

## A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, APRIL 4, 2018 AT 7:00 P.M. AT THE WILLOWBROOK POLICE DEPARTMENT, TRAINING ROOM, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
  - A. Waive Reading of Minutes (APPROVE)
  - B. Minutes - June 7, 2017
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-03: (6400 Bentley Avenue, Willowbrook, Illinois - Hinsdale Animal Cemetery PUD). Petition for a Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; a petition for a rezoning of one (1) parcel from R-1A to R-1; approval of a Final Plat of Subdivision; and approval of a Preliminary and Final Plat of PUD
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 18-01: (500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way, Willowbrook, Illinois - Willowbrook Centre PUD Amendment). Petition for an Amendment to a Planned Unit Development including certain relief exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the property legally described below into three (3) lots.
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION
6. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 18-02: (201 63<sup>rd</sup> Street, Willowbrook, Illinois - JKC Ice Rink PUD Amendment). Petition for an Amendment to a Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, more specifically a Skating Rink.
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION
7. VISITOR'S BUSINESS
8. COMMUNICATIONS
9. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE PLAN COMMISSION HELD ON  
WEDNESDAY, JUNE 7, 2017, AT THE LITTLE THEATER AT HINSDALE SOUTH  
HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER

Chairman Kopp called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at roll call were Chairman Kopp, Vice-Chairman Wagner, Commissioners Soukup, Kaucky, and Ruffolo.

Absent: Commissioners Lacayo and Remkus.

Also present were Village Planner Anna Franco and Building Inspector Roy Giuntoli.

3. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Regular Meeting April 5, 2017

MOTION: Made by Commissioner Soukup, seconded by Commissioner Ruffolo, to approve the Omnibus Vote Agenda.

MOTION DECLARED CARRIED

4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-02: (640 Joliet Road, Willowbrook, Illinois – Barbara Motorworks, Ltd.). Petition for a special use approval of a \$18,800 square foot (approximate) indoor auto sales use in the M-1 Zoning District.

- A. PUBLIC HEARING
- B. DISCUSSION/RECOMMENDATION

SEE COURT REPORTER MINUTES

MOTION: Made by Vice-Chairman Wagner, seconded by Commissioner Ruffolo that based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for

PC 17-02 for the June 7, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval for a special use for "Indoor Auto Sales" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-02 for the June 7, 2017 Plan Commission meeting.

ROLL CALL: AYES: Commissioners Soukup, Ruffolo, Kaucky, Vice-Chairman Wagner, and Chairman Kopp. NAYS: None. ABSENT: Commissioners Lacayo and Remkus.

MOTION DECLARED CARRIED

5. PLAN COMMISSION CONSIDERATION: Adoption of the "Plan Commission Public Hearing Guidelines" document for use at future Village Plan Commission meetings and for publication on the Village's website.

A. DISCUSSION/RECOMMENDATION

SEE COURT REPORTER MINUTES

6. VISITOR'S BUSINESS

None.

7. COMMUNICATIONS

SEE COURT REPORTER MINUTES

8. ADJOURNMENT

MOTION: Made by Commissioner Soukup, seconded by Vice-Chairman Wagner, to adjourn the regular meeting of the Plan Commission at the hour of 8:09 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

April 4, 2018.

Minutes transcribed by Cindy Stuchl

\_\_\_\_\_  
Chairman

**WITNESS:**

**Date:** June 7, 2017

**VILLAGE OF WILLOWBROOK ZONING HEARING  
17-02**

MARY WOOSLEY, C.S.R.



311 S. County Farm Rd., 2nd Floor, Suite E, Wheaton, IL 60187

**Certified Court Reporters**  
For all your court reporting needs  
Since 1968  
[www.metroreportingservice.com](http://www.metroreportingservice.com)

630.690.0050 FAX 630.588.9866



VILLAGE OF WILLOWBROOK  
PUBLIC HEARING  
ZONING HEARING CASE NO. 17-02

REPORT OF PROCEEDINGS had at the  
Public Hearing of the above-entitled case before  
The Planning Commission at Hinsdale South High  
School, Little Theater, 7401 Clarendon Hills Road,  
City of Darien, Illinois, on the 7th day of June,  
2017, at the hour of 7:00 p.m.

PRESENT:

Daniel Kopp, Chairman  
John Wagner  
James Soukup  
Leonard Kaucky  
Gregory Ruffolo  
Roy Giuntoli, Building Inspector  
Anna Franco, Planning Consultant

1 (Whereupon the hearing started  
2 at 7:00 p.m.)  
3

4 MR. KOPP: Next item on the agenda is  
5 the Zoning Hearing Case No. 17-02. This is Zoning  
6 Hearing Case 17-02, petition for a special use  
7 approval of an 18,000 square foot indoor auto  
8 sales use in the M1 Zoning District.

9 The property is at 640 Joliet  
10 Road, Willowbrook, Illinois. The applicant will  
11 identify himself shortly, and notice of this  
12 public hearing was published in The Doings  
13 newspaper within the requisite period before this  
14 hearing.

15 Is there a representative from  
16 the applicant who would like to speak?

17 MR. LONGO: Yes.

18 (Mr. Chris Long was sworn.)

19 MR. LONGO: My is Chris Longo. I  
20 work for Mr. Barbara and representing him and  
21 Barbara Motorworks on this matter. Actually,  
22 while you were looking for that information, Anna,  
23 I found the email you sent me. It was an email  
24 sent on May 18 indicating that the public notice

1 for the June 7 Plan Commission meeting was  
2 published in today's edition of The Doings paper.  
3 So it was the, I guess, the May 18th edition of  
4 The Doings paper.

5 MS. FRANCO: Thank you.

6 MR. LONGO: You're very welcome.  
7 You're very welcome. I hope to set the record for  
8 the briefest presentation.

9 First of all, Mr. Barbara  
10 would like to thank the Village and Plan  
11 Commission for the opportunity to present our  
12 needs at this meeting. We're simply seeking to  
13 renew a vehicle dealer license which Mr. Barbara  
14 has maintained for quite a few years to be in  
15 compliance with Illinois state law. We have no  
16 intentions of turning our newly landscaped area  
17 into an outdoor used car lot. We don't have any  
18 plans nor will we place any outdoor signage on our  
19 property or make any other attempt to lure traffic  
20 off of I-55 or Kingery Highway. Mr. Barbara  
21 simply is a car enthusiast who attends many car  
22 events and auctions such as the Barrett-Jackson  
23 auctions and Mecum auctions. And when conducting  
24 transactions at these auctions, he's found as a

1 licensed vehicle dealer being able to operate in  
2 that way makes it easier when he's transacting  
3 business at those types of events. And that's  
4 pretty much it.

5 MS. FRANCO: Great.

6 MR. KOPP: Do any of the  
7 Commissioners have any questions for the  
8 applicant?

9 Anna, do you want to give your  
10 presentation?

11 MS. FRANCO: Yes. So as Mr. Longo  
12 stated, Mr. Barbara, who he is representing, would  
13 like to renew his vehicle dealer license for his  
14 new building that he has just finished  
15 construction on at 640 Joliet Road. That's  
16 located at the northeast corner of Quincy and  
17 Joliet Road, and it's also located in the M1  
18 Zoning District.

19 So the state does need for  
20 Mr. Barbara to register at this location.  
21 Mr. Barbara -- or the state does need a signature  
22 from the Village's zoning official, which is me,  
23 stating that an auto dealership business is  
24 allowed at the subject property. However, without

1 a special use for an indoor auto dealership, an  
2 auto dealership of any kind is prohibited at the  
3 property. So I could not sign the form until a  
4 special use is potentially approved. Therefore,  
5 Mr. Barbara has submitted this petition for a  
6 special use for an indoor auto dealership to gain  
7 a signature from me on that state form and so he  
8 can register his vehicle dealer's license at 640  
9 Joliet Road.

10 So this zoning petition is  
11 unique in that Mr. Barbara has already received  
12 permits and has largely completed construction of  
13 an approximately 18,000 -- 19,000-square-foot  
14 building on the subject property. Photos of the  
15 newly constructed building are shown on Page 3 of  
16 the Staff Report.

17 Additionally, architectural  
18 plans and a site plan are attached to the Staff  
19 Report but only for reference as these plans have  
20 already been approved by the Village's building  
21 inspector. Since building plans have already been  
22 approved, the Plan Commission should evaluate  
23 operational considerations of the proposed indoor  
24 auto sales special use.

1                   The Plan Commission has  
2   recently reviewed operational considerations of  
3   another indoor auto sales business when the  
4   Commission positively recommended approval of a  
5   special use for Highline Auto Sales on Executive  
6   Drive back in November of last year. To refresh,  
7   Highline Auto Sales is operating an Internet  
8   high-end-use car sales business at 555 Executive  
9   Drive. So while Mr. Barbara -- so like Highline  
10   Auto Sales it would be -- it would have a special  
11   use for indoor auto sale business. However,  
12   Mr. Barbara, as Mr. Longo has expressed, does not  
13   intend to operate an indoor retail -- auto retail  
14   business. But if Mr. Barbara is granted a special  
15   use for indoor auto sales, he is technically  
16   allowed to operate a business similar to Highline  
17   Auto if he wishes to. Therefore, staff recommends  
18   the Plan Commission consider the conditions of  
19   approval listed on Page 5 of the staff report in  
20   tonight's motion. These conditions are similar to  
21   those that were adopted for Highline Auto, and  
22   they also should ensure that any future auto sales  
23   business that could be conducted at 640 Joliet  
24   Road does not infringe upon the operation and use

1 of adjacent M1 zoned properties.

2 If these conditions are  
3 incorporated into the motion tonight, staff is  
4 generally supportive of the petition. A future  
5 auto sales business would not have the outward  
6 appearance of a traditional auto dealership.  
7 There would be no outdoor storage of vehicles,  
8 minimum signage, and insignificant traffic  
9 generation. So if the Plan Commission wishes to  
10 forward a positive recommendation to the Board, a  
11 sample motion is provided on Page 5 of the staff  
12 report.

13 MR. KOPP: Are you aware of the eight  
14 conditions that have been proposed?

15 MR. LONGO: Yes. The vehicles being  
16 stored inside, consummating all transactions at  
17 the location. Yes. Miss Franco had shared those  
18 with me.

19 MR. KOPP: And they are acceptable?

20 MR. LONGO: Very much so.

21 MR. KOPP: Any Commissioners have any  
22 questions? All right. Does anyone in the  
23 audience have any testimony or questions for the  
24 applicant?

1 A FEMALE: No. Thank you.

2 MR. KOPP: All right. Unless you  
3 want to make a final statement, I will close this  
4 public hearing and we will vote on this matter.

5 MR. LONGO: Thank you very much.

6 MR. KOPP: All right. Will someone  
7 close this public hearing. Will someone make a  
8 motion that based on the submitted petition and  
9 testimony provided, I move that the Plan  
10 Commission approve and adopt the Standards for  
11 Special Use outlined in the Staff Report prepared  
12 for PC 17-02 for the June 7, 2017, Plan Commission  
13 meeting; and that the Plan Commission recommend to  
14 the Village Board approval for a special use for  
15 "Indoor Auto Sales" subject to the "Conditions of  
16 Approval" listed in the Staff Report prepared for  
17 PC 17-02 for the June 7, 2017, Plan Commission  
18 meeting.

19 MR. WAGNER: So moved.

20 MR. RUFFOLO: Seconded.

21 MR. KOPP: Ask that the Plan  
22 Commission secretary call the vote.

23 MR. GIUNTOLI: Commissioner Soukup.

24 MR. SOUKUP: Yes.



1 MR. GIUTOLI: Commissioner Ruffolo.

2 MR. RUFFOLO: Yes.

3 MR. GIUTOLI: Commissioner Kaucky.

4 MR. KAUCKY: Yes.

5 MR. GIUTOLI: Vice Chairman Wagner.

6 MR. WAGNER: Yes.

7 MR. GIUNTOLI: Chairman Kopp.

8 MR. KOPP: Yes.

9 All right. Thank you. That's  
10 it.

11 MR. LONGO: Thank you.

12 MR. KOPP: Thank you very much. Next  
13 item on the agenda is consideration of adoption of  
14 Plan Commission Public Hearing Guidelines, a  
15 document for use at future Plan Commission  
16 meetings and publication on the Village's website.

17 Anna, why don't you make your  
18 presentation.

19 MS. FRANCO: So this agenda item is  
20 to discuss the potential adoption of the Plan  
21 Commission Public Hearing Guidelines document that  
22 has been provided to you tonight.

23 As many of you know, recent  
24 Plan Commission meetings in regards to a highly

1 debated zoning petitioner was a little unruly at  
2 times. People were naturally passionate about the  
3 subject matter but at times public input got a  
4 little out of control. And most importantly, the  
5 court reporter had a very difficult time following  
6 the input due to numerous interruptions. So to  
7 try and avoid meetings like this in the future,  
8 staff has provided a draft Plan Commission Public  
9 Hearing Guideline document. The purpose of the  
10 document is to clarify the intent of the public  
11 hearing, outline standard public hearing  
12 standards, and set ground rules for public  
13 speaking. This type of publication is also used  
14 by other Chicagoland municipalities, so it is in  
15 practice. So for the use of the document, staff  
16 hopes this document is something that could be  
17 handed out at meetings, could be read or referred  
18 to by the Chairman at meetings that are expected  
19 to be somewhat controversial, and posted to the  
20 Village's website. So tonight I'm hoping that we  
21 can discuss the document, discuss, you know,  
22 potential changes, and then depending on the  
23 amount of changes, make a motion to adopt the  
24 document with the motion that's provided on Page 1

1 of the Staff Report. If there are substantial  
2 changes, we can wait until the next Plan  
3 Commission meeting to adopt the document if need  
4 be.

5 Also, I want to direct your  
6 attention to Dan Kopp's -- Chairman Dan Kopp did  
7 provide a number of edits to the draft guidelines.  
8 That's the red-lined document that appears after  
9 the draft in the Staff Report, so that's something  
10 to review as well when you're discussing tonight.

11 MR. KOPP: I want to mention a few  
12 things. You hit on one of them. Identification  
13 of the speakers. That, you know, I take the blame  
14 for that. Vice Chairman Wagner is much better at  
15 controlling speakers and making them identify  
16 themselves than I am. So I'm going to hope if we  
17 ever have another meeting like that again, I'm  
18 going to -- I think that's up to me. I'm not sure  
19 that's actually part of the guidelines other than  
20 me not letting five people talk at the same time.

21 So the other two things  
22 were -- and then another one is -- well, the other  
23 two things are more policy oriented, and that's  
24 time limits and repetitive testimony. And we had

1 an email discussion. We all did. It was cut  
2 short properly about time limits. And I know this  
3 has come up in the ten or so years I've been on  
4 the Plan Commission, other people brought it up.  
5 Commissioner Lacayo had brought it up. I  
6 personally -- and this is me personally -- am  
7 opposed to time limits because this is, as we just  
8 saw, this is kind of the front line of democracy.  
9 People want to talk, and I prefer to give people  
10 the right to talk. And, actually, my second point  
11 is about repetitive testimony and that's similar.  
12 I also think that just because two people have  
13 said they didn't want something, if there is  
14 another 30 people in the room, they may want to  
15 say they don't want that because, as has happened  
16 in this last hearing, they want to make it clear.  
17 And somebody even asked me at the prior -- the  
18 most recent hearing, did I acknowledge that the  
19 majority of people in the room were against that  
20 application, and I said well yes. And besides all  
21 the catcalling and booing, it's because there was  
22 about 20 to 1 of the testimony. So, again, it's  
23 frustrating, and I know we all want to go home.  
24 Me, personally, I am opposed to time limits. I am

1   opposed to limiting repetitive testimony. That  
2   being said, I will certainly try -- and I tried at  
3   the last meeting -- to stop people -- the same  
4   people from speaking for the fourth or fifth time.  
5   And once we hear someone is opposed -- or the joke  
6   I always make is drainage. Except for that last  
7   meeting, everybody always complains about  
8   drainage. After three or four people talk about  
9   drainage, we don't really need another ten people  
10   to speak about drainage. But I personally would  
11   rather not have a rule settling time limits or  
12   rule prohibiting repetitive testimony, but I am  
13   very interested in what the rest of you think.

14               MR. WAGNER: Well, recently I  
15   attended numerous District 86 school board  
16   meetings. They have a strict rule of three  
17   minutes per person, and you also have to before  
18   the meeting starts sign in to be able to speak.  
19   Those meetings typically range from 50 to 100  
20   people approximately, and their agendas are  
21   typically very large, and I think they try to do  
22   it to keep themselves from being there until 1:00  
23   or 2:00 o'clock in the morning. I tend to agree  
24   with you. If a person comes to a public meeting,

1 they probably -- whether it's repetitive or not --  
2 I feel as though they've taken the effort to come  
3 to a public meeting, they should probably be able  
4 to speak. However, the time limit in many  
5 respects causes you to think about what you're  
6 going to say and possibly be more succinct to the  
7 point rather than repeating a lot of what someone  
8 else said. I kind of like -- and I know these are  
9 the hearing rules. In my approximately 20 years  
10 of being on the Board, there's only been, really,  
11 the number of public hearings you can count on one  
12 hand where there were quite a number of people,  
13 and there's really only been a few that have been  
14 unruly. I would like to see a limit put on this  
15 only because we could enforce it at a specific  
16 meeting if we chose to where we have a situation  
17 where there's a lot of people and maybe it's  
18 unruly or maybe it's a very contested situation.  
19 Whereas, tonight, we had a huge number of people  
20 in the audience that, you know, it doesn't matter  
21 if somebody would speak for ten minutes. It would  
22 seem to me we could allow them to exceed a limit  
23 if we chose. But without a limit, as you said,  
24 people will try and speak four and five times.

1 And from what I see at some of our meetings, we  
2 have an audience that maybe doesn't understand the  
3 process where it's difficult for the court  
4 reporter to follow any of this discussion because  
5 it becomes a conversation rather than an entrance  
6 of testimony.

7 MR. KOPP: Well, and this would be a  
8 question for the Village attorney. And I don't  
9 practice in this area of law. This is  
10 specifically a public hearing, and some of those  
11 other meetings you're talking about are not. And  
12 not only is it a public hearing, there is cases  
13 that say that the public gets the opportunity to  
14 ask questions and give testimony, and there is a  
15 famous case from like 15 years ago where Lisle, I  
16 think, got in trouble for a big theater  
17 development because they didn't allow the people  
18 to do that.

19 MR. WAGNER: It's not my intent to  
20 limit --

21 MR. KOPP: So it's just not  
22 testimony. I do have to -- I think I have to  
23 allow them to ask questions of the applicant.

24 MR. WAGNER: You do. And I agree

1 with you. However, the way I've seen done in some  
2 meetings is the questions can be asked question  
3 one, two, three, and four, but it may not require  
4 an instant response from the applicant at that  
5 time and that's where I think --

6 MR. KOPP: I tried to do that this  
7 time.

8 MR WAGNER: -- where conversation  
9 gets started.

10 MR. KOPP: A few times allowing the  
11 applicant to listen to the four questions and then  
12 answer the four at that point.

13 MR. WAGNER: But in many  
14 presentations I've done over the years, especially  
15 like in Village of Hinsdale when they were redoing  
16 their zoning ordinance and so forth, all of the  
17 questions would be asked, but there wouldn't be a  
18 response by the applicant until the end, and then  
19 the applicant would go through each question that  
20 was asked and choose to either answer it or add  
21 testimony to the record about it or choose not to  
22 answer it. So I guess, I would like to see a time  
23 limit placed on it and it could either be -- it  
24 would be up to you, Mr. Chairman, whether it be



1   enforced or not, but just from experience with the  
2   school district lately, I found that the  
3   statements that were made when there was a time  
4   limit were very succinct and there wasn't a lot of  
5   repetitive discussion. And I guess you can ask  
6   that if a person asks for additional time, it  
7   could either be granted or not granted, I suppose.

8                   MR. RUFFOLO: Mr. Chairman, as well  
9   as Mr. Vice Chairman, I want to say, first of all,  
10   that I think generally both of you when running  
11   this meeting do a great job, and it's a pleasure  
12   being a part of this Commission. I think that  
13   we've experienced some difficult -- one or two  
14   difficult meetings of late. We can all look back  
15   in hindsight and say things could have been done  
16   differently; but I think perhaps the moment and  
17   the opportunity is here, and I take seriously the  
18   comments and sort of opposing comments that both  
19   of you have laid out. I personally would be in  
20   favor of a time limit on the applicant -- on the  
21   questioners, an opportunity to pose their question  
22   and I think three minutes is a good start. Are we  
23   going to run a stop clock? I don't think so. But  
24   that's about managing the meeting as both of you

1 do very well. So I would recommend that we do, at  
2 least to that aspect of it, adopt -- whether it's  
3 three minutes, four minutes, five minutes,  
4 whatever we all agree on, but I think there should  
5 be a limitation. Further, I would suggest that we  
6 shouldn't allow one or two or three people in the  
7 audience to dominate the conversation without  
8 giving everyone else an opportunity to all weigh  
9 in. So if there's 50 people here, I think the  
10 first speaker gets his chance. They take their  
11 three minutes. It goes on to Speaker No. 2 and on  
12 through the 49th and 50th person. And then if  
13 there still is more discussion needed, you can  
14 come back to that first person. But I see as in  
15 any societal issue when there are people that are  
16 very well versed or not versed but want to be  
17 heard, they will dominate the conversation to the  
18 detriment of the process and I believe to the  
19 detriment of the outcome. So I think that that is  
20 something that should be considered.

21 I don't necessarily think  
22 that -- time is important. Registration, I think,  
23 could or could not. I'm not sure if it's  
24 appropriate or lawful in this particular setting

1 that people have to register. But I do think that  
2 being mindful of the time limit is really  
3 effective in managing the meeting.

4 MR. KOPP: All right. What I said,  
5 actually, in my markup, time for each speaker may  
6 be limited by the Chairman. In Section 6 of the  
7 proposed guidelines, I didn't strike the time  
8 could be limited by the Chairman. I just said if  
9 announced at the outset of the public hearing  
10 because I do think once you start the hearing, you  
11 can't let somebody speak for ten minutes and then  
12 say, okay, from now on you only get three minutes.  
13 But sure, I'm certainly open or will do -- I  
14 shouldn't even say open -- if the Board thinks  
15 that we should impose a time limit, if we had  
16 another meeting where there is 15 people in the  
17 audience, that would be fine as long as we had  
18 announced it at the outset.

19 I would prefer not to make  
20 people sign up because they just won't know to do  
21 it. They won't know to get here on time.

22 MR. RUFFOLO: I think rarely do we  
23 have that many people at any of these meetings  
24 where we really have an issue. Signing up is

1 probably not the most important part of this  
2 discussion.

3 MS. FRANCO: I want to add, we do  
4 have a court reporter at any public hearing. So  
5 if they do state their name initially, we will  
6 have their name. And if they state their address,  
7 we will have their address. But the Board  
8 meetings, they don't necessarily need to do that  
9 and it's not recorded by a court reporter.

10 MR. KOPP: No. And, again, this is  
11 what I was referring to when I read the transcript  
12 that absolutely was not your fault. People were  
13 sworn in, but then they were talking and then they  
14 were talking again, and I wasn't controlling the  
15 meeting.

16 MR. KAUCKY: There were very good  
17 comments about controlling the times and so forth.  
18 I've been to the District 86 meetings, and I have  
19 spoken there more than a few times. I like the  
20 idea you get a lot said in three minutes and it's  
21 concise. So I think it's something to consider  
22 for us to do if we have a controversial subject at  
23 a meeting.

24 I am amazed that the outside

1 influence that is allowed during public hearings  
2 as noted by the last Village Board meeting I  
3 attended. And I'm wondering to myself, and I need  
4 to be educated on this because it is a public  
5 hearing, but I'm wondering what is the role of the  
6 citizens of Willowbrook versus people who come in  
7 from outside to speak at our public meetings.

8 MR. KOPP: I can't speak to the --  
9 I'm sorry to interrupt -- to the trustees' meeting  
10 but the ones that spoke at our meeting, they were  
11 generally identified when they're citizens and  
12 because the one guy talked, well, we know where he  
13 lived. And then the other guy that kept saying we  
14 have to go up to the second floor bedroom, they  
15 obviously all lived across 83. I don't know about  
16 all the doctors that showed up.

17 MR. KAUCKY: I think we were here to  
18 represent Willowbrook. The public in my opinion,  
19 the comments that come from the Willowbrook  
20 residents ought to have more influence in terms of  
21 what the Commissioners would consider, I would  
22 think. Am I wrong in saying that? Am I wrong?

23 MR. KOPP: That's how I think. Yeah.  
24 When we did the big shopping center, actually, as

1 Chairman Wagner did that whole thing because I was  
2 conflicted out, I asked -- afterwards I asked  
3 someone like do we need to listen to the people  
4 from Darien, and I asked -- and I went to the  
5 Village attorney and he said yes, they should be  
6 able to testify. You can't just say only  
7 Willowbrook people have to testify. It doesn't  
8 mean you have to give the same weight.

9 MR. KAUCKY: What you have here at  
10 the last Village Board meeting I'm referencing is  
11 activist groups that get involved on a subject  
12 that really is not in their community. It's  
13 outside their community, but yet they seem to be  
14 able to control the conversation and it seems to  
15 me the whole system got played, if you know what  
16 I'm saying. And, unfortunately, I don't see if  
17 there's ever a situation in the future where we  
18 have a controversial subject and we have these  
19 outside activist groups come in and try to  
20 dominate the conversation and influence the  
21 direction of the Board, this is what I have a real  
22 problem with. I saw firsthand -- I do not like  
23 the results. And yet I don't see there's going to  
24 be any policy that's going to be able to control

1 it to any extent. I'm concerned about it. I  
2 really am.

3 MR. SOUKUP: It's a shame that it  
4 can't be controlled because when you get guys from  
5 New England coming and telling us what to do here.  
6 You know, that's who was at that meeting, and it  
7 was also at the Board meeting. It was ridiculous,  
8 really. And that's why I say, they almost, you  
9 know -- they purposely called all those people in  
10 from all over the place. And it snuffs out the  
11 citizens. Like one trustee said when they were  
12 voting, he said well, I have to vote with my  
13 constituents.

14 MR. KAUCKY: No one had any  
15 statistics to say there's like 80 percent  
16 Willowbrook residents out here saying they don't  
17 want this. There is no proof of the people's  
18 residency when they were making these negative  
19 comments.

20 MR. SOUKUP: That's right.

21 MR. KAUCKY: That's what I find very  
22 unfair.

23 MR. SOUKUP: At that meeting it was  
24 ridiculous both here and with the trustees when I

1 was there. It was -- you know, it was not a  
2 meeting. And like I say, the one trustee of the  
3 Village said well, I have to vote with my  
4 constituents and he was the changing vote you  
5 might say.

6 MR. KAUCKY: He had no reason to say  
7 that because he didn't know what the statistics  
8 were in that group. He didn't know.

9 MR. SOUKUP: It was a shame that  
10 there wasn't some way you can say would the  
11 citizens of Willowbrook please raise your hands so  
12 you know how many are there. These were people  
13 from -- well, that one woman that was ridiculous,  
14 she lived in the northwest corner of Downers Grove  
15 and she wasn't going to shop at Target anymore  
16 because bullets were going to be flying around.  
17 That's why at that trustees' meeting I got up and  
18 said about how safe it is. That it could have  
19 been open air shooting range and wouldn't have  
20 bothered any homes whatsoever because they were  
21 shooting to the east and all the homes were to the  
22 west. They would never have been affected. And  
23 it was disgusting really.

24 MR. KAUCKY: I just want to say I



1 really would consider a time limit as one way of  
2 controlling this.

3 MR. RUFFOLO: Mr. Chairman, I think  
4 everybody is kind of focusing on the same thing,  
5 and that is let's not have overweighted testimony  
6 or comments or questions coming from people that  
7 are not restricted by making their statements  
8 concise. And I think, frankly, time is a good  
9 suggestion to limit questions. And if the meeting  
10 requires additional time and there's still time  
11 that evening for the interested parties to comment  
12 again when it gets to be their turn after everyone  
13 else has had a chance to be heard, it goes back to  
14 where it started. I think that's a fair  
15 democratic way to do things so everybody gets a  
16 chance to have their voice heard and not have any  
17 one particular person or group of people dominate  
18 the conversation.

19 MR. KOPP: All right. Okay. So  
20 sounds like some time limits at appropriate  
21 meetings is fine. It seems like three minutes is  
22 what most people would say. And, again, well, I  
23 suppose we can have a rule -- it's not in here --  
24 something to the effect of if there is several

1 people that want to testify, you're only to  
2 speak -- you're only allowed to speak once. You  
3 don't automatically get a chance a second time.  
4 Because the one guy, cut him off after like five  
5 times, and there was another guy that spoke  
6 several times.

7 MR. WAGNER: I think at that point,  
8 you as chairman, if there is new information being  
9 brought forth, you can allow the testimony. But  
10 if it's simply repetitive and the guy has spoken  
11 five times, and he's only repeating everything  
12 that's been said, I think that at some point  
13 somebody would have to say something and then see  
14 where all that goes.

15 I had one additional question.  
16 Sentence No. 1, "The chairman makes a motion to  
17 open the public hearing." Do we have to make a  
18 motion to open? You're the chairman and you're  
19 opening the public hearing.

20 MR. KOPP: I will admit I have been  
21 following the custom that --

22 MR. WAGNER: Is that the process? I  
23 was just --

24 MR. KOPP: No. That's a good

1 question. I have not been doing that because my  
2 predecessor didn't do it. And when he gave me the  
3 script, he said he opened the public hearing.

4 MR. WAGNER: That's what I'm saying.  
5 I'm suggesting that's appropriate. I don't know  
6 that there's a motion necessary to open a public  
7 hearing. The hearing has been published. It's  
8 the chairman's point at that -- or the acting  
9 chairman at that point to open the public hearing.  
10 I think that's the only funny thing I saw that --

11 MR. KOPP: That's a good point.

12 MR. WAGNER: That could be unusual.

13 MR. RUFFOLO: Can we refer that to  
14 the city attorney and ask them to clarify that?

15 MS. FRANCO: Yeah. And that's  
16 been -- I know we don't do it here, but that's  
17 been my knowledge of other meetings. They do make  
18 a motion to open it, but I'll check with our  
19 attorney.

20 MR. KOPP: I'm sure it's in Robert's  
21 Rules of Order.

22 MR. WAGNER: If it's part of a  
23 procedure, please leave it in. But if it's not, I  
24 didn't understand why we would be asking the

1 Commission whether we can open the public hearing  
2 or not. Doesn't make a lot of sense to me.

3 MS. FRANCO: I'll check on that.

4 MR. KOPP: No. 6. The statement like  
5 speakers may not be allowed to speak more than  
6 once.

7 MS. FRANCO: Should we add until all  
8 persons have provided testimony?

9 MR. KOPP: Yeah. That's a good  
10 point.

11 MS. FRANCO: Unless we do want to  
12 limit them to just one statement. But my  
13 understanding is that we wanted to have everyone  
14 speak once, at least to get their chance before  
15 people make a second statement or third statement.

16 MR. KOPP: That's a good point.

17 MR. SOUKUP: In an election, you have  
18 to be registered to vote.

19 MR. WAGNER: You can play both sides  
20 of that coin, though. I agree with what you said,  
21 and many times I have the same thought process  
22 going on. However, usually the petitioner and his  
23 group are not residents, you know. So if you're  
24 rebutting a resident with information and they're

1 not a resident, I think they're an expert at that  
2 point, and I think that's the other side of the  
3 coin that we maybe don't want to listen to one  
4 side or --

5 MR. SOUKUP: They are the  
6 petitioners. They are not the ones -- that's like  
7 at that meeting, both meetings, it was disgusting.

8 MR. WAGNER: I agree with you. It  
9 was a difficult meeting.

10 MR. SOUKUP: It was disgusting and I  
11 had heard they were going to come here for that  
12 second meeting that they got on the Internet to  
13 get people here.

14 MR. GIUNTOLI: Activists.

15 MR. SOUKUP: And he testified at our  
16 meeting and he got on the Internet and when he  
17 told me, I told Joanne we're going to have a crowd  
18 here and sure enough we did. And it was a crowd  
19 from then on in from all over the country. That's  
20 the trouble, the antigun people. I don't own a  
21 rifle, but still I was in Germany after World War  
22 II. In fact, I went into the Army of Occupation,  
23 and I saw the devastation that happened because  
24 the German people after World War I taking their

1 arms away from them, and that is how it allowed  
2 the Nazis to come up and there was another war. I  
3 saw that and it was terrible.

