

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, MAY 22, 2017, AT 6:30 P.M. AT **CHICAGO MARRIOTT SOUTHWEST AT BURR RIDGE, SALON III/IV/V ROOMS, 1200 BURR RIDGE PARKWAY, VILLAGE OF BURR RIDGE, COOK COUNTY, ILLINOIS**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
 - a. Waive Reading of Minutes (APPROVE)
 - b. Minutes - Regular Board Meeting - May 8, 2017 (APPROVE)
 - c. Warrants - \$312,498.23 (APPROVE)
 - d. Resolution - A Resolution Waiving the Competitive Bidding Process and Authorizing the Village Administrator to Enter into a Certain Agreement - Midco, Inc. - New Village Phone System (ADOPT)
 - e. Resolution - A Resolution Authorizing the Village Administrator's Acceptance of Project Change Order Number 40 - the Removal of Debris and Over-Excavation of Carport Piers, Project Change Order Number 41 - the Installation of Four (4) Additional Data Outlets, and Project Change Order Number 42 - Asphalt Contractor Re-Mobilization Costs, and Ratifying and Confirming the Village Administrator's Prior Execution of Said Change Orders (ADOPT)
 - f. Motion - Board Advice and Consent to Mayor's Appointments to Fill Vacancies in the Parks & Recreation Commission, Plan Commission, Board of Police Commissioners, and Police Pension Fund Board (PASS)
 - g. Motion to Approve - Police Renovation Project: Payout #7 - Partial Payment, L.J. Morse Construction Company (PASS)

- h. Motion - Board Authorization for Staff to Process Current Delinquent Water Bills in Accordance with Past Practices (PASS)
- i. Proclamation - A Proclamation Declaring the Week of May 21-27, 2017 as National Public Works Week Within the Village of Willowbrook (ADOPT)

NEW BUSINESS

(None)

UNFINISHED BUSINESS

- 6. ORDINANCE - AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET - THE CHICAGO GUN CLUB

PRIOR BUSINESS

- 7. COMMITTEE REPORTS
- 8. ATTORNEY'S REPORT
- 9. CLERK'S REPORT
- 10. ADMINISTRATOR'S REPORT
- 11. MAYOR'S REPORT
- 12. CLOSED SESSION
- 13. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, MAY 8, 2017 AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, VILLAGE OF BURR RIDGE, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Attorney Thomas Bastian, Village Administrator Timothy Halik, Chief Mark Shelton, Director of Finance Carrie Dittman, Assistant to the Village Administrator Garrett Hummel, and Deputy Clerk Cindy Stuchl.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked the Honorable Judge Linda E. Davenport, 18th Judicial Circuit, DuPage County, Illinois to lead everyone in saying the Pledge of Allegiance.

4. OATH OF OFFICE

Judge Davenport administered the Oath of Office to Mayor Frank Trilla, Clerk Leroy Hansen, Trustee Terrence Kelly, Trustee Michael Mistele, and Trustee Umberto Davi.

5. VISITORS' BUSINESS

None Presented.

6. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - April 24, 2017 (APPROVE)
- c. Warrants - \$244,929.12 (APPROVE)
- d. Monthly Financial Report - April 30, 2017 (APPROVE)

- e. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Approve and Execute a Legal Services Agreement - Storino, Ramello & Durkin - Resolution No. 17-R-26 (ADOPT)
- f. Resolution - A Resolution for Maintenance of Streets and Highways by Municipality Under the Illinois Highway Code to Appropriate \$217,950 of Motor Fuel Tax Funds for the Maintenance of Streets in 2017 - Resolution No. 17-R-27 (ADOPT)
- g. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept and Execute a Proposal for the Purchase of a Copystar/Kyocera Color Copier CS7052ci System - Choice Office Equipment - Resolution No. 17-R-28 (ADOPT)
- h. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal to Complete a Drainage Improvement Project - Cherry Tree Lane Storm Sewer - Sunset Sewer & Water, Inc. - Resolution No. 17-R-29 (ADOPT)
- i. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal to Conduct Both an Organic Based Blended and an Organic/Natural Turf Care Program for the 2017/18 Lawn Care Season - Pure Prairie Organics - Resolution No. 17-R-30 (ADOPT)
- j. Resolution - a Resolution Authorizing the Chief of Police to Purchase One (1) 2017 Ford Utility Vehicle Through the Suburban Purchasing Cooperative (SPC) in the Amount of \$30,377.00 - Resolution No. 17-R-31 (ADOPT)
- k. Resolution - A Resolution Proclaiming May 15th, 2017 as Police Officers Memorial Day and the Week of May 14th - 20th, 2017 as Police Week in the Village of Willowbrook - Resolution 17-R-32 (ADOPT)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda

MOTION: Made by Trustee Davi and seconded by Trustee Berglund to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

7. PRESENTATION - POLICE DEPARTMENT 2016 ANNUAL REPORT

Chief Shelton gave a brief summary of the Willowbrook Police Department's 2016 Annual Report. Chief Shelton reminded the Board that this is his last annual report presentation before his retirement. Chief Shelton extended his sincere appreciation to the Board for their continued support.

PRIOR BUSINESS

8. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly thanked Chief Shelton for his career with the Village.

Trustee Mistele had no report.

Trustee Berglund had no report.

Trustee Davi thanked Trustee Neal for filling in for him during tonight's earlier Finance and Administration Committee meeting.

Trustee Oggerino congratulated all the Board members that had won reelection and were sworn in tonight.

9. ATTORNEY'S REPORT

Attorney Bastian had no report.

10. CLERK'S REPORT

Clerk Hansen had no report.

11. ADMINISTRATOR'S REPORT

Administrator Halik had no report.

12. MAYOR'S REPORT

Mayor Trilla had no report.

13. CLOSED SESSION

Mayor Trilla stated that there was no need for Closed Session during tonight's meeting.

14. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino, to adjourn the Regular Meeting at the hour of 6:48 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

May 22, 2017.

Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

WARRANTS

May 22, 2017

GENERAL CORPORATE FUND	-----	\$128,106.78
WATER FUND	-----	164,938.79
POLICE PENSION FUND	-----	3,824.45
WATER CAPITAL IMPROVEMENT FUND	-----	1,592.81
L.A.F.E.R FUND	-----	14,035.40
TOTAL WARRANTS	-----	\$312,498.23



Carrie Dittman, Director of Finance

APPROVED:

Frank A. Trilla, Mayor

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/11/2017	APCHK	90506	NEW SQUAD #53	CURRIE MOTORS	NEW VEHICLES	680-625	30	30,377.00
05/23/2017	APCHK	48(E)#	151604	PCS CLOUD SOLUTIONS	EDP LICENSES	615-263	25	131.35
			151292		MAINTENANCE - RADIO EQUIPMENT	630-421	30	38.00
			151293		MAINTENANCE - RADIO EQUIPMENT	630-421	30	6.00
				CHECK APCHK 48(E) TOTAL FOR				175.35
05/23/2017	APCHK	90507	9944253775	AIRGAS USA LLC	EQUIPMENT RENTAL			** VOIDED **
05/23/2017	APCHK	90509	17 REGISTRATION	AMATEUR SOFTBALL ASSOCIATION	SUMMER PROGRAM MATERIALS & SERVICE			** VOIDED **
05/23/2017	APCHK	90510#	49928	AMERICAN FIRST AID SERVICE I	BUILDING MAINTENANCE SUPPLIES			** VOIDED **
			49929		OPERATING EQUIPMENT			** VOIDED **
05/23/2017	APCHK	90511	24461 APR 17	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES			** VOIDED **
			24461 APR 17		RED LIGHT - MISC FEE			** VOIDED **
05/23/2017	APCHK	90513	0477078	BEACON ATHLETICS	SUMMER PROGRAM MATERIALS & SERVICE			** VOIDED **
05/23/2017	APCHK	90514	14022 MAY 17	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING			** VOIDED **
05/23/2017	APCHK	90515	17 UNIFORMS	BLAKE HUNTLEY	UNIFORMS			** VOIDED **
05/23/2017	APCHK	90516*#	12144321139753	CALL ONE INC	PHONE - TELEPHONES			** VOIDED **
			12144321139753		PHONE - TELEPHONES			** VOIDED **
05/23/2017	APCHK	90517	125541	CALTHE UNDERGROUND OASIS IRR	LANDSCAPE - VILLAGE HALL			** VOIDED **
05/23/2017	APCHK	90519	4-13-17 BSA SMR	CAROLINE DITTMAN	FUEL/MILEAGE/WASH			** VOIDED **
05/23/2017	APCHK	90520	319631 APR 17	CHICAGO SUN-TIMES, INC	PRINTING & PUBLISHING			** VOIDED **
05/23/2017	APCHK	90521*#	135840	CHRISTOPHER B. BURKE	PRINTING & PUBLISHING			** VOIDED **
			135938		PLAN REVIEW - ENGINEER REIMB			** VOIDED **
			135839		PLAN REVIEW - ENGINEER REIMB.			** VOIDED **
			135841		FEES - ENGINEERING			** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			135834		FEES - DRAINAGE ENGINEER			** VOIDED **
			135835		FEES - DRAINAGE ENGINEER - RIEMB.			** VOIDED **
			135837		FEES - DRAINAGE ENGINEER REIMB			** VOIDED **
			135843		FEES - DRAINAGE ENGINEER REIMB.			** VOIDED **
			135842		PLAN REVIEW - DRAINAGE ENGINEER RE			** VOIDED **
			135844		PLAN REVIEW - DRAINAGE ENGINEER RE			** VOIDED **
			135845		PLAN REVIEW - DRAINAGE ENGINEER RE			** VOIDED **
			135846		PLAN REVIEW - DRAINAGE ENGINEER RE			** VOIDED **
05/23/2017	APCHK	90522	135847	CHRISTOPHER B. BURKE	FEES - ENGINEERING			** VOIDED **
05/23/2017	APCHK	90523	3393 MAY 17	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING			** VOIDED **
05/23/2017	APCHK	90524	3229343	CLARKE AQUATIC SERVICES INC	LANDSCAPE MAINTENANCE SERVICES			** VOIDED **
05/23/2017	APCHK	90525	6360825	CLARKE ENVIRONMENTAL	MOSQUITO ABATEMENT			** VOIDED **
05/23/2017	APCHK	90526*#	0791026027 MAY 17	COMMONWEALTH EDISON	RED LIGHT - COM ED			** VOIDED **
			6863089003 MAY 17		RED LIGHT - COM ED			** VOIDED **
			0423085170 MAY 17		RED LIGHT - COM ED			** VOIDED **
			4403140110 MAY 17		ENERGY - STREET LIGHTS			** VOIDED **
			7432089030 MAY 17		ENERGY - STREET LIGHTS			** VOIDED **
05/23/2017	APCHK	90527#	753184 APR 17	DISCOVERY BENEFITS SIMPLIFY	EMP DED PAY - FSA FEE			** VOIDED **
			753184 APR 17		HEALTH/DENTAL/LIFE INSURANCE			** VOIDED **
05/23/2017	APCHK	90528	17 GOLF OUTING	DUPAGE CNTY CHIEFS OF POL.AS	SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
05/23/2017	APCHK	90529#	9900 APR 17	DUPAGE MAYORS AND MGRS. CONF	SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
			9900 APR 17		SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
05/23/2017	APCHK	90530	#1	FAIR AND IMPARTIAL POLICING	SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
05/23/2017	APCHK	90531	36310034950	FEDEX OFFICE	PRINTING & PUBLISHING			** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90533**	15801	H AND R CONSTRUCTION INC.	STREET & ROW MAINTENANCE			** VOIDED **
05/23/2017	APCHK	90535**	2074739	HOME DEPOT CREDIT SERVICES	MAINTENANCE - BUILDING			** VOIDED **
			3033651		MAINTENANCE SUPPLIES			** VOIDED **
			503355		MAINTENANCE - SALT BINS			** VOIDED **
			6033539		STREET & ROW MAINTENANCE			** VOIDED **
			7171332		STREET & ROW MAINTENANCE			** VOIDED **
			1171362		STREET & ROW MAINTENANCE			** VOIDED **
			34047		STREET & ROW MAINTENANCE			** VOIDED **
			2023991		STREET & ROW MAINTENANCE			** VOIDED **
			9024086		STREET & ROW MAINTENANCE			** VOIDED **
			9024178		STREET & ROW MAINTENANCE			** VOIDED **
			9114517		STREET & ROW MAINTENANCE			** VOIDED **
			9114516		STREET & ROW MAINTENANCE			** VOIDED **
05/23/2017	APCHK	90536	51317 MAY 17	HR SIMPLIFIED	HEALTH/DENTAL/LIFE INSURANCE			** VOIDED **
			51317 APR 17		HEALTH/DENTAL/LIFE INSURANCE			** VOIDED **
05/23/2017	APCHK	90537	APR 17	I.R.M.A.	SELF INSURANCE - DEDUCTIBLE			** VOIDED **
05/23/2017	APCHK	90540	17 RACE FACE PNTR	KERRI STOCKTON	FAMILY SPECIAL EVENT - RACE			** VOIDED **
05/23/2017	APCHK	90541#	9003386364	KONICA MINOLTA BUSINESS SOLU	COPY SERVICE			** VOIDED **
			9003484092		COPY SERVICE			** VOIDED **
			9003474873		COPY SERVICE			** VOIDED **
			9003386364		COPY SERVICE			** VOIDED **
			9003378967		COPY SERVICE			** VOIDED **
			9003474873		COPY SERVICE			** VOIDED **
05/23/2017	APCHK	90542	APRIL 2017	LAW OFFICES STORINO RAMELLO& FEES - VILLAGE ATTORNEY				** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90543	N0709150131	MAC NEIL AUTOMOTIVE PRODUCTS	MAINTENANCE - VEHICLES			** VOIDED **
05/23/2017	APCHK	90544	8351 MAR 17	MARQUARDT & BELMONTE P.C.	RED LIGHT - ADJUDICATOR			** VOIDED **
05/23/2017	APCHK	90545	14487	METRO REPORTING SERVICE LTD.	FEES - COURT REPORTER			** VOIDED **
05/23/2017	APCHK	90546	290953312017	MOTOROLA SOLUTIONS INC	PHONE - TELEPHONES			** VOIDED **
05/23/2017	APCHK	90547	1010053713	OCCUPATIONAL HEALTH CENTERS	WELLNESS			** VOIDED **
05/23/2017	APCHK	90548	156278048 MAY17	ORKIN EXTERMINATING	MAINTENANCE - BUILDING			** VOIDED **
05/23/2017	APCHK	90549	AIRFARE 4-19-17	PAUL OGGERINO	SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
05/23/2017	APCHK	90550#	151257	PCS INTERNATIONAL	EDP LICENSES			** VOIDED **
			151294		MAINTENANCE - RADIO EQUIPMENT			** VOIDED **
			151295		MAINTENANCE - RADIO EQUIPMENT			** VOIDED **
05/23/2017	APCHK	90551#	4/30/17	PETTY CASH C/O TIM HALIK	CASH - OVER OR SHORT			** VOIDED **
			5/1/17 - 5/17/17		MAINTENANCE - BUILDING			** VOIDED **
			5/1/17 - 5/17/17		FAMILY SPECIAL EVENT - RACE			** VOIDED **
			4/30/17		FUEL/MILEAGE/WASH			** VOIDED **
			4/30/17		SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
			4/30/17		TELEPHONES			** VOIDED **
05/23/2017	APCHK	90552	300019	PHILLIP'S FLOWERS	OPERATING EQUIPMENT			** VOIDED **
05/23/2017	APCHK	90553	0718002576	PROFORMA	FAMILY SPECIAL EVENT - RACE			** VOIDED **
			0718002578		FAMILY SPECIAL EVENT - RACE			** VOIDED **
			0718002574		FAMILY SPECIAL EVENT - RACE			** VOIDED **
05/23/2017	APCHK	90554	N0507	RACE TIME INC	FAMILY SPECIAL EVENT - RACE			** VOIDED **
05/23/2017	APCHK	90556#	7863-75061 APR17	SATELLITE PHONE STORE	PHONE - TELEPHONES			** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			7863-75061	APR17	PHONE - TELEPHONES			** VOIDED **
05/23/2017	APCHK	90557*#	9578	SCHERMER ASPHALT PAVING	STREET & ROW MAINTENANCE			** VOIDED **
05/23/2017	APCHK	90558	7335447	SERVICE SANITATION INC	RENT - EQUIPMENT			** VOIDED **
			17	VILLAGE RACE	FAMILY SPECIAL EVENT - RACE			** VOIDED **
05/23/2017	APCHK	90559*#	2017-078	SUNSET SEWER & WATER	STREET & ROW MAINTENANCE			** VOIDED **
05/23/2017	APCHK	90560	201704 APR 17	T.P.I.	PLAN REVIEW - BUILDING CODE REIMB.			** VOIDED **
			201704 APR 17		PLAN REVIEW - BUILDING CODE REIMB			** VOIDED **
			201704 APR 17		PART TIME - INSPECTOR			** VOIDED **
			201704 APR 17		CODE ENFORCEMENT INSPECTION REIMB.			** VOIDED **
05/23/2017	APCHK	90561*#	TG5 APR 17	TAMELING GRADING	LANDSCAPE MAINTENANCE SERVICES			** VOIDED **
			TG5 APR 17		STREET & ROW MAINTENANCE			** VOIDED **
			TG5 APR 17		STORM WATER IMPROVEMENTS MAINTENAN			** VOIDED **
05/23/2017	APCHK	90562#	115764	TAMELING INDUSTRIES	PARK LANDSCAPE SUPPLIES			** VOIDED **
			115764		STREET & ROW MAINTENANCE			** VOIDED **
			115764 MAY 17		STREET & ROW MAINTENANCE			** VOIDED **
			115764 MAY 17		STORM WATER IMPROVEMENTS MAINTENAN			** VOIDED **
05/23/2017	APCHK	90564	2017 UNIFORMS	THEODORE KOLODZIEJ	UNIFORMS			** VOIDED **
05/23/2017	APCHK	90565	836088788 APR 17	THOMSON REUTERS - WEST	FEEES/DUES/SUBSCRIPTIONS			** VOIDED **
05/23/2017	APCHK	90567#	0611043806	UNIFIRST	MAINTENANCE - BUILDING			** VOIDED **
			0611043852		MAINTENANCE - PW BUILDING			** VOIDED **
05/23/2017	APCHK	90568	DEPOSIT MAY 17	UNITED STATE POSTAL SERVICE	PREPAID POSTAGE			** VOIDED **
05/23/2017	APCHK	90569*#	9784923211	VERIZON WIRELESS	PHONE - TELEPHONES			** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			9784923211		PHONE - TELEPHONES			** VOIDED **
			9784923211		PHONE - TELEPHONES			** VOIDED **
			9784923211		TELEPHONES			** VOIDED **
			9784923211		TELEPHONES			** VOIDED **
			9784923211		TELEPHONES			** VOIDED **
05/23/2017	APCHK	90570	3470239-0	WAREHOUSE DIRECT	OFFICE SUPPLIES			** VOIDED **
			34757-17-0		OPERATING EQUIPMENT			** VOIDED **
			3472470-0		OPERATING EQUIPMENT			** VOIDED **
05/23/2017	APCHK	90571	52379	WESTERN REMAC INC	ROAD SIGNS			** VOIDED **
			52380		ROAD SIGNS			** VOIDED **
			52290		ROAD SIGNS			** VOIDED **
05/23/2017	APCHK	90572	73598	WESTOWN AUTO SUPPLY COMPANY	MAINTENANCE - EQUIPMENT			** VOIDED **
05/23/2017	APCHK	90573	26549	WILD GOOSE CHASE INC	LANDSCAPE MAINTENANCE SERVICES			** VOIDED **
05/23/2017	APCHK	90574	5123828	WILLOWBROOK FORD INC.	MAINTENANCE - VEHICLES			** VOIDED **
			5123861		MAINTENANCE - VEHICLES			** VOIDED **
05/23/2017	APCHK	90575	17 GOLF OUNTING	WLBK BURR RIDGE KIWANIS	SCHOOLS/CONFERENCES/TRAVEL			** VOIDED **
05/23/2017	APCHK	90576	17 RACE PETTING ZOO	ZOOS ARE US INC	FAMILY SPECIAL EVENT - RACE			** VOIDED **
05/23/2017	APCHK	90577	9944253775	AIRGAS USA LLC	EQUIPMENT RENTAL	750-290	35	72.41
05/23/2017	APCHK	90579	17 REGISTRATION	AMATEUR SOFTBALL ASSOCIATION	SUMMER PROGRAM MATERIALS & SERVICE	575-119	20	176.00
05/23/2017	APCHK	90580#	49928	AMERICAN FIRST AID SERVICE I	BUILDING MAINTENANCE SUPPLIES	466-351	10	46.30
			49929		OPERATING EQUIPMENT	630-401	30	19.00
				CHECK APCHK 90580 TOTAL FOR				65.30
05/23/2017	APCHK	90581	24461 APR 17	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES	630-247	30	11,687.00
			24461 APR 17		RED LIGHT - MISC FEE	630-249	30	1,800.00
				CHECK APCHK 90581 TOTAL FOR				13,487.00

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Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90583	0477078	BEACON ATHLETICS	SUMMER PROGRAM MATERIALS & SERVICE	575-119	20	450.30
05/23/2017	APCHK	90584	14022 MAY 17	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING	725-418	35	310.00
05/23/2017	APCHK	90585	17 UNIFORMS	BLAKE HUNTLEY	UNIFORMS	630-345	30	285.07
05/23/2017	APCHK	90586*	12144321139753 12144321139753	CALL ONE INC	PHONE - TELEPHONES PHONE - TELEPHONES	455-201 630-201	10 30	749.05 619.88
				CHECK APCHK 90586 TOTAL FOR				1,368.93
05/23/2017	APCHK	90587	125541	CALTHE UNDERGROUND OASIS IRR	LANDSCAPE - VILLAGE HALL	466-293	10	150.00
05/23/2017	APCHK	90589	4-13-17 BSA SMR	CAROLINE DITTMAN	FUEL/MILEAGE/WASH	610-303	25	19.90
05/23/2017	APCHK	90590	319631 APR 17	CHICAGO SUN-TIMES, INC	PRINTING & PUBLISHING	455-302	10	37.96
05/23/2017	APCHK	90591*	135840 135938 135839 135841 135834 135835 135837 135843 135842 135844 135845 135846	CHRISTOPHER B. BURKE	PRINTING & PUBLISHING PLAN REVIEW - ENGINEER REIMB PLAN REVIEW - ENGINEER REIMB. FEES - ENGINEERING FEES - DRAINAGE ENGINEER FEES - DRAINAGE ENGINEER - RIEMB. FEES - DRAINAGE ENGINEER REIMB FEES - DRAINAGE ENGINEER REIMB. FEES - DRAINAGE ENGINEER REIMB. PLAN REVIEW - DRAINAGE ENGINEER RE PLAN REVIEW - DRAINAGE ENGINEER RE PLAN REVIEW - DRAINAGE ENGINEER RE PLAN REVIEW - DRAINAGE ENGINEER RE	510-302 520-254 520-254 720-245 820-246 820-246 820-246 820-246 820-259 820-259 820-259 820-259	15 15 15 35 40 40 40 40 40 40 40 40	806.20 2,350.96 639.50 3,149.89 1,228.49 450.00 450.00 220.00 220.00 144.50 127.25 127.25
				CHECK APCHK 90591 TOTAL FOR				9,914.04
05/23/2017	APCHK	90592	139847	CHRISTOPHER B. BURKE	FEES - ENGINEERING	720-245	35	1,251.50
05/23/2017	APCHK	90593	3393 MAY 17	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	2,515.74
05/23/2017	APCHK	90594	3229343	CLARKE AQUATIC SERVICES INC	LANDSCAPE MAINTENANCE SERVICES	565-342	20	2,912.00
05/23/2017	APCHK	90595	6360825	CLARKE ENVIRONMENTAL	MOSQUITO ABATEMENT	760-259	35	6,425.00
05/23/2017	APCHK	90596*	0791026027 MAY 17 6863089003 MAY 17 0423085170 MAY 17 4403140110 MAY 17 7432089030 MAY 17	COMMONWEALTH EDISON	RED LIGHT - COM ED RED LIGHT - COM ED RED LIGHT - COM ED ENERGY - STREET LIGHTS ENERGY - STREET LIGHTS	630-248 630-248 630-248 745-207 745-207	30 30 30 35 35	36.37 31.28 43.63 43.60 396.06

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
CHECK APCHK 90596 TOTAL FOR								
05/23/2017	APCHK	90597#	753184 APR 17	DISCOVERY BENEFITS SIMPLIFY	EMP DED PAY - FSA FEE	210-221	00	550.94
			753184 APR 17		HEALTH/DENTAL/LIFE INSURANCE	455-141	10	46.20
CHECK APCHK 90597 TOTAL FOR								
05/23/2017	APCHK	90598	17 GOLF CUTING	DUPAGE CNTY CHIEFS OF POL.AS	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	220.00
05/23/2017	APCHK	90599#	9900 APR 17	DUPAGE MAYORS AND MGRS. CONF	SCHOOLS/CONFERENCES/TRAVEL	410-304	05	40.00
			9900 APR 17		SCHOOLS/CONFERENCES/TRAVEL	455-304	10	40.00
CHECK APCHK 90599 TOTAL FOR								
05/23/2017	APCHK	90600	#1	FAIR AND IMPARTIAL POLICING	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	990.00
05/23/2017	APCHK	90601	36310034950	FEDEX OFFICE	PRINTING & PUBLISHING	630-302	30	267.84
05/23/2017	APCHK	90603*#	15801	H AND R CONSTRUCTION INC.	STREET & ROW MAINTENANCE	750-328	35	3,200.00
05/23/2017	APCHK	90605*#	2074739	HOME DEPOT CREDIT SERVICES	MAINTENANCE - BUILDING	466-228	10	12.92
			3033651		MAINTENANCE SUPPLIES	570-331	20	10.94
			503355		MAINTENANCE - SALT BINS	725-414	35	129.96
			6033539		STREET & ROW MAINTENANCE	750-328	35	22.77
			7171332		STREET & ROW MAINTENANCE	750-328	35	90.47
			1171362		STREET & ROW MAINTENANCE	750-328	35	79.76
			34047		STREET & ROW MAINTENANCE	750-328	35	129.61
			2023991		STREET & ROW MAINTENANCE	750-328	35	39.00
			9024086		STREET & ROW MAINTENANCE	750-328	35	68.01
			9024178		STREET & ROW MAINTENANCE	750-328	35	19.74
			9114517		STREET & ROW MAINTENANCE	750-328	35	22.77
			9114516		STREET & ROW MAINTENANCE	750-328	35	(24.81)
CHECK APCHK 90605 TOTAL FOR								
601.14								
05/23/2017	APCHK	90606	51317 MAY 17	HR SIMPLIFIED	HEALTH/DENTAL/LIFE INSURANCE	455-141	10	74.37
			51317 APR 17		HEALTH/DENTAL/LIFE INSURANCE	455-141	10	25.63
CHECK APCHK 90606 TOTAL FOR								
100.00								
05/23/2017	APCHK	90607	APR 17	I.R.M.A.	SELF INSURANCE - DEDUCTIBLE	645-273	30	239.37
05/23/2017	APCHK	90610	17 RACE FACE PNTR	KERRI STOCKTON	FAMILY SPECIAL EVENT - RACE	585-154	20	300.00

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK
CHECK DATE FROM 05/10/2017 - 05/23/2017

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90611#	9003386364	KONICA MINOLTA BUSINESS SOLU	COPY SERVICE	455-315	10	547.92
			9003484092		COPY SERVICE	455-315	10	408.61
			9003474873		COPY SERVICE	455-315	10	614.88
			9003386364		COPY SERVICE	630-315	30	162.76
			9003378967		COPY SERVICE	630-315	30	235.30
			9003474873		COPY SERVICE	630-315	30	467.29
				CHECK APCHK 90611 TOTAL FOR				2,436.76
05/23/2017	APCHK	90612	APRIL 2017	LAW OFFICES STORINO RAMELLO& FEES - VILLAGE ATTORNEY		470-239	10	8,678.95
05/23/2017	APCHK	90613	N0709150131	MAC NEIL AUTOMOTIVE PRODUCTS MAINTENANCE - VEHICLES		630-409	30	68.97
05/23/2017	APCHK	90614	8351 MAR 17	MARQUARDT & BELMONTE P.C. RED LIGHT - ADJUDICATOR		630-246	30	407.50
05/23/2017	APCHK	90615	14487	METRO REPORTING SERVICE LTD. FEES - COURT REPORTER		520-246	15	587.93
05/23/2017	APCHK	90616	290853312017	MOTOROLA SOLUTIONS INC PHONE - TELEPHONES		630-201	30	68.00
05/23/2017	APCHK	90617	1010053713	OCCUPATIONAL HEALTH CENTERS WELLNESS		480-276	10	109.00
05/23/2017	APCHK	90618	156278048 MAY17	ORKIN EXTERMINATING MAINTENANCE - BUILDING		466-228	10	89.86
05/23/2017	APCHK	90619	AIRFARE 4-19-17	PAUL OGGERINO SCHOOLS/CONFERENCES/TRAVEL		410-304	05	345.96
05/23/2017	APCHK	90620#	151257	PCS INTERNATIONAL EDP LICENSES		615-263	25	378.00
			151294	MAINTENANCE - RADIO EQUIPMENT		630-421	30	1,684.25
			151295	MAINTENANCE - RADIO EQUIPMENT		630-421	30	1,684.25
				CHECK APCHK 90620 TOTAL FOR				3,746.50
05/23/2017	APCHK	90621#	4/30/17	PETTY CASH C/O TIM HALIK CASH - OVER OR SHORT		455-505	10	0.05
			5/1/17 - 5/17/17	MAINTENANCE - BUILDING		466-228	10	80.00
			5/1/17 - 5/17/17	FAMILY SPECIAL EVENT - RACE		585-154	20	59.67
			4/30/17	FUEL/MILEAGE/WASH		630-303	30	10.02
			4/30/17	SCHOOLS/CONFERENCES/TRAVEL		630-304	30	45.00
			4/30/17	TELEPHONES		710-201	35	29.99
				CHECK APCHK 90621 TOTAL FOR				224.73
05/23/2017	APCHK	90622	300019	PHILLIP'S FLOWERS OPERATING EQUIPMENT		630-401	30	74.95
05/23/2017	APCHK	90623	0718002576	PROFORMA FAMILY SPECIAL EVENT - RACE		585-154	20	966.12
			0718002578	FAMILY SPECIAL EVENT - RACE		585-154	20	1,862.33
			0718002574	FAMILY SPECIAL EVENT - RACE		585-154	20	531.09

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90624	N0507	CHECK APCHK 90623 TOTAL FOR				3,359.54
				RACE TIME INC	FAMILY SPECIAL EVENT - RACE	585-154	20	676.40
05/23/2017	APCHK	90626#	7863-75061 APR17	SAFELLITE PHONE STORE	PHONE - TELEPHONES	455-201	10	65.76
			7863-75061 APR17		PHONE - TELEPHONES	630-201	30	65.76
				CHECK APCHK 90626 TOTAL FOR				131.52
05/23/2017	APCHK	90627*#	9578	SCHERMER ASPHALT PAVING	STREET & ROW MAINTENANCE	750-328	35	1,300.00
05/23/2017	APCHK	90628	7335447	SERVICE SANITATION INC	RENT - EQUIPMENT	570-234	20	160.00
			17 VILLAGE RACE		FAMILY SPECIAL EVENT - RACE	585-154	20	481.00
				CHECK APCHK 90628 TOTAL FOR				641.00
05/23/2017	APCHK	90629*#	2017-078	SUNSET SEWER & WATER	STREET & ROW MAINTENANCE	750-328	35	2,236.68
05/23/2017	APCHK	90630	201704 APR 17	T.P.I.	PLAN REVIEW - BUILDING CODE REIMB.	820-258	40	6,123.00
			201704 APR 17		PLAN REVIEW - BUILDING CODE REIMB	820-258	40	2,462.66
			201704 APR 17		PART TIME - INSPECTOR	830-109	40	3,066.00
			201704 APR 17		CODE ENFORCEMENT INSPECTION REIMB.	830-119	40	450.00
				CHECK APCHK 90630 TOTAL FOR				12,101.66
05/23/2017	APCHK	90631*#	TG5 APR 17	TAMELING GRADING	LANDSCAPE MAINTENANCE SERVICES	565-342	20	630.00
			TG5 APR 17		STREET & ROW MAINTENANCE	750-328	35	2,558.00
			TG5 APR 17		STORM WATER IMPROVEMENTS MAINTENAN	750-381	35	237.50
				CHECK APCHK 90631 TOTAL FOR				3,425.50
05/23/2017	APCHK	90632#	115764	TAMELING INDUSTRIES	PARK LANDSCAPE SUPPLIES	565-341	20	90.00
			115764		STREET & ROW MAINTENANCE	750-328	35	178.20
			115764 MAY 17		STREET & ROW MAINTENANCE	750-328	35	54.00
			115764 MAY 17		STORM WATER IMPROVEMENTS MAINTENAN	750-381	35	23.04
				CHECK APCHK 90632 TOTAL FOR				345.24
05/23/2017	APCHK	90634	2017 UNIFORMS	THEODORE KOLODZIEJ	UNIFORMS	630-345	30	264.95
05/23/2017	APCHK	90635	836088788 APR 17	THOMSON REUTERS - WEST	FEES/DUES/SUBSCRIPTIONS	630-307	30	147.00
05/23/2017	APCHK	90637#	0611043806	UNIFIRST	MAINTENANCE - BUILDING	466-228	10	241.25

