1, R-2</td></tr></tbody></table>		Use	Zoning	North	Single Family Residential	R-1	South	OUTSD. & Single Family Residential	R-1, R-2	East	Single Family Residential	R-1, R-2	West	Single Family Residential	R-1, R-2
	Use	Zoning														
North	Single Family Residential	R-1														
South	OUTSD. & Single Family Residential	R-1, R-2														
East	Single Family Residential	R-1, R-2														
West	Single Family Residential	R-1, R-2														

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and approve a recommendation to the Village Board



Documents Attached:

1. Legal Description
2. Hinsdale Animal Cemetery Site Plan, dated 2-14-17, 1 sheet
3. Hinsdale Animal Cemetery Preliminary and Final PUD Plat, dated 12-14-17, 1 sheet
4. Hinsdale Animal Cemetery Final Plat of Subdivision, dated 2-12-18, 2 sheets
5. Hinsdale Animal Cemetery Architectural Plans, dated 6-3-17, 2 sheets
6. Hinsdale Animal Cemetery Final Engineering Plans, dated 2-13-18, 6 sheets

Site Description

The subject property is located at 6400 Bentley Avenue, in Willowbrook, IL. The total site consists of a total of 10.02 acres. It is situated south of 63rd Street and is bordered by Bentley Avenue on the east and Western Avenue on the west. The property is zoned R-1 and R-1A Single Family Residential and is surrounded by properties also located in the R-1, R-1A, or R-2 Single Family Residential Districts to the north, east, west, and south, as well as unincorporated property to the south. The subject property is located within various subdivisions as illustrated in exhibit 3.

Exhibit 1: Location Map (N^)

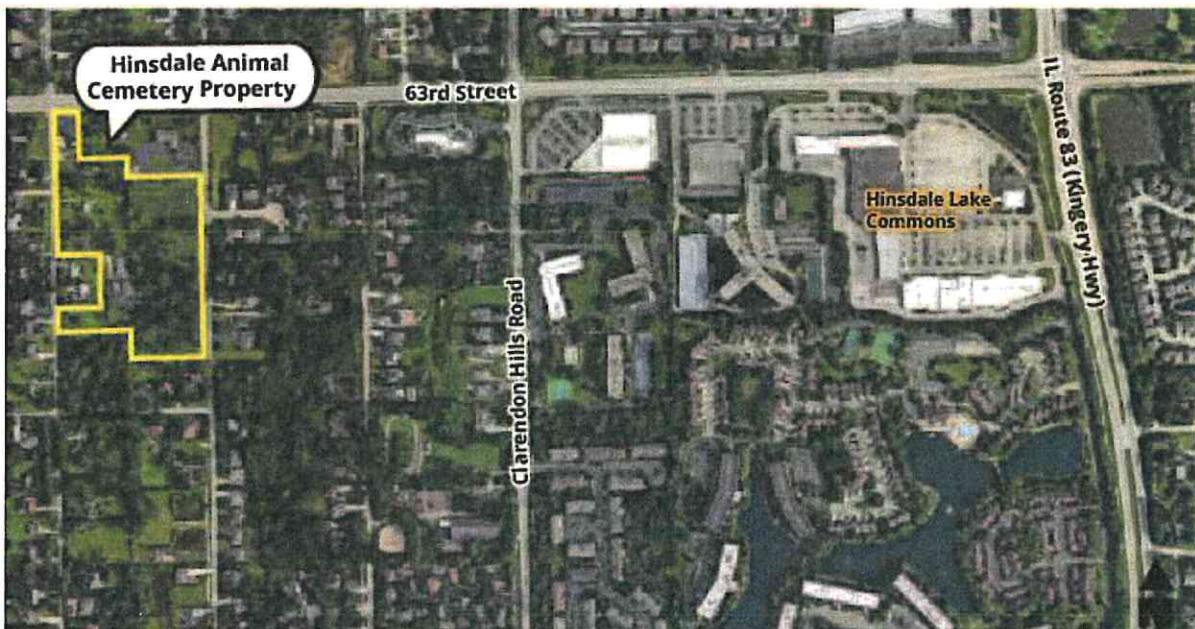




Exhibit 2: Zoning Map



Exhibit 3: Subdivision Map



Table 1: Properties Included in the Hinsdale Animal Cemetery

PIN	Acreage	General Description	Brief Legal Description
09-22-201-001	0.46	Fire Station Property w/ Bldg.	DARROWS RESUB, Lot 3
09-22-201-004	0.57	Fire Station Property	DARROWS RESUB, Lot 4
09-22-201-005	2.27	Garage	RICHFIELD FARMSITES, Lot 15
09-22-201-010	1.14	Cemetery	RICHFIELD FARMSITES, Lot 2
09-22-201-011	1.14	Cemetery	RICHFIELD FARMSITES, Lot 2
09-22-201-022	3.22	Main Cemetery Buildings	REMKUS RESUBDIVISION, Lot 4
09-22-201-013	0.83	Cemetery	RICHFIELD FARMSITES, Lot 4
09-22-201-021	0.40	Property south of residences	REMKUS RESUBDIVISION, Lot 3



Development Proposal

Request

The Applicant Bill Remkus is proposing a Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; a rezoning of one (1) parcel from R-1A to R-1; a Final Plat of Subdivision and a Preliminary and Final Plat of PUD for the Subject Property as legally described in Attachment 1.

Mr. Remkus already owns the subject property, most of which has already been granted a special use permit for a pet cemetery use. The exception is Lot 3 of the 98' Remkus Resubdivision which does not currently have a special use. That property is also the only property within the PUD that is currently zoned R-1A. The applicant is requesting a rezoning for that parcel so that the special use may be extended to include that parcel and also to create planned development with one cohesive underlying zoning district.

It was recommended by the Village that Mr. Remkus petition for a planned unit development for the entirety of his property to allow for more flexible and efficient development of the land. Mr. Remkus is not requesting any substantial change in the land use or intensity. Rather, the planned unit development will allow him to expand his business and construct a few new buildings as they are needed for additional office/storage space.

Summary of Requests:

1. Special Use Permit for a Planned Unit Development w/ a Pet Cemetery Use including certain relief, exceptions, and waivers Title 9 and Title 10 of the Village Code
2. Consolidation/Resubdivision of the Subject Property
3. Map Amendment and Rezoning of original "Remkus Resubdivision Lot 3" and a portion of "Remkus Resubdivision Lot 4" from R1-A to R-1

Overview

Hinsdale Animal Cemetery was started in 1926. It has been in the Remkus family since 1950 and is now in its 4th generation of family operation. The Remkus family has lived on the grounds of the cemetery for over 70 years. The cemetery is the final resting place for over 30,000 pets of all breeds and species. In addition to burials, the cemetery services some of Chicagoland's best veterinarians by providing cremation services and memorial products to grieving families.

In pursuing the Planned Unit Development, Hinsdale Animal Cemetery intends to add space to complete memorial products and the post-cremation packaging process. Hinsdale Animal Cemetery plans to preserve as much open space as possible in order to maintain the tranquil and peaceful ambiance of the existing grounds and the sanctuary this provides for visitors, clients and neighbors alike. Mr. Remkus often sees the neighbors out for leisurely weekend strolls through the grounds with their families and pets and would like to keep this wonderful aspect of the cemetery intact. *"For 92 years, the cemetery has provided a wonderful place for grieving families while adding something historically invaluable to the village."*



Staff Analysis

History

As previously stated the Hinsdale Animal Cemetery has existed since 1926. The cemetery was annexed into the Village in 1980 and zoned R-1 with a special use to permit the continued use of the property for "certain detached single-family dwelling units, a landscaping and snow removal business and in part as a pet cemetery." (Ordinance 80-O-51). The complete legislative history can be seen in Table 4.

The cemetery originally included all of original lots 2, 3, 14, and 15; and the north half of Lot 4 of the Richfield Farmsites subdivision. In 1998, the Petitioner filed an application for a subdivision and rezoning to subdivide Lots 3 and 14 into a new 4 lot subdivision with 3 lots fronting on Western, and a new Lot 4 to the rear, with frontage on Bentley to the east. In 1999 additional property (Lot 15 of Richfield Farmsites) was annexed into the Village and added to the Hinsdale Animal Cemetery property. And finally, in 2007 the Tri-State Fire building property was annexed into the Village and purchased by Mr. Remkus.

Table 2: Legislative History

Legislative History					
Date Approved	Ord. #	County Rec. #	Doc. Type	Brief Description	Summary
9/22/1980		R1980-79530		Annexation Agreement	(Pre-Annexation Agreement)
11/24/1980	80-O-50	R1980-79531	Ordinance	Annexation	An ordinance annexing property newly annexed to the Village of Willowbrook - George and Alice Remkus and William and Mae Dykema
	80-O-50				PLAT OF ANNEXATION
11/24/1980	80-R-29	R1980-79529	Resolution	Annexation Agreement	A resolution authorizing the President and Village Clerk to enter into a certain Annexation Agreement - George and Alice Remkus and William and Mae Dykema
11/24/1980	80-O-51	R1980-79532	Ordinance	Zoning	An ordinance zoning land newly annexed to the Village of Willowbrook, DuPage County, Illinois - George and Alice Remkus and Mae Dykema - 6400 block Western Avenue
5/11/1983	83-O-24		Ordinance	Variation	An ordinance granting a certain variation, William Remkus, 6415 Western
6/22/1998	98-O-20		Ordinance	Rezoning, Variation	An ordinance rezoning certain territory and granting certain variations from the subdivision regulations--6405 and 6415 western avenue -- Remkus Resubdivision
6/22/1998	98-R-28	R1998-164322	Resolution	Preliminary Plan & Plat	A resolution approving the Preliminary and Final Plats of Remkus Resubdivision - 6405 and 6415 Western Avenue
	98-R-28				PLAT OF RESUBDIVISION
1/25/1999	99-O-19	R1999-162721	Ordinance	Annexation	An ordinance annexing territory to the Village of Willowbrook - Western Avenue - South of the intersection of 63rd Street and Western Avenue
	99-O-19				PLAT OF ANNEXATION
12/13/1999	99-R-51	R2000-009600	Resolution	Plat of Easement	A resolution authorizing the President and Village Clerk to execute a certain Plat of Easement - 6301 S. Western Avenue
6/23/2003	03-O-15		Ordinance	Amend. to the Special Use	An ordinance amending Special Use Permit No. 80-51 as approved in Ordinance No. 80-O-51 - Hinsdale Animal Cemetery - 6327 Western Avenue
11/26/2007	07-O-31	R2007-213644	Ordinance	Annexation	An ordinance annexing territory to the Village of Willowbrook - Tri-State Fire Protection District
	07-O-31				PLAT OF ANNEXATION
11/26/2007	07-R-60	R2007-213643	Resolution	Annexation Agreement	A resolution authorizing the President and Village Clerk of the Village of Willowbrook to enter into a certain Annexation Agreement - Tri-State Fire Protection District

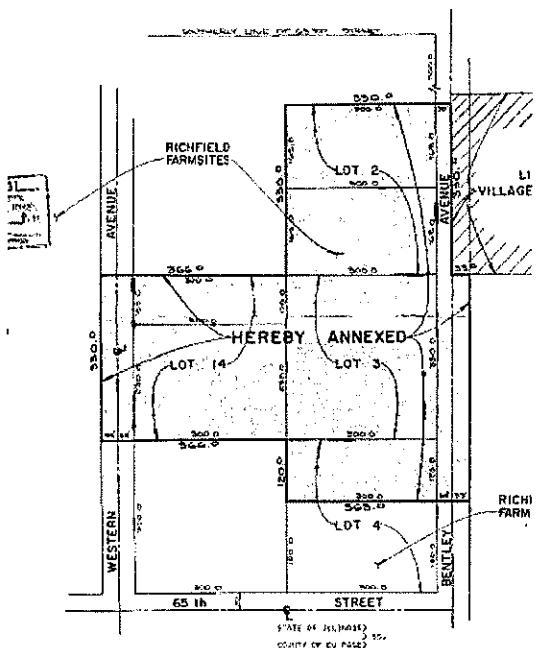


Annexation and Subdivision History – Hinsdale Animal Cemetery

11/24/1980

Exhibit 4: Ordinance 80-O-50 (R1980-79531)

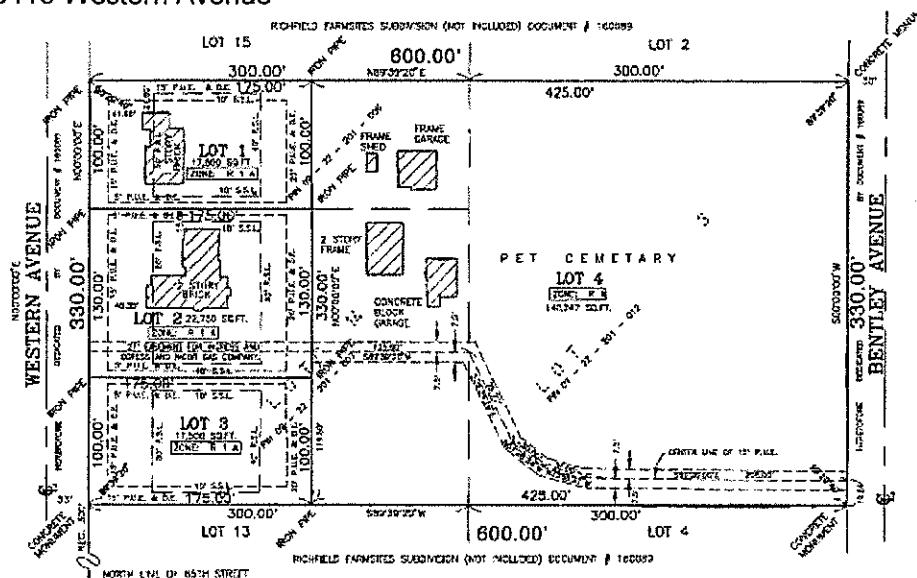
An ordinance annexing property newly annexed to the Village of Willowbrook - George and Alice Remkus and William and Mae Dykema



6/22/1998

Exhibit 5: Resolution 98-R-28 (R1998-164322)

A resolution approving the Preliminary and Final Plats of Remkus Resubdivision - 6405 and 6415 Western Avenue

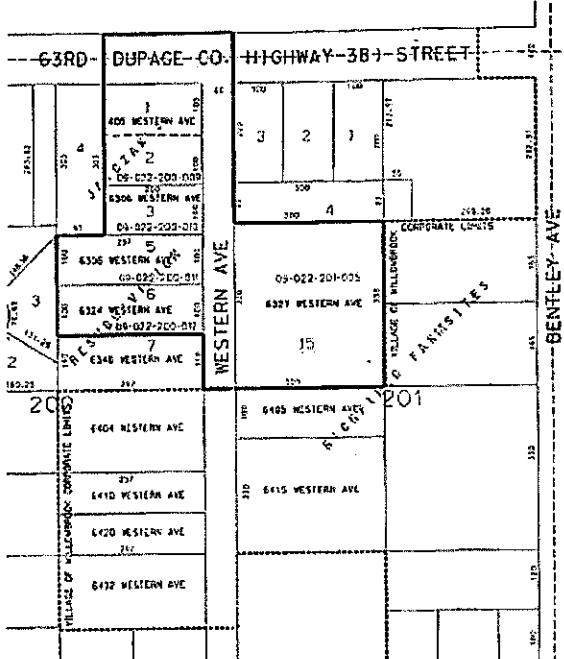




1/25/1999

Exhibit 6: Ordinance 99-O-19 (R1999-162721)

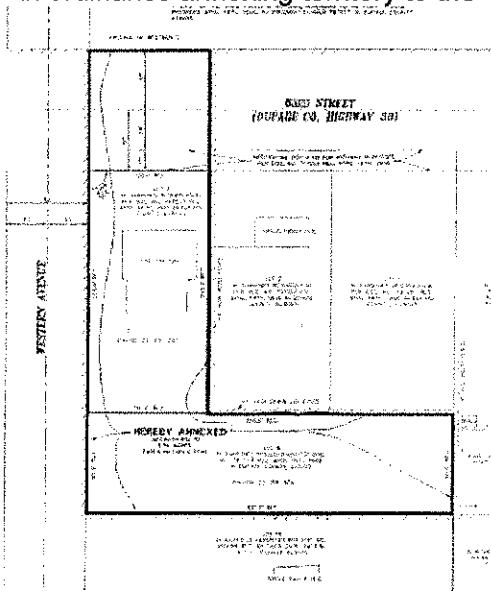
An ordinance annexing territory to the Village of Willowbrook - Western Avenue - South of the intersection of 63rd Street and Western Avenue



11/26/2007

Exhibit 7: Ordinance 07-O-31 (R2007-213644)

An ordinance annexing territory to the Village of Willowbrook - Tri-State Fire Protection District

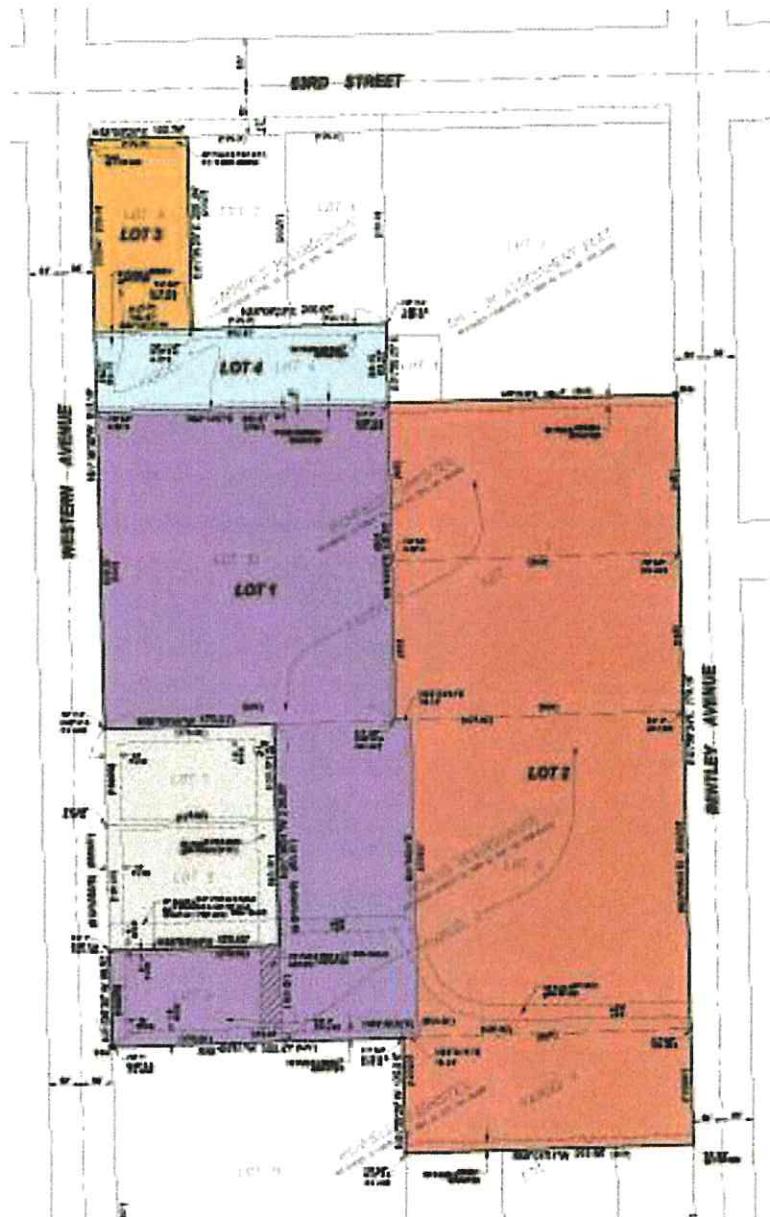




Plat of Subdivision/Consolidation

Due to the nature and location of proposed buildings per the Hinsdale Animal Cemetery PUD Plat, it was recommended that Mr. Remkus consolidate a few of the lots on his property to eliminate buildings being constructed over existing lot lines (building addition #3). The proposed resubdivision can be seen below. Note that the area in grey are Mr. Remkus' residential properties and are not included in the PUD. The applicant is also requesting that Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.

Exhibit 8: New Plat of Resubdivision





Rezoning of Certain Property

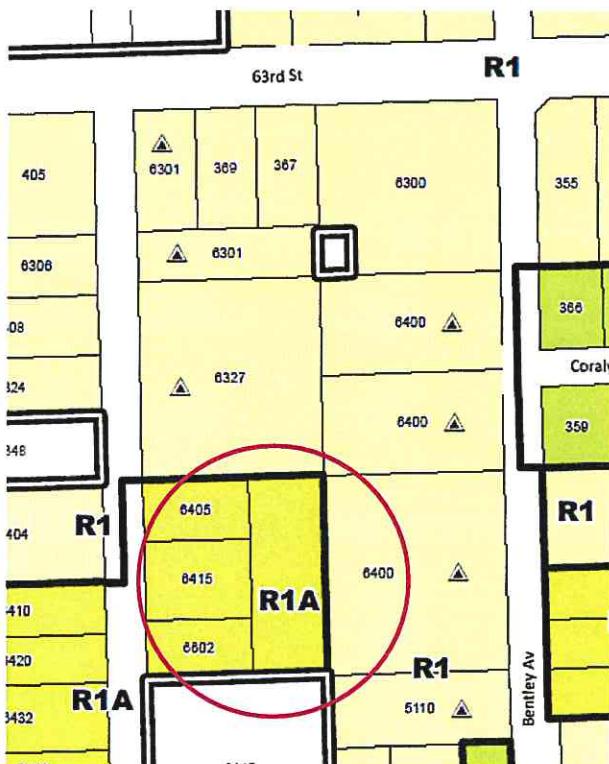
In addition to the rezoning "Remkus Resubdivision Lot 3" from R-1A to R-1. A portion of "Remkus Resubdivision Lot 4" was mistakenly zoned R-1A in 1998 and needs to be corrected.

In 1998, the Petitioner filed an application for a subdivision and rezoning. The preliminary and final plat document attached with the application correctly showed the legal description to subdivide Lots 3 and 14 into a new 4 lot subdivision ("Remkus Resubdivision") with 3 lots fronting on Western, and a new Lot 4 with frontage on Bentley to the east. The written legal description in the application form, however, listed a legal description of Lots 3 and 4 (instead of 14).

The application only listed one legal description for both the Plat of Subdivision and the rezoning, even though it's assumed the intent was only to rezone the new smaller residential lots from R-1 to R-1A and leave the larger lot to the east zoned R-1. The preliminary and final subdivisions plat was later approved by resolution with the correct legal description for the subdivision shown on the plats. The R-1A designation on this map was drawn with an eastern boundary that is offset to the west from the common lot line between lots 3 and 14.

Legal counsel has advised that it is necessary to correct the previous error in the legal description so that the actual zoning matches the original intent AND it is correctly depicted on the zoning map.