4 MR. KOPP: All right. Another  
5 technical issue, Anna, if I have to make a motion  
6 to open the meeting, I'm assuming I'm supposed to  
7 make that motion to close the meeting.

8 MS. FRANCO: Yes, that is true. So  
9 that would be No. 9. Well, the Plan Commission  
10 will close the public hearing. It was No. 7 but  
11 No. 8 on your markup says, "The Plan Commission  
12 will close the public hearing once sufficient  
13 testimony has been provided." It doesn't say,  
14 though, that you'll make a motion to open it. I  
15 mean, just to keep us from having to revise this  
16 again, we could state that, you know, the chairman  
17 opens the public hearing instead of make a motion  
18 to open. That way you could make a motion if you  
19 wish to, but it's inferred that you are going to  
20 open it in some way.

21 MR. KOPP: Okay. That's fine.

22 MS. FRANCO: The chairman opens the  
23 public hearing. As simple as that.

24 MR. KOPP: All right. That's it for

1 me on that issue, unless anybody else...

2 MR. WAGNER: No.

3 MS. FRANCO: Can you go over the  
4 language I think you were writing something down  
5 for 6.

6 MR. KOPP: I wrote, "Speakers may not  
7 be allowed to speak more than once until all  
8 persons have had an opportunity to speak." And  
9 then when you look, I put in my comments, I put  
10 one thing in brackets, obviously, which should be  
11 deleted that sets the ground rules. It was just a  
12 note.

13 MS. FRANCO: So there is two items,  
14 one to No. 1 under public hearing procedure and  
15 then another to No. 6 under ground rules for  
16 speaking at public hearings.

17 MR. KOPP: Right.

18 MR. RUFFOLO: Those are the only two  
19 edits?

20 MS. FRANCO: Those are the only two  
21 edits unless we want to state that time limit.

22 MR. RUFFOLO: That's where I was  
23 going with my question exactly. Are we not going  
24 to define a time limit?

1                   MR. KOPP: It says, and I am happy to  
2 do that, but in No. 6, it says time for each  
3 speaker may be limited by the chairman if  
4 announced at the outset of the public hearing.

5                   MS. FRANCO: Where is that?

6                   MR. KOPP: No. 6 of the public  
7 hearing procedure, the second paragraph. Did you  
8 want to be more specific? Did you want to make it  
9 mandatory?

10                  MR. RUFFOLO: I personally would  
11 prefer setting a limit, and then if we choose to  
12 void or suspend that rule, that we do so; but I  
13 think when we hold a hearing that we know is going  
14 to be well attended, the folks should know what  
15 the expectation is at the front end, what their  
16 limitations are. And then if we want to amend  
17 that, we can, for that evening. Generally, those  
18 people that will be attending on a regular basis  
19 will know what this Commission's guidelines are  
20 when they enter the room that they're allowed to  
21 speak for three minutes, they're not allowed to be  
22 repetitive, and they will not be allowed to speak  
23 again until everyone else has been heard.

24                  MR. KAUCKY: I agree.



1                   MR. WAGNER: I would agree. I think  
2                   that I would rather suspend it because if we leave  
3                   it open, it would almost have to have a discussion  
4                   before the hearing took place to decide what that  
5                   time was. I would rather have the time limited  
6                   and then if we choose to unlimit it, then there is  
7                   no question before the meeting on what the rule  
8                   is.

9                   MR. KAUCKY: I agree.

10                  MR. RUFFOLO: Again, any of these  
11                  suggestions that are coming from us at this point  
12                  in time I think should be subject to the Village  
13                  attorney's review. We don't want to be outlining  
14                  a process that is not going to meet with their  
15                  acceptance, legal acceptance.

16                  MS. FRANCO: And yeah. Coming away  
17                  from this meeting, instead of having a vote  
18                  tonight, I can take this draft that we marked up,  
19                  review it with the Village attorney, send it out  
20                  again with the statement that he finds no flaws  
21                  with it, or he does, and we can review it at the  
22                  next meeting.

23                  MR. KOPP: All right. So the Village  
24                  Board, I think, has a three-minute requirement, or

1 at least they used to.

2 MS. FRANCO: They do. But that's not  
3 a public hearing.

4 MR. KOPP: Right. That's what I'm  
5 concerned about. All right. So that change,  
6 then, I think would be in Paragraph 6. The  
7 parenthetical time for each speaker will be  
8 limited to three minutes. And I leave it at that.

9 MR. SOUKUP: Good.

10 MS. FRANCO: Okay.

11 MR. WAGNER: I think it is the  
12 absolute rare occasion that we will have to  
13 enforce any of this. I look back on this. In my  
14 mind, there has only been two public hearings that  
15 tended to get a little bit controversial.

16 MR. KOPP: And we went ten years with  
17 none. Both in the past year.

18 MR. WAGNER: Yeah.

19 MR. KOPP: All right. That's it for  
20 that issue.

21 Obviously, no visitor  
22 business. Communications. As I mentioned, I  
23 believe Bernie resigned because he sold his house  
24 and is no longer living in Willowbrook. So I told

1 him to move back. When he does, we will get him  
2 back. And I assume the mayor is looking for a  
3 replacement.

4 MS. FRANCO: Yes.

5 MR. KOPP: You sort of feel like  
6 telling these people, you get all fired up. Why  
7 don't you -- we all volunteer. I don't know if  
8 you contacted the mayor or the mayor contacted  
9 you. We all volunteered. Why don't you  
10 volunteer? But they're not interested.

11 Anna, did you have any  
12 communications?

13 MS. FRANCO: There is no upcoming  
14 zoning petitions that I know of, formal petitions.  
15 I have been working with the owners of -- the  
16 owner of the lot next to Ashton Place and the  
17 owner of the shopping center to kind of work  
18 through that parking disagreement; and to this  
19 point, it's sort of a feud at this point to try  
20 and come to some resolution to move forward with  
21 either the Midwest Badminton Club proposal or a  
22 new proposal of some sort. But they seem to have  
23 hit a standstill at this point, and I'm not sure  
24 if Midwest Badminton Club wants to proceed to get

1 zoning approval, which is disappointing, but  
2 they've kind of had enough of this back and forth  
3 between the two property owners. I am unsure  
4 where that is right now. I'm hoping that they can  
5 proceed, you know. Because they did get positive  
6 feedback from the Plan Commission back in January  
7 and as you may have noticed, and Roy just showed  
8 me a little sticky note, there is a fence on the  
9 lot next to Ashton Place at the parking area, or  
10 at least a portion of it. Steve Heinich, the  
11 owner of that property, submitted a permit to Roy,  
12 which was approved to put a fence up on all but 38  
13 spaces of that 129-space lot. 38 spaces is what  
14 they're entitled to per that parking agreement  
15 between the two property owners. So it's kind of  
16 a strong statement being made by Mr. Steve  
17 Heinich. So yeah, that's the most recent  
18 development.

19 MR. WAGNER: Good.

20 MR. KOPP: Do they need more spaces  
21 when they have big events at Ashton Place?

22 MS. FRANCO: They are -- so the  
23 shopping center is required to meet a minimum  
24 parking requirement of like 300 -- I think it's

1 386 spaces. I was reviewing it today. They  
2 cannot meet that requirement without the adjacent  
3 property.

4 MR. KOPP: I mean was putting this  
5 fence effective? Does that mean there is people  
6 that can't park when they have a big wedding?

7 MS. FRANCO: They can park in the 38  
8 spaces, but I'm not familiar with parking during  
9 those big events. Roy.

10 MR. GIUNTOLI: I would say the  
11 parking lot that's -- the full parking lot that's  
12 behind the adjacent property has many parking  
13 spaces. 100 place, 110 plus. So he blocked off  
14 maybe about 60, 70 of them. The minimum amount  
15 that they need to have is still there. But I  
16 guess what he's saying is okay, fine, if I agree  
17 to letting you use these 35 at one point, fine.  
18 But you're not going to use 36. And I'm closing  
19 off all the rest of them.

20 MR. KOPP: Is that really going to do  
21 anything, is my point?

22 MR. GIUNTOLI: It might if they have  
23 a larger event.

24 MR. WAGNER: It will force someone's

1 hand.

2 MR. GIUTOLI: It will force someone's  
3 hand. They may have a larger event, standing room  
4 event at Ashton Place, and then suddenly you will  
5 have a lot more bodies there, a lot more cars. It  
6 could overflow out into the street or, like you  
7 said, force somebody's hand. So it's definitely  
8 done to force --

9 MR. WAGNER: Clearly.

10 MR. GIUNTOLI: -- clearly to force  
11 someone's hands. That's our opinion. But he did  
12 propose at first a noncompliant fence, and we made  
13 him go back to the drawing board and come back  
14 with a compliant one, which clearly indicated he  
15 didn't care if people walk onto the property. He  
16 only cares if cars go into that section of the  
17 parking lot. So, again, clearly what it was for  
18 was established.

19 MR. WAGNER: Pete's Fresh Market.  
20 Are we going to tear up Plainfield Road and Route  
21 83 soon?

22 MR. GIUNTOLI: I had a conversation  
23 with Eugene, the site superintendent. He says  
24 that tentative plans to start road construction is

1 late July with a three-month estimated time of  
2 completion.

3 MS. FRANCO: What?

4 MR. SOUKUP: July?

5 MR. WAGNER: Really?

6 MR. RUFFOLO: When are they thinking  
7 this thing is going to open, about three years  
8 from now?

9 MR. GIUTOLI: We have no hard date.

10 MR. WAGNER: They can't open up  
11 unless the road improvements are in.

12 MR. GIUTOLI: They can't open it  
13 until the road improvements are in.

14 MR. WAGNER: That's why I'm wondering  
15 why we haven't dug up the street.

16 MR. GIUNTOLI: Because I believe he  
17 just recently received IDOT approval, like two  
18 days ago.

19 MS. FRANCO: It must have been.

20 MR. GIUNTOLI: You saw the emails  
21 going around. I think he just received --

22 MR. WAGNER: Did they resolve the --

23 MR. GIUTOLI: For the time being.

24 MR. WAGNER: -- northwest corner?

1 MS. FRANCO: Yes. Well, yeah. Like  
2 Roy said, for the time being. They did execute a  
3 lease agreement for that property for five or so  
4 years because IDOT wouldn't let them buy that  
5 property outright for some reason. So it's like a  
6 lease-to-buy agreement.

7 MR. GIUNTOLI: Again, there is other  
8 emails. There could be reasons why, IDOT's method  
9 to their madness.

10 MR. WAGNER: So they have to  
11 reconfigure the retention pond in the office park?

12 MR. GIUNTOLI: No. I think it has to  
13 do with what improvements may occur on Kingery in  
14 the future.

15 MS. FRANCO: If they want to widen  
16 the roadway.

17 MR. GIUNTOLI: If they want to widen,  
18 they're not sure who is going to own what or  
19 whatever. I think they wanted to keep the ball  
20 moving for the Pete's Fresh Market development.  
21 So rather than outright sale, they gave them a  
22 five-year lease so he can at least get going on  
23 it. And negotiations will be ongoing for the  
24 outright purchase of it once it's determined



1 everyone's use of all of that property which  
2 hasn't been -- I guess, you know, all the "I's"  
3 aren't dotted and "T's" aren't crossed yet.

4 MR. WAGNER: Maybe you'll be issuing  
5 a fence permit soon.

6 MR. RUFFOLO: Roy, could you give a  
7 high-level road construction summary of what is --  
8 for that project as to what is planned, i.e. on  
9 Plainfield, anything at 83 and anything north on  
10 83.

11 MS. FRANCO: Do you --

12 MR. GIUNTOLI: I think you would know  
13 more of it than I would. I am more in the  
14 property.

15 MR. RUFFOLO: I will redirect the  
16 question.

17 MS. FRANCO: So on Plainfield Road,  
18 which is under the jurisdiction of DuPage County,  
19 they are planning a signal -- do you know where  
20 that existing access is to the Kmart on  
21 Plainfield?

22 MR. RUFFOLO: I do.

23 MS. FRANCO: They're planning a  
24 signal there as well as a turn lane. And I think

1 they're widening or some small improvement to the  
2 turn lane from Plainfield to 83 going north.  
3 There's some small improvement there. But the  
4 next major improvement -- there is essentially two  
5 big improvements. The next improvement is on 83,  
6 which, of course, is an IDOT road, which is the  
7 left turn lane into Pete's Fresh Market. So those  
8 are the two big ones. There is other small things  
9 like putting -- replacing curbs.

10 MR. GIUNTOLI: Isn't there two  
11 southbound turn lanes going to come off of  
12 Plainfield onto Kingery. Is there two southbound  
13 lanes?

14 MR. WAGNER: Yes. That's what has to  
15 happen because there's already two left turn lanes  
16 from 83 to eastbound Plainfield.

17 MS. FRANCO: So I think there's two.

18 MR. WAGNER: There's only one --

19 MR. GIUNTOLI: I recall that. Two  
20 south and two north.

21 MR. WAGNER: Correct.

22 MS. FRANCO: Yeah. I'm not sure  
23 about -- I guess I would have to check the plans a  
24 little bit but yeah. You know, I can email you

1 that separately so you can see that. But yeah.

2 MR. GIUTOLI: It's that much work in  
3 this much time.

4 MS. FRANCO: Three months.

5 MR. GIUNTOLI: They said three  
6 months.

7 MR. RUFFOLO: Roy/Anna, there was  
8 conversation about limiting access at 83 and  
9 Plainfield with bollards to turn into or prevent  
10 turning into the Wendy's when you're westbound.

11 MR. WAGNER: Good.

12 MR. RUFFOLO: It was good. I'm  
13 asking. You guys are the professionals. That was  
14 the discussion point that had been brought up.

15 MR. GIUTOLI: Because I know one of  
16 the holdups was that I heard Eugene say that some  
17 of their improvements go quite a bit west of 83.

18 MR. RUFFOLO: Yes.

19 MR. GIUTOLI: Which could include  
20 just that.

21 MR. RUFFOLO: Yes.

22 MR. GIUTOLI: So you wouldn't be able  
23 to turn into it. Because I think there is two  
24 lanes going north of there or a curb.

1                   MR. WAGNER: But the county typically  
2 goes with a curb instead of the things because  
3 they get run over. A maintenance item.

4                   MR. GIUNTOLI: Why don't you follow  
5 up.

6                   MS. FRANCO: I'll follow up with you  
7 on this.

8                   MR. GIUTOLI: Copy me on the email.

9                   MR. RUFFOLO: I would appreciate  
10 that.

11                  MR. GIUNTOLI: If I would have known,  
12 I would have brought the plans along.

13                  MR. WAGNER: The only other question  
14 I have: What's going on with the bowling alley?

15                  MS. FRANCO: We actually had a few  
16 proposals -- not a few. One proposal that has  
17 been revised a few times for the bowling alley  
18 property to include two drive-thru restaurants and  
19 a retail space. Essentially, it was too much on  
20 one property. They didn't meet the parking  
21 standards. But the property next door, which is  
22 the TCF Bank property, they actually want to  
23 redevelop as well. So Tim -- Tim Halik, he  
24 contacted both to see if they would be interested

1 in doing a joint PUD to develop both those  
2 properties simultaneously so that they had cross  
3 access, maybe some sort of shared parking; but I  
4 haven't seen any response to that email. But, you  
5 know, that was a potential plan because they both  
6 submitted something separately; but it would have  
7 worked better for both parties if they filed  
8 jointly. So it's basically drive-thru restaurants  
9 on both. Maybe something like an Oberweis was  
10 thrown out, but not so sure on the final  
11 businesses there.

12 MR. GIUTOLI: I have received  
13 correspondence from a contractor regarding the  
14 demo of the bowling alley building. Tentatively  
15 they have it scheduled for late August, but I've  
16 seen no documentation as of this time, application  
17 for permit.

18 MR. RUFFOLO: As long as we're giving  
19 our wish list, are there any updates on the  
20 tenancy in the outlot at that intersection?

21 MR. GIUNTOLI: Yes.

22 MS. FRANCO: I'm not sure.

23 MR. GIUNTOLI: I've heard it's a  
24 breakfast and lunch restaurant is still going in.

1 We heard that Firehouse Subs is still interested  
2 in going in. There is a permit application in  
3 plan review for an AT&T retail store in there, and  
4 we've heard rumors of, believe it or not, a nail  
5 salon.

6 MR. SOUKUP: What?

7 MR. GIUNTOLI: A nail salon. So I  
8 think there is six units in there so that would be  
9 four of them. The other two have items written  
10 on. I think one just says retail space. The  
11 other one does have something written in there,  
12 but I've heard nothing in stone that was actually  
13 going to go through, and I can't remember what it  
14 was.

15 MS. FRANCO: Okay.

16 MR. KAUCKY: One last thing on the  
17 Pete's Fresh Market. What is the anticipated  
18 opening year?

19 MR. WAGNER: There isn't one.

20 MR. KAUCKY: Not even a year?

21 MR. GIUNTOLI: I would say next year.  
22 Everyone wants it this year, but I don't think  
23 that's realistic. The developer that Pete's Fresh  
24 Market -- their development, their realty

1 company --

2 MS. FRANCO: PM Realty.

3 MR. GIUNTOLI: -- has been from a  
4 construction standpoint notoriously  
5 slow to the point where other communities have  
6 like gone after them to speed things up. So it  
7 would be no surprise to me if we end up having to  
8 do that, too. But things are moving along, all  
9 things considered. It's unfortunate that  
10 he's chopped his submittal up in so many little  
11 places -- in so many different pieces that it's  
12 hard to keep them all under place. But we've  
13 allowed him to do it, and we'll do our best to  
14 keep track of them.

15 MR. RUFFOLO: Thank you.

16 MR. GIUTOLI: You're welcome. One  
17 quick question. Are we continuing that public  
18 hearing?

19 MR. KOPP: That's a good question.  
20 Will someone make a motion to continue the Plan  
21 Commission hearing to consider public hearing  
22 guidelines to our next meeting. Although, I ask  
23 that we don't hold a meeting just to consider  
24 that.

1 MS. FRANCO: Okay. Yeah. I will  
2 keep that to the next.

3 MR. KOPP: The next meeting when  
4 there is another application. Will someone make  
5 that motion.

6 MR. WAGNER: So moved.

7 MR. KAUCKY: Second.

8 MR. KOPP: Ask the Plan Commission  
9 secretary to call the roll.

10 MR. GIUNTOLI: Commissioner Soukup.

11 MR. SOUKUP: Yes.

12 MR. GIUTOLI: Commissioner Ruffolo

13 MR. RUFFOLO: Yes.

14 MR. GIUTOLI: Commissioner Kaucky.

15 MR. KAUCKY: Yes.

16 MR. GIUTOLI: Vice Chairman Wagner.

17 MR. WAGNER: Yes.

18 MR. GIUNTOLI: Chairman Kopp.

19 MR. KOPP: Yes. So we will make a  
20 motion to adjourn.

21 MR. SOUKUP: I will make that motion.

22 MR. WAGNER: Second.

23 MR. KOPP: All in favor say "aye."

24 ALL COMMISSIONERS: Aye.



1 (Which were all the  
2 proceedings had in the  
3 above-entitled cause.)  
4

5 (Whereupon the hearing ended  
6 at 8:01 p.m.)  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24

1 STATE OF ILLINOIS )  
2 )  
3 COUNTY OF COOK )  
4

5 I, MARY WOOLSEY, C.S.R., do hereby  
6 certify that I am a court reporter doing business  
7 in the City of Chicago; that I reported in  
8 shorthand the testimony given at the  
9 above-entitled hearing on June 7, 2017; and that  
10 the foregoing is a true and correct transcript of  
11 my shorthand notes so taken as aforesaid.  
12  
13  
14

15 Certified Shorthand Reporter

16 Illinois C.S.R. License No. 084-002894  
17  
18  
19  
20  
21  
22  
23  
24

1 STATE OF ILLINOIS }

2 COUNTY OF COOK }

3  
4 I, MARY WOOLSEY, C.S.R., do hereby  
5 certify that I am a court reporter doing business  
6 in the City of Chicago; that I reported in  
7 shorthand the testimony given at the  
8 above-entitled hearing on June 7, 2017; and that  
9 the foregoing is a true and correct transcript of  
10 my shorthand notes so taken as aforesaid.

11  
12  
13  
14   
15 Certified Shorthand Reporter

16 Illinois C.S.R. License No. 084-002894  
17  
18  
19  
20  
21  
22  
23  
24



**Village of Willowbrook**  
Staff Report to the Plan Commission

**Plan Commission Date:** April 4, 2018

**Prepared By:** Natalie Zine, Planning Consultant

**Case Title:** Hinsdale Animal Cemetery PUD

**Petitioner:** Bill Remkus, 6415 Western Ave, Willowbrook, IL 60527.

**Action Requested:** Consideration of a petition for a Special Use Permit for a Planned Unit Development with an Animal Cemetery use, to rezone a portion of the subject property from the R-1A Zoning District to the R-1 Zoning District, for approval of a Preliminary Plat of PUD, for approval of a Final Plat of Subdivision, and for consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.

**Purpose:** To allow the petitioner (Mr. Bill Remkus) to expand his Animal Cemetery business and to improve his property with new buildings and site modifications.

**Location:** South of 63<sup>rd</sup> Street, East of Western Avenue.

**PINs:** 09-22-201-001, 09-22-201-004, 09-22-201-005, 09-22-201-010, 09-22-201-011, 09-22-201-013, 09-22-201-021, 09-22-201-022

**Existing Zoning:** R-1 Residential and R-1A Residential

**Proposed Zoning:** R-1 Residential

**Existing Land Use:** Pet Cemetery

**Property Size:** 10.02 Acres

**Surrounding Land Use:**

	Use	Zoning
North	Single Family Residential	R-1
South	OUTSD. & Single Family Residential	R-1, R-2
East	Single Family Residential	R-1, R-2
West	Single Family Residential	R-1, R-2

**Necessary Action by Plan Commission:** Open Public Hearing, accept testimony, and approve a recommendation to the Village Board



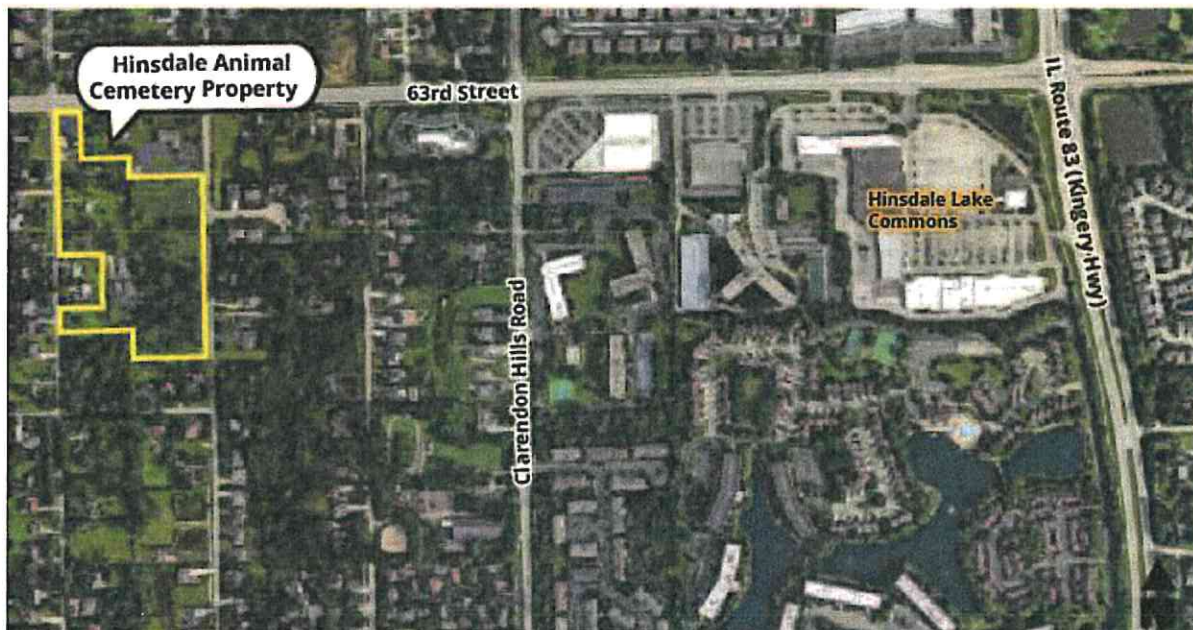
#### Documents Attached:

1. Legal Description
2. Hinsdale Animal Cemetery Site Plan, *dated 2-14-17, 1 sheet*
3. Hinsdale Animal Cemetery Preliminary and Final PUD Plat, *dated 12-14-17, 1 sheet*
4. Hinsdale Animal Cemetery Final Plat of Subdivision, *dated 2-12-18, 2 sheets*
5. Hinsdale Animal Cemetery Architectural Plans, *dated 6-3-17, 2 sheets*
6. Hinsdale Animal Cemetery Final Engineering Plans, *dated 2-13-18, 6 sheets*

#### Site Description

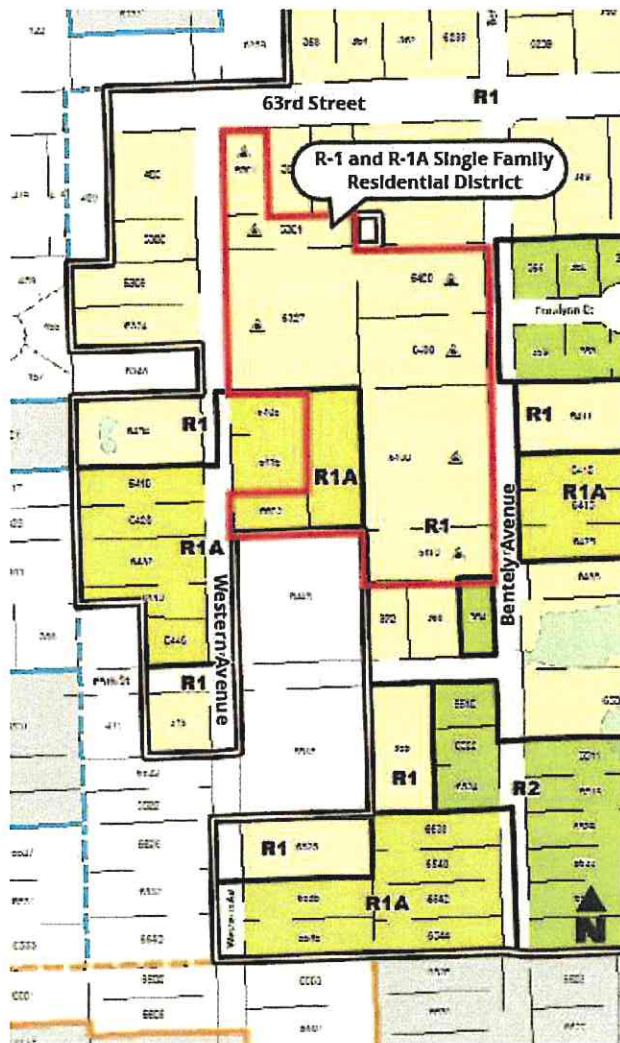
The subject property is located at 6400 Bentley Avenue, in Willowbrook, IL. The total site consists of a total of 10.02 acres. It is situated south of 63<sup>rd</sup> Street and is bordered by Bentley Avenue on the east and Western Avenue on the west. The property is zoned R-1 and R-1A Single Family Residential and is surrounded by properties also located in the R-1, R-1A, or R-2 Single Family Residential Districts to the north, east, west, and south, as well as unincorporated property to the south. The subject property is located within various subdivisions as illustrated in exhibit 3.

#### Exhibit 1: Location Map (N^)





**Exhibit 2: Zoning Map**



**Exhibit 3: Subdivision Map**



**Table 1: Properties Included in the Hinsdale Animal Cemetery**

PIN	Acreage	General Description	Brief Legal Description
09-22-201-001	0.46	Fire Station Property w/ Bldg.	DARROWS RESUB, Lot 3
09-22-201-004	0.57	Fire Station Property	DARROWS RESUB, Lot 4
09-22-201-005	2.27	Garage	RICHFIELD FARMSITES, Lot 15
09-22-201-010	1.14	Cemetery	RICHFIELD FARMSITES, Lot 2
09-22-201-011	1.14	Cemetery	RICHFIELD FARMSITES, Lot 2
09-22-201-022	3.22	Main Cemetery Buildings	REMKUS RESUBDIVISION, Lot 4
09-22-201-013	0.83	Cemetery	RICHFIELD FARMSITES, Lot 4
09-22-201-021	0.40	Property south of residences	REMKUS RESUBDIVISION, Lot 3



## Development Proposal

### Request

The Applicant Bill Remkus is proposing a Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; a rezoning of one (1) parcel from R-1A to R-1; a Final Plat of Subdivision and a Preliminary and Final Plat of PUD for the Subject Property as legally described in Attachment 1.

Mr. Remkus already owns the subject property, most of which has already been granted a special use permit for a pet cemetery use. The exception is Lot 3 of the 98' Remkus Resubdivision which does not currently have a special use. That property is also the only property within the PUD that is currently zoned R-1A. The applicant is requesting a rezoning for that parcel so that the special use may be extended to include that parcel and also to create planned development with one cohesive underlying zoning district.

It was recommended by the Village that Mr. Remkus petition for a planned unit development for the entirety of his property to allow for more flexible and efficient development of the land. Mr. Remkus is not requesting any substantial change in the land use or intensity. Rather, the planned unit development will allow him to expand his business and construct a few new buildings as they are needed for additional office/storage space.

### Summary of Requests:

1. Special Use Permit for a Planned Unit Development w/ a Pet Cemetery Use including certain relief, exceptions, and waivers Title 9 and Title 10 of the Village Code
2. Consolidation/Resubdivision of the Subject Property
3. Map Amendment and Rezoning of original "Remkus Resubdivision Lot 3" and a portion of "Remkus Resubdivision Lot 4" from R1-A to R-1

### Overview

Hinsdale Animal Cemetery was started in 1926. It has been in the Remkus family since 1950 and is now in its 4<sup>th</sup> generation of family operation. The Remkus family has lived on the grounds of the cemetery for over 70 years. The cemetery is the final resting place for over 30,000 pets of all breeds and species. In addition to burials, the cemetery services some of Chicagoland's best veterinarians by providing cremation services and memorial products to grieving families.

In pursuing the Planned Unit Development, Hinsdale Animal Cemetery intends to add space to complete memorial products and the post-cremation packaging process. Hinsdale Animal Cemetery plans to preserve as much open space as possible in order to maintain the tranquil and peaceful ambiance of the existing grounds and the sanctuary this provides for visitors, clients and neighbors alike. Mr. Remkus often sees the neighbors out for leisurely weekend strolls through the grounds with their families and pets and would like to keep this wonderful aspect of the cemetery intact. *"For 92 years, the cemetery has provided a wonderful place for grieving families while adding something historically invaluable to the village."*



## Staff Analysis

### History

As previously stated the Hinsdale Animal Cemetery has existed since 1926. The cemetery was annexed into the Village in 1980 and zoned R-1 with a special use to permit the continued use of the property for "certain detached single-family dwelling units, a landscaping and snow removal business and in part as a pet cemetery." (Ordinance 80-O-51). The complete legislative history can be seen in Table 4.

The cemetery originally included all of original lots 2, 3, 14, and 15; and the north half of Lot 4 of the Richfield Farmsites subdivision. In 1998, the Petitioner filed an application for a subdivision and rezoning to subdivide Lots 3 and 14 into a new 4 lot subdivision with 3 lots fronting on Western, and a new Lot 4 to the rear, with frontage on Bentley to the east. In 1999 additional property (Lot 15 of Richfield Farmsites) was annexed into the Village and added to the Hinsdale Animal Cemetery property. And finally, in 2007 the Tri-State Fire building property was annexed into the Village and purchased by Mr. Remkus.