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
05/23/2017	APCHK	90638	0611043852	CHECK APCHK 90637 TOTAL FOR	MAINTENANCE - PW BUILDING	725-418	35	87.09
								328.34
05/23/2017	APCHK	90639**	9784923211	VERIZON WIRELESS	PHONE - TELEPHONES	410-201	05	62.62
			9784923211		PHONE - TELEPHONES	455-201	10	24.21
			9784923211		PHONE - TELEPHONES	630-201	30	805.00
			9784923211		TELEPHONES	710-201	35	249.99
			9784923211		TELEPHONES	710-201	35	175.77
			9784923211		TELEPHONES	810-201	40	102.12
				CHECK APCHK 90639 TOTAL FOR				1,419.71
05/23/2017	APCHK	90640	3470239-0	WAREHOUSE DIRECT	OFFICE SUPPLIES	630-301	30	104.73
			34757-17-0		OPERATING EQUIPMENT	630-401	30	54.06
			3472470-0		OPERATING EQUIPMENT	630-401	30	31.73
				CHECK APCHK 90640 TOTAL FOR				190.52
05/23/2017	APCHK	90641	52379	WESTERN REMAC INC	ROAD SIGNS	755-333	35	481.20
			52380		ROAD SIGNS	755-333	35	44.00
			52290		ROAD SIGNS	755-333	35	2,182.50
				CHECK APCHK 90641 TOTAL FOR				2,707.70
05/23/2017	APCHK	90642	73598	WESTOWN AUTO SUPPLY COMPANY	MAINTENANCE - EQUIPMENT	735-411	35	47.71
05/23/2017	APCHK	90643	26549	WILD GOOSE CHASE INC	LANDSCAPE MAINTENANCE SERVICES	565-342	20	960.00
05/23/2017	APCHK	90644	5123828	WILLOWBROOK FORD INC.	MAINTENANCE - VEHICLES	735-409	35	220.41
			5123861		MAINTENANCE - VEHICLES	735-409	35	(75.00)
				CHECK APCHK 90644 TOTAL FOR				145.41
05/23/2017	APCHK	90645	17	GOLF OUNTING / WLBK BURR RIDGE KIWANIS	SCHOOLS/CONFERENCES/TRAVEL	455-304	10	396.00
05/23/2017	APCHK	90646	17	RACE PETTING ZOO ZOOS ARE US INC	FAMILY SPECIAL EVENT - RACE	585-154	20	350.00
				Total for fund 01 GENERAL FUND				128,106.78
Fund: 02 WATER FUND								
05/23/2017	APCHK	47(E)	11752	APR17 DUPAGE WATER COMMISSION	PURCHASE OF WATER	420-575	50	119,947.20
05/23/2017	APCHK	90508	94594	JUN - AUG 17 ALARM DETECTION SYSTEMS INC	REPAIRS & MAINTENANCE-STANDPIPE/PU			** VOIDED **

User: JKufrin
 DB: Willowbrook
 CHECK DATE FROM 05/10/2017 - 05/23/2017

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND								
05/23/2017	APCHK	90512	28688	ASSOCIATED TECHNICAL SERV. L	LEAK SURVEYS			** VOIDED **
05/23/2017	APCHK	90516*	12144321139753	CALL ONE INC	PHONE - TELEPHONES	REPAIRS & MAINTENANCE-STANDPIPE/PU		** VOIDED **
05/23/2017	APCHK	90518	17-113	CAR REFLECTIONS	OPERATING EQUIPMENT	REPAIRS & MAINTENANCE-STANDPIPE/PU		** VOIDED **
05/23/2017	APCHK	90526*#	4651111049	COMMONWEALTH EDISON	ENERGY - ELECTRIC PUMP			** VOIDED **
05/23/2017	APCHK	90532	116-12768	GEMINI GROUP L.I.C.	POSTAGE & METER RENT			** VOIDED **
05/23/2017	APCHK	90533*#	15804	H AND R CONSTRUCTION INC.	WATER DISTRIBUTION REPAIRS/MAINTEN			** VOIDED **
05/23/2017	APCHK	90534	170091	H-B-K WATER METER SERVICE	METERS FLOW TESTING			** VOIDED **
			170323		METERS FLOW TESTING			** VOIDED **
			170091		NEW METERING EQUIPMENT			** VOIDED **
			170314		NEW METERING EQUIPMENT			** VOIDED **
			170295	REVISED	NEW METERING EQUIPMENT			** VOIDED **
			170091		METER REPLACEMENT			** VOIDED **
			170314		METER REPLACEMENT			** VOIDED **
05/23/2017	APCHK	90535*#	6022549	HOME DEPOT CREDIT SERVICES	MATERIAL & SUPPLIES - DISTRIBUTION			** VOIDED **
05/23/2017	APCHK	90557*#	9578	SCHERMER ASPHALT PAVING	WATER DISTRIBUTION REPAIRS/MAINTEN			** VOIDED **
05/23/2017	APCHK	90559*#	2017-085	SUNSET SEWER & WATER	WATER DISTRIBUTION REPAIRS/MAINTEN			** VOIDED **
			2017-077		WATER DISTRIBUTION REPAIRS/MAINTEN			** VOIDED **
05/23/2017	APCHK	90561*#	TG5 APR 17	TAMELING GRADING	WATER DISTRIBUTION REPAIRS/MAINTEN			** VOIDED **

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND								
05/23/2017	APCHK	90566	21556	UNDERGROUND PIPE & VALVE, CO	MATERIAL & SUPPLIES - DISTRIBUTION			** VOIDED **
			21488		MATERIAL & SUPPLIES - DISTRIBUTION			** VOIDED **
			21488-01		MATERIAL & SUPPLIES - DISTRIBUTION			** VOIDED **
05/23/2017	APCHK	90569*	9784923211	VERIZON WIRELESS	PHONE - TELEPHONES			** VOIDED **
05/23/2017	APCHK	90578	94594 JUN - AUG 17	ALARM DETECTION SYSTEMS INC	REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	202.53
			94593 JUN - AUG 17		REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	235.26
			92825 JUN - AUG 17		REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	235.26
				CHECK APCHK 90578 TOTAL FOR				673.05
05/23/2017	APCHK	90582	28688	ASSOCIATED TECHNICAL SERV. L	LEAK SURVEYS	430-276	50	842.00
05/23/2017	APCHK	90586*	12144321139753	CALL ONE INC	PHONE - TELEPHONES	401-201	50	215.01
05/23/2017	APCHK	90588	17-113	CAR REFLECTIONS	OPERATING EQUIPMENT	430-401	50	160.00
05/23/2017	APCHK	90596*	4651111049 MAY 17	COMMONWEALTH EDISON	ENERGY - ELECTRIC PUMP	420-206	50	651.76
05/23/2017	APCHK	90602	116-12768	GEMINI GROUP L.L.C..	POSTAGE & METER RENT	401-311	50	1,568.00
05/23/2017	APCHK	90603**	15804	H AND R CONSTRUCTION INC.	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	7,080.00
05/23/2017	APCHK	90604	170091	H-B-K WATER METER SERVICE	METERS FLOW TESTING	435-278	50	767.25
			170323		METERS FLOW TESTING	435-278	50	42.00
			170091		NEW METERING EQUIPMENT	435-461	50	4,126.70
			170314		NEW METERING EQUIPMENT	435-461	50	3,848.92
			170295 REVISED		NEW METERING EQUIPMENT	435-461	50	(211.26)
			170091		METER REPLACEMENT	435-462	50	425.00
			170314		METER REPLACEMENT	435-462	50	400.00
				CHECK APCHK 90604 TOTAL FOR				9,398.61
05/23/2017	APCHK	90605**	6022549	HOME DEPOT CREDIT SERVICES	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	15.97
05/23/2017	APCHK	90627**	9578	SCHERMER ASPHALT PAVING	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	2,600.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND								
05/23/2017	APCHK	90629**	2017-085	SUNSET SEWER & WATER	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	5,677.04
			2017-077		WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	3,969.70
				CHECK APCHK 90629 TOTAL FOR				<u>9,646.74</u>
05/23/2017	APCHK	90631**	TG5 APR 17	TAMELING GRADING	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	1,023.50
05/23/2017	APCHK	90636	21556	UNDERGROUND PIPE & VALVE, CO	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	3,185.62
			21488		MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	6,248.00
			21488-01		MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	1,507.56
				CHECK APCHK 90636 TOTAL FOR				<u>10,941.18</u>
05/23/2017	APCHK	90639**	9784923211	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	175.77
					Total for fund 02 WATER FUND			164,938.79
05/23/2017	APCHK	90538	G11329	ILLINOIS STATE TREASURER	DEPT OF INSURANCE FILING FEE			** VOIDED **
05/23/2017	APCHK	90608	G11329	ILLINOIS STATE TREASURER	DEPT OF INSURANCE FILING FEE	401-531	62	3,824.45
					Total for fund 07 POLICE PENSION FUND			3,824.45
Fund: 09 WATER CAPITAL IMPROVEMENTS FUND								
05/23/2017	APCHK	90521**	135833	CHRISTOPHER B. BURKE	WATER TANK REPAIRS			** VOIDED **
05/23/2017	APCHK	90591**	135833	CHRISTOPHER B. BURKE	WATER TANK REPAIRS	440-604	65	1,592.81
					Total for fund 09 WATER CAPITAL IMPROVEMENTS F			1,592.81
05/23/2017	APCHK	90521**	135836	CHRISTOPHER B. BURKE	POLICE DEPT REMODEL (7760 QUINCY)			** VOIDED **
05/23/2017	APCHK	90539	49616 APR 17	INTERGRATED PROJECT MANAGMEN	POLICE DEPT REMODEL (7760 QUINCY)			** VOIDED **
05/23/2017	APCHK	90555	1223	ROBERT WHITE CONSTRUCTION	POLICE DEPT REMODEL (7760 QUINCY)			** VOIDED **
05/23/2017	APCHK	90563	105966	TESTING SERVICE CORPORATION	POLICE DEPT REMODEL (7760 QUINCY)			** VOIDED **
05/23/2017	APCHK	90591**	135836	CHRISTOPHER B. BURKE	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	1,912.20
05/23/2017	APCHK	90609	49616 APR 17	INTERGRATED PROJECT MANAGMEN	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	4,950.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
05/23/2017	APCHK	90625	1223	ROBERT WHITE CONSTRUCTION	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	2,500.00
05/23/2017	APCHK	90633	105966	TESTING SERVICE CORPORATION	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	4,673.20
Total for fund 14 LAND ACQUISITION, FACILITY,								
TOTAL - ALL FUNDS								
* *-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND								
# *-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT								
								14,035.40
								312,498.23

BOARD MEETING

AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

A RESOLUTION WAIVING THE COMPETITIVE BIDDING PROCESS AND AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ACCEPT A PROPOSAL FOR THE PURCHASE AND INSTALLATION OF A NEW VILLAGE TELEPHONE SYSTEM – MIDCO, INC.

AGENDA NO.**5d****AGENDA DATE:** 05/22/17**STAFF REVIEW:** Garrett Hummel, Ast. to the Vil Admin**SIGNATURE:** **LEGAL REVIEW:** Thomas Bastian**SIGNATURE:** THOMAS BASTIAN TH.**RECOMMENDED BY VILLAGE ADMIN.:****SIGNATURE:** **REVIEWED & APPROVED BY COMMITTEE:** YES N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

The Village's current Toshiba phone system was purchased in 2006 and is nearing the end of its useful life. In fact, the Village received a letter in April of this year from our telephone system provider, MidCo, that indicated Toshiba Corporation has discontinued the telecommunication branch of their business.

During the March Budget Workshop, the Board approved funding for a new phone system. Based on the simplistic telecommunication needs of the Village and time constraints related to the completion of the new Police Station building, staff agreed sending that out an official RFP for a phone system was not warranted. The Village reached out to MidCo for a proposal. MidCo provided a proposal for a Mitel MiVoice Office 250 Communication Platform. MidCo has been working with Mitel since 1978 and highly recommends their products.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The proposal includes 54 phones (21 for the Village Hall and 33 in the new Police Station), Mitel MiVoice Voicemail System, MiVoice licenses, installation/labor, and training. The proposal amount came in at \$48,385.28, however MidCo agreed to offer the Village a credit in the amount of \$1,961.00 for our maintenance agreement on the previous Toshiba system. With the credit, the cost comes to **\$46,424.28**, which is just under the budgeted amount of \$46,463.

The attached proposal has a breakdown of the fees along with product features and descriptions.

MidCo has been extremely responsive to the Village's phone system and maintenance needs in the past and has consistently provided timely service and repair when needed. Based on this and MidCo's long standing relationship with the Village, as well as with Mitel products, staff recommends purchasing the new phone system from MidCo.

ACTION PROPOSED: Adopt the Resolution

RESOLUTION NO. 17-R-_____

A RESOLUTION WAIVING THE COMPETITIVE BIDDING PROCESS AND AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ACCEPT A PROPOSAL FOR THE PURCHASE AND INSTALLATION OF A NEW VILLAGE TELEPHONE SYSTEM - MIDCO, INC.

BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the competitive bidding process is hereby waived, and that the Mayor and Village Clerk be and the same are hereby authorized and directed to accept the proposal from MidCo, Inc. for the purpose of providing a new Village Telephone System per the terms and conditions contained in the form of the Agreement attached hereto as Exhibit "A" which is, by this reference, expressly incorporated herein.

ADOPTED and APPROVED this 22nd day of May, 2017.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____



System Purchase Agreement for Village of Willowbrook

System Type:

Mitel MiVoice Communications Platform

Prepared for:

Mr. Garrett Hummell

Prepared by:

David F. Schwartz

Prepared On:

5/16/2017

Statement of Work:

Mitel MiVoice Communications Platform

Version #

2

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Project Summary for Village of Willowbrook

Requirements and Objectives

- Economical
- Stable contractor and manufacturer
- Durable
- Expandable
- Unobtrusive voice mail capability with unified messaging
- Remote maintenance and programming capabilities
- Provide voice-over-IP platform
- Coordinate / understand Telco requirements
- Provide Caller-ID
- Phone system ease of use
- Flexible call handling capability

Proposed Solutions

About Mitel



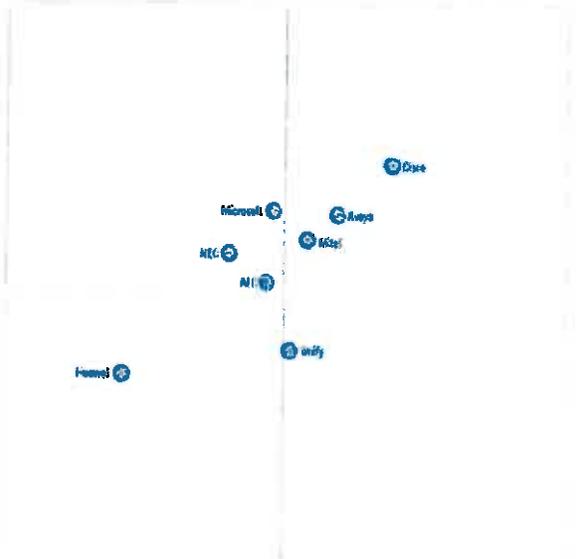
Mitel (Nasdaq:MITL) is a global provider of business communications and collaboration software and services. For more than 35 years, thousands of businesses worldwide have invested in and relied on Mitel's market-leading portfolio of communications solutions, managed services and network services to help them improve their business performance and service delivery. Mitel operates in over 100 countries, with a sales and

service organization of over 70 offices, in conjunction with over 1,600 value-added resellers and partners around the world.

In 2014, Mitel completed its merger with Aastra Technologies Ltd., positioning the company as a global leader in business communications, with an emphasis on taking the lead as the market continues its long-term migration to cloud-based services. The current move to the cloud follows Mitel's prescient decision during the previous decade to focus on IP-based communications, in accurate anticipation of the industry's upgrading from traditional analog telephony.

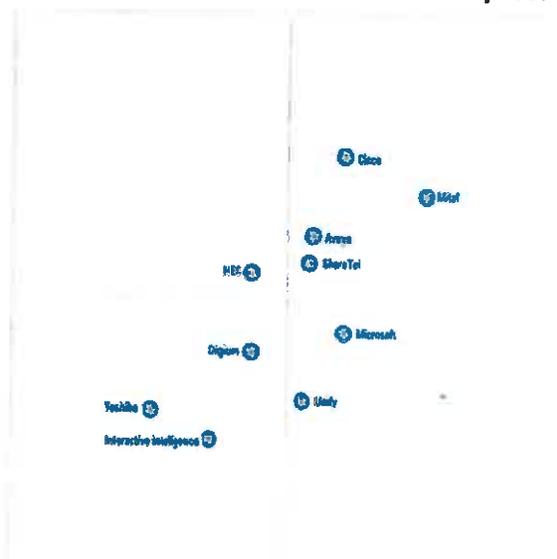
Mitel is now a clear market leader, with combined annual revenue of US\$1 billion, 60 million customers worldwide, and top market share in Western Europe. The combined business provides Mitel with a \$100 million annual Research and Development budget used to pursue innovation and the development of a broad range of regional and global solutions. In fact, this is reflected in the 2015 Gartner's Magic Quadrant Report, Mitel is Leader for Corporate Telephony, and the only brand to appear in all five Gartner Magic Quadrants for business communications:

Magic Quadrant for Corporate Telephony



Source: Gartner (October, 2015)

Magic Quadrant for UC for Midsize Enterprises



Source: Gartner (May, 2015)

Mitel's channel partners provide unparalleled customer service and support. Mitel insists on delivering not only an exceptional communications solution tailored to each business, but the support and services that make an initial communications investment pay long-term returns.

The Mitel Freedom architecture is the foundation of what Mitel business units and efforts have to offer. Mitel Freedom will provide you with the flexibility and simplicity to support today's dynamic work environment. Through a single cloud-ready software stream, you will receive advanced communications and collaboration capabilities that liberate businesses from single-vendor architectures and enable them to implement leading-edge solutions on any network, extend the "in-office" experience anywhere, on any device, and offer a choice of commercial options to fit business needs.

Partnerships are a crucial part of Mitel and its offering. It is Mitel's priority to build long-term relationships with other companies to create better solutions for its customers. By collaborating with industry leaders such as VMware, Vidyio, and Microsoft, Mitel and its partners continue to develop integrated and innovative solutions that work for you.

Mitel solutions are highly scalable, secure, simple to manage, and optimized to meet evolving communications needs. With unmatched reliability and scalability, they enhance employee productivity, increase customer service, reduce costs, and generate new revenue streams. Mitel sees communications as an investment in a business' ongoing performance, not a one-time equipment acquisition.

Through a conscientious IP migration strategy, Mitel enables businesses to maintain their existing infrastructure investment while taking advantage of the latest IP technologies. Leading the unified communications market with the latest in presence integration, it provides businesses with what they want: choice.

Mitel MiVoice Office 250

The MiVoice Office 250 phone system is an affordable and flexible communication platform for small to mid-size businesses.

Are your employees dispersed among offices, home offices and working from the road? The MiVoice Office 250



connects employees from every location, increasing productivity and lowering your communication costs. MiVoice Office 250 was designed and built specifically with small and medium sized businesses in mind by the communications experts at Mitel.

Right out-of-the-box, the MiVoice Office 250 offers businesses a complete suite of productivity enhancing applications. What this means is from the start, the business requires fewer servers, requires less space to deploy the solution, and can immediately benefit from applications that will greatly assist them with being more responsive to clients and allowing employees to be more productive. These applications include:

- Voice and Unified Messaging
- Automated Attendant
- Ad-Hoc and Meet-Me Conferencing
- Automatic call routing to employees or groups
- Hot Desking
- Linking / twinning of employee phones with mobile devices (Dynamic Extension Express)
- Mid-Call Features on twinned devices
- Support for remote / home-based phones for teleworkers without the need for VPN services
- Inbound call routing based upon on the time of day, day of the week or specific dates (Scheduled Time-Based Application Routing (STAR))
- System Park - Park a call for someone else to pickup
- Enhanced Group Pickup – Pickup a Hunt Group call easily with a single key press, along with a visual indication.
- Audio File (AudioTex) Importation - Upload custom audio prompt recording (format: .wav)
- MiVoice 5624 (WiFi) Phone Support - WiFi SIP phone
- Mitel Phone Manager Mobile - New Mobile Client App with a softphone
- Voicemail Synchronization with Microsoft Exchange 2016 - Support for the latest version

In addition, the MiVoice Office 250 supports a range of advanced applications designed to enhance the business, such as MiCollab, MiCollab Client, MiContact Center Office, and Mitel Phone Manager. Multi-Node Video Support, Video Integration with MiCollab (native clients)

MiVoice Office 250 offers Mitel Phone Manager Softphone as an ACD Agent. (Delivers the support for applications to work in conjunction with SIP endpoints). And also supports Windows 10.

MiVoice Office 250 uses a software and hardware platform that combines the best of data networking and TDM switching architectures. It supports MiVoice Digital and IP telephones, IP networking for up to 99 sites and is designed to be customized with add-on modules & processors, all in a form factor that is optimized for shelf-top, rack-mount and wall-mount scenarios.

The MiVoice Office 250 maximizes your communications investment with full network support and feature transparency for single or multiple locations through existing LAN and WAN infrastructures. Tightly integrated presence management, collaboration and messaging tools—such as unified communications, Web collaboration, call center software, voice processing and unified messaging—enable your business to build customer loyalty, enhance employee productivity and facilitate the mobility of your staff.

MiVoice Office 250 communications server solutions allow you to deploy full-featured IP telephones (endpoints), including IP desktop and IP wireless phones—where and when it's right for your business. To further protect your communications investment, the Mitel MiVoice Office 250 also allows you to expand your system environment through Mitel's Digital Expansion Interface (DEI) if you require digital phones and/or analog support.

The Mitel MiVoice Office 250 network communications solutions are based on open architecture interfaces and standard protocols which offer the flexibility to tailor the platform to suit your dynamic needs. Support for VoIP protocols, such as Session Initiation Protocol (SIP), provides a communications pathway—connecting diverse tools together so that they can "speak" to each other. SIP enables simple, flexible connectivity, which allow infrastructures, applications and endpoints to interact in a standard manner. IEEE supported standards, such as 802.11b and 802.3af, enable your business to provide tools that facilitate the mobility of employees. ITU-supported standards include G.711, G.729 and T.38. Mitel is focused on continued support for these standards and many other industry-standard interfaces, which will help address your unique business needs.

Improving Business Processes:

- Experience improved ROI on your network infrastructure investment

- Improve customer interactions and employee productivity with integrated Mitel software applications
- Increase efficiency and lower communications costs by seamlessly connecting remote offices and employees
- Expand and enhance your communications capabilities as your business needs dictate with a wide range of IP and applications standards that allow flexibility and enhance the core system
- Easy on-site installation, configuration and maintenance
- Multi-Node Video Support
- Video Integration with MiCollab (native clients)

Mitel MiVoice Office Enhanced Unified Messaging

The Unified Messaging for UVM enhances its embedded messaging capabilities by providing bi-directional synchronization of deletion and read / heard messages. This synchronization can be associated with e-mail mailboxes stored on Microsoft® Exchange, Office 365, Google Apps, Lotus Notes®, or Novell® GroupWise®. The new synchronization capability allows a user to process a message only once, regardless of whether they use the voice mail telephone user interface (TUI) or their e-mail client:

- If the user deletes the message from voice mail, it will be deleted from e-mail. Likewise, if the user deletes the message using e-mail, it will be deleted from voice mail.
- If the user listens to a message using voice mail, it will be marked as "read" in e-mail. Likewise, if the user reads the e-mail containing the voice mail attachment, the corresponding voice mail message will be marked as "saved."

Besides supporting the common e-mail servers listed above, UVM also supports a specific message format designed for integrating with RIM®'s BlackBerry® Enterprise Server (BES).

The format for the voice mail attachment can be configured to be WAV, MP3, or none (envelope notification only). Note that the use of MP3 is processing intensive and may result in significantly delayed message delivery. Mitel recommends a Processing Server (PS-1) if messages, including Record-a-Call, will be longer than five minutes.

Hot Desking (Single Node)

Hot Desking is the ability for a user to "log in" to another phone and have that phone become "theirs" for the duration of the hot desk session. Hot Desking is currently limited to within a single node.

Single-node Hot Desking typically address's two common customer scenarios:

- Office workers that telecommute some of the time -- Hot Desking allows their home IP phone to become their main extension with all rights, privileges, identity, etc.
- Remote workers that are in the office some of the time -- The typical example is a real estate office in which users are out of the office most of the time, but they need to use shared office space when in the office. This scenario is sometimes referred to as "hoteling."

Hot Desking can be utilized on any Digital or IP phone.

Meet-Me & Ad Hoc Conferencing

Meet-Me Conferencing provides conference bridge numbers to which callers can dial in and be connected to an audio conference call. This feature is in addition to the "ad hoc" conferences, which can only be created by manually adding members to a call using an internal phone.

Meet-Me & ad hoc Conferences can include up to 20 parties in a conference, and up to 40 parties with expansion.

Meet-Me Conferencing is accessible thru the dial-able Conference Assistant with conference codes, and setup on demand via a User Web Portal or Telephone User Interface (TUI)

Dynamic Extension Express (Embedded Twinning)

Dynamic Extension Express enables mobile workers to increase their accessibility and reduce mobility charges through flexible call routing and embedded twinning. Through Dynamic Extension Express, they can have calls routed to their desk phone and their mobile device simultaneously. Optionally, they can avoid unnecessary mobile calls by first routing calls to their desk phone before twinning between their desk phone and up to 10 remote or mobile devices. If the call remained unanswered upon reaching any of those devices, it would then be routed to voice mail. Users can also hand off calls from a mobile device to a desk phone, saving on the expense of carrying a call on the mobile network if they receive the call while they are in the office.

MiVoice Office Personal Call Routing Example #1



MiVoice Office Personal Call Routing Example #2



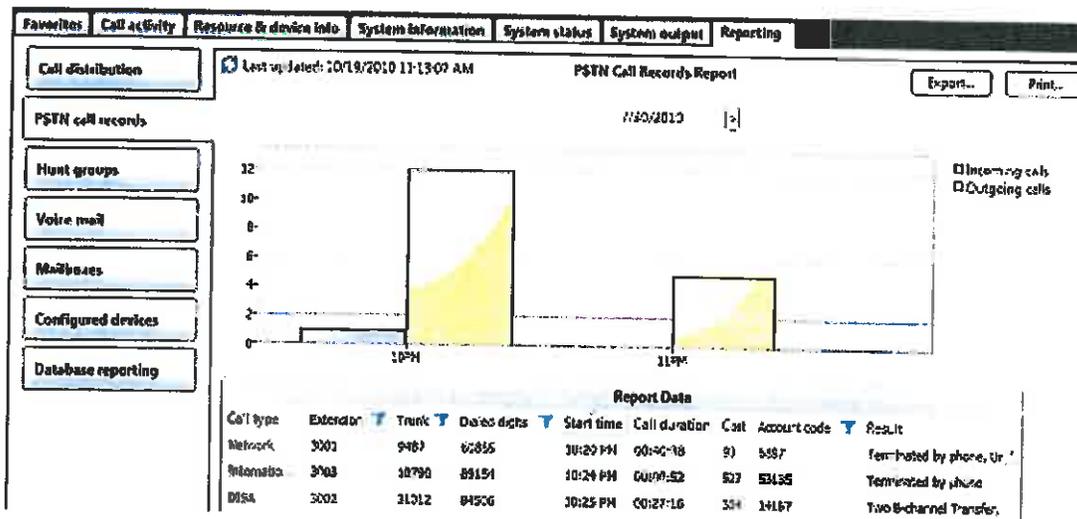
Mid-Call Features (MCF) for Dynamic Extensions

Mid-Call Features (MCF) allow mobile users with Dynamic Extension Express to take advantage of such core PBX features as Hold, Transfer, Conference, etc., for quick and simple consultation with "in-office" colleagues. MCF extends the MiVoice Office capabilities to mobile devices for maximum flexibility and productivity. It is delivered through a set of voice guided menus rather than users having to remember feature codes. (Note, prompt language is automatically aligned with that of the user's main extension.)

With MCF, once you place the original call on hold, you will be prompted to either transfer to, or conference in another party. For example, you can transfer to a colleague, to the company operator or auto-attendant or even to an outside line. Over time, as the user becomes more accustomed, they can easily type-ahead over the voice prompts.

Embedded Reporting

Embedded reporting provides basic historical (not real time) call reporting for phones, hunt groups, mailboxes, trunks, etc. The system stores up to seven days of call data. Reports are delivered through the System Administration and Diagnostics client. This feature-rich interface allows for graphical representation and quick filtering of data. Most reports allow for viewing individual days or all seven days at once. Report data can easily be exported for further analysis with external tools such as Microsoft Excel®.



Mitel MiVoice Conference Phone

The Mitel MiVoice Conference Phone makes conference calls clear, easy and efficient. Combining high-definition audio capabilities with 16 microphones that automatically focus towards the person talking, the Conference Phone helps to minimize side conversation pickup and increases speaker clarity.

The conference phone also has a large touch screen display with embedded collaboration services and Web browser, so participants can access, view & collaborate, and drive in-room presentations – without the need for a dedicated PC in the room.



The conference unit enables ad hoc collaboration for up to four participants through the following key features:

- Wideband Audio (22kHz) provides a larger audio dynamic range that matches human speech and hearing to provide a cleaner, crisper sound experience.
- Beamforming Technology provides smooth, seamless transition between microphones and focuses microphones on the active speaker without needing to boost microphone gain, virtually eliminating background noise / side conversations from impacting the far end audio experience.
- Array of 16 microphones embedded around the phone provides 360 sound pickup from up to 12 feet away minimizing the need for external microphones for most meeting room deployments.
- Speaker designed for enhanced playback clarity and resistance to mobile phone and wireless device interference.
- Tight integration with Mitel communications and collaboration solutions, helps maximize your ROI with your Mitel UCC investment.
- Embedded applications, such as WebEx and Join.me clients provides quick & easy access to cloud-based collaboration services – including the ability to support tablet driven presentations in the meeting room.
- Embedded web browser provides users with access to other cloud-based services, such as Gmail and Exchange Web, for personal contact dialing and chat functions directly via the MiVoice Conference Phone.
- Simply deployment to access embedded collaboration capabilities - connect the phone via a HDMI cable to a hi-definition display / projector.
- Loaded with high-end solution sound & functionality with the price point of traditional mid-range audio conference phone.

Mitel offers two models to suit your collaboration needs:

Audio and In-Room Presentation

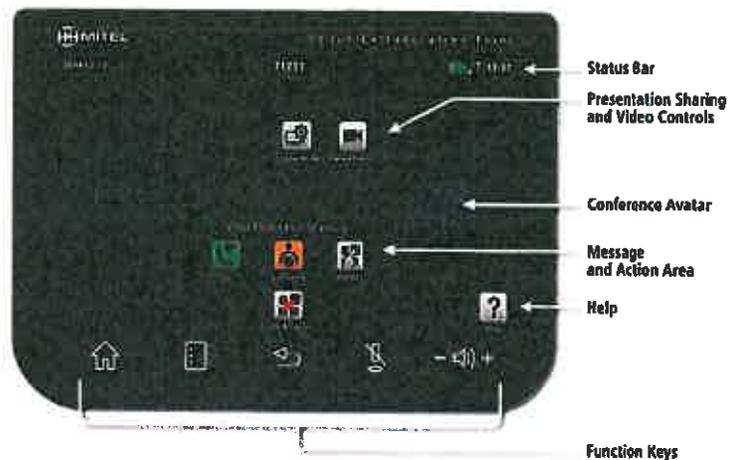
This model will provide the following basic telephony and conference features:

- HD audio with a four-party audio bridge
- 16 beam-forming microphones
- in-room presentation display (RDP, USB flash drive, micro SD card, Picstel SmartOffice)

MiVoice Video Unit

This model supports all the features of the first model along with these additional features:

- HD audio with four-party audio and HD video bridge
- presentation display to remote participants
- point-to-point video



Mitel 5320 IP Phone

The Mitel 5320 IP Phone is an economical, entry level, self-labeling enterprise phone that is specifically designed for communications-intensive companies that require a converged IP infrastructure to deliver productivity and customer-enhancing applications and services to the user desktop. This includes unified communications, speech recognition, PC integration, contact center, and remote voice and data applications. The 5320 IP Phone demonstrates Mitel's commitment to ease of use and enhanced user value, while delivering innovative features and applications. It is ideal for enterprise executives, managers, and employees, and can be used as an ACD agent, as a supervisor phone, or as a teleworker phone. Administrators will appreciate the ability to easily manage users through remote programming, eliminating the need for any paper labels, and thereby reducing installation and ongoing operational costs.



Display Varies on Platform

Mitel 5320 IP Phone features:

- Large graphics display (160 x 320) .
- 8 programmable, 1-touch multi-function, self-labeling keys
- HTML Desktop Toolkit included for applications development *
- Gigabit Ethernet Stand support
- 12 fixed function keys, * 3 context-sensitive softkeys * for intuitive feature access
- Supports Mitel Unified Communicator® (UC) Advanced application
- Supports Mitel 5300 Intelligent Directory *
- Desktop user tool: Browser-based desktop configuration and programming tool for easy access to telephone system features as well as key labeling
- Dual Mode: Supports Mitel IP (MiNET) and SIP protocols
- Handsfree speakerphone operation (full duplex)
- Dual port IP phone (10 / 100 Mb integrated Ethernet switch)
- Multiple languages support Icon buttons for global markets
- Secure voice communication enabled by encryption *
- Menu key provides 1-touch access to embedded applications - menu includes: Call History, Call Forwarding, Conference Unit Application, Settings, * Launch PC Application *, Help, Call Info
- Hearing-aid-compatible (HAC) handset (meets American Disabilities Act [ADA] requirements), and HAC compliance for magnetic coupling to approved HAC hearing aids
- Supports Mitel Teleworker Solution, Automatic Call Distribution (ACD) agent and supervisor, hot desking, * resiliency *, Mitel Mobile Extension, and Mitel Dynamic Extension
- Designed for power conservation: reduces power consumption for overall energy savings
- Multiple powering options: Accepts standards-based (IEEE 802.3af power compliant) power over the LAN via spare pair to signal pair, or supports 48 VDC Ethernet / AC power wall adapter
- Compression support: G.711, G.729a
- Supports IEEE 802.1p/q for Voice Quality of Service
- The 5320e IP phone adds...
 - An embedded Gigabit Ethernet switch that supports 10/100/1000 Mb mode
 - Support for Wideband Audio (G.722.1)
 - IPv6 Support

*Available only with a MiVoice Business solution

Mitel 5330e IP Phone

Part of the next generation desktop family, the Mitel 5330e IP Phone demonstrates Mitel's commitment to ease of use and enhanced user value, while delivering innovative features and applications. A full-feature enterprise-class telephone, the 5330e IP Phone provides a large backlit graphics display with 24 programmable self-labeling keys, superior wideband audio, and a built-in HTML toolkit for desktop applications development. The 5330e IP Phone is ideal for enterprise executives, managers and employees and can be used as an ACD agent, as a supervisor phone, or as a teleworker phone.



Display Varies on Platform

Mitel 5330e IP Phone features include:

- Large backlit graphics display (160 x 320)
- 24 Programmable, multi-function, self-labeling keys, provided in 3 pages of 8 keys each ((for speed dialing, line appearances, feature access)
- An embedded Gigabit Ethernet switch that supports 10/100/1000 Mb mode
- IPv6 Support
- Wideband Audio Support – ships with a wideband handset (7kHz) standard
- Peripherals and modules support: Line Interface Module, IP Conference Unit, Gigabit Ethernet Stand
- 12 fixed function keys: Hold, Settings, Message, Speaker, Mute, Transfer / Conference, Redial, Cancel, Volume/Ringing/Contrast Up & Down, Previous Page, Next Page
- 3 context-sensitive softkeys for intuitive feature access *
- HTML Desktop Toolkit included for Applications development *
- PC Companion Application for easy user programming and key labeling
- Dual mode phone: support for SIP and MiNET protocols
- Handsfree speakerphone operation (full duplex)
- Dual port IP phone (10/100 Mb integrated Ethernet switch)
- Language Support: English, French, German, Italian, Portuguese, Spanish, Dutch
- 802.3af power compliant (IEEE Standard)
- Supports IEEE 802.1p/q for Voice Quality of Service
- Designed for power conservation: reduces power consumption for overall energy savings

*Available only with a MiVoice Business solution

Mitel 5340e IP Phone

Demonstrating Mitel's continued focus on the user, the Mitel 5340e IP Phone delivers easy- to-use, one-touch access to many phone features and applications in an exciting next generation desktop device. A full-feature enterprise-class telephone, the 5340e IP Phone provides a large backlit graphics display with 48 programmable self-labeling keys, six intuitive call state sensitive softkeys, superior sound quality with wideband audio, and a built-in HTML toolkit for desktop applications development. The 5340e IP Phone is ideal for any enterprise executive or manager, Hot Desk users, Teleworkers, and Contact Center agents and supervisors.