Exhibit 9: Rezoning of R-1A to R1





PUD with a Pet Cemetery Use

Appropriateness of Use

The majority of the subject property has been owned and run as a pet cemetery since its Annexation in 1980 and has been an asset to the community since. This PUD will not change the existing use of the Subject Property but rather allow the petitioner more flexibility in the development of the land as his business expands. Moreover, a Pet Cemetery is permitted as a Special Use in the R-1 Single Family district per section 9-5A-2 of the Zoning Ordinance. A planned until development for a pet cemetery is therefore an appropriate use.

Comprehensive Plan

According to the Comprehensive Land Use Map, the Subject Property is designated as low-density residential. A pet cemetery is in compliance with the comprehensive plan.

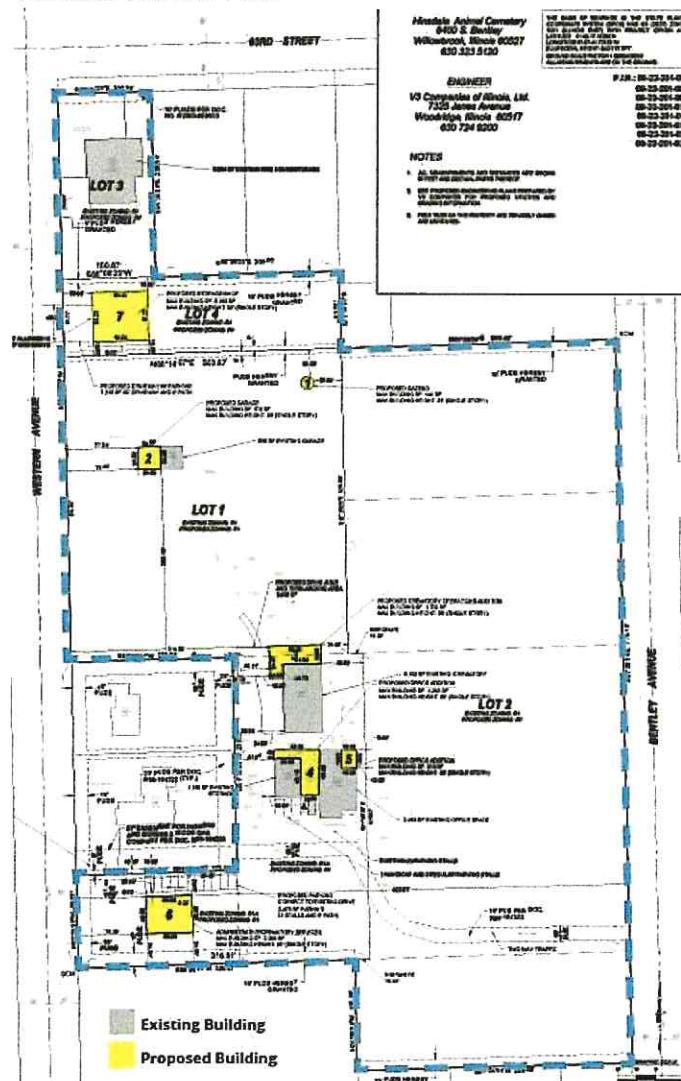
Site Plan Breakdown

The proposed site plan indicates:

- two (2) new buildings (Bldg. #7 on New Lot 4; and Bldg. #6 on New Lot 1);
- four (4) new building additions (Adds. #2, #3, #4, and #5 on New Lot 1);
- and one (1) gazebo (Bldg. #1 on New Lot 1).

This site plan is designed to illustrate the maximum allowances for each building and/or building addition. That is to say, the applicant is not required to construct each building or addition exactly as is depicted on the site plan. This site plan allows Mr. Remkus to build anywhere within the illustrated footprints. He may choose to construct smaller sized buildings/additions and may adjust the exact location of each to some extent, so long as each structure remains within the designated lines on the plat. The intent of approving a site plan and plat of this nature is to allow for some flexibility in the development of the property and to minimize the need for PUD amendments in the future.

Exhibit 10: Site Plan





Bulk Requirements

The R-1 Zoning District bulk regulations are outlined in the table below. Items in blue require certain relief, exceptions or waivers from the code.

Table 3: R-1 Zoning District Bulk Regulations

R-1 Zoning District						
Item	Code Section	Code Requirement	Lot 1 Proposed	Lot 2 Proposed	Lot 3 Proposed	Lot 4 Proposed
Minimum Lot Area (acres)	9-5A-3(A)	30,000 SF	163,401	228,030	20,149	25,021
Minimum Lot Width	9-5A-3(B)	100'	OK	OK	100'	83.22'
Minimum Lot Depth	9-5A-3©	150'	125'	approx. 280'	200'	approx. 300'
Minimum Front Yard Setback	9-5A-3(D)	60'	40.11' (bldg. 3)	N/A	approx. 50'	32'
Minimum Interior Side Yard Setback	9-5A-3(D)	15' or 10% of lot width, whichever is greater	25'	N/A	10'	15'
Minimum Exterior Side Yard Setback	9-5A-3(D)	50'	n/a	N/A	approx. 25'	N/A
Minimum Rear Yard Setback	9-5A-3(D)	50'	9.44' (bldg. 5)	N/A	approx. 80'	approx. 205'
Maximum Lot Coverage	9-5A-3€	30%	8%	N/A	19%	13%
Maximum Height	9-5A-3(F)	35'	Not to exceed 35'	Not to exceed 35'	Not to exceed 35'	Not to exceed 35'
Maximum Floor Area Ratio	9-5A-3(G)	0.3	0.08	N/A	0.19	0.13
Special Setbacks: - 63rd Street west of Madison 100'	9-3-7(A)	100'				

Table 4: Lot Areas

Area Table		
Lot #	Sq. Ft.	Acres
1	163,401	3.7512
2	228,030	5.2348
3	20,149	0.4626
4	25,021	0.5744
Total	436,601	10.023

Table 5: Total Site Data

Site Data Chart		
Item	Existing	Proposed
Project Site Square Footage	436,601 SF	436,601 SF
Zoning	R-1/R-1A	R-1
Total Impervious Surface	39,060 SF (9%)	50,135 SF (11.5%)
Lot Coverage	0.04	0.06
Floor Area Ratio	0.04	0.06



Certain Relief/Waivers Requested

Zoning Ordinance

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are requested:

LOT 1

1. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and fifty (150') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
2. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (60') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
3. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than fifty feet (50') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
4. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
5. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to waive the requirement that permanent peripheral screening at least five feet (5') high be constructed and maintained in interior side and rear yards adjacent to parking areas for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
6. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas and driveways in the R-1, R-1A, R-2 and R-3 Single-Family Residential Districts be improved with all-weather, hard surface pavement for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
7. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas, driveways and aisles serving nonresidential uses shall be improved with concrete barrier curb and gutter for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
8. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas having more than four (4) parking spaces shall be effectively screened along each side which faces a lot in a residential district for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
9. That Section 9-10-5(G) Off-Street Parking, Minimum Standards For Parking Spaces, Aisles And Parking Bays, be varied to permit a reduction in the minimum width of an undivided two-way driveway to less than twenty four feet (24') wide for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
10. That Section 9-10-5(G) Off-Street Parking, Lighting, be varied to waive the requirement that public off-street driveways, aisles, parking and loading facilities shall be provided with adequate illumination levels for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

LOT 3

11. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than thirty thousand square feet (30,000 SF) for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.



12. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred feet (100') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
13. That Section 9-3-7 Specific Road Setbacks, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (100') along 63rd Street for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
14. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum interior side yard setback to less than fifteen feet (15') or ten percent (10%) of the lot width for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
15. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than fifty feet (50') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
16. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than fifty feet (50') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
17. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

LOT 4

18. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than thirty thousand square feet (30,000 SF) for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
19. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred feet (100') for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
20. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (60') for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

PUD Standards

Pursuant to Section 9-13-6 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

21. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that the required yards or setbacks along the periphery of the planned unit development be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district.

Subdivision Ordinance

Pursuant to Section 10-8-7 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

22. That Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.
23. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that lot areas and widths of the SUBJECT REALTY conform to at least the minimum requirements of the zoning ordinance for the district in which the subdivision is proposed.



24. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that building setback lines within the SUBJECT REALTY conform to at least the minimum requirements of the zoning ordinance.
25. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that lots within the SUBJECT REALTY avoid excessive lot depth in relation to width. A depth to width ratio of three to one (3:1) shall normally be considered a maximum.

Parking & Access

There are no proposed changes to access onto the site. The main entrance is on Bentley Avenue at 6400 Bentley Ave, Willowbrook, IL. There is also access from Western Avenue via an easement for a private drive and utilities that cuts through Mr. Remkus' residential property.

Exhibit 11: HAC Main Entrance



Exhibit 12: HAC Access





Mr. Remkus employs about 10 staff members, however that includes the Remkus family who park at their residences. The rest of the staff typically park by the fire house or by the garage. The average number of visitors per day is difficult to determine because it varies greatly, however visitors are usually dispersed throughout each day and do not exceed the amount of parking provided on site. An additional parking lot is proposed along proposed Building #6 that will provide eleven (11) additional spots for staff should the new office building create a need for more parking.

Staff does not predict the proposed development will have any adverse traffic impacts along 63rd Street or the surrounding neighborhoods. The Pet Cemetery is a low-impact use and will not generate high traffic. Parking requirements are outlined in the table below based on the Village Code, however "Pet Cemetery" is not explicitly listed in Section 9-10-5(K) Required Spaces. Therefore, the PUD was divided up by use according to the best match for parking requirements. While the applicant appears to be short of parking per the code, staff believes adequate parking is being provided.

Table 6: Parking Requirements

Parking Table							
Bldg. #	Building Name	Use Type	Village Standard	Existing Sq. Ft.	Add. Sq. Ft.	Total Sq. Ft.	Req.
1	Gazebo	n/a		-	144	144	-
2	Garage Addition	Storage	1 parking space for each 1.5 employees	590	576	1,166	1
3	Crematory Operations Addition	Manufacturing, fabricating, processing, storing, cleaning, testing, assembly, repairing and service establishments	1 parking space for each 1.5 employees	3,103	1,730	4,833	6.04
4	Office Space	Office	1 space/ 225 sq. ft.	2,493	1,263	3,756	16.69
5	Office Space	Office	1 space/ 225 sq. ft.	-	313	313	1.39
6	Administrative/ Crematory Services	Office	1 space/ 225 sq. ft.	-	2,000	2,000	8.89
7	Storage/Shop	Storage	See above.	-	3,193	3,193	1
n/a	Fire Station	Storage	See above.	3,894	-	3,894	1
Total Required Spaces:		36					
(ADA Accessible)		2					
Total Proposed:		28 (w/ 2 ADA)					



Landscaping

The Village is not requiring a landscape plan however the petitioner has agreed to maintain and enhance the existing landscaping. The acting Arborist for the Hinsdale Animal Cemetery has met with Bill Remkus and will be assisting Bill with tree preservation efforts to help reduce the effects of the proposed construction project (specifically Bldg. #3) on the 30-inch diameter American Elm tree that is located directly north of the existing crematory building that is proposed to be expanded. This tree is the only landscape plant that will be affected by the construction project. Tree preservation activities that the arborist recommends include: crown pruning, root pruning, a growth regular treatment to stimulate root growth, and fertilization. I give this tree a fair chance of survival.

Mr. Remkus also intends to plant 15-20 new trees on the property this following spring. Trees to be planted will be a mixture of species that are well suited for our climate and site conditions. Exact planting locations will be determined based upon a collaboration of the arborist's recommendations, ownerships desires, and existing site conditions/improvements.

Lighting

Applicant is requesting a waiver from the requirement to provide a photometric plan as the existing site has wall packs on all the buildings and there are no problems currently with regards to lighting as the hours of operation are from 8:00 AM to 5:00 PM.

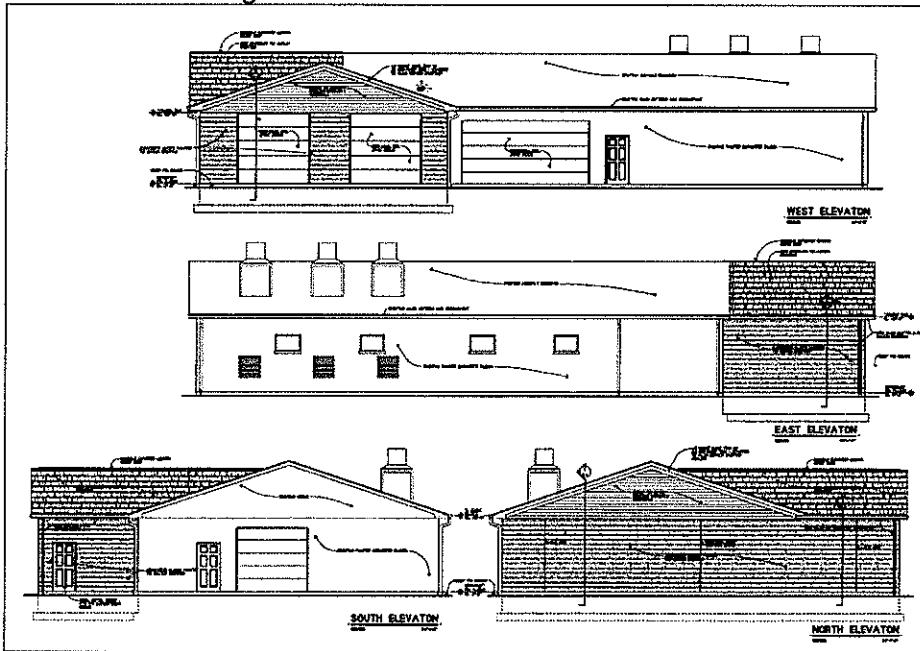
Signage

No new signage is being proposed at this time. Any future signage changes shall comply with the Village Code and be approved by the Village.

Elevations

Building elevations have only been provided for the Building #3 planned addition, the first addition planned to be completed this year. Architectural and engineering plans for all future construction will be reviewed internally for staff approval.

Exhibit 13: Building Addition #3 Elevations





Standards & Findings for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

9-14-5.2: Standards:

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed Hinsdale Animal Cemetery development will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the community. The proposed development will add office space, storage areas, and additional crematory services that will minimally change the use of the current property.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed Hinsdale Animal Cemetery development will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed development will add office space, storage areas, and additional crematory services that will minimally change the use of the current property.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed Hinsdale Animal Cemetery development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The proposed development does not change the use of the existing property and is allowed in the R-1 zoning.

(D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Finding: Adequate utilities, access roads, drainage and/or other necessary facilities will be provided within this development. There are field tiles running through the property which provide drainage. Also, as buildings are added, Stormwater management facilities will be incorporated to meet the DuPage County Stormwater and Flood Plain ordinance. No additional utilities will be required as the additions will be served through the existing buildings. Access to the site will remain from both Western Avenue and Bentley avenue. There are no additional access roads proposed.



(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Ingress and egress to the proposed Hinsdale Animal Cemetery development will remain from both Western Avenue and Bentley Avenue. This development will not impact to the surrounding roadways since no additional trips will be generated from the proposed additions.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The Hinsdale Animal Cemetery development is proposed to be a Planned Unit Development – R1. The Animal Cemetery is allowed under the R1 Zoning.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Finding: There have been no substantial changes in the surrounding area, nor has there been any denial by the Village Board of any prior application for a special use permit on the project site within the past year.

Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) findings of fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

9-13-7: Findings:

(A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: The proposed Hinsdale Animal Cemetery development will add office space, storage areas, additional crematory processing, and packaging services that will minimally change the use of the current property. "Pet cemeteries" are allowed as a special use in the R-1 Zoning district.

(B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed Hinsdale Animal Cemetery development will meet the requirements for comprehensive plan, size and ownership, compatibility, storm water management facilities, yards, traffic, preservation standards, design standards, uses for PUD's greater than five acres, and other standards.



(C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: The proposed Hinsdale Animal Cemetery development will not meet the requirement for space between buildings, which is an existing condition. The parking requirement will also not be met but it is our belief that parking has never been an issue and the proposed uses will not add need for additional parking.

(D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: The proposed Hinsdale Animal Cemetery development will maintain access to the site from both Western Avenue and Bentley Avenue. There are no additional access roads proposed. The Hinsdale Animal Cemetery plans to preserve as much open space as possible in order to maintain the tranquil and peaceful ambiance of the existing grounds and the sanctuary this provides for visitors, clients and neighbors alike.

(E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)

Finding: The proposed Hinsdale Animal Cemetery development will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted. The proposed development does not change the use of the existing property and is allowed in the R-1 zoning district as a special use.

(F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

Finding: The proposed Hinsdale Animal Cemetery development will not substantially diminish and impair property values within the neighborhood as it has maintained its use since 1926. The proposed development will add office space, storage areas, and additional crematory services that will not change the use of the current property.

(G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed Hinsdale Animal Cemetery development does not change the use of the existing property and is allowed in the R-1 zoning district as a special use. The proposed Hinsdale Animal Cemetery has been in the Remkus family since 1950 and is now in its 4th generation of family operation. They strive to maintain great relations with the Village of Willowbrook.



Staff Recommendation

Staff is supportive of the proposed petition and recommends approval of the Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; the rezoning of one (1) parcel from R-1A to R-1; the Final Plat of Subdivision and the Preliminary and Final Plat of PUD for the Subject Property as legally described in Attachment 1, subject to the following conditions.

Conditions for Approval

Staff recommends that the following "Conditions of Approval" be considered by the Plan Commission.

1. The hours of operation shall be limited to 8:00 am to 5:00 pm.
2. Approved uses shall be as shown on the approved plans. Future modifications to the use of any room shall be subject to administrative review to determine whether a major change amendment is required based on parking.
3. Owner shall submit architectural and engineering plans for internal review for each individual building prior to requesting a building permit or commencing construction.
4. With each new building or building addition permit application the owner shall submit a statement identifying the square footage of net new impervious area for both the current application and the cumulative total. At such time as the cumulative total reaches 2500 square feet of net new impervious area, Post Construction Best Management Practices (PCBMPs) shall be designed and constructed in compliance with Village Code.

Sample Motion

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for an "Indoor Amusement Establishment, specifically an Ice Rink" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting.



Attachment 1
Legal Description

PINs:

09-22-201-001
09-22-201-004
09-22-201-005
09-22-201-010
09-22-201-011
09-22-201-022
09-22-201-013
09-22-201-021

PARCEL 1:

LOTS 3 AND 4 IN DARROW'S RESUBDIVISION OF PART OF LOT 16 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID DARROW'S RESUBDIVISION RECORDED APRIL 19, 1956 AS DOCUMENT 797057, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 2 AND 15 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

LOTS 3 AND 4 IN REMKUS RESUBDIVISION OF LOTS 3 AND 14 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1998 AS DOCUMENT R98-164322 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4:

THE NORTH 120 FEET OF LOT 4 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



Attachment 2 Hinsdale Animal Cemetery Site Plan



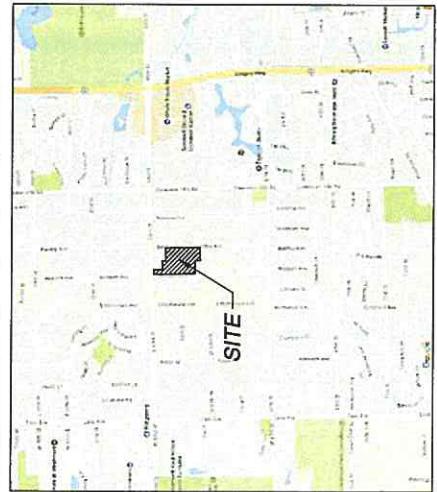
Attachment 3 Hinsdale Animal Cemetery Preliminary and Final PUD Plat



Attachment 4 Hinsdale Animal Cemetery Final Plat of Subdivision

FINAL PLAT OF SUBDIVISION OF HINSDALE ANIMAL CEMETERY

PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



VICINITY MAP
NOT TO SCALE

FINAL PLAT OF SUBDIVISION

STATE PLANE MERIDIAN
BASIS OF BEARINGS
THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE 1201 (ILLINOIS EAST), WITH PROJECT ORIGIN AT LATITUDE 41°48'17.1" N LONGITUDE 87°57'41.7" W ELLIPSOIDAL HEIGHT: 642.777' SFT GROUND SCALE FACTOR: 0.00049209 ALL MEASUREMENTS ARE ON THE GROUND.

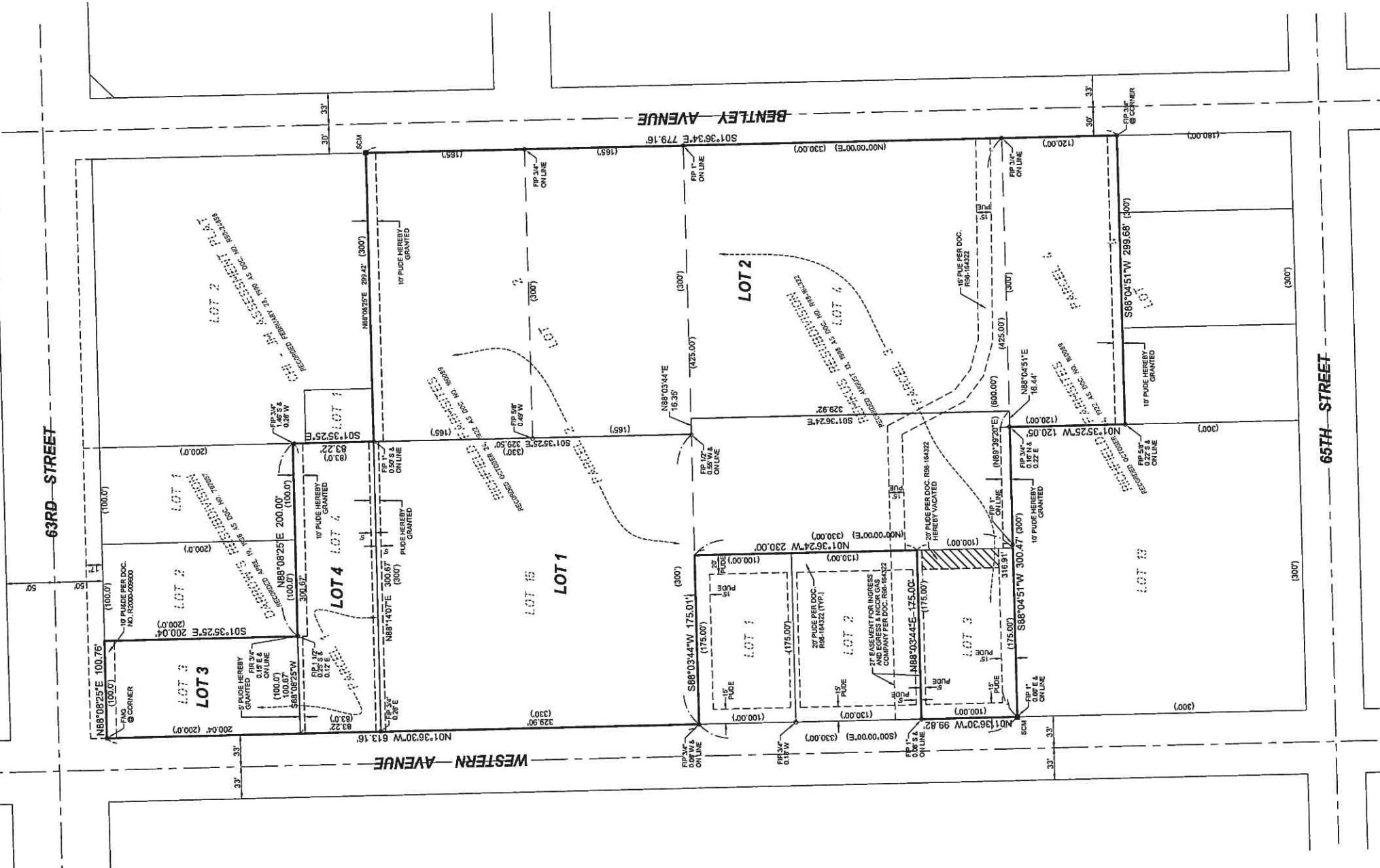


LEGEND

PROPERTY LINE	—
EXISTING RIGHT-OF-WAY LINE	—
EXISTING LOT LINE	—
UNDERLYING LOT LINE	—
PROPOSED LOT LINE	—
EXISTING CENTERLINE	—
PROPOSED EASEMENT LINE	—
BUILDING SETBACK LINE	—
O. FIR	○
FOUNDATION ROD	+
FONDRIR PIPE	○
SETIRON PIPE	●
SET CONCRETE MONUMENT	■

ABBREVIATIONS

N	NORTH
S	SOUTH
E	EAST
W	WEST
CB	CHORD BEARING
A	ARC LENGTH
R	RADIUS
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
D&U.E.	DRAINAGE & UTILITY EASEMENT
D&U.E.	DRAINAGE, DETENTION & UTILITY EASEMENT



OWNER / DEVELOPER

Hinsdale Pet Memorial Services
6400 S. Bentley Ave.
Willowbrook, IL 60527
630-323-5120

ENGINEER/SURVEYOR

V3 Companies of Illinois, Ltd.