**Table 2: Legislative History**

Legislative History					
Date Approved	Ord. #	County Rec. #	Doc. Type	Brief Description	Summary
9/22/1980		R1980-79530		Annexation Agreement	(Pre-Annexation Agreement)
11/24/1980	80-O-50	R1980-79531	Ordinance	Annexation	An ordinance annexing property newly annexed to the Village of Willowbrook - George and Alice Remkus and William and Mae Dykema
	80-O-50				PLAT OF ANNEXATION
11/24/1980	80-R-29	R1980-79529	Resolution	Annexation Agreement	A resolution authorizing the President and Village Clerk to enter into a certain Annexation Agreement - George and Alice Remkus and William and Mae Dykema
11/24/1980	80-O-51	R1980-79532	Ordinance	Zoning	An ordinance zoning land newly annexed to the Village of Willowbrook, DuPage County, Illinois - George and Alice Remkus and Mae Dykema - 6400 block Western Avenue
5/11/1983	83-O-24		Ordinance	Variation	An ordinance granting a certain variation, William Remkus, 6415 Western
6/22/1998	98-O-20		Ordinance	Rezoning, Variation	An ordinance rezoning certain territory and granting certain variations from the subdivision regulations--6405 and 6415 western avenue -- Remkus Resubdivision
6/22/1998	98-R-28	R1998-164322	Resolution	Preliminary Plan & Plat	A resolution approving the Preliminary and Final Plats of Remkus Resubdivision - 6405 and 6415 Western Avenue
	98-R-28				PLAT OF RESUBDIVISION
1/25/1999	99-O-19	R1999-162721	Ordinance	Annexation	An ordinance annexing territory to the Village of Willowbrook - Western Avenue - South of the intersection of 63rd Street and Western Avenue
	99-O-19				PLAT OF ANNEXATION
12/13/1999	99-R-51	R2000-009600	Resolution	Plat of Easement	A resolution authorizing the President and Village Clerk to execute a certain Plat of Easement - 6301 S. Western Avenue
6/23/2003	03-O-15		Ordinance	Amend. to the Special Use	An ordinance amending Special Use Permit No. 80-51 as approved in Ordinance No. 80-O-51 - Hinsdale Animal Cemetery - 6327 Western Avenue
11/26/2007	07-O-31	R2007-213644	Ordinance	Annexation	An ordinance annexing territory to the Village of Willowbrook - Tri-State Fire Protection District
	07-O-31				PLAT OF ANNEXATION
11/26/2007	07-R-60	R2007-213643	Resolution	Annexation Agreement	A resolution authorizing the President and Village Clerk of the Village of Willowbrook to enter into a certain Annexation Agreement - Tri-State Fire Protection District



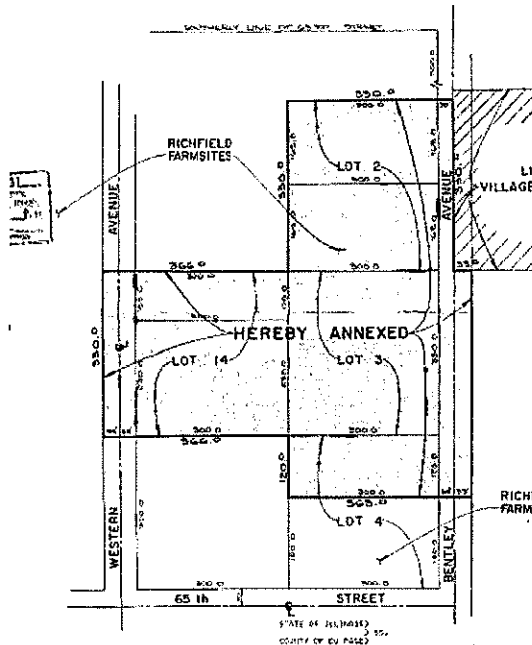


### Annexation and Subdivision History – Hinsdale Animal Cemetery

11/24/1980

**Exhibit 4: Ordinance 80-O-50 (R1980-79531)**

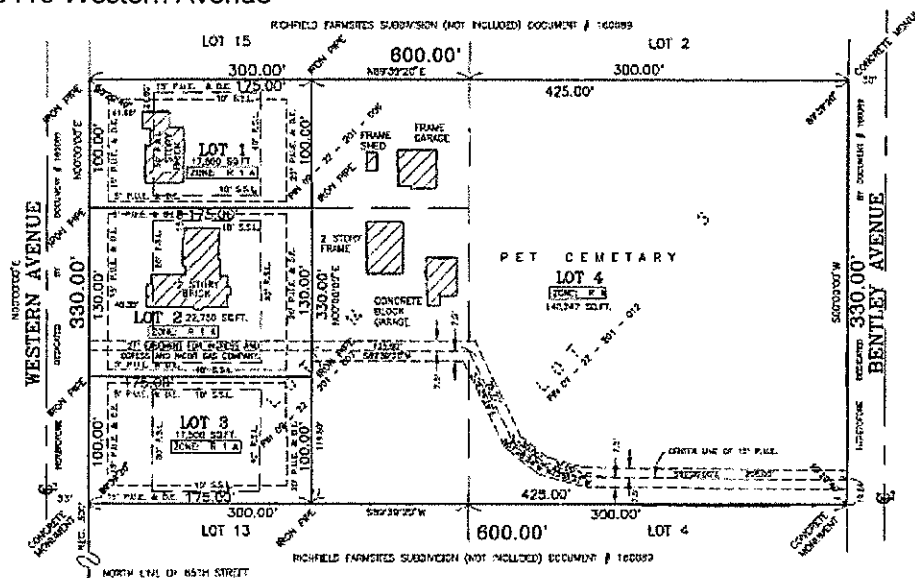
An ordinance annexing property newly annexed to the Village of Willowbrook - George and Alice Remkus and William and Mae Dykema



6/22/1998

**Exhibit 5: Resolution 98-R-28 (R1998-164322)**

A resolution approving the Preliminary and Final Plats of Remkus Resubdivision - 6405 and 6415 Western Avenue

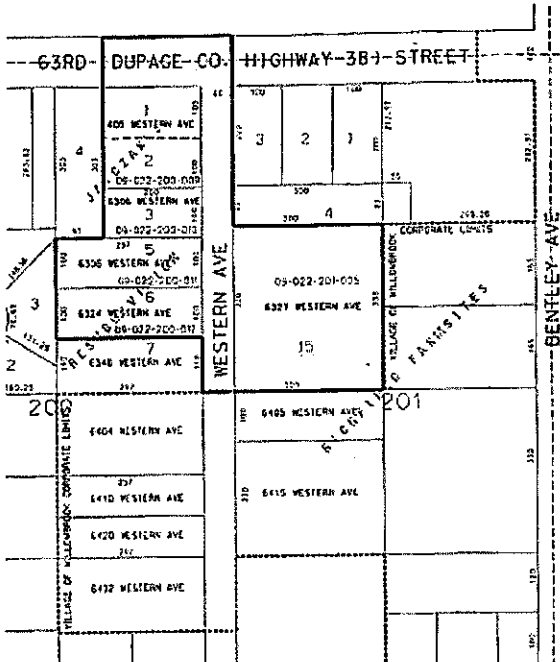




1/25/1999

**Exhibit 6: Ordinance 99-O-19 (R1999-162721)**

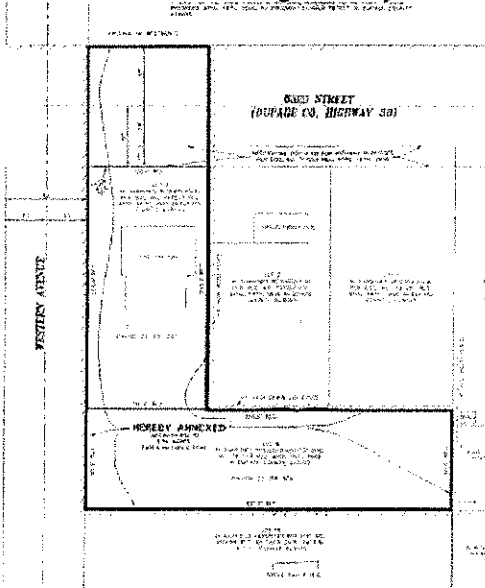
An ordinance annexing territory to the Village of Willowbrook - Western Avenue - South of the intersection of 63rd Street and Western Avenue



11/26/2007

**Exhibit 7: Ordinance 07-O-31 (R2007-213644)**

An ordinance annexing territory to the Village of Willowbrook - Tri-State Fire Protection District

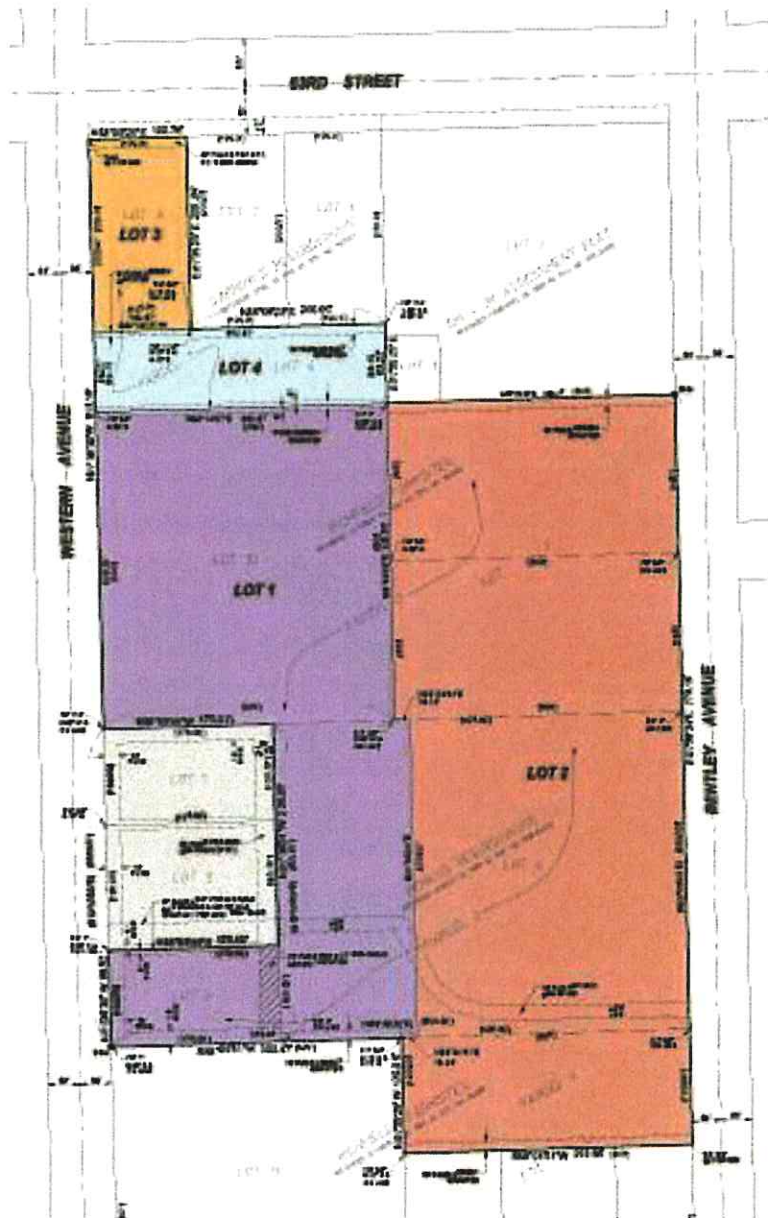




### Plat of Subdivision/Consolidation

Due to the nature and location of proposed buildings per the Hinsdale Animal Cemetery PUD Plat, it was recommended that Mr. Remkus consolidate a few of the lots on his property to eliminate buildings being constructed over existing lot lines (building addition #3). The proposed resubdivision can be seen below. Note that the area in grey are Mr. Remkus' residential properties and are not included in the PUD. The applicant is also requesting that Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.

### **Exhibit 8: New Plat of Resubdivision**





### Rezoning of Certain Property

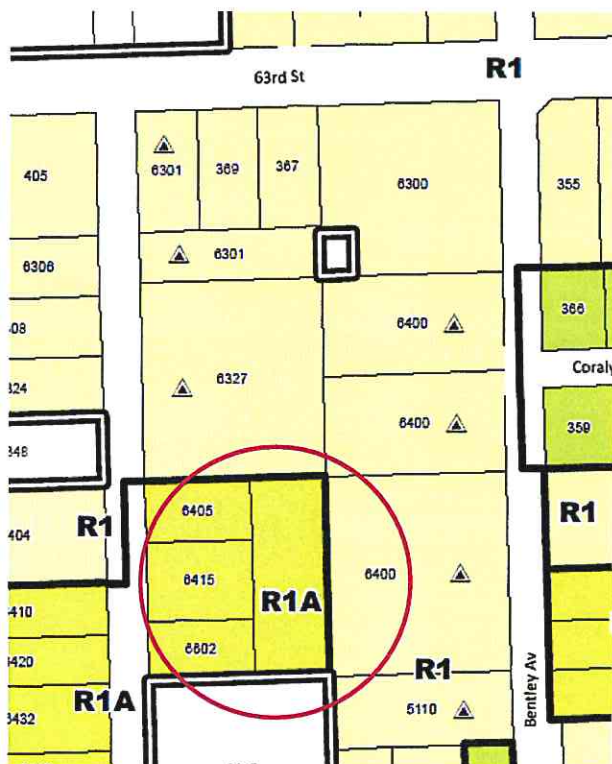
In addition to the rezoning "Remkus Resubdivision Lot 3" from R-1A to R-1. A portion of "Remkus Resubdivision Lot 4" was mistakenly zoned R-1A in 1998 and needs to be corrected.

In 1998, the Petitioner filed an application for a subdivision and rezoning. The preliminary and final plat document attached with the application correctly showed the legal description to subdivide Lots 3 and 14 into a new 4 lot subdivision ("Remkus Resubdivision") with 3 lots fronting on Western, and a new Lot 4 with frontage on Bentley to the east. The written legal description in the application form, however, listed a legal description of Lots 3 and 4 (instead of 14).

The application only listed one legal description for both the Plat of Subdivision and the rezoning, even though it's assumed the intent was only to rezone the new smaller residential lots from R-1 to R-1A and leave the larger lot to the east zoned R-1. The preliminary and final subdivisions plat was later approved by resolution with the correct legal description for the subdivision shown on the plats. The R-1A designation on this map was drawn with an eastern boundary that is offset to the west from the common lot line between lots 3 and 14.

Legal counsel has advised that it is necessary to correct the previous error in the legal description so that the actual zoning matches the original intent AND it is correctly depicted on the zoning map.

#### **Exhibit 9: Rezoning of R-1A to R1**







## PUD with a Pet Cemetery Use

### Appropriateness of Use

The majority of the subject property has been owned and run as a pet cemetery since its Annexation in 1980 and has been an asset to the community since. This PUD will not change the existing use of the Subject Property but rather allow the petitioner more flexibility in the development of the land as his business expands. Moreover, a Pet Cemetery is permitted as a Special Use in the R-1 Single Family district per section 9-5A-2 of the Zoning Ordinance. A planned until development for a pet cemetery is therefore an appropriate use.

### Comprehensive Plan

According to the Comprehensive Land Use Map, the Subject Property is designated as low-density residential. A pet cemetery is in compliance with the comprehensive plan.

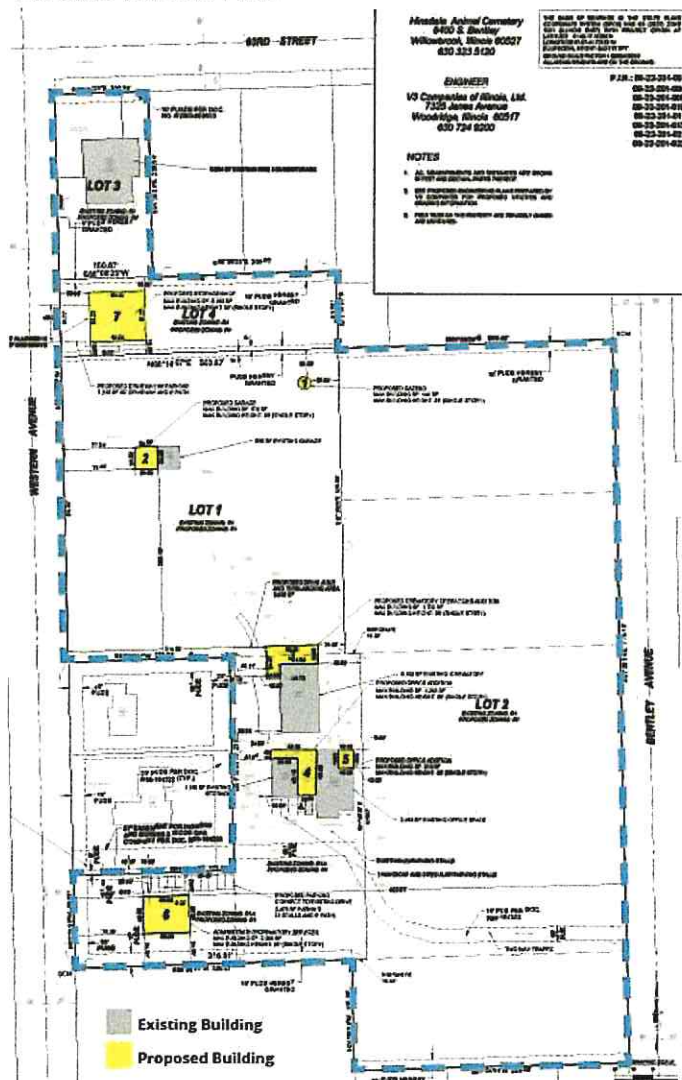
### Site Plan Breakdown

The proposed site plan indicates:

- two (2) new buildings (Bldg. #7 on New Lot 4; and Bldg. #6 on New Lot 1);
- four (4) new building additions (Add. #2, #3, #4, and #5 on New Lot 1);
- and one (1) gazebo (Bldg. #1 on New Lot 1).

This site plan is designed to illustrate the maximum allowances for each building and/or building addition. That is to say, the applicant is not required to construct each building or addition exactly as is depicted on the site plan. This site plan allows Mr. Remkus to build anywhere within the illustrated footprints. He may choose to construct smaller sized buildings/additions and may adjust the exact location of each to some extent, so long as each structure remains within the designated lines on the plat. The intent of approving a site plan and plat of this nature is to allow for some flexibility in the development of the property and to minimize the need for PUD amendments in the future.

### Exhibit 10: Site Plan





### Bulk Requirements

The R-1 Zoning District bulk regulations are outlined in the table below. Items in blue require certain relief, exceptions or waivers from the code.

**Table 3: R-1 Zoning District Bulk Regulations**

R-1 Zoning District						
Item	Code Section	Code Requirement	Lot 1 Proposed	Lot 2 Proposed	Lot 3 Proposed	Lot 4 Proposed
Minimum Lot Area (acres)	9-5A-3(A)	30,000 SF	163,401	228,030	20,149	25,021
Minimum Lot Width	9-5A-3(B)	100'	OK	OK	100'	83.22'
Minimum Lot Depth	9-5A-3©	150'	125'	approx. 280'	200'	approx. 300'
Minimum Front Yard Setback	9-5A-3(D)	60'	40.11' (bldg. 3)	N/A	approx. 50'	32'
Minimum Interior Side Yard Setback	9-5A-3(D)	15' or 10% of lot width, whichever is greater	25'	N/A	10'	15'
Minimum Exterior Side Yard Setback	9-5A-3(D)	50'	n/a	N/A	approx. 25'	N/A
Minimum Rear Yard Setback	9-5A-3(D)	50'	9.44' (bldg. 5)	N/A	approx. 80'	approx. 205'
Maximum Lot Coverage	9-5A-3€	30%	8%	N/A	19%	13%
Maximum Height	9-5A-3(F)	35'	Not to exceed 35'	Not to exceed 35'	Not to exceed 35'	Not to exceed 35'
Maximum Floor Area Ratio	9-5A-3(G)	0.3	0.08	N/A	0.19	0.13
Special Setbacks: - 63rd Street west of Madison 100'	9-3-7(A)	100'				

**Table 4: Lot Areas**

Area Table		
Lot #	Sq. Ft.	Acres
1	163,401	3.7512
2	228,030	5.2348
3	20,149	0.4626
4	25,021	0.5744
Total	436,601	10.023

**Table 5: Total Site Data**

Site Data Chart		
Item	Existing	Proposed
Project Site Square Footage	436,601 SF	436,601 SF
Zoning	R-1/R-1A	R-1
Total Impervious Surface	39,060 SF (9%)	50,135 SF (11.5%)
Lot Coverage	0.04	0.06
Floor Area Ratio	0.04	0.06



### Certain Relief/Waivers Requested

#### **Zoning Ordinance**

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are requested:

##### **LOT 1**

1. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and fifty (150') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
2. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (60') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
3. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than fifty feet (50') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
4. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 1 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
5. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to waive the requirement that permanent peripheral screening at least five feet (5') high be constructed and maintained in interior side and rear yards adjacent to parking areas for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
6. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas and driveways in the R-1, R-1A, R-2 and R-3 Single-Family Residential Districts be improved with all-weather, hard surface pavement for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
7. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas, driveways and aisles serving nonresidential uses shall be improved with concrete barrier curb and gutter for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
8. That Section 9-10-5(G) Off-Street Parking, Design And Maintenance, be varied to waive the requirement that all open off-street parking areas having more than four (4) parking spaces shall be effectively screened along each side which faces a lot in a residential district for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
9. That Section 9-10-5(G) Off-Street Parking, Minimum Standards For Parking Spaces, Aisles And Parking Bays, be varied to permit a reduction in the minimum width of an undivided two-way driveway to less than twenty four feet (24') wide for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
10. That Section 9-10-5(G) Off-Street Parking, Lighting, be varied to waive the requirement that public off-street driveways, aisles, parking and loading facilities shall be provided with adequate illumination levels for the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

##### **LOT 3**

11. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than thirty thousand square feet (30,000 SF) for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.



12. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred feet (100') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
13. That Section 9-3-7 Specific Road Setbacks, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (100') along 63<sup>rd</sup> Street for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
14. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum interior side yard setback to less than fifteen feet (15') or ten percent (10%) of the lot width for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
15. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than fifty feet (50') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
16. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than fifty feet (50') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
17. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 3 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

#### LOT 4

18. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than thirty thousand square feet (30,000 SF) for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
19. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred feet (100') for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.
20. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum front yard setback to less than sixty feet (60') for Lot 4 of the SUBJECT REALTY, as shown on the Preliminary and Final PUD Plat.

#### **PUD Standards**

Pursuant to Section 9-13-6 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

21. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that the required yards or setbacks along the periphery of the planned unit development be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district.

#### **Subdivision Ordinance**

Pursuant to Section 10-8-7 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

22. That Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.
23. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that lot areas and widths of the SUBJECT REALTY conform to at least the minimum requirements of the zoning ordinance for the district in which the subdivision is proposed.





24. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that building setback lines within the SUBJECT REALTY conform to at least the minimum requirements of the zoning ordinance.
25. That Section 10-4-3(A) Lots, Sizes and Shapes, be varied to waive the requirement that lots within the SUBJECT REALTY avoid excessive lot depth in relation to width. A depth to width ratio of three to one (3:1) shall normally be considered a maximum.

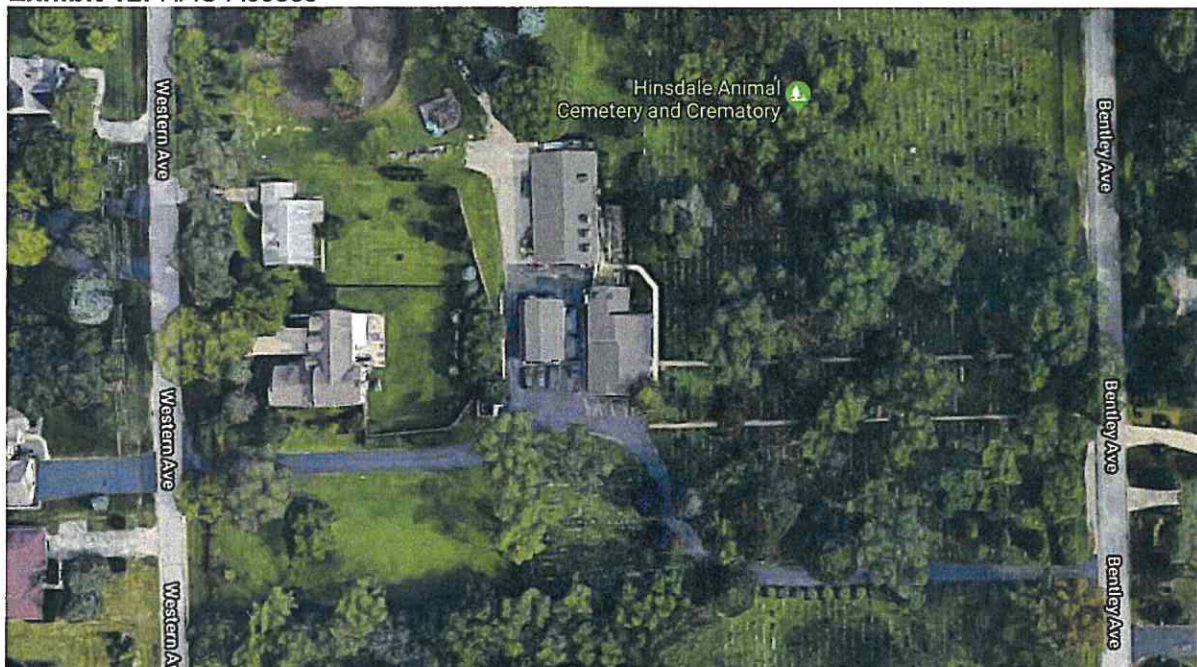
### **Parking & Access**

There are no proposed changes to access onto the site. The main entrance is on Bentley Avenue at 6400 Bentley Ave, Willowbrook, IL. There is also access from Western Avenue via an easement for a private drive and utilities that cuts through Mr. Remkus' residential property.

**Exhibit 11: HAC Main Entrance**



**Exhibit 12: HAC Access**





Mr. Remkus employs about 10 staff members, however that includes the Remkus family who park at their residences. The rest of the staff typically park by the fire house or by the garage. The average number of visitors per day is difficult to determine because it varies greatly, however visitors are usually dispersed throughout each day and do not exceed the amount of parking provided on site. An additional parking lot is proposed along proposed Building #6 that will provide eleven (11) additional spots for staff should the new office building create a need for more parking.

Staff does not predict the proposed development will have any adverse traffic impacts along 63rd Street or the surrounding neighborhoods. The Pet Cemetery is a low-impact use and will not generate high traffic. Parking requirements are outlined in the table below based on the Village Code, however "Pet Cemetery" is not explicitly listed in Section 9-10-5(K) Required Spaces. Therefore, the PUD was divided up by use according to the best match for parking requirements. While the applicant appears to be short of parking per the code, staff believes adequate parking is being provided.

**Table 6: Parking Requirements**

<b>Parking Table</b>							
<b>Bldg. #</b>	<b>Building Name</b>	<b>Use Type</b>	<b>Village Standard</b>	<b>Existing Sq. Ft.</b>	<b>Add. Sq. Ft.</b>	<b>Total Sq. Ft.</b>	<b>Req.</b>
1	Gazebo	n/a		-	144	144	-
2	Garage Addition	Storage	1 parking space for each 1.5 employees	590	576	1,166	1
3	Crematory Operations Addition	Manufacturing, fabricating, processing, storing, cleaning, testing, assembly, repairing and service establishments	1 parking space for each 1.5 employees	3,103	1,730	4,833	6.04
4	Office Space	Office	1 space/ 225 sq. ft.	2,493	1,263	3,756	16.69
5	Office Space	Office	1 space/ 225 sq. ft.	-	313	313	1.39
6	Administrative/ Crematory Services	Office	1 space/ 225 sq. ft.	-	2,000	2,000	8.89
7	Storage/Shop	Storage	See above.	-	3,193	3,193	1
n/a	Fire Station	Storage	See above.	3,894	-	3,894	1
<b>Total Required Spaces:</b>		<b>36</b>					
<b>(ADA Accessible)</b>		<b>2</b>					
<b>Total Proposed:</b>		<b>28 (w/ 2 ADA)</b>					



### Landscaping

The Village is not requiring a landscape plan however the petitioner has agreed to maintain and enhance the existing landscaping. The acting Arborist for the Hinsdale Animal Cemetery has met with Bill Remkus and will be assisting Bill with tree preservation efforts to help reduce the effects of the proposed construction project (specifically Bldg. #3) on the 30-inch diameter American Elm tree that is located directly north of the existing crematory building that is proposed to be expanded. This tree is the only landscape plant that will be affected by the construction project. Tree preservation activities that the arborist recommends include: crown pruning, root pruning, a growth regular treatment to stimulate root growth, and fertilization. I give this tree a fair chance of survival.

Mr. Remkus also intends to plant 15-20 new trees on the property this following spring. Trees to be planted will be a mixture of species that are well suited for our climate and site conditions. Exact planting locations will be determined based upon a collaboration of the arborist's recommendations, ownerships desires, and existing site conditions/improvements.

### Lighting

Applicant is requesting a waiver from the requirement to provide a photometric plan as the existing site has wall packs on all the buildings and there are no problems currently with regards to lighting as the hours of operation are from 8:00 AM to 5:00 PM.

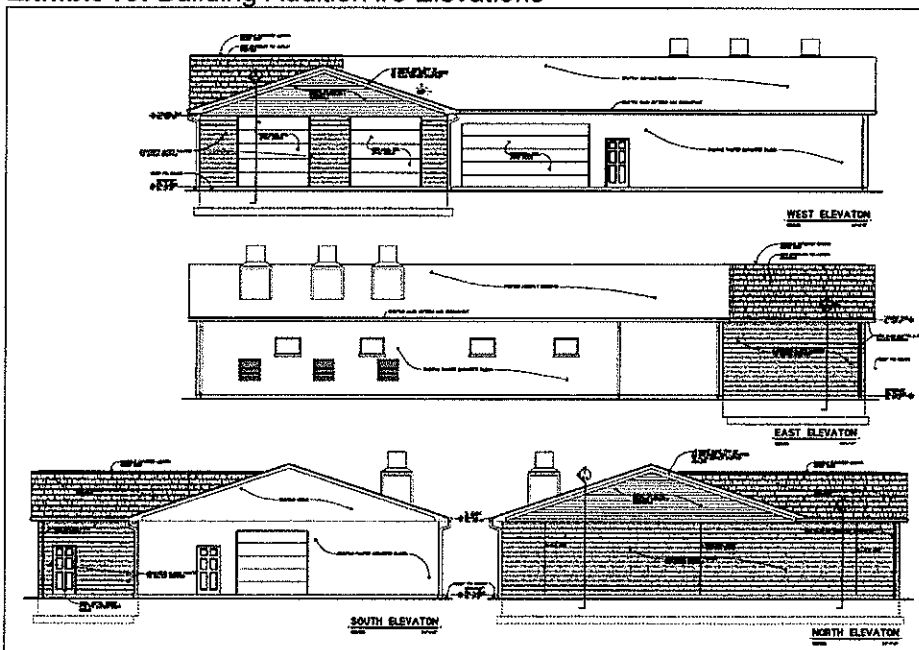
### Signage

No new signage is being proposed at this time. Any future signage changes shall comply with the Village Code and be approved by the Village.

### Elevations

Building elevations have only been provided for the Building #3 planned addition, the first addition planned to be completed this year. Architectural and engineering plans for all future construction will be reviewed internally for staff approval.

Exhibit 13: Building Addition #3 Elevations





### Standards & Findings for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

#### 9-14-5.2: Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

**Finding:** The proposed Hinsdale Animal Cemetery development will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the community. The proposed development will add office space, storage areas, and additional crematory services that will minimally change the use of the current property.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

**Finding:** The proposed Hinsdale Animal Cemetery development will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed development will add office space, storage areas, and additional crematory services that will minimally change the use of the current property.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

**Finding:** The proposed Hinsdale Animal Cemetery development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The proposed development does not change the use of the existing property and is allowed in the R-1 zoning.

- (D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

**Finding:** Adequate utilities, access roads, drainage and/or other necessary facilities will be provided within this development. There are field tiles running through the property which provide drainage. Also, as buildings are added, Stormwater management facilities will be incorporated to meet the DuPage County Stormwater and Flood Plain ordinance. No additional utilities will be required as the additions will be served through the existing buildings. Access to the site will remain from both Western Avenue and Bentley avenue. There are no additional access roads proposed.



- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

**Finding:** Ingress and egress to the proposed Hinsdale Animal Cemetery development will remain from both Western Avenue and Bentley Avenue. This development will not impact to the surrounding roadways since no additional trips will be generated from the proposed additions.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

**Finding:** The Hinsdale Animal Cemetery development is proposed to be a Planned Unit Development – R1. The Animal Cemetery is allowed under the R1 Zoning.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.**

**Finding:** There have been no substantial changes in the surrounding area, nor has there been any denial by the Village Board of any prior application for a special use permit on the project site within the past year.

#### Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) findings of fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

#### 9-13-7: Findings:

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.**

**Finding:** The proposed Hinsdale Animal Cemetery development will add office space, storage areas, additional crematory processing, and packaging services that will minimally change the use of the current property. "Pet cemeteries" are allowed as a special use in the R-1 Zoning district.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed Hinsdale Animal Cemetery development will meet the requirements for comprehensive plan, size and ownership, compatibility, storm water management facilities, yards, traffic, preservation standards, design standards, uses for PUD's greater than five acres, and other standards.



- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.**

**Finding:** The proposed Hinsdale Animal Cemetery development will not meet the requirement for space between buildings, which is an existing condition. The parking requirement will also not be met but it is our belief that parking has never been an issue and the proposed uses will not add need for additional parking.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.**

**Finding:** The proposed Hinsdale Animal Cemetery development will maintain access to the site from both Western Avenue and Bentley Avenue. There are no additional access roads proposed. The Hinsdale Animal Cemetery plans to preserve as much open space as possible in order to maintain the tranquil and peaceful ambiance of the existing grounds and the sanctuary this provides for visitors, clients and neighbors alike.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)**

**Finding:** The proposed Hinsdale Animal Cemetery development will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted. The proposed development does not change the use of the existing property and is allowed in the R-1 zoning district as a special use.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.**

**Finding:** The proposed Hinsdale Animal Cemetery development will not substantially diminish and impair property values within the neighborhood as it has maintained its use since 1926. The proposed development will add office space, storage areas, and additional crematory services that will not change the use of the current property.

- (G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed Hinsdale Animal Cemetery development does not change the use of the existing property and is allowed in the R-1 zoning district as a special use. The proposed Hinsdale Animal Cemetery has been in the Remkus family since 1950 and is now in its 4<sup>th</sup> generation of family operation. They strive to maintain great relations with the Village of Willowbrook.





### **Staff Recommendation**

Staff is supportive of the proposed petition and recommends approval of the Special Use Permit for a Planned Unit Development with a Pet Cemetery Use, including certain relief, exceptions and variations from Title 9 and Title 10 of the Village Code; the rezoning of one (1) parcel from R-1A to R-1; the Final Plat of Subdivision and the Preliminary and Final Plat of PUD for the Subject Property as legally described in Attachment 1, subject to the following conditions.

### **Conditions for Approval**

Staff recommends that the following "Conditions of Approval" be considered by the Plan Commission.

1. The hours of operation shall be limited to 8:00 am to 5:00 pm.
2. Approved uses shall be as shown on the approved plans. Future modifications to the use of any room shall be subject to administrative review to determine whether a major change amendment is required based on parking.
3. Owner shall submit architectural and engineering plans for internal review for each individual building prior to requesting a building permit or commencing construction.
4. With each new building or building addition permit application the owner shall submit a statement identifying the square footage of net new impervious area for both the current application and the cumulative total. At such time as the cumulative total reaches 2500 square feet of net new impervious area, Post Construction Best Management Practices (PCBMPs) shall be designed and constructed in compliance with Village Code.

### **Sample Motion**

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for an "Indoor Amusement Establishment, specifically an Ice Rink" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting.



Attachment 1  
Legal Description

PINs:

09-22-201-001  
09-22-201-004  
09-22-201-005  
09-22-201-010  
09-22-201-011  
09-22-201-022  
09-22-201-013  
09-22-201-021

PARCEL 1:

LOTS 3 AND 4 IN DARROW'S RESUBDIVISION OF PART OF LOT 16 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID DARROW'S RESUBDIVISION RECORDED APRIL 19, 1956 AS DOCUMENT 797057, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 2 AND 15 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

LOTS 3 AND 4 IN REMKUS RESUBDIVISION OF LOTS 3 AND 14 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1998 AS DOCUMENT R98-164322 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4:

THE NORTH 120 FEET OF LOT 4 IN RICHFIELD FARMSITES, A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



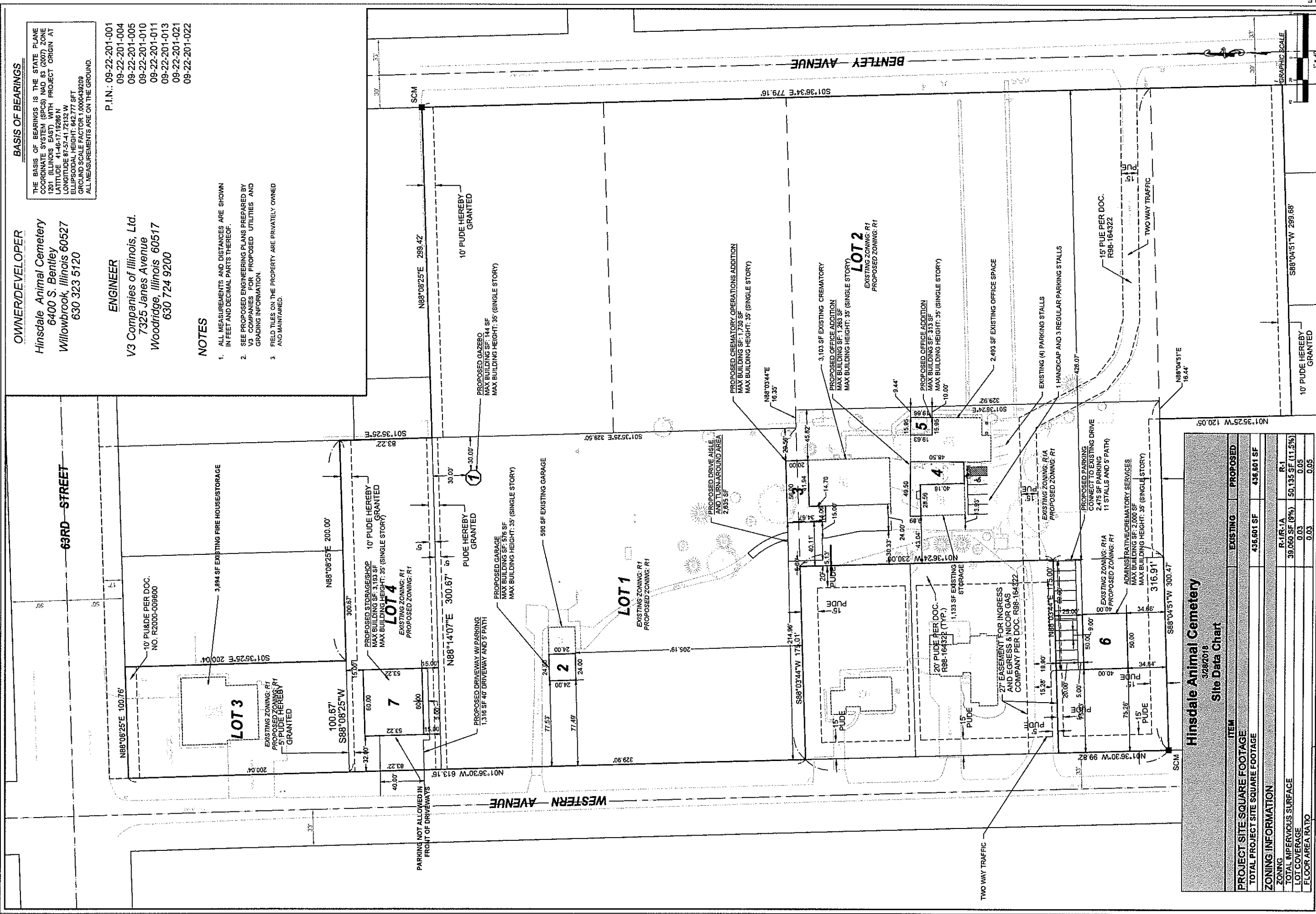


Attachment 2 Hinsdale Animal Cemetery Site Plan





Attachment 3 Hinsdale Animal Cemetery Preliminary and Final PUD Plat



BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SCS) AND B (2007) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT LATITUDE 41-46-47.19286 N LONGITUDE 87-57-41.72132 W ELLIPSOIDAL HEIGHT: 842,777 SFT GROUND SCALE FACTOR 1.0000439209 ALL MEASUREMENTS ARE ON THE GROUND.

OWNER/DEVELOPER

Hinsdale Animal Cemetery  
6400 S. Bentley  
Willowbrook, Illinois 60527  
630 323 5120

ENGINEER


V3 Companies of Illinois, Ltd.  
7325 Janes Avenue  
Woodridge, Illinois 60517  
630 724 9200

P.I.N.: 09-22-201-001  
09-22-201-004  
09-22-201-005  
09-22-201-010  
09-22-201-011  
09-22-201-013  
09-22-201-021  
09-22-201-022

NOTES

1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. SEE PROPOSED ENGINEERING PLANS PREPARED BY V3 COMPANIES FOR PROPOSED UTILITIES AND GRADING INFORMATION.
3. FIELD TILES ON THE PROPERTY ARE PRIVATELY OWNED AND MAINTAINED.

Hinsdale Animal Cemetery 3/28/2018 Site Data Chart			
PROJECT SITE SQUARE FOOTAGE		EXISTING	PROPOSED
TOTAL PROJECT SITE SQUARE FOOTAGE		436,601 SF	436,601 SF
ZONING INFORMATION			
ZONING	R-1/R-1A		
TOTAL IMPERVIOUS SURFACE	39,060 SF (9%)		
LOT COVERAGE	0.03		
FLOOR AREA RATIO	0.03		




V3 Companies  
7325 Janes Avenue  
Woodridge, IL 60517  
630 724 9200 phone  
630 724 9202 fax  
www.v3co.com

Project No: 16310  
File Name: RD\_ZONING  
Original Issue Date: 02/14/17  
Scale: 1/40

Designed By: EEF  
Drawn By: EEF  
Checked By: BCR  
Project Manager: BCR

Hinsdale Animal Cemetery 3/28/2018 Site Data Chart			
PROJECT SITE SQUARE FOOTAGE		EXISTING	PROPOSED
TOTAL PROJECT SITE SQUARE FOOTAGE		436,601 SF	436,601 SF
ZONING INFORMATION			
ZONING	R-1/R-1A		
TOTAL IMPERVIOUS SURFACE	39,060 SF (9%)		
LOT COVERAGE	0.03		
FLOOR AREA RATIO	0.03		



GRAPHIC SCALE  
1" = 40'

10' PUDE HEREBY GRANTED

10' PUDE HEREBY GRANTED

PRELIMINARY AND FINAL PLAT  
OF P.U.D.



Attachment 4 Hinsdale Animal Cemetery Final Plat of Subdivision



FINAL PLAT OF SUBDIVISION  
OF  
HINSDALE ANIMAL CEMETERY

PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38  
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

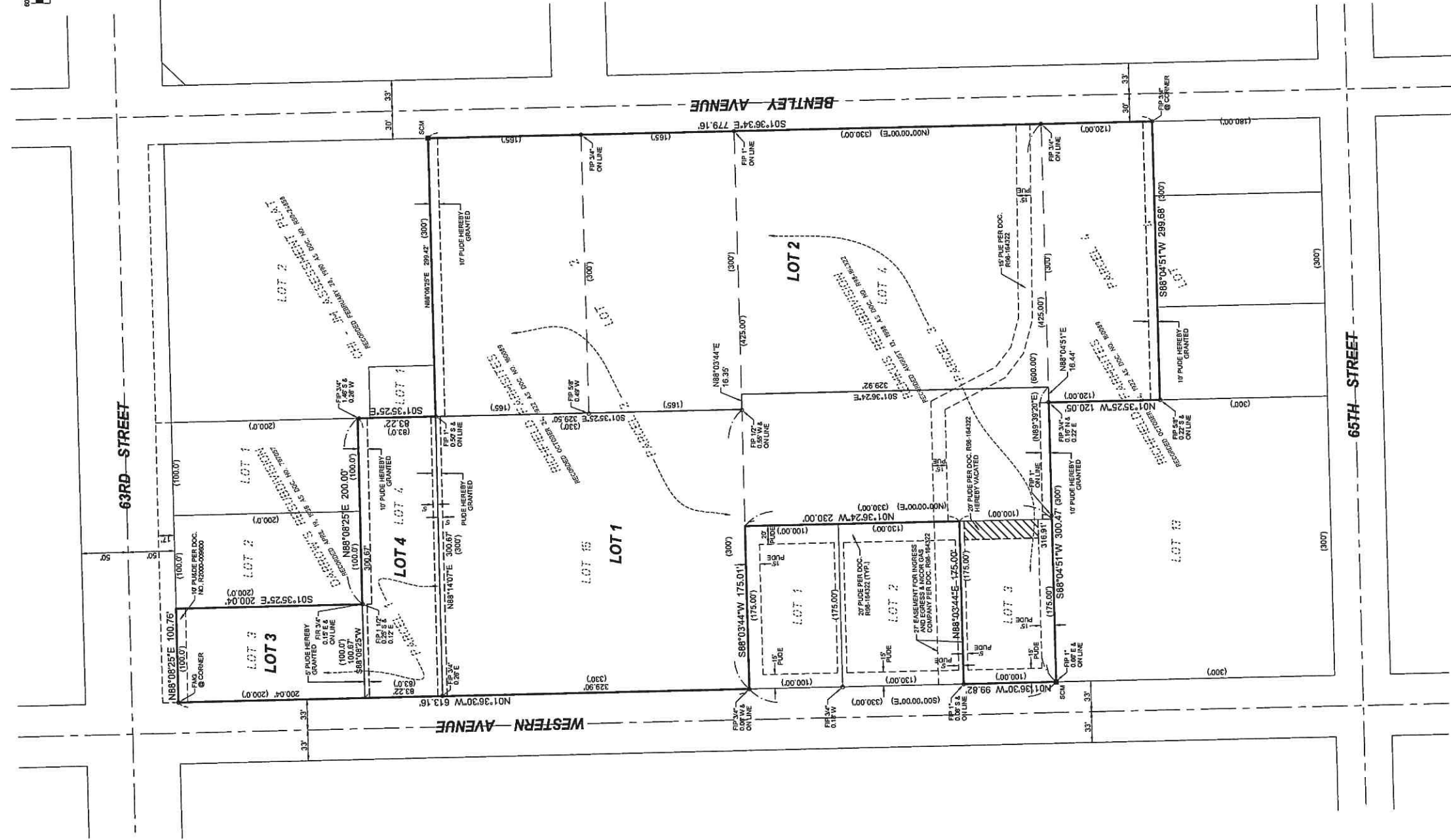
P.I.N.: 09-22-201-001  
09-22-201-004  
09-22-201-005  
09-22-201-010  
09-22-201-011  
09-22-201-013  
09-22-201-021  
09-22-201-022

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE  
COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE  
1201 (ILLINOIS EAST), WITH PROJECT ORIGIN AT  
LATITUDE 41°48'17.1928" N  
LONGITUDE 87°47'17.332" W  
EASTING 1000000.000000  
NORTHING 1000000.000000  
GROUND SCALE FACTOR 1.000039209  
ALL MEASUREMENTS ARE ON THE GROUND.



VICINITY MAP  
NOT TO SCALE



LEGEND

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- UNDERLYING LOT LINE
- PROPOSED LOT LINE
- EXISTING CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- FOUND IRON ROD
- + FCC FOUND CUT CROSS
- O FIP FOUND IRON PIPE
- SIP SET IRON PIPE
- SCM SET CONCRETE MONUMENT

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- D.A.U.E. DRAINAGE & UTILITY EASEMENT
- D.O.U.E. DRAINAGE DETENTION & UTILITY EASEMENT

AREA TABLE			
LOT #	Sq. Ft.	Acres	
1	183,401	3.7512	
2	228,030	5.2348	
3	20,149	0.4626	
4	25,021	0.5744	
TOTAL	436,601	10.0230	

OWNER / DEVELOPER  
Hinsdale Pet Memorial Services  
6400 S. Bentley Ave.  
Willowbrook, IL 60527  
630-323-5120

ENGINEER/SURVEYOR  
V3 Companies of Illinois, Ltd.  
7325 Janes Avenue, Suite 100  
Woodridge, Illinois 60517  
630.724.9200

NOTES

- ONCE THE PLAT SHOWN HEREON IS RECORDED AND UPON COMPLETION OF CONSTRUCTION, 3/4" IRON PIPES WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.



Engineers  
Scientists  
Surveyors  
7325 Janes Avenue, Suite 100  
Woodridge, Illinois 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
HINSDALE PET MEMORIAL SERVICES  
6400 S. BENTLEY AVE.  
WILLOWBROOK, IL 60527  
630-323-5120

NO.	DATE	REVISIONS
1.	02/12/2018	DESCRIPTION

REVISIONS

FINAL PLAT OF SUBDIVISION

HINSDALE ANIMAL CEMETERY, WILLOWBROOK, ILLINOIS

Project No: 16310  
Group No: VP04.1  
Project Manager: AJS  
Drawn By: MLP  
Checked By: AJS  
Scale: 1" = 60'

SHEET NO. 1 of 2

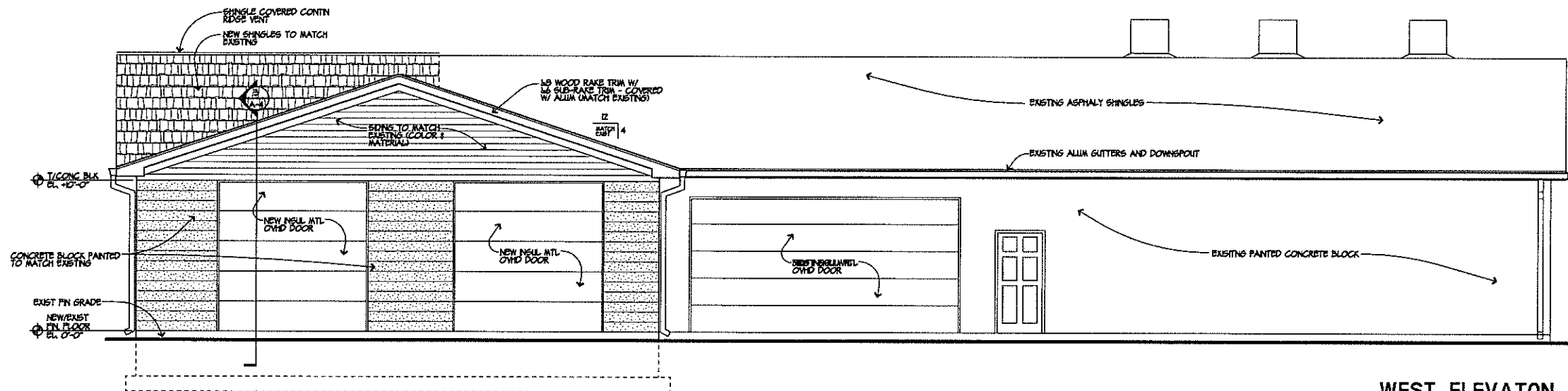




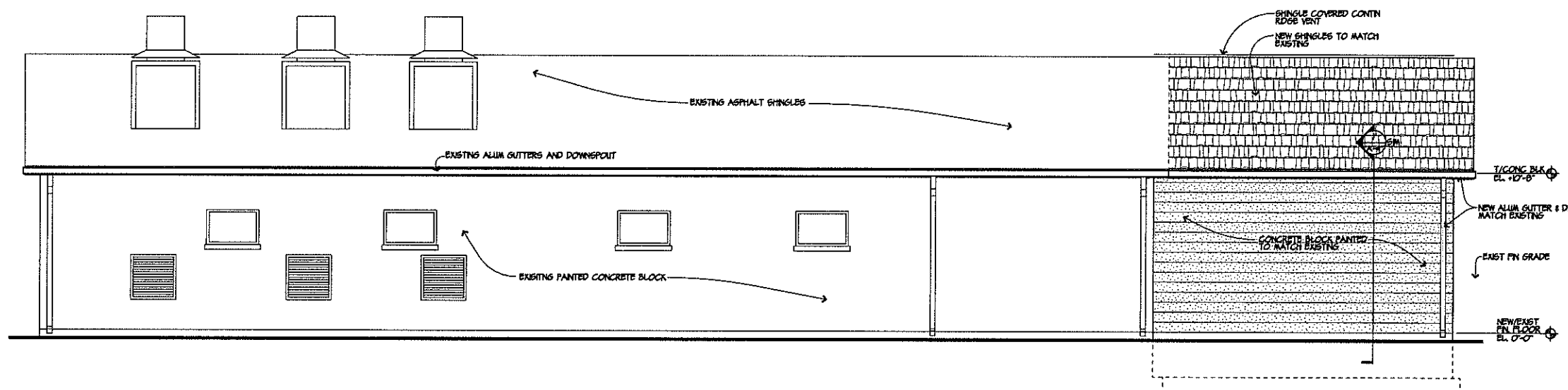


## Attachment 5 Hinsdale Animal Cemetery Architectural Plans

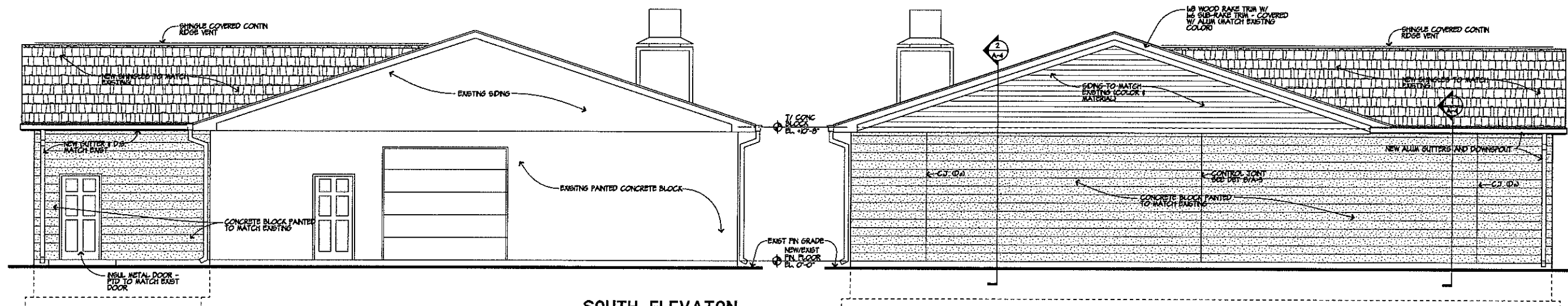




**WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION**  
SCALE: 1/4"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**DM+S ARCHITECTS, P.C.**  
117 HEATH PLACE  
WESTMONT, ILLINOIS  
630-883-8406 FAX  
630-883-8418

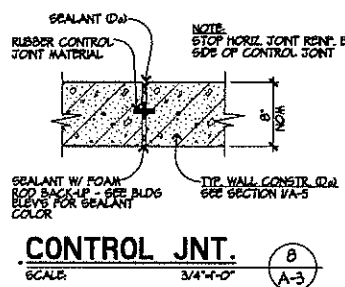
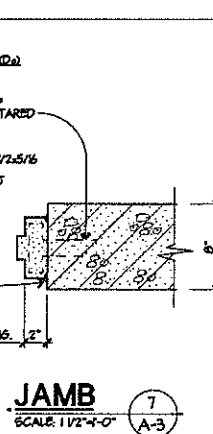
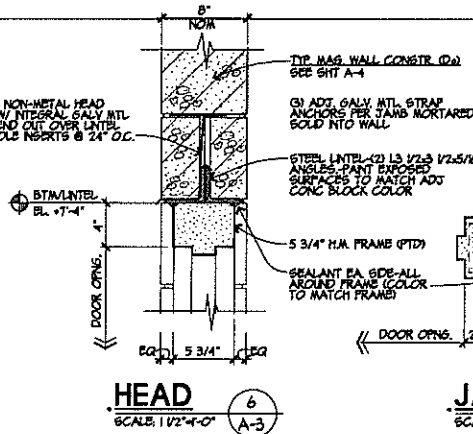
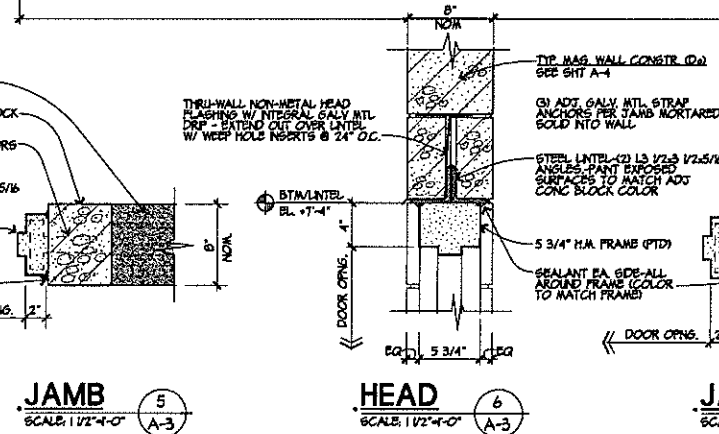
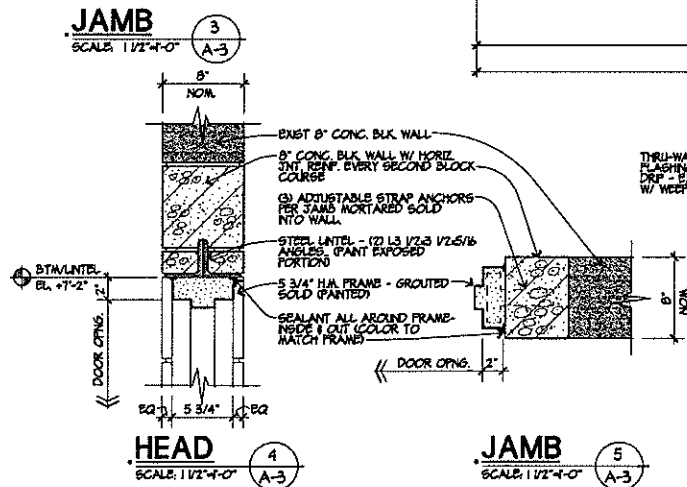
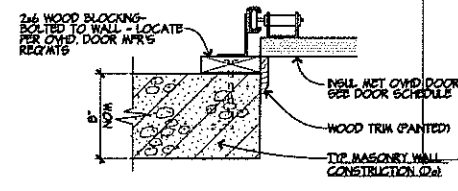
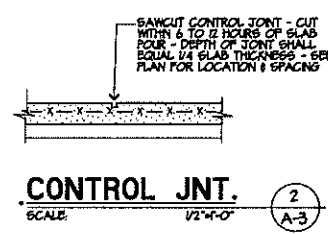
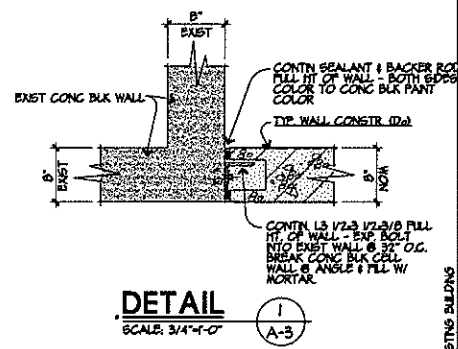
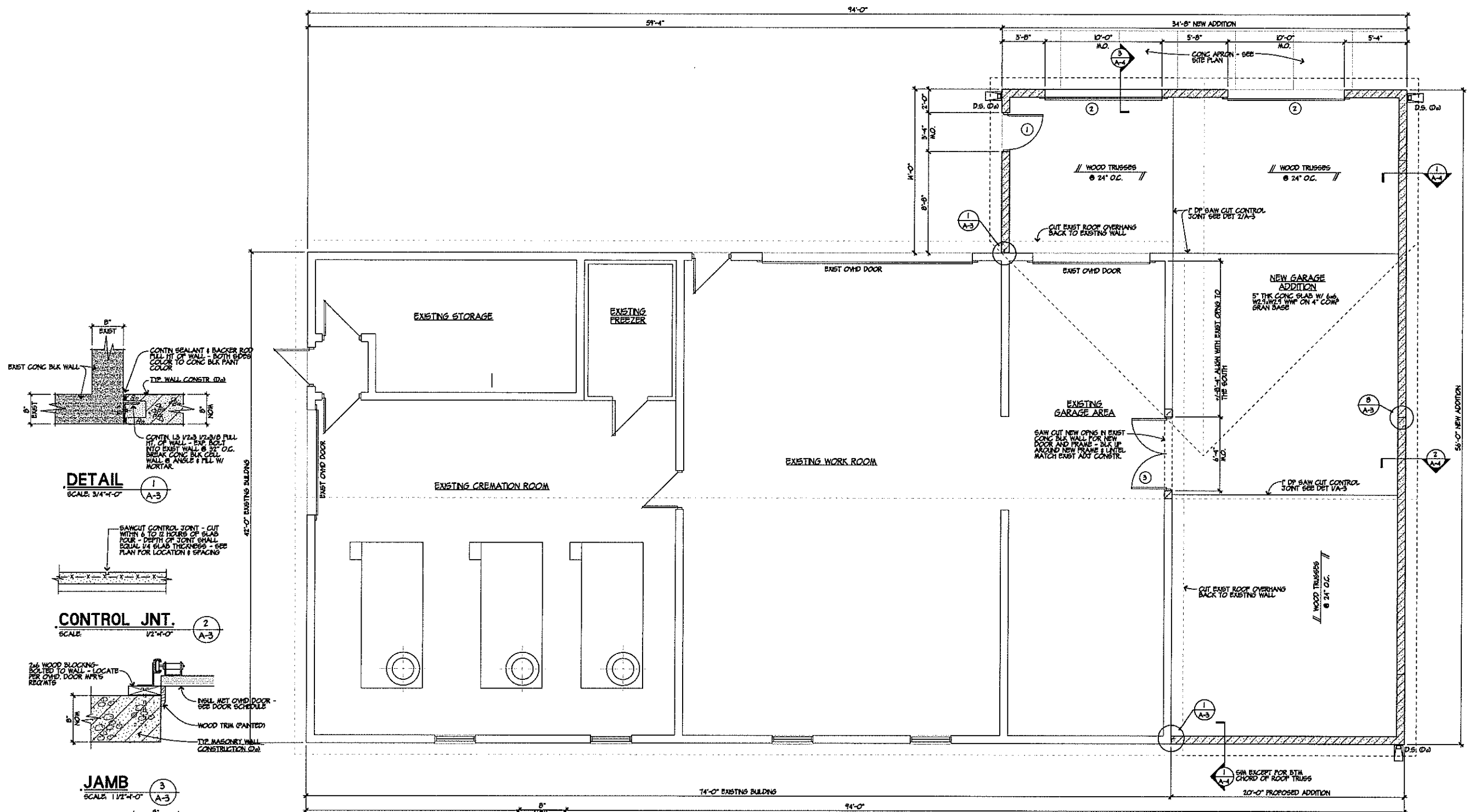
PROPOSED ADDITION TO THE CREATION  
GARAGE FACILITY FOR  
**HINSDALE PET  
CEMETERY**  
6400 SOUTH BENTLEY WILLOWBROOK, ILLINOIS

DRAWING HISTORY:  
PRELIMINARY DRAWING 6-29-15

COPYRIGHT © 2017  
DM+S Architects, P.C.  
THIS DRAWING IS THE PROPERTY OF DM+S ARCHITECTS, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

PROJECT NO. 1610  
DATE: JUNE 3, 2017  
DRAWN BY: RS  
CHECKED BY: ptoomgar-4  
SHEET NO.