Display Varies on Platform

Mitel 5340e IP Phone features:

- Large backlit graphics display (160 x 320)
- 48 Programmable, multi-function, self-labeling keys, provided in three pages of 16 keys each (for one-touch access to speed calls, line appearances, features)
- An embedded Gigabit Ethernet switch that supports 10/100/1000 Mb mode
- IPv6 Support
- Wideband Audio Support – ships with a wideband handset (7KHz) standard
- Peripherals and modules support: Line Interface Module, IP Conference Unit, Gigabit Ethernet Stand
- 13 fixed function keys: Hold, Settings, Message, Speaker, Mute, Transfer / Conference, Redial, Cancel, Volume/Ringing/Contrast Up & Down, Home Page, Previous Page, Next Page
- Six context-sensitive softkeys for intuitive feature access
- HTML Desktop Toolkit included for Applications development.*
- PC Companion Application for easy user programming and key labeling
- Dual mode phone: support for SIP and MiNET protocols
- Handsfree speakerphone operation (full duplex)
- Dual port IP phone (10/100 Mb integrated Ethernet switch)
- Language Support: English, French, German, Italian, Portuguese, Spanish, Dutch
- 802.3af power compliant (IEEE Standard)
- Supports IEEE 802.1p/q for Voice Quality of Service
- Designed for power conservation: reduces power consumption for overall energy savings

*Available only with a MiVoice Business solution

Cordless Handset and Cordless Headset

Mitel's Cordless Handset and Cordless Headset are unique accessories that offer unprecedented convenience and corridor mobility for 5330 and 5340 IP Phone users. The Cordless Handset and Headset allow the user to have personal area mobility with a potential range of up to 300 feet from their desk within their office or adjacent offices, while still communicating on their desk phone. No more missed calls when you step away from your desk for a few minutes to go to the filing cabinet or fax machine or talk to a colleague a few desks away!



Features of the cordless accessories include:

- Initiate Call / End Call Key
- Volume Control Keys
- Mute Key
- Built-in ringer in the Cordless Handset
- Place outbound calls while mobile with programmable "Auto Speed Dial" upon off-hook
- Speak@Ease or "0" or Secretary speed call
- LED Indicators on the Cordless Module, Handset and Headset indicate both connectivity and charging status
- 8 hours talk time
- 43 Hours standby time
- Battery recharge time of 3 hours or less
- Operating range of up to 300 feet (100 Meters) from the 5330/5340 IP Phone
- Integrated functionality of the Cordless Headset eliminates the need for a handset lifter
- Out of communications range warning tone
- Support for two cordless devices (Cordless Handset and Cordless Headset) per Mitel Cordless Accessories Module
- Integrated Cordless Headset functionality eliminates the need for a handset lifter
- DECT-based design: Standard DECT and DECT 6.0 cordless technology provides higher quality voice transmission, density, and less interference compared to Bluetooth
- Supported now on the Mitel 3300 IP Communications Platform (ICP) and on the Mitel SX-200 Integrated Communications Platform (ICP)

The Cordless Headset provides all the benefits of hands-free mobility in a lightweight, ergonomic design. It expands your communications potential with a wireless range of up to 300 feet away from your 5330 or 5340 IP Phone.

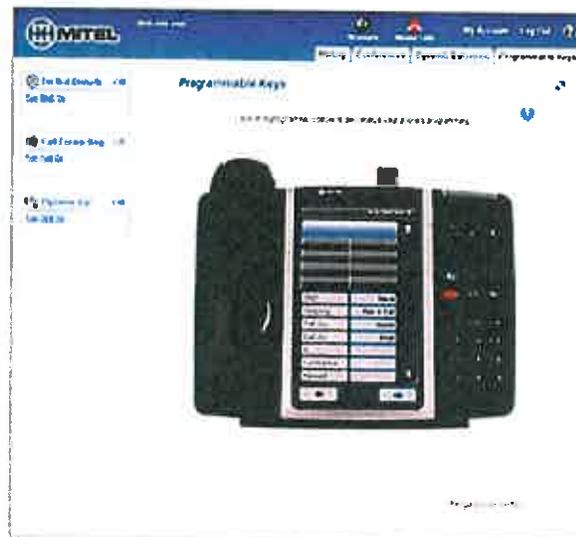
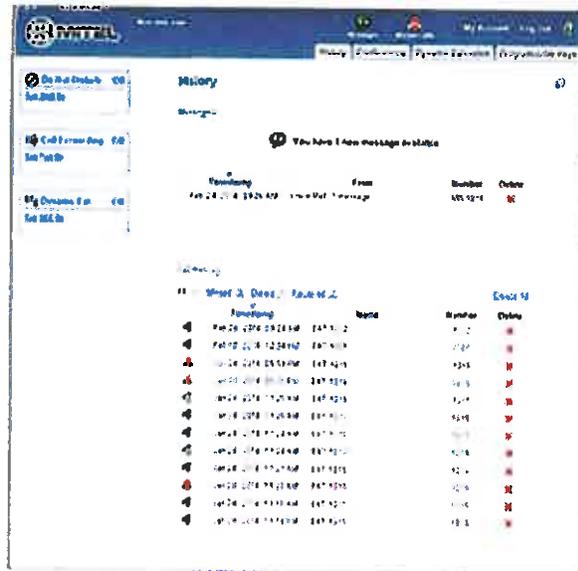
- WiFi-friendly 1.9 Ghz frequency with DECT wireless technology
- Noise-cancelling microphone for reduced background noise – calls are crystal clear
- Digital encryption for secure conversations
- Lightweight headset design: Ear hook-type headset weighs only 0.84 ounces (24 grams)

The Cordless Accessories Module fits discretely into the back of the 5330 and 5340 IP Phones in the existing module compartment. The module provides a charging mechanism for the Cordless Headset. The 5330 / 5340 IP Phones inherently provide a mechanism that allows for the addition of a charging plate for the charging of the Cordless Handset.

MiVoice Office User Web Portal

The Mitel MiVoice Office User Web Portal application allows you to view and manage the following phone and user account options:

- Do-Not-Disturb (DND)
- Manual Call Forwarding
- Dynamic Extension Express (DEE)
- Station and Voice Mail Messages
- Call History
- Meet-Me Conferences
- Account Information (user profile, passwords/passcodes, and UVM Email Synchronization settings)
- Programmable Keys





Schedule of Equipment and Services

<u>Qty</u>	<u>Part Number</u>	<u>Description</u>	<u>Unit Sell</u>	<u>Ext Sell</u>
Mitel MiVoice Office Voice Mail				
1	50006500	CF Card 2 GB v4+ (300 Hours)		\$150.00
1	840.0460	MiVoice Office Unified Voice Mail (4) Port Expansion		\$750.00
Mitel MiVoice Office System				
1	580.2100	(SLM-4) Single Line Analog Module		\$345.00
1	580.2702	(T1M-2) Dual T1/E1/PRI Module		\$750.00
1	52002997	MiVoice Office 250 PS-1 Bundle(V2)		\$2,996.25
Mitel MiVoice Office Licenses				
1	840.0229	MiVoice Office License-Analog VM HG		\$105.00
34	840.0416	MiVoice Office "Cat D" IP Tel Lic	\$105.00	\$3,570.00
4	840.0418	MiVoice Office "Cat F" SIP Tel Lic	\$75.00	\$300.00
1	840.0230	MiVoice Office License - ACD		\$98.00
Mitel 5000 Packages / Bundles				
1	52002686	Mitel 5000 HX IP Base Bundle Kit		\$2,100.00
Software Assurance				
1	54005233	SWA MiVoice Office Base	\$400.00	\$400.00
Endpoints				
3	50005711	Cordless (DECT) Handset & Module Bundle	\$273.75	\$821.25
1	50005712	Cordless (DECT) Headset & Module Bundle		\$352.50
30	50006476	Model 5330e GB - Full LCD IP Tel (Bklit)	296.25	\$8,887.50
1	50006478	Model 5340e GB - Full LCD IP Tel (Bklit)		\$371.25
4	50006580	MiVoice Conference Unit (UC360, Audio + In Room Collaboration)	\$746.25	\$2,985.00
4	50005663	5302/5304 IP Phone Wall Mount Kit (Qty 16)	\$5.00	\$20.00
15	50006634	5320e IP Phone (backlit version)	\$247.50	\$3,712.50
4	51011571	Model 5304 - 2 Line LCD IP Tel (Backlit)	\$197.50	\$790.00



<u>Qty</u>	<u>Part Number</u>	<u>Description</u>	<u>Unit Sell</u>	<u>Ext Sell</u>
Data Equipment				
1	17101548PF1	Adtran 48-Port PoE Switch		\$2,292.61
1	17101524PF1	Adtran 24-Port PoE Switch		\$1,234.21
<p>Contract price is based on the use existing premise station cabling jacks. Electrical outlets, outlet boxes, and conduit are not included.</p>				
Miscellaneous				
1	MiscHardware	Miscellaneous Hardware		\$712.83
Services				
	Labor-Install	Installation and Design Installation Labor IP set placement		\$1,597.75
	Labor-Advanced	Controller Implementation		\$2,011.50
	Labor-Programming	Programming Labor & Design Voicemail user and application design		\$6,050.00
	Labor-Cabling	Cabling Labor (tone existing cables)		\$450.00
	Labor-PM	Project Management		\$787.50
	Labor-Training	User Training		\$445.50
		System admin training—4 Hrs-\$500.00		\$500.00
		One Year Warranty		
	Support8X5	1st Year 8x5 Labor Support		\$2,799.13
		TOTAL PRICE (not including tax)		\$48,385.28

Pricing excludes taxes and is valid until 5/31/17

Maintenance Credit (The current Toshiba telephone system is presently covered under Maintenance until December 31, 2017. With the installation of the proposed Mitel system In June, a \$1,961.00 would be issued to the Village of Willowbrook.



TERMS AND CONDITIONS ON NEXT PAGE ARE PART OF THIS AGREEMENT

This Purchaser acknowledges that he/she has read this Agreement, understands it and agrees to be bound by its terms and conditions. Further if the Purchaser agrees that it is the complete and exclusive statement of the Agreement between the parties which supersedes all proposals or prior Agreements, oral or written, and all other communications between the parties relating the subject matter of this Agreement. This Agreement shall be voidable at Seller's option, unless accepted and delivered on or before 15 days.

MldCo Inc

Village of Willowbrook

Authorized Representative

Authorized Representative

Printed Name

Printed Name

Title

Title

Date

Date

Customer Purchase Order# _____



**EQUIPMENT PURCHASE AGREEMENT
TERMS AND CONDITIONS**

Warranty: Seller agrees to service without charge to Purchaser all goods installed by Seller for a period of One Year from date of installation or gainful use of the equipment by the Purchaser, whichever is first. Service shall include repair or replacement of defective goods and such adjustments as are required to keep system in satisfactory working condition, but does not include changes or additions or repairs or replacement of goods damaged through accident, misuse, abuse, acts of God or other reasons beyond the control of Seller.

ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, ANY IMPLIED WARRANTIES OF MERCHANTABILITY OF FITNESS FOR A PARTICULAR PURPOSE ARE HEREBY EXCLUDED.

INSTALLATION: Seller shall install the equipment as listed and shall furnish all the necessary cable, wire, hardware, etc., including labor as specified to provide for a proper operating system. Purchaser will furnish all necessary commercial power as required, including two duplex outlets on a dedicated commercial power circuit. Purchaser shall also furnish electric conduits, raceways, etc., if required, by Purchaser and/or local electrical codes, and a controlled environmental area, continuous 24 hours per day, for the central equipment as required by the Equipment Manufacturer Specification enclosed.

Seller will perform the installation in a neat and workmanlike manner, in accordance with local electrical code requirements, excluding furnishing local electrical permits if necessary. Purchaser agrees to obtain consent from his landlord or the building owner to install the equipment and to assist the Seller in obtaining approvals and permits other than as specified.

Seller will not be responsible for damages to the premises, not resulting from Seller's negligence. All work will be done during Seller's regular working hours.

SECURITY INTEREST: To secure payment and performance of all Purchaser's obligations hereunder. Purchaser hereby grants to Seller a security interest in and to the goods covered by this contract and in and to any additions and accessions thereto provided, nevertheless, that the risk of any loss or damage to the goods shall pass to Purchaser upon shipment to Purchaser or upon delivery to Purchaser's premises, whichever is earlier. Until Seller has been paid in full, Purchaser shall not in any manner sell, transfer, lease, mortgage or encumber its interest in the goods covered by this contract nor part with possession thereof, without the Seller's prior written consent.

SCHEDULES: Seller does hereby agree to maintain proper schedules for installation of the equipment as specified herein and as required by Purchaser. Delay or failure of performance on the part of Seller shall be excused if its normal operations are effected or prevented by any strike, lockout, act of God, act of the government, civil or military authorities, material shortage, delay of public carriers, fire, theft, accident, or any cause beyond its reasonable control. Seller assumes no responsibility for damage on account thereof.

TAXES: Prices quoted, unless otherwise specified, do not include sales, use, excise, or similar taxes applicable to the sale, delivery, or use of the goods covered by this contract. The amount of any such applicable tax will be paid to Seller, as specified by Purchaser or in lieu thereof Purchaser will provide Seller with a tax exemption certificate acceptable to the taxing authorities.

BILLING: Goods covered by this contract will be billed when installed or as otherwise specified. Labor and material for installation will be billed at the then current labor rate upon completion of installation or upon the last day of each month in which installation is performed, at Seller's option. Purchaser agrees to pay Seller 50% with order, 40% upon delivery of equipment, and 10% Net 30 days. Past due accounts will be charged interest of 1-1/2% per month. Prices and terms subject to change without notice. No returns will be allowed without written consent of the Seller.

DISCLAIMER AND LIMITATION OF LIABILITY:
IN NO EVENT SHALL SELLER BE LIABLE FOR SPECIAL, INDIRECT, INCIDENTAL OR CONSEQUENTIAL DAMAGES, WHETHER IN CONTRACT, TORT, OR OTHERWISE.

Seller will furnish Certificate of Insurance to include "Workmen's Compensation," general liability (bodily injury and property damage) to apply to all claims caused by MidCo Inc.'s negligence. Purchaser's request for additional insured liability will be furnished by MidCo Inc. and paid for by the purchaser.

All the provisions of this agreement shall be considered as separate terms and conditions and in the event any one shall be held illegal, invalid or unenforceable, all the other provisions hereof shall remain in full force and effect as if the illegal, invalid or unenforceable provisions were not a part hereof.

This contract shall be governed by Illinois law. The entire understanding between the parties is contained in this non-cancelable contract and no other agreement, representation, or understanding has been made, entered into, or will be recognized. This contract is not subject to modification except by an instrument in writing executed by a duly authorized officer of Seller and the Purchaser.

MidCo Inc. – Seller

Date

Purchaser – Authorized Signature

Date

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

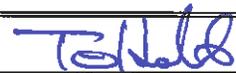
ITEM TITLE:

A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NUMBER 40 – THE REMOVAL OF DEBRIS AND OVER-EXCAVATION OF CARPORT PIERS, PROJECT CHANGE ORDER NUMBER 41 – THE INSTALLATION OF FOUR (4) ADDITIONAL DATA OUTLETS, AND PROJECT CHANGE ORDER NO. 42 – ASPHALT CONTRACTOR RE-MOBILIZATION COSTS, AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDERS

AGENDA NO. 5e

AGENDA DATE:
5/22/17

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: 

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: 

REVIEWED BY MUNI. SERVICES COMMITTEE: YES NO N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, etc.)

At its regular meeting on October 10, 2016, the Village Board awarded a construction contract in the amount of \$3,152,000 to L.J. Morse Construction Company to complete the expansion/renovation of the Village Police Building located at 7760 Quincy Street. Construction work began on October 19, 2016 and since that time various work has occurred and the project is now nearing completion.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The following change orders represent a total addition in the contract in the amount of \$14,059.00. The following is a summary of the nature of the required change orders:

C.O. #	TYPE	AMOUNT (+ OR -)	EXPLANATION
40	Addition	\$5,848.00	During the excavation of the pier footings which support the vertical columns for the vehicle canopy, various debris including an abandoned section of concrete foundation and a length of a cast iron pipe was encountered. This debris needed to be removed to enable the pouring of the pier footings. Their removal resulted in an over-excavation of two (2) piers which required additional concrete and labor cost to form the piers in the overdig. This was an unforeseen condition.
41	Addition	\$4,621.00	A discrepancy was discovered between the electrical plans and the low-voltage plan, which resulted in the omission of four (4) data outlets that are needed to serve employee workstations in the new building. As a result, this scope of work was not included in the base bid and must be added. This will be further reviewed and discussed with the project architect and communications consultant.
41	Addition	\$3,590.00	As a result of the start of the adjacent water tank painting project, a portion of the paved parking lot located at the southwest corner of the site is inaccessible. In addition, it is preferred that this section of parking area be paved after the tank project is completed, and not before. Therefore, the asphalt paving contractor was asked to return to the site later to finish paving this particular area. The asphalt contractor was agreeable to this, but would need to charge an additional mobilization fee to do so. The fee amount was determined to be reasonable.

Staff recommends that the resolution authorizing the above change orders as presented be adopted. In order to keep the project moving forward, Chairman Mistele and the Mayor were consulted and it was agreed that the change orders would be accepted and ratified by the Village Board after-the-fact.

ACTION PROPOSED:

Adopt resolution, which will serve to accept the change orders and ratify and confirm the Administrator's prior acceptance of the change orders.

Police Renovation Project

Summary of Change Orders (as of 5/16/17)

Status	Change Order Proposal No.	Change Order Issue No.	Change Order Description	Cost	Board Approved?
Accepted	1	1	Reconstruct Interior Office Walls from Demo.	\$6,901.00	11/14/2016
Accepted	2	2	Alternate Vehicle Carport Manufacturer	(\$7,453.00)	11/14/2016
Rejected	3		Manhole-Removal	\$3,378.00	
Accepted	4	7	Exterior Police Logo Revision	\$2,166.00	N/A
Accepted	5	3	Demo & Re-Construct Existing Exterior Door Canopies	\$13,562.00	11/28/2016
Accepted	6	8	Relocate Existing Ductwork to Accommodate 9/11 Artifact	\$1,999.00	N/A
Accepted	7	4	Sally Port Addition Footing Undercut (bearing soil)	\$1,391.00	N/A
Accepted	8	5	Drywall Finish - Conference Room No. 122	\$1,984.00	N/A
Accepted	9	6	Delete Concrete Floor Infills (not required)	(\$4,371.00)	N/A
Rejected	10		Locker Wall CMU Offset Issue	\$9,388.00	
Accepted	11	9	Replace Interior Window (demolished by Village PW)	\$720.00	N/A
Accepted	12	10	Convert Locksets to Integrated Core System for Doors	\$1,342.00	N/A
Accepted	13	11	Header Addition over Door #131A (not shown in plans)	\$2,119.00	N/A
Accepted	14	12	Reinforcement of Storage Room Wall (not shown in plans)	\$1,665.00	N/A
Rejected	15		SA/RA Duct Lining	N/A	
Accepted	16	29	Ceiling Conflicts (plan discrepancies) - T&M NTE	\$3,581.00	3/13/2017
Rejected	17		Monument Pier-Wall-Structural-Revisions	\$7,698.00	
Accepted	18	16	Headers Req'd. Over Glass Walls (not shown in plans)	\$5,289.00	1/23/2017
Accepted	19	13	Delete Drywall Soffits in Toilet Rooms 107 & 108	(\$194.18)	N/A
Accepted	20	14	Replace Four (4) Exist. Exterior Doors	\$18,995.00	1/23/2017
Accepted	21	15	Installation of 4" Conduit Per ComEd	\$1,721.00	N/A
Accepted	22	17	Construct Five (5) Glass Wall Header Posts	\$528.00	N/A
Accepted	23	19	Floor Underlayment, R/R Two (2) Exist. Doors	\$13,213.00	2/13/2017
Rejected	24		Electric-Receptacle-Relocation-&Additions, Rm. 124/126	\$731.00	
Accepted	25	20	Add Four (4) Electric Receptacles in Training Room	\$4,271.00	2/13/2017
Accepted	26	18	Omit Roof Coverboard	(\$5,250.00)	N/A
Accepted	27	22	Conduit feed & Disconnect replacement - Exist. RTUs	\$3,839.00	2/27/2017
Accepted	28	21	Relocate TV Outlets in Room 132	\$383.00	N/A
Accepted	29	23	Install Rigid Insulation in Office Exterior Walls	\$3,073.00	2/27/2017
Accepted	30	27	9/11 Artifact Display Area Glass Railing	\$6,077.00	3/13/2017
Accepted	31	24	Add wall insulation in exterior walls to roof deck	\$6,308.00	2/27/2017
Accepted	32	25	Float men's and women's locker room floors	\$5,922.00	2/27/2017
Accepted	33	31	Install two (2) protective bollards - sally port access	\$1,616.00	N/A
Accepted	34	26	Replace two (2) existing roof-top exhaust fans	\$1,349.00	N/A
Accepted	35	30	Remove exposed CMU & replace w/face brick	\$2,040.00	N/A
Rejected	36		Replace storm inlet rim	\$1,005.00	
Accepted	37	28	Add new 4" underground conduit per ComEd	\$6,650.00	3/13/2017
Accepted	38	32	FD req. exist fire connection be replaced w/5" Stortz	\$561.00	N/A
Accepted	39	35	Sentinel security plan did not include int. room cameras	\$29,482.00	4/10/2017
Accepted	40	33	Credit for artifact display design concept not used	(\$5,069.00)	N/A
Accepted	41	34	Added cost to repair exterior masonry before staining	\$930.00	N/A
Accepted	42	40	Removal of Debris / Over-excavation of 2 Carport Piers	\$5,848.00	5/22/2017
Accepted	43	36	Cost of add'l. concrete due to site curb relocation	\$533.00	N/A
Accepted	44R	37	Remove and Replace add'l. deteriorated curb on site	\$1,339.00	N/A
Accepted	45R	41	Installation of Four (4) Additional Data Outlets	\$4,621.00	5/22/2017
Rejected	46		Add ten (10) can lights in two (2) conference rooms	\$7,701.00	
Rejected	47		Eliminate underlying epoxy floor coat in Evidence Storage	(\$1,010.00)	
Accepted	48	38	Install window blinds on three (3) additional windows	\$381.48	N/A
Accepted	49	39	Infill area within ceiling in Evidence Room w/drywall	\$1,114.00	N/A
Accepted	50	43	Window Frame for Bond Out Pass Through	\$222.00	N/A
Accepted	51	42	Asphalt Remobilization (due to water tank painting work)	\$3,590.00	5/22/2017
52			Install barrier in sally port above coiling door	\$2,132.00	
Rejected	53		Concrete-encase-sallyport-columns-at-each-base	\$3,299.00	

= Accepted

Original Contract Sum: \$3,152,000.00
 Net Change by Change Orders To Date: \$144,988.30
 % of Net Change Orders to Original Contract Sum: 4.60%
 New Contract Sum: \$3,296,988.30

RESOLUTION NO. 17-R-_____

A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NUMBER 40 – THE REMOVAL OF DEBRIS AND OVER-EXCAVATION OF CARPORT PIERS, PROJECT CHANGE ORDER NUMBER 41 – THE INSTALLATION OF FOUR (4) ADDITIONAL DATA OUTLETS, AND PROJECT CHANGE ORDER NO. 42 – ASPHALT CONTRACTOR RE-MOBILIZATION COSTS, AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDERS

BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Administrator is hereby authorized to execute project change order number 40, attached hereto as Exhibit "A" and made a part hereof, in the additional amount of \$5,848.00 for the removal of debris and the over-excavation of vehicle canopy carport piers, project change order number 41, attached hereto as Exhibit "B" and made a part hereof, in the additional amount of \$4,621.00 to install four (4) additional data outlets, and project change order number 42, attached hereto as Exhibit "C" and made a part hereof, in the additional amount of \$3,590.00 for the cost of the asphalt contractor to re-mobilize equipment on-site to complete paving work, all being part of the police building expansion/renovation project. In addition, it is hereby authorized that the Village Administrator's prior execution of said change orders, be and the same, are hereby ratified and confirmed.

ADOPTED and APPROVED this 22nd day of May, 2017.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

L.J. Morse Construction Company

128 South Broadway

Aurora, IL 60505

Phone: 630.896.2696

Fax: 630.896.2697

PROPOSED CHANGE ORDER

No.00042 R

C.O. # 40

TITLE: Carport Pier Changes
PROJECT: Willowbrook Police Facility Renovatn
TO: Attn: Tim Halik
 Village of Willowbrook
 835 Midway Drive
 Willowbrook, IL 60527
 Phone: 630.920.2261 Fax: 630.920.2427

DATE: 03/23/2017

JOB: 2014-052

CONTRACT NO: 1



RE: To: From: Number:

DESCRIPTION OF PROPOSAL

Included are the costs to construct larger piers and remove existing concrete walls found in the excavation area per the included quotes with back up. Includes added sidewalk square as discussed.

Item	Description	Stock#	Quantity	Units	Unit Price	Tax Rate	Tax Amount	Net Amount
00001	Costs per Schwartz Excavating for pier work		1		\$462.00	0.00%	\$0.00	\$462.00
00002	Costs to remove and dispose of foundations		1		\$2,854.00	0.00%	\$0.00	\$2,854.00
00003	Costs per Mid Valley		1		\$1,649.00	0.00%	\$0.00	\$1,649.00
00004	5'x5'x5" sidewalk		1		\$278.00	0.00%	\$0.00	\$278.00
00005	LJM OH/P. No mark up on sidewalk		1		\$496.00	0.00%	\$0.00	\$496.00
00006	Bonds		1		\$109.00	0.00%	\$0.00	\$109.00
Unit Cost:								\$5,848.00
Unit Tax:								\$0.00
Total:								\$5,848.00

APPROVAL:

By: Tim Halik
 Tim Halik

Date: 5.16.17

By: Louis J. Morse
 Louis J. Morse

Date: _____



Change Order Request

March 14, 2017

L.J. Morse Construction Company
128 South Broadway
Aurora, IL 60505

Attention: Louis J. Morse
Owners Representative

Change Order Request No: 0002
Copies: (1)

Subject: Change Order Request

Willowbrook Police Facility
Renovation
7760 Quincy Street
Willowbrook, IL

Dear Sir:

The following is a change order to remove foundation wall

Cost Breakdown

Excavator and Operator 6hrs
Export clay 2 loads
Concrete 1 load
Semi 1hr
40 ton of granular for backfill

Contractor Change Order

\$ 2853.40

Contractor
Schwartz Excavating, Inc.
7023 Willow Springs Road #103
Countryside, IL 60525

Owners Representative
L.J. Morse Construction Company
128 South Broadway
Aurora, IL 60505

By: _____

By: _____

Date: _____

Date: _____



Change Order Request

March 14, 2017

L.J. Morse Construction Company
128 South Broadway
Aurora, IL 60505

Attention: Louis J. Morse
Owners Representative

Change Order Request No: 0003
Copies: (1)

Subject: Change Order Request

Willowbrook Police Facility
Renovation
7760 Quincy Street
Willowbrook, IL

Dear Sir:

The following is a change order to dig canopy piers

Cost Breakdown

Original bid was for 5x5 footings, backfilled with granular material and was bid with a 5' wide bucket on the excavator. Due to the footing change 4x4 and 3.5x3.5 a 3' wide bucket was needed and required more operator hours to complete. See attached sheets.

Contractor Change Order

\$ 462.30

Contractor
Schwartz Excavating, Inc.
7023 Willow Springs Road #103
Countryside, IL 60525

Owners Representative
L.J. Morse Construction Company
128 South Broadway
Aurora, IL 60505

By: _____

By: _____

Date: _____

Date: _____

Mid - Valley Concrete, Inc.

Foundations * Flatwork * Residential * Commercial

950 East 3rd Street
Sandwich, IL 60548

Phone: (815) 786-3323
Fax: (815) 786-3343

PROJECT: Willowbrook Police Facility Renovation/Addition
7760 Quincy Street
Willowbrook, IL

DATE: 3/16/2017

TO: L.J. Morse Construction

CHANGE ORDER: #006

DESCRIPTION OF CHANGE ORDER:

AMOUNT:

Original Alternate #1:

Rebar Material	\$897.00
Rebar Labor	\$1,026.00
Concrete Material 5 Bag FA WR 20 yds @\$107	\$2,140.00
Environmental Fee 20 yds @ \$3.00	\$60.00
Labor to Form and Pour	\$10,810.50
15% P & O	\$2,240.03
TOTAL ORIGINAL ALTERNATE #1	\$17,173.53

ADDITIONAL COST to Alternate #1

Rebar Material	\$712.00
Rebar Labor	\$818.50
Concrete Material 5 bag FA WR 33.5 yds @ \$107	\$3,584.50
Short Loads Due to Excavation	\$320.00
Environmental Fee 33.5 yds @ \$3.00	\$100.50
Winter Service 53.5 ^{33.5} yds @ \$10	\$535.00 335.00
Labor to Form and Pour	-\$4,462.50
15% P & O	\$241.20
TOTAL ADDITIONAL COST TO ALTERNATE #1	\$1,849.20 \$1,649.20

TOTAL AMOUNT DUE **\$1,849.20**

\$1,649.20

APPROVAL:

BY: X _____

BY: _____

DATE: X _____

DATE: _____



WELSCH READY MIX, INC.

SINCE 1920

4243 W. 168th Street, Oak Forest, IL 60452

TOLL FREE: 866-469-8432 • PHONE: 815-464-2000

FAX: 815-464-4743

INVOICE

DATE: 03/09/17 INVOICE NO: 147626 PAGE: 1

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MID VALLEY CONCRETE, INC.
950 EAST 3RD STREET
SANDWICH, IL 60548

MIDV 03/09/17 147626 1

TOTAL

000008 POLICE DEPARTMENT, WILLOWBROOK

WILLOWBROOK

03/09 001-127941	9.00 CY 5 BAG FA WR AIR	107.00 CY	0.00	963.00
03/09 001-127941	9.00 CY ENVIRONMENT FEE	3.00 CY	0.00	27.00
03/09 001-127941	9.00 CY WINTER SERVICE	10.00 CY	0.00	90.00
03/09 003-303298	9.00 CY 5 BAG FA WR AIR	107.00 CY	0.00	963.00
03/09 003-303298	9.00 CY ENVIRONMENT FEE	3.00 CY	0.00	27.00
03/09 003-303298	9.00 CY WINTER SERVICE	10.00 CY	0.00	90.00
03/09 008-801136	9.00 CY 5 BAG FA WR AIR	107.00 CY	0.00	963.00
03/09 008-801136	9.00 CY ENVIRONMENT FEE	3.00 CY	0.00	27.00
03/09 008-801136	9.00 CY WINTER SERVICE	10.00 CY	0.00	90.00

27.00 QUANTITY TOTAL

JOB TOTAL

3240.00

PRODUCT RECAP

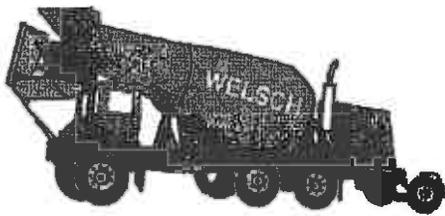
27.00 6038

27.00 EF

27.00 WS

5 BAG FA WR AIR
ENVIRONMENT FEE
WINTER SERVICE

3240.00



WELSCH READY MIX, INC.

SINCE 1920

4243 W. 166th Street, Oak Forest, IL 60452

TOLL FREE: 866-469-8432 • PHONE: 815-464-2000

FAX: 815-464-4743

INVOICE

CUSTOMER: _____ DATE: _____ INVOICE NO: _____

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MID VALLEY CONCRETE, INC.
950 EAST 3RD STREET
SANDWICH, IL 60548

MIDV 03/08/17 147590 1

DATE: _____ PRICE: _____ TAX: _____ TOTAL: _____

000008 POLICE DEPARTMENT, WILLOWBROOK

WILLOWBROOK

03/08 001-127866	8.00 CY 5 BAG FA WR AIR	107.00 CY	0.00	856.00
03/08 001-127866	8.00 CY ENVIRONMENT FEE	3.00 CY	0.00	24.00
03/08 001-127866	8.00 CY WINTER SERVICE	10.00 CY	0.00	80.00
03/08 001-127874	3.00 CY 5 BAG FA WR AIR	107.00 CY	0.00	321.00
03/08 001-127874	3.00 CY ENVIRONMENT FEE	3.00 CY	0.00	9.00
03/08 001-127874	3.00 CY WINTER SERVICE	10.00 CY	0.00	30.00
03/08 001-127874	1.00 LD MINIMUM LOAD	120.00 LD	0.00	120.00

11.00 QUANTITY TOTAL

JOB TOTAL

1440.00

PRODUCT RECAP

11.00 6038	5 BAG FA WR AIR
11.00 EF	ENVIRONMENT FEE
11.00 WS	WINTER SERVICE
1.00 ML	MINIMUM LOAD

1440.00

AMOUNT DUE



WELSCH READY MIX, INC.

SINCE 1920

4243 W. 166th Street, Oak Forest, IL 60452

TOLL FREE: 866-469-8432 • PHONE: 815-464-2000

FAX: 815-464-4743

INVOICE

DATE: 03/10/17 INVOICE NO: 147655

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MID VALLEY CONCRETE, INC.
950 EAST 3RD STREET
SANDWICH, IL 60548

MIDV 03/10/17 147655 1

PROJECT: 000008 POLICE DEPARTMENT, WILLOWBROOK WILLOWBROOK

DATE	ITEM	QTY	UNIT	PRICE	AMOUNT
03/10	001-127960	7.25	CY 5 BAG FA WR AIR	107.00	775.75
03/10	001-127960	7.25	CY ENVIRONMENT FEE	3.00	21.75
03/10	001-127960	7.25	CY WINTER SERVICE	10.00	72.50
03/10	008-801150	7.25	CY 5 BAG FA WR AIR	107.00	775.75
03/10	008-801150	7.25	CY ENVIRONMENT FEE	3.00	21.75
03/10	008-801150	7.25	CY WINTER SERVICE	10.00	72.50
03/10	008-801151	1.00	CY 5 BAG FA WR AIR	107.00	107.00
03/10	008-801151	1.00	CY ENVIRONMENT FEE	3.00	3.00
03/10	008-801151	1.00	CY WINTER SERVICE	10.00	10.00
03/10	008-801151	1.00	LD MINIMUM LOAD	200.00	200.00

15.50 QUANTITY TOTAL

JOB TOTAL 2060.00

PRODUCT RECAP
 15.50 6038 5 BAG FA WR AIR
 15.50 EF ENVIRONMENT FEE
 15.50 WS WINTER SERVICE
 1.00 ML MINIMUM LOAD

2060.00

AMOUNT DUE



Chicago Contractor's Supply

Distributor of Quality Products to the Contractor

1567 FRONTENAC ROAD * NAPERVILLE, IL 60563

Tel. 630-615-2170 * Fax 630-615-2182 * www.ccs-cs.com

Remit to: **CCS Contractor Equipment & Supply, Inc.**
1567 Frontenac Road, Naperville, IL 60563

INVOICE

PAGE: 1

D.W.C. Is Not Insurance

Damage Waiver Charge is of rental charges

Damage Waiver

Damage Waiver: By his initials hereon or by separate written confirmation, lessee agrees to pay additional daily rental as set forth below or, if not set forth, then as posted in Lessor's office, and, in return therefor, lessor agrees to waive certain claims for damage to rental items(s), as specified on the back of this contract.