7325 Janes Avenue, Suite 100
Woodridge, Illinois 60517

630.724.9200

FINAL PLAT OF SUBDIVISION

HINSDALE ANIMAL CEMETERY, WILLOWBROOK, ILLINOIS

Project No. 16310

Group No. VP04.1

Sheet No. 1 of 2

AREA TABLE		
LOT #	Sq. Ft.	Acres
1	163,401	3.7512
2	226,030	5.2346
3	20,149	0.4626
4	25,021	0.5744
TOTAL	436,601	10.0240

NOTES

1. ONCE THE PLAT SHOWN HEREON IS RECORDED AND UPON COMPLETION OF CONSTRUCTION, 3/4" IRON PIPES WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.
2. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.

Engineers	Scientists	Surveyors	PREPARED FOR:	REVISIONS	
				NO.	DATE
HINSDALE PET MEMORIAL SERVICES			1	02/22/2018	REVISED PER COMMENTS
6400 S. BENTLEY AVE.					
WILLOWBROOK, IL 60527					
630-323-5120					
DRAFTING COMPLETED:	12-12-17	DRAWN BY:	M.P.	PROJECT MANAGER:	AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY:	AJS	SCALE:	1" = 60'

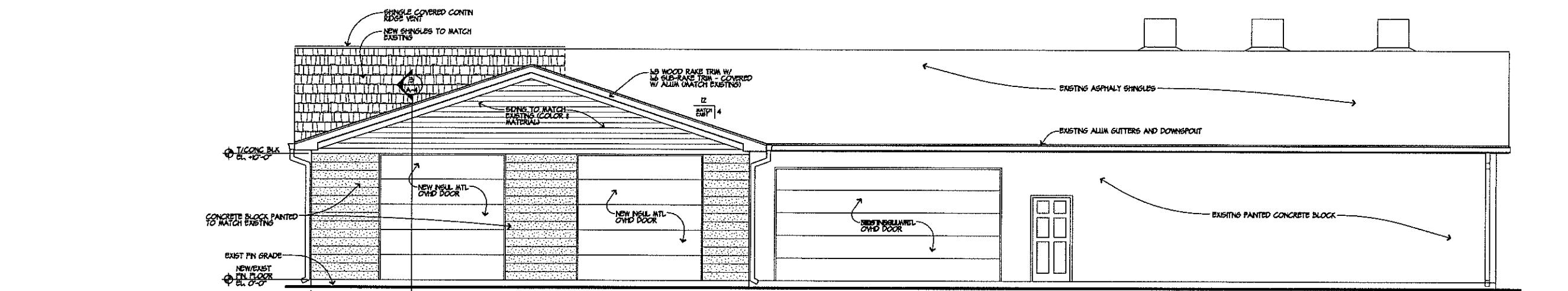


Attachment 5 Hinsdale Animal Cemetery Architectural Plans

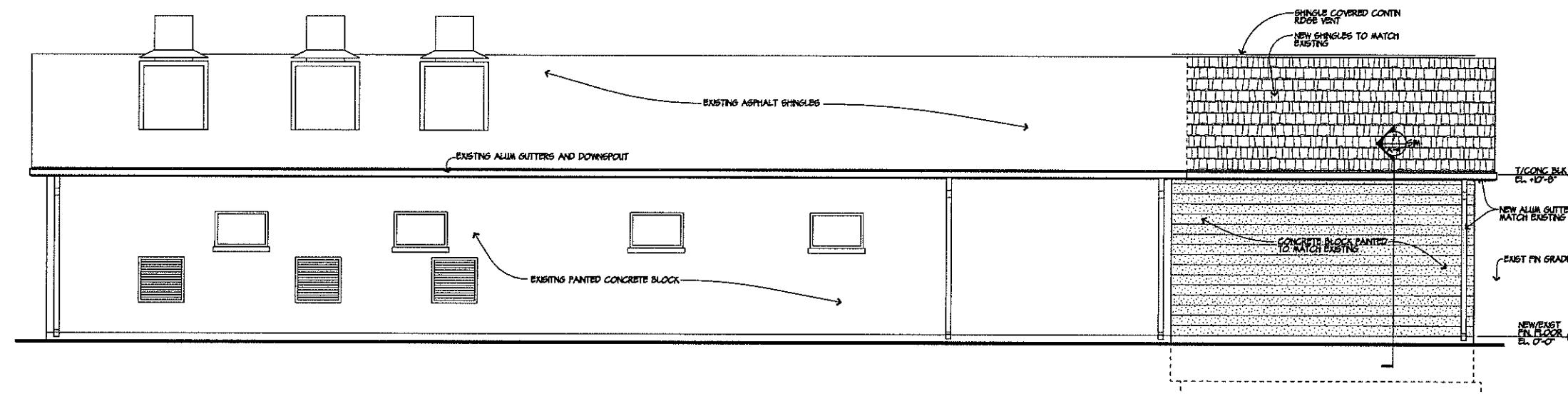


DM+S ARCHITECTS, P.C.
 117 HEATH PLACE
 WESTMONT, ILLINOIS
 630-963-6406
 630-963-6418 FAX
 WILLOWSBOOK, ILLINOIS
 6400 SOUTH BENTLEY

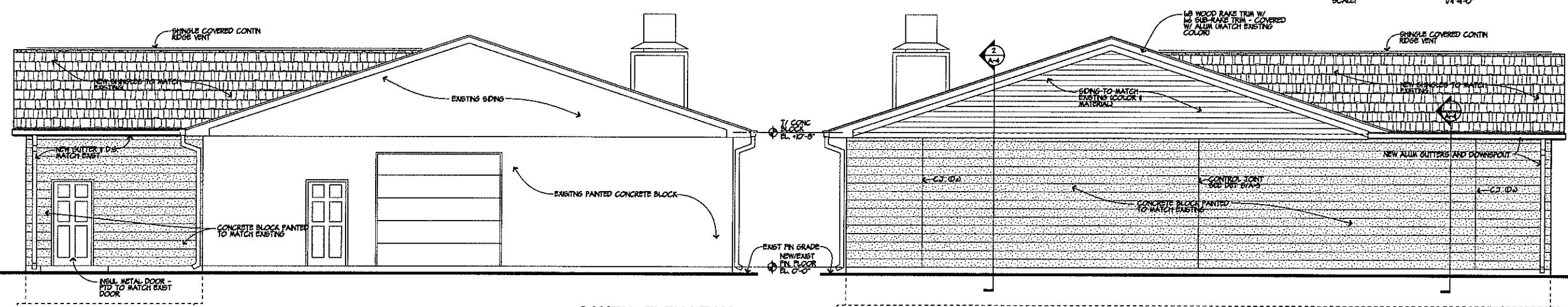
PROPOSED ADDITION TO THE CEMETERY
 GARAGE FACILITY FOR
HINSDALE PET
CEMETERY
 DRAWING HISTORY:
 PRELIMINARY DRAWING 6-21-05



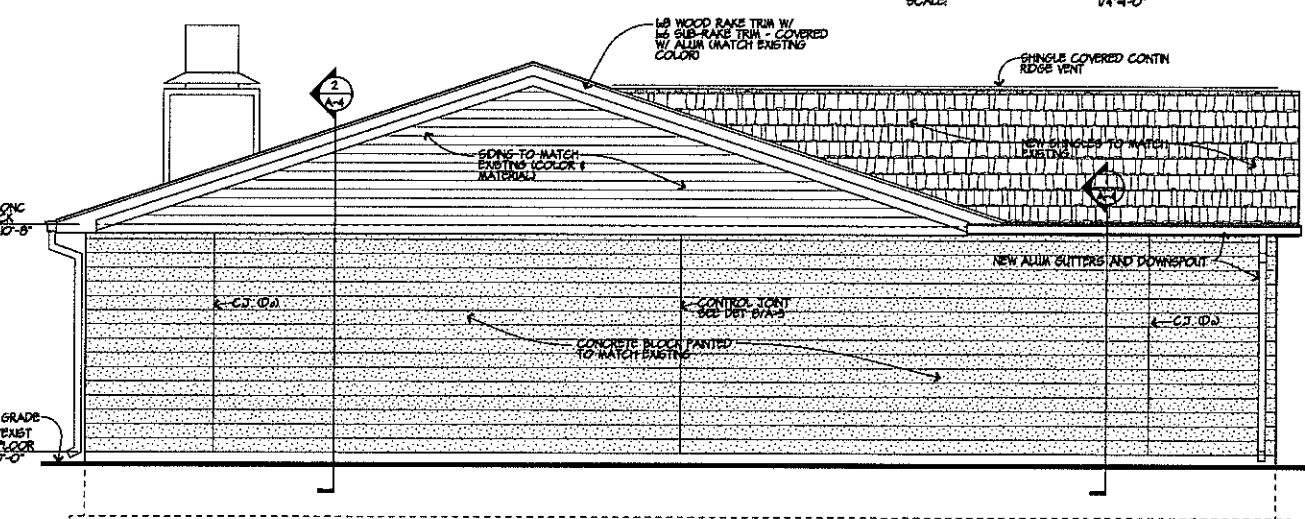
WEST ELEVATION.
 SCALE: 1/4"=1'-0"



EAST ELEVATION.
 SCALE: 1/4"=1'-0"



SOUTH ELEVATION.
 SCALE: 1/4"=1'-0"

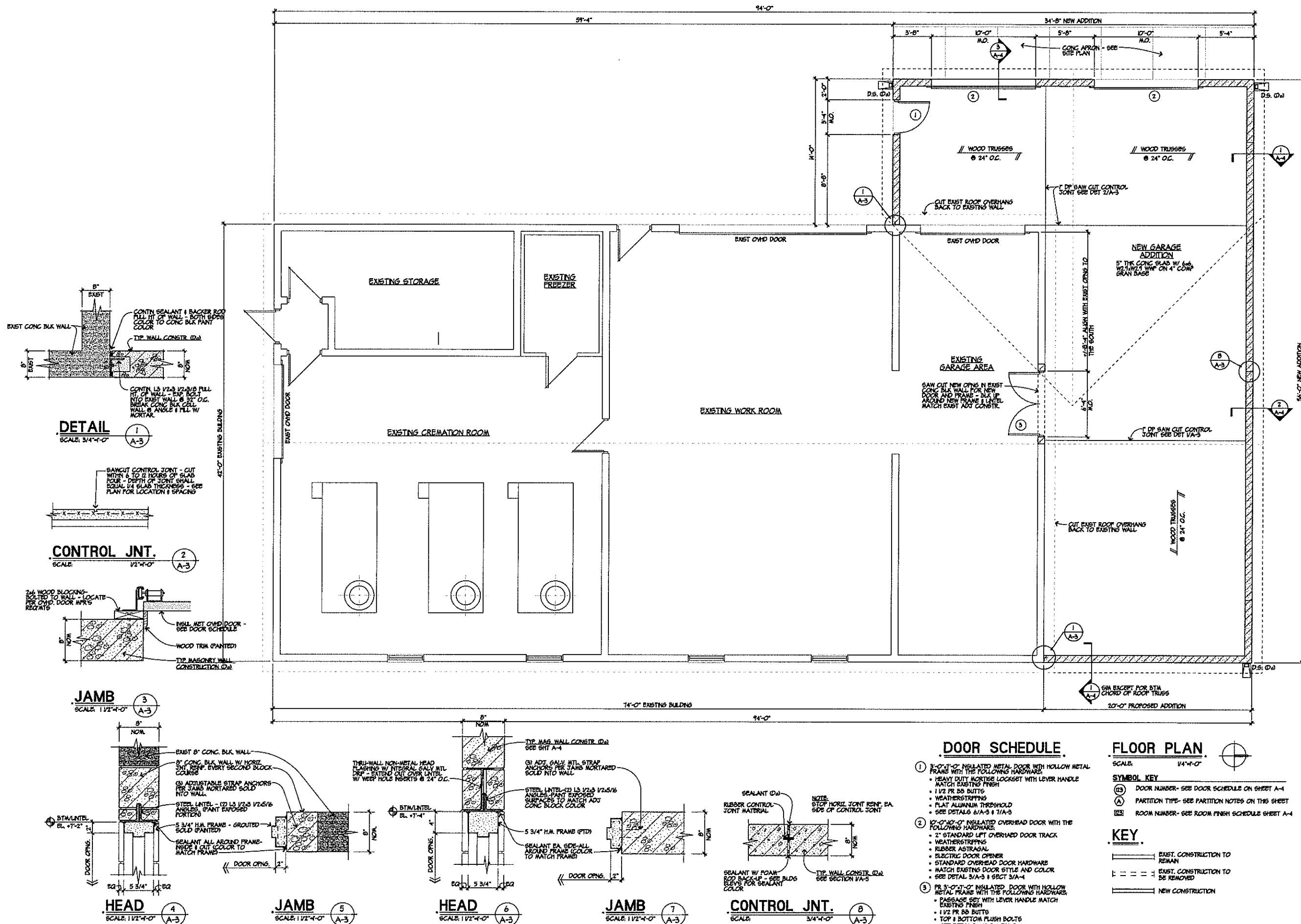


NORTH ELEVATION.
 SCALE: 1/4"=1'-0"

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PROJECT NO.: 1610
 DATE: JUNE 3, 2011
 DRAWN BY: RS
 SHEET NO: A-2
 2 OF 4
 DO NOT SCALE DRAWINGS

petomgar4



DM+S ARCHITECTS, P.C.
 117 HEATH PLACE
 WESTMONT, ILLINOIS
 630-963-8406 FAX
 600 SOUTH BENTLEY
 WILMINGTON, ILLINOIS

PROPOSED ADDITION TO THE CREMATION
 FACILITY FOR
**HINSDALE PET
 CEMETERY**
 600 South Bentley

PROPOSED ADDITION TO THE CREMATION
 FACILITY FOR
**HINSDALE PET
 CEMETERY**
 600 South Bentley

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PROJECT NO. 1610
 DATE JUNE 3, 2017
 SPN RS
 SPN petmgar4
 SPN SHEET NO A-3
 SPN 3 OF 4
 SPN DO NOT SCALE DRAWINGS



Attachment 6 Hinsdale Animal Cemetery Final Engineering Plans

FINAL ENGINEERING PLANS
FOR
HINSDALE ANIMAL CEMETERY
BUILDING ADDITION
WILLOWBROOK, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

Hinsdale Animal Cemetery
6400 S. Bentley
Willowbrook, Illinois 60527
630 323 5120
Contact: Bill Remkus

ENGINEER

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200

Project Manager: Bryan C. Rieger, P.E.
Design Engineer: Ethan E. Frisch, LEED AP

ARCHITECT

DM+S Architects, P.C.
117 Heath Place
Westmont, Illinois 60559
630 963 6406
Contact: Robert Sebak

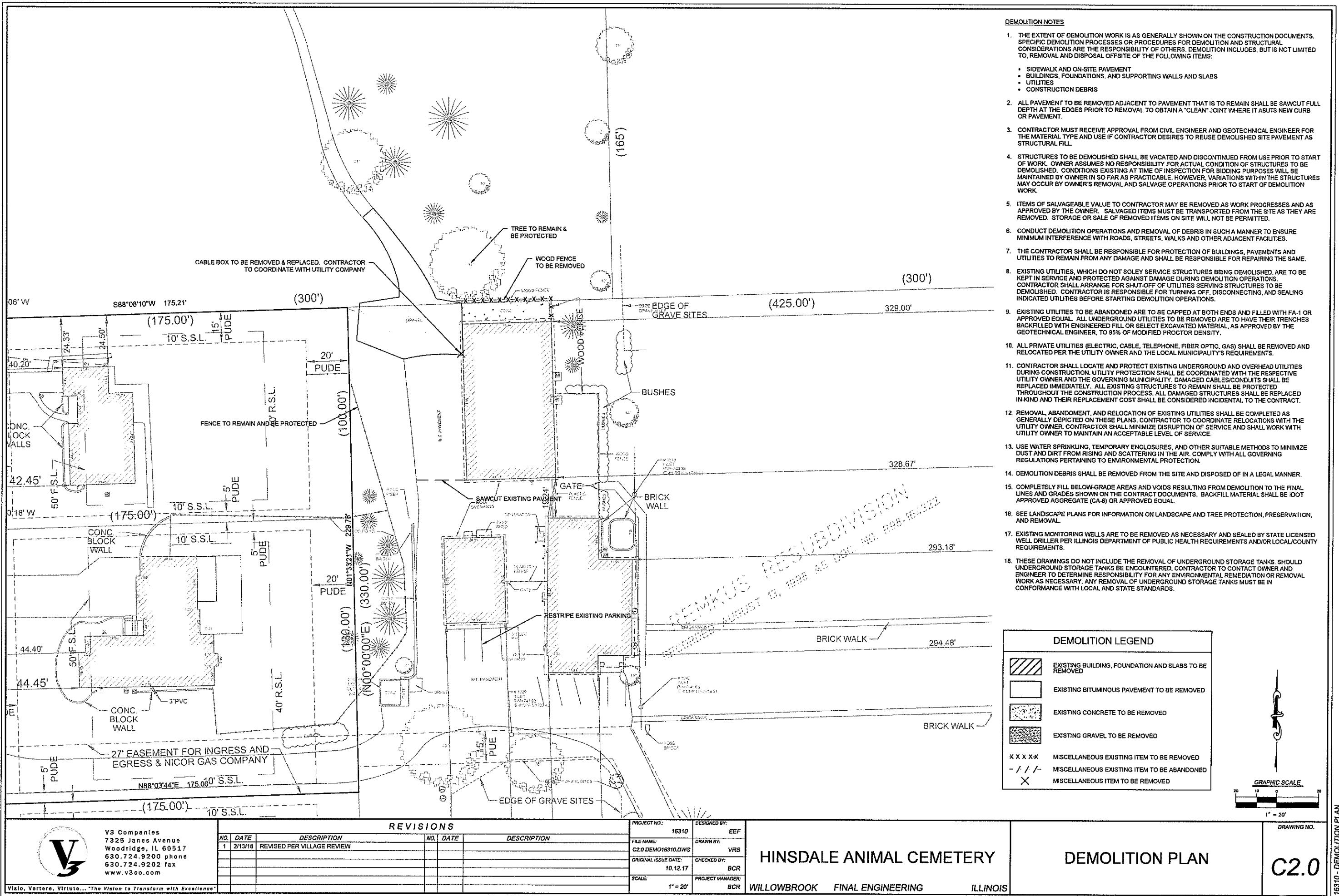


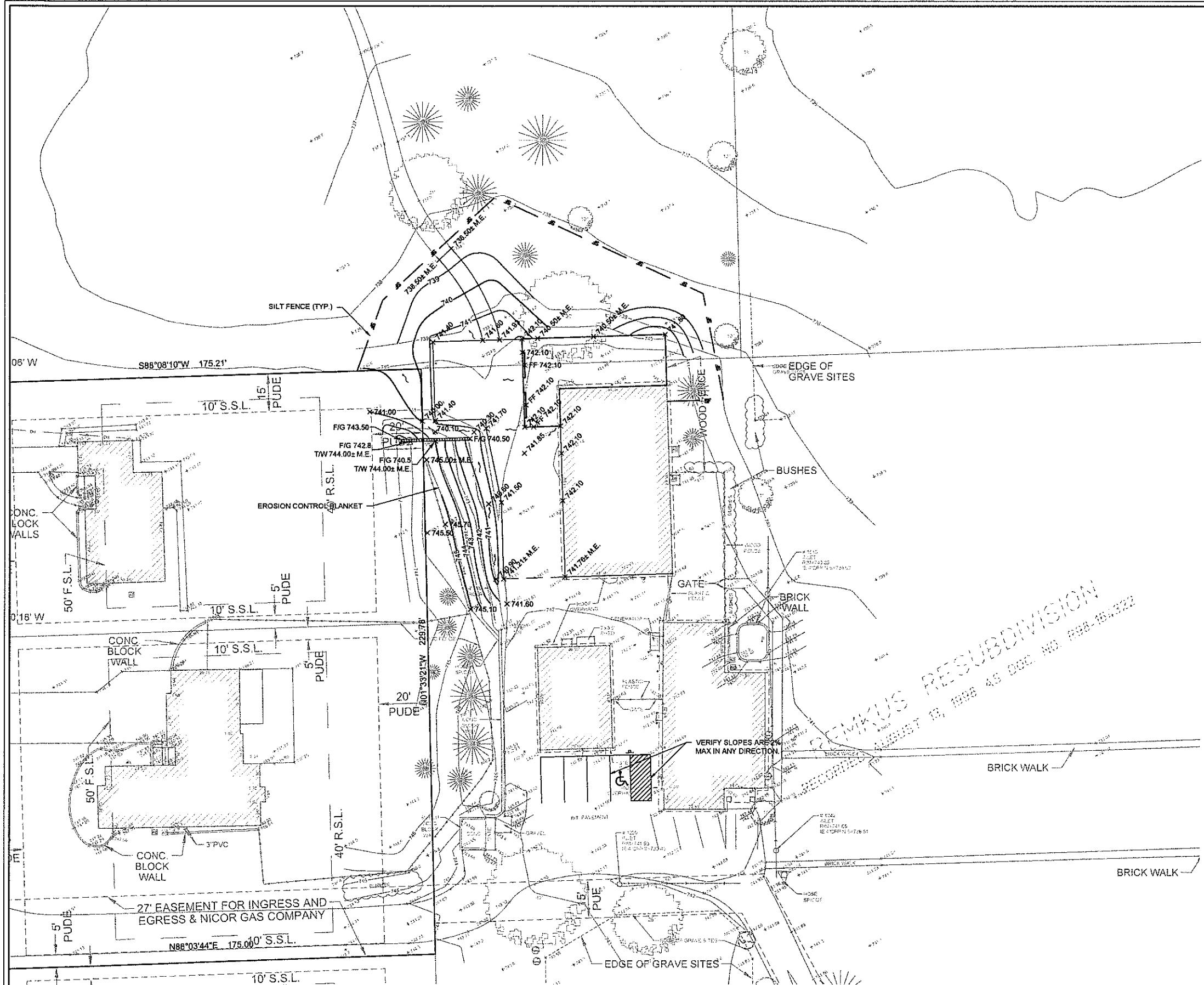
LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

 V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com	 Call Before You Dig JULIE Joint Utility Locating Information for Excavators 800.892.0123 Call 48 hours before you dig	REVISIONS				BENCHMARKS		PROFESSIONAL ENGINEER'S CERTIFICATION		
		NO.	DATE	DESCRIPTION	SHEETS REVISED	REV. BY				
1	2/13/18	REVISED PER VILLAGE REVIEW								
SOURCE: STATION DESIGNATION: 17001 (PID: DK124) ESTABLISHED BY: DuPAGE COUNTY DATE: 1990 ELEVATION: 758.72 (PUBLISHED), 756.63 (MEASURED AND HELD) DATUM: NAVD88 DESCRIPTION: STATION IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF MAIN STREET AND 55TH STREET. STATION IS 26.5 FT SOUTH OF THE CENTERLINE OF 55TH STREET, 51.0 FT WEST OF THE CENTERLINE OF MAIN STREET, AND 15.0 FT EAST OF A POWER POLE "V0-75 SP 6 4 40". MONUMENT IS A BRONZE DISK IN THE SOUTHEAST SIDE OF A CONCRETE TRAFFIC SIGNAL BASE.										
SITE: STATION DESIGNATION: SBM #1 ESTABLISHED BY: V3 DATE: 02-22-17 ELEVATION: 745.97 (MEASURED) DATUM: NAVD88 DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT NEAR SOUTHWEST CORNER OF SURVEYED SITE.										
STATION DESIGNATION: SBM #2 ESTABLISHED BY: V3 DATE: 02-22-17 ELEVATION: 738.99 (MEASURED) DATUM: NAVD88 DESCRIPTION: CROSS CUT IN EASTERLY MOST SOUTHEAST CORNER OF CONCRETE PAD OF FRAME GARAGE.										
ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-058791 MY LICENSE EXPIRES ON NOVEMBER 30, 2017										
ILLINOIS LICENSED DESIGN FIRM NO. 184-000902										
										DRAWING NO. C0.0





GRADING NOTES:

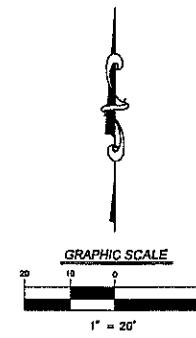
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.