**A-2**  
2 OF 4  
DO NOT SCALE DRAWING



**DOOR SCHEDULE**

- 3'-0" x 7'-0" INSULATED METAL DOOR WITH HOLLOW METAL FRAME WITH THE FOLLOWING HARDWARE:
  - HEAVY DUTY MORTISE LOCKSET WITH LEVER HANDLE MATCH EXISTING FINISH
  - 1/2 PR. B.B. BUTTS
  - WEATHERSTRIPPING
  - FLAT ALUMINUM THRESHOLD
  - SEE DETAILS 6/A-3 & 7/A-3
- 12'-0" x 10'-0" INSULATED OVERHEAD DOOR WITH THE FOLLOWING HARDWARE:
  - 2" STANDARD LIFT OVERHEAD DOOR TRACK
  - WEATHERSTRIPPING
  - RUBBER ASTRAGAL
  - ELECTRIC DOOR OPENER
  - STANDARD OVERHEAD DOOR HARDWARE
  - MATCH EXISTING DOOR STYLE AND COLOR
  - SEE DETAIL 3/A-3 & SECT 3/A-4
- PR. 3'-0" x 7'-0" INSULATED DOOR WITH HOLLOW METAL FRAME WITH THE FOLLOWING HARDWARE:
  - PASSAGE SET WITH LEVER HANDLE MATCH EXISTING FINISH
  - 1/2 PR. B.B. BUTTS
  - TOP & BOTTOM FLUSH BOLTS
  - SEE DETAILS 4/A-3 & 5/A-3

**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**SYMBOL KEY**

(12) DOOR NUMBER - SEE DOOR SCHEDULE ON SHEET A-4

(A) PARTITION TYPE - SEE PARTITION NOTES ON THIS SHEET

(123) ROOM NUMBER - SEE ROOM FINISH SCHEDULE SHEET A-4

**KEY**

===== EXIST. CONSTRUCTION TO REMAIN

----- EXIST. CONSTRUCTION TO BE REMOVED

===== NEW CONSTRUCTION

**DM+S ARCHITECTS, P.C.**  
117 HEATH PLACE  
WESTMONT, ILLINOIS  
630-983-6408  
630-983-6418 FAX

**HINSDALE PET CEMETERY**  
6400 SOUTH BENTLEY WILLOWBROOK, ILLINOIS

PROPOSED ADDITION TO THE CREMATORY GARAGE FACILITY FOR

DRAWING HISTORY:  
PRELIMINARY DRAWING 6-21-15

COPYRIGHT © 2017  
DM+S Architects, P.C.  
THE ARCHITECTS AND ENGINEERS ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. ALL RIGHTS RESERVED BY DM+S ARCHITECTS, P.C.  
NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

PROJECT NO. 1610  
DATE: JUNE 3, 2017  
BY: RJS  
CHECKED BY: pattemgar4  
SHEET NO. **A-3**  
3 OF 4  
DO NOT SCALE DRAWINGS



## Attachment 6 Hinsdale Animal Cemetery Final Engineering Plans





GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
- V3 COMPANIES OF ILLINOIS LTD.  
7325 JAMES AVENUE  
WOODBRIDGE, IL 60517
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ABOVE-GRADE FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREES TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS, AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF THE CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
- b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF WILLOWBROOK.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE ILLINOIS ACCESSIBILITY CODE.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILLED IN THE STORM WATER POLLUTION PREVENTION PLAN.
12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HISHER OPERATIONS AFFECT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF WILLOWBROOK MUNICIPAL CODE AND IDOT

REQUIREMENTS.

13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "JULIE" AT 1-800-852-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL, AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
21. ALL CURB RADIi REFER TO BACK OF CURB.
22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ADJUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE

CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY GRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HISHER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

EARTHWORK

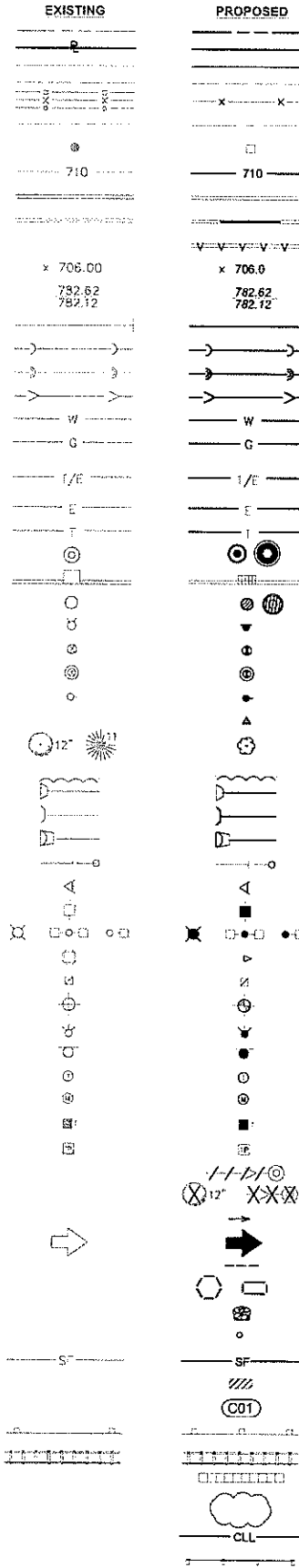
1. THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
2. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 8 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE. ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
4. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- 5.
6. ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
7. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1'

TOLERANCE OF DESIGN SUBGRADE.

PAVING

1. BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.
4. SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
5. AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
6. PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS), PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND 1/4 INCH PREMOULDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR, ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
8. TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
9. ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

LEGEND



DESCRIPTION

- RIGHT-OF-WAY LINE  
PROPERTY LINE (EXTERIOR)  
LOT LINE (INTERIOR)  
EASEMENT LINE  
FENCE LINE  
CENTERLINE  
PROPERTY CORNER  
CONTOUR  
CURB & GUTTER  
DEPRESSED CURB & GUTTER  
REVERSE PITCHED CURB  
SPOT ELEVATION  
TOP OF CURB ELEVATION  
EDGE OF PAVEMENT ELEVATION  
UTILITY STUB  
SANITARY SEWER  
SANITARY FORCE MAIN  
STORM SEWER  
WATER MAIN  
GAS MAIN  
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK  
BURIED CABLE-ELECTRIC  
BURIED CABLE-TELEPHONE  
UTILITY STRUCTURE WITH CLOSED LID CURB INLET  
DRAINAGE STRUCTURE WITH OPEN LID FIRE HYDRANT  
VALVE IN VALVE BOX  
GATE VALVE IN VALVE VAULT  
POST INDICATOR VALVE  
THRUST BLOCK  
TREE  
TREE LINE  
CONCRETE HEADWALL  
SUBMERGED HEADWALL  
FLARED END SECTION (F.E.S.)  
GUY WIRES  
FLOOD LIGHT  
UTILITY POLE  
LIGHT STANDARD  
TRAFFIC SIGNAL POLE  
HAND HOLE  
SOIL BORING  
IRRIGATION HEADS  
SIGN  
TELEPHONE MANHOLE  
MONITORING WELL  
TELEPHONE PEDESTAL  
TRANSFORMER PAD  
UTILITY TO BE ABANDONED  
FEATURE TO BE REMOVED  
STORMWATER FLOW DIRECTION  
STORMWATER OVERFLOW ROUTE  
DITCH CHECK  
INLET FILTER BASKET  
RIP RAP  
BOLLARD  
SILT FENCE  
WATER MAIN PROTECTION  
UTILITY CROSSING LABEL  
GUARDRAIL  
RAILROAD TRACKS  
RETAINING WALL  
REVISION DELINEATION  
CONSTRUCTION LIMIT LINE  
TREE PROTECTION FENCE

ABBREVIATIONS

- A ARC LENGTH  
B-B BACK TO BACK OF CURB  
B/C BACK OF CURB  
BLDG BUILDING  
BM BENCHMARK  
B/P BOTTOM OF PIPE  
BV/VV BUTTERFLY VALVE IN VALVE VAULT  
C & G CURB AND GUTTER  
CB CATCH BASIN  
CL CENTERLINE  
CL CLOSED LID  
CO CLEAN OUT  
DIP DUCTILE IRON PIPE  
DIA DIAMETER  
DIWM DUCTILE IRON WATER MAIN  
DWG DRAWING  
E EAST OR ELECTRIC OR EDGE  
EJ EXPANSION JOINT  
ELEV ELEVATION  
EP EDGE OF PAVEMENT  
EX EXISTING  
F & CL FRAME & CLOSED LID  
F & G FRAME & GRATE  
F & OL FRAME & OPEN LID  
FES FLARED END SECTION  
F-F FACE TO FACE OF CURB  
FF FINISHED FLOOR  
FIG FINISHED GRADE  
FH FIRE HYDRANT  
F/L FLOW LINE  
G GAS LINE  
GWVB GATE VALVE IN VALVE BOX  
GW/VV GATE VALVE IN VALVE VAULT  
HDCP HANDICAP  
HDPE HIGH DENSITY POLYETHYLENE PIPE  
HOW HEADWALL  
HOR HORIZONTAL  
HP HIGH POINT  
HWL HIGH WATER LEVEL  
IE INVERT ELEVATION  
IN INLET  
LF LINEAL FEET  
LP LOW POINT OR LIGHT POLE  
L LEFT  
ME MATCH EXISTING  
MH MANHOLE  
MW MONITORING WELL  
N NORTH  
NIC NOT IN CONTRACT / NOT INCLUDED  
NWL NORMAL WATER LEVEL  
ON CENTER  
OL OPEN LID  
PC POINT OF CURVATURE  
PCC PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE  
PGL PROFILE GRADE LINE  
PI POINT OF INTERSECTION  
PL PROPERTY LINE  
PP POWER POLE  
PRC POINT OF REVERSE CURVATURE  
PT POINT OF TANGENCY  
PUE PUBLIC UTILITY EASEMENT  
PVC POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE  
PVI POINT OF VERTICAL INTERSECTION  
PVT POINT OF VERTICAL TANGENCY  
R RADIUS OR RIGHT  
RCP REINFORCED CONCRETE PIPE  
ROW RIGHT OF WAY  
S SLOPE OR SOUTH  
SAN SANITARY  
SF SILTATION FENCE  
SFM SANITARY FORCE MAIN  
SHT SHEET  
SHW SUBMERGED HEADWALL  
SMH SANITARY MANHOLE  
STA STATION  
ST STORM STRUCTURE OR STORM SEWER  
STMH STORM MANHOLE  
T TANGENT LENGTH OR TELEPHONE  
T/C TOP OF CURB  
T/P TOP OF PIPE  
T/W TOP OF WALL  
TY TYPE  
TYP TYPICAL  
UP UTILITY POLE  
VC VERTICAL CURVE  
VERT VERTICAL  
VCP VITRIFIED CLAY PIPE  
W WEST  
WM WATER MAIN



V3 Companies  
7325 James Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
630.724.9202 fax  
www.v3co.com

Visio, Veritas, Virtute... "The Vision to Transform with Excellence"

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	2/13/18	REVISED PER VILLAGE REVIEW			

PROJECT NO.:	16310	DESIGNED BY:	EEF
FILE NAME:	C1.0 GAL 16310.DWG	DRAWN BY:	VRS
ORIGINAL ISSUE DATE:	10.12.17	CHECKED BY:	BCR
SCALE:	N. T. S.	PROJECT MANAGER:	BCR

HINSDALE ANIMAL CEMETERY

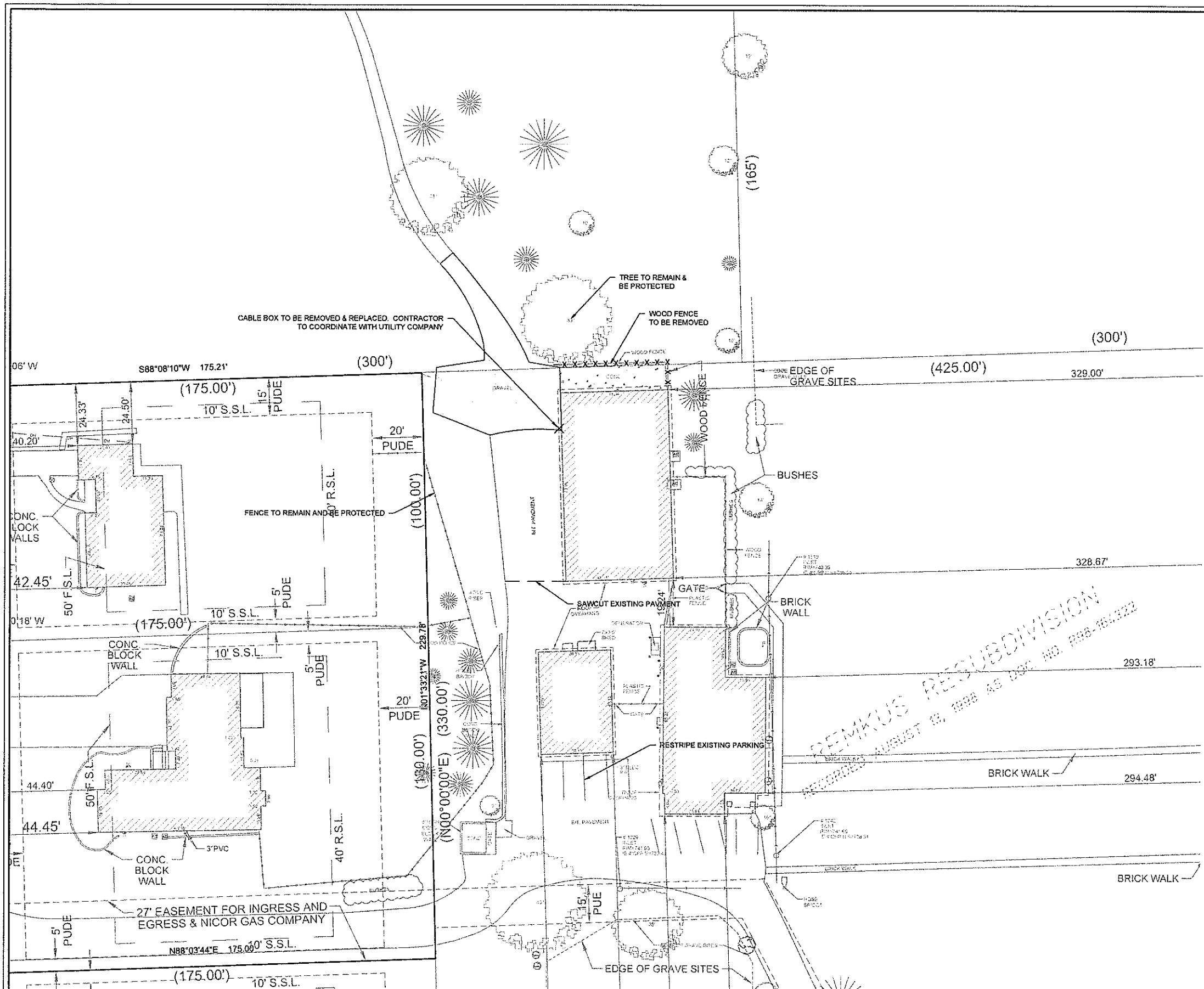
WILLOWBROOK FINAL ENGINEERING

ILLINOIS

GENERAL NOTES, LEGEND AND ABBREVIATIONS

C1.0

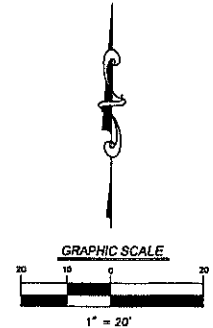




DEMOLITION NOTES

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
  - SIDEWALK AND ON-SITE PAVEMENT
  - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
  - UTILITIES
  - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ADJUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
18. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

DEMOLITION LEGEND	
	EXISTING BUILDING, FOUNDATION AND SLABS TO BE REMOVED
	EXISTING BITUMINOUS PAVEMENT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	MISCELLANEOUS EXISTING ITEM TO BE REMOVED
	MISCELLANEOUS EXISTING ITEM TO BE ABANDONED
	MISCELLANEOUS ITEM TO BE REMOVED



V3 Companies  
7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
630.724.9202 fax  
www.v3co.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	2/13/18	REVISED PER VILLAGE REVIEW			

PROJECT NO.: 16310  
FILE NAME: C2.0 DEMO16310.DWG  
ORIGINAL ISSUE DATE: 10.12.17  
SCALE: 1" = 20'

DESIGNED BY: EEF  
DRAWN BY: VRS  
CHECKED BY: BCR  
PROJECT MANAGER: BCR

**HINSDALE ANIMAL CEMETERY**

WILLOWBROOK FINAL ENGINEERING ILLINOIS

**DEMOLITION PLAN**

**C2.0**

DRAWING NO.

**NOTES:**

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

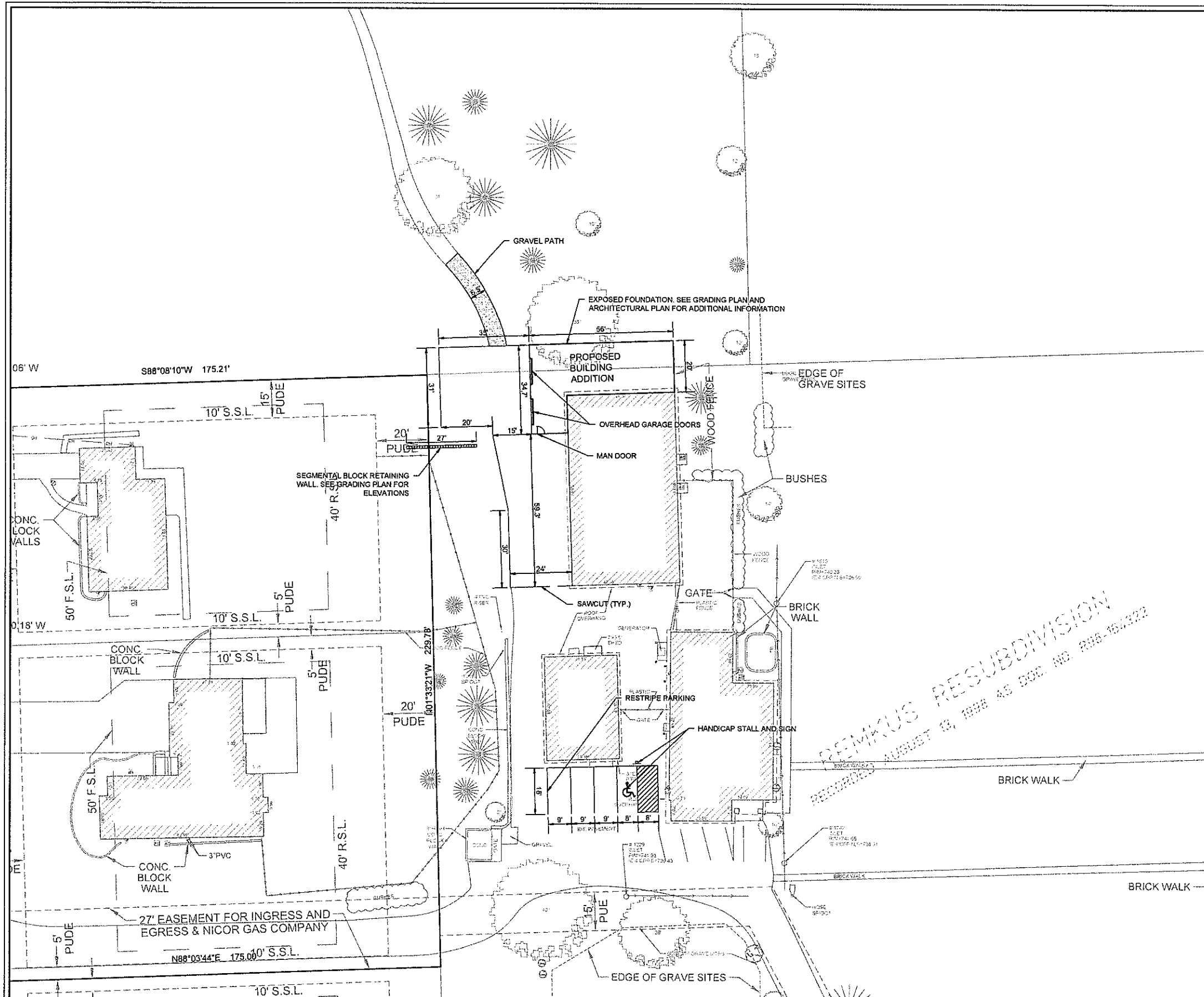
**PAVING LEGEND**

**ONSITE HMA PAVEMENT**

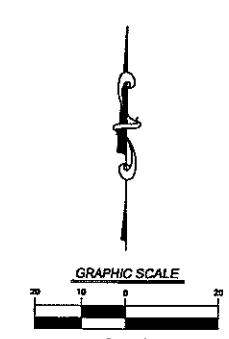
1.5" HMA SURFACE COURSE, MIX D, N 50  
2.5" HMA BINDER COURSE, IL-19.0, N 50  
8" AGGREGATE BASE COURSE TYPE B, CA6  
GRADE 9 OR 8

**GRAVEL**

4" GRAVEL (MATCH EXISTING)



REMAKUS RESUBDIVISION  
RECORDED AUGUST 19, 1998 AS DOC. NO. 838-154322



**REVISIONS**

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	2/13/18	REVISED PER VILLAGE REVIEW			

PROJECT NO.:	16310	DESIGNED BY:	EEF
FILE NAME:	C3.0 LAY16310.DWG	DRAWN BY:	VRS
ORIGINAL ISSUE DATE:	10.12.17	CHECKED BY:	BCR
SCALE:	1" = 20'	PROJECT MANAGER:	BCR

**HINSDALE ANIMAL CEMETERY**

**LAYOUT AND PAVING PLAN**

**C3.0**

WILLOWBROOK FINAL ENGINEERING ILLINOIS



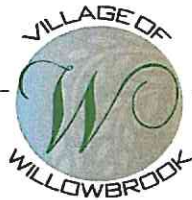
V3 Companies  
7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
630.724.9202 fax  
www.v3co.com

Visio, Vectors, Virtue... "The Vision to Transform with Excellence"









**Village of Willowbrook**  
Staff Report to the Plan Commission

<b>Plan Commission Date:</b>	April 4, 2018		
<b>Prepared By:</b>	Natalie Zine, Planning Consultant		
<b>Case Title:</b>	<b>Willowbrook Centre PUD Resubdivision</b>		
<b>Petitioner:</b>	John L. Stoetzel c/o Illinois Industrial Properties, Inc. 1809 N. Mill Street – Suite E, Naperville, IL 60563.		
<b>Action Requested:</b>	Consideration of a petition requesting an Amendment to a Planned Unit Development including certain relief exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the property legally described in Attachment 1.		
<b>Purpose:</b>	To allow the petitioner to subdivide the single lot Subject Property into three lots and out-parcels, which will allow for the sale of individual lots/buildings while maintaining compliance with the Village Zoning Code.		
<b>Location:</b>	Northwest corner of N Frontage (Joliet) Rd and Madison Street; common addresses 500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way.		
<b>PINs:</b>	09-26-404-027		
<b>Existing Zoning:</b>	M-1 Light Manufacturing		
<b>Proposed Zoning:</b>	M-1 Light Manufacturing		
<b>Existing Land Use:</b>	Industrial/Office Park, three (3) multi-tenant flex buildings and a parking garage		
<b>Property Size:</b>	12.33 Acres		
<b>Surrounding Land Use:</b>	<b>Use</b>	<b>Zoning</b>	
	North	Light Manufacturing	M-1
		Office Research	OR
	South	Community Shopping	B-2
		General Business	B-3
	East	Unincorporated	OUTSD
	West	Light Manufacturing	M-1

**Necessary Action by Plan Commission:** Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.



**Documents Attached:**

Attachment 1: Legal Description (1 page)

Attachment 2: Amended PUD Plat of Willowbrook Center Phase I and II, as subdivided (dated 03-01-18, 1 sheet)

Attachment 3: Final Plat of Willowbrook Centre Resubdivision (dated 3-1-18, 2 sheets)

**Site Description**

The property consists of a total of 12.33 acres and is located at the northwest corner of N Frontage (Joliet) Rd and Madison Street; common addresses 500 Joliet Road, 600 Joliet Road, and 7700 Griffin Way. The property is zoned M-1 Light Manufacturing and is adjacent to properties also in the M-1 Light Manufacturing district to the north and west, OR Office Research to the north also, as well as B-2 Community Shopping and B-3 General Business to the south.

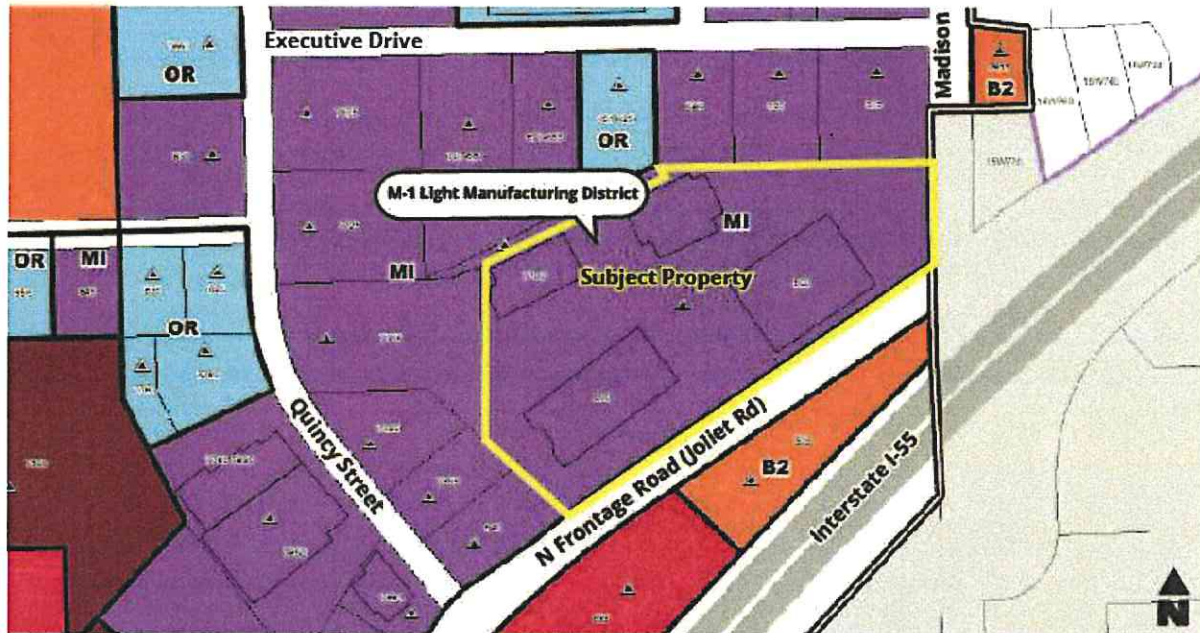
**Exhibit 1: Location Map**



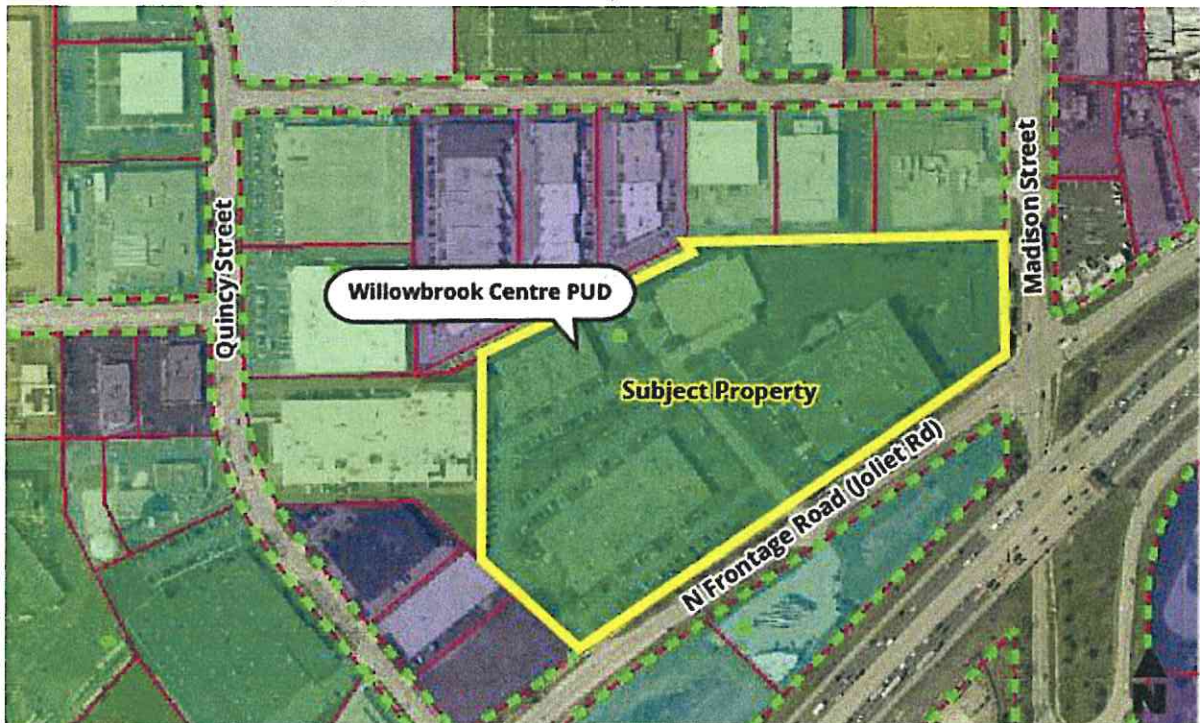




**Exhibit 2: Zoning Map (M-1 Light Manufacturing)**



**Exhibit 3: Subdivision Map (Willowbrook Centre)**





## Development Proposal

### Request

The applicant is requesting approval of an Amendment to a Planned Unit Development including certain relief, exceptions and waivers from Title 9 and Title 10 of the Village Code to allow for the Resubdivision of the single lot subject property legally described in Attachment 1 containing three buildings and a parking deck into three lots (one for each building) and out-parcels for the private road and detention basins. This PUD amendment and plat of subdivision will allow for the sale of individual buildings while maintaining compliance with the Village Zoning Code.

### *Summary of Requests:*

1. Amendment to the Final Plat of PUD for the Willowbrook Centre (as subdivided).
2. Certain relief, exceptions and waivers from Title 9 and Title 10 of the Village Code.

The Willowbrook Centre PUD is now almost 30 years old. While the PUD ordinance has been amended throughout the years, the size and location of the structures has been constant for decades. The Applicant is not requesting any changes to the buildings, parking, stormwater management, landscaping, private right-of-way, setbacks or land use. The approved PUD plan itself is not submitted for modification. The Applicant would like to deed the common elements to the Association and to deed separate parcels to separate owners. The Village code requires that the existing PUD plat be modified to reflect the division of the common elements and three buildings into legal lots of record.

The division itself is being accomplished by processing a plat of subdivision consistent with the subdivision regulations of the Village of Willowbrook. The resubdivision of the original PUD Plat is considered by the Village to be a "major change" to the PUD under Section 9-13-4(B)6a. The Applicant will also require various relief from the Zoning and Subdivision ordinances as well as a waiver for the requirement for a PUD to be under "unified ownership or unified control" as outlined in Section 9-13-6(B).

## Staff Analysis

### Property History

The subject property is 12.34 acres in size and was originally part of the Willowbrook Executive Plaza, a subdivision approved by the Village of Willowbrook in 1975. In 1988, the Applicant assembled Lots 31 and 32 of the Willowbrook Executive Plaza and processed an application for approval of a Planned Unit Development (PUD). On June 27, 1988 the Village of Willowbrook adopted Ordinance No. 88-0-23 granting a special use for the requested PUD and final PUD plat for Phase I.

The approvals granted for this PUD provided that the property construction and use be in substantial conformance with a Declaration of Protective Covenants for Willowbrook Centre, Willowbrook, Illinois as prepared by Eugene Callahan, dated April 18, 1988. The covenants (Document No. R88-088532) provided for the creation of a not-for-profit owner's association, allowance of the developer to deed the common elements to the owner's association, and allowance of the developer to deed individual parcels to separate ownership individuals or business entities, among other things.



The Village has since adopted a number of Ordinances amending the Special Use for the Willowbrook Centre PUD. In 1989, the Village adopted Ordinance No. 89-0-46 amending the special use for the Willowbrook Centre PUD and granting final subdivision plat and final PUD plat approval for both Phases I and II of the PUD.

In 1997, the Village adopted Ordinance No. 97-0-26 amending the special use for the Willowbrook Centre PUD, and approving bulk regulation variations and final PUD plats to add a parking structure and related improvements. In 2003, the Village adopted Ordinance No. 03-0-17 amending the special use for the Willowbrook Centre PUD to permit the installation of an emergency generator and granting final PUD plat amendment.