Invoice No.: . . . 11719055

Sold To: MID VALLEY CONCRETE
950 EAST THIRD STREET
SANDWICH, IL 60548

Wmorse #13
Ship To: WILLOWBROOK POLICE STATION
JOHN: 630-546-8057
7760 S. QUINCY STREET
1ST A.M. TUESDAY 3/7
WILLOWBROOK, IL

Inv. Date: 03/09/17

Cust. No. 45850

Ship Date 03/01/17 Order No. 11717492
Due Date 04/08/17 P.O. No.
Terms NET 30 DAYS FROM SHIPMENT

Clerk No. JH
Salesperson PAT CALLAGHAN

Item No.	Description	Qty Ord	Qty Inv	Unit Price	Total Price
REB360FT-AC	REBAR, #3 GR60 /LB	441	441	0.46	202.86
REB660FT-AC	REBAR, #6 GR60 /LB	2,629	2,629	0.46	1,209.34
REBARCUT&B	FABRICATED REBAR CC:BHKT	3,070	3,070		
450315-MC8	BRICK, CONCRETE LONGEST LENGTH: 5'-03"	25	25	0.557	13.93

*80 pcs #5 3' long
from stock \$113.00*

ENTERED MAR ' 5 2017

Please Read Before signing: Contract Agreement on Reverse Side.
Please Notify Your Insurance Broker of Physical Damage Coverage.

PAYMENT SUMMARY

- (1) Know your rates (2) You are Charged for Time Out, not time used.
- (3) Rules are based on an 8 hour day, 40 hour week, 160 hour month. Any usage in excess of this amount will be charged at an appropriate rate.
- (4) Equipment must be returned clean. Customer responsible for care, safety, and security of equipment (5) If mechanical failure occurs - please call immediately
- (6) A Service Charge of 1-1/2% per month will be charged on all accounts 30 days Past (18% per year) (7) Tires and batteries are responsibility of customer. (8) Fuel charge on return of equipment

Payments: 0.00
Balance Due: 1,533.09

CONTRACT TOTALS

Sales: 1,426.13
Discount: 0.00
Sales Tax 7.50% ~~106.96~~
(DUPAGE)
Rental: 0.00
D. W.: 0.00
Total: 1,533.09

X
PLEASE PAY FROM THIS INVOICE. 1 1/2% PER MONTH ON UNPAID BALANCE OVER 30 DAYS



Chicago Contractor's Supply

Distributor of Quality Products to the Contractor

1567 FRONTENAC ROAD * NAPERVILLE, IL 60563

Tel. 630-815-2170 * Fax 630-815-2182 * www.ccs-ces.com

Remit to: **CCS Contractor Equipment & Supply, Inc.**
1567 Frontenac Road, Naperville, IL 60563

INVOICE

PAGE: 1

D.W.C. Is Not Insurance

Damage Waiver Charge is of rental charges

Damage Waiver

Damage Waiver: By his initials hereon or by separate written confirmation, lessee agrees to pay additional daily rental as set forth below or, if not set forth, then as posted in Lessor's office; and, in return therefor lessor agrees to waive certain claims for damage to rental items(s), as specified on the back of this contract.

Invoice No.: . . . 11719074

Sold MID VALLEY CONCRETE
To: 950 EAST THIRD STREET
SANDWICH, IL 60548

LJ mouse
Ship MID VALLEY CONCRETE
To: WILLOW BROOK #13
POLIVE STATION
SANDWICH, IL 60548

Inv. Date: 03/09/17

Cust. No. 45850

Ship Date 03/08/17 Order No. 11718753 Clerk No. JH
Due Date 04/08/17 P.O. No. TOM
Terms NET 30 DAYS FROM SHIPMENT Salesperson PAT CALLAGHAN

Item No.	Description	Qty Ord	Qty Inv	Unit Price	Total Price
450315-MC8	BRICK, CONCRETE	12	12	0.557	6.68
CR12	COIL ROD, 1/2" PER FT 5-STICKS	60	60	0.70	42.00

ENTERED MAR 15 2017

PAYMENT SUMMARY

Please Read Before signing: Contract Agreement on Reverse Side.
Please Notify Your Insurance Broker of Physical Damage Coverage.

- (1) Know your rates (2) You are Charged for Time Out, not time used
- (3) Rules are based on an 8 hour day, 40 hour week, 160 hour month. Any usage in e of this amount will be charged at an appropriate rate.
- (4) Equipment must be returned clean. Customer responsible for care, safety, and sec of equipment (5) If mechanical failure occurs - please call immediately.
- (6) A Service Charge of 1-1/2% per month will be charged on all accounts 30 days Past 18% per year (7) Tires and batteries are responsibility of customer (8) Fuel charge on return of equipment

Payments: 0.00
Balance Due: 52.33

CONTRACT TOTALS

Sales: 48.68
Discount: 0.00
Sales Tax 7.50% (DUPAGE) 3.65
Rental: 0.00
D. W.: 0.00
Total: 52.33

PLEASE PAY FROM THIS INVOICE. 1 1/2% PER MONTH ON UNPAID BALANCE OVER 30 DAYS



Chicago Contractor's Supply

Distributor of Quality Products to the Contractor

1567 FRONTENAC ROAD * NAPERVILLE, IL 60563

Tel. 630-616-2170 * Fax 630-615-2182 * www.ccs-ces.com

**Remit to: CCS Contractor Equipment & Supply, Inc.
1567 Frontenac Road, Naperville, IL 60563**

INVOICE

PAGE: 1

D.W.C. Is Not Insurance

Damage Waiver Charge is of rental charges.

Damage Waiver

Damage Waiver: By his initials hereon or by separate written confirmation, lessee agrees to pay additional daily rental as set forth below or, if not set forth, then as posted in Lessor's office; and, in return therefor lessor agrees to waive certain claims for damage to rental item(s), as specified on the back of this contract.

Invoice No.: . . . 11719283

Inv. Date: 03/10/17

Sold MID VALLEY CONCRETE
To: 950 EAST THIRD STREET
SANDWICH, IL 60548

Ship MID VALLEY CONCRETE
To: 950 EAST THIRD STREET
SANDWICH, IL 60548

Cust. No. 45850

*LJ Morse / Willowbrook
Police #1, 3*

Ship Date 03/09/17 Order No. 11718973
Due Date 04/09/17 P.O. No. WILLOWBRO
Terms NET 30 DAYS FROM SHIPMENT

Clerk No. LH
Salesperson PAT CALLAGHAN

Item No.	Description	Qty Ord	Qty Inv	Unit Price	Total Price
MMIMPT-MB2	WIRE, TIE MARMAC CONTRACTOR	5	5	4.25	21.25

ENTERED MAR 15 2017

PAYMENT SUMMARY

Please Read Before signing: Contract Agreement on Reverse Side.
Please Notify Your Insurance Broker of Physical Damage Coverage.

- (1) Know your rates. (2) You are Charged for Time Out, not time used.
- (3) Rates are based on an 8 hour day, 40 hour week, 160 hour month. Any usage in excess of this amount will be charged at an appropriate rate.
- (4) Equipment must be returned clean. Customer responsible for care, safety, and security of equipment. (5) If mechanical failure occurs - please call immediately.
- (6) A Service Charge of 1-1/2% per month will be charged on all accounts 30 days Past Due (18% per year) (7) Tires and batteries are responsibility of customer. (8) Fuel charge on return of equipment.

Payments: 0.00
Balance Due: 22.84

CONTRACT TOTALS

Sales: 21.25
Discount: 0.00
Sales Tax 7.50% (DUPAGE) -1.59
Rental: 0.00
D. W.: 0.00
Total: -22.84

X
PLEASE PAY FROM THIS INVOICE. 1 1/2% PER MONTH ON UNPAID BALANCE OVER 30 DAYS



Applied Communications Group

Customer **Valley Electric**
 System **Structured Cabling**
 Section **RFP-003**
 Jobsite **Willowbrook Police Facility**
 Contact **Jim Nauert (630)554-6200 Ext 17**

Contact **Keith Svitanek**
 Phone **(630) 259-5231**
 Date **4/3/2017**

NOTES: *Applied Communications Group will provide material and labor to install the Data Cabling to rooms 119, 122, 128 and 133 per RFP-003 for the Willowbrook Police Facility.*

Qty	Unit	Scope of Work
1	ea	Install dual Cat6 location for Wall Location
4	ea	Install quad Cat6 location for floor Box
15	ea	Install Cable supports
18	ea	Trim and certify Cat6
15	ea	Install Cable Supports
1	ea	Misc. Labor & Material Handling

Qty	Unit	Equipment & Materials Description	Part #
4	m	GenSPEED 6 Category 6 Cable Blue CMR	7133840
18	ea	Panduit Cat 6 jack Blue	NK688MBU
1	ea	Panduit 48-Port Patch Panel	NK6PPG48Y
32	ea	Panduit 7 ft cat 6 blue patch cord	NK6PC7MBUY
4	m	GenSPEED 6 Category 6 Cable Blue CMR	7133840
1	ea	Panduit 2 port C53	NK2FWHY
1	ea	Miscellaneous Materials and Consumables	

MATERIAL TOTAL \$ 1,576.50

LABOR TOTAL \$ 1,833.50

TOTAL INVESTMENT \$ 3,410.00

All listed material is guaranteed to be as specified above. All work is to be completed in accordance with current standards and general installation practices. Any additions or changes to the above specifications resulting in additional cost to Applied Communications Group, Inc. will be performed only upon written orders, and will be invoiced as an Engineering Change Order above this original quotation. Owner agrees to carry building insurance. Certificates of insurance reflecting Applied's coverages are available upon request. The above prices, specifications are hereby accepted. Applied has authorization to perform all work as specified in the quotation. Payment in full is due within 30 days, interest @ 1.5% a month is due on invoices over 30 days, in addition to any collection fees which may be incurred and will be responsible for all attorney fees.

Customer Signature: _____ Date of Acceptance: _____

Detailed Design

- Free and clear access for all work area will be required.
- Non Plenum cable has been quoted.
- Union labor has been quoted.
- All labor has been quoted on normal time. An additional labor price for weekend and after-hour work can be given as an option.
- An on-site, secure area for materials and tools will be designated by the client for Applied's use during the installation.
- All conduit, cores, sleeves and cable trays if needed, will be supplied by others.
- Customer shall provide a 'project leader' who will be available at all times while Applied personnel are working. The project leader shall be well versed with the project and will have authority to make binding, billable decisions for the customer at all times. No changes in the Scope of Work will be accepted without a signed Engineering Change Order (ECO) by Project Leader.
- Customer shall be responsible for and billed any time Applied is unable to work due to Customer, other trades and other contractors working on the job
- Permit fees have not been included and will be considered billable to the customer.
- Contract Pricing is contingent on approved submittal package.
- No allowances have been included unless clearly specified.

PROPOSED CHANGE ORDER

Valley Electrical Contractors Inc.

Mail: Po Box 461
Deliveries only; 4485 State Route 71
Oswego, IL 60543
Telephone: 630-554-6200
Fax: 630-554-5543
Contact: Jim Nauert
Client Address:

Date: 4/4/2017
Project Name: Willowbrook Police Station
Project Number: 3498
Page Number: 1
Change Order #: 3498-10

L.J. Morse

Contact: Lou Morse
128 S. Broadway
Aurora, IL 60505
Telephone: 630-896-2696
Contact: Lou Morse

Work Description

We reserve the right to correct this quote for errors and omissions.

Install data services in floor box locations per VOW - PR-03.

Itemized Breakdown

Description	Qty
2" EMT	10
2" MINRLAC W/BOLT 5-B	10
2" PLASTIC BUSHING	10
2" CORE 4" WALL	5
Totals	

Summary

General Materials		97.74
Material Overhead	(@ 10.000 %)	9.77
Material Markup	(@ 5.000 %)	5.38
Material Total		112.89
JOURNEYMAN	(7.79 Hrs @ \$115.00)	895.85
DATA SERVICES SUBCONTRACTOR	(\$3,410.00 + 0.000 % + 0.000 % + 3.000 %)	3,512.30
Subtotal		4,521.04
Final Adjustment		-0.04
Final Amount		\$4,521.00

ORIGINAL



500 Park Boulevard, Suite 600
 Itasca, IL 60143
 P 630 221 1212
 F 630 221 1220
 www.williams-architects.com

ARCHITECT'S PROPOSAL REQUEST

PROJECT:	Village of Willowbrook Police Facility Renovation / Expansion	PROPOSAL REQUEST NO:	Three (03)
OWNER:	Village of Willowbrook	DATE:	March 27, 2017
TO:	L.J. Morse Construction Co. 128 S. Broadway Aurora, IL 60505 Attention: Lou Morse	PROJECT NO.:	2014-052
		CONTRACT FOR:	General Construction
		CONTRACT DATE:	26 September 2016

PLEASE SUBMIT AN ITEMIZED QUOTATION FOR CHANGES IN THE CONTRACT SUM AND/OR TIME INCIDENTAL TO PROPOSED MODIFICATIONS TO THE CONTRACT DOCUMENTS DESCRIBED HERE. THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Provide data services complete to the existing floor boxes in the following rooms:

- Records 119 (2 locations)
- Conference 122
- Conference 128

Additionally, provide data services complete to the existing data wall box on the South Wall of Shift Supervisors Room 133.

Termination of services and device installations shall be similar to that in the floor boxes at Open Office 132. Confirm termination devices with Owner prior to installation.

ATTACHMENTS: None

BY:

COPIES TO: Tim Halik / Village of Willowbrook
 Karl Streitenfeld / W-T Engineering
 Jim Michalik / Sentinel
 Bob Koeller / Williams

L.J. Morse Construction Company

128 South Broadway

Aurora, IL 60505

Phone: 630.896.2696

Fax: 630.896.2697

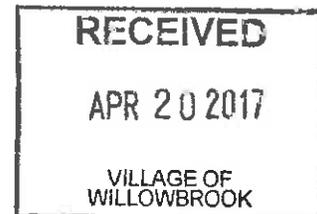
PROPOSED CHANGE ORDER

No.00051

C.O. #42

TITLE: Asphalt Remobilize
PROJECT: Willowbrook Police Facility Renovatn
TO: Attn: Tim Halik
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527
Phone: 630.920.2261 Fax: 630.920.2427

DATE: 04/20/2017
JOB: 2014-052
CONTRACT NO: 1



RE: To: From: Number:

DESCRIPTION OF PROPOSAL

Included are the costs to return to complete the asphalt work due to the water tower painting project.

Item	Description	Stock#	Quantity	Units	Unit Price	Tax Rate	Tax Amount	Net Amount
00001	Costs per Beverly		1		\$3,200.00	0.00%	\$0.00	\$3,200.00
00002	LJM OH/P		1		\$320.00	0.00%	\$0.00	\$320.00
00003	Bonds		1		\$70.00	0.00%	\$0.00	\$70.00
Unit Cost:								\$3,590.00
Unit Tax:								\$0.00
Total:								\$3,590.00

APPROVAL:

By:

Tim Halik

Date:

5.16.17

By:

Louis J. Morse

Date:



Established 1970

L.J. Morse Construction
Attn: Davis
128 S. Broadway
Aurora, IL 60505

April 20, 2017

Change Order 1

Subject: Mobilization Changes for Willowbrook Police Facility, 7760 Quincy Ct., Willowbrook, IL

Due to Painting Of The Water Tower, Approximately 7,500 sq. ft. of Milling and Paving and 4,000 sq. ft. of New Pavement Will Have To Be Completed At A Later Date In The Fall of 2017.

Add \$3,200.00 For Mobilization Changes.

Contract Price.....\$61,000.00

Add Change Order #1.....\$3,200.00

New Contract Price.....\$64,200.00

Accepted _____

Respectfully Submitted
Beverly Asphalt Paving Co.

Dated _____

Chris Gawenda - President

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

MOTION – BOARD ADVICE AND CONSENT TO MAYOR’S APPOINTMENTS TO FILL VACANCIES IN THE PARKS & RECREATION COMMISSION, PLAN COMMISSION, BOARD OF POLICE COMMISSIONERS, AND POLICE PENSION FUND BOARD

AGENDA NO. 5f
AGENDA DATE: 5/22/17

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN

RECOMMENDED BY: Mayor Frank Trilla

SIGNATURE: Frank A. Trilla

REVIEWED & APPROVED BY COMMITTEE: YES NO N/A

ITEM HISTORY / COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Appointments to Village Commissions are made by the Mayor with the advice and consent of the Board of Trustees. The following appointments are hereby made:

Parks & Recreation Commission (2 Year Term, Total 9 members)		
	Appointment Status:	New Term Expires:
Carol Lazarski	Re-appointment	4/30/19
Ronald Kanaverskis	Re-appointment	4/30/19
Doug Stetina	Re-appointment	4/30/19
Catherine Kaczmarek	Re-appointment	4/30/19
(vacancy)		

Plan Commission (4 Year Term, Total 7 members)		
	Appointment Status	New Term Expires:
Constantine (John) Wagner	Re-appointment	4/30/21
William Remkus	Re-appointment	4/30/21
(vacancy)		

Board of Police Commissioners (3 Year Term, Total 3 members)		
	Appointment Status:	New Term Expires:
Thomas E. Sailer	New Appointment	4/30/20

Police Pension Fund Board (2 Year Term, Total 2 members)		
	Appointment Status:	New Term Expires:
Umberto Davi, Chairman	Re-appointment	4/30/19

ACTION PROPOSED:

Pass a Motion confirming the above re-appointments and one (1) new appointment.

RECEIVED

MAY 16 2017

VILLAGE OF
WILLOWBROOK

To: Mayor Frank Trilla
From: Tom Sailer 
Subject: Willowbrook Police Commission

Please consider this my letter of interest in serving on the Willowbrook Police Commission.

As a resident of Willowbrook, I am interested in being of service the community in any way that will assist the mission of the Village.

Attached please find my resume and qualifications.

Thomas E. Sailer


Willowbrook IL 60527



RECEIVED**MAY 16 2017**VILLAGE OF
WILLOWBROOK

My background includes:

- **Chicago Police Department from 1968 through 1998.**
- **Willowbrook/Burr Ridge Chamber of Commerce since 1999**
- **Member of the Willowbrook/Burr Ridge Kiwanis Club.**
- **President and Owner of Exit Real Estate Partners**
- **Past President of the Darien Chamber of Commerce**
- **Past member Board of Directors of the Woodridge Chamber of Commerce**
- **Member of Chamber 630**
- **Member Darien Chamber of Commerce**
- **Member Bolingbrook Chamber of Commerce**
- **I am currently a member of the Board of Directors of the Lawns of Willowbrook Master Association**
- **Current Member of the Board of Directors of Lawns II of Willowbrook Homeowners Association.**

I believe that my background as a Police Officer, business owner and service to the community would be an asset to the Village of Willowbrook in the capacity of a member of the Willowbrook Police Commission.

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE: MOTION TO APPROVE – POLICE RENOVATION PROJECT: PAYOUT #7 – PARTIAL PAYMENT, L.J. MORSE CONSTRUCTION COMPANY	AGENDA NO. 5g AGENDA DATE: <u>5/22/17</u>
--	---

STAFF REVIEW: Tim Halik, Village Administrator	SIGNATURE: <u>Tim Halik</u>
LEGAL REVIEW: Thomas Bastain, Village Attorney	SIGNATURE: <u>THOMAS BASTIAN TH.</u>
RECOMMENDED BY: Tim Halik, Village Administrator	SIGNATURE: <u>Tim Halik</u>

REVIEWED BY COMMITTEE: YES via telephone NO N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

At its regular meeting on October 10, 2016, the Village Board awarded a construction contract to L.J. Morse Construction Company to complete the expansion/renovation of the Village Police Building located at 7760 Quincy Street. Construction work began on October 19, 2016 and, since that time, various work has occurred and the project is now nearing completion.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The general contractor has submitted a request for a partial payment. The request was forwarded to the Architect of Record to review. Williams Architects has reviewed the request and has provided their approval of a partial payout in the amount of \$375,550.30. The release of the payment will be withheld pending receipt of trailing waivers from all sub-contractors, and copies of certified payroll accounting from each of the sub-contractors. A copy of the Application and Certification for Payment for Payment #7 – Partial Payment Request is attached.

Staff would recommend that the Mayor and Board of Trustees authorize Payout #7 – Partial Payment to L.J. Morse Construction Company in the amount of \$375,550.30. The authorized payment amount would be expended from the following fund:

<u>FUND</u>	<u>ACCOUNT</u>	<u>DESCRIPTION</u>	<u>UNEXPENDED</u>
L.A.F.E.R.	14-75-930-411	Police Dept. Remodel	\$640,118.30

ACTION PROPOSED:

Approve motion.

Application and Certificate for Payment

To Owner: Village of Willowbrook
 835 Midway Drive
 Willowbrook, IL 60527

Project: Willowbrook Police Facility
 Renovation/Expansion
 7760 Quincy Street
 Willowbrook, IL 60527

Application No: 7
Period To: 4/30/2017
Contract For: General Construction

Contract Date: 9/26/2016
Project Nos: 2014-052

From Contractor: L.J. Morse Construction Co.
 128 S. Broadway
 Aurora, IL 60505

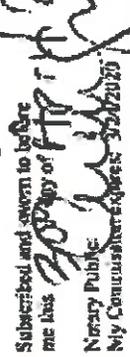
Via Architect: Williams Architects
 500 Park Boulevard
 Suite 800
 Itasca, IL 60143

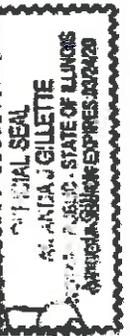
CONTRACTOR'S APPLICATION FOR PAYMENT

- 1) ORIGINAL CONTRACT SUM \$3,152,000.00
- 2) Net change by Change Orders \$130,707.00
- 3) CONTRACT SUM TO DATE \$3,282,707.00
- 4) TOTAL COMPLETED & STORED TO DATE \$2,724,827.41
- 5) Retainage:
 - a. Completed Work \$272,482.74
 - b. Stored Material \$0.00
- Total Retainage \$272,482.74
- 6) Total Earned, less Retainage \$2,452,344.67
- 7) Less Previous Certificates for Payment \$2,076,794.37
- 8) CURRENT PAYMENT DUE \$375,550.30
- 9) Balance to Finish, including Retainage \$830,362.33

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: 
 By: 
 Date: 4/28/17

County of: DeKalb
 Subscribed and sworn to before me this 28th day of April, 2017.
 Notary Public: 
 My Commission Expires: 3/27/2020



CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	149,677.00	22,337.00
Owner approved this Month	3,367.00	0.00
TOTALS	153,044.00	22,337.00
NET CHANGES by Change Order	130,707.00	

ARCHITECT'S CERTIFICATE FOR PAYMENT
 In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$375,550.30
 (Attach supporting documents which conflict differs from the amounts applied, initial all figures in this Application and on the Certification Sheet that are changed to conform with the amount certified.)
ARCHITECT: 

By: 
 Date: 5/16/17

This Certificate is not assignable. The AMOUNT CERTIFIED is payable only to the Contractor through the title insurance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.



CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached. In tabulations below, amounts are stated to the nearest dollar. Use Column I on Contracts where variable retainage for fee items may apply.

Application No: 7
 Application Date: 5/16/2017
 Period To: 4/30/2017
 Architect's Project No: 2014-062

A Item No.	B Description	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F STORED MATERIALS	G TOTAL	H %	I BALANCE	J RETAINAGE
			PREVIOUS	PERIOD						
1	General Conditions	98,403.00	76,723.93	9,843.00	0.00	88,568.93	90	9,836.07	8,856.89	
2	Site Layout/DLZ	6,850.00	5,480.00	1,370.00	0.00	6,850.00	100	0.00	683.00	
3	Demolition/LM	97,000.00	97,000.00	0.00	0.00	97,000.00	100	0.00	9,700.00	
4	Excavating/Schwartz	72,000.00	27,879.82	29,720.00	0.00	57,599.82	80	14,400.18	5,759.98	
5	Asphalt/Heresty	61,000.00	0.00	0.00	0.00	0.00	0	61,000.00	0.00	
6	Site Utilities/Kansas County	13,000.00	13,000.00	0.00	0.00	13,000.00	100	0.00	1,300.00	
7	Concrete/Mid Valley	122,800.00	83,414.00	37,854.00	0.00	121,268.00	99	1,532.00	12,126.80	
8	Masonry/Piazza	168,500.00	168,500.00	0.00	0.00	168,500.00	100	0.00	16,850.00	
9	Brick Staining/MawKaw	33,257.00	0.00	0.00	0.00	0.00	0	33,257.00	0.00	
10	Steel/Hillstone	84,000.00	74,250.00	9,750.00	0.00	84,000.00	100	0.00	8,400.00	
11	Alum Carport/Auring	77,250.00	4,119.18	0.00	0.00	4,119.18	5	73,130.82	411.92	
12	Carpentry/LM	135,103.00	107,000.00	12,795.00	0.00	119,795.00	90	15,308.00	11,979.50	
13	Casework/Hersited	55,070.00	41,302.50	13,767.50	0.00	55,070.00	100	0.00	5,507.00	
14	Waterproofing/Kramer	6,400.00	6,400.00	0.00	0.00	6,400.00	100	0.00	640.00	

CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G703, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached. In tabulations below, amounts are stated in the nearest dollar. Use Column I on Contracts where retainable retainage for lien items may apply.

Application No: 7
 Application Date: 5/18/2017
 Period To: 4/30/2017
 Architect's Project No: 2014-052

ITEM No.	B	C	D		E		F	G	H	I
			PREVIOUS	WORK COMPLETED	THIS PERIOD	STOCKS MATERIALS				
15	Disappearance Metal Wall Panels/Westbrook	162,073.00	41,500.00	80,000.00	3.00	121,500.00	75	40,500.00	12,150.00	
16	Roofing/JL Adler	242,200.00	194,620.00	0.00	0.00	194,620.00	80	47,580.00	19,462.00	
17	Upsons/Frames/Hidve/La/Voros	65,000.00	17,253.00	47,747.00	0.00	65,000.00	100	0.00	6,500.00	
18	OH Ceiling Doors/Auter Door/Deck	20,000.00	0.00	0.00	0.00	0.00	0	20,000.00	0.00	
19	Glass/Clothing/Mark, Inc	65,724.00	65,724.00	0.00	0.00	65,724.00	100	0.00	6,572.40	
20	Drywall & ACT/LJM	203,859.00	203,859.30	0.00	0.00	203,859.00	100	0.00	20,385.90	
21	Flooring/Douglas	147,500.00	81,600.97	36,400.00	0.00	118,000.97	80	29,496.03	11,800.40	
22	Reinforced Flooring/CCS	23,000.00	0.00	0.00	0.00	0.00	0	23,000.00	0.00	
23	Painting/McQuinn	23,590.00	23,000.00	0.00	0.00	23,000.00	100	5,590.00	2,300.00	
24	Signage/Corpro	21,613.00	0.00	0.00	0.00	0.00	0	21,613.00	0.00	
25	Toilet Pk/Axcess/FSC/Comm Spec	12,500.00	0.00	12,500.00	0.00	12,500.00	100	0.00	1,250.00	
26	Lockers/Hudner/J Systems	79,000.00	0.00	0.00	0.00	0.00	0	79,000.00	0.00	
27	Windows Transoms/Insular	2,016.00	0.00	0.00	0.00	0.00	0	2,016.00	0.00	
28	Sprinklers Fire Control	20,000.00	12,000.00	8,000.00	0.00	20,000.00	100	0.00	2,000.00	
29	Plumbing/Cryer & Olsen	123,000.00	104,000.00	6,000.00	0.00	104,000.00	83	21,000.00	10,400.00	
30	HVAC/Design Mech	92,800.00	67,367.60	23,081.11	0.00	90,468.11	97	2,531.89	9,046.81	

CONTINUATION SHEET

AIA DOCUMENT G703

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Application No: 7
 Application Date: 5/16/2017
 Period To: 4/30/2017
 Architect's Project No: 2014-052

ITEM No.	DESCRIPTION	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F STORED MATERIALS	G TOTAL	H BALANCE	I RETAINAGE
			PREVIOUS	THIS PERIOD					
31	Electrical/Valley Elec	619,760.00	59,184.90	64,984.50	0.00	614,169.00	3,591.00	61,516.90	
32	LJM Insurances	21,500.00	21,500.00	0.00	0.00	21,500.00	0.00	2,150.00	
33	LJM Bonds	36,118.00	36,118.00	0.00	0.00	36,118.00	0.00	3,611.80	
34	LJM OMP	133,245.00	98,950.00	13,000.00	0.00	112,950.00	20,295.00	11,295.00	
35	-----	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
36	CO# 1 PCOM 1 Rework due to demp	6,901.00	6,901.00	0.00	0.00	6,901.00	0.00	690.10	
37	CO# 2 PCOM 2 Carpet Change	7,433.00	-1,498.60	0.00	0.00	-1,498.60	-5,962.40	-149.06	
38	CO# 3 PCOM 3 Plaster Reconst	13,562.00	13,562.00	0.00	0.00	13,562.00	0.00	1,356.20	
39	CO# 4 PCOM 4 Add Exc/Stone	1,391.00	1,391.00	0.00	0.00	1,391.00	0.00	139.10	
40	CO# 5 PCOM 5 DW/Plumb Conf	1,984.00	1,984.00	0.00	0.00	1,984.00	0.00	198.40	
41	CO# 6 PCOM 6 Delete Conc Infills	-4,371.00	-4,371.00	0.00	0.00	-4,371.00	0.00	-437.10	
42	CO# 7 PCOM 7 Plaque Logo	2,166.00	0.00	0.00	0.00	0.00	2,166.00	0.00	
43	CO# 8 PCOM 8 Relocate Ductwork	1,999.00	1,999.00	0.00	0.00	1,999.00	0.00	199.90	
44	CO# 9 PCOM 9 Borrowed Light Fixture	720.00	720.00	0.00	0.00	720.00	0.00	72.00	
45	CO# 10 PCOM 10 IC Cores	1,342.00	0.00	1,342.00	0.00	1,342.00	0.00	134.20	

CONTINUATION SHEET

AIA DOCUMENT G703

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Application No: 7
 Application Date: 5/16/2017
 Period To: 4/30/2017
 Architect's Project No: 2014-052

ITEM No.	DESCRIPTION	C	D	E		F	G	H	I
				WORK COMPLETED	STORIED MATERIALS				
		SCHEDULED VALUE	PREVIOUS	THIS PERIOD	TOTAL	%	BALANCE	RETAINAGE	
46	CON 11 PCOW 13 RFR 10 Dr 131A	2,119.00	2,119.00	0.00	0.00	100	2,119.00	0.00	211.90
47	CON 12 PCOW 14 RFR 19 Wall Location	1,665.00	1,665.00	0.00	0.00	100	1,665.00	0.00	166.50
48	CON 13 PCOW 19 Detero Soffits	-194.00	-194.00	0.00	0.00	100	-194.00	0.00	-19.40
49	CON 14 PCOW 20 Ext Dnery	18,995.00	6,859.00	12,136.00	0.00	100	18,995.00	0.00	1,899.50
50	CON 15 PCOW 21 Added Condit	1,721.00	1,721.00	0.00	0.00	100	1,721.00	0.00	172.10
51	CON 16 PCOW 18 RFR 28 Glass Wall	5,288.00	5,288.00	0.00	0.00	100	5,288.00	0.00	528.80
52	CON 17 PCOW 22 RFR 28.1 DW Piers	528.00	528.00	0.00	0.00	100	528.00	0.00	52.80
53	CON 18 PCOW 26 Covered Credit	-4,250.00	-4,250.00	0.00	0.00	100	-4,250.00	0.00	-525.00
54	CON 19 PCOW 23 Floor Infill	13,213.00	13,213.00	0.00	0.00	100	13,213.00	0.00	1,321.30
55	CON 20 PCOW 25 RFR 37 Floor Boxes	4,271.00	4,271.00	0.00	0.00	100	4,271.00	0.00	427.10
56	CON 21 PCOW 28 PCOW Outlet Chgs	383.00	383.00	0.00	0.00	100	383.00	0.00	38.30
57	CON 22 PCOW 27 RTU Condit	3,839.00	3,839.00	0.00	0.00	100	3,839.00	0.00	383.90
58	CON 23 PCOW 28 Extn CMU Walls	3,073.00	3,073.00	0.00	0.00	100	3,073.00	0.00	307.30
59	CON 24 PCOW 31 Intraite Exit Walls	6,308.00	6,308.00	0.00	0.00	100	6,308.00	0.00	630.80
60	CON 25 PCOW 32 Locker Rim Floor	5,922.00	5,922.00	0.00	0.00	100	5,922.00	0.00	592.20
61	CON 26 PCOW 34 Exhaust Fans	1,349.00	0.00	0.00	0.00	0	0.00	1,349.00	0.00

CONTINUATION SHEET

AIA DOCUMENT G703

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Application No: 7
 Application Date: 5/18/2017
 Period To: 4/30/2017
 Architect's Project No: 2014-052

ITEM NO.	DESCRIPTION	C	D	E		F	G	H	I
				WORK COMPLETED	RESTAINAGE				
		SCHEDULED VALUE	PAID	THIS PERIOD	%	TOTAL	BALANCE		
62	CO# 27 PCOF 30 Added Seal	6,077.00	0.00	0.00	0	0.00	6,077.00	0.00	
63	CO# 28 PCOF 37 4" Conduit Conduit	6,690.00	6,690.00	0.00	100	6,690.00	0.00	663.00	
64	CO# 29 PCOF 16 REI'S 29/34	3,581.00	3,581.00	0.00	100	3,581.00	0.00	358.10	
65	CO# 30 PCOF 35 Brick Replacmt	2,040.00	2,040.00	0.00	100	2,040.00	0.00	204.00	
66	CO# 31 PCOF 33 REV Pipe Bellards	1,616.00	1,616.00	0.00	100	1,616.00	0.00	161.60	
67	CO# 32 PCOF 38 Change NYC	561.00	561.00	0.00	100	561.00	0.00	56.10	
68	CO# 33 PCOF Credit Architect Support	-5,069.00	-5,069.00	0.00	100	-5,069.00	0.00	-506.90	
69	CO# 34 PCOF 41 Ext Masonry Patch	930.00	930.00	0.00	100	930.00	0.00	93.00	
70	CO# 35 PCOF Addtl Cameras	29,482.00	0.00	0.00	0	0.00	29,482.00	0.00	
71	CO# 36 PCOF 43 Cone Bldg Line	533.00	0.00	533.00	100	533.00	0.00	53.30	
72	CO# 37 PCOF 44 Repl Bar Curb	1,339.00	0.00	1,339.00	100	1,339.00	0.00	133.90	
73	CO# 38 PCOF 45 Added Blines	381.00	0.00	0.00	0	0.00	381.00	0.00	
74	CO# 39 PCOF Infil Solflts Rous 150-151	1,114.00	0.00	1,114.00	100	1,114.00	0.00	111.40	
		\$ 3,282,787.00	\$ 2,307,549.30	\$ 417,278.11	83%	\$ 6,000	\$ 2,724,827.41	\$ 657,879.39	\$ 272,482.74



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Tim Halik

Chief of Police

Mark Shelton

Director of Finance

Carrie Dittman



Proud Member of the
Illinois Route 66 Scenic Byway

April 28, 2017

DIAMOND BASEBALL ACADEMY
C/O:
7850 QUINCY
WILLOWBROOK, IL 60527

Re: Account 410195.002
PIN #:
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 408.99. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

You may pay your bill online by visiting www.willowbrookil.org and select "Pay A Bill." You will need your account number and PIN as listed above. A convenience fee will apply.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

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835 Midway Drive
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April 28, 2017

DICKMAN, MARGARET
5847 HOLMES AVE
CLARENDON HILLS, IL 60514

Re: Account 353000.000
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 177.57. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

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April 28, 2017

FERNANDEZ, ALFONSO & HALYNA
16 KENT CT
WILLOWBROOK, IL 60527

Re: Account 350395.004
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 115.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services



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April 28, 2017

KOONCE, WILLIAM JR.
2 CLUBHOUSE DR
WILLOWBROOK, IL 60527

Re: Account 350005.002
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 115.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

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April 28, 2017

MCMAHON, LATANYA
44 PORTWINE RD
WILLOWBROOK, IL 60527

Re: Account 350955.008
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 233.74. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

Willowbrook

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April 28, 2017

PABST, RICHARD, JR.
C/O: BETHLEHEM WOODS
1571 W OGDEN AVE #1511
LA GRANGE PARK, IL 60526

Re: Account 351080.000
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 148.62. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

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April 28, 2017

RANDOLPH, ADAM
365 65TH ST
WILLOWBROOK, IL 60527

Re: Account 352705.008
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 177.36. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

You may pay your bill online by visiting www.willowbrookil.org and select "Pay A Bill." You will need your account number and PIN as listed above. A convenience fee will apply.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Tim Halik

Chief of Police

Mark Shelton

Director of Finance

Carrie Dittman



Proud Member of the
Illinois Route 66 Scenic Byway

April 28, 2017

WILLOWBROOK INN
255 SHELLEY RD
ELK GROVE VILLAGE, IL 60007

Re: Account 410295.002
PIN #: XXXXXXXXXX
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 742.99. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

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Sincerely,

Timothy J. Halik
Director of Municipal Services



EST. 1960

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Proud Member of the
Illinois Route 66 Scenic Byway

April 28, 2017

WILLOWBROOK LANES
735 PLAINFIELD RD.
WILLOWBROOK, IL 60527

Re: Account 410030.000

PIN #: [REDACTED]

Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 367.98. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before May 22, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

You may pay your bill online by visiting www.willowbrookil.org and select "Pay A Bill." You will need your account number and PIN as listed above. A convenience fee will apply.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik
Director of Municipal Services

VILLAGE OF WILLOWBROOK

BOARD MEETING

AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

A PROCLAMATION DECLARING THE WEEK OF MAY 21 - 27, 2017 AS NATIONAL PUBLIC WORKS WEEK WITHIN THE VILLAGE OF WILLOWBROOK

AGENDA NO.