EROSION CONTROL NOTES:

1. CONTRACTOR TO UTILIZE EXISTING ENTRANCE AS CONSTRUCTION ENTRANCE
2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
3. EROSION CONTROL BLANKET (ROLLMAX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF SWALES WHERE NOTED.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.

EROSION CONTROL LEGEND

—SF— SILT FENCE
 EROSION CONTROL BLANKET



16310 - GRADING & EROSION CONTROL PLAN



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

Visio, Vertere, Virtute... "The Vision to Transform with Excellence"

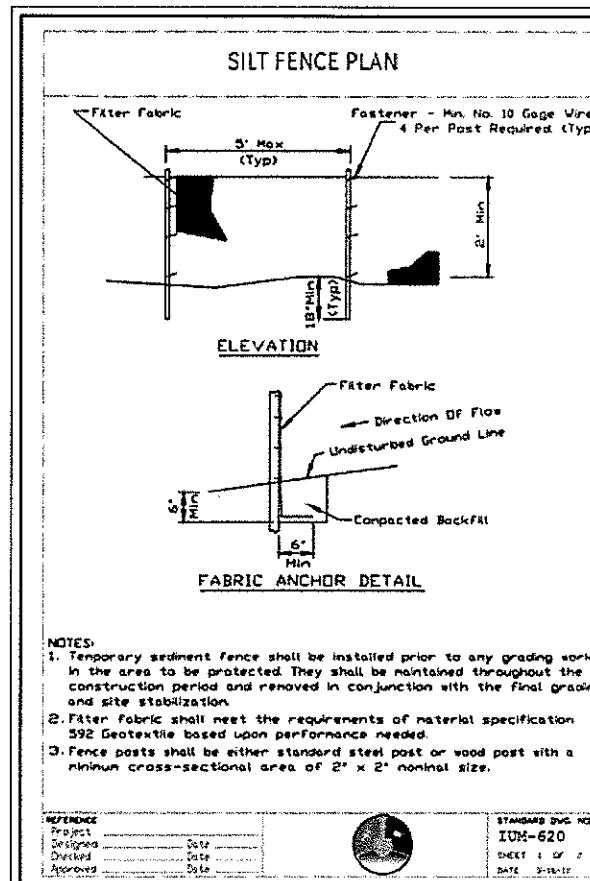
PROJECT #	
FILE NAME	D4.0 G
ORIGINAL	
SCALE	

HINSDALE ANIMAL CEMETERY

GRADING & EROSION CONTROL PLAN

C4.0

C4.0



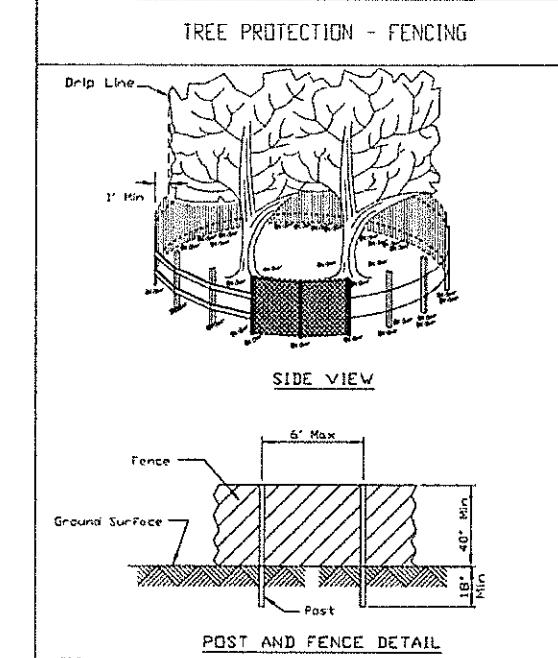
NOTES:

1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 Geotextile based upon performance needed.
3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 2" x 2" nominal size.

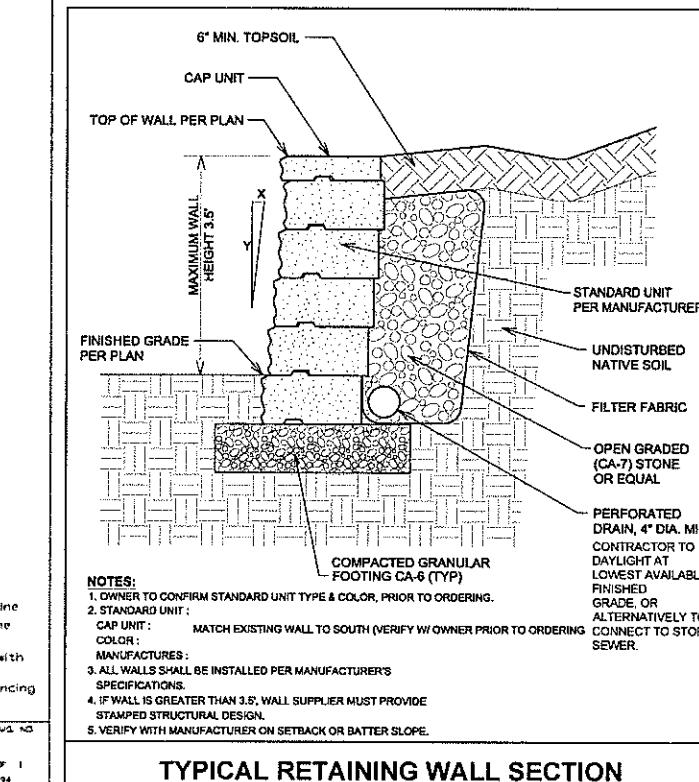
REFERENCE Project **5** STANDARD DWG NO. IUM-620
Designed Date **5/12** SHEET 1 OF 2
Checked Date **5/12** DATE **5/12/17**

REFERENCE Project **5** STANDARD DWG NO. IL-690
Designed Date **5/12** SHEET 1 OF 1
Checked Date **5/12** DATE **4-7-94**

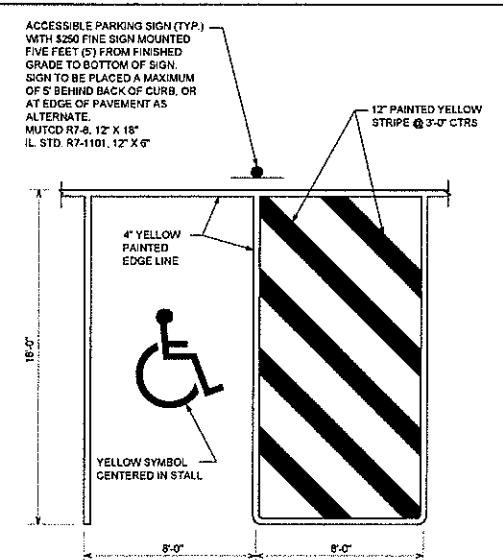
NRCS
Natural Resources Conservation Service



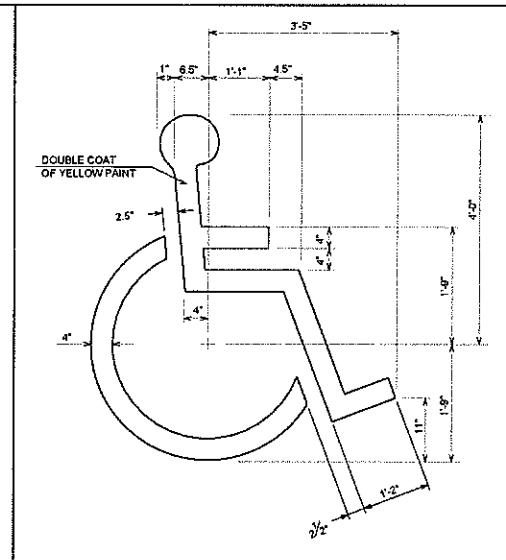
POST AND FENCE DETAIL



TYPICAL RETAINING WALL SECTION



ACCESSIBLE PARKING STALL DETAIL

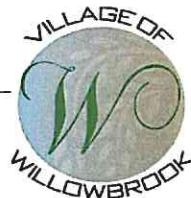


PAINTED ACCESSIBLE STALL SYMBOL



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	2/13/18	REVISED PER VILLAGE REVIEW			

PROJECT NO.	DESIGNED BY:	HINSDALE ANIMAL CEMETERY	CONSTRUCTION DETAILS	DRAWING NO.
16310	EEF			
FILE NAME: C5.0 DET16310.DWG	DRAWN BY: VRS			
ORIGINAL ISSUE DATE: 10.12.17	CHECKED BY: BCR			
SCALE: N.T.S.	PROJECT MANAGER: BCR	WILLOWBROOK FINAL ENGINEERING ILLINOIS		C5.0



Village of Willowbrook
Staff Report to the Plan Commission

Plan Commission Date:	April 4, 2018		
Prepared By:	Natalie Zine, Planning Consultant		
Case Title:	Willowbrook Centre PUD Resubdivision		
Petitioner:	John L. Stoetzel c/o Illinois Industrial Properties, Inc. 1809 N. Mill Street – Suite E, Naperville, IL 60563.		
Action Requested:	Consideration of a petition requesting an Amendment to a Planned Unit Development including certain relief exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the property legally described in Attachment 1.		
Purpose:	To allow the petitioner to subdivide the single lot Subject Property into three lots and out-parcels, which will allow for the sale of individual lots/buildings while maintaining compliance with the Village Zoning Code.		
Location:	Northwest corner of N Frontage (Joliet) Rd and Madison Street; common addresses 500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way.		
PINs:	09-26-404-027		
Existing Zoning:	M-1 Light Manufacturing		
Proposed Zoning:	M-1 Light Manufacturing		
Existing Land Use:	Industrial/Office Park, three (3) multi-tenant flex buildings and a parking garage		
Property Size:	12.33 Acres		
Surrounding Land Use:	Use	Zoning	
	North	Light Manufacturing	M-1
		Office Research	OR
	South	Community Shopping	B-2
		General Business	B-3
	East	Unincorporated	OUTSD
	West	Light Manufacturing	M-1

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.



Documents Attached:

- Attachment 1: Legal Description (1 page)
- Attachment 2: Amended PUD Plat of Willowbrook Center Phase I and II, as subdivided (dated 03-01-18, 1 sheet)
- Attachment 3: Final Plat of Willowbrook Centre Resubdivision (dated 3-1-18, 2 sheets)

Site Description

The property consists of a total of 12.33 acres and is located at the northwest corner of N Frontage (Joliet) Rd and Madison Street; common addresses 500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way. The property is zoned M-1 Light Manufacturing and is adjacent to properties also in the M-1 Light Manufacturing district to the north and west, OR Office Research to the north also, as well as B-2 Community Shopping and B-3 General Business to the south.

Exhibit 1: Location Map

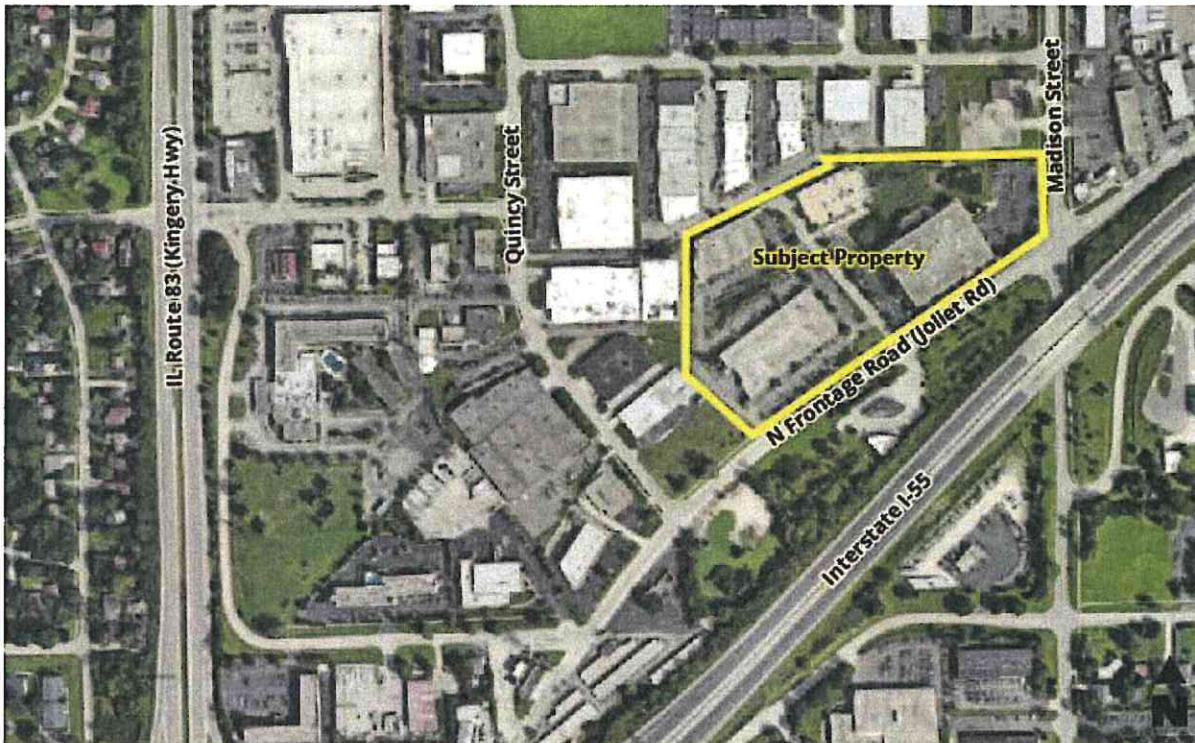




Exhibit 2: Zoning Map (M-1 Light Manufacturing)

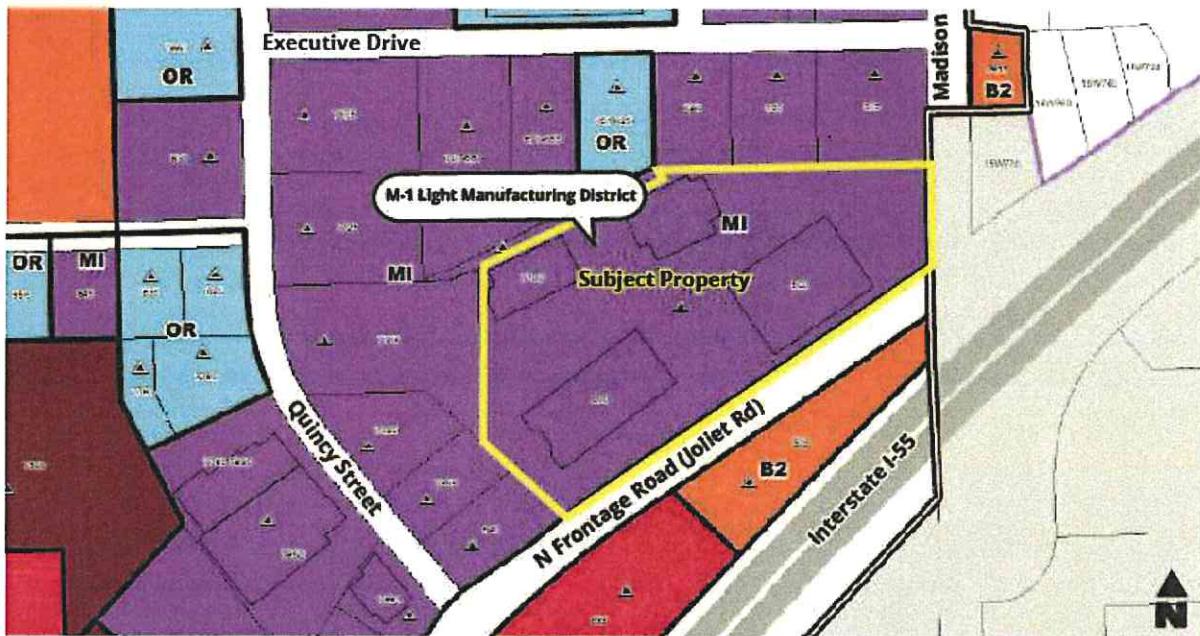
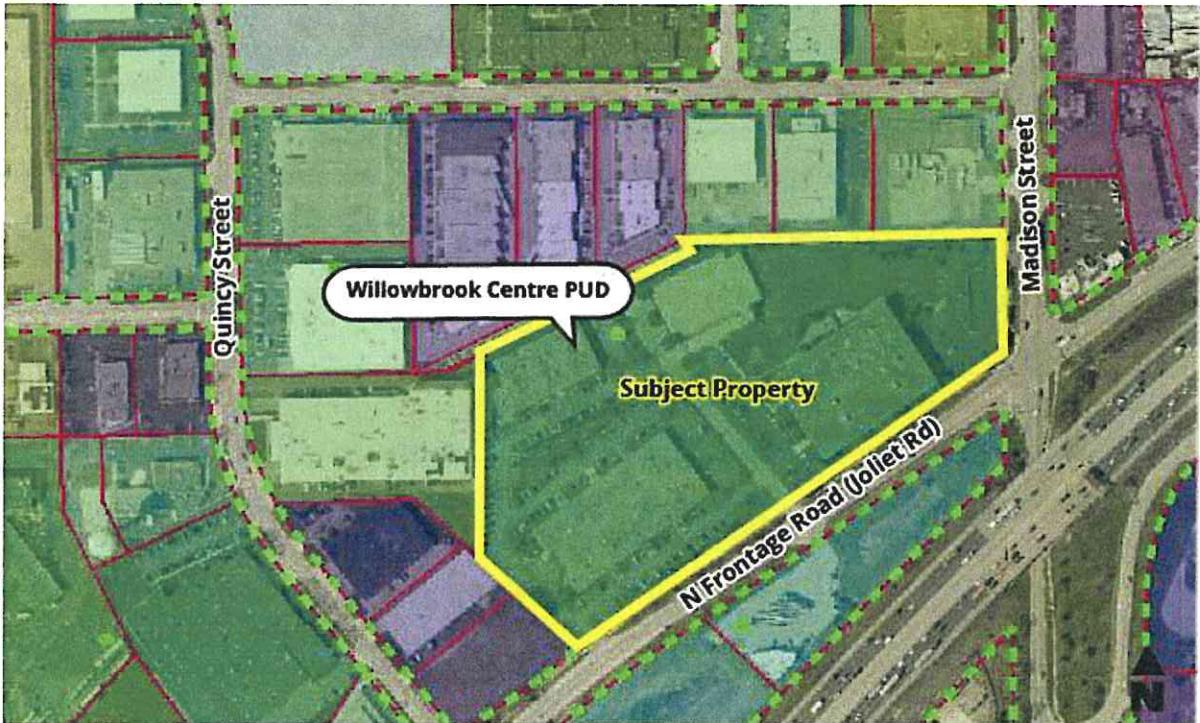


Exhibit 3: Subdivision Map (Willowbrook Centre)





Development Proposal

Request

The applicant is requesting approval of an Amendment to a Planned Unit Development including certain relief, exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the single lot subject property legally described in Attachment 1 containing three buildings and a parking deck into three lots (one for each building) and out-parcels for the private road and detention basins. This PUD amendment and plat of subdivision will allow for the sale of individual buildings while maintaining compliance with the Village Zoning Code.

Summary of Requests:

1. Amendment to the Final Plat of PUD for the Willowbrook Centre (as subdivided).
2. Certain relief, exceptions and waivers from Title 9 and Title 10 of the Village Code.

The Willowbrook Centre PUD is now almost 30 years old. While the PUD ordinance has been amended throughout the years, the size and location of the structures has been constant for decades. The Applicant is not requesting any changes to the buildings, parking, stormwater management, landscaping, private right-of-way, setbacks or land use. The approved PUD plan itself is not submitted for modification. The Applicant would like to deed the common elements to the Association and to deed separate parcels to separate owners. The Village code requires that the existing PUD plat be modified to reflect the division of the common elements and three buildings into legal lots of record.