In 2012, the Village adopted Ordinance No. 12-0-25 amending the special use for the Willowbrook Centre PUD to allow a vocational school to occupy up to 51,000 square feet of the 500 Joliet Road building, with related landscape approval and bulk regulation waivers. In 2013, the Village adopted Ordinance No. 13-0-15 amending the special use permit for the Willowbrook Centre PUD to allow a minor change to adjust tenant space use restriction. In 2013, the Village adopted Ordinance No. 13-0-25 amending the special use permit for the Willowbrook Centre PUD to allow a minor change to the approved landscape plan.

#### Certain Relief/Waivers Requested

In order to maintain compliance with the Village Zoning Code, this PUD amendment and plat of subdivision require certain relief, exceptions, and waivers as outlined below.

#### **Zoning Ordinance**

Pursuant to Section 9-13-6 of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are requested:

##### **PARCEL A**

1. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel A of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

##### **PARCEL B**

2. That Section 9-8-3(A), Bulk Regulations, Minimum Lot Area, be varied to permit a reduction in the minimum lot area to less than one half acre (0.5 Acres) for Parcel C of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.
3. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel A of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

##### **PARCEL C**

4. That Section 9-8-3(B), Bulk Regulations, Minimum Lot Width, be varied to permit a reduction in the minimum lot width to less than one hundred and twenty feet (120') for Parcel C of the SUBJECT REALTY, as shown on the Amended Final Plat of PUD, as subdivided.

##### **LOT 1**

5. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and twenty (120') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
6. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than forty feet (40') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.



7. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum interior side yard setback to less than twenty feet (20') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
8. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum rear yard setback to less than twenty feet (20') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
9. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.  
LOT 2
10. That Section 9-8-3(C) Bulk Regulations, Minimum Lot Depth, be varied to permit a reduction in the minimum lot depth to less than one hundred and twenty (120') for Lot 2 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
11. That Section 9-8-3(D) Bulk Regulations, Minimum Yard Requirements, be varied to permit a reduction in the minimum exterior side yard setback to less than forty feet (40') for Lot 1 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.
12. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 2 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.  
LOT 3
13. That Section 9-10-5(G) Off-Street Parking, In Yards, be varied to permit a reduction in the minimum required exterior side and front yards pavement setback to less than fifteen feet (15') for Lot 3 of the SUBJECT REALTY as shown on the Amended Final Plat of PUD, as subdivided.

#### **PUD Standards**

Pursuant to Section 9-13-6 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

14. That Section 9-13-6(B) PUD Standards, Size and Ownership, be varied to waive the requirement that the SUBJECT REALTY be under single ownership and/or unified control.
15. That Section 9-13-6(F) PUD Standards, Yards, be varied to waive the requirement that the required yards or setbacks along the periphery of the planned unit development be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district.

#### **Subdivision Ordinance**

Pursuant to Section 10-8-7 of the Village Code, the following variations from the provisions of the Subdivision Regulations be and the same are requested:

16. That Section 10-3-4, Preliminary Plat, be varied to waive the prerequisite requirement of filing a preliminary plat of subdivision prior to the final plat subdivision.  
Parcel A
17. That Section 10-4-3(B), Lots, Arrangement, be varied to waive the requirement that Parcel A of the SUBJECT REALTY front on a public street.  
Parcel C
18. That Section 10-4-3(B), Lots, Arrangement, be varied to waive the requirement that Parcel C of the SUBJECT REALTY front on a public street.



### Standards for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

#### 9-14-5.2: Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

**Finding:** The approved special use for the Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use. These multiple prior findings of fact eliminate any possibility that the establishment, maintenance or operation of the long existing PUD special use has in any way been detrimental or endangered the public health, safety, morals, comfort or general welfare of the Village.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

**Finding:** The approved and legal use of the Willowbrook Centre Planned Unit Development will not be changed. This use was approved nearly 30 years ago and is not proposed to be modified. In approving the Willowbrook Centre Planned Unit Development final plat and special use back in 1989, the Village already made findings that development of the Willowbrook Centre approved special use, if consistent with the final PUD plat for Phases I and II, would not be detrimental to the neighboring properties.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

**Finding:** The subdivision of the Willowbrook Centre follows and complies with the normal and orderly development and improvement of surrounding properties for uses that have been permitted in the district for the past 30 years.

- (D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

**Finding:** No change to utilities, access roads, drainage and/or other necessary facilities for the long existing approved special use have been or are being proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the division and final PUD plat requested by Applicant.





- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

**Finding:** No change to ingress or egress is proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the subdivision and final PUD plat requested by Applicant.

- (F) That the special use shall in all other responses conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

**Finding:** The Special Use PUD and Subdivision of the Subject Property lot lines to separate the common elements and buildings from each other conform to the applicable regulations of the district in which it is located, with the exception of the requested relief from bulk regulations.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.**

**Finding:** Not applicable.

#### Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) findings of fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

#### 9-13-7: Findings:

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.**

**Finding:** The proposed subdivision of the Willowbrook Centre Planned Unit Development is consistent with the stated purpose of the PUD regulations of the Village in that this PUD has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30- year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use. These multiple prior findings of fact eliminate any possibility that the establishment, maintenance or operation of the long existing PUD special use has in any way been detrimental or endangered the public health, safety, morals, comfort or general welfare of the Village.

The division of the PUD into separate lots of record is consistent with and in conformity with the conditions attached to this PUD at its initial approval through the covenants and



declarations which the Village ordinances state with unequivocal clarity control not only the original construction of the PUD, but also the future use of the PUD. The Plan Commission finds that division of the PUD, is in conformity with the land use expressly authorized in the PUD controlling documents, is consistent with the findings previously adopted in multiple ordinances related to the historical approvals for this PUD special use. Thus, while the proposed subdivision represents a change to the final PUD plat and existing special use, this proposed change is found to have been expressly contemplated and previously authorized by the Village Board.

**(B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.**

**Finding:** The proposed subdivision of the Willowbrook Centre Planned Unit Development meets the requirements and standards of the Village planned unit development regulations in that this PUD has existed as a formally approved, fully documented PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board, each of which was accompanied by the findings needed to approve the PUD as a special use.

The division of the PUD into separate lots of record meets the requirements and standards of the village PUD regulations in that the conditions imposed by the village board at the initial approval of this PUD require that construction and use of the PUD be done in conformity with the covenants and declarations which expressly permit subdivision. The Plan Commission finds that division of the PUD, is in conformity with the land use expressly authorized in the PUD controlling documents, is consistent with the findings previously adopted in multiple ordinances related to the historical approvals for this PUD special use. Thus, while the proposed subdivision represents a change to the final PUD plat and existing special use, the Plan Commission finds this proposed change was expressly contemplated and previously authorized by the Village Board.

**(C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.**

**Finding:** The record of prior approvals documents a detailed history of departures from the zoning regulations. The Plan Commission finds that should the introduction of lot lines to separate the common elements and buildings from each other require relief from bulk regulations that would apply if this site were not already approved as a PUD, the Plan Commission finds that requests for such relief in the same way that relief was repeatedly granted for prior applications and approvals will serve the public interest as it has for the past 30 years.

**(D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.**

**Finding:** The Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented PUD at this location for nearly 30 years. These development approvals address public services, adequate control over vehicular traffic, provide for and



protecting designated common open space, and further the amenities of light and air, recreational and visual enjoyment. The division of the PUD to allow ownership of the private roads and stormwater detention facilities by a not-for-profit association functions to the benefit of both the building owners as well as the Village.

No change to utilities, access roads, drainage and/or other necessary facilities for the long existing approved special use have been or are being proposed. Previous findings made at the time the existing special use was approved control and should once again be applied to the division and final PUD plat requested by Applicant.

**(E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.**

**Finding:** The approved and legal “use” of the Willowbrook Centre Planned Unit Development will not be changed. This use was approved nearly 30 years ago and is not proposed to be modified.

Evaluation of how the expressly permitted subdivision of the PUD is compatible in relationship to the existing special use first requires an examination of the interrelationship of the buildings and uses of the Willowbrook Centre to each of the neighboring uses and adjacent properties outside of the PUD. Next, this compatibility of the subdivision requires an examination of how the requested subdivision impacts the interrelationship of the approved buildings and uses within the Willowbrook Centre special use to each other. The Plan Commission finds that in approving the Willowbrook Centre Planned Unit Development final plat and special use back in 1989, the Village already made findings that development of the Willowbrook Centre approved special use, if consistent with the final PUD plat for Phases I and II, would be compatible with the adjacent properties. The subdivision of the PUD will not in any way impact this previous finding. Existing uses and buildings within the PUD are in conformity with the land use and special use approvals already in place, and the proposed division of ownership by subdivision will in no way alter the interrelationship of the existing buildings with the existing neighboring properties. The exterior lot lines remain the same. The setbacks in relationship to the approved exterior lot lines remain the same. The distances between the Willowbrook Centre buildings and neighboring buildings remain the same.

**(F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.**

**Finding:** The approved special use for the Willowbrook Centre Planned Unit Development has existed as a formally approved, fully documented, and fully developed PUD at this location for nearly 30 years. The overall development has a 30-year track record incorporating multiple precedential approvals from the Village Board and a 30-year track record of contributions to the Village’s tax base. This decades’ long record establishes that the development, maintenance and operation of the long existing, fully built-out PUD, has contributed to the tax base and economic well-being of the Village.



**(G) The conformity with the intent and spirit of the current planning objectives of the village.**

**Finding:** Within the Village's Comprehensive Plan, the subject parcel is projected as "office research/industrial" for future land use. The policies guiding "office research/industrial" land use is published on page 37 of the Comprehensive Plan. Item OR2 specifies that "office research and industrial development should be undertaken in a planned manner" and "designed and developed as unified, well landscaped campus environments." The Willowbrook Centre PUD met this standard when originally approved more than five years prior to the 1993 Comprehensive Plan was even considered.

Further, OR7 expressly states: "New office research and industrial development areas should be designed to allow maximum flexibility, with larger land areas capable of being subdivided and developed according to specific market demands." The Plan Commission finds that because the PUD is an existing PUD, and the only change proposed is subdivision consistent with the controlling documents within the original approval, the policy detailed in OR7 is fulfilled in its entirety.

**Staff Recommendation**

Staff is supportive of the proposed petition and recommends approval of the Amendment to the Willowbrook Centre Planned Unit Development (PUD) to allow for the subdivision of the single-lot Subject Property containing three buildings and a parking deck into three lots (one for each building) and out-parcels for the private road and detention basins. This PUD amendment and plat of subdivision will allow for the sale of individual buildings while maintaining compliance with the Village Zoning Code.

**Sample Motion**

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for a Planned Unit Development outlined in the Staff Report prepared for PC 18-01 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of an Amendment to the PUD to allow for the subdivision of the Subject Property into multiple lots subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-01 for the April 4, 2018 Plan Commission meeting.



### Attachment 1: Legal Description

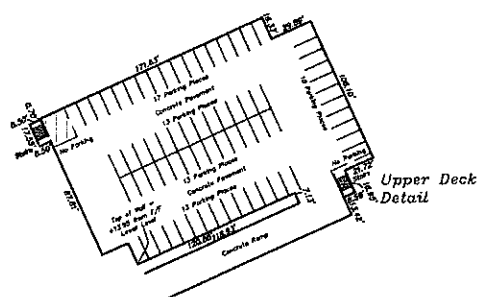
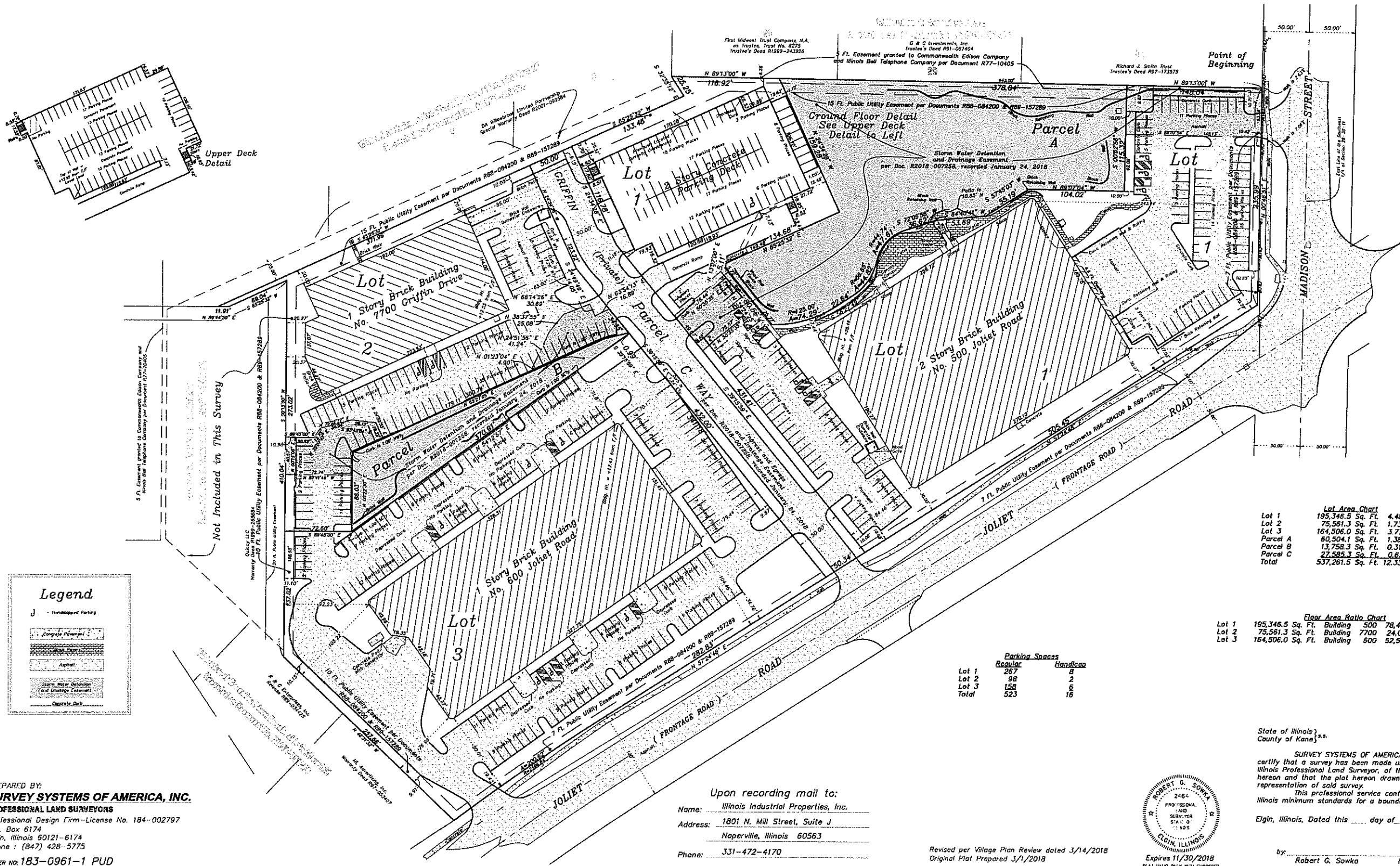
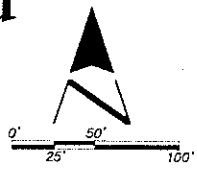
LOT 1 IN "WILLOWBROOK CENTRE", BEING A SUBDIVISION OF PART OF THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 14, 1989, AS DOCUMENT NUMBER R89-157289. IN DU PAGE COUNTY, ILLINOIS.



Attachment 2: Amended PUD Plat of Willowbrook Center Phase I and II, as subdivided (dated 03-01-18, 1 sheet)

# Amended PUD Plat of Willowbrook Centre Phase I and II, as subdivided

of  
Lot 1 in WILLOWBROOK CENTRE, according to the plat thereof recorded December 14, 1989 as Document R89-157289, being a resubdivision of part of the Southeast Quarter of Section 26, Township 38 North, Range 11 East of the Third Principal Meridian, in DuPage County, Illinois.  
PIN 09-26-404-027  
COMMONLY KNOWN AS 500-80 JOLIET ROAD, WILLOWBROOK, IL 60521



**Legend**

[Symbol]	Handicapped Parking
[Symbol]	Concrete Paved Area
[Symbol]	Asphalt
[Symbol]	Storm Water Detention and Drainage Easement
[Symbol]	Concrete Deck

**Lot Area Chart**

Lot 1	195,346.5 Sq. Ft.	4.484 Acres
Lot 2	75,561.3 Sq. Ft.	1.735 Acres
Lot 3	164,506.0 Sq. Ft.	3.777 Acres
Parcel A	60,504.1 Sq. Ft.	1.389 Acres
Parcel B	13,758.3 Sq. Ft.	0.316 Acres
Parcel C	27,585.3 Sq. Ft.	0.633 Acres
Total	537,261.5 Sq. Ft.	12.334 Acres

**Floor Area Ratio Chart**

Lot 1	195,346.5 Sq. Ft. Building	78,400 Sq. Ft. = 0.4
Lot 2	75,561.3 Sq. Ft. Building	24,088 Sq. Ft. = 0.3
Lot 3	164,506.0 Sq. Ft. Building	52,542 Sq. Ft. = 0.3

**Parking Spaces**

	Regular	Handicap
Lot 1	267	8
Lot 2	98	2
Lot 3	158	5
Total	523	15

PREPARED BY:  
**SURVEY SYSTEMS OF AMERICA, INC.**  
PROFESSIONAL LAND SURVEYORS  
Professional Design Firm—License No. 184-002797  
P.O. Box 6174  
Elgin, Illinois 60121-6174  
Phone : (847) 428-5775  
ORDER NO: 183-0961-1 PUD

Upon recording mail to:  
Name: Illinois Industrial Properties, Inc.  
Address: 1801 N. Mill Street, Suite J  
Naperville, Illinois 60563  
Phone: 331-472-4170

Revised per Village Plan Review dated 3/14/2018  
Original Plat Prepared 3/1/2018



State of Illinois }  
County of Kane } ss.  
I, **ROBERT G. SOWKA**, do hereby certify that a survey has been made under the direction of an Illinois Professional Land Surveyor, of the property described herein and that the plat hereon drawn is a correct representation of said survey.  
This professional service conforms to the current Illinois minimum standards for a boundary survey.  
Elgin, Illinois, Dated this \_\_\_\_ day of \_\_\_\_\_, A.D. 2018.  
by **Robert G. Sowka** I.P.L.S. No. 2464



Attachment 3: Final Plat of Willowbrook Centre Resubdivision (dated 3-1-18, 2 sheets)

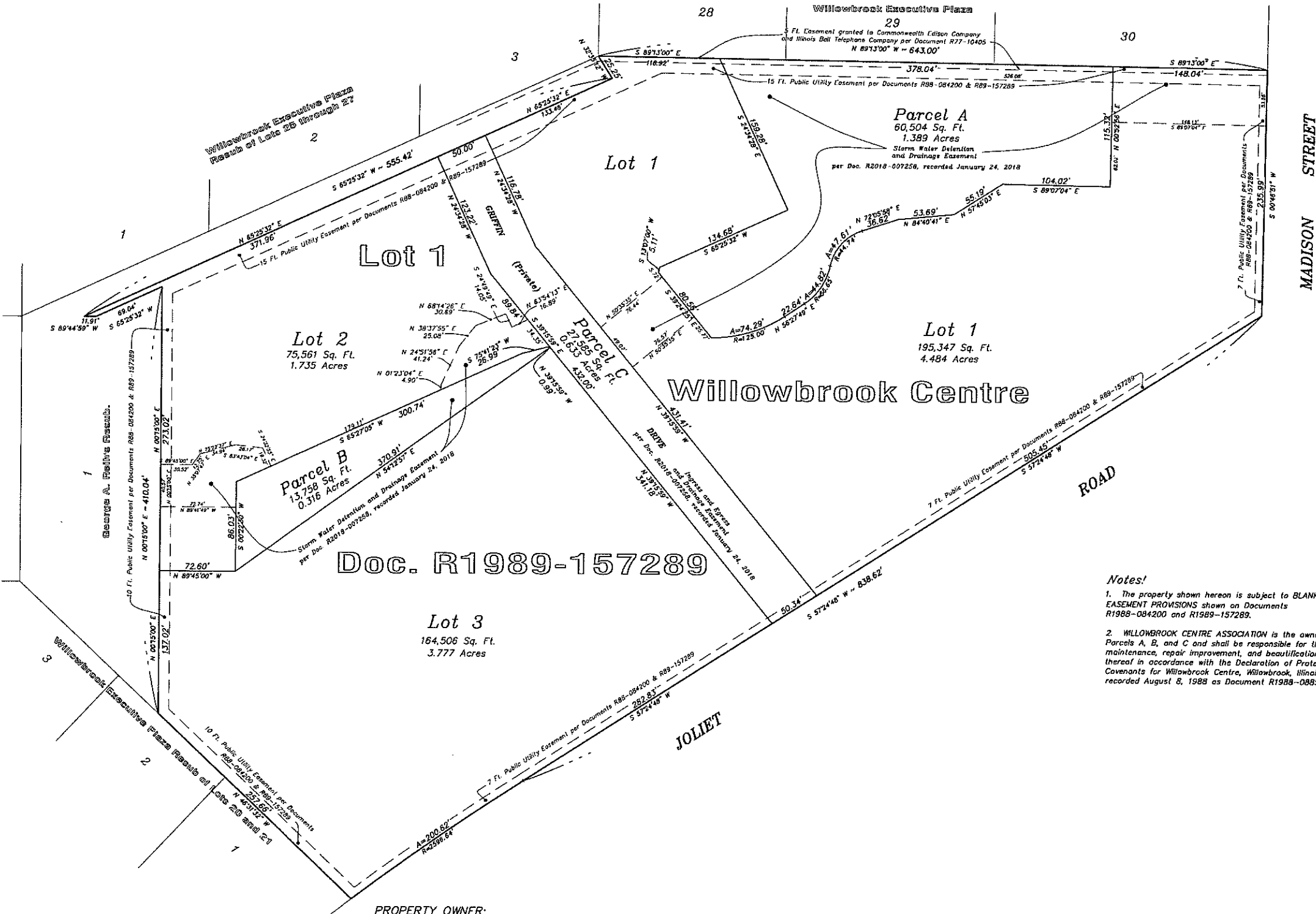


FINAL PLAT  
WILLOWBROOK CENTRE RESUBDIVISION

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 3  
9 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DuPAGE COUNTY, ILLINOIS.  
PIN 09-26-404-027



**Zoning**  
According to the Village of Willowbrook  
the property shown and described hereon  
is zoned M-1 Light Manufacturing District



Doc. R1989-157289

**Notes!**  
1. The property shown hereon is subject to BLANKET  
EASEMENT PROVISIONS shown on Documents  
R1988-084200 and R1589-157289.  
2. WILLOWBROOK CENTRE ASSOCIATION is the owner of  
Parcels A, B, and C and shall be responsible for the  
maintenance, repair, improvement, and beautification  
thereof in accordance with the Declaration of Protective  
Covenants for Willowbrook Centre, Willowbrook, Illinois  
recorded August 8, 1988 as Document R1988-088532.

PREPARED BY:  
**SURVEY SYSTEMS OF AMERICA, INC.**  
Professional Design Firm - License No. 184-002797  
PROFESSIONAL LAND SURVEYORS  
P.O. Box 6174  
Elgin, Illinois 60121-6174  
Phone : (847) 428-5775  
ORDER NO: 183-0961-1 PS

PROPERTY OWNER:  
Chicago Title Land Trust Company  
under Trust No. 123910-09  
Name: Illinois Industrial Properties, Inc.  
C/O: 1801 N. Mill Street, Suite J  
Naperville, Illinois 60563  
Address: 1801 N. Mill Street, Suite J  
Naperville, Illinois 60563  
Phone: 331-472-4170

Upon recording mail to:  
Name: Illinois Industrial Properties, Inc.  
Address: 1801 N. Mill Street, Suite J  
Naperville, Illinois 60563  
Phone: 331-472-4170

FINAL PLAT  
WILLOWBROOK CENTRE RESUBDIVISION  
BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 3  
9 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.  
PIN 09-26-404-027

OWNER'S CERTIFICATE

State of Illinois } ss.  
County of \_\_\_\_\_ }  
  
Chicago Title Land Trust Company, a corporation of Illinois successor Trustee to American National Bank and Trust Company of Chicago, as Trustee under provisions of a Trust Agreement dated March 5, 1998, and known as Trust No. 123910-09, does hereby certify that it is, as such Trustee, the owner of the property described hereon and that it has caused said property to be surveyed and subdivided as shown hereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.  
  
We further certify that, to the best of our knowledge, the property shown hereon is located in Elementary School District 62 and High School District 86 in DuPage County, Illinois.  
  
Dated at \_\_\_\_\_, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018  
as Trustee, as aforesaid, and not individually  
Chicago Title Land Trust Company  
  
Signed: \_\_\_\_\_ President      Attest: \_\_\_\_\_ Secretary

State of Illinois } s.s.  
County of \_\_\_\_\_ }  
  
I, \_\_\_\_\_, a Notary Public in and for said County, in the State of Illinois, do hereby certify that \_\_\_\_\_, Secretary of \_\_\_\_\_, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as \_\_\_\_\_ President and \_\_\_\_\_ Secretary, respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Corporation and that said \_\_\_\_\_ Secretary did also then and there acknowledge that she, as custodian of the Corporate Seal of said Corporation, did affix the said Corporate Seal of said Corporation to said instrument as his own free and voluntary act and as the free and voluntary act of said Corporation for the uses and purposes therein set forth.  
  
Given under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018.  
  
My Commission expires \_\_\_\_\_ Notary Public

Surface Water Drainage Certificate

State of Illinois } ss.  
County of \_\_\_\_\_ }  
  
We hereby certify that the topographical and profile studies required by the Plat Act, 765 ILCS Act 205, as now or hereafter amended, have been filed with the Village of Willowbrook, a municipal corporation in DuPage County, Illinois, and the Certification as to drainage required by said Act made thereon.  
  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2018.  
  
Registered Professional Engineer  
License No. \_\_\_\_\_  
  
Owner(s) or duly authorized attorney

PLAN COMMISSION CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
Approved by the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2018.  
  
Chairman

COUNTY CLERK'S CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
I, \_\_\_\_\_, County Clerk of DuPage County, Illinois, do hereby certify that I find no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, no delinquent or unpaid current special assessments, no redeemable tax sales against any of the land shown on this plat of subdivision and deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the Court that confirmed the special assessment.  
  
Given under my hand and the Seal of the County Clerk of DuPage County, Illinois.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018.  
  
COUNTY CLERK

VILLAGE ENGINEER'S CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
I, \_\_\_\_\_, Village Engineer of the Village of Willowbrook, Illinois, hereby certify that the public improvements for this subdivision as shown by the plans and specifications therefor, meet the minimum requirements of said village and have been approved by all public authorities having jurisdiction thereof.  
  
Dated at Willowbrook, DuPage County, Illinois,  
this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2018.  
  
Village Engineer

BOARD OF TRUSTEE'S CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
Approved and accepted by the President and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois at a meeting, held  
this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018.  
  
By: \_\_\_\_\_ President  
  
Attest: \_\_\_\_\_ Village Clerk

FLOOD ZONE CERTIFICATE

State of Illinois } s.s.  
County of Kane }  
  
Upon inspection of Flood Insurance Rate Map Community Panel No. 170222 0909 H, effective date, December 16, 2004, the parcel shown hereon is located in Zone "X"; no portion of parcel is located in Zone "A", area of 100-year flood.  
  
Given under my hand and seal at Elgin, Illinois,  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018.  
  
by \_\_\_\_\_ Robert G. Sawka I.P.L.S. No. 2464

RECORDER'S CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
This instrument No. \_\_\_\_\_ was filed for record in the Recorder's Office of DuPage County, Illinois, on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2018, at \_\_\_\_\_ o'clock and was recorded in Book \_\_\_\_\_ of Plats on Page \_\_\_\_\_.  
  
By: \_\_\_\_\_ Recorder of Deeds  
DuPage County

SPECIAL ASSESSMENT CERTIFICATE

State of Illinois } ss.  
County of DuPage }  
  
I, \_\_\_\_\_, Village Clerk of the Village of Willowbrook, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land included in the plat.  
  
Dated at Willowbrook, DuPage County, Illinois,  
this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2018.  
  
Village Clerk

State of Illinois } ss.  
County of Kane }  
  
SURVEY SYSTEMS OF AMERICA, INC., Illinois Registered Land Surveyors, hereby certifies that the survey subdivision of the following described property, to wit: \_\_\_\_\_  
  
Lot 1 in "WILLOWBROOK CENTRE", according to the plat thereof recorded December 14, 1989, as Document Number R89-157289, being a resubdivision of part of the Southeast 1/4 of Section 26, Township 38 North, Range 11 East of The Third Principal Meridian, in DuPage County, Illinois.  
  
\_\_\_\_\_ has been made under its direction by an Illinois Registered Land Surveyor and that plat hereon drawn is a correct representation of said survey and subdivision.  
  
Dimensions are shown in feet and decimal parts thereof and are constructed to a temperature of 62 degrees Fahrenheit. Dimensions shown on curved lines are arc measurement.  
  
It is further certified that all regulations enacted by the Board of Trustees of the Village of Willowbrook, a municipal corporation in DuPage County, Illinois, relative to plats and subdivisions have been complied with in the preparation of this plat.  
  
It is further certified that the land included in the annexed plat is located within the corporate limits of the Village of Willowbrook, DuPage County, Illinois, which has adopted a Village Plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.  
  
It is further certified that upon completion of mass grading, iron pipes and concrete monuments will be set at all lot corners. Furthermore, I designate the Village of Willowbrook, or its agents, to act as my agent for the purposes of recording this document.  
  
It is also certified that the property described above falls within a Flood Zone "X" Area as identified by the Federal Emergency Management Agency Flood Insurance Rate Map, Community-Panel Number 170222 0909 H, effective date December 16, 2004.

Elgin, Illinois      Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2018.

SURVEY SYSTEMS OF AMERICA, INC.  
Illinois Registered Land Surveyors

President      I.P.L.S. No. 2464



Expires 11/30/2018  
P.L.S. No. 2464

PREPARED BY:  
**SURVEY SYSTEMS OF AMERICA, INC.**  
Professional Design Firm - License No. 184-002797  
**PROFESSIONAL LAND SURVEYORS**  
P.O. Box 6174  
Elgin, Illinois 60121-6174  
Phone : (847) 428-5775  
ORDER NO: 183-0961-1 PS

Revised March 19, 2018 per Village request dated March 19, 2018  
Revised March 14, 2018 per Village Plan Review dated March 14, 2018  
Original Plat prepared March 1, 2018



**Village of Willowbrook**  
Staff Report to the Plan Commission

<b>Plan Commission Date:</b>	April 4, 2018		
<b>Prepared By:</b>	Natalie Zine, Planning Consultant		
<b>Case Title:</b>	<b>JKC Ice Skating Rink</b>		
<b>Petitioner:</b>	JKC ICE, LLC, 332 South Elm Street, Hinsdale, IL 60527.		
<b>Action Requested:</b>	Consideration of a petition requesting approval of an Amendment to a Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, more specifically a Skating Rink at the property legally described in Attachment 1.		
<b>Purpose:</b>	To allow the petitioner to make interior modifications for the conversion of the existing vacant Whole Foods building to an ice skating facility.		
<b>Location:</b>	201 63 <sup>rd</sup> Street, Willowbrook, IL 60527		
<b>PINs:</b>	09-23-101-029		
<b>Existing Zoning:</b>	B-2 Community Shopping		
<b>Proposed Zoning:</b>	B-2 Community Shopping (no change)		
<b>Existing Land Use:</b>	Vacant, previous Whole Foods store		
<b>Property Size:</b>	3.42 Acres		
<b>Surrounding Land Use:</b>	<b>Use</b>	<b>Zoning</b>	
	North	Multi-Family District	R-5
	South	Multi-Family District	R-5
	East	Community Shopping	B-2
	West	Community Shopping	B-2
<b>Documents Attached:</b>	Attachment 1: Legal Description Attachment 2: Construction Schedule Attachment 3: Facility Operations Plan Attachment 4: ALTA Land Survey Attachment 5: Proposed Floor Plan Attachment 6: Existing Development Plans		

**Necessary Action by Plan Commission:** Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.



### Site Description

The subject property is located at 201 63<sup>rd</sup> Street and consists of a total of 3.42 acres. It is situated south of Stanholp Square, east of Americana Drive and the Midtown Athletic Center, west of the Hinsdale Lake Commons shopping center, and north of the Lake Hinsdale Tower condos. The property is zoned B-2 Community Shopping and is adjacent to properties also located in the B-2 Community Shopping to the east and west, and R-5 Multi-Family Districts to the north and south. The subject property is located within the Whole Foods Market Planned Unit Development subdivision.