5i

AGENDA DATE: 5/22/17

STAFF REVIEW: Cindy Stuchl

SIGNATURE: Cindy Stuchl

LEGAL REVIEW: Thomas Bastian

SIGNATURE: THOMAS BASTIAN TH

RECOMMENDED BY VILLAGE ADMIN.:

SIGNATURE: T. K. K. K.

REVIEWED & APPROVED BY COMMITTEE: YES N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

National Public Works Week (NPWW) is a celebration of the men and women in North America who provide and maintain the infrastructure and services collectively known as public works.

This year National Public Works Week celebrates the vital role public works plays in connecting us all together. As the cornerstone of civilization, public works provides, maintains, and improves the structures and services that assure a higher quality of life for our communities. Its streets, roads, bridges, and public transportation keep us linked together from coast to coast, and its clean water and sanitation services keep us healthy and allow our communities to grow and prosper.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

None.

ACTION PROPOSED: ADOPT THE PROCLAMATION

Village of Willowbrook

Proclamation

WHEREAS, public works services provided in our community are an integral part of our citizens' everyday lives; and

WHEREAS, the support of an understanding and informed citizenry is vital to the efficient operation of public works systems and programs such as water, sewers, streets and highways, public buildings, street lights, solid waste collection, parks, storm drain systems and maintenance; and

WHEREAS, the health, safety, and comfort of this community greatly depends on these facilities and services; and

WHEREAS, the quality and effectiveness of these facilities as well as their planning, design, and construction is vitally dependent upon the efforts and skill of public works officials; and

WHEREAS, the efficiency of the qualified and dedicated personnel who staff public works departments is materially influenced by the people's attitude and understanding of the importance of the work they perform; and

WHEREAS, this year's theme is, "Public Works Connects Us," as we celebrate the vital role that public works plays in connecting us all together.

NOW THEREFORE I, FRANK A TRILLA, Mayor of the Village of Willowbrook, do recognize the week of May 21 through 27, 2017 as **NATIONAL PUBLIC WORKS WEEK** in the Village of Willowbrook and call upon all citizens and civic organizations to acquaint themselves with the issues involved in providing our public works and to recognize the contributions which public works officials make every day to our health, safety, comfort, and quality of life.

Proclaimed this 22nd day of May, 2017.

Mayor

Attest:

Village Clerk

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE – PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET – THE CHICAGO GUN CLUB

AGENDA NO.

6

AGENDA DATE:

05/22/17

STAFF REVIEW: Anna Franco, Planning Consultant

SIGNATURE: Anna Franco

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN JR.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

REVIEWED & APPROVED BY COMMITTEE:

YES

NO

N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Please see below for a timeline of actions related to the petition for The Chicago Gun Club:

- March 24, 2014** The Village Board approves a text amendment to allow firearms stores as a permitted use and indoor firing ranges as a special use in the B-4 Zoning District.
- April 13, 2016** The Plan Commission first reviewed concept plans for the Chicago Gun Club
- January 6, 2017** The petitioner submitted preliminary plans/final plans.
- February 22, 2017** The Plan Commission held a public hearing for the petition.
- April 5, 2017** The public hearing was continued to the April Plan Commission meeting.
- April 5, 2017** The Plan Commission made a positive recommendation of a unanimous vote of 5-0 of the members present, to the Village Board.
- April 10, 2017** The Village Board received the Plan Commission's positive recommendation.
- April 22, 2017** The Village Board held a Village Board meeting to receive public comment and direct questions to the petitioner and his consultants. The Board received comments from approximately fifty (50) members of the public; the majority of which spoke in opposition to the proposed zoning petition. A vote for the zoning petition was tabled to the May 22, 2017 Village Board meeting.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The attached ordinance, **which has been revised since the April 22, 2017 Village Board meeting**, will **rezone** the subject property from the B-3 Zoning District to the B-4 Zoning District and grant The Chicago Gun Club (and TCGC as property owner) a **special use permit** for a "Firing Range, Indoor" so that they may develop and operate a 31,000-square foot gun club facility that would include a 32-bay firing range, firearm and jeep retail, educational classroom space, two membership lounges, offices, and other accessory uses related to the operation of the facility. Since, the April 22nd Village Board meeting, **the petitioner has withdrawn his proposal to serve liquor at the facility; and therefore, references to liquor have been stricken from the attached ordinance.**

Supplemental Information

The subject property, which is vacant and has been on the market for a long time, is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge. The gun club is intended to function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems and promise the look and feel of a high end, luxury facility.

ACTION PROPOSED: Consideration of Attached Ordinance.

ORDINANCE NO. 17-0-_____

AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET - THE CHICAGO GUN CLUB

WHEREAS, on or about January 6, 2017, The Chicago Gun Club LLC, as applicant, and TCGC Property LLC, as property owner, filed an application with the Village of Willowbrook ("VILLAGE") with respect to the property legally described on Exhibit "A", attached hereto and incorporated herein by reference ("SUBJECT REALTY"). Said application requested that the Village rezone the SUBJECT REALTY from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, grant a special use permit for a "Firing Range, Indoor" for the construction development and operation of a 31,000 square foot gun club facility that includes thirty-two (32) tactical shooting bays, training/educational classrooms, members only lounges without the sale or consumption of alcohol, retail and vehicle retail, and office uses on the SUBJECT REALTY ("Project"), grant certain variations from the requirements of the Zoning Ordinance of the Village, and authorize off-site improvements to adjoining Route 83 Frontage Road, and related matters; and,

WHEREAS, Notice of Public Hearing on said application was published on or about February 3, 2017, in a newspaper having general circulation within the Village, to-wit, The Sun Times newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about February 22, 2017, which was continued on April 5, 2017, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the applicant presented testimony in support of said application for the Project and requested relief and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendations, including its Findings of Fact for the Project, in a report dated April 6, 2017 to the Mayor and Board of Trustees on or about April 6, 2017, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

WHEREAS, all other public hearings required by law have been conducted, in all respects conforming to law and pursuant to notice duly given in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION TWO: That the SUBJECT REALTY be and the same is hereby rezoned from the B-3 General Business zoning classification to the B-4 Highway and Service Business zoning classification of the Village of Willowbrook.

SECTION THREE: That the Zoning Map of the Village of Willowbrook be amended to reflect the rezoning of the SUBJECT REALTY from the B-3 General Business zoning classification to the B-4 Highway and Service Business zoning classification of the Village of Willowbrook.

SECTION FOUR: That a special use permit is hereby granted on the SUBJECT REALTY, pursuant to Section 9-6D-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit the operation of a "Firing Range, Indoor", subject to the terms and conditions set forth in Section Nine, Section Ten, and Section Eleven of this ordinance.

SECTION FIVE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-6D-2 of the

Zoning Ordinance of the Village of Willowbrook, so as to permit the operation of a "Firing Range, Indoor" on the SUBJECT REALTY, subject to the terms and conditions set forth in Section Nine, Section Ten, and Section Eleven of this ordinance.

SECTION SIX: That the Findings of Fact for the Project pursuant to 9-14-4.5, 9-14-5.2, and 10-8-6 of the Village Code of the Village of Willowbrook made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION SEVEN: That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Subdivision, pursuant to the "Preliminary Plat of Subdivision for TCGC Subdivision" plan, as prepared by Roake and Associates, Inc., consisting of one (1) sheet, with a latest revision date of April 12, 2017 for the Project and pursuant to the "Final Plat of Subdivision for TCGC Subdivision" plan, as prepared by Roake and Associates, Inc., consisting of two (2) sheets, with a latest revision date of April 17, 2017 for the Project attached hereto as Exhibit "C".

SECTION EIGHT: That the Mayor and Village Clerk are hereby authorized to execute the Improvement Agreement strictly for the Project in substantially the form attached hereto as Exhibit "E".

SECTION NINE: That pursuant to Section 9-14-4 of the Village Code, the following variations from the provisions of the Zoning

Ordinance be and the same are hereby granted for the Subject Realty:

- A. That Section 9-6D-3D(D) "Required Setbacks", be varied to reduce the front yard building setback from one-hundred feet (100') to ninety-six point nine three feet (96.93'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- B. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the southeast property line from ten feet (10') to five point one seven feet (5.17'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- C. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the north property line from ten feet (10') to nine point one four feet (9.14'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- D. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the front yard parking lot setback from the north property line from fifteen feet (15') to nine point one two nine (9.29'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- E. That Section 9-6-1(E)2 "Building Facade Materials", be varied to allow metal siding as an architectural accent per the "Chicago Gun Club Architectural Plans", attached hereto as Exhibit "D".

SECTION TEN: That pursuant to Section 10-8-6 of the Village Code, the following variations from the provision of the Subdivision Regulations be and the same are hereby granted:

- A. That Section 10-7-2(C) of the Village Code of the Village of Willowbrook, establishing a requirement for curb and gutter, be varied to eliminate the requirement that the applicant construct curbs and gutters for the required street improvements along IL Route 83 Frontage Road and 79th Street.

SECTION ELEVEN: That the relief granted in Section Nine and Section Ten of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained strictly for this Project in accordance with the following terms, conditions and provisions:

- (A) That all construction, use, development and maintenance of the site be in substantial accordance with the "APPROVED PLANS" attached hereto as EXHIBIT "D", except as noted or except as may be required and approved by the Village in writing prior to the issuance of construction permits.
- (B) Construction on the SUBJECT REALTY is subject to the issuance of building permits, which shall not be authorized by the Village until the Owner submits the following:
 - 1. An executed Improvement Agreement in substantially the form attached hereto and incorporated herein as Exhibit "E", and tender the security required by such Agreement.
 - 2. Executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs approved by the Village Engineer.
 - 3. An executed "Traffic Regulation Agreement", attached hereto as Exhibit "F".
 - 4. Mylars of the Plat of PUD, including all signatures except Village Signatures.
- (C) The gun club facility shall only operate with the hours of 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M. Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday.
- (D) Seventy-five percent (75%) of employees and/or staff of the facility shall be police officers, former police officers, or former military.

- (E) The sale and consumption of alcoholic beverages on the premises shall be prohibited.
- (F) The rental or use of automatic weapons at the facility is prohibited.
- (G) Any smoking conducted on the premises must be conducted in strict compliance with the Smoke Free Illinois Act [410 ILCS 82/1 Sec.]
- (H) The proposed building must be fire sprinkled and fully fire alarmed.
- (I) The Owner(s) shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
- (J) There shall be no outdoor storage of materials or vehicles of any kind.
- (K) There will be no testing driving of vehicles for sale on the subject property.
- (L) All sales of motor vehicles at the subject property shall be consummated and completed on the subject property.
- (M) The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
- (N) The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
- (O) The proposed metal material, shown on the "Chicago Gun Club Architectural Plans", attached hereto as EXHIBIT "D", shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
- (P) The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans shown on the "Chicago Gun Club Architectural Plans", attached hereto as EXHIBIT "D".

- (Q) All mechanical equipment located on the roof that is not screened by a parapet extension or is taller than the parapet extension in that area shall be screened as approved by the Village Administrator. Furthermore, noise from the rooftop mechanicals must conform with the Village's noise standards outlined in Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
- (R) The gun club facility shall at all times conform with all applicable noise standards pursuant to Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
- (S) All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the SUBJECT REALTY, or such earlier time as is reasonably practical.
- (T) The owner shall install one (1) streetlight at the intersection of 79th Street and Frontage Road once the specific location has been provided by the Village Engineer.
- (U) The owner shall install or pay a fee equal to the cost of the installation of the sidewalk gap near the intersection of Quincy Street and Joliet Road as determined by the Village Administrator.
- (V) The owner shall provide the Village Administrator with a copy of their safety and security plan prior to receiving an occupancy permit.
- (W) Construction of any off-site improvements to the adjoining Illinois Route 83 Frontage Road right-of-way is subject to final written approval by the Illinois Department of Transportation and the Village of Willowbrook, payment of any related fees, and shall not be authorized by the Village until the Owner supplies the Village with an executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs for the off-site improvements, approved by the Village Engineer.

- (X) A permit is required from DuPage County Public Works for the sanitary sewer connection prior to the Village issuing a building permit.
- (Y) A separate sign permit shall be obtained for the monument signage near the entry driveway for the property and for the proposed building signage, pursuant to the Village Code.
- (Z) Prior to the issuance of any final certificate of occupancy, the Owner shall complete the improvements to the IL Route 83 Frontage Road along the frontage of the SUBJECT REALTY as shown in the "Chicago Gun Club Engineering Plans" attached hereto as EXHBIT "D".
- (AA) The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.

SECTION TWELVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION THIRTEEN: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 22nd day of May, 2017.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE: AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN ANVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLINOIS

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION AND FINDINGS OF FACT

Recommendation Letter

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: April 6, 2017

SUBJECT: Zoning Hearing Case 17-01: The Chicago Gun Club, Northeast corner of Route 83 Frontage Road and 79th Street. Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.

At the regular meeting of the Plan Commission held on April 5, 2017, the above referenced application was discussed and the following motion was made:

MOTION: Made by Soukup seconded by Kaucky that based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

ROLL CALL: AYES: Chairman Kopp, Commissioners Kaucky, Lacayo, Ruffolo, and Soukup
NAYS: None.
ABSENT: Vice Chairman Wagner, Commissioner Remkus.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

EXHIBIT "B" (CONTINUED)

Findings of Fact

Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The applicant will ensure EPA, NIOSH, and OSHA standard air quality through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Findings: The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Findings: The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Findings: The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large bio-retention areas at the east and southern areas of the property that will meet the development's stormwater requirements. Additionally, the petitioner will be installing curb and gutter, public sidewalk, and street lighting along their frontage of IL Route 83 Frontage Road in accordance with Village standards that will promote increased stormwater control, pedestrian connectivity, and pedestrian and vehicular safety.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Findings: Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Findings: The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and building materials.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-0-05, 1-27-1997)

Findings: The proposed special use has never been applied for (or denied) with respect to this specific location.

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The property cannot yield a reasonable return if the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Findings: The proposed variations will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interior side, and front yard parking setbacks are not supported. Additionally, the applicant may not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported. The applicant may also not be able to provide proper landscaping at the front of the building if an approximate three foot (3') variation to the front yard building setback is not supported.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Findings: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Findings: The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan. Additionally, a variance of approximately three feet (3') from the required one hundred foot (100') front yard building setback will not alter the intended character and will not be materially detrimental to the public welfare of injurious to other property or improvements in the neighborhood.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Findings: The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-0-4, 2-14-1977).

Findings: The proposed variations will not alter the essential character of the locality. The parking setback and front yard building setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-0-05, 1-27-1997)

Findings: The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed and the approximate three foot (3') relief from the required one hundred foot (100') building setback will not alter the intended character of the B-4 Zoning District. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

Standards for Variation from Subdivision Regulations

The board of trustees may authorize a variation from the subdivision regulations after review and recommendation by the plan commission when, in its opinion, undue hardship may result from strict compliance and provided the variation applies only to the requirements of this title. The board may take such action only upon receipt from the plan commission of a written recommendation specifying the manner in which the findings required in this section have or have not been met by the facts pertinent to the requested variation.

No variation shall be granted unless the board of trustees finds:

(A) That there are special circumstances or conditions affecting said property, such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

Finding: The current roadway system that comprises IL Route 83 Frontage Road (79th Street and Joliet Road) is currently a rural cross section for the vast majority of the roadway. The proposed variation to relieve the petitioner of the requirement to install curb and gutter will maintain the rural cross section and overall character of the roadway system.

(B) That the variation is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

Finding: The variation to relieve the petitioner of the requirement to install curb and gutter will allow the property owner to maintain the successful stormwater drainage ditch along the property Frontage.

(C) That the granting of the variation will not be detrimental to the public welfare or injurious to other property in the area in which said property is located.

Finding: The proposed variation to relieve the petitioner of the requirement to install curb and gutter will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The absence of curb and gutter along the property's frontage will maintain the status quo of a rural cross section for the 79th Street/Joliet Road/Route 83 Frontage Road.

(D) The alleged hardship has not been created by any person having a present proprietary interest in the property. (Ord. 79-O-43, 11-26-1979).

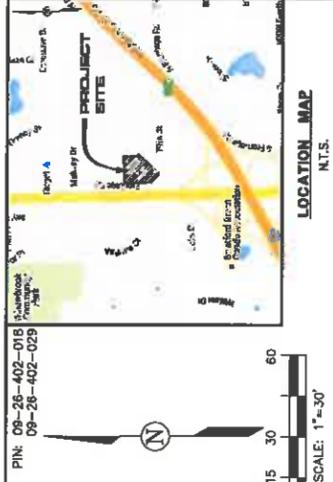
Finding: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

EXHIBIT "C"

Preliminary and Final Plat of Subdivision

PRELIMINARY PLAT OF SUBDIVISION FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



SCALE: 1"=30'
BASIS OF BEARINGS:
ILLINOIS STATE PLANE - EAST ZONE

BOUNDARY AREA = 148,871 S.F. OR 3.420 ACRES

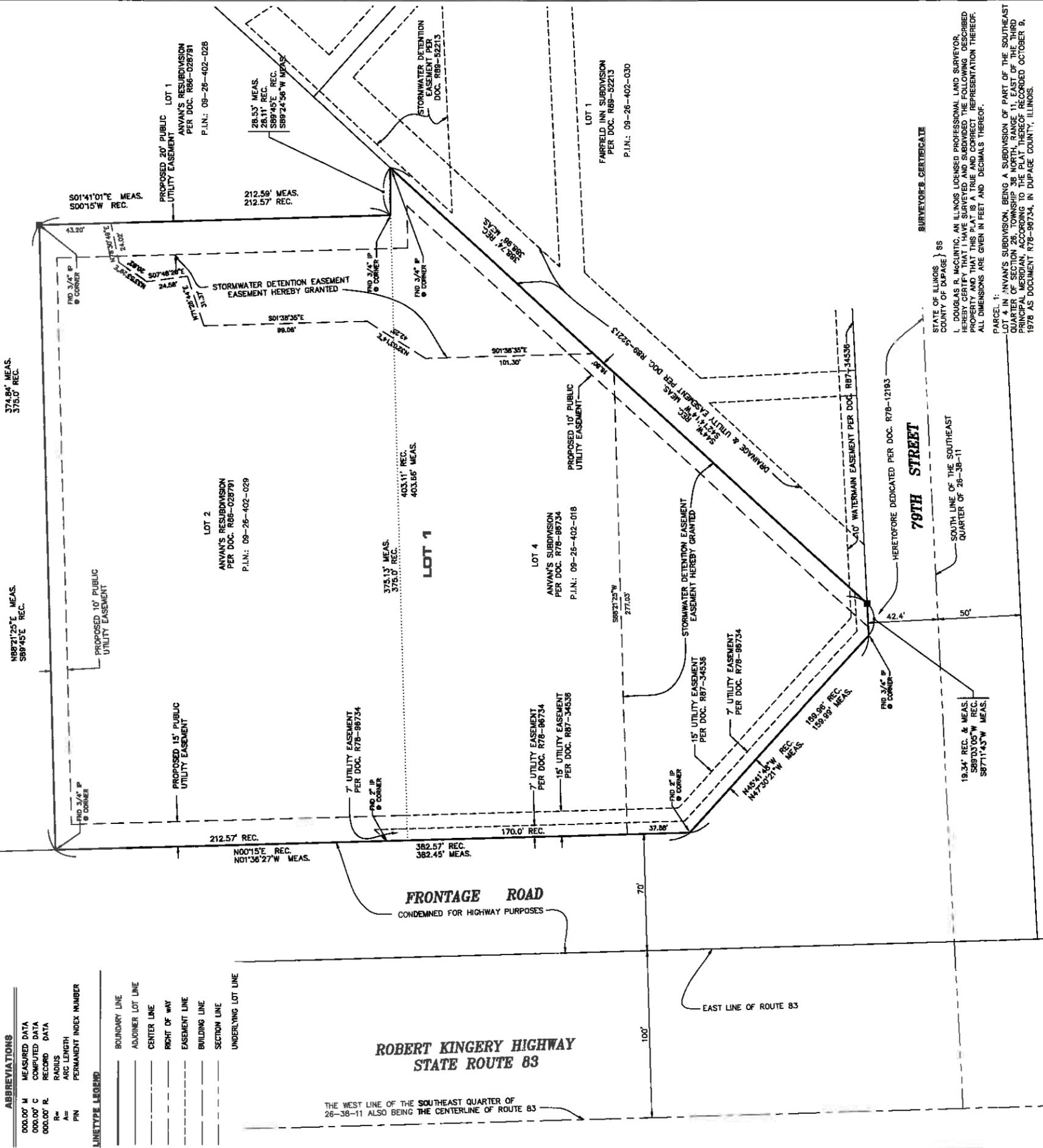
LOT 1
ANVAN'S RESUBDIVISION
PER DOC. R88-028791
P.I.N.: 09-26-402-028

ABBREVIATIONS

000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PIN	PERMANENT INDEX NUMBER

LINE/TYPE LEGEND

---	BOUNDARY LINE
---	ADJOINER LOT LINE
---	CENTER LINE
---	RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING LINE
---	SECTION LINE
---	UNDERLYING LOT LINE



THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE } SS

I, DOUGLAS R. MCCLINTIC, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1:
LOT 4 IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R76-89734, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:
LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S RESUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HERON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 85 ILCS 5/11-2-3.5, HERETOFORE AND HEREAFTER BEING OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 17043SCOR08H WITH EFFECTIVE DATE OF DECEMBER 16, 2004.

THIS PLAT HAS BEEN PREPARED BY ROMA AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREOF.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ 20__

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 035-028992
LICENSE VALID THROUGH NOVEMBER 20, 2018

- NOTES:**
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 - 3/4" I.D. X 24" LONG IRON PIPE PLACED AT ALL LOT CORNERS AND POINTS OF CURVATURE (UNLESS OTHERWISE NOTED) TO CONFORM TO I.L. COMPILED STATUTES CHAPTER 765 ILCS 205/1 REGARDING PLACEMENT OF MONUMENTS.
 - DENOTES CONCRETE MONUMENT SET.

		PREPARED FOR: CHICAGO GUN CLUB LLC 4825 LEE AVENUE DOWNERS GROVE, ILLINOIS 60515 TEL (630) 670-5412	
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS 1084 QUINDY AVENUE, SUITE 100A, NAPERVILLE, ILLINOIS 60540 TEL (630) 386-5882 • FAX (630) 386-5887		REVISIONS	
NO.	DATE	DESCRIPTION	REVISIONS PER WILLOWBROOK COMMENTS
1	02-7-17		REVISIONS PER WILLOWBROOK COMMENTS
2	04-12-17		REVISIONS PER WILLOWBROOK COMMENTS
PREPARED BY: SRY/DJM SCALE: 1"=30' DATE: 5/18/16 JOB NO.: B24.001		ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS PRELIMINARY PLAT OF SUBDIVISION	
DRN./DOC. BY: SRY/DJM FILE: B241PREL DATE: 5/18/16 JOB NO.: B24.001		SHEET NO. 1 OF 1	

FINAL PLAT OF SUBDIVISION FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



SCALE: 1" = 30'
BASIS OF BEARINGS:
ILLINOIS STATE PLANE - EAST ZONE

ABBREVIATIONS

000.00' N	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R.	RECORD DATA
R =	RADIUS
A =	ARC LENGTH
PIN	PERMANENT INDEX NUMBER

LINE/TYPE LEGEND

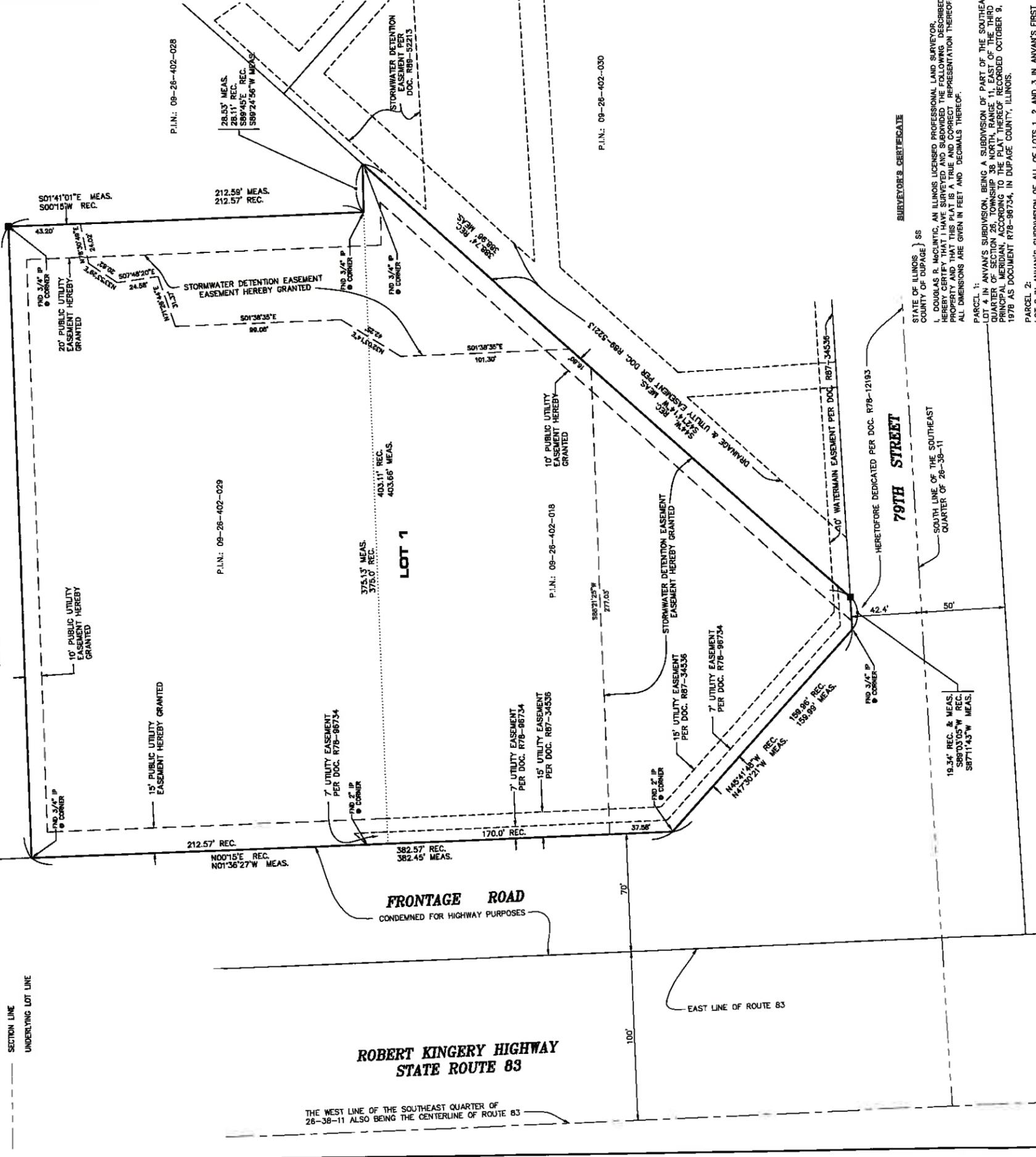
---	BOUNDARY LINE
---	ADJOMER LOT LINE
---	CENTER LINE
---	RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING LINE
---	SECTION LINE
---	UNDERLYING LOT LINE

GREYED BOUNDARY AREA
BOUNDARY AREA = 148.971 S.F. OR 3.420 ACRES

P.L.N.: 09-26-402-028

374.84' MEAS.
375.0' REC.

N88°21'25"E MEAS.
S89°45'E REC.



P.L.N.: 09-26-402-028

P.L.N.: 09-26-402-029

P.L.N.: 09-26-402-018

P.L.N.: 09-26-402-030

**ROBERT KINGERY HIGHWAY
STATE ROUTE 83**

THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, DOUGLAS R. MCINTYRE, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
PARCEL 1:
LOT 4 IN ANVAN'S SUBDIVISION BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-98734, IN DUPAGE COUNTY, ILLINOIS.
PARCEL 2:
LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST PART, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION AS SHOWN IN PARCEL 1, PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S SUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R88-28791, IN DUPAGE COUNTY, ILLINOIS.
I, FURTHER CERTIFY THAT THE CORNER MARKS ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORNER OF THE VILLAGE OF WILLOWBROOK, WHICH HAS ADOPTED AN AMENDED COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/1-12-6, AS HERETOFORE AND HEREAFTER AMENDED AND THAT SAID SUBDIVISION IS LOCATED IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 1704-SC0909H WITH EFFECTIVE DATE OF DECEMBER 16, 2004.
THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807. LICENSE EXPIRES APRIL 30, 2017. UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 20__.

DOUGLAS R. MCINTYRE
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR
NO. 035-002899
LICENSE VALID THROUGH NOVEMBER 30, 2016



- NOTES:**
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 2. 3/4" I.D. X 24" LONG IRON PIPE PLACED AT ALL LOT CORNERS AND POINTS OF CURVATURE (UNLESS OTHERWISE NOTED) TO CONFORM TO ILL. COMPILED STATUTES CHAPTER 705 ILCS 205/1 REGARDING PLACEMENT OF MONUMENTS.
 3. ■ DENOTES CONCRETE MONUMENT SET.

REVISIONS

NO.	DATE	DESCRIPTION
1	02-17-17	REVISIONS PER WILLOWBROOK COMMENTS
2	03-30-17	REVISIONS PER WILLOWBROOK COMMENTS
3	04-17-17	REVISIONS PER WILLOWBROOK COMMENTS

PREPARED FOR:
CHICAGO GUN CLUB LLC
4825 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515
TEL. (630) 670-5412

ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
1854 DUNNICK AVENUE, SUITE 100A - NAPERVILLE, ILLINOIS 60540
TEL. (630) 966-8282 • FAX (630) 966-8287

ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS
FINAL PLAT OF SUBDIVISION

DRN./CDO. BY: SRH/DRM FILE: 6341PS DATE: 3/09/17 JOB NO.: 834-001 SCALE: 1"=30'
SHEET NO. 1 OF 2

Exhibit "D"

APPROVED PLANS

1. Preliminary Plat of Subdivision, prepared by Roake and Associates, Inc., latest revision dated 4/12/17, (1 Sheet)
2. Final Plat of Subdivision, prepared by Roake and Associates, Inc., latest revision dated 4/17/17, (2 Sheets)
3. Chicago Gun Club Final Engineering Plans, prepared by Morris Engineering, Inc., latest revision dated 4/18/17, (9 Sheets).
4. The Chicago Gun Club Architectural Plans, prepared by Damian Farrell Design Group PLLC, latest revision dated 3/13/17 (6 Sheets).
5. The Chicago Gun Club Final Landscape Plans, prepared by David R. McCallum Associates, Inc., latest revision dated 4/18/17 (1 Sheet).
6. The Chicago Gun Club Tree Inventory, prepared by David R. McCallum Associates, Inc., latest revision dated 4/18/17 (1 Sheet).
7. Chicago Gun Club Photometric Plan, prepared by KSA Lighting & Controls, latest revision dated 1/3/17 (3 Sheets).
8. Chicago Gun Club Shooting Range, prepared by Fusion Targets Inc., dated 3/10/17 (14 Sheets).
9. Construction Schedule, dated 4/24/17 (1 Sheet).
10. Engineer's Opinion of Probable Cost, prepared by Morris Engineering, Inc., dated 4/18/17 (1 Sheet).