The division itself is being accomplished by processing a plat of subdivision consistent with the subdivision regulations of the Village of Willowbrook. The resubdivision of the original PUD Plat is considered by the Village to be a "major change" to the PUD under Section 9-13-4(B)6a. The Applicant will also require various relief from the Zoning and Subdivision ordinances as well as a waiver for the requirement for a PUD to be under "unified ownership or unified control" as outlined in Section 9-13-6(B).

Staff Analysis

Property History

The subject property is 12.34 acres in size and was originally part of the Willowbrook Executive Plaza, a subdivision approved by the Village of Willowbrook in 1975. In 1988, the Applicant assembled Lots 31 and 32 of the Willowbrook Executive Plaza and processed an application for approval of a Planned Unit Development (PUD). On June 27, 1988 the Village of Willowbrook adopted Ordinance No. 88-0-23 granting a special use for the requested PUD and final PUD plat for Phase I.

The approvals granted for this PUD provided that the property construction and use be in substantial conformance with a Declaration of Protective Covenants for Willowbrook Centre, Willowbrook, Illinois as prepared by Eugene Callahan, dated April 18, 1988. The covenants (Document No. R88-088532) provided for the creation of a not-for-profit owner's association, allowance of the developer to deed the common elements to the owner's association, and allowance of the developer to deed individual parcels to separate ownership individuals or business entities, among other things.



The Village has since adopted a number of Ordinances amending the Special Use for the Willowbrook Centre PUD. In 1989, the Village adopted Ordinance No. 89-0-46 amending the special use for the Willowbrook Centre PUD and granting final subdivision plat and final PUD plat approval for both Phases I and II of the PUD.

In 1997, the Village adopted Ordinance No. 97-0-26 amending the special use for the Willowbrook Centre PUD, and approving bulk regulation variations and final PUD plats to add a parking structure and related improvements. In 2003, the Village adopted Ordinance No. 03-0-17 amending the special use for the Willowbrook Centre PUD to permit the installation of an emergency generator and granting final PUD plat amendment.

In 2012, the Village adopted Ordinance No. 12-0-25 amending the special use for the Willowbrook Centre PUD to allow a vocational school to occupy up to 51,000 square feet of the 500 Joliet Road building, with related landscape approval and bulk regulation waivers. In 2013, the Village adopted Ordinance No. 13-0-15 amending the special use permit for the Willowbrook Centre PUD to allow a minor change to adjust tenant space use restriction. In 2013, the Village adopted Ordinance No. 13-0-25 amending the special use permit for the Willowbrook Centre PUD to allow a minor change to the approved landscape plan.

Certain Relief/Waivers Requested

In order to maintain compliance with the Village Zoning Code, this PUD amendment and plat of subdivision require certain relief, exceptions, and waivers as outlined below.

Zoning Ordinance

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are requested:

PARCEL A

1. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel A of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

PARCEL B

2. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than one half acre (0.5 Acres) for Parcel C of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.
3. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel A of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

PARCEL C

4. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel C of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

LOT 1

5. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and twenty (120') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
6. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than forty feet (40') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.



7. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum interior side yard setback to less than twenty feet (20') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
8. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than twenty feet (20') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
9. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
LOT 2
10. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and twenty (120') for Lot 2 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
11. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than forty feet (40') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
12. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 2 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
LOT 3
13. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 3 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.

PUD Standards

Pursuant to Section 9-13-6 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

14. That Section 9-13-6(B) PUD Standards, Size and Ownership, be varied to waive the requirement that the SUBJECT REALTY be under single ownership and/or unified control.
15. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that the required yards or setbacks along the periphery of the planned unit development be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district.

Subdivision Ordinance

Pursuant to Section 10-8-7 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

16. That Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.
Parcel A
17. That Section 10-4-3(B), Lots, Arrangement, be varied to waive the requirement that Parcel A of the SUBJECT REALTY front on a public street.
Parcel C
18. That Section 10-4-3(B), Lots, Arrangement, be varied to waive the requirement that Parcel C of the SUBJECT REALTY front on a public street.



Standards for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

9-14-5.2: Standards:

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The approved special use for the Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use. These multiple prior findings of fact eliminate any possibility that the establishment, maintenance or operation of the long existing PUD special use has in any way been detrimental or endangered the public health, safety, morals, comfort or general welfare of the Village.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The approved and legal use of the Willowbrook Centre Planned Unit Development will not be changed. This use was approved nearly 30 years ago and is not proposed to be modified. In approving the Willowbrook Centre Planned Unit Development final plat and special use back in 1989, the Village already made findings that development of the Willowbrook Centre approved special use, if consistent with the final PUD plat for Phases I and II, would not be detrimental to the neighboring properties.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The subdivision of the Willowbrook Centre follows and complies with the normal and orderly development and improvement of surrounding properties for uses that have been permitted in the district for the past 30 years.

(D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Finding: No change to utilities, access roads, drainage and/or other necessary facilities for the long existing approved special use have been or are being proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the division and final PUD plat requested by Applicant.



(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: No change to ingress or egress is proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the subdivision and final PUD plat requested by Applicant.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The Special Use PUD and Subdivision of the Subject Property lot lines to separate the common elements and buildings from each other conform to the applicable regulations of the district in which it is located, with the exception of the requested relief from bulk regulations.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Finding: Not applicable.

Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) findings of fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

9-13-7: Findings:

(A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: The proposed subdivision of the Willowbrook Centre Planned Unit Development is consistent with the stated purpose of the PUD regulations of the Village in that this PUD has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30- year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use. These multiple prior findings of fact eliminate any possibility that the establishment, maintenance or operation of the long existing PUD special use has in any way been detrimental or endangered the public health, safety, morals, comfort or general welfare of the Village.

The division of the PUD into separate lots of record is consistent with and in conformity with the conditions attached to this PUD at its initial approval through the covenants and



declarations which the Village ordinances state with unequivocal clarity control not only the original construction of the PUD, but also the future use of the PUD. The Plan Commission finds that division of the PUD, is in conformity with the land use expressly authorized in the PUD controlling documents, is consistent with the findings previously adopted in multiple ordinances related to the historical approvals for this PUD special use. Thus, while the proposed subdivision represents a change to the final PUD plat and existing special use, this proposed change is found to have been expressly contemplated and previously authorized by the Village Board.

(B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

Finding: The proposed subdivision of the Willowbrook Centre Planned Unit Development meets the requirements and standards of the Village planned unit development regulations in that this PUD has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use.

The division of the PUD into separate lots of record meets the requirements and standards of the village PUD regulations in that the conditions imposed by the village board at the initial approval of this PUD require that construction and use of the PUD be done in conformity with the covenants and declarations which expressly permit subdivision. The Plan Commission finds that division of the PUD, is in conformity with the land use expressly authorized in the PUD controlling documents, is consistent with the findings previously adopted in multiple ordinances related to the historical approvals for this PUD special use. Thus, while the proposed subdivision represents a change to the final PUD plat and existing special use, the Plan Commission finds this proposed change was expressly contemplated and previously authorized by the Village Board.

(C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: The record of prior approvals documents a detailed history of departures from the zoning regulations. The Plan Commission finds that should the introduction of lot lines to separate the common elements and buildings from each other require relief from bulk regulations that would apply if this site were not already approved as a PUD, the Plan Commission finds that requests for such relief in the same way that relief was repeatedly granted for prior applications and approvals will serve the public interest as it has for the past 30 years.

(D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: The Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented PUD at this location for nearly 30 years. These development approvals address public services, adequate control over vehicular traffic, provide for and



protecting designated common open space, and further the amenities of light and air, recreational and visual enjoyment. The division of the PUD to allow ownership of the private roads and stormwater detention facilities by a not-for-profit association functions to the benefit of both the building owners as well as the Village.

No change to utilities, access roads, drainage and/or other necessary facilities for the long existing approved special use have been or are being proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the division and final PUD plat requested by Applicant.

(E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

Finding: The approved and legal "use" of the Willowbrook Centre Planned Unit Development will not be changed. This use was approved nearly 30 years ago and is not proposed to be modified.

Evaluation of how the expressly permitted subdivision of the PUD is compatible in relationship to the existing special use first requires an examination of the interrelationship of the buildings and uses of the Willowbrook Centre to each of the neighboring uses and adjacent properties outside of the PUD. Next, this compatibility of the subdivision requires an examination of how the requested subdivision impacts the interrelationship of the approved buildings and uses within the Willowbrook Centre special use to each other. The Plan Commission finds that in approving the Willowbrook Centre Planned Unit Development final plat and special use back in 1989, the Village already made findings that development of the Willowbrook Centre approved special use, if consistent with the final PUD plat for Phases I and II, would be compatible with the adjacent properties. The subdivision of the PUD will not in any way impact this previous finding. Existing uses and buildings within the PUD are in conformity with the land use and special use approvals already in place, and the proposed division of ownership by subdivision will in no way alter the interrelationship of the existing buildings with the existing neighboring properties. The exterior lot lines remain the same. The setbacks in relationship to the approved exterior lot lines remain the same. The distances between the Willowbrook Centre buildings and neighboring buildings remain the same.

(F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

Finding: The approved special use for the Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented, and fully developed PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board and a 30-year track record of contributions to the Village's tax base. This decades' long record establishes that the development, maintenance and operation of the long existing, fully built-out PUD, has contributed to the tax base and economic well-being of the Village.



(G) The conformity with the intent and spirit of the current planning objectives of the village.

Finding: Within the Village's Comprehensive Plan, the subject parcel is projected as "office research/industrial" for future land use. The policies guiding "office research/industrial" land use is published on page 37 of the Comprehensive Plan. Item OR2 specifies that "office research and industrial development should be undertaken in a planned manner" and "designed and developed as unified, well landscaped campus environments." The Willowbrook Centre PUD met this standard when originally approved more than five years prior to the 1993 Comprehensive Plan was even considered.

Further, OR7 expressly states: "New office research and industrial development areas should be designed to allow maximum flexibility, with larger land areas capable of being subdivided and developed according to specific market demands." The Plan Commission finds that because the PUD is an existing PUD, and the only change proposed is subdivision consistent with the controlling documents within the original approval, the policy detailed in OR7 is fulfilled in its entirety.

Staff Recommendation

Staff is supportive of the proposed petition and recommends approval of the Amendment to the Willowbrook Centre Planned Unit Development (PUD) to allow for the subdivision of the single-lot Subject Property containing three buildings and a parking deck into three lots (one for each building) and out-parcels for the private road and detention basins. This PUD amendment and plat of subdivision will allow for the sale of individual buildings while maintaining compliance with the Village Zoning Code.

Sample Motion

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for a Planned Unit Development outlined in the Staff Report prepared for PC 18-01 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of an Amendment to the PUD to allow for the subdivision of the Subject Property into multiple lots subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-01 for the April 4, 2018 Plan Commission meeting.



Attachment 1: Legal Description

LOT 1 IN "WILLOWBROOK CENTRE", BEING A SUBDIVISION OF PART OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 14, 1989, AS DOCUMENT NUMBER R89-157289. IN DU PAGE COUNTY, ILLINOIS.



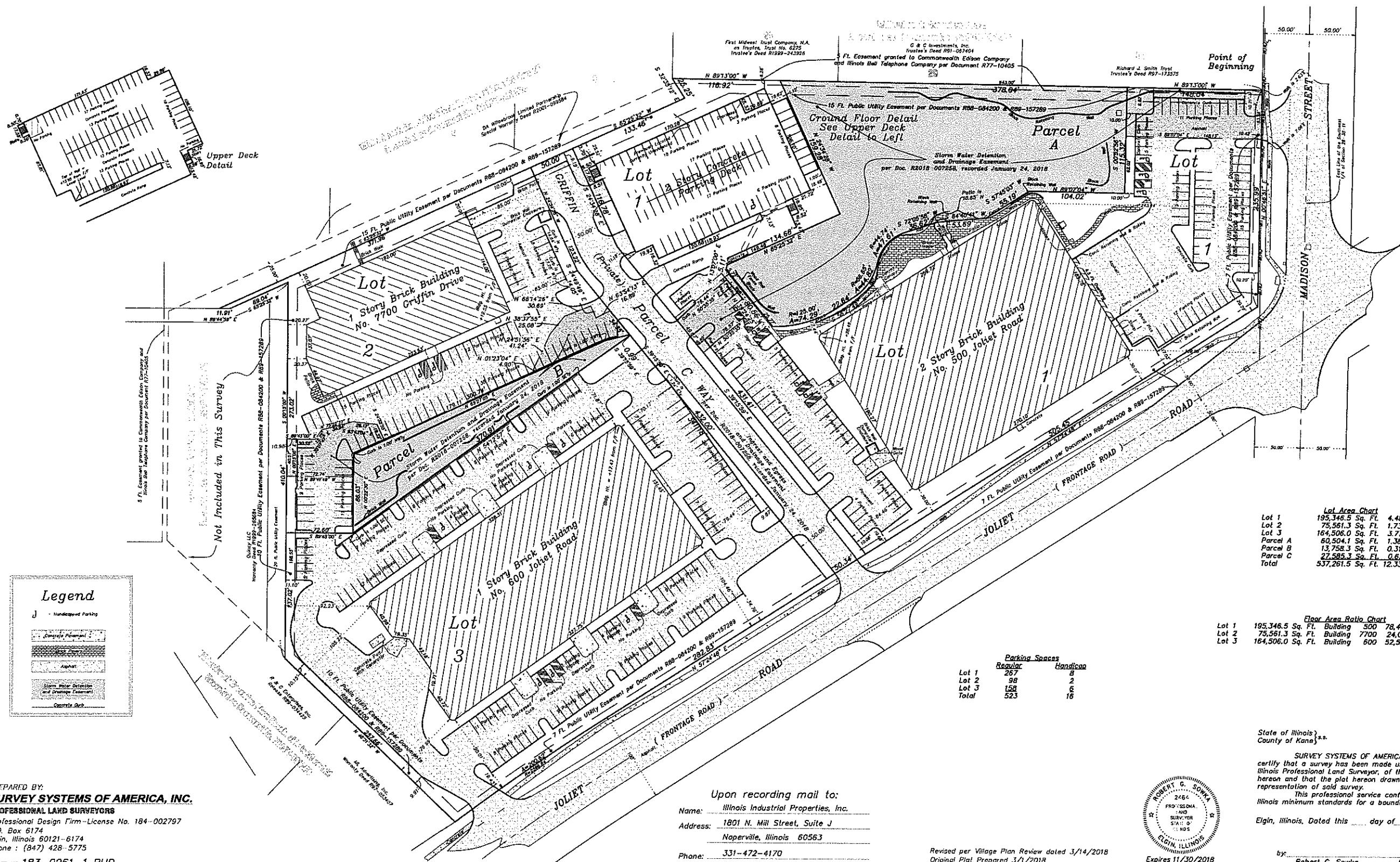
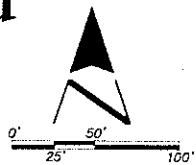
Attachment 2: Amended PUD Plat of Willowbrook Center Phase I and II, as subdivided (dated 03-01-18, 1 sheet)

Amended PUD Plat of Willowbrook Centre Phase I and II, as subdivided

Lot 1 in **WILLOWBROOK CENTRE**, according to the plat thereof recorded December 14, 1989 as Document R89-157289, being a resubdivision of part of the Southeast Quarter of Section 28, Township 38 North, Range 11 East of the Third Principal Meridian, in DuPage County, Illinois.

PIN 09-26-404-027

COMMONLY KNOWN AS 500-80 JOLIET ROAD, WILLOWBROOK, IL 60521





Attachment 3: Final Plat of Willowbrook Centre Resubdivision (dated 3-1-18, 2 sheets)

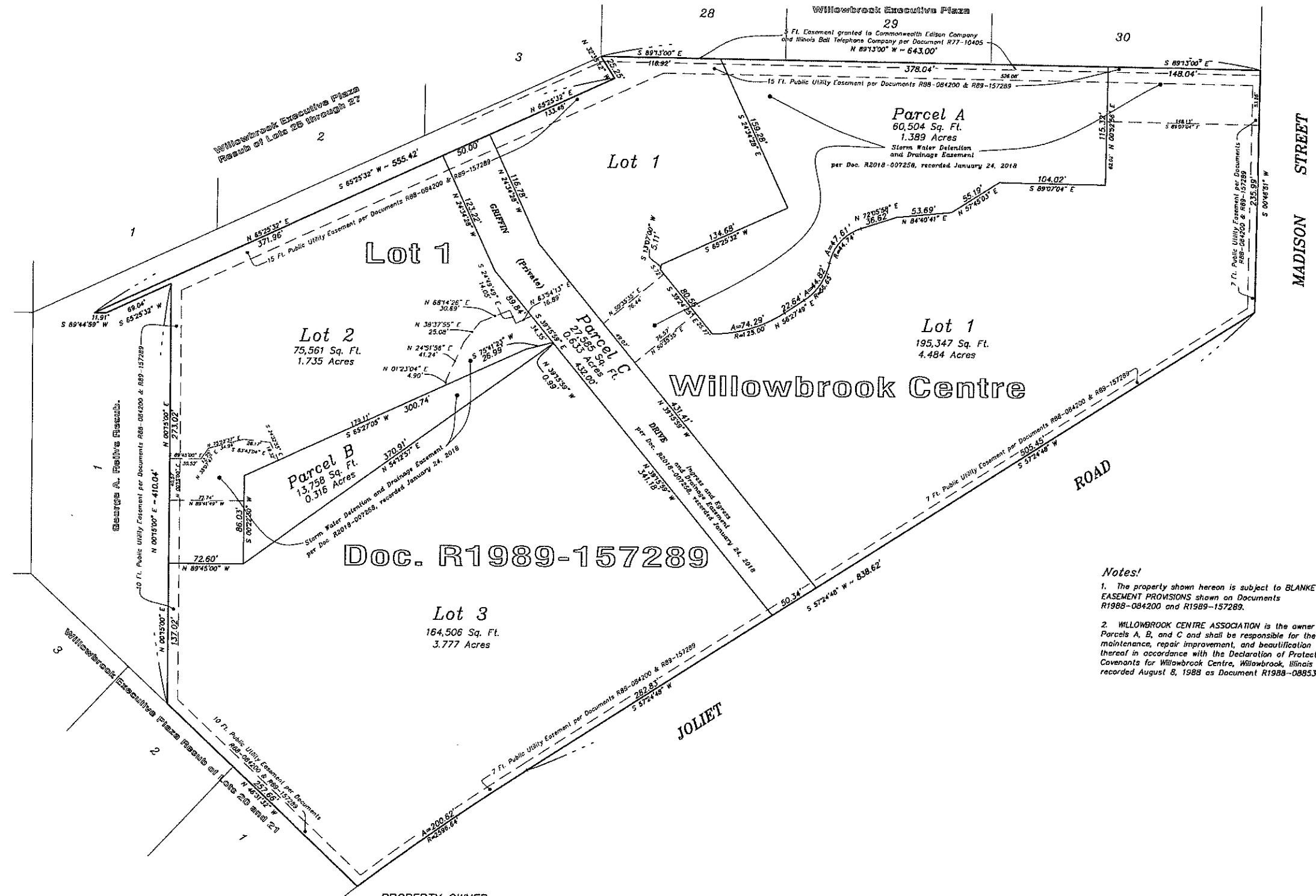
FINAL PLAT
WILLOWBROOK CENTRE RESUBDIVISION

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 3
9 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DuPAGE COUNTY, ILLINOIS.

PIN 09-26-404-027



Zoning
According to the Village of Willowbrook
the property shown and described hereon
is zoned M-1 Light Manufacturing District



PROPERTY OWNED

Use recording mail to

Name: Illinois Industrial Properties, Inc.
Address: 1801 N. Mill Street, Suite J
Naperville, Illinois 60543
Phone: 331-472-4170

PREPARED BY:
SURVEY SYSTEMS OF AMERICA, INC.
Professional Design Firm - License No. 184-002797
PROFESSIONAL LAND SURVEYORS
P.O. Box 6174
Elgin, Illinois 60121-6174
Phone : (847) 428-5775
ORDER NO: 183-0961-1 PS

FINAL PLAT

WILLOWBROOK CENTRE RESUBDIVISION

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 3
9 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

PIN 09-26-404-027

OWNER'S CERTIFICATE

State of Illinois } ss.
County of _____

Chicago Title Land Trust Company, a corporation of Illinois successor
Trustee to American National Bank & Trust Company of Chicago, as
known as Trust No. 123910-09, does hereby certify that it is, as such
Trustee, the owner of the property described herein and that it has
caused said property to be surveyed and subdivided as shown hereon, for
the uses and purposes therein set forth, and does hereby acknowledge
and adopt the same under the style and title thereon indicated.

We further certify that, to the best of our knowledge, the property
shown hereon is located in Elementary School District 62 and High
School District 86 in DuPage County, Illinois.

Dated at _____, Illinois, this _____ day of _____, A.D. 2018
as Trustee, or aforesaid, and not individually
Chicago Title Land Trust Company

Signed: _____ Attest: _____
President: _____ Secretary: _____

Surface Water Drainage Certificate

State of Illinois } ss.
County of _____

We hereby certify that the topographical and profile studies required by the Plat Act,
765 ILCS Act 205, as now or hereafter amended, have been filed with the Village of
Willowbrook, a municipal corporation in DuPage County, Illinois, and the Certification as to
drainage required by said Act made thereon.

Dated this _____ day of _____, A.D. 2018.

Registered Professional Engineer
License No. _____

Owner(s) or duly authorized attorney

VILLAGE ENGINEER'S CERTIFICATE

State of Illinois } ss.
County of DuPage

I, _____, Village Engineer of the Village of
Willowbrook, Illinois, hereby certify that the public improvements for this
subdivision as shown by the plans and specifications therefor, meet the minimum
requirements of said village and have been approved by all public authorities
having jurisdiction thereof.

Dated at Willowbrook, DuPage County, Illinois,
this _____ day of _____, A.D. 2018.

Village Engineer

RECORDER'S CERTIFICATE

State of Illinois } ss.
County of DuPage

This instrument No. _____ was filed for record in the
Recorder's Office of DuPage County, Illinois, on the _____ day of _____
A.D. 2018, at _____ o'clock and was recorded in Book _____ of Plats on Page _____.

By: _____
Recorder of Deeds
DuPage County

State of Illinois } s.s.
County of _____

I, _____, a Notary Public in and for said County in the State
aforesaid, do hereby certify that _____, President and _____
Secretary of _____, personally known to me to be the same persons whose names are subscribed to the foregoing
Instrument as _____ President and _____ Secretary, respectively, appeared before me this
day in person and acknowledged that they signed and delivered the said instrument as
their own free and voluntary act and as the free and voluntary act of said Corporation
and that said _____ Secretary did also then and there acknowledge that he, as custodian
of the Corporate Seal of said Corporation, did affix the said Corporate Seal of said
Corporation to said instrument as his own free and voluntary act and as the free
and voluntary act of said Corporation for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this _____ day of _____, A.D. 2018.