**Exhibit 1:** Aerial of the Subject Property (201 63<sup>rd</sup> Street, Willowbrook, IL 60527)

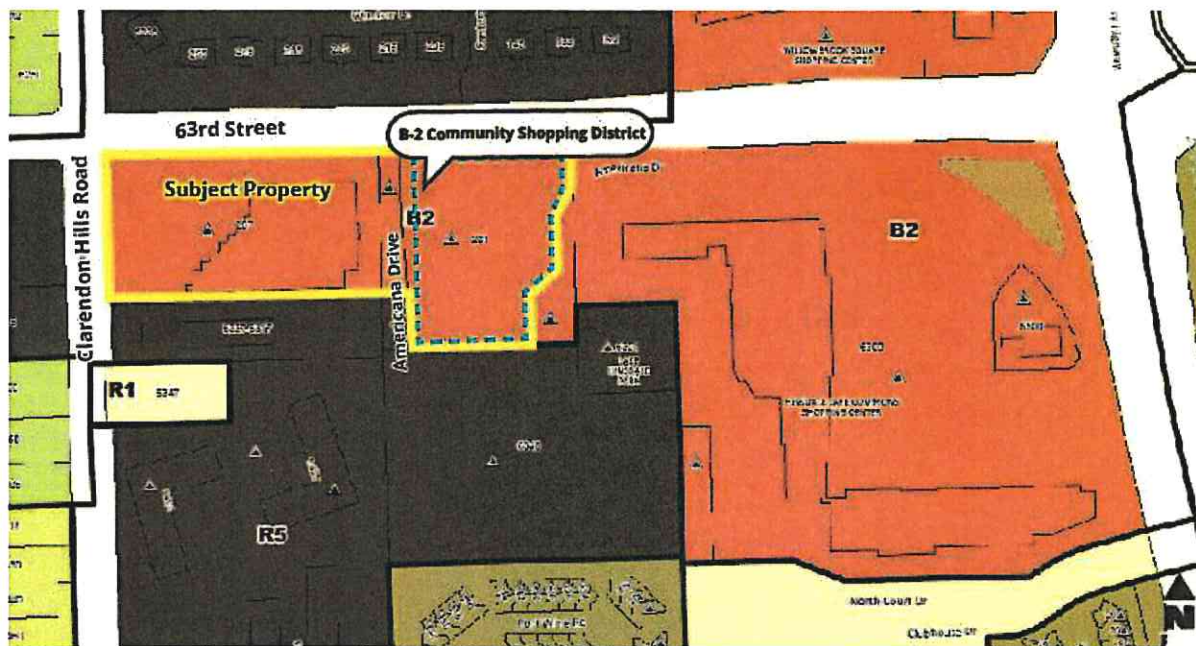


**Exhibit 2:** Subject Property (Street View)

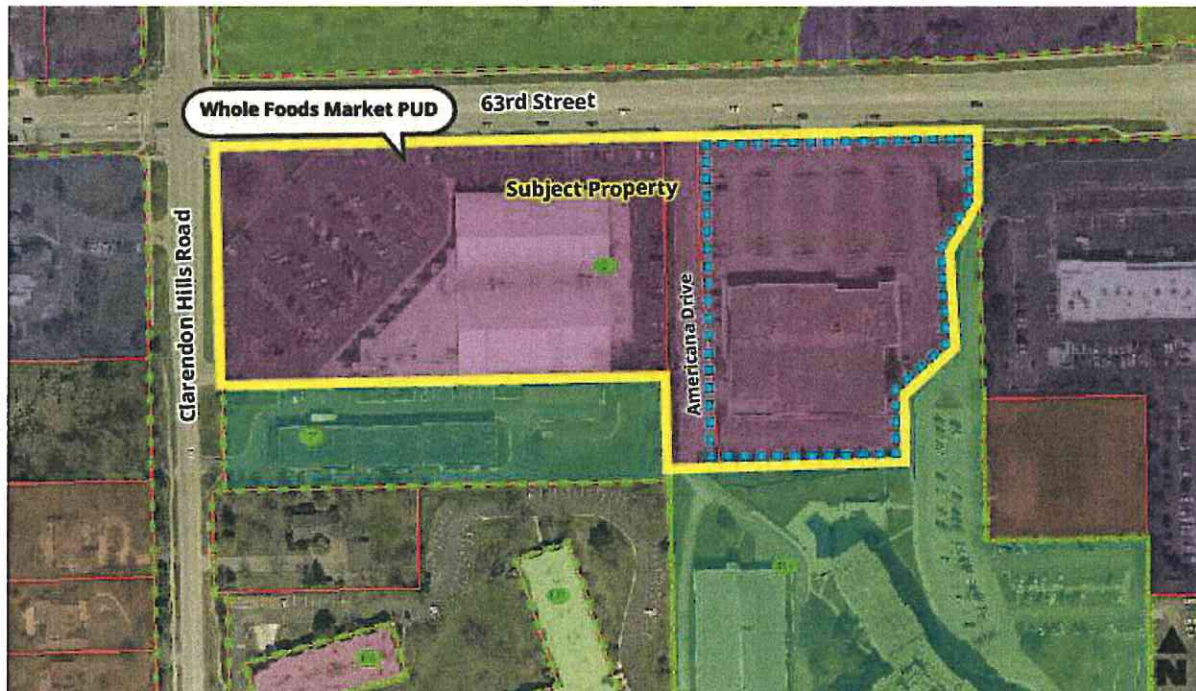




**Exhibit 3: Zoning of the Subject Property (B-2 Community Shopping)**



**Exhibit 4: Subdivision of the Subject Property (Whole Foods Market PUD)**





## **Development Proposal**

### **Request**

The Applicant JKC Ice, LLC is proposing interior modifications for the conversion of the existing 36,160 SF vacant Whole Foods building to an ice skating facility. This would require approval of an Amendment to the Whole Foods Market Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment.

### **Business Overview**

The new JKC Rink will provide a space for youth hockey and figure skating clubs in and around the Willowbrook area, public skating and learn-to-skate programs geared specifically for the residents of Willowbrook; there will be an adult hockey league component, as well as programming geared towards the Village of Willowbrook District 60 and 88 schools. Anticipated community, recreation and ice program offerings and schedule are illustrated in Attachment 2 Facility Operations Plan. JKC Ice has many unique ideas outside of the established programs. Some examples would be working with the schools for Gym Classes, Sled hockey for disabled youth, adults and veterans, Girl Scouts and Boys Scouts and NISRA to bring programs to the handicapped community of Willowbrook.

The applicant has stated they anticipate 3-4 tournament events throughout the year. Anticipated hours of operation are Monday - Friday 6:00am - 11:30pm; and Saturday and Sunday 6:00am - 10:40pm.

## **Staff Analysis**

### **History & Appropriateness of Use**

Finding a replacement tenant to fill the former Whole Foods building has been a challenging endeavor. The building is still under lease by Whole Foods, which has recently been purchased by Amazon. The building and site are owned by the Midtown Athletic Club. Although the building is fully set-up to be a grocery use, Whole Foods does not want to allow any competitor to locate there. An alternate non-grocery use would need to perform substantial renovation to the building to remove all the refrigeration equipment and lines, etc. There is limited Tenant Improvement (T.I.) money available to offset this work, since the owner continues to receive full rent from Whole Foods for years to come. As a result, our efforts to find a replacement tenant to successfully negotiate a new lease with the owner (which would require a lease buy-out by Whole Foods), have not been fruitful.

Although the B-2 Community Shopping District is typically geared more towards retail uses and this new use would generate minimum sales tax revenue for the Village, the 6% amusement tax on gross sales will help offset that loss. Staff believes this use is highly appropriate for the area and will greatly benefit the community. The building will contain one (1) ice hockey rink along with associated support uses and areas (e.g., skate rental, locker rooms, training areas, spectator bleachers, equipment rooms, etc.). Tournament play may occur, but there is an abundance of available parking, and convenient direct access onto 63<sup>rd</sup> Street.

The proposed Ice Center will occupy a key vacancy along 63<sup>rd</sup> Street and is appropriately scaled to fit comfortably into the community and natural surroundings. An ice rink is a compatible and complementary use next to the Midtown Athletic Center and the Hinsdale Lake Commons



shopping center. It will bring additional foot traffic and consumers to the shopping center and surrounding area. Staff believes the ice rink will provide new and exciting opportunities for the Village and Willowbrook residents. The new lease, for the ice hockey rink, would have a term of 10 to 15 years. After obtaining zoning approval, interior demolition and the construction of the new facility would occur, which should take about 4 months' time. There will be no site changes – all renovations will be interior. The target opening date would be: August 1, 2018.

#### Comprehensive Plan

The Village Comprehensive Plan shows the subject property designated as Limited Office Research, however this designation has been superseded by the grocery store use with Community Shopping zoning since Whole Foods originally opened in 2002. The Ice Rink appears to be a compatible use in the area based on current zoning and surrounding uses.

#### Building & Site Plans

The petitioner has submitted an updated ALTA Land Survey and a Proposed Site Plan, along with the existing Site Plan, Landscape Plan, Exterior Elevations, Floor Plan, and Roof Plan that were approved for the original Whole Foods grocery store in 2002. All renovations for the JKC Ice Rink project will be interior.

#### Building Use Breakdown

The building will include (1) one NHL-sized main rink (85'x200'); (2) one studio rink (50'x90'); general lobby area with public restrooms, front-control desk, small concession area, and small conditioned viewing area; (3) figure skating changing area with lockers; (4) 4-team lockers with shared shower and bathroom facilities; (5) Girl's locker room with private shower and bathroom facilities; (6) Referee locker room with bathroom; (7) Mite locker room for youth under 8-years of age with bathroom; (8) Mezzanine-level office and conference room overlooking the main rink; (9) Elevated bleacher-style seating at the main rink for 150 spectators with designated accessible viewing for 4 and accessible lift; (10) dedicated refrigeration plant and electrical room. Building updates will also include (11) Upgrades to the Life Safety and Fire Suppression systems; (12) Parking lot resurfacing; and (13) New roofing system.

The concession area and enclosed lobby will be a controlled area (warmer than the rink) for parents dropping off their kids for practice and games. There will be minor seating for kids (benches) and a few hi-top tables. The concession stand will not have a kitchen or food-prep on site. It will serve pre-packaged items and canned/bottled non-alcoholic beverages and possibly coffee.

#### Additional Construction Details (interior remodel only)

All interior walls will be masonry in all public areas with drywall partitions being used in offices and low impact areas only. All ceilings in offices and concession areas shall be acoustic tile with a metal track system or suspended drywall. Flooring shall be rubber skate flooring throughout all public areas and locker rooms. All offices shall have carpeting.

All mechanical systems shall be high efficiency using rooftop units. The two ice rink dehumidification units shall be a desiccant gas operated system with shared ductwork. This allows for sharing the capacity between the units and is designed as a redundancy in case one unit is being maintained or is shut down for repair. The Ice Rinks shall have a desiccant dehumidification gas operated system. All other areas shall be served with high efficiency rooftop units with an emphyseis wheel. The cooling load generated from the ice rinks themselves shall serve to help cool not only the rinks themselves during the summer months, but other areas of the building as well. Cross shared ductwork shall be placed between each rink from each gas operated desiccant

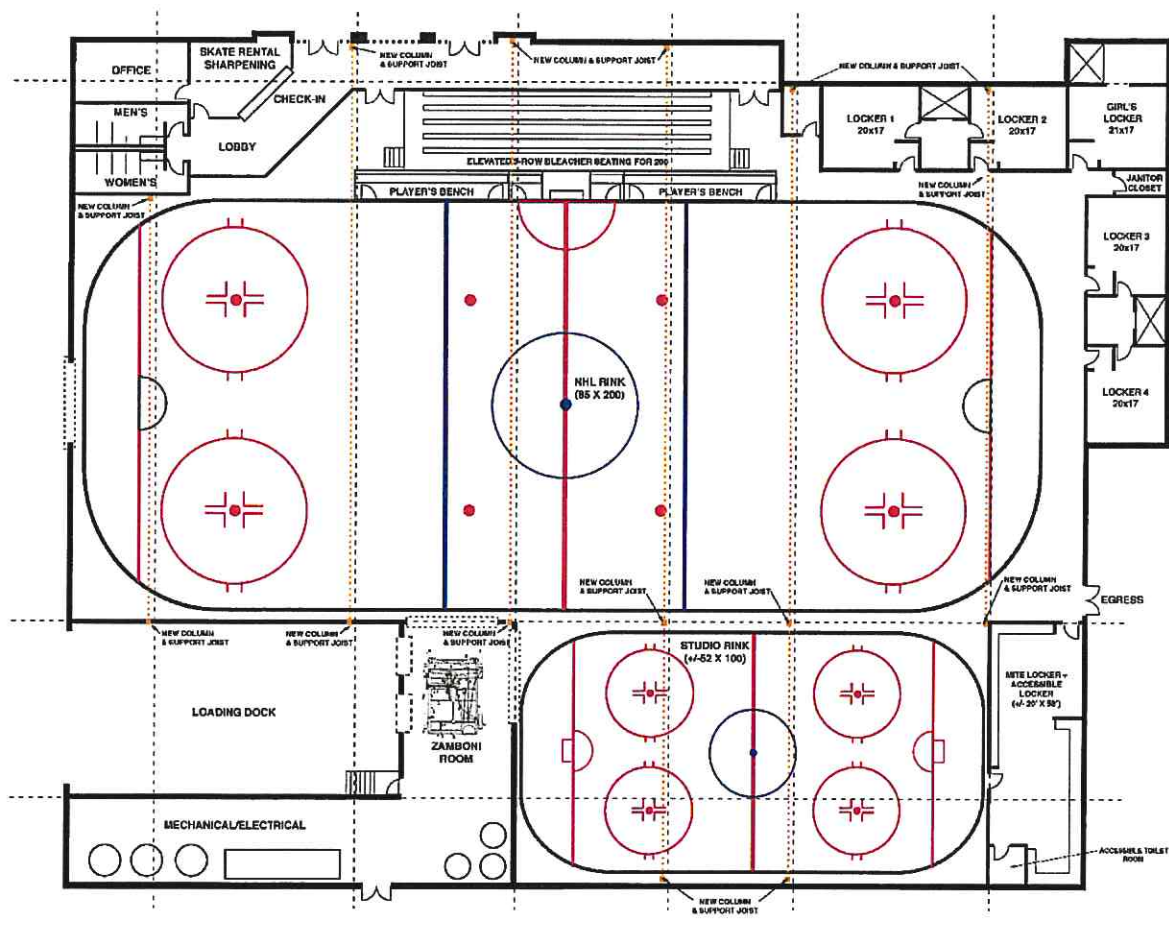




unit thus creating a redundancy in air distribution in case one unit is being serviced or is out of commission. All rooftop units shall use A-410 A refrigerant and the Refrigeration Plant shall use R-717 Ammonia Refrigerant. Each of these refrigerants is not harmful to the environment. All systems shall have enhanced commissioning and shall be high efficiency. The entire building shall have a fire suppression system following all NFPA requirements.

All lighting shall be energy efficient with the rink areas using high bay LED sports lighting. All plumbing fixtures shall be low flow type commercial units. All ice rinks shall have accommodations for handicapped skaters by having separate player's benches with clear Plexiglas boards for handicapped use. By extending the ice into these areas, ice sled use for handicapped hockey leagues can take place

See **Attachment 5: Proposed Floor Plan (N^)**



#### Bulk Requirements

No additions/modifications to the exterior of the building or site are being proposed at this time.





### Parking & Access

Staff does not predict the proposed development will have any adverse impacts on the current drive lanes along 63rd Street. There are two full access entrances from 63<sup>rd</sup> into the site, one onto Americana Drive and the other further east across from Canterbury Lane. It is anticipated that most traffic into the site will enter from these full access points. The site also has cross-access from the Midtown Athletic center property and emergency/fire access coming from Lake Hinsdale Tower in the south.

A drop off lane/fire lane will be provided at the main entry (currently exists) with handicapped parking located close to the building's main entry. Additionally, four tour bus parking spaces shall be located at the rear parking lot to the south, behind the building. Health salons, swimming pools, **skating rinks and other indoor recreational facilities** require 1 parking space for each 3 persons, based upon the maximum number of persons that can be accommodated at the same time in accordance with design capacity, plus 1 parking space for each 2 employees.

The typical roster size of a hockey team is twenty (20) players, plus two (2) coaches. It is unlikely that more than four (4) teams will be at the site at one time. The facility can accommodate one hundred and fifty (150) spectators. And the estimated size of staff in the building is around 6-10 people. The estimated maximum need for parking is eighty-four (84) spaces. The subject property is currently equipped with two hundred and thirty-one (231) regular parking spaces and six (6) additional ADA spaces. Sufficient parking is provided.

**Table 1: Parking Requirements**

Type	Code	Proposed	Requirement
Team A	1 parking space for each 3 persons	22	7
Team B	"	22	7
Team C	"	22	7
Team D	"	22	7
Spectators	"	150	50
Staff	1 parking space for each 2 employees	10	5
		<b>Total:</b>	<b>84</b>

### Landscaping & Trash Enclosure

The Village did not require a landscape plan however the petitioner has submitted the original Whole Foods plan for reference. Kenny Carlin and Alan Schwartz, the Owner, will be working to bring the exterior, parking lot, and landscaping, back to the original condition.

### Signage

Signage details have not yet been provided by the applicant. Signage shall comply with the Village Code and with Resolution No. 01-R-45 "Approving the Final Plat of Planned Unit Development – Whole Foods Market."

### Elevations & Façade Improvements

Minimal changes to the façade have been proposed including minor repairs to the existing stucco, touch-up painting to the bollards, garage door, and repairs of the existing exterior lighting.



### Standards & Findings for a Special Use

The Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. Pursuant to Section 9-14-5 of the Zoning Regulations of the Village of Willowbrook, The Standards for Special Use Permits are as follows:

#### 9-14-5.2: Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

**Finding:** The proposed facility will operate as year-round ice skating facility for both youth and adult ice hockey players, figure skaters, and learn-to-skate programs; offering a safe environment for both participants and spectators. The establishment, maintenance, and operation of this special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

**Finding:** The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant. This will bring both youth and adult sports participants to a vibrant area of restaurants, shops, and other sports related venues.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

**Finding:** The proposed ice skating facility will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Rather, it will enhance the development and bring family-oriented sports related entertainment that will further support current and future businesses within the district.

- (D) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

**Finding:** The existing utilities, access roads, drainage, and/or other necessary facilities that were implemented for the previous Whole Foods store occupant are more than adequate to service the proposed ice skating facility.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

**Finding:** The existing ingress and egress design that was implemented for the previous Whole Foods store occupant allowed for a traffic turnover rate of pedestrian and vehicular traffic greater than the proposed ice skating facility would generate.



- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

**Finding:** The proposed ice skating facility conforms to the applicable regulations of the district in which it is located and sits next to the Midtown Athletic Club.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board or any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.**

**Finding:** The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant. At least one year has elapsed since any denial by the Village Board or any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

#### Findings of Fact for a Planned Unit Development

The Willowbrook Zoning Ordinance establishes seven (7) Findings of Fact for a Planned Unit Development that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Planned Unit Development. Pursuant to Section 9-13-7 of the Zoning Regulations of the Village of Willowbrook, The Findings for Planned Unit Developments are as follows:

#### 9-13-7: Findings:

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.**

**Finding:** The proposed facility will operate in the vacant Whole Foods store and serve as a year-round ice skating facility for both youth and adult ice hockey players, figure skaters, and learn-to-skate programs; offering a safe environment for both participants and spectators and will be consistent with the planned unit development regulations for an indoor amusement establishment, more specifically a skating rink. It sits next to the Midtown Athletic Club and will complement the frontage along 63rd Street as a family-oriented sports destination.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed facility will operate in an existing building and the request for a special use for a skating rink is consistent with Section 9-13-4(C)6(a)(5) and Section 9-6B-2, for an indoor amusement establishment.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.**



**Finding:** The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant; which will bring both youth and adult sports participants to a vibrant area of restaurants, shops, and other sports related venues. The subject property will not change from a material perspective on the exterior nor deviate from the previously built environment.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.**

**Finding:** The proposed ice skating facility will use the existing Whole Foods site and the existing roadway infrastructure that will accommodate both vehicular and pedestrian traffic; which previously served a high turnover of both cars and pedestrians at a higher density than the proposed ice skating facility.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)**

**Finding:** The proposed ice skating facility will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Rather, it will enhance the development and bring family-oriented sports related entertainment that will further support current and future businesses within the district.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.**

**Finding:** The proposed ice skating facility will fill a void where the old Whole Foods store has sat vacant and bring family-oriented sports related entertainment that will add to the tax base and economic well-being of the community.

- (G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)**

**Finding:** The proposed ice skating facility will enhance the development and bring family-oriented sports related entertainment to an area that has sat vacant and will support current and future businesses within the district.



### **Staff Recommendation**

Staff is supportive of the proposed petition and recommends approval of the Amendment to the Whole Foods Market Planned Unit Development (PUD) to allow for a Special Use for an Indoor Amusement Establishment, specifically the JKC Ice Rink, subject to the conditions listed below.

### **Conditions for Approval**

Staff recommends that the following "Conditions of Approval" be considered by the Plan Commission.

1. A separate sign permit shall be obtained for any future proposed building and ground signage, pursuant to the Village Code and Resolution No. 01-R-45 "Approving the Final Plat of Planned Unit Development – Whole Foods Market"
2. Accessible (handicap) parking spaces shall comply with current applicable codes.
3. The owner shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
4. Prior to the issuance of any final certificate of occupancy, the owner shall complete the following improvements to the SUBJECT PROPERTY:
  - a) Sealcoat and restripe all asphalt parking.
  - b) Repair or replace all required above grade signage.
  - c) Make necessary maintenance repairs to the existing trash enclosure.
  - d) Return the premises landscaping to comply with the originally approved landscape plan, to include:
    - i. Replacement of any and all dead, dying, or missing landscape plantings (any species substitutions must be approved in writing by the Village Director of Municipal Services or his designee).
    - ii. Proper trimming/pruning of existing landscaping deemed to be in good condition.
    - iii. Installation of ground mulch in all landscape beds and landscape islands.
5. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.

### **Sample Motion**

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use outlined in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a special use for an "Indoor Amusement Establishment, specifically an Ice Rink" subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 18-02 for the April 4, 2018 Plan Commission meeting.



Attachment 1  
Legal Description

PIN# 09-23-101-029

PARCEL 1: THAT PART OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE NORTHWEST 1/4, 660.0 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 89 DEGREES, 51 MINUTES, 33 SECONDS EAST (NORTH 89 DEGREES, 54 MINUTES, 46 SECONDS EAST DEED), A DISTANCE OF 73.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES, 51 MINUTES, 33 SECONDS EAST ALONG THE NORTH LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 362.00 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 27 SECONDS EAST (SOUTH 00 DEGREES, 00 MINUTES, 29 SECONDS EAST DEED), A DISTANCE OF 130.00 FEET; THENCE SOUTH 27 DEGREES, 20 MINUTES, 34 SECONDS WEST A DISTANCE OF 90.18 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 24 SECONDS EAST, A DISTANCE OF 135.00 FEET; THENCE SOUTH 50 DEGREES, 05 MINUTES, 16 SECONDS WEST, A DISTANCE OF 85.98 FEET; THENCE SOUTH 00 DEGREES, 03 MINUTES, 27 SECONDS EAST, A DISTANCE OF 100.00 FEET TO A LINE 500.00 FEET SOUTH OF THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE SOUTH 89 DEGREES, 51 MINUTES, 33 SECONDS WEST, A DISTANCE OF 258.52 FEET; THENCE NORTH 04 DEGREES, 16 MINUTES, 11 SECONDS WEST, A DISTANCE OF 285.74 FEET; THENCE NORTH 00 DEGREES, 03 MINUTES, 18 SECONDS WEST, A DISTANCE OF 170.00 FEET; THENCE NORTH 28 DEGREES, 58 MINUTES, 45 SECONDS EAST, A DISTANCE OF 51.51 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS

PARCEL 2: EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION AND GRANT OF EASEMENT RECORDED JUNE 16, 1978 AS DOCUMENT R78-53587 AS AMENDED BY DOCUMENT R78-105454 FOR INGRESS AND EGRESS, OVER THE NORTHERLY 450 FEET OF THE WESTERLY ROADWAY AS DEFINED IN SAID DECLARATION, AND OVER A PORTION OF THE EASTERLY ROADWAY AS DEFINED IN SAID DECLARATION

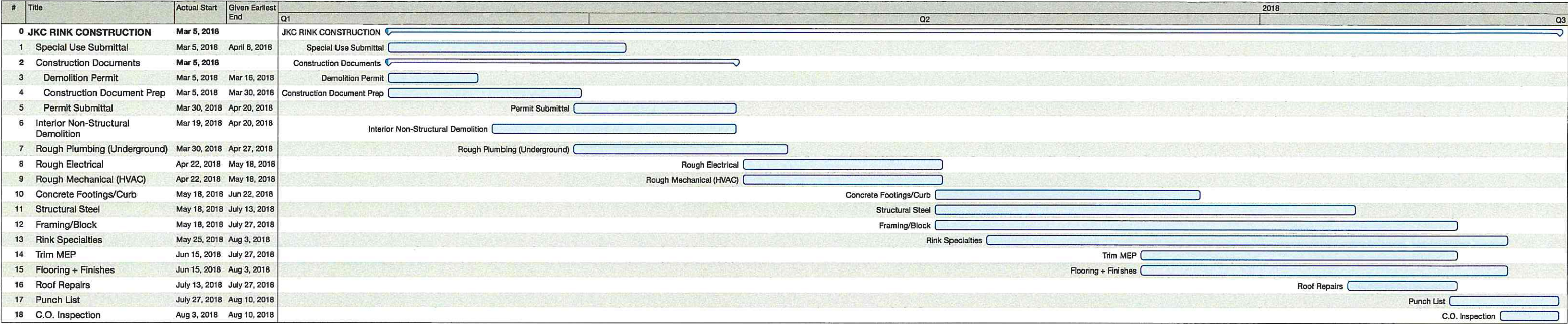
PARCEL 3: EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY EASEMENT GRANT RECORDED NOVEMBER 13, 1973 AS DOCUMENT R73-70385 FOR INGRESS AND EGRESS OVER THE FOLLOWING DESCRIBED LAND: THAT PART OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST 1/4, 660.0 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 89 DEGREES 54 MINUTES 46 SECONDS EAST ALONG SAID NORTH LINE 624.93 FEET; THENCE SOUTH 00 DEGREES 06 MINUTES 14 SECONDS EAST 65.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH LINE OF 63RD STREET; THENCE NORTH 89 DEGREES 54 MINUTES 14 SECONDS EAST 130.24 FEET; THENCE SOUTH 00 DEGREES 05 MINUTES 14 SECONDS EAST 58.00 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 46 SECONDS WEST PARALLEL TO THE SOUTH LINE OF 63RD STREET 195.53 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE OF RADIUS 125.00 FEET CONVEX NORTHWESTERLY 196.18 FEET ARC TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 00 MINUTES 29 SECONDS WEST ALONG SAID TANGENT EXTENDED NORTHERLY 133.66 FEET TO A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG A CURVE OF RADIUS 183.00 FEET CONCENTRIC TO THE LAST DESCRIBED CURVE 137.35 FEET ARC TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 54 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF 63RD STREET AS EXTENDED WEST AND TANGENT TO THE LAST DESCRIBED COURSE 65.29 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS



Attachment 2  
Construction Schedule



JKC RINK  
201 63rd Street | Willowbrook, IL  
Preliminary Construction Schedule



VIRGIL  
JAMES, INC.