Please see Exhibit "C" of this Ordinance for
The Preliminary and Final Plat of Subdivision

CHICAGO GUN CLUB WILLOWBROOK, ILLINOIS

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED

PROJECT LOCATION



PROJECT LOCATION MAP

PREPARED FOR
CHICAGO GUN CLUB, LLC.
and TCGC PROPERTY, LLC.
WILLOWBROOK, ILLINOIS

NOTICE TO CONTRACTORS

EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER, THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)

ENGINEER'S CERTIFICATION

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, ALGIS J. RUGIENIUS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, LISLE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONDING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS _____ DAY OF _____, A.D. 20__

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 032-047342
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2017

INDEX OF SHEETS

1. COVER SHEET
2. GENERAL NOTES & SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
4. GRADING PLAN
5. SWPPP & EROSION CONTROL PLAN
6. SITE PLAN
7. DETAILS
8. DETAILS
9. DETAILS

DATE	PER	REVISION
3/14/2017	PER	VILLAGE REVIEW
7/26/2017	PER	VILLAGE REVIEW
4/12/2017	PER	VILLAGE REVIEW
4/19/2017	PER	VILLAGE REVIEW

SHEET TITLE	
1	CHICAGO GUN CLUB WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering - Consulting
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.morri.com



FIELD CHECK:	GS
DRAWN BY:	CJS
CHECKED BY:	AR
APPROVED BY:	AR
DATE:	11/07/2016
SCALE:	AS SHOWN
NOTES:	VERIFY

SHEET
1
OF 9 SHEETS
PROJ # 16-PR-2003



4/18/2017 2:50:03 PM
 H:\16-PR-2003-CHICAGO GUN CLUB\16-PR-2003-SITE PLAN\16-PR-2003-SITE PLAN.dwg
 PLOT: 16-PR-2003-SITE PLAN.dwg

PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

- ALL ON-SITE AND OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "VILLAGE OF WILLOWBROOK";
- PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION;
- ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED IN CONFORMANCE WITH THE MOST RECENT VILLAGE STANDARD;
- EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE EITHER INTEGRATED INTO THE SITE DRAINAGE SYSTEM, REMOVED OR PLUGGED IN A MANNER DEEMED APPROPRIATE BY THE VILLAGE ENGINEER;
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF WILLOWBROOK;
- THE VILLAGE MUST HAVE FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITY;
- THE TESTING AND STERILIZATION OF ALL NEW WATER DISTRIBUTION FACILITIES SHALL BE COMPLETED PRIOR TO MAKING WATER SERVICE TAPS BY AN OUTSIDE TESTING SERVICE;
- MATERIAL SPECIFICATIONS COMPLY WITH VILLAGE STANDARDS AND INCLUDE:
 - PAVING BASE MATERIALS
 - PAVING SURFACE MATERIALS
 - CONCRETE MATERIALS
 - PIPE MATERIALS

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.
- THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
- THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.
- STABILIZE AND PROTECT DISTURBED AREAS. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. MECHANICAL, STRUCTURAL, AND/OR VEGETATIVE CONTROL METHODS SHALL BE USED IN ORDER TO RETARD SOIL EROSION IF DIRECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
- KEEP RUN-OFF VELOCITIES LOW WITH SHORT SLOPES AND LOW GRADIENTS. THE INSTALLATION OF NATURAL VEGETATIVE COVER HELPS TO KEEP STORM WATER VELOCITIES LOW, AND THUS LIMIT SOIL EROSION EFFECTS.
- PROTECT DISTURBED AREAS FROM STORM WATER RUN-OFF. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE. PROTECTIVE MEASURES SHALL BE UTILIZED TO DIVERT RUN-OFF FROM DISTURBED AREAS.
- RETAIN SEDIMENT WITHIN THE SITE AREA - SEDIMENT BASINS SHALL BE CONSTRUCTED IN ORDER TO DETAIN SEDIMENT LADEN RUN-OFF SO THAT THE SOIL PARTICLES SETTLE OUT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
- NATURAL PLANT COVER SHALL BE MAINTAINED AND PROTECTED AND ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION.
- PROTECTION OF EXISTING FACILITIES AND UTILITIES - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY FACILITIES FOR THE PROTECTION OF ALL EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT. ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, FILTERED, OR OTHERWISE TREATED TO REMOVE SEDIMENT. FURTHERMORE, ANY DAMAGE DONE BY HIM, HIS AGENTS, OR ASSIGNS SHALL BE REPAIRED AT NO ADDITIONAL COMPENSATION.
- DIRT ON PAVEMENT - WHERE A CONTRACTOR'S EQUIPMENT IS OPERATED UPON AN EXISTING PAVEMENT USED BY TRAFFIC THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS IMMEDIATELY AND AT OTHER TIMES AS DIRECTED BY THE OWNER, THE ENGINEER, OR THE GOVERNING MUNICIPALITY. THE CLEANING WORK SHALL BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE COST OF THE CONTRACTOR'S CONTRACT FOR THE WORK TO BE PERFORMED.
- DUST CONTROL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EXCESSIVE DUST BY WATERING DURING THE CONSTRUCTION PERIOD UNTIL THE ROAD PAVEMENT IS INSTALLED BY THE PAVING CONTRACTOR. THE REQUIREMENT FOR DUST CONTROL SHALL BE AS DIRECTED BY THE LOCAL APPROVING AUTHORITIES OR THE ENGINEER, AND SUCH DUST CONTROL (IF REQUIRED) SHALL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR VILLAGE OF WILLOWBROOK.
- WHEN A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE (3) DAYS, SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED.
- THE CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE USE OF HEAVY EQUIPMENT WITHIN THE DESIGNATED DRAINAGE FACILITIES.
- NO STOCKPILING WITHIN DRIP LINE OF TREES. MAINTAIN TWENTYFIVE (25) FEET MINIMUM DISTANCE BETWEEN STOCKPILES AND DRAINAGE WAY, AND SILT FENCE OR VEGETATIVE COVER ON DOWNHILL SIDE.
- EROSION CONTROL MEASURES INSPECTION SHALL BE CONDUCTED WEEKLY OR AFTER EVERY 1/2 INCH OF RAIN.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE DEFICIENCIES FOUND AND NOTED ON INSPECTION REPORT. DEFICIENCIES SHALL BE CORRECTED WITHIN 24 HOURS.
- A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING CONSTRUCTION OF THE BIO-RETENTION SWALE TO VERIFY THAT THE UNDERLYING SOILS WILL ALLOW INFILTRATION.

EXCAVATION

- ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- EARTHWORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:
 - REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE.
 - PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING.
 - STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.
- EXISTING SEWER AND WATERMAIN TRENCHES UNDER DRIVEWAYS IN PAVED AREAS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTED TRENCH BACKFILL.
- EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

GENERAL NOTES

- ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS' PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
- THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
- THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
- THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
- THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
 - VILLAGE OF WILLOWBROOK PUBLIC WORKS - (630) 920-2298
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES. ANY PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF-SITE WATER. TILES THAT CONVEY OFF-SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF-SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILLED WITH CA-6 COMPACTED IN EIGHT INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SLIT TRENCHING.
- THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIRE HYDRANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
- ALL MANHOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
- WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
- THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
- THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
- THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
- ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

- THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-622-0123) PRIOR TO ANY WORK IN THE RIGHT OF WAY OR EASEMENTS TO LOCATE UTILITIES, AND CONTACT THE OWNER'S REPRESENTATIVE SHOULD PUBLIC UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
- ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE MUNICIPALITY, AND ALL PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE SPECIFICATIONS.
- ALL NEW CURB THAT MEETS EXISTING CURB WILL HAVE THREE DRILLED AND GROUTED #6 REINFORCING BARS OR EXPANSION TIE ANCHORS, 2" DIAMETER FOR EACH NEW CURB ADJACENT TO EXISTING CURB.
- FOR STRUCTURE ADJUSTMENT - MINIMUM OF 6" (2 @ 3") ADJUSTING RINGS (10" MIN.) CONCRETE RINGS WILL BE 3" MINIMUM RUBBER CAN BE 1" - 3" AND MUST BE USED FOR TOP ADJUSTING RING IN PAVED AREAS. NEW INTRA-RISER RUBBER COMPOSITE ADJUSTMENT RISERS OR APPROVED EQUAL.
- ADD AN INTERNAL/EXTERNAL ADAPTOR SEAL ON THE ADJUSTED SANITARY MANHOLE. THE "A" SEAL STOPS INFLOW BETWEEN THE MANHOLE FRAME AND THE TOP ADJUSTING RING AND IT ALSO SEALS THE MANHOLE CHIMNEY FROM THE FRAME TO THE CORBEL. ONE VENDOR OF THIS SEAL IS ADAPTOR INC.
- OFF-SITE SIDEWALK AT LOCATION TO BE DETERMINED BY VILLAGE, TO BE COMPLETED AS PART OF THIS PROJECT.

DATE	PER VILLAGE REVIEW
1 3/14/2017	PER VILLAGE REVIEW
2 3/29/2017	PER VILLAGE REVIEW
3 4/12/2017	PER VILLAGE REVIEW
4 4/18/2017	PER VILLAGE REVIEW
5	
6	

GENERAL NOTES AND SPECIFICATIONS

**CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS**

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Land Surveying
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Website: www.morri.com



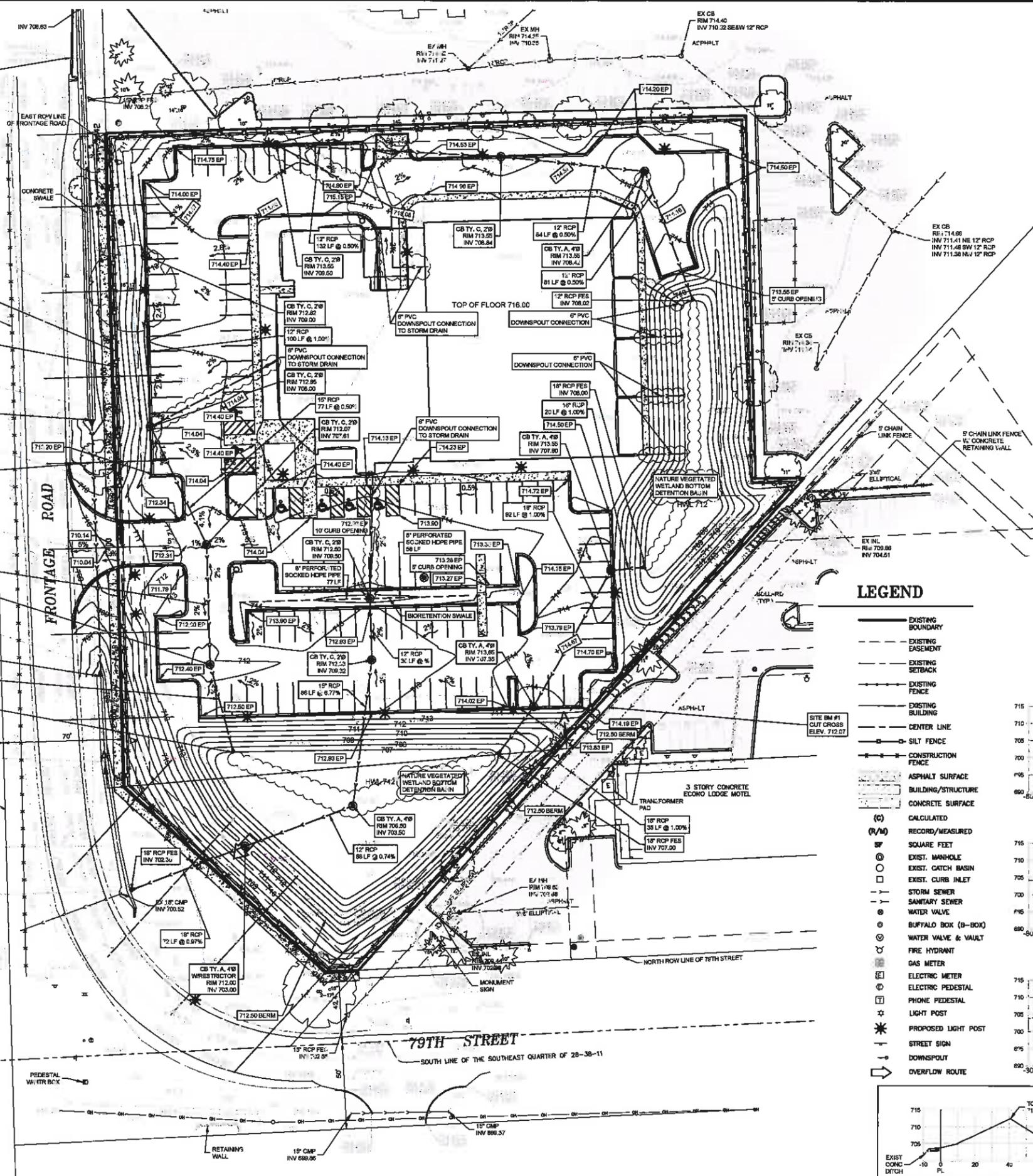
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ROBERT KINGERY HIGHWAY
STATE ROUTE 83

THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

NOTE: DOWNPOUT LOCATION SHOWN FROM PRELIMINARY ARCHITECTURE PLAN; FINAL LOCATIONS TO BE PROVIDED FOR PERMITTING



PROPOSED DRAINAGE POND VOLUME CALCULATION

FOURTH FLOOR

ELEVATION	AREA	A.O.A. AREA	CHG. RATE	TOTAL VOLUME (CU FT)
708.00	8,740.00	8,740.00	1.00	8,740.00
709.00	18,780.00	10,100.00	1.00	10,100.00
710.00	12,110.00	12,110.00	1.00	12,110.00
711.00	14,000.00	12,290.00	1.00	12,290.00
712.00	18,100.00	12,290.00	1.00	12,290.00
713.00	18,100.00	12,290.00	1.00	12,290.00
TOTAL	103,930.00	59,350.00	1.00	59,350.00

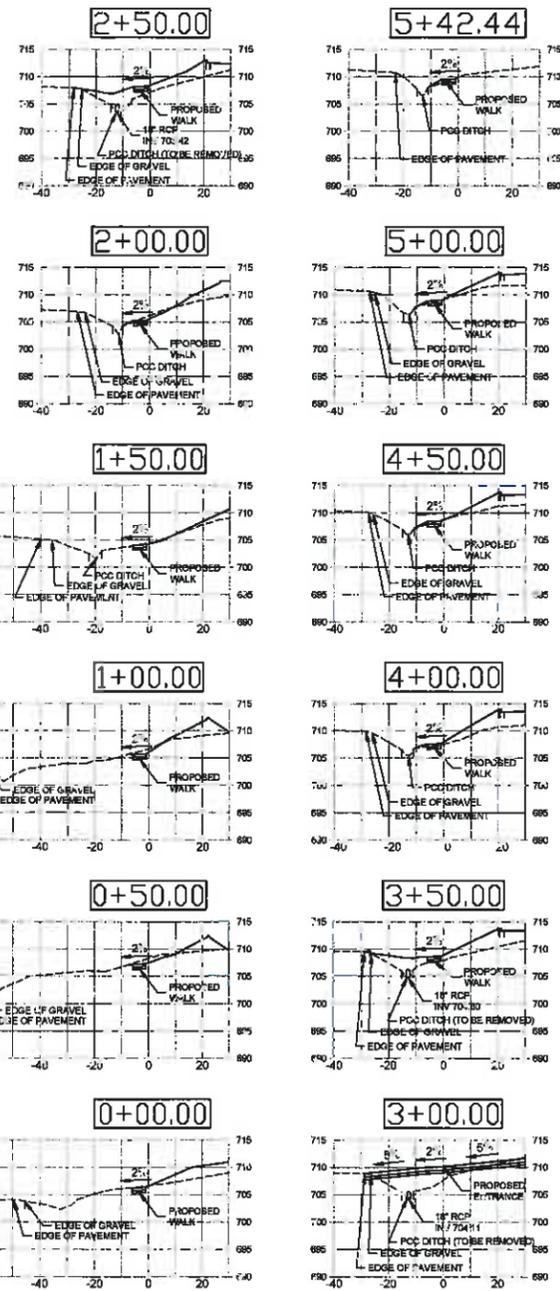
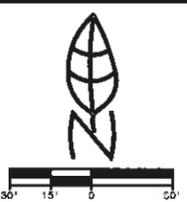
TOTAL VOLUME REQUIRED: 59,350.00 CU FT

SIXTH FLOOR

ELEVATION	AREA	A.O.A. AREA	CHG. RATE	TOTAL VOLUME (CU FT)
707.00	12,260.00	5,200.00	1.00	5,200.00
708.00	12,450.00	5,200.00	1.00	5,200.00
709.00	5,700.00	5,200.00	1.00	5,200.00
710.00	3,120.00	5,200.00	1.00	5,200.00
711.00	3,120.00	5,200.00	1.00	5,200.00
712.00	3,120.00	5,200.00	1.00	5,200.00
TOTAL	30,790.00	26,000.00	1.00	26,000.00

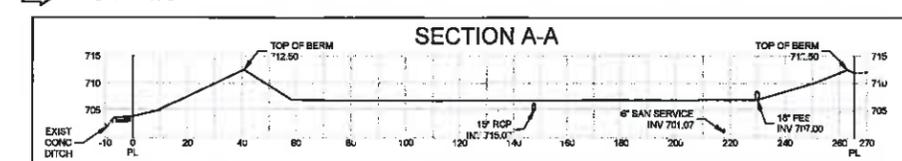
TOTAL VOLUME REQUIRED: 85,350.00 CU FT

VOLUME PROVIDED: 1,774.00 CU FT
VOLUME REQUIRED: 83,576.00 CU FT



LEGEND

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - CENTER LINE
- - - SILT FENCE
- - - CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- (C) CALCULATED
- (R/M) RECORD/MEASURED
- SF SQUARE FEET
- EXIST. MANHOLE
- EXIST. CATCH BASIN
- EXIST. CURB INLET
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- BUFFALO BOX (B-BOX)
- WATER VALVE & VAULT
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- PHONE PEDESTAL
- LIGHT POST
- PROPOSED LIGHT POST
- STREET SIGN
- OVERFLOW ROUTE



GRADING CONTROL PLAN

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

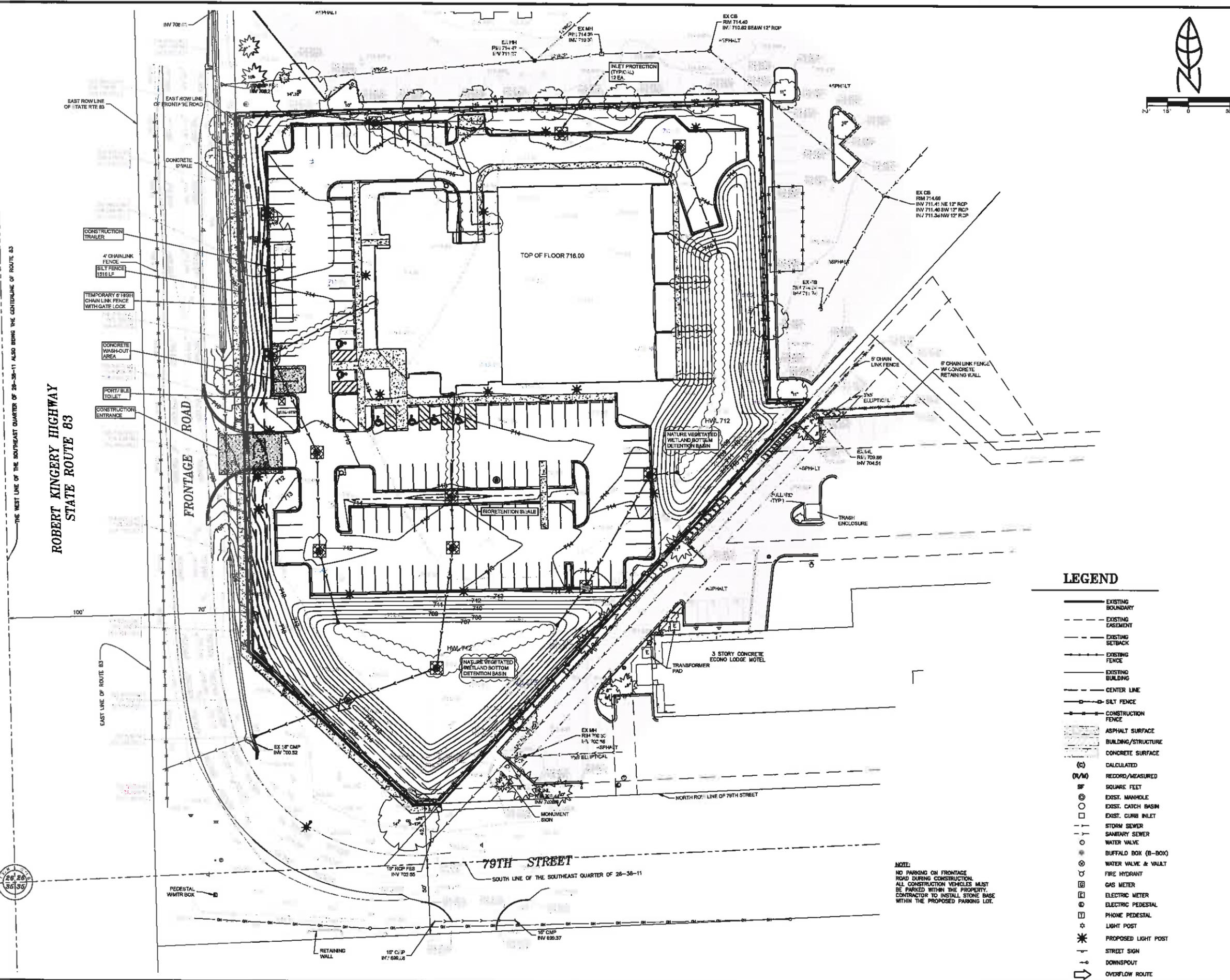
Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrville Road, Lisle, IL 60532
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.mechill.com

DATE: 3/14/2017
DATE: 3/20/2017
DATE: 4/12/2017
DATE: 4/18/2017

FIELD CHECK: GB
DRAWN BY: CJS
CHECKED BY: AS
APPROVED BY: AR

DATE: 11/07/2018
SCALE: HORIZ 1"=30'
VERT NONE

SHEET 4
OF 9 SHEETS
PROJ # 16-PR-2023



THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY
STATE ROUTE 83

- CONSTRUCTION TRAILER
- 4' CHAIN LINK FENCE
- SILT FENCE 1516 LF
- TEMPORARY 6' HIGH CHAIN LINK FENCE WITH GATE LOCK
- CONCRETE WASH-OUT AREA
- PORTABLE TOILET
- CONSTRUCTION ENTRANCE

LEGEND

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- CENTER LINE
- SILT FENCE
- CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- (C) CALCULATED
- (R/M) RECORD/MEASURED
- SQ SQUARE FEET
- ⊕ EXIST. MANHOLE
- ⊖ EXIST. CATCH BASIN
- ⊖ EXIST. CURB INLET
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- ⊕ BUFFALO BOX (B-BOX)
- ⊕ WATER VALVE & VALVE
- ⊕ FIRE HYDRANT
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PEDESTAL
- ⊕ PHONE PEDESTAL
- ⊕ LIGHT POST
- ⊕ PROPOSED LIGHT POST
- ⊕ STREET SIGN
- ⊕ DOWNSPOUT
- ⊕ OVERFLOW ROUTE

NOTE:
NO PARKING ON FRONTAGE ROAD DURING CONSTRUCTION. ALL CONSTRUCTION VEHICLES MUST BE PARKED WITHIN THE PROPERTY. CONTRACTOR TO INSTALL STONE BASE WITHIN THE PROPOSED PARKING LOT.

DATE	PER
3/14/2017	PER VILLAGE REVIEW
3/20/2017	PER VILLAGE REVIEW
4/12/2017	PER VILLAGE REVIEW
4/18/2017	PER VILLAGE REVIEW

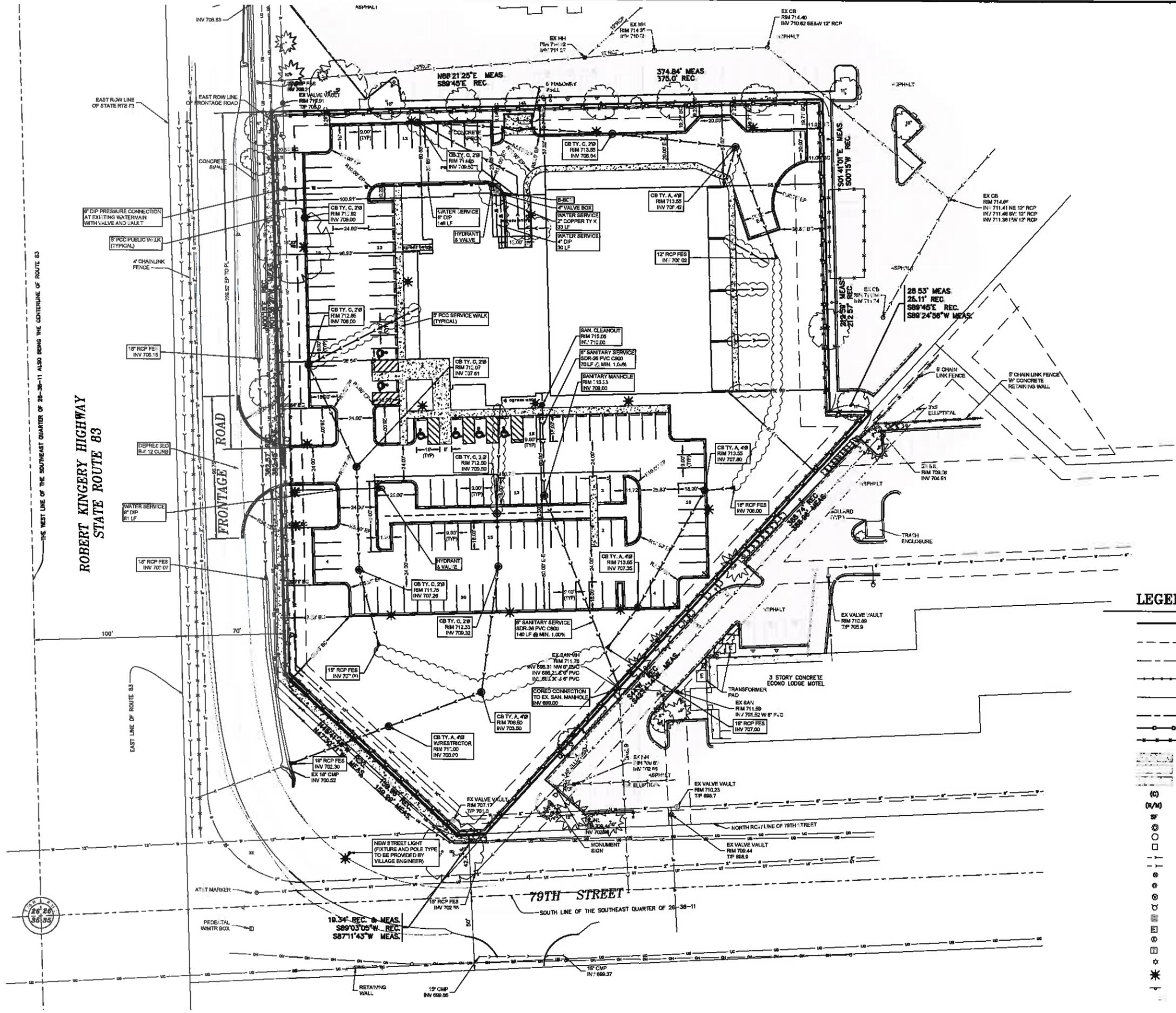
SWPPP & EROSION CONTROL PLAN
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering & Consulting
Leland Street
Willow Brook, IL 60527
Phone: (630) 271-8770
Surveys: (630) 271-8299
Fax: (630) 271-0774
Website: www.mecil.com



FIELD CHECK:	CS
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APPROVED BY:	AR
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OF 9 SHEETS	
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THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY
STATE ROUTE 83

FRONTAGE ROAD

79TH STREET

3 STORY CONCRETE
ECONO LODGE MOTEL

LEGEND

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- CENTER LINE
- SILT FENCE
- - - CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
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- (C) CALCULATED
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- ⊙ ELECTRIC PEDESTAL
- ⊙ PHONE PEDESTAL
- ⊙ LIGHT POST
- ⊙ PROPOSED LIGHT POST
- ⊙ STREET SIGN
- ⊙ DOWNSPOUT