My Commission expires _____ Notary Public

PLAN COMMISSION CERTIFICATE

State of Illinois } ss.
County of DuPage

Approved by the Plan Commission of the Village of Willowbrook, DuPage County,
Illinois, this _____ day of _____, A.D. 2018.

Chairman

BOARD OF TRUSTEE'S CERTIFICATE

State of Illinois } ss.
County of DuPage

Approved and accepted by the President and Board of Trustees of the Village of
Willowbrook, DuPage County, Illinois at a meeting, held
this _____ day of _____, A.D. 2018.

By: _____
President

Attest: _____
Village Clerk

SPECIAL ASSESSMENT CERTIFICATE

State of Illinois } ss.
County of DuPage

I, _____, Village Clerk of the Village of Willowbrook, do
hereby certify that there are no delinquent or unpaid current or forfeited special
assessments or any deferred installments thereof that have been apportioned against
the tract of land included in the plat.

Dated at Willowbrook, DuPage County, Illinois,
this _____ day of _____, A.D. 2018.

Village Clerk

State of Illinois } ss.
County of Kane

SURVEY SYSTEMS OF AMERICA, INC., Illinois Registered Land Surveyors, hereby
certifies that the survey subdivision of the following described property, to wit....

Lot 1 in "WILLOWBROOK CENTRE", according to the plat thereof recorded December
14, 1989, as Document Number R89-157289, being a subdivision of part of the Southeast
1/4 of Section 26, Township 38 North, Range 11 East of The Third Principal Meridian, in Du
Page County, Illinois.

....has been made under its direction by an Illinois Registered Land Surveyor and
that plat hereon drawn is a correct representation of said survey and subdivision.

Dimensions are shown in feet and decimal parts thereof and are constructed to a
measurement of 62 degrees Fahrenheit. Dimensions shown on curved lines are arc

It is further certified that all regulations enacted by the Board of Trustees of the
Village of Willowbrook, municipal corporation in DuPage County, Illinois, relative to plats and
subdivisions have been complied with in the preparation of this plat.

It is further certified that the land included in the annexed plat is located within the
corporate limits of the Village of Willowbrook, DuPage County, Illinois, which has adopted a
Village Plan and is exercising the special powers authorized by Division 12 of Article 11 of the
Illinois Municipal Code.

It is further certified that upon completion of mass grading, iron pipes and concrete
monuments will be set at all lot corners. Furthermore, I designate the Village of Willowbrook,
or its agents, to act as my agent for the purposes of recording this document.

It is also certified that the property described above falls within a Flood Zone "X"
Area as identified by the Federal Emergency Management Agency Flood Insurance Rate Map,
Community-Panel Number 170222 0909 H, effective date December 16, 2004.

Elgin, Illinois Dated this _____ day of _____, A.D. 2018.

SURVEY SYSTEMS OF AMERICA, INC.
Illinois Registered Land Surveyors

President I.P.L.S. No. 2464

Expires 11/30/2018

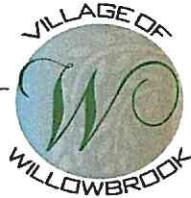
PREPARED BY:
SURVEY SYSTEMS OF AMERICA, INC.
Professional Design Firm - License No. 184-002797
PROFESSIONAL LAND SURVEYORS
P.O. Box 6174
Elgin, Illinois 60121-6174
Phone: (847) 426-5775

ORDER NO: 183-0961-1 PS

0281-1755 - 04-01-2018

Revised March 19, 2018 per Village request dated March 19, 2018
Revised March 14, 2018 per Village Plan Review dated March 14, 2018
Original Plot prepared March 1, 2018

Sheet 2 of 2



Village of Willowbrook
Staff Report to the Plan Commission

Plan Commission Date:	April 4, 2018	
Prepared By:	Natalie Zine, Planning Consultant	
Case Title:	JKC Ice Skating Rink	
Petitioner:	JKC ICE, LLC, 332 South Elm Street, Hinsdale, IL 60527.	
Action Requested:	Consideration of a petition requesting approval of an Amendment to a Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, more specifically a Skating Rink at the property legally described in Attachment 1.	
Purpose:	To allow the petitioner to make interior modifications for the conversion of the existing vacant Whole Foods building to an ice skating facility.	
Location:	201 63 rd Street, Willowbrook, IL 60527	
PINs:	09-23-101-029	
Existing Zoning:	B-2 Community Shopping	
Proposed Zoning:	B-2 Community Shopping (no change)	
Existing Land Use:	Vacant, previous Whole Foods store	
Property Size:	3.42 Acres	
Surrounding Land Use:	Use	Zoning
North	Multi-Family District	R-5
South	Multi-Family District	R-5
East	Community Shopping	B-2
West	Community Shopping	B-2
Documents Attached:	Attachment 1: Legal Description Attachment 2: Construction Schedule Attachment 3: Facility Operations Plan Attachment 4: ALTA Land Survey Attachment 5: Proposed Floor Plan Attachment 6: Existing Development Plans	

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.



Site Description

The subject property is located at 201 63rd Street and consists of a total of 3.42 acres. It is situated south of Stanhope Square, east of Americana Drive and the Midtown Athletic Center, west of the Hinsdale Lake Commons shopping center, and north of the Lake Hinsdale Tower condos. The property is zoned B-2 Community Shopping and is adjacent to properties also located in the B-2 Community Shopping to the east and west, and R-5 Multi-Family Districts to the north and south. The subject property is located within the Whole Foods Market Planned Unit Development subdivision.

Exhibit 1: Aerial of the Subject Property (201 63rd Street, Willowbrook, IL 60527)



Exhibit 2: Subject Property (Street View)



Exhibit 3: Zoning of the Subject Property (B-2 Community Shopping)

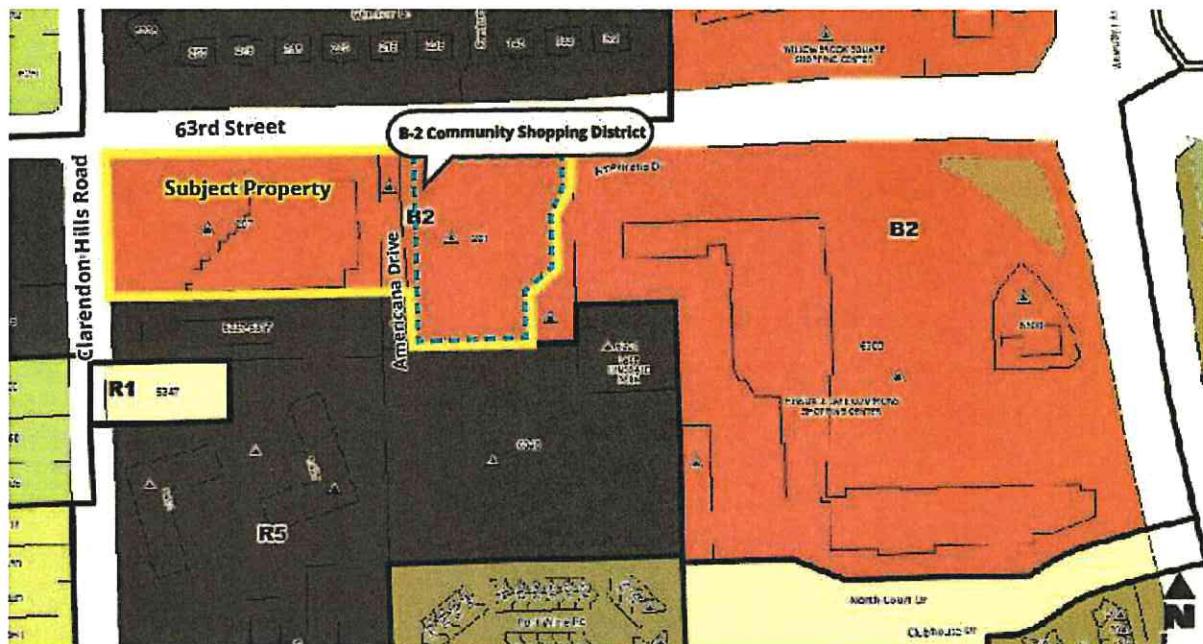
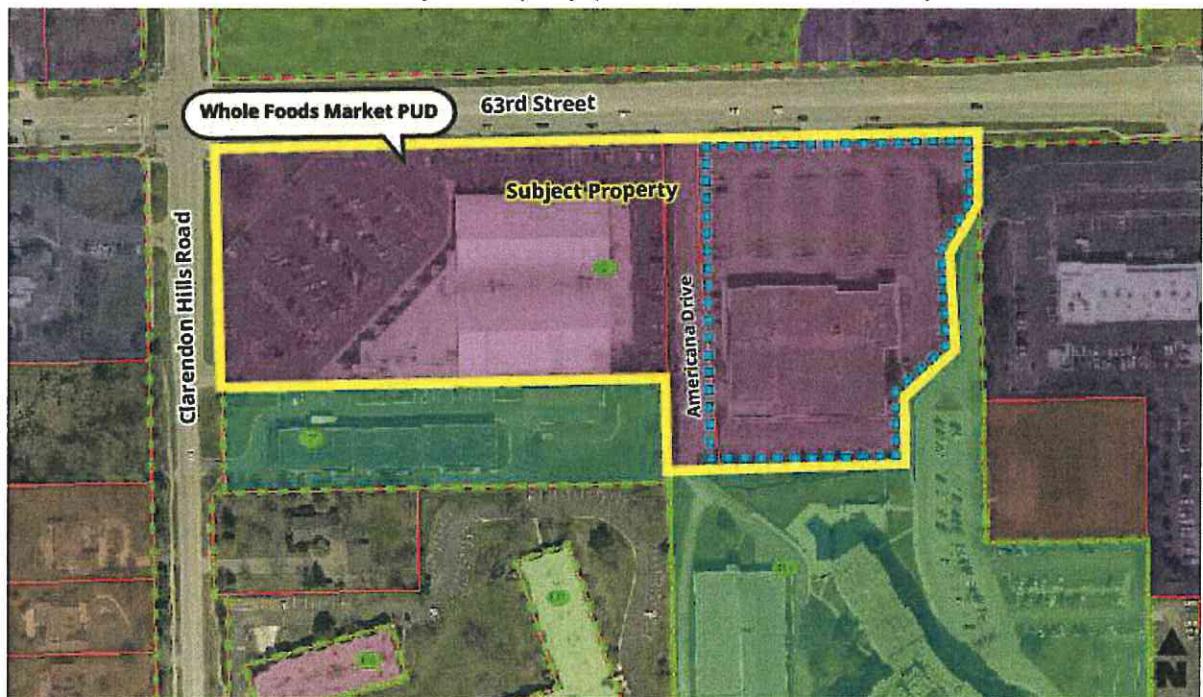


Exhibit 4: Subdivision of the Subject Property (Whole Foods Market PUD)





Development Proposal

Request

The Applicant JKC Ice, LLC is proposing interior modifications for the conversion of the existing 36,160 SF vacant Whole Foods building to an ice skating facility. This would require approval of an Amendment to the Whole Foods Market Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment.

Business Overview

The new JKC Rink will provide a space for youth hockey and figure skating clubs in and around the Willowbrook area, public skating and learn-to-skate programs geared specifically for the residents of Willowbrook; there will be an adult hockey league component, as well as programming geared towards the Village of Willowbrook District 60 and 88 schools. Anticipated community, recreation and ice program offerings and schedule are illustrated in Attachment 2 Facility Operations Plan. JKC Ice has many unique ideas outside of the established programs. Some examples would be working with the schools for Gym Classes, Sled hockey for disabled youth, adults and veterans, Girl Scouts and Boys Scouts and NISRA to bring programs to the handicapped community of Willowbrook.

The applicant has stated they anticipate 3-4 tournament events throughout the year. Anticipated hours of operation are Monday - Friday 6:00am - 11:30pm; and Saturday and Sunday 6:00am - 10:40pm.

Staff Analysis

History & Appropriateness of Use

Finding a replacement tenant to fill the former Whole Foods building has been a challenging endeavor. The building is still under lease by Whole Foods, which has recently been purchased by Amazon. The building and site are owned by the Midtown Athletic Club. Although the building is fully set-up to be a grocery use, Whole Foods does not want to allow any competitor to locate there. An alternate non-grocery use would need to perform substantial renovation to the building to remove all the refrigeration equipment and lines, etc. There is limited Tenant Improvement (T.I.) money available to offset this work, since the owner continues to receive full rent from Whole Foods for years to come. As a result, our efforts to find a replacement tenant to successfully negotiate a new lease with the owner (which would require a lease buy-out by Whole Foods), have not been fruitful.

Although the B-2 Community Shopping District is typically geared more towards retail uses and this new use would generate minimum sales tax revenue for the Village, the 6% amusement tax on gross sales will help offset that loss. Staff believes this use is highly appropriate for the area and will greatly benefit the community. The building will contain one (1) ice hockey rink along with associated support uses and areas (e.g., skate rental, locker rooms, training areas, spectator bleachers, equipment rooms, etc.). Tournament play may occur, but there is an abundance of available parking, and convenient direct access onto 63rd Street.

The proposed Ice Center will occupy a key vacancy along 63rd Street and is appropriately scaled to fit comfortably into the community and natural surroundings. An ice rink is a compatible and complementary use next to the Midtown Athletic Center and the Hinsdale Lake Commons



shopping center. It will bring additional foot traffic and consumers to the shopping center and surrounding area. Staff believes the ice rink will provide new and exciting opportunities for the Village and Willowbrook residents. The new lease, for the ice hockey rink, would have a term of 10 to 15 years. After obtaining zoning approval, interior demolition and the construction of the new facility would occur, which should take about 4 months' time. There will be no site changes – all renovations will be interior. The target opening date would be: August 1, 2018.

Comprehensive Plan

The Village Comprehensive Plan shows the subject property designated as Limited Office Research, however this designation has been superseded by the grocery store use with Community Shopping zoning since Whole Foods originally opened in 2002. The Ice Rink appears to be a compatible use in the area based on current zoning and surrounding uses.

Building & Site Plans

The petitioner has submitted an updated ALTA Land Survey and a Proposed Site Plan, along with the existing Site Plan, Landscape Plan, Exterior Elevations, Floor Plan, and Roof Plan that were approved for the original Whole Foods grocery store in 2002. All renovations for the JKC Ice Rink project will be interior.

Building Use Breakdown

The building will include (1) one NHL-sized main rink (85'x200'); (2) one studio rink (50'x90'); general lobby area with public restrooms, front-control desk, small concession area, and small conditioned viewing area; (3) figure skating changing area with lockers; (4) 4-team lockers with shared shower and bathroom facilities; (5) Girl's locker room with private shower and bathroom facilities; (6) Referee locker room with bathroom; (7) Mite locker room for youth under 8-years of age with bathroom; (8) Mezzanine-level office and conference room overlooking the main rink; (9) Elevated bleacher-style seating at the main rink for 150 spectators with designated accessible viewing for 4 and accessible lift; (10) dedicated refrigeration plant and electrical room. Building updates will also include (11) Upgrades to the Life Safety and Fire Suppression systems; (12) Parking lot resurfacing; and (13) New roofing system.

The concession area and enclosed lobby will be a controlled area (warmer than the rink) for parents dropping off their kids for practice and games. There will be minor seating for kids (benches) and a few hi-top tables. The concession stand will not have a kitchen or food-prep on site. It will serve pre-packaged items and canned/bottled non-alcoholic beverages and possibly coffee.

Additional Construction Details (interior remodel only)

All interior walls will be masonry in all public areas with drywall partitions being used in offices and low impact areas only. All ceilings in offices and concession areas shall be acoustic tile with a metal track system or suspended drywall. Flooring shall be rubber skate flooring throughout all public areas and locker rooms. All offices shall have carpeting.

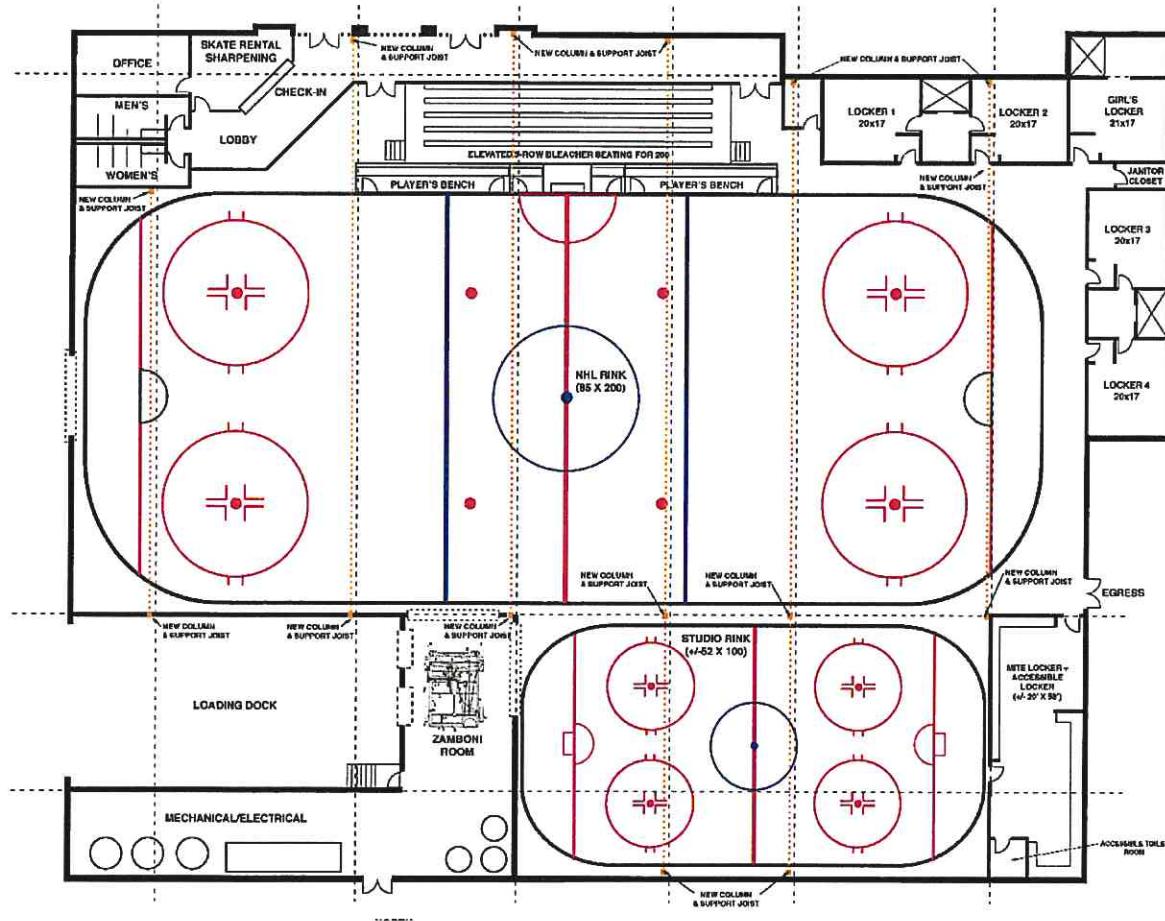
All mechanical systems shall be high efficiency using rooftop units. The two ice rink dehumidification units shall be a desiccant gas operated system with shared ductwork. This allows for sharing the capacity between the units and is designed as a redundancy in case one unit is being maintained or is shut down for repair. The Ice Rinks shall have a desiccant dehumidification gas operated system. All other areas shall be served with high efficiency rooftop units with an emhalphy wheel. The cooling load generated from the ice rinks themselves shall serve to help cool not only the rinks themselves during the summer months, but other areas of the building as well. Cross shared ductwork shall be placed between each rink from each gas operated desiccant



unit thus creating a redundancy in air distribution in case one unit is being services or is out of commission. All rooftop units shall use A-410 A refrigerant and the Refrigeration Plant shall use R-717 Ammonia Refrigerant. Each of these refrigerants is not harmful to the environment. All systems shall have enhanced commissioning and shall be high efficiency. The entire building shall have a fire suppression system following all NFPA requirements.

All lighting shall be energy efficient with the rink areas using high bay LED sports lighting. All plumbing fixtures shall be low flow type commercial units. All ice rinks shall have accommodations for handicapped skaters by having separate player's benches with clear Plexiglas boards for handicapped use. By extending the ice into these areas, ice sled use for handicapped hockey leagues can take place

See Attachment 5: Proposed Floor Plan (N^A)



Bulk Requirements

No additions/modifications to the exterior of the building or site are being proposed at this time.



Parking & Access

Staff does not predict the proposed development will have any adverse impacts on the current drive lanes along 63rd Street. There are two full access entrances from 63rd into the site, one onto Americana Drive and the other further east across from Canterbury Lane. It is anticipated that most traffic into the site will enter from these full access points. The site also has cross-access from the Midtown Athletic center property and emergency/fire access coming from Lake Hinsdale Tower in the south.

A drop off lane/fire lane will be provided at the main entry (currently exists) with handicapped parking located close to the building's main entry. Additionally, four tour bus parking spaces shall be located at the rear parking lot to the south, behind the building. Health salons, swimming pools, **skating rinks and other indoor recreational facilities** require 1 parking space for each 3 persons, based upon the maximum number of persons that can be accommodated at the same time in accordance with design capacity, plus 1 parking space for each 2 employees.

The typical roster size of a hockey team is twenty (20) players, plus two (2) coaches. It is unlikely that more than four (4) teams will be at the site at one time. The facility can accommodate one hundred and fifty (150) spectators. And the estimated size of staff in the building is around 6-10 people. The estimated maximum need for parking is eighty-four (84) spaces. The subject property is currently equipped with two hundred and thirty-one (231) regular parking spaces and six (6) additional ADA spaces. Sufficient parking is provided.

Table 1: Parking Requirements

Type	Code	Proposed	Requirement
Team A	1 parking space for each 3 persons	22	7
Team B	"	22	7
Team C	"	22	7
Team D	"	22	7
Spectators	"	150	50
Staff	1 parking space for each 2 employees	10	5
		Total:	84

Landscaping & Trash Enclosure

The Village did not require a landscape plan however the petitioner has submitted the original Whole Foods plan for reference. Kenny Carlin and Alan Schwartz, the Owner, will be working to bring the exterior, parking lot, and landscaping, back to the original condition.

Signage

Signage details have not yet been provided by the applicant. Signage shall comply with the Village Code and with Resolution No. 01-R-45 "Approving the Final Plat of Planned Unit Development – Whole Foods Market."

Elevations & Façade Improvements

Minimal changes to the façade have been proposed including minor repairs to the existing stucco, touch-up painting to the bollards, garage door, and repairs of the existing exterior lighting.



Standards & Findings for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

9-14-5.2: Standards:

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed facility will operate as year-round ice skating facility for both youth and adult ice hockey players, figure skaters, and learn-to-skate programs; offering a safe environment for both participants and spectators. The establishment, maintenance, and operation of this special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant. This will bring both youth and adult sports participants to a vibrant area of restaurants, shops, and other sports related venues.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed ice skating facility will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Rather, it will enhance the development and bring family-oriented sports related entertainment that will further support current and future businesses within the district.