+ architecture  
+ interiors  
+ construction management

321 south jefferson street  
chicago, il 60661  
www.virgiljames.us





Attachment 3  
Facility Operations Plan

# NHL RINK

Time	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
6:00 AM	Figure Skating	Figure Skating	Figure Skating	Figure Skating	Figure Skating	Figure Skating	Drop In Hockey
6:10 AM	Contract Ice	Contract Ice	Contract Ice	Contract Ice	Contract Ice	Contract Ice	
6:20 AM							
6:30 AM							
6:40 AM							
6:50 AM							
7:00 AM							
7:10 AM							
7:20 AM							
7:30 AM							
7:40 AM							
7:50 AM							
8:00 AM							
8:10 AM						Figure Skating Classes	Figure Skating
8:20 AM						Basic 1-6	Contract Ice
8:30 AM							
8:40 AM							
8:50 AM							
9:00 AM							
9:10 AM							
9:20 AM						Figure Skating Classes	
9:30 AM						Basic 1-6	
9:40 AM							
9:50 AM	Ice Maintenance		Ice Maintenance		Ice Maintenance		
10:00 AM							
10:10 AM							
10:20 AM							Hockey Games
10:30 AM						Figure Skating Classes	
10:40 AM						Basic 1-6	
10:50 AM							
11:00 AM	Drop In Hockey	Drop In Hockey	Drop In Hockey	Drop In Hockey	Drop In Hockey		
11:10 AM							
11:20 AM							
11:30 AM						Figure Skating Classes	Hockey Games
11:40 AM						Basic 1-6	
11:50 AM							
12:00 PM							
12:10 PM							
12:20 PM						Hockey Games	Hockey Games
12:30 PM							
12:40 PM							
12:50 PM							
1:00 PM							
1:10 PM							
1:20 PM							
1:30 PM						Hockey Games	Hockey Games
1:40 PM							
1:50 PM							
2:00 PM							
2:10 PM		Ice Maintenance		Ice Maintenance			
2:20 PM							
2:30 PM							
2:40 PM						Hockey Games	Hockey Games
2:50 PM							
3:00 PM	Figure Skating	Figure Skating Classes	Figure Skating	Figure Skating	Figure Skating Classes		
3:10 PM	Contract Ice	Basic 1-6	Contract Ice	Contract Ice	Basic 1-6		
3:20 PM							
3:30 PM							



## NHL RINK CON'T

Time	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday		
3:40 PM	Figure Skating Contract Ice	Figure Skating Classes Basic 1-6	Figure Skating Contract Ice	Figure Skating Contract Ice	Figure Skating Classes Basic 1-6	Hockey Games	Hockey Games		
3:50 PM									
4:00 PM									
4:10 PM									
4:20 PM									
4:30 PM		Figure Skating Classes Basic 1-6				Figure Skating Classes Basic 1-6			
4:40 PM									
4:50 PM								Hockey Games	Hockey Games
5:00 PM									
5:10 PM									
5:20 PM		Figure Skating Classes Basic 1-6			Figure Skating Classes Basic 1-6				
5:30 PM									
5:40 PM									
5:50 PM									
6:00 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Games	Hockey Games		
6:10 PM									
6:20 PM									
6:30 PM									
6:40 PM									
6:50 PM									
7:00 PM									
7:10 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Public Skate	Men's League Games		
7:20 PM									
7:30 PM									
7:40 PM									
7:50 PM									
8:00 PM	Hockey Practices	Hockey Practices	Hockey Practices	Hockey Practices	Public Skate				
8:10 PM									
8:20 PM									
8:30 PM									
8:40 PM									
8:50 PM									
9:00 PM							Men's League Games		
9:10 PM									
9:20 PM									
9:30 PM									
9:40 PM									
9:50 PM									
10:00 PM									
10:10 PM	Men's League Games	Men's League Games	Men's League Games	Men's League Games					
10:20 PM									
10:30 PM									
10:40 PM									
10:50 PM									
11:00 PM									
11:10 PM									
11:20 PM									
11:30 PM									

## STUDIO RINK

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
6:00 AM	Hockey	Hockey	Hockey	Hockey	Hockey		
6:10 AM	Private Lessons	Private Lessons	Private Lessons	Private Lessons	Private Lessons		
6:20 AM							
6:30 AM							
6:40 AM							
6:50 AM							
7:00 AM						Private Rentals	Private Rentals
7:10 AM	Hockey	Hockey	Hockey	Hockey	Hockey		
7:20 AM	Private Lessons	Private Lessons	Private Lessons	Private Lessons	Private Lessons		
7:30 AM							
7:40 AM							
7:50 AM							
8:00 AM							
8:10 AM						Private Rentals	Private Rentals
8:20 AM							
8:30 AM							
8:40 AM							
8:50 AM							
9:00 AM							
9:10 AM							
9:20 AM						Private Rentals	Private Rentals
9:30 AM							
9:40 AM							
9:50 AM							
10:00 AM							
10:10 AM							
10:20 AM							
10:30 AM						Mite Games	Mite Games
10:40 AM							
10:50 AM							
11:00 AM							
11:10 AM							
11:20 AM							
11:30 AM							
11:40 AM						Mite Games	Mite Games
11:50 AM							
12:00 PM							
12:10 PM							
12:20 PM							
12:30 PM							
12:40 PM							
12:50 PM						Mite Games	Mite Games
1:00 PM							
1:10 PM							
1:20 PM							
1:30 PM							
1:40 PM							
1:50 PM							
2:00 PM						Mite Games	Mite Games
2:10 PM							
2:20 PM							
2:30 PM							
2:40 PM							
2:50 PM							
3:00 PM							
3:10 PM						Mite Games	Mite Games
3:20 PM							
3:30 PM							
3:40 PM							
3:50 PM							



# STUDIO RINK Con't

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4:00 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
4:10 PM							
4:20 PM							
4:30 PM							
4:40 PM							
4:50 PM							
5:00 PM							
5:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
5:20 PM							
5:30 PM							
5:40 PM							
5:50 PM							
6:00 PM							
6:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
6:20 PM							
6:30 PM							
6:40 PM							
6:50 PM							
7:00 PM							
7:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals	Private Rentals
7:20 PM							
7:30 PM							
7:40 PM							
7:50 PM							
8:00 PM							
8:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals		
8:20 PM							
8:30 PM							
8:40 PM							
8:50 PM							
9:00 PM							
9:10 PM	Hockey Practice	Hockey Practice	Hockey Practice	Hockey Practice	Private Rentals		
9:20 PM							
9:30 PM							
9:40 PM							
9:50 PM							
10:00 PM							



---

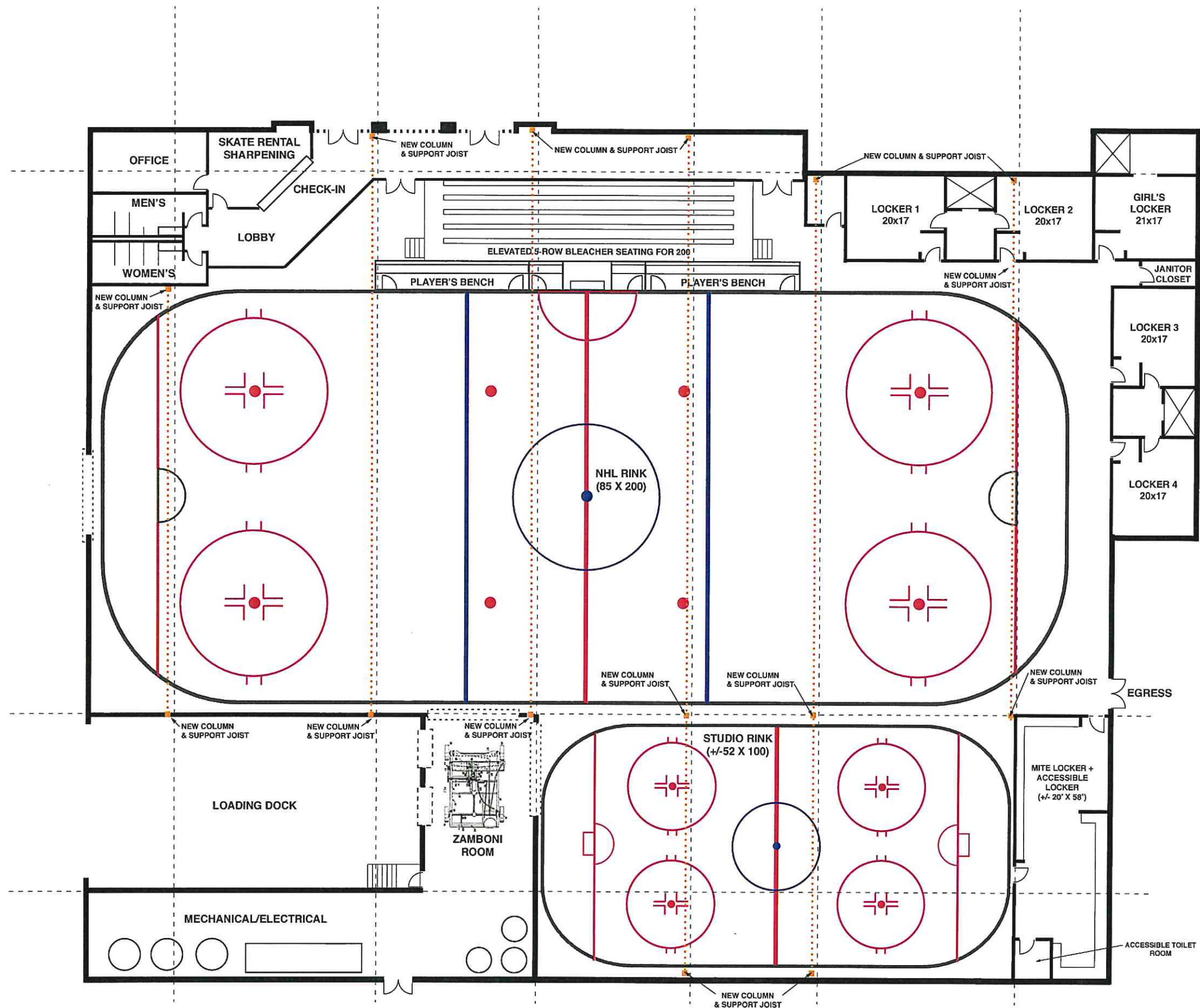
Attachment 4  
ALTA Land Survey







Attachment 5  
Proposed Floor Plan



1  
A1.0  
PROPOSED GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

VIRGIL  
JAMES, INC.  
+ architecture  
+ interiors  
+ construction management

321 south jofferson street  
chicago, il 60661

VIRGIL JAMES US  
All Rights Reserved  
OWNERSHIP OF DOCUMENTS

COPYRIGHT  
Virgil James, Inc. shall retain all  
copyrights, statutory and common  
law right with regard to these  
plans and design content.  
Reproduction, changes or  
assignment to any third party shall  
not occur without obtaining  
expressed written permission &  
consent of Virgil James, Inc.

LIMITATION OF WARRANTY  
The Architect and his Consultants  
do not warrant or guarantee the  
accuracy and completeness of the  
work product thereon beyond a  
reasonable diligence. If mistakes,  
omissions or discrepancies are  
found to exist within the work  
product, the Architect shall be  
promptly notified so that he may  
have the opportunity to take  
whatever steps necessary to  
resolve them. Failure to promptly  
notify the Architect of such  
conditions shall absolve the  
Architect from any responsibility  
for the consequences of such  
failure. Actions taken without the  
knowledge and consent of the  
Architect, or in contradiction to the  
Architect's work product or  
recommendation, shall become  
the responsibility not of the  
Architect, but of the parties  
responsible for taking such  
actions.

JKC Ice  
201 63rd Street  
Willowbrook, IL 60527

ISSUED FOR: DATE:  
PRELIM REVIEW 02.20.2018  
SPECIAL USE 03.08.2018  
SUBMITTAL VILLAGE OF WILLOWBROOK

JOB NUMBER:  
JKCICE99.017

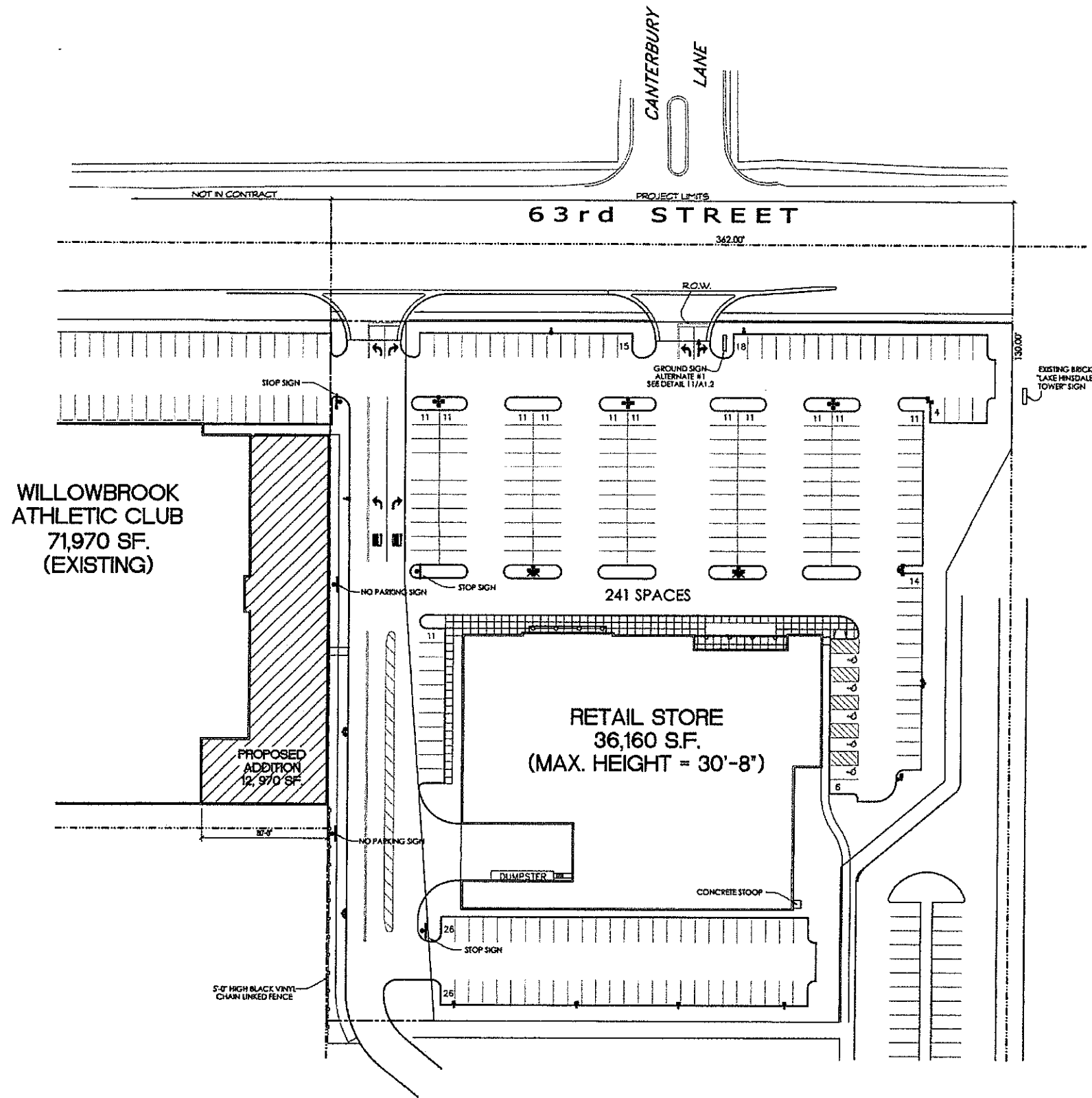
DRAWN BY:  
TE/SE

SHEET NUMBER:

A1.0  
Proposed  
Ground Floor Plan



Attachments 6-10  
Existing Site Plan, Existing Landscape Plan, Existing Exterior Elevations, Existing Floor Plan,  
and Existing Roof Plan



# SITE PLAN

SCALE 1" = 30'-0"



ARCHITECTURAL SITE PLAN  
WHOLE FOODS MARKET  
63rd STREET - WEST OF ILLINOIS ROUTE 83  
WILLOWBROOK, ILLINOIS

A0.1

STEWART + NOSKY  
ARCHITECTS, LTD.  
1400 Broadway Ave., Suite 100  
Denver, CO 80202  
(303) 441-4444



VIRGIL  
JAMES, INC.  
+ architecture  
+ interiors  
+ construction management

321 south jefferson street  
chicago, il 60661

VIRGIL JAMES US  
All Rights Reserved  
OWNERSHIP OF DOCUMENTS

COPYRIGHT  
Virgil James, Inc. shall retain all  
copyrights, statutory and common  
law right with regard to these  
plans and design content.  
Reproduction, changes or  
assignment to any third party shall  
not occur without obtaining  
expressed written permission &  
consent of Virgil James, Inc.

LIMITATION OF WARRANTY  
The Architect and his Consultants  
do not warrant or guarantee the  
accuracy and completeness of the  
work product thereon beyond a  
reasonable diligence. If mistakes,  
omissions or discrepancies are  
found to exist within the work  
product, the Architect shall be  
promptly notified so that he may  
have the opportunity to take  
whatever steps necessary to  
resolve them. Failure to promptly  
notify the Architect of such  
conditions shall absolve the  
Architect from any responsibility  
for the consequences of such  
failure. Actions taken without the  
knowledge and consent of the  
Architect, or in contradiction to the  
Architect's work product or  
recommendation, shall become  
the responsibility not of the  
Architect, but of the parties  
responsible for taking such  
actions.

JKC Ice  
201 63rd Street  
Willowbrook, IL 60527

ISSUED FOR: DATE:  
PRELIM REVIEW 02.28.2018  
SPECIAL USE 02.28.2018  
SUBMITTAL VILLAGE OF WILLOWBROOK

JOB NUMBER:  
JKCICE99.017

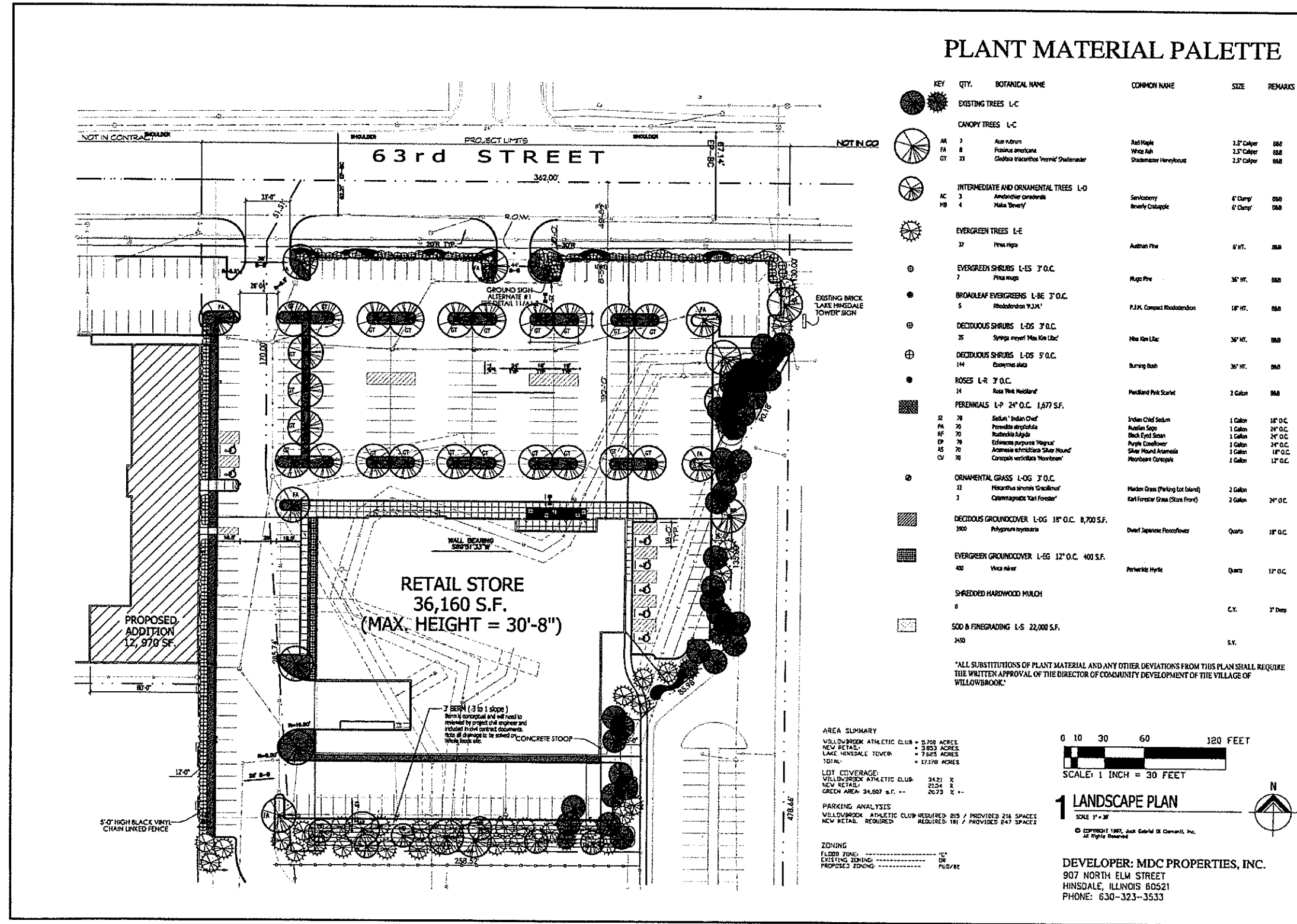
DRAWN BY:  
TE/SE

SHEET NUMBER:

SP2  
Existing  
Site Plan

Job No: 9908.50 Date: 28 JULY 1999 Rev.: 1 12 MAY 2000

c:\1999\0501 - willowbrook\WPL-990501.dwg (Fri Sep 03 07:58:44 1999)



**Jack Gabriel Di Clementi, Inc.**  
Landscape Architecture  
3301 Lake Street, Suite 201  
Willowbrook, Illinois 60521  
Tel: 630-323-3533  
Fax: 630-323-3534

**LANDSCAPE PLAN**  
**PROPOSED WHOLE FOODS MARKET**  
63 RD STREET WEST OF ROUTE 83  
WILLOWBROOK, ILLINOIS

DATE	
4-9-98	
9-10-98	
10-26-98	
11-16-98	
7-8-99	
9-3-99	
PRELIMINARY	

DRAWN BY: JGD

9815

SHEET  
**L1**  
1 of 1

**VIRGIL JAMES, INC.**  
+ architecture  
+ interiors  
+ construction management

321 south jefferson street  
chicago, il 60661

VIRGIL JAMES US  
All Rights Reserved  
OWNERSHIP OF DOCUMENTS

COPYRIGHT  
Virgil James, Inc. shall retain all  
copyright, statutory and common  
law right with regard to these  
plans and design content.  
Reproduction, changes or  
assignment to any third party shall  
not occur without obtaining  
expressed written permission &  
consent of Virgil James, Inc.

LIMITATION OF WARRANTY  
The Architect and his Consultants  
do not warrant or guarantee the  
accuracy and completeness of the  
work product thereon beyond a  
reasonable diligence. If mistakes,  
omissions or discrepancies are  
found to exist within the work  
product, the Architect shall be  
promptly notified so that he may  
have the opportunity to take  
whatever steps necessary to  
resolve them. Failure to promptly  
notify the Architect of such  
conditions shall absolve the  
Architect from any responsibility  
for the consequences of such  
failure. Actions taken without the  
knowledge and consent of the  
Architect, or in contradiction to the  
Architect's work product or  
recommendations, shall become  
the responsibility not of the  
Architect, but of the parties  
responsible for taking such  
actions.

**JKC Ice**  
201 63rd Street  
Willowbrook, IL 60527

ISSUED FOR: DATE:  
PRELIM REVIEW 02.20.2018  
SPECIAL USE 03.08.2018  
SUBMITTAL VILLAGE OF WILLOWBROOK

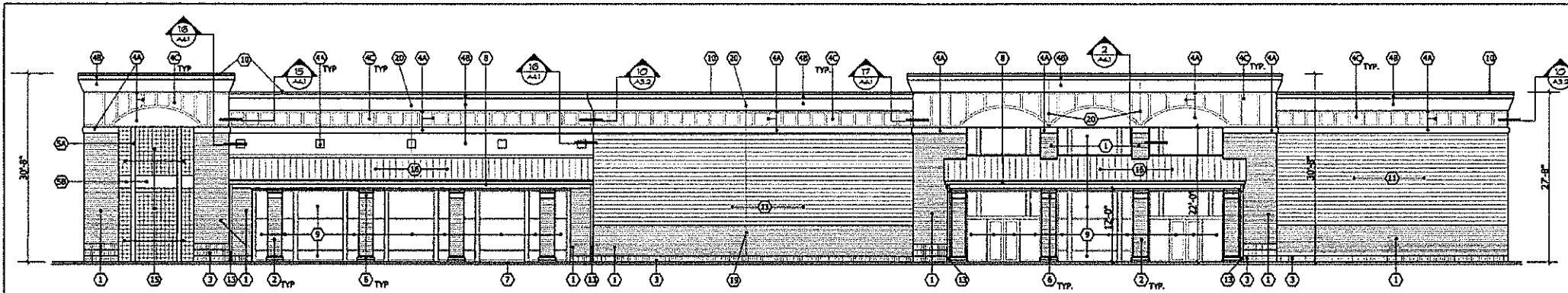
JOB NUMBER:  
JKCICE99.017

DRAWN BY:  
TE/SE

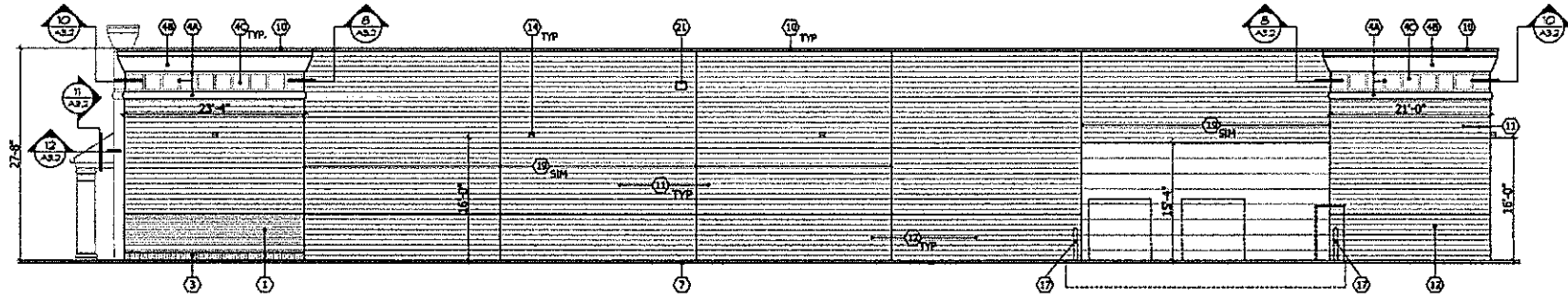
SHEET NUMBER:  
**L1**  
Existing  
Landscape Plan



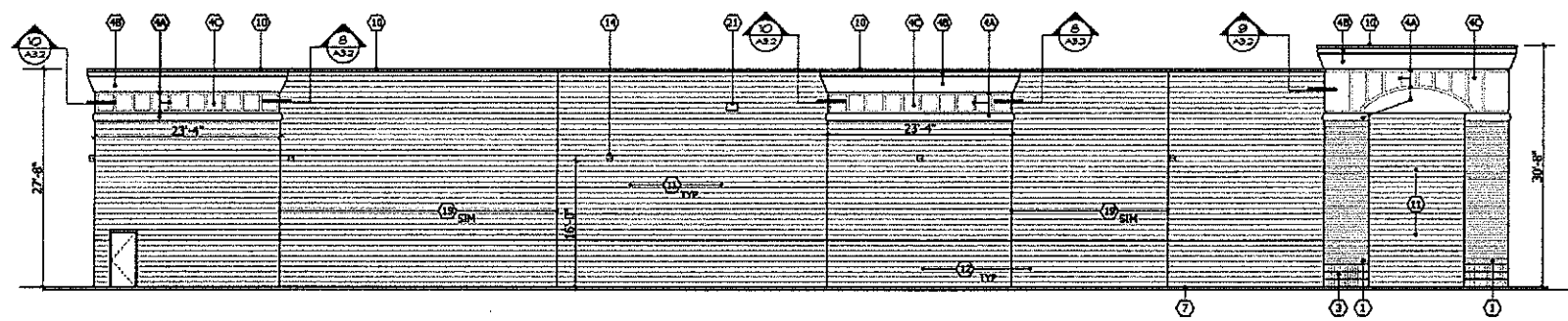




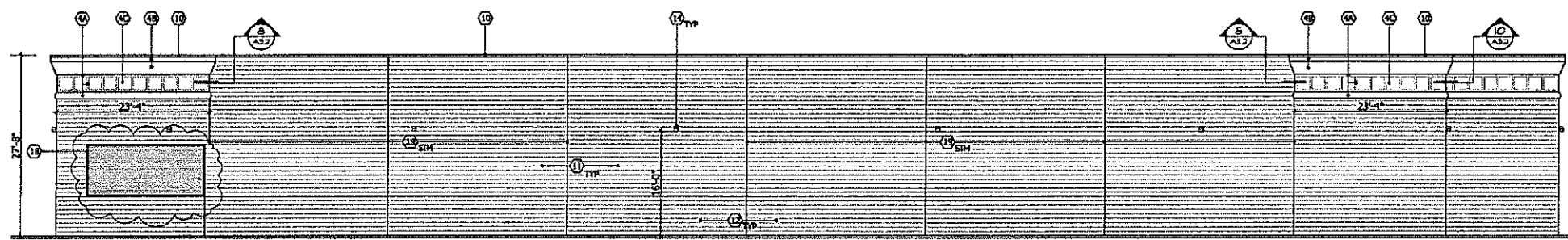
1 NORTH ELEVATION  
A2.1 Scale: 1/8" = 1'-0"



2 WEST ELEVATION  
A2.1 Scale: 1/8" = 1'-0"



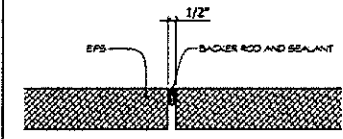
3 EAST ELEVATION  
A2.1 Scale: 1/8" = 1'-0"



4 SOUTH ELEVATION  
A2.1 Scale: 1/8" = 1'-0"

ELEVATION KEY NOTES

- 1 FACE BRICK - SEE PROJECT MANUAL
- 2 SPECIAL FACE BRICK - SEE DETAIL 8/A4.1
- 3 FACE BRICK SOLDIER COURSE
- 4A EIFS SYSTEM OVER 1-1/2" (MIN.) INSULATION BOARD SUBSTRATE - COLOR TYPE "A"
- 4B EIFS SYSTEM OVER 1-1/2" (MIN.) INSULATION BOARD SUBSTRATE - COLOR TYPE "B"
- 4C EIFS SYSTEM OVER 1-1/2" (MIN.) INSULATION BOARD SUBSTRATE - COLOR TYPE "C"
- 5A PREFINISHED ALUMINUM TRIM - COLOR TYPE "A"
- 5B PREFINISHED ALUMINUM TRIM - COLOR TYPE "B"
- 6 CAST STONE CONCRETE COLUMN COVER
- 7 EXTERIOR CONCRETE SIDEWALK - SEE CIVIL DRAWINGS
- 8 PREFINISHED ALUMINUM GUTTERS - COLOR TYPE "A"
- 9 PREFINISHED ALUMINUM STOREFRONT AND GLAZING SYSTEM - SEE PROJECT MANUAL
- 10 PREFINISHED METAL COPING
- 11 CMU TYPE 1 w/ WATER REPELLANT - SEE PROJECT MANUAL
- 12 CMU TYPE 2 w/ WATER REPELLANT - SEE PROJECT MANUAL
- 13 PREFINISHED ALUMINUM DOWNSPOUTS - SEE PROJECT MANUAL SEE CIVIL DRAWINGS FOR CONNECTION INTO STORM SEWER
- 14 SECURITY LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- 15 8" x 8" x 4" (NOM.) GLASS UNIT MASONRY - SEE PROJECT MANUAL
- 16 PREFINISHED STANDING SEAM METAL ROOF
- 17 8" DIAMETER CONCRETE FILLED STEEL BOLLARD - SEE DETAIL 7/A4.1
- 18 8'-0" x 18'-0" INTAKE LOUVER - SEE MECHANICAL DWGS.
- 19 MASONRY CONTROL JOINT - SEE DETAIL 14/A4.1
- 20 EIFS CONTROL JOINT - SEE DETAIL 5/A2.1
- 21 OVERFLOW SCUPPER - SEE DETAIL 8/A1.2



6 EIFS CONTROL JOINT  
A2.1 Scale: 3" = 1'-0"

EXTERIOR ELEVATIONS  
WHOLE FOODS MARKET  
63rd STREET - WEST OF ILLINOIS ROUTE 83  
WILLOWBROOK, ILLINOIS

A2.1

STEWART + NOSKY  
ARCHITECTS, LTD.  
1300 Broadway Ave., Suite 100  
Evanston, IL 60201  
TEL: (847) 341-4444



VIRGIL  
JAMES, INC.  
+ architecture  
+ interiors  
+ construction management  
321 south jefferson street  
chicago, il 60661

VIRGIL JAMES US  
All Rights Reserved  
OWNERSHIP OF DOCUMENTS

COPYRIGHT  
Virgil James, Inc. shall retain all  
copyrights, statutory and common  
law rights with regard to these  
plans and design content.  
Reproduction, changes or  
assignment to any third party shall  
not occur without obtaining  
expressed written permission &  
consent of Virgil James, Inc.

LIMITATION OF WARRANTY  
The Architect and his Consultants  
do not warrant or guarantee the  
accuracy and completeness of the  
work product thereon beyond a  
reasonable diligence. If mistakes,  
omissions or discrepancies are  
found to exist within the work  
product, the Architect shall be  
promptly notified so that he may  
have the opportunity to take  
whatever steps necessary to  
resolve them. Failure to promptly  
notify the Architect of such  
conditions shall constitute the  
Architect's release from any responsibility  
for the consequences of such  
failure. Actions taken without the  
knowledge and consent of the  
Architect, or in contradiction to the  
Architect's work product or  
recommendation, shall become  
the responsibility not of the  
Architect, but of the parties  
responsible for taking such  
actions.

Job No: 8008.60 Date: 28 JULY 1999 Rev: 1 12 MAY 2000

JKC Ice  
201 63rd Street  
Willowbrook, IL 60527

ISSUED FOR: DATE:  
PRELIM REVIEW 02.20.2018  
SPECIAL USE 03.05.2018  
SUBMITTAL VILLAGE OF WILLOWBROOK

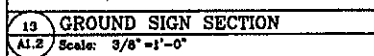
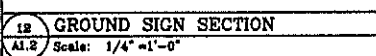
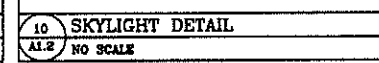
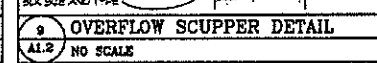
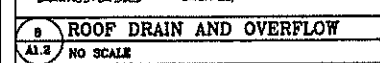
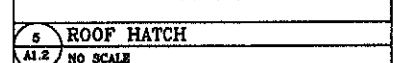
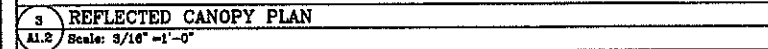
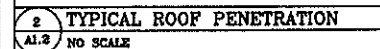
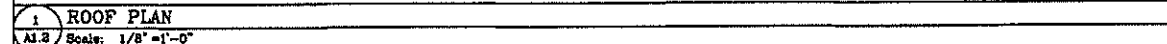
JOB NUMBER:  
JKCICE99.017

DRAWN BY:  
TE/SE

SHEET NUMBER:

A2.1  
Existing  
Exterior Elevations





A1.2

**LIMITATION OF WARRANTY**  
The Architect and his Consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond the reasonable diligence of the Architect and his Consultants in the detection of omissions or discrepancies which may be found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to revise, whether or steps need to be taken to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such failure. The Architect shall not be responsible for the knowledge and content of the Architect, or in contradiction to the Architect's work product recommendation, shall be considered the responsibility not of the Architect, but of the Client. The Architect shall not be responsible for taking such actions

## A1.2

Existing  
Roof Plan +  
Details