SITE & UTILITIES PLAN
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

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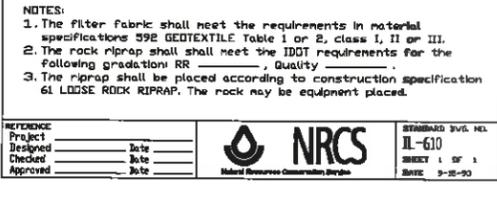
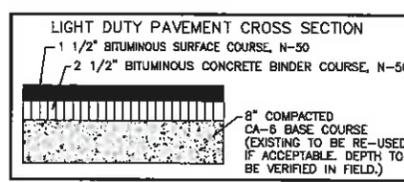
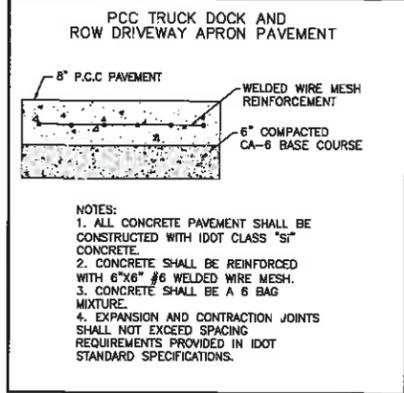
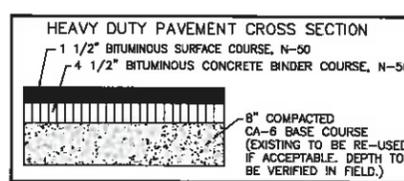
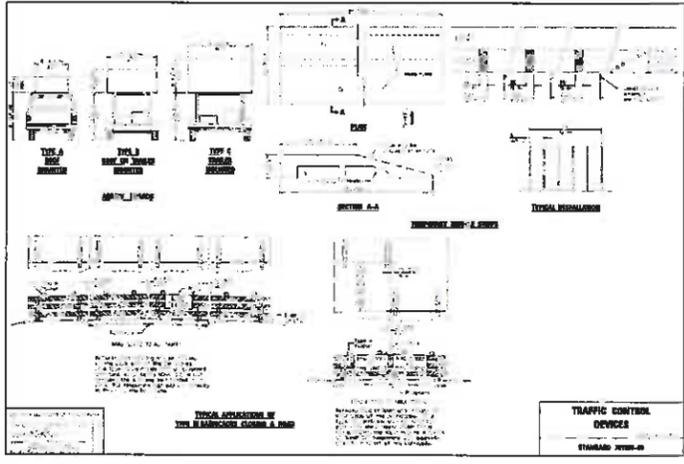
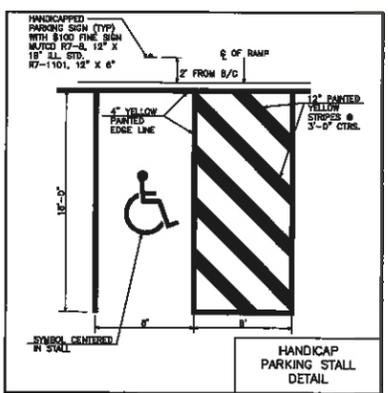
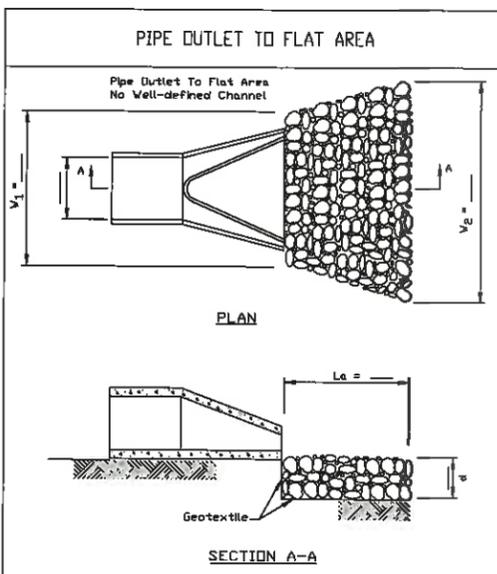
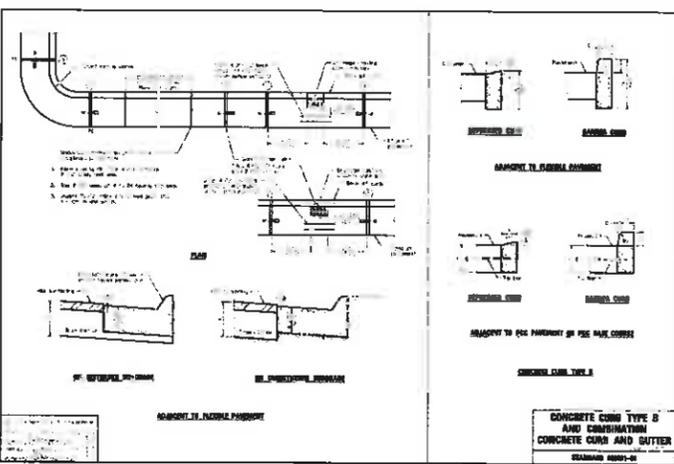
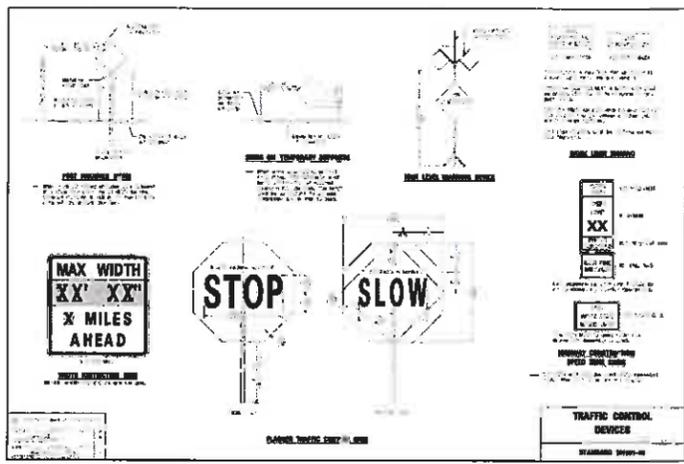
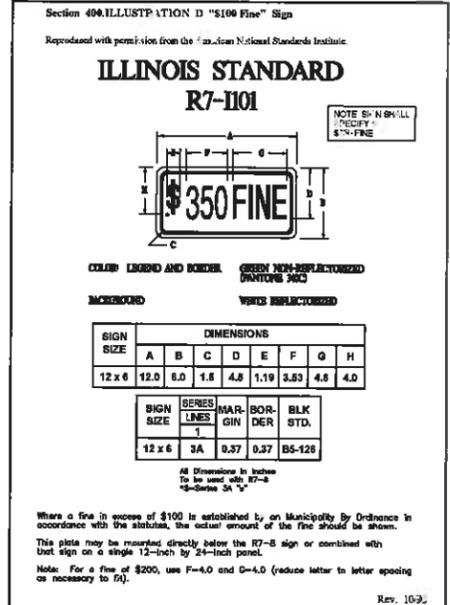
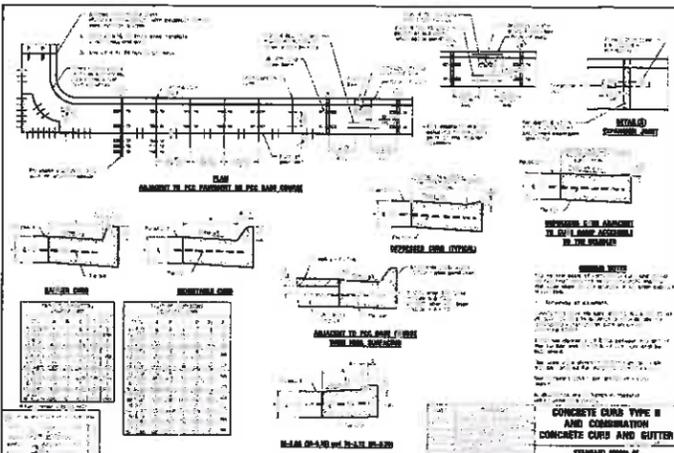
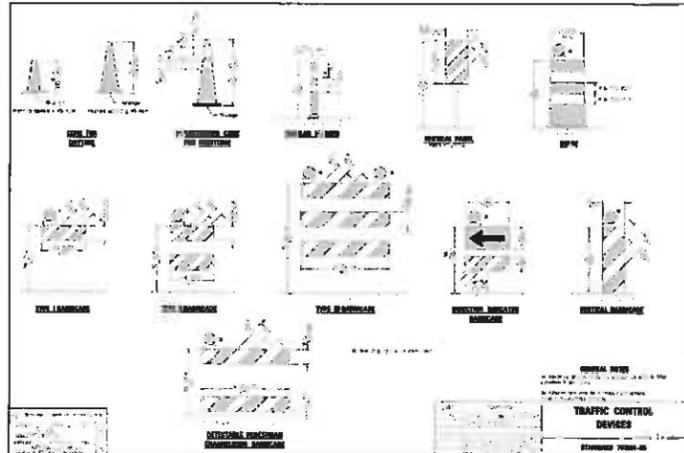
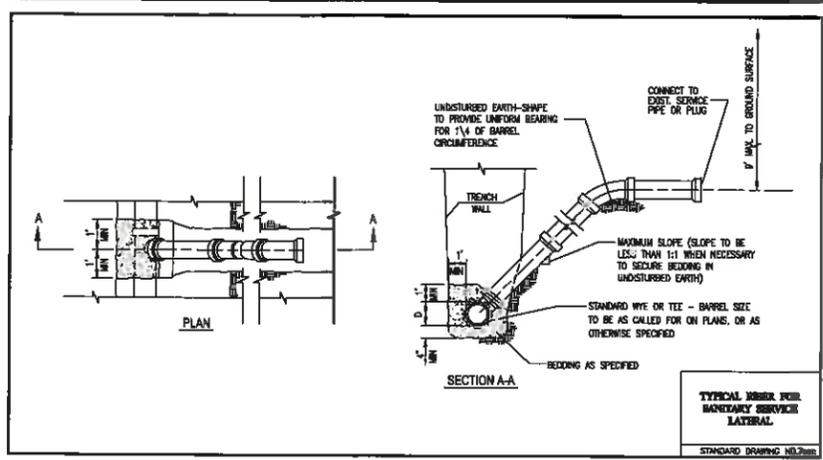
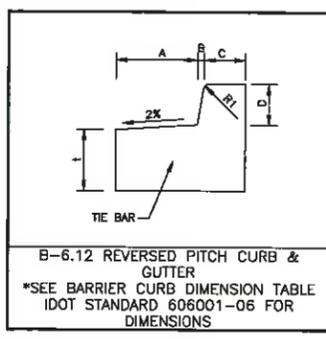
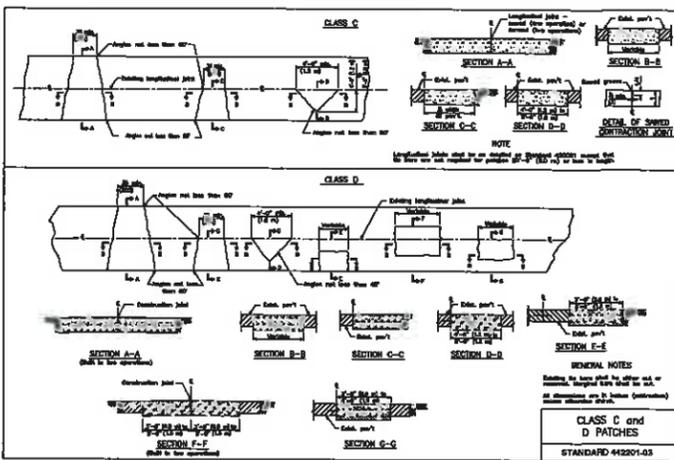
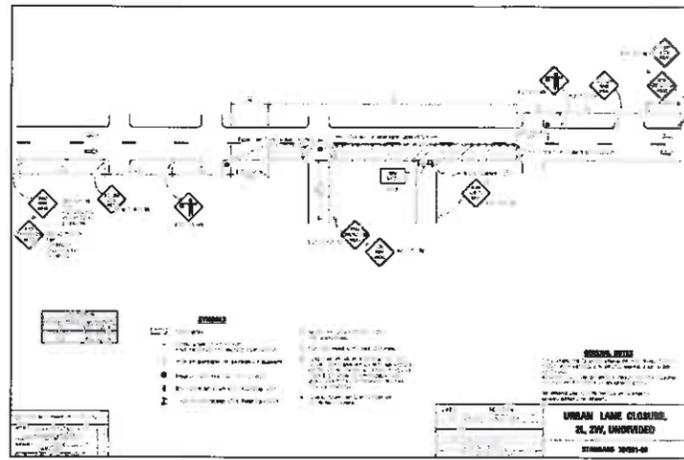


FIELD CHECK BY:	GB
DRAWN BY:	CJS
CHECKED BY:	AS
APPROVED BY:	AR
DATE:	11/07/2018
SCALE:	HORIZ 1"=30'
VERT:	HORIZ

SHEET
6
OF 9 SHEETS
PROJ # 16-PR-2003

DATE	PER
3/14/2017	PER VILLAGE REVIEW
3/20/2017	PER VILLAGE REVIEW
4/12/2017	PER VILLAGE REVIEW
4/18/2017	PER VILLAGE REVIEW

DATE PLOTTED: 11/07/2018 11:18:21 AM
PLOT FILE: C:\Users\cjs\OneDrive\Documents\16-PR-2003\16-PR-2003-06.dwg
PLOT SCALE: 1"=30'



DETAIL SHEET

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

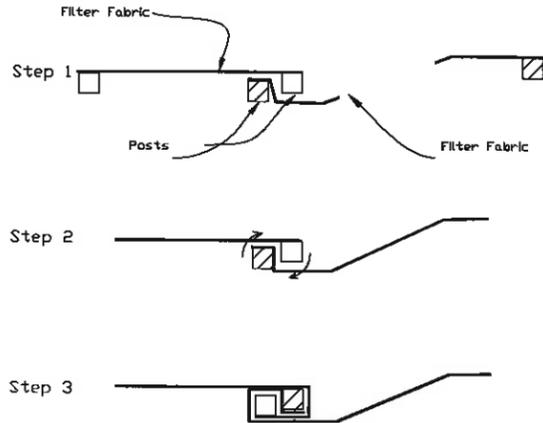
Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrville Road, Lisle, IL 60532
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.morriseng.com

FIELD CHECK: _____
DESIGNED BY: _____
CHECKED BY: _____
APPROVED BY: _____

DATE: 11/07/10
SHEET: _____
OF 9 SHEETS

PROJ # 16-PR-2003

SILT FENCE

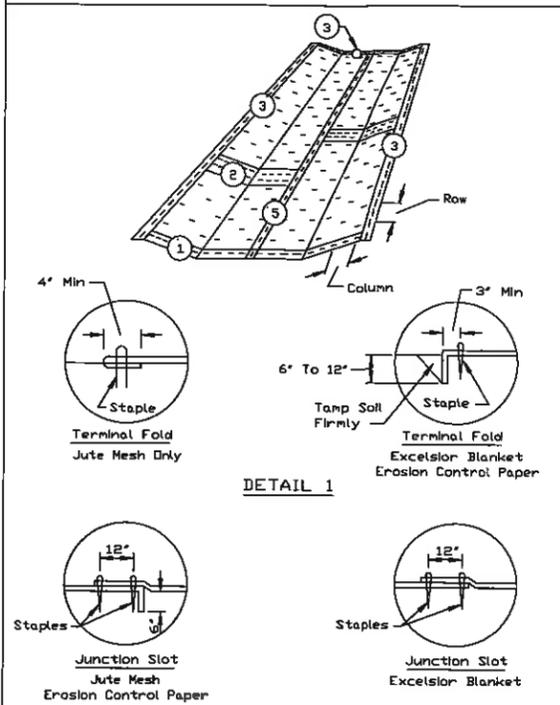


ATTACHING TWO SILT FENCES

- NOTES:**
- Place the end post of the second fence inside the end post of the first fence.
 - Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
 - Drive both posts a minimum of 18 inches into the ground and bury the flap.

REFERENCE Project _____	DATE _____	<p>STANDARD DWG. NO. IL-620(W) SHEET 2 OF 2 DATE 1-29-95</p>
Designed _____	Date _____	
Checked _____	Date _____	
Approved _____	Date _____	

EROSION BLANKET PLAN



DETAIL 1

DETAIL 2

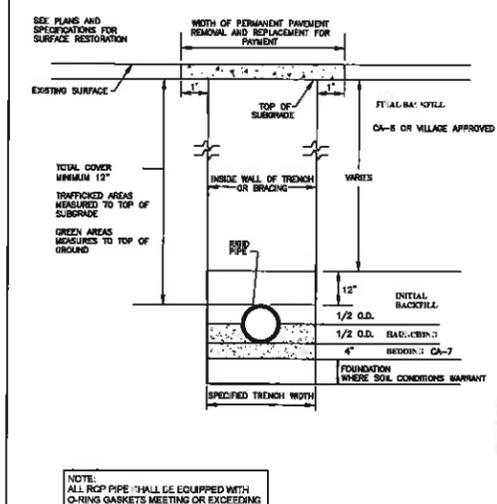
REFERENCE Project _____	DATE _____	<p>STANDARD DWG. NO. IL-530 SHEET 1 OF 2 DATE 5-24-94</p>
Designed _____	Date _____	
Checked _____	Date _____	
Approved _____	Date _____	

Wet to Mesic Prairie with Flowers Mix - to be planted within the Bioswale

Scientific Name	Common Name	Per Sq. Yd.
Andropogon gerardii	Big Bluestem Grass	1.500
Achillea spp.	Millweed	0.063
Aster laevis	Smooth Blue Aster	0.016
Aster novae-angiae	New England Aster	0.031
Aster prostratus	Willow Aster	0.031
Calamagrostis canadensis	Blue Joint Grass	0.063
Carex acuticarpa	Large Yellow Fox Sedge	0.125
Carex betula	Bebb's Oval Sedge	0.125
Carex normalis	Spreading Oval Sedge	0.125
Carex vulpinoidea	Broom Fox Sedge	0.500
Centaurea fasciculata	Partridge Pea	0.250
Elymus canadensis	Canada Wild Rye	1.000
Epiplatium coloratum	Chathamian Willow Herb	0.015
Equisetum perfoliatum	Common Horsetail	0.015
Hypericum pyramidatum	Great St. John's Wort	0.063
Iris virginica sibirica	Blue Flag	0.125
Liatris pycnostachya	Prairie blazing Star	0.313
Liatris spicata	Marsh blazing Star	0.188
Lobelia siphilitica	Great Blue Lobelia	0.031
Mimulus ringens	Monkey Flower	0.031
Monarda fistulosa	Wild Bergamot	0.063
Penstemon virginicus	Switch Grass	0.500
Parthenium integrifolium	Wild Quinine	0.125
Petalostemum purpureum	Purple Prairie Clover	0.250
Physostegia virginiana	Doebler Plant	0.063
Pyrola asarifolia	Common Mountain Mint	0.063
Rudbeckia hirta	Yellow Coneflower	0.250
Rudbeckia hirta	Black-eyed Susan	0.250
Scirpus atrovirens	Dark Green Rush	0.500
Siphium laciniatum	Campylos Fleet	0.188
Siphium perfoliatum	Cup Plant	0.250
Solidago rigida	Ridged Goldenrod	0.063
Solidago rigida	Stiff Goldenrod	0.125
Sorghastrum nutans	Indian Grass	1.000
Spartina pectinata	Prairie Cord Grass	0.500
Veronica fasciculata	Common Ironweed	0.031
Veronicastrum virginicum	Culver's Root	0.063
Zizia aurea	Golden Alexander	0.031
Total		8.925

BIORETENTION SWALE SOIL SHALL CONSIST OF 80% COARSE SAND AND 20% COMPOST.

BIORETENTION SWALE

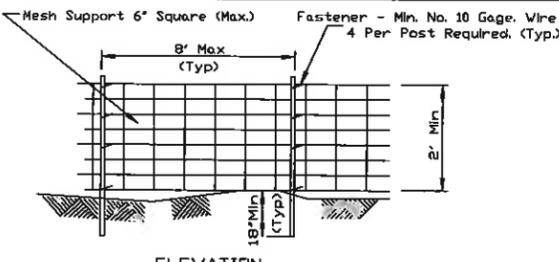


NOTE: ALL RCP PIPE SHALL BE EQUIPPED WITH G-RING GASKETS MEETING OR EXCEEDING MATERIAL REQUIREMENTS OF A.T.M. C-31.

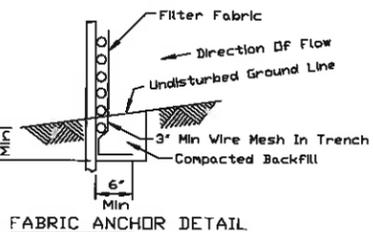
BIORETENTION SWALE INSTALLATION DETAIL

STANDARD DRAWING NO. 1

SILT FENCE WITH WIRE SUPPORT PLAN



ELEVATION

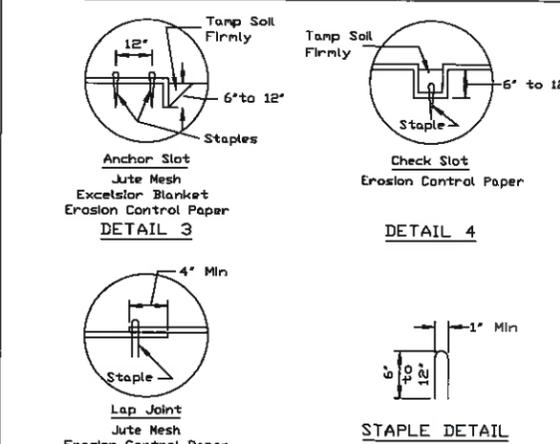


FABRIC ANCHOR DETAIL

- NOTES:**
- Wires of mesh support shall be min. gage no. 12.
 - Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 - Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 - Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE Project _____	DATE _____	<p>STANDARD DWG. NO. IL-620W SHEET 1 OF 2 DATE 3-3-95</p>
Designed _____	Date _____	
Checked _____	Date _____	
Approved _____	Date _____	

EROSION BLANKET PLAN



DETAIL 3

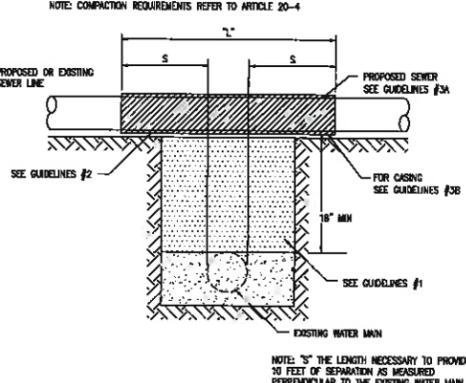
DETAIL 4

STAPLE DETAIL

- NOTES:**
- On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
 - Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4' x 225' roll of material and 125 staples are required per 4' x 150' roll of material.
 - Erosion control material shall be placed loosely over ground surface. Do not stretch.
 - All terminal ends and transverse laps shall be stapled at approximately 12' intervals.

REFERENCE Project _____	DATE _____	<p>STANDARD DWG. NO. IL-530 SHEET 2 OF 2 DATE 3-1-95</p>
Designed _____	Date _____	
Checked _____	Date _____	
Approved _____	Date _____	

PROPOSED SEWER LINE WITH 18\"/>



NOTE: 3\"/>

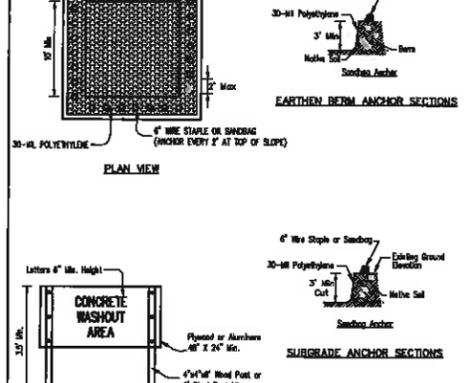
- GUIDELINES:**
- IF SELECT GRANULAR BACKFILL EXISTS REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS M) AND COMPACT.
 - UNTIL SELECT GRANULAR EMBANKMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT EXCAVATED MATERIAL (CLASS M) AND COMPACT THE LENGTH OF 1' FEET.
 - A) CONSTRUCT 1' FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR:
B) USE 1' FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.

WATER AND SEWER SEPARATION REQUIREMENTS

VERTICAL SEPARATION

STANDARD DRAWING NO. 19

PLAN VIEW



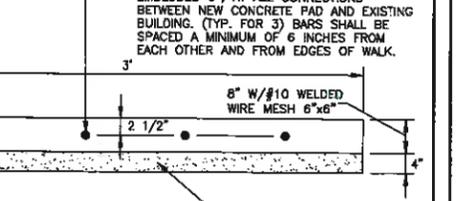
NOTE:

- Retaining temporary concrete washout facilities shall include retaining and disposing of hardened concrete and/or slurry and returning the facility to a functional condition.
- Facility shall be located or reconstructed in a new area when washout becomes non-functional.

TEMPORARY CONCRETE WASHOUT FACILITY - EARTHEN TYPE

STANDARD DRAWING NO. 18

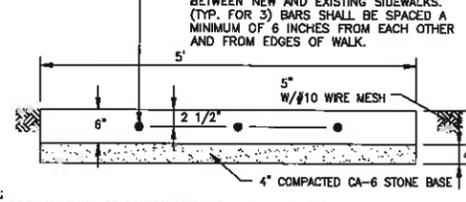
INSTALL #4 REINFORCING BARS, 12\"/>



- NOTES:**
- CONCRETE PADS SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" PORTLAND CEMENT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 14 DAYS.
 - PREFORMED EXPANSION JOINTS (3/4" THICK) SHALL BE CONSTRUCTED IN PAD EVERY 100 FEET.
 - TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED IN PAD EVERY FIVE FEET.
 - PAD SHALL BE TESTED PER VILLAGE CODE.

STANDARD DETAIL FOR CONCRETE PADS

INSTALL #4 REINFORCING BARS, 12\"/>



- NOTES:**
- ALL SIDEWALK SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" PORTLAND CEMENT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS.
 - PREFORMED EXPANSION JOINTS (3/4" THICK) SHALL BE CONSTRUCTED IN SIDEWALK EVERY 100 FEET AND AT ALL ABUTTING DRIVEWAYS AND CURBS AND GUTTER.
 - TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED IN SIDEWALK EVERY FIVE FEET.
 - SIDEWALK SHALL HAVE 1/4" PER FOOT CROSS-SLOPE.
 - SIDEWALKS SHALL BE TESTED PER VILLAGE CODE.
 - SIDEWALK SHALL CONFORM TO IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

STANDARD DETAIL FOR SIDEWALK

DETAIL SHEET

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering - Consulting
Land Surveying
515 W. Main Street, Suite 101, Joliet, IL 60532
Phone: (815) 271-0770
Fax: (815) 271-0774
Website: www.morriseng.com

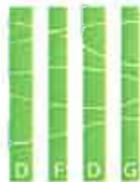


FIELD CHECK: GR
DRAWN BY: CJS
CHECKED BY: AS
APPROVED BY: AR
DATE: 11/07/2016
SCALE: AS SHOWN
SHEET: 9
OF 9 SHEETS
PROJ # 16-PP-2008

Planning Commission
PROJECT NUMBER 161107_05_02
DATE 03.13.2017

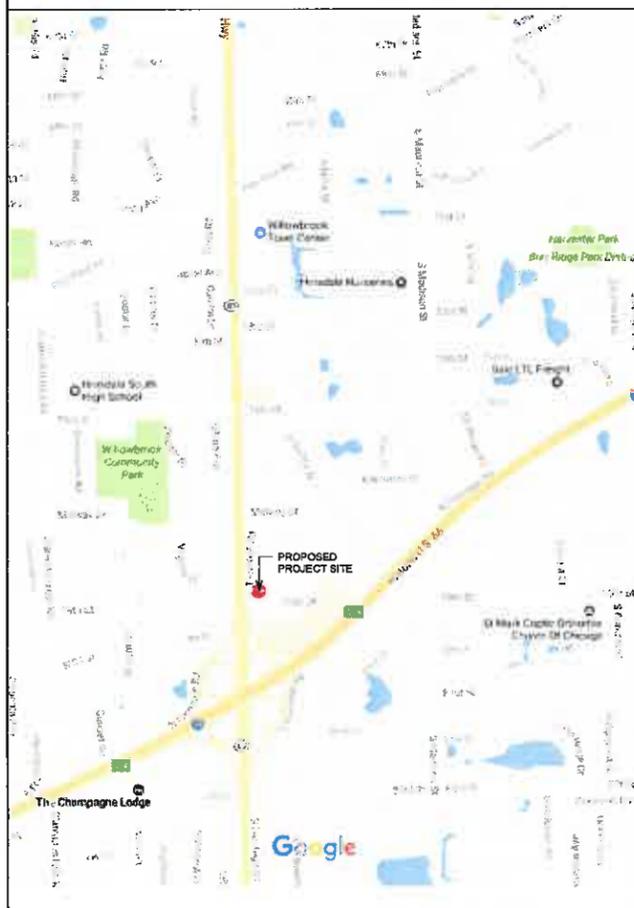
THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD
 WILLOWBROOK, ILLINOIS 60527



Damian Farrell Design Group PLLC
 359 METTY DRIVE, SUITE 4A
 ANN ARBOR, MI 48105
 PH: 734.938.1331
 FAX: 734.333.9593

VICINITY MAP



PROJECT DIRECTORY

LAND OWNER
 TOGO PROPERTY, LLC
 321 CENTER STREET
 HILLSIDE, ILLINOIS 60162

PETITIONERS
 TOGO PROPERTY, LLC
 321 CENTER STREET
 HILLSIDE, ILLINOIS 60162
 - AND -
 THE CHICAGO GUN CLUB, LLC
 4825 LEG AVENUE
 DOWNERS GROVE, ILLINOIS 60515

ARCHITECT
 DAMIAN FARRELL DESIGN GROUP PLLC
 359 METTY DRIVE, SUITE 4A
 ANN ARBOR, MICHIGAN 48105
 PH. 734.938.1331

CIVIL ENGINEER
 MORRIS ENGINEERING, INC.
 515 WARRENVILLE ROAD
 LISLE, ILLINOIS 60532
 PH. 630.271.0770

SURVEYOR
 ROAKE AND ASSOCIATES, INC.
 1084 QUINCY AVENUE, SUITE 100A
 NAPERVILLE, ILLINOIS 60540
 PH. 630.555.4490 x 210

LANDSCAPE ARCHITECT
 DAVID R. McCALLUM ASSOCIATES, INC.
 350 NORTH MILWAUKEE AVENUE
 LIBERTYVILLE, ILLINOIS 60048
 PH. 847.352.0209

TRAFFIC CONSULTANT
 KENIG, LINDEN, OHARA, ABOONA, INC.
 5675 WEST HIGGINS ROAD, SUITE 400
 ROSEMONT, ILLINOIS 60018
 PH. 847.518.9900

LIGHTING CONSULTANT
 KSA LIGHTING AND CONTROLS
 1220 CENTRAL AVENUE
 HANOVER PARK, ILLINOIS 60139

GENERAL CONTRACTOR
 TBD

PROJECT SUMMARY

PROJECT DESCRIPTION
 THE PROPOSED PROJECT IS A TWO-STORY, 31,000 sq.ft. MIXED USE FACILITY WHICH INCLUDES:
 - INDOOR FIRING RANGE (16,600 sq.ft.)
 - RETAIL (5,380 sq.ft.)
 - ASSEMBLY (4,420 sq.ft.)
 - WAREHOUSE (2,780 sq.ft.)
 - OFFICES (1,685 sq.ft.)
 - CLASSROOM (900 sq.ft.)

THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 129 CARS (INCLUDING 5 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

SITE DATA

PARCEL I.D.	09-25-402-029 09-29-402-016																																												
ZONING DISTRICT	EXISTING : B-3, GENERAL BUSINESS PROPOSED : B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT																																												
SITE AREA	EXISTING: 3.4 acres (148,848 sq.ft.) REQD (for B-4): 2.0 acres min. (87,120 sq.ft.)																																												
REQUIRED SETBACKS	<table border="0"> <tr> <td>FRONT YARD: 100 ft.</td> <td>PROPOSED FRONT YARD: 100 ft.</td> </tr> <tr> <td>INT. SIDE YD: 40 ft.</td> <td>INT. SIDE YD: 57.8 ft.</td> </tr> <tr> <td>EXT. SIDE YD: 60 ft.</td> <td>EXT. SIDE YD: 76 ft.</td> </tr> <tr> <td>REAR YARD: 40 ft.</td> <td>REAR YARD: 85 ft.</td> </tr> <tr> <td>MAX ALLOW. HEIGHT: 35 ft.</td> <td>PROPOSED HEIGHT: 34 ft.</td> </tr> <tr> <td>MAX LOT COVERAGE: 50%</td> <td>PROPOSED LOT COVERAGE: 17%</td> </tr> </table>	FRONT YARD: 100 ft.	PROPOSED FRONT YARD: 100 ft.	INT. SIDE YD: 40 ft.	INT. SIDE YD: 57.8 ft.	EXT. SIDE YD: 60 ft.	EXT. SIDE YD: 76 ft.	REAR YARD: 40 ft.	REAR YARD: 85 ft.	MAX ALLOW. HEIGHT: 35 ft.	PROPOSED HEIGHT: 34 ft.	MAX LOT COVERAGE: 50%	PROPOSED LOT COVERAGE: 17%																																
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MAX LOT COVERAGE: 50%	PROPOSED LOT COVERAGE: 17%																																												
SITE SIGNAGE REQUIREMENTS	<table border="0"> <tr> <td>MIN. SETBACK: 5 ft.</td> <td>PROPOSED SIGN SETBACK: 5 ft.</td> </tr> <tr> <td>MAX. HEIGHT: 24 ft.</td> <td>PROP. HEIGHT: 12 ft.</td> </tr> <tr> <td>MAX SIGN SURFACE: 400 sq. ft.</td> <td>PROPOSED SIGN SURFACE: 224 sq. ft. (total of both sides)</td> </tr> </table>	MIN. SETBACK: 5 ft.	PROPOSED SIGN SETBACK: 5 ft.	MAX. HEIGHT: 24 ft.	PROP. HEIGHT: 12 ft.	MAX SIGN SURFACE: 400 sq. ft.	PROPOSED SIGN SURFACE: 224 sq. ft. (total of both sides)																																						
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PARKING CALCULATION	<table border="0"> <tr> <td>SPACE</td> <td>QTY.</td> <td>REQUIREMENT</td> <td>NO. OF SPACES</td> </tr> <tr> <td>INDOOR FIRING RANGE</td> <td>32 lanes</td> <td>2 spaces per lane</td> <td>64.00 spaces</td> </tr> <tr> <td>RETAIL</td> <td>4,130 sq. ft.</td> <td>4 spaces per 1,000 sq. ft.</td> <td>16.52 spaces</td> </tr> <tr> <td>JESP RETAIL</td> <td>1,020 sq. ft.</td> <td>1 space per 400 sq. ft.</td> <td>2.55 spaces</td> </tr> <tr> <td>ASSEMBLY (LOUNGE)</td> <td>3,750 sq. ft.</td> <td>1 space per 225 sq. ft.</td> <td>16.87 spaces</td> </tr> <tr> <td>WAREHOUSE</td> <td>2,080 sq. ft.</td> <td>1 space per 1.5 workers</td> <td>2.00 spaces</td> </tr> <tr> <td>OFFICES</td> <td>1,820 sq. ft.</td> <td>1 space per 225 sq. ft.</td> <td>5.87 spaces</td> </tr> <tr> <td>CLASSROOM</td> <td>33 seats</td> <td>1 per 3 seats</td> <td>10.00 spaces</td> </tr> <tr> <td>ACCESSORY COM.</td> <td>2,800 sq. ft.</td> <td>1 per 250 sq. ft.</td> <td>11.20 spaces</td> </tr> <tr> <td colspan="4">TOTAL PARKING REQD: 129 SPACES (5 BARRIER-FREE)</td> </tr> <tr> <td colspan="4">TOTAL PARKING PROPOSED: 129 SPACES (5 BARRIER-FREE)</td> </tr> </table>	SPACE	QTY.	REQUIREMENT	NO. OF SPACES	INDOOR FIRING RANGE	32 lanes	2 spaces per lane	64.00 spaces	RETAIL	4,130 sq. ft.	4 spaces per 1,000 sq. ft.	16.52 spaces	JESP RETAIL	1,020 sq. ft.	1 space per 400 sq. ft.	2.55 spaces	ASSEMBLY (LOUNGE)	3,750 sq. ft.	1 space per 225 sq. ft.	16.87 spaces	WAREHOUSE	2,080 sq. ft.	1 space per 1.5 workers	2.00 spaces	OFFICES	1,820 sq. ft.	1 space per 225 sq. ft.	5.87 spaces	CLASSROOM	33 seats	1 per 3 seats	10.00 spaces	ACCESSORY COM.	2,800 sq. ft.	1 per 250 sq. ft.	11.20 spaces	TOTAL PARKING REQD: 129 SPACES (5 BARRIER-FREE)				TOTAL PARKING PROPOSED: 129 SPACES (5 BARRIER-FREE)			
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SHEET INDEX

00-GENERAL	
T1.0	TITLE SHEET, MAP + SHEET INDEX
01-ARCH	
A1.0	BUILDING PLANS
A2.0	ELEVATIONS
A2.1	SIGNAGE
A3.0	PERSPECTIVES AND MATERIAL NOTES
A3.1	MECH. SCREEN MATERIAL NOTES
02-SURVEY	
C1.0	SURVEY
03-CIVIL	
1	COVER SHEET
2	GENERAL NOTES & SPECIFICATIONS
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	GRADING PLAN
5	SWPP & EROSION CONTROL PLAN
7	DETAILS
8	DETAILS
9	DETAILS
6	SITE PLAN
04-LANDSCAPE	
L1.0	LANDSCAPE PLAN
L2.0	TREE INVENTORY
05-PHOTOMETRIC	
E1.0	PHOTOMETRIC SITE PLAN
E1.1	SIGN ELEVATION
E1.2	CUT SHEETS

SITE PLAN REVIEW

THE CHICAGO GUN CLUB
 79TH STREET AND FRONTAGE ROAD
 WILLOWBROOK, ILLINOIS 60527

DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

TITLE SHEET, MAP + SHEET INDEX

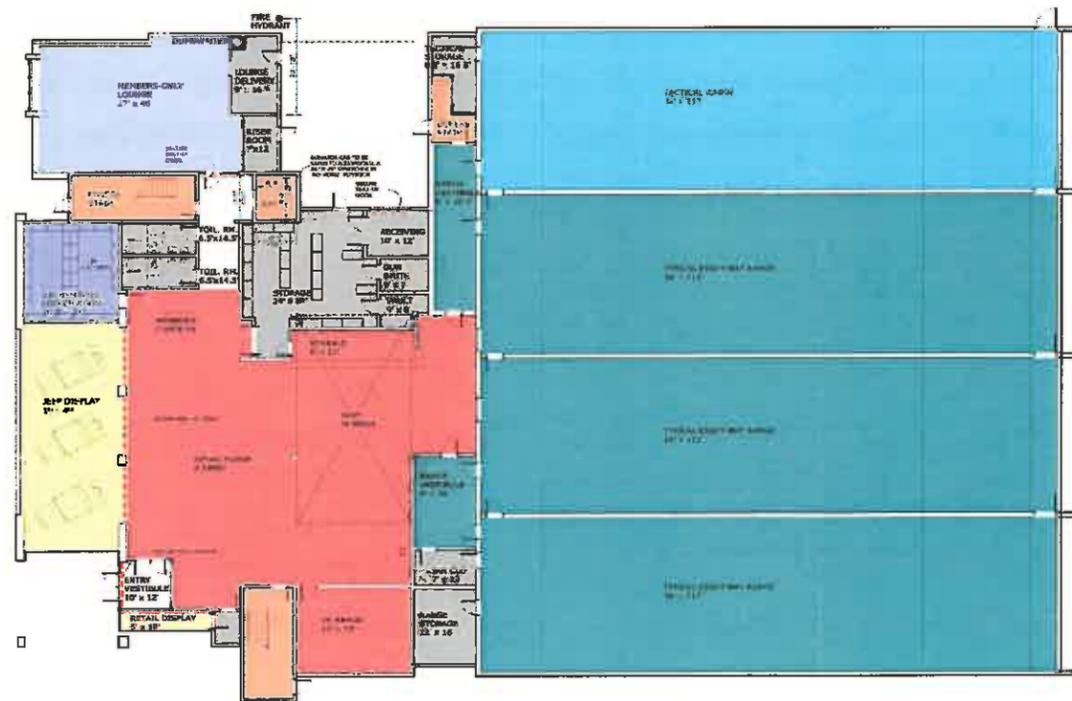
T1.0

NOTE:
ENTIRE BUILDING TO BE SPRINKLED



② Second Floor Plan
1/16" = 1'-0"

NOTE:
ENTIRE BUILDING TO BE SPRINKLED



① First Floor Plan
1/16" = 1'-0"

SITE PLAN REVIEW

DATE	DESCRIPTION
04.05.17	Planning Commission

DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

BUILDING PLANS

A1.0

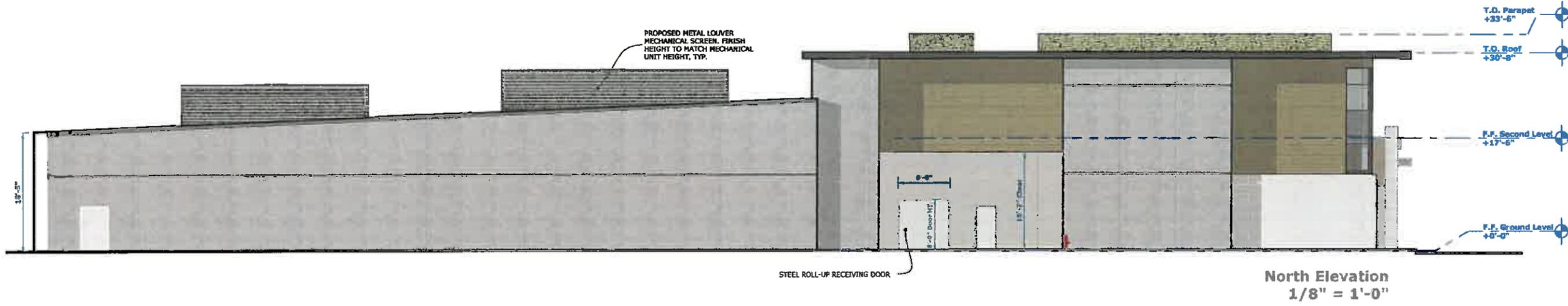


Damian Farrell Design Group PLLC
359 METYORK, SUITE 44
WILLOW BROOK, ILLINOIS 60091
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Fax: 708.213.2953

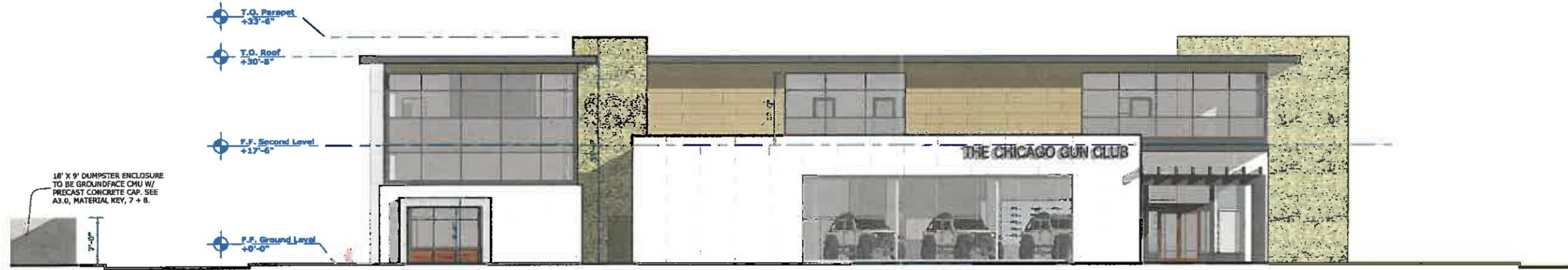
	LANDSCAPE ARCHITECTURE RECORD
	MECHANICAL ELECTRICAL PLUMBING RECORD
	STRUCTURAL ENGINEERING RECORD
	CIVIL ENGINEERING RECORD
	MEP ENGINEER OF RECORD
	ARCHITECT OF RECORD

THE CHICAGO GUN CLUB
70TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60097

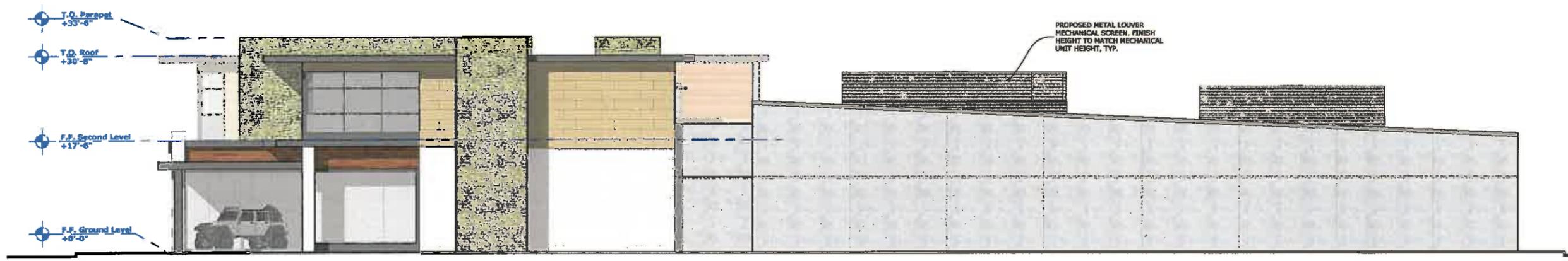
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North Elevation
1/8" = 1'-0"



West Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"



Damian Farrell Design Group PLLC
559 METTYRIVE SUITE 4A
ANN ARBOR, MI 48103
RM 242.13.2683

SITE PLAN REVIEW

	LANDSCAPE ARCHITECT OF RECORD
	STRUCTURAL ENGINEER OF RECORD
	CIVIL ENGINEER OF RECORD
	MEE ENGINEER OF RECORD
	ARCHITECT OF RECORD
	THE CHICAGO GUN CLUB
	78TH STREET AND FRONTAGE ROAD WILLOWBROOK, ILLINOIS 60527
DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

ELEVATIONS

A2.0

4	Village Review Comments	04/15/17
3	Village Review Comments	03/15/17
2	Site Plan Modification	01/04/17
1	For Review	12/30/16
Mark	Description	Date

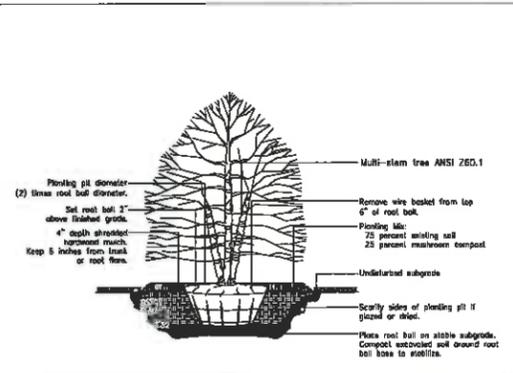
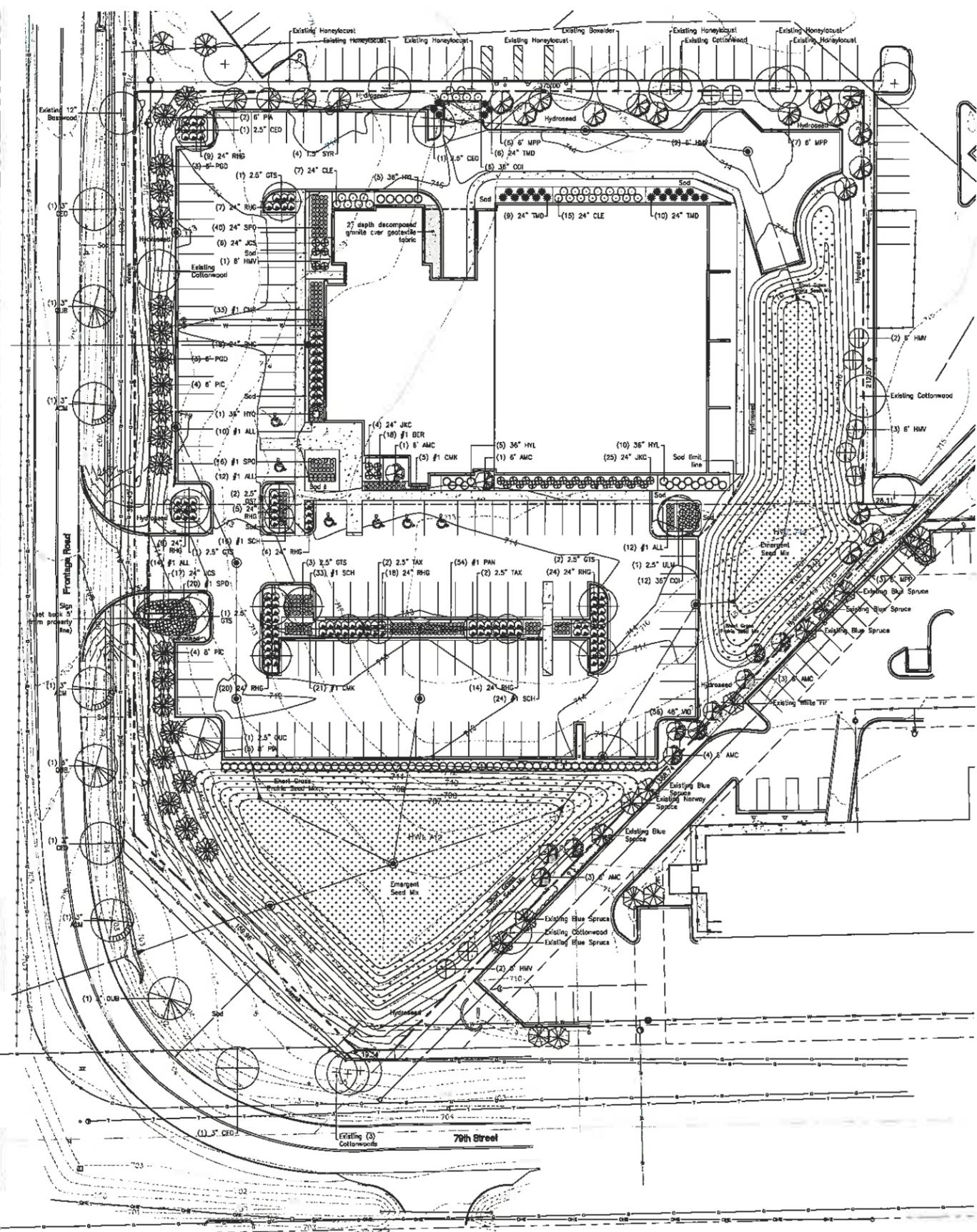
Number
456916

Scale
1" = 30'

North

File
456916-PA

Sheet
L10



Deciduous Ornamental Tree Planting

Emergent Seed Mix

Botanical Name	Common Name	Lb./Acres	Total lbs./Acres
<i>Acorus americanus</i>	Sweet Flag	0.250	
<i>Alisma subcordatum</i>	Water Plantain	0.250	
<i>Carex comosa</i>	Bottlebrush Sedge	0.375	
<i>Cephalanthus occidentalis</i>	Burton Bush	0.125	
<i>Echinochloa crusgalli</i>	Barnyard Grass	2.000	
<i>Echinochloa polystachya</i>	Moran Spike Rush	0.063	
<i>Echinochloa polystachya</i>	Spikegrass	0.063	
<i>Glyceria gracilis</i>	Reed Mann Grass	0.125	
<i>Hibiscus laevis</i>	Hardstemed Rose Mallow	0.063	
<i>Iris virginica</i>	Blue Flag Iris	0.250	
<i>Juncus effusus</i>	Common Rush	0.125	
<i>Juncus species</i>	Rush Species	0.188	
<i>Laena oxyptera</i>	Rice Cut Grass	0.500	
<i>Portulaca cordata</i>	Pickersweeet	0.063	
<i>Scirpus atrovirens</i>	Common Arrowhead	0.500	
<i>Scirpus atrovirens</i>	Hardstem Bulrush	0.063	
<i>Scirpus fluviatilis</i>	River Bulrush	0.125	
<i>Scirpus pungens</i>	Chairmakers Rush	0.125	
<i>Scirpus villosus</i>	Great Bulrush	0.250	
<i>Spartina eurycarpum</i>	Bur Reed	0.100	
<i>Spartina pectinata</i>	Cord Grass	0.375	
Total:			5.978

Cover with N6 S75BN Erosion Control Blanket (biodegradable).

Short Grass Prairie Seed Mix

Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
<i>Andropogon scoparius</i>	Little Bluestem	240	
<i>Bouteloua curtipendula</i>	Side Oats Grama	58	
<i>Dymalis canadensis</i>	Canada Wild Rye	24	
Total Grasses:		320	20

Forbs

Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
<i>Asclepias tuberosa</i>	Butterfly Milkweed	16	
<i>Cornus palmata</i>	Prairie Dogwood	6	
<i>Delos perispermus</i>	Purple Prairie Clover	6	
<i>Echinacea pallida</i>	Pale Purple Coneflower	18	
<i>Echinacea purpurea</i>	Purple Coneflower	18	
<i>Penstemon digitalis</i>	Fragrant Beard Tongue	4	
<i>Physalis virginiana</i>	Obelisk Plant	3	
<i>Rudbeckia hirta</i>	Black-Eyed Susan	3	
<i>Tradescantia virginiana</i>	Spiderwort	8	
Total Forbs:		80	5
Total Grasses and Forbs:		400	25

Temporary Cover Crop

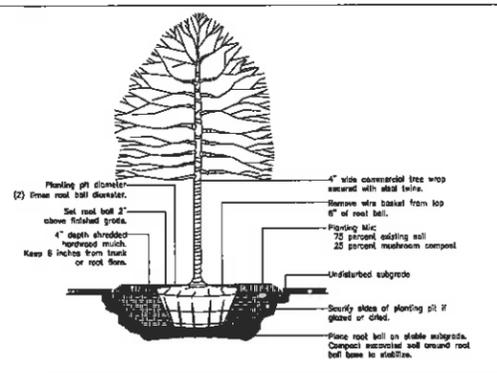
Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
<i>Avena sativa</i>	Common Oats	320	20

Applied at the rate of 25 lbs. per acre. | Cover with N6 S75BN Erosion Control Blanket (biodegradable).

Plant List

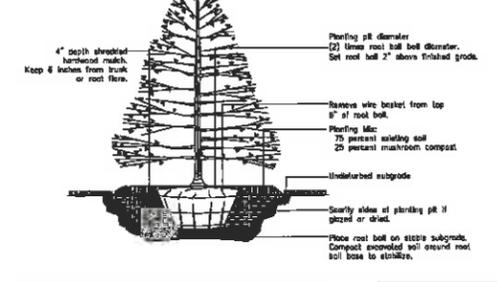
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACM	3	3"	<i>Acer nyctebell 'Morton'</i>	State Street Nyctebell Maple	BB
CEO	2	2.5"	<i>Celtis occidentalis 'Prairie Pride'</i>	Prairie Pride Common Hackberry	BB
CEO	3	3"	<i>Celtis occidentalis 'Prairie Pride'</i>	Prairie Pride Common Hackberry	BB
GTS	8	2.5"	<i>Gleditsia triacanthos var. 'Inermis' 'Skyline'</i>	Skyline Thornless Honeylocust	BB
OST	2	2.5"	<i>Ostrya virginiana</i>	Ironwood/American Hophornbeam	BB
QUB	3	3"	<i>Quercus bicolor</i>	Swamp White Oak	BB
QUC	1	2.5"	<i>Quercus muhlenbergii</i>	Chickasaw Oak	BB
TAX	4	2.5"	<i>Taxodium distichum</i>	Common Baldcypress	BB
ULM	1	2.5"	<i>Ulmus 'Morton Robey'</i>	Tulmuh Elm	BB
Ornamental Trees					
AMC	12	6"	<i>Anemone pulsatilla</i>	Shadblow/Sandcherry	BB/Clump
HMV	10	6"	<i>Hemerocallis variegata</i>	Vernal Witchhazel	BB/Clump
MPP	18	6"	<i>Morus nigra 'Purple Prince'</i>	Purple Prince Crabapple	BB/Clump
STR	4	1.5"	<i>Syringa reticulata</i>	Japanese Tree Lilac	BB
Evergreen Trees					
PGD	6	6"	<i>Picea glauca 'Denise'</i>	Black Hills Spruce	BB
PA	7	6"	<i>Picea alba</i>	Norway Spruce	BB
PC	6	6"	<i>Picea pungens</i>	Colorado Green Spruce	BB
Shrubs					
CLE	22	24"	<i>Clethra alnifolia 'Hummingbird'</i>	Hummingbird Summersweet	BB
COI	18	36"	<i>Cornus sericea 'Ivory'</i>	Ivory Redstart Dogwood	BB
HFL	20	36"	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	BB
HQJ	1	36"	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	BB
JCS	23	24"	<i>Juniperus chinensis var. 'sargentii'</i>	Sargent Juniper	BB
JCS	23	24"	<i>Juniperus chinensis 'Meyer's Compact'</i>	Meyer's Compact Juniper	BB
RHG	128	24"	<i>Rhus ornamentalis 'Ice-Low'</i>	Ice-Low Fragrant Sumac	BB
TMD	25	24"	<i>Taxus media 'Deniformis'</i>	Denise Yew	BB
VD	54	48"	<i>Viburnum dentatum 'Autumn Jazz'</i>	Autumn Jazz Viburnum	BB
Perennials and Ornamental Grasses					
ALL	48	#1	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium	Container
BER	18	#1	<i>Bergenia cordifolia 'Winter Glow'</i>	Winter Glow Bergenia	Container
BER	18	#1	<i>Bergenia cordifolia 'Winter Glow'</i>	Winter Glow Bergenia	Container
CMK	59	#1	<i>Celestargrass caudiflora 'Karl Foerster'</i>	Foerster Reed Grass	Container
FSM	54	#1	<i>Festuca ovina</i>	Sheep Grass	Container
SCH	73	#1	<i>Schizachyrium scoparium</i>	Little Bluestem	Container
SPO	76	#1	<i>Sporobolus heterolepis</i>	Prairie Dropseed	Container

Note: Existing trees designated to remain are counted toward zoning requirements.

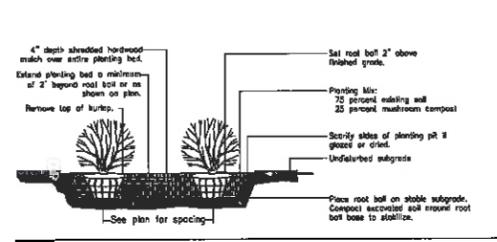


Deciduous Tree Planting

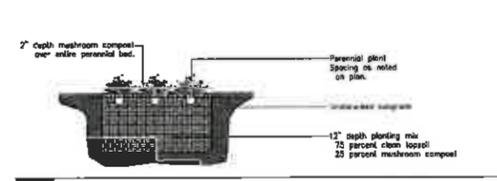
Evergreen Tree Planting



Shrub Planting



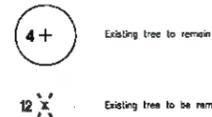
Perennial Planting



Landscape Notes

- General Notes**
- The Landscape Contractor shall verify locations of all underground utilities prior to digging and is required to contact JLL&E (1.800.892.0123) and any other public or private agency necessary for utility location, 48 hours prior to construction.
 - The Contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction Manager and the Village of Wilmette, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction Manager and/or Owner before any changes are executed.
 - No plants are to be changed or substituted without the approval of the Landscape Architect and the Village of Wilmette.
 - All necessary site work permits and licenses shall be obtained and paid for by the Contractor prior to the commencement of work.
- Planting Notes**
- Plant material sizing, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
 - Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plants that represent minimum requirements.
 - All plant material shall be inspected and approved by the Owner, or the Owner's representative prior to installation. Undersized or substituted plant material will not be approved by the Village of Wilmette.
 - All areas not shown as plantings shall be restored and seed or soiled as noted.
 - Contractor shall fine grade all landscaped areas to within 0.05' of finished grade.
 - All beds and tree rings shall be spade edged upon final placement of sod.
 - Contractor shall remove all tubes, logs or rope from all plant material before final completion of the work.
 - Contractor shall supply an initial watering of all plant material after placement in ground.
- Parkway Tree Notes**
- Trees shall be planted to avoid utility conflicts in the parkway.
 - Trees shall be set back a minimum of ten feet (10') horizontally from utility structures, including, but not limited to, manholes, valve vaults, water boxes, fire hydrants, transformers and switch boxes. Approval by the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
 - Areas disturbed within the parkway shall be restored and seeded.
 - Per the Village of Wilmette requirements, the owner shall irrigate the parkway (R.O.W.) along Frontage Road. Separately, an irrigation plan shall be submitted to the Village for review prior to approval of a project permit.

Tree Key



Tree Condition Rating

RATING	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not entirely latent to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insects, disease or other problems that can be similarly latent to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
5	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
6	Dead	Less than 10% of the tree shows signs of life.

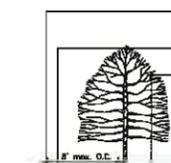
Tree Inventory

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	12"	Thuja occidentalis	Red Cedar	3/3	To remain/Off-site
2	14", 16"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
3	10"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
4	13"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
5	14"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
6	12"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
7	4"	Acer negundo	Boxelder	3/3	To remain/Off-site
8	15"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
9	6"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
10	12"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
11	6"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
12	13", 15"	Populus deltoides	Cottonwood	3/3	Remove
13	6"	Populus deltoides	Cottonwood	3/3	Remove
14	10"	Populus deltoides	Cottonwood	3/3	Remove
15	6"	Populus deltoides	Cottonwood	3/3	Remove
16	4", 7", 7", 7"	Populus deltoides	Cottonwood	3/3	Remove
17	11"	Populus deltoides	Cottonwood	3/3	Remove
18	8"	Populus deltoides	Cottonwood	3/3	Remove
19	16"	Populus deltoides	Cottonwood	3/3	Remove
20	6"	Populus deltoides	Cottonwood	3/3	Remove
21	6", 10"	Populus deltoides	Cottonwood	3/3	Remove
22	6"	Populus deltoides	Cottonwood	3/3	Remove
23	13"	Populus deltoides	Cottonwood	3/3	Remove
24	4"	Populus deltoides	Cottonwood	3/3	Remove
25	5", 7", 7", 8"	Populus deltoides	Cottonwood	3/3	Remove
26	5"	Populus deltoides	Cottonwood	3/3	Remove
27	11"	Populus deltoides	Cottonwood	3/3	Remove
28	12"	Populus deltoides	Cottonwood	3/3	Remove
29	9"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
30	10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
31	11"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
32	10"	Abies concolor	White Fir	2/2	To remain/Off-site
33	8"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
34	9"	Picea obesa	Norway Spruce	3/3	To remain/Off-site
35	10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
36	6"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
37	10"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38	8"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
38a	15"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38b	17", 17"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38c	14"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
40	13"	Populus deltoides	Cottonwood	3/3	Remove
41	10", 10"	Populus deltoides	Cottonwood	3/3	Remove
42	7"	Populus deltoides	Cottonwood	3/3	Remove
43	11"	Ulmus americana	American Elm	3/3	Remove/Off-site
44	22"	Populus deltoides	Cottonwood	3/3	Remove
45	16", 17"	Populus deltoides	Cottonwood	3/3	To remain

Tree Inventory Date: November 1, 2016

Tree Preservation Notes

- The owner or his/her designee shall be responsible for construction and maintenance of temporary fencing, or other tree protection measures, to be used during construction.
- The Village of Willowbrook shall be notified of any failure to protect existing trees during construction on existing trees were counted toward the zoning requirement for landscaping.
- Grading and construction equipment shall be forbidden from encroaching within the drip line of a tree.
- No construction activity, movement, and/or placement of equipment or materials or spills storage shall be permitted within the critical root zone of a protected tree or of any higher location where drainage toward the tree could conceivably affect the health of the tree. No excess soil, additional fill, liquids or construction debris shall be placed within the critical root zone of a protected tree.
- No attachments, fences, wires, other than those approved for bracing, cutting or wrapping, shall be attached to trees during the construction period.
- Grade changes shall be allowed under the drip line of any trees designated for preservation only if tree trunks and branches are protected when construction must occur within the drip line areas.



Detail Tree Protection Fencing

Metal fence posts - Secure fence to stake with wire in minimum two locations.

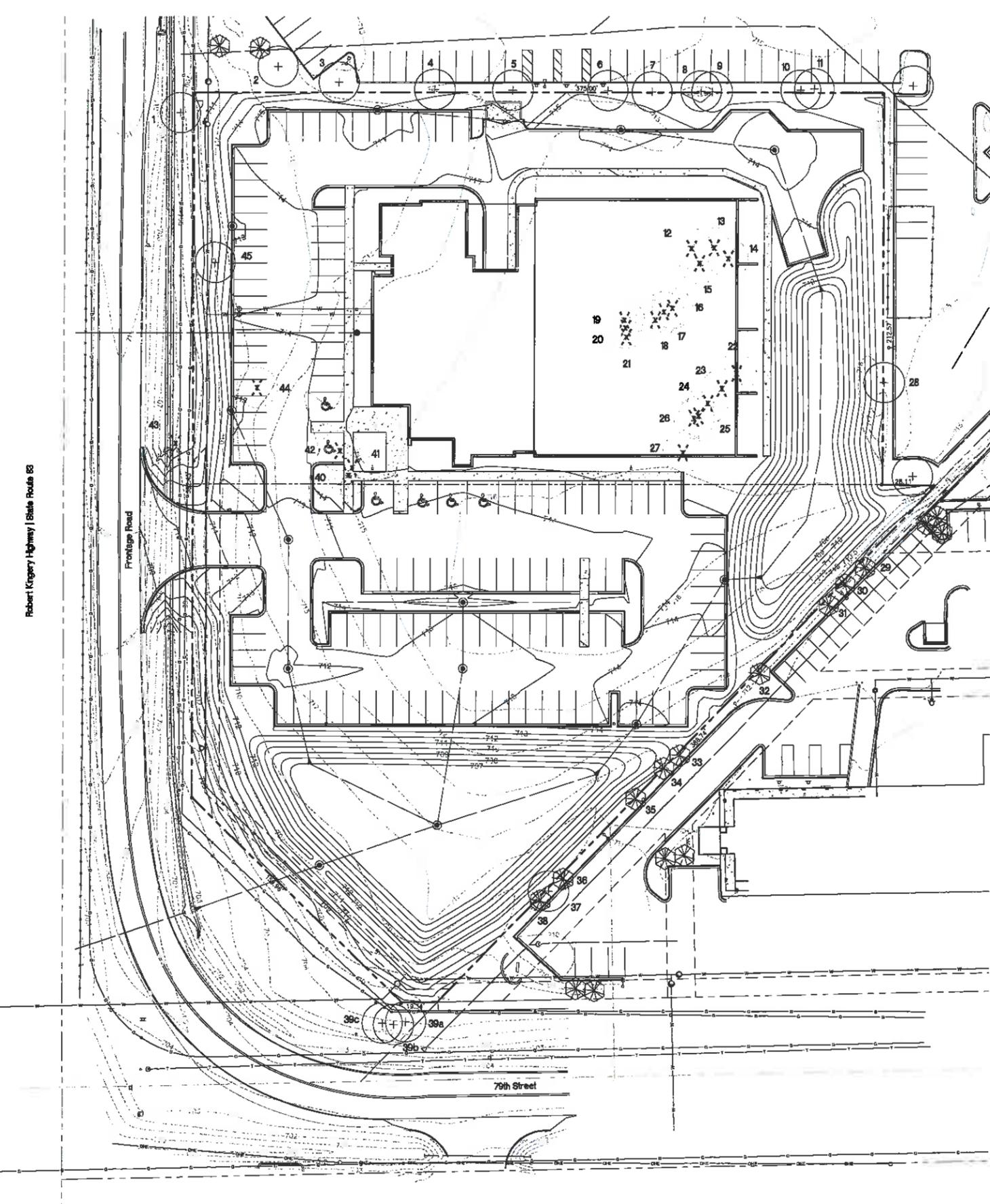
*Fence 4" 4" orange plastic safety fence

Fence at drip line of existing trees to remain or all edge of proposed improvement

NOTE:
After trees are safely fenced, nothing is to be rolled, cut, drilled, stored, or disturbed inside the fence.

Remove protective fence only after all construction work has been finished.

All tree protection fencing shall be installed prior to any site work.



Robert Krigery Highway | State Route 83

The Chicago Gun Club

79th Street & Frontage Road
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

350 N. Milwaukee Avenue | Libertyville, Illinois 60089
T 847.382.2200 | F 847.382.2204



Tree Inventory

Mark	Description	Date
4	Village Review Comments	04.18.17
3	Village Review Comments	03.15.17
2	Site Plan Modification	01.04.17
1	For Review	12.30.16

Number 458916

Scale 1" = 30'

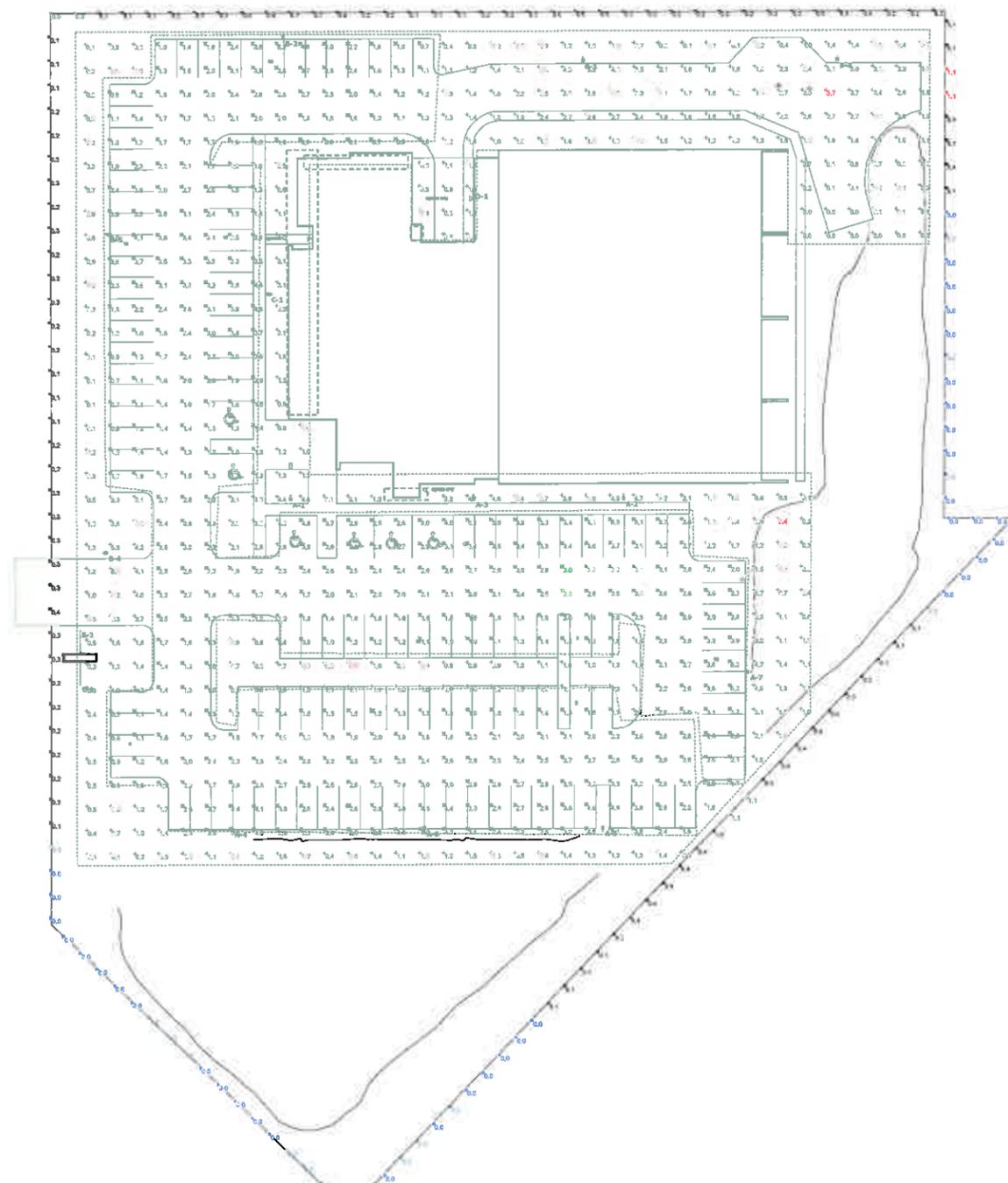
File 458916PSA

Sheet L20

Zone	Area	Lighting	Fixture	Quantity	Power	Efficiency	Notes
A	7	Ultraviolet Lighting	DSX1 LED 60C 700 40K T4H HVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1_LED_60C_700_40K_T4H_HVOLT.dwg 15237 0.95 131
B	5	Ultraviolet Lighting	DSX1 LED 60C 700 40K T3H HVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1_LED_60C_700_40K_T3H_HVOLT_HS.dwg 32726 0.95 131
C	1	Ultraviolet Lighting	DSX1 LED 60C 700 40K T3H HVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSX1_LED_60C_700_40K_T3H_HVOLT.dwg 16020 0.95 131
D	1	Ultraviolet Lighting	DSXW1 LED 10C 530 40K T3H HVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3H OPTIC, 4000K, @ 530mA	LED	1	DSXW1_LED_10C_530_40K_T3H_HVOLT.dwg 2159 0.95 19.1
E	2	Ultraviolet Lighting	DSXP1 LED P2 30K KHF	DSXP1 LED P2 30K KHF	LED	1	DSXP1_LED_P2_30K_KHF.dwg Absolute 0.95 42

Calc Zone Entire Area	2.0 ac	5.3 ft	10.0 ft	N/A	N/A
Calc Zone Parking Area only	2.4 ac	5.3 ft	0.7 ft	2.6 ft	3.4 ft
Calc Zone Property Line	0.2 ac	1.1 ft	0.0 ft	N/A	N/A
Calc Zone Sign Face	9.1 ac	15.7 ft	0.6 ft	32.8 ft	15.2 ft

Zone	Area	Lighting	Fixture	Quantity	Power	Efficiency	Notes
1	A	-62.25	38.00	20.00	180.00	0.00	
2	A	-47.75	38.00	20.00	180.00	0.00	
3	A	-15.25	38.00	20.00	180.00	0.00	
4	A	-117.00	-103.00	20.00	0.00	0.00	
5	A	39.00	-103.00	20.00	0.00	0.00	
6	A	-36.00	-103.00	20.00	0.00	0.00	
7	A	101.00	-36.50	20.00	270.00	0.00	
1	B	30.50	231.75	20.00	180.00	0.00	
2	B	-95.00	231.75	20.00	180.00	0.00	
3	B	137.00	223.00	20.00	180.00	0.00	
4	B	-171.00	74.25	20.00	90.00	0.00	
5	B	-170.00	148.00	20.00	90.00	0.00	
1	C	-100.00	122.75	20.00	270.00	0.00	
1	D	-15.25	166.00	15.00	270.00	0.00	
1	E	-180.00	-41.00	0.50	0.00	136.48	
2	E	-180.00	-28.70	0.50	180.00	136.48	



Plan View
Scale - 1" = 30