(D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Finding: The existing utilities, access roads, drainage, and/or other necessary facilities that were implemented for the previous Whole Foods store occupant are more than adequate to service the proposed ice skating facility.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: The existing ingress and egress design that was implemented for the previous Whole Foods store occupant allowed for a traffic turnover rate of pedestrian and vehicular traffic greater than the proposed ice skating facility would generate.



(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed ice skating facility conforms to the applicable regulations of the district in which it is located and sits next to the Midtown Athletic Club.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board or any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Finding: The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant. At least one year has elapsed since any denial by the Village Board or any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) Findings of Fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

9-13-7: Findings:

(A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: The proposed facility will operate in the vacant Whole Foods store and serve as a year-round ice skating facility for both youth and adult ice hockey players, figure skaters, and learn-to-skate programs; offering a safe environment for both participants and spectators and will be consistent with the planned unit development regulations for an indoor amusement establishment, more specifically a skating rink. It sits next to the Midtown Athletic Club and will complement the frontage along 63rd Street as a family-oriented sports destination.

(B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed facility will operate in an existing building and the request for a special use for a skating rink is consistent with Section 9-13-4(C)6(a)(5) and Section 9-6B-2, for an indoor amusement establishment.

(C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.



Finding: The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant; which will bring both youth and adult sports participants to a vibrant area of restaurants, shops, and other sports related venues. The subject property will not change from a material perspective on the exterior nor deviate from the previously built environment.

(D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: The proposed ice skating facility will use the existing Whole Foods site and the existing roadway infrastructure that will accommodate both vehicular and pedestrian traffic; which previously served a high turnover of both cars and pedestrians at a higher density than the proposed ice skating facility.

(E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)

Finding: The proposed ice skating facility will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Rather, it will enhance the development and bring family-oriented sports related entertainment that will further support current and future businesses within the district.

(F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

Finding: The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant and bring family-oriented sports related entertainment that will add to the tax base and economic well-being of the community.

(G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed ice skating facility will enhance the development and bring family-oriented sports related entertainment to an area that has sat vacant and will support current and future businesses within the district.



Staff Recommendation

Staff is supportive of the proposed petition and recommends approval of the Amendment to the Whole Foods Market Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, specifically the JKC Ice Rink, subject to the conditions listed below.

Conditions for Approval

Staff recommends that the following "Conditions of Approval" be considered by the Plan Commission.

1. A separate sign permit shall be obtained for any future proposed building and ground signage, pursuant to the Village Code and Resolution No. 01-R-45 "Approving the Final Plat of Planned Unit Development – Whole Foods Market"
2. Accessible (handicap) parking spaces shall comply with current applicable codes.
3. The owner shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
4. Prior to the issuance of any final certificate of occupancy, the owner shall complete the following improvements to the SUBJECT PROPERTY:
 - a) Sealcoat and restripe all asphalt parking.
 - b) Repair or replace all required above grade signage.
 - c) Make necessary maintenance repairs to the existing trash enclosure.
 - d) Return the premises landscaping to comply with the originally approved landscape plan, to include:
 - i. Replacement of any and all dead, dying, or missing landscape plantings (any species substitutions must be approved in writing by the Village Director of Municipal Services or his designee).
 - ii. Proper trimming/pruning of existing landscaping deemed to be in good condition.
 - iii. Installation of ground mulch in all landscape beds and landscape islands.
5. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.

Sample Motion

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for an "Indoor Amusement Establishment, specifically an Ice Rink" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting.



Attachment 1
Legal Description

PIN# 09-23-101-029

PARCEL 1: THAT PART OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE NORTHWEST 1/4, 660.0 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 89 DEGREES, 51 MINUTES, 33 SECONDS EAST (NORTH 89 DEGREES, 54 MINUTES, 46 SECONDS EAST DEED), A DISTANCE OF 73.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES, 51 MINUTES, 33 SECONDS EAST ALONG THE NORTH LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 362.00 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 27 SECONDS EAST (SOUTH 00 DEGREES, 00 MINUTES, 29 SECONDS EAST DEED), A DISTANCE OF 130.00 FEET; THENCE SOUTH 27 DEGREES, 20 MINUTES, 34 SECONDS WEST A DISTANCE OF 90.18 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 24 SECONDS EAST, A DISTANCE OF 135.00 FEET; THENCE SOUTH 50 DEGREES, 05 MINUTES, 16 SECONDS WEST, A DISTANCE OF 85.98 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 27 SECONDS EAST, A DISTANCE OF 100.00 FEET TO A LINE 500.00 FEET SOUTH OF THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE SOUTH 89 DEGREES, 51 MINUTES, 33 SECONDS WEST, A DISTANCE OF 258.52 FEET; THENCE NORTH 04 DEGREES, 16 MINUTES, 11 SECONDS WEST, A DISTANCE OF 285.74 FEET; THENCE NORTH 00 DEGREES, 03 MINUTES, 18 SECONDS WEST, A DISTANCE OF 170.00 FEET; THENCE NORTH 28 DEGREES, 58 MINUTES, 45 SECONDS EAST, A DISTANCE OF 51.51 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS

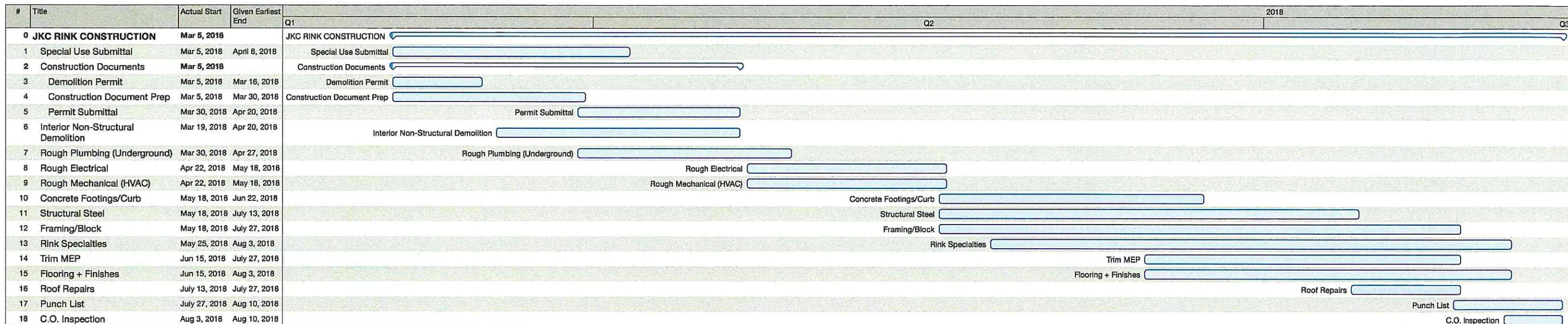
PARCEL 2: EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION AND GRANT OF EASEMENT RECORDED JUNE 16, 1978 AS DOCUMENT R78-53587 AS AMENDED BY DOCUMENT R78-105454 FOR INGRESS AND EGRESS, OVER THE NORTHERLY 450 FEET OF THE WESTERLY ROADWAY AS DEFINED IN SAID DECLARATION, AND OVER A PORTION OF THE EASTERLY ROADWAY AS DEFINED IN SAID DECLARATION

PARCEL 3: EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY EASEMENT GRANT RECORDED NOVEMBER 13, 1973 AS DOCUMENT R73-70385 FOR INGRESS AND EGRESS OVER THE FOLLOWING DESCRIBED LAND: THAT PART OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST 1/4, 660.0 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 89 DEGREES 54 MINUTES 46 SECONDS EAST ALONG SAID NORTH LINE 624.93 FEET; THENCE SOUTH 00 DEGREES 06 MINUTES 14 SECONDS EAST 65.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH LINE OF 63RD STREET; THENCE NORTH 89 DEGREES 54 MINUTES 14 SECONDS EAST 130.24 FEET; THENCE SOUTH 00 DEGREES 05 MINUTES 14 SECONDS EAST 58.00 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 46 SECONDS WEST PARALLEL TO THE SOUTH LINE OF 63RD STREET 195.53 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE OF RADIUS 125.00 FEET CONVEX NORTHWESTERLY 196.18 FEET ARC TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 00 MINUTES 29 SECONDS WEST ALONG SAID TANGENT EXTENDED NORTHERLY 133.66 FEET TO A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG A CURVE OF RADIUS 183.00 FEET CONCENTRIC TO THE LAST DESCRIBED CURVE 137.35 FEET ARC TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF 63RD STREET AS EXTENDED WEST AND TANGENT TO THE LAST DESCRIBED COURSE 65.29 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS



Attachment 2
Construction Schedule

JKC RINK
201 63rd Street | Willowbrook, IL
Preliminary Construction Schedule



**VIRGIL
JAMES, INC.**

+ architecture
+ interiors
+ construction management

321 south jefferson street
chicago, il 60661
www.virgiljames.us



Attachment 3
Facility Operations Plan

NHL RINK

Time	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
6:00 AM	Figure Skating	Figure Skating	Figure Skating	Figure Skating	Figure Skating	Figure Skating	
6:10 AM	Contract Ice	Contract Ice	Contract Ice	Contract Ice	Contract Ice	Contract Ice	
6:20 AM							
6:30 AM							
6:40 AM							
6:50 AM							
7:00 AM							
7:10 AM							
7:20 AM							
7:30 AM							
7:40 AM							
7:50 AM							
8:00 AM							
8:10 AM						Figure Skating Classes Basic 1-6	Figure Skating
8:20 AM							Contract Ice
8:30 AM							
8:40 AM							
8:50 AM							
9:00 AM							
9:10 AM							
9:20 AM						Figure Skating Classes Basic 1-6	
9:30 AM							
9:40 AM							
9:50 AM	Ice Maintenance		Ice Maintenance		Ice Maintenance		
10:00 AM							
10:10 AM							
10:20 AM							
10:30 AM							
10:40 AM							
10:50 AM							
11:00 AM	Drop In Hockey	Drop In Hockey	Drop In Hockey	Drop In Hockey	Drop In Hockey		
11:10 AM							
11:20 AM							
11:30 AM						Figure Skating Classes Basic 1-6	Hockey Games
11:40 AM							
11:50 AM							
12:00 PM							
12:10 PM							
12:20 PM						Hockey Games	Hockey Games
12:30 PM							
12:40 PM							
12:50 PM							
1:00 PM							
1:10 PM							
1:20 PM							
1:30 PM						Hockey Games	Hockey Games
1:40 PM							
1:50 PM							
2:00 PM							
2:10 PM							
2:20 PM							
2:30 PM							
2:40 PM							
2:50 PM							
3:00 PM	Figure Skating	Figure Skating Classes Basic 1-6	Figure Skating	Figure Skating	Figure Skating Classes Basic 1-6		
3:10 PM	Contract Ice		Contract Ice	Contract Ice			
3:20 PM							
3:30 PM							

NHL RINK CON'T

Time	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
3:40 PM	Figure Skating Contract Ice	Figure Skating Classes Basic 1-6	Figure Skating Contract Ice	Figure Skating Contract Ice	Figure Skating Classes Basic 1-6	Hockey Games	Hockey Games
3:50 PM					Figure Skating Classes Basic 1-6		
4:00 PM							
4:10 PM							
4:20 PM							
4:30 PM							
4:40 PM							
4:50 PM							
5:00 PM							
5:10 PM							
5:20 PM							
5:30 PM							
5:40 PM							
5:50 PM							
6:00 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Games	Hockey Games
6:10 PM							
6:20 PM							
6:30 PM							
6:40 PM							
6:50 PM							
7:00 PM							
7:10 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Public Skate	Men's League Games
7:20 PM							
7:30 PM							
7:40 PM							
7:50 PM							
8:00 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Public Skate		
8:10 PM							
8:20 PM							
8:30 PM							
8:40 PM							
8:50 PM							
9:00 PM							
9:10 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices			
9:20 PM							
9:30 PM							
9:40 PM							
9:50 PM							
10:00 PM							
10:10 PM	Men's League Games	Men's League Games	Men's League Games	Men's League Games			
10:20 PM							
10:30 PM							
10:40 PM							
10:50 PM							
11:00 PM							
11:10 PM							
11:20 PM							
11:30 PM							

STUDIO RINK

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
6:00 AM							
6:10 AM	Hockey Private Lessons						
6:20 AM							
6:30 AM							
6:40 AM							
6:50 AM							
7:00 AM						Private Rentals	Private Rentals
7:10 AM	Hockey Private Lessons						
7:20 AM							
7:30 AM							
7:40 AM							
7:50 AM							
8:00 AM							
8:10 AM						Private Rentals	Private Rentals
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12:50 PM							
1:00 PM							
1:10 PM						Mite Games	Mite Games
1:20 PM							
1:30 PM							
1:40 PM							
1:50 PM							
2:00 PM							
2:10 PM						Mite Games	Mite Games
2:20 PM							
2:30 PM							
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2:50 PM							
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3:10 PM						Mite Games	Mite Games
3:20 PM							
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3:40 PM							
3:50 PM							

STUDIO RINK Con't

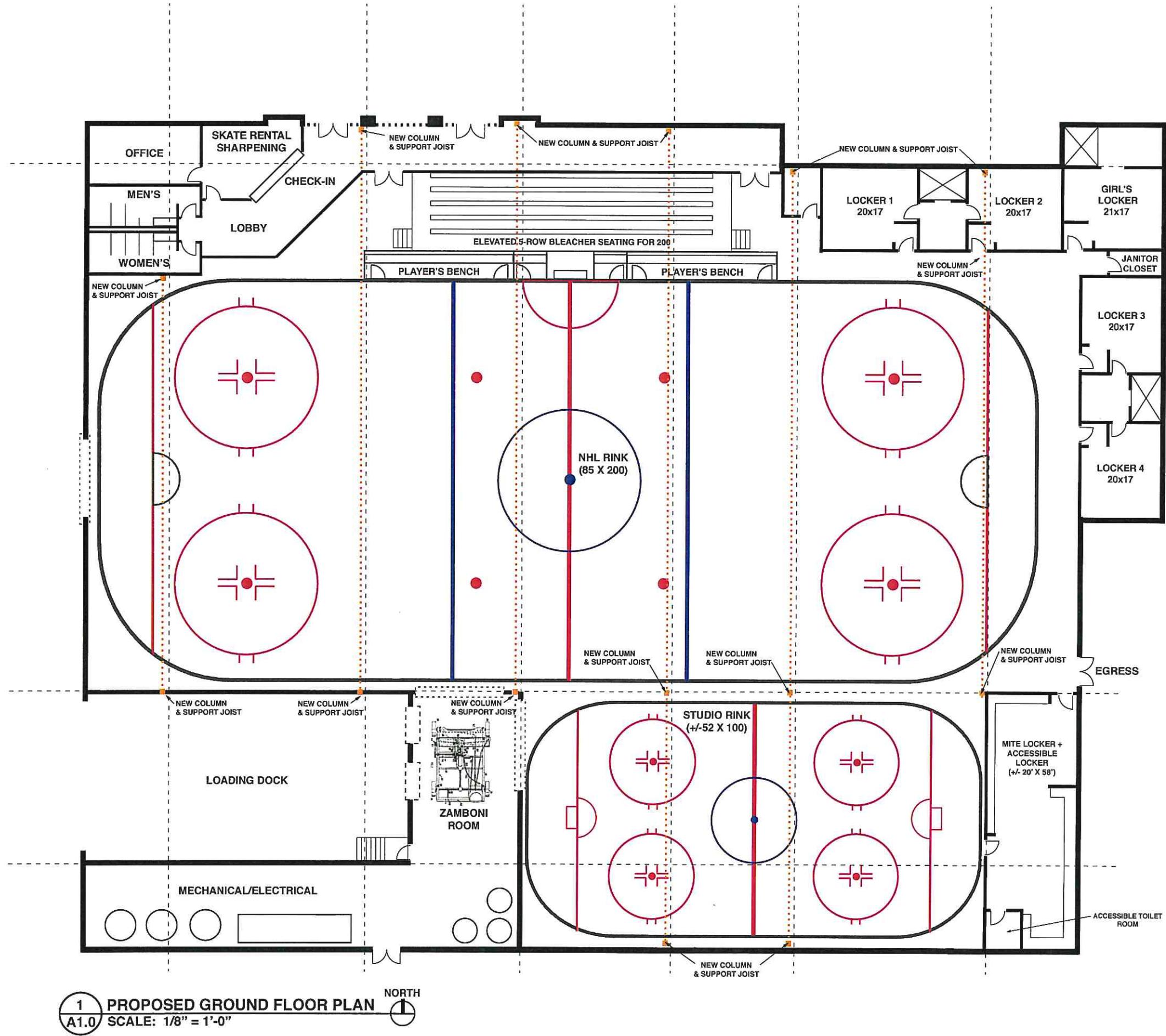
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4:00 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
4:10 PM							
4:20 PM							
4:30 PM							
4:40 PM							
4:50 PM							
5:00 PM							
5:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
5:20 PM							
5:30 PM							
5:40 PM							
5:50 PM							
6:00 PM							
6:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
6:20 PM							
6:30 PM							
6:40 PM							
6:50 PM							
7:00 PM							
7:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
7:20 PM							
7:30 PM							
7:40 PM							
7:50 PM							
8:00 PM							
8:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals		
8:20 PM							
8:30 PM							
8:40 PM							
8:50 PM							
9:00 PM							
9:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals		
9:20 PM							
9:30 PM							
9:40 PM							
9:50 PM							
10:00 PM							



Attachment 4
ALTA Land Survey



Attachment 5
Proposed Floor Plan



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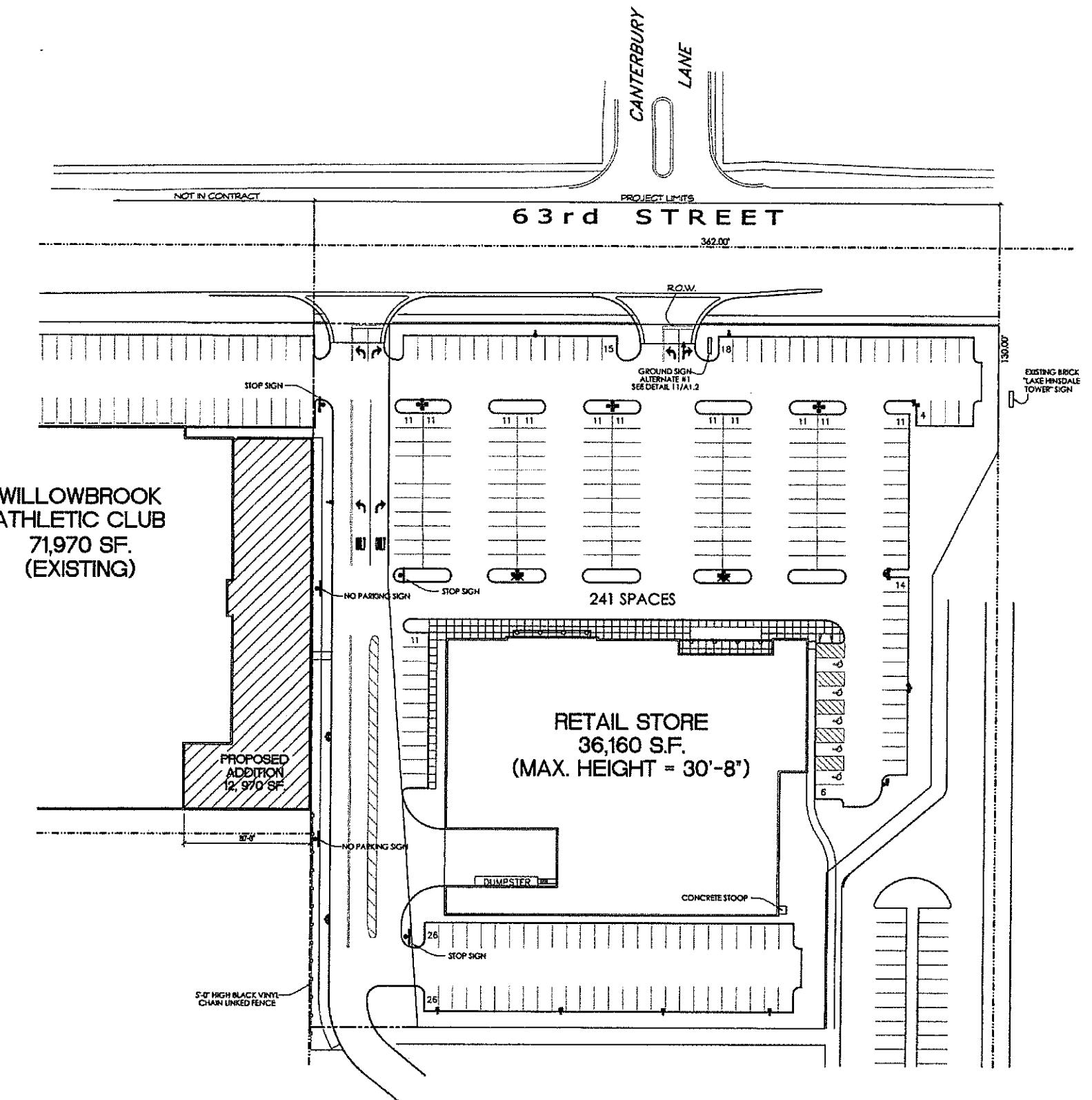
DRAWN BY:
TE/SE

SHEET NUMBER:
A1.0
Proposed
Ground Floor Plan



Attachments 6-10

Existing Site Plan, Existing Landscape Plan, Existing Exterior Elevations, Existing Floor Plan,
and Existing Roof Plan



ARCHITECTURAL SITE PLAN
WHOLE FOODS MARKET
63rd STREET - WEST OF ILLINOIS ROUTE 83
WILLOWBROOK, ILLINOIS

Job No. 9908.00 Rev. 1 12 MAY 2000

ISSUED FOR: DATE:
PRELIM REVIEW 02.20.2016
SPECIAL USE 03.05.2016
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A0.1

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failure. Actions taken without the
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Architect, or in contradiction to the
Architect's work product or
recommendation, shall become
the responsibility not of the
Architect, but of the parties
responsible for taking such
actions.

GENERAL NOTES:

- ◆ See Project Manual, Write Place Manual, Waterworks Manual, Sod Package dated 12/26/2000 for use with this engineering.
- ◆ See Sheet A-11 for Roof & Reflected Cancer Per.
- ◆ See Sheet A-11 for Over Sheds.
- ◆ Import concrete slab as 'import'.
- ◆ All concrete structures had polished steel post bases. See Sheet T-1A/L.
- ◆ Source: Keweenaw Landscaping for Village of Waterford, MI. The Preservation District of Bradenton.
- ◆ MI-Clay & G-Clay model loans.
- ◆ Roofing types and Valence. See detail 5E8-A/2.
- ◆ Straight. See detail 10/A/2.
- ◆ Deck Lumber. See Project Manual.
- ◆ Concrete pavers. 50" x 50" x 4" 4000 psi with 1/2" G-X-X14 and wood reinforcement. See detail 10-A/3.

Abbreviations as follows: D.S. = Down Spout,
P.D.C. = Fire Department Connection, R.H. = Roof Holes

WHOLE FOODS MARKET
36,160 SF, ONE STORY
FINISHED FLOOR ELEVATION: 735.00
SUB-GRADE ELEVATION: 734.00
(SEE PROJECT MANUAL)

SEE STRUCTURAL DRAWINGS FOR DOCK SLAB ELEVATIONS AND REQUIREMENTS.

TRASH COMPACTOR

TRUCK BAY AND STATIONARY EQUIPMENT

NORTH

ARCHIE LUCAS LOOK FLAN
WHOLE FOODS MARKET
63rd STREET - WEST OF ILLINOIS ROUTE 63
WILLOWBROOK, ILLINOIS

A1.1

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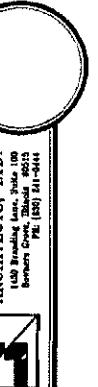
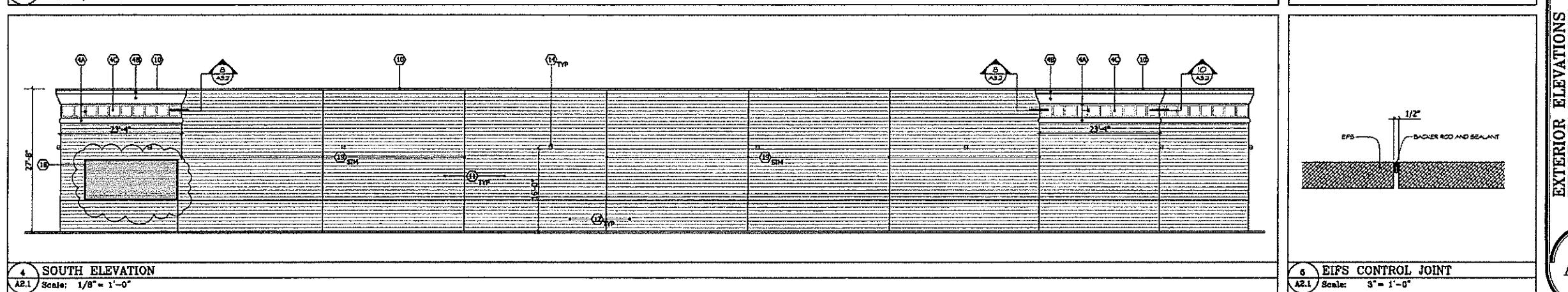
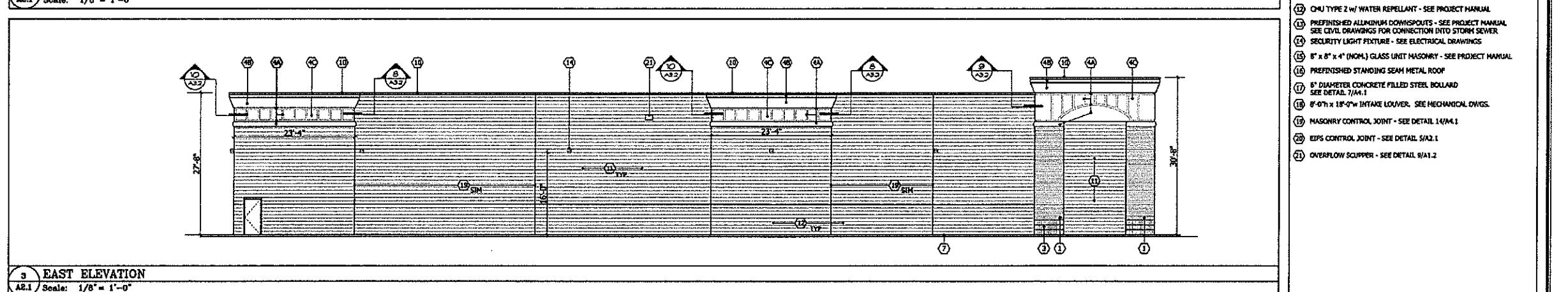
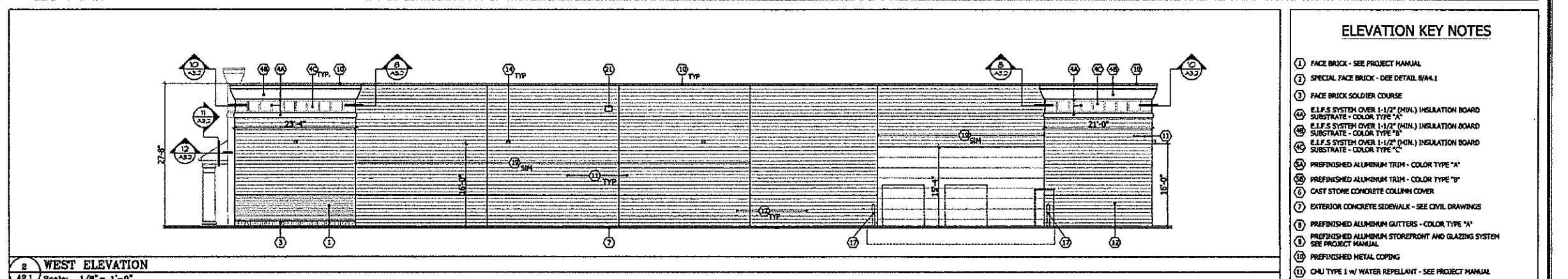
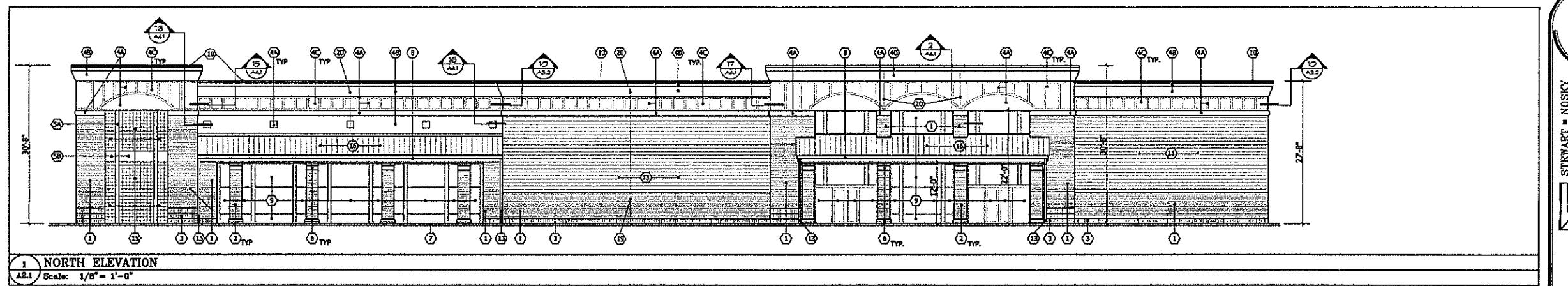
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SUBMITTED IN PLACE OF WILL/STAREBOOK

DB NUMBER:

DRAWN BY:
S/SE

HEET NUMBER:

A1.1 Existing Shell Plan



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actions.

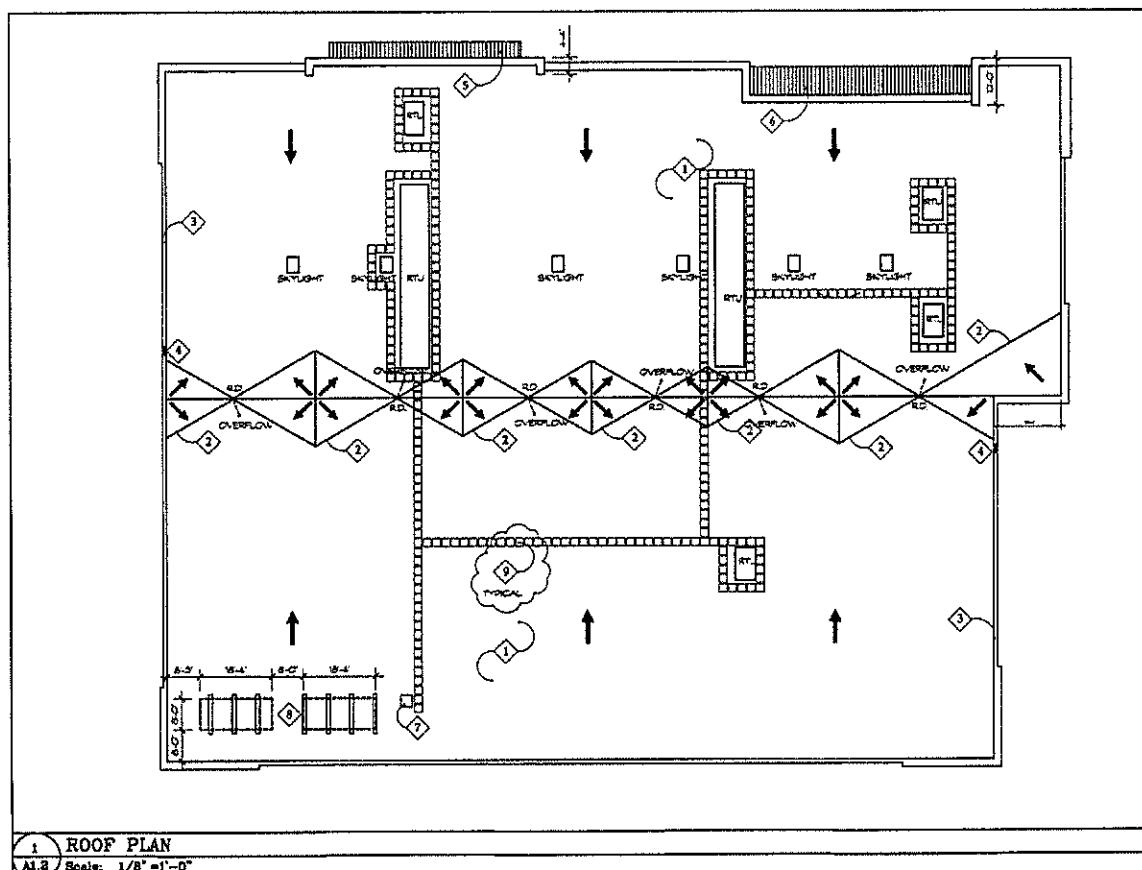
ELEVATION KEY NOTES

- ① FACE BRICK - SEE PROJECT MANUAL
- ② SPECIAL FACE BRICK - SEE DETAIL 8/M.1
- ③ FACE BRICK SOLDIER COURSE
- ④ EIFS SYSTEM OVER 1-1/2" (38MM) INSULATION BOARD
SUBSTRATE - COLOR TYPE "A"
- ⑤ EIFS SYSTEM OVER 1-1/2" (38MM) INSULATION BOARD
SUBSTRATE - COLOR TYPE "B"
- ⑥ EIFS SYSTEM OVER 1-1/2" (38MM) INSULATION BOARD
SUBSTRATE - COLOR TYPE "C"
- ⑦ PREFINISHED ALUMINUM TRIM - COLOR TYPE "A"
- ⑧ PREFINISHED ALUMINUM TRIM - COLOR TYPE "B"
- ⑨ CAST STONE CONCRETE COLUMN COVER
- ⑩ EXTERIOR CONCRETE SIDEWALK - SEE CIVIL DRAWINGS
- ⑪ PREFINISHED ALUMINUM GUTTERS - COLOR TYPE "A"
- ⑫ PREFINISHED ALUMINUM STOREFRONT AND GLAZING SYSTEM
SEE PROJECT MANUAL
- ⑬ PREFINISHED METAL COPING
- ⑭ CHU TYPE 1 W/ WATER REPELLANT - SEE PROJECT MANUAL
- ⑮ CHU TYPE 2 W/ WATER REPELLANT - SEE PROJECT MANUAL
- ⑯ PREFINISHED ALUMINUM DOWNSPOUTS - SEE PROJECT MANUAL
SEE CIVIL DRAWINGS FOR CONNECTION INTO STORM SEWER
- ⑰ SECURITY LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- ⑱ 8" x 8" x 4" (NOM.) GLASS UNIT MASONRY - SEE PROJECT MANUAL
- ⑲ PREFINISHED STANDING SEAM METAL ROOF
- ⑳ 6" DIAMETER CONCRETE FILLED STEEL BOLLARD
SEE DETAIL 7/M.1
- ㉑ 6'-0" x 18'-0" INTAKE LOUVER - SEE MECHANICAL DWGS.
- ㉒ MASONRY CONTROL JOINT - SEE DETAIL 14/M.1
- ㉓ EIFS CONTROL JOINT - SEE DETAIL 5/M.1
- ㉔ OVERFLOW SCUPPER - SEE DETAIL 8/M.1

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PRELIM REVIEW 02.20.2018
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SUBMIT VILLAGE OF WILLOMBROOK

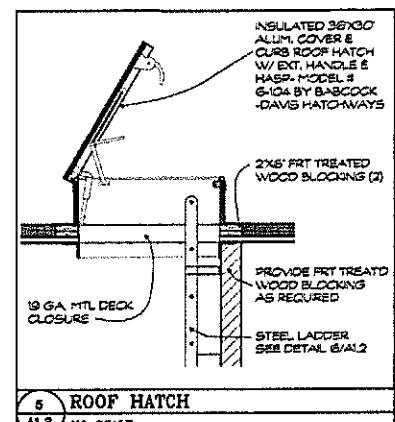
Job No: see060 Date: 28 July 1999 Rev.: 1 12 MAY 2009

EXTERIOR ELEVATIONS
WHOLE FOODS MARKET
63rd STREET - WEST OF ILLINOIS ROUTE 83
WILLOMBROOK, ILLINOIS
JOB NUMBER: JKCIICE93.017
DRAWN BY: TE/SE
SHEET NUMBER:
A2.1
A2.1
Existing
Exterior Elevations



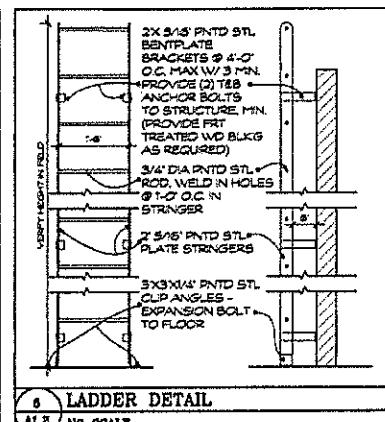
1 ROOF PLAN

A1.2 NO SCALE



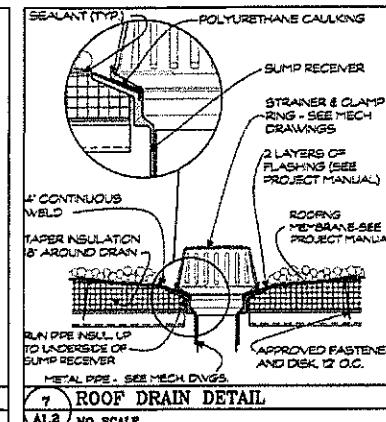
5 ROOF HATCH

A1.2 NO SCALE



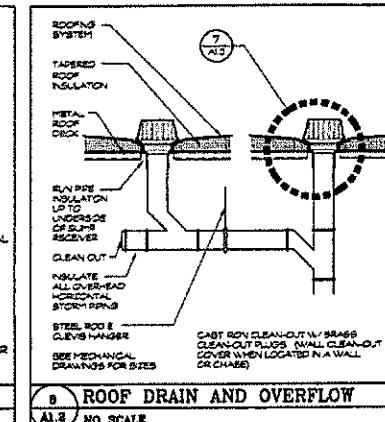
6 LADDER DETAIL

A1.2 NO SCALE



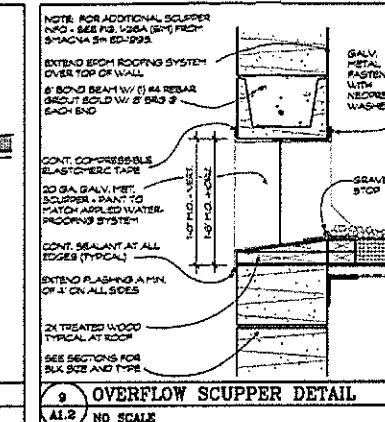
7 ROOF DRAIN DETAIL

A1.2 NO SCALE



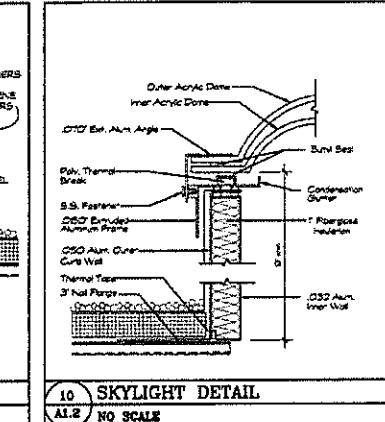
8 ROOF DRAIN AND OVERFLOW

A1.2 NO SCALE



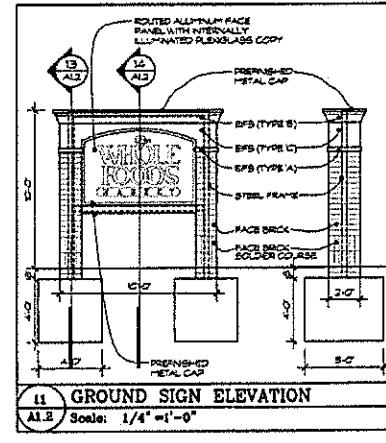
9 OVERFLOW SCUPPER DETAIL

A1.2 NO SCALE



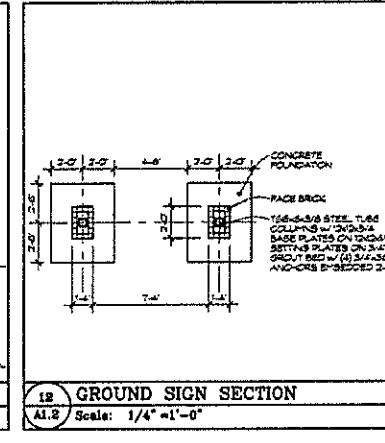
10 SKYLIGHT DETAIL

A1.2 NO SCALE



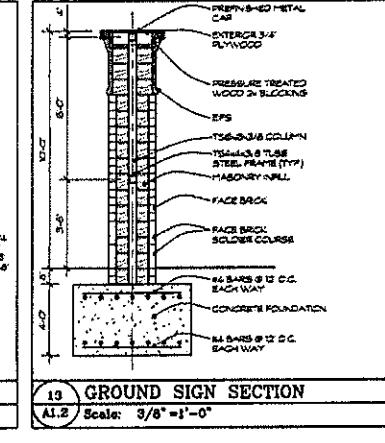
11 GROUND SIGN ELEVATION

A1.2 Scale: 1/4" = 1'-0"



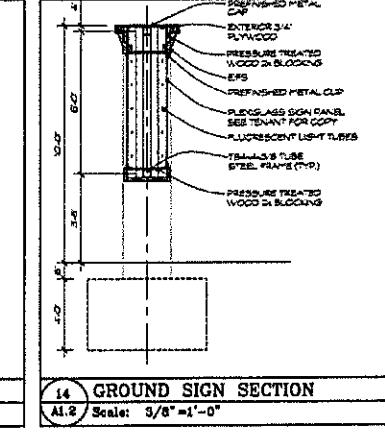
12 GROUND SIGN SECTION

A1.2 Scale: 1/4" = 1'-0"



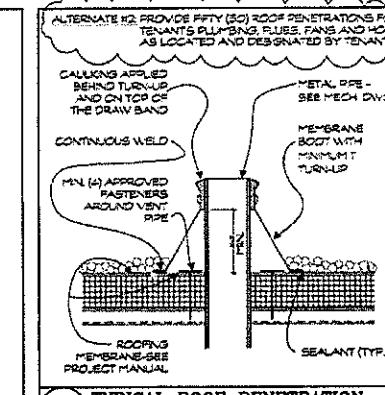
13 GROUND SIGN SECTION

A1.2 Scale: 3/8" = 1'-0"



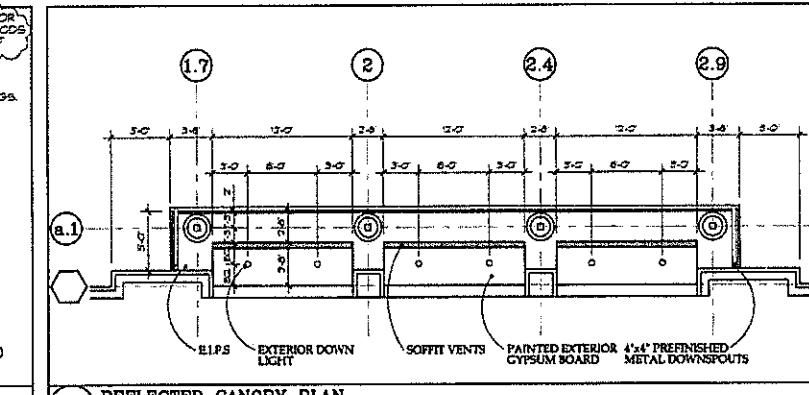
14 GROUND SIGN SECTION

A1.2 Scale: 3/8" = 1'-0"



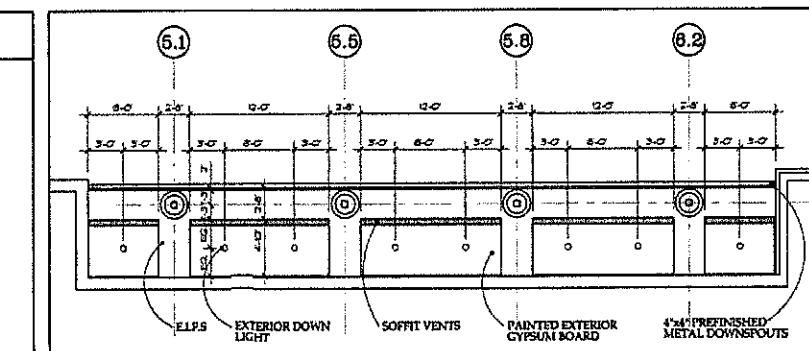
2 TYPICAL ROOF PENETRATION

A1.2 NO SCALE



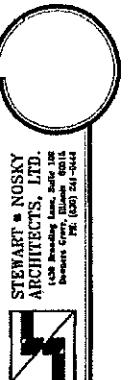
3 REFLECTED CANOPY PLAN

A1.2 Scale: 3/16" = 1'-0"



4 REFLECTED CANOPY PLAN

A1.2 Scale: 3/16" = 1'-0"



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63RD STREET - WEST OF ILLINOIS ROUTE 63
WILLOWBROOK, ILLINOIS
Rev. 1 12 MAY 2000
Job No: 80050 Date: 29 JULY 1999

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Roof Plan +
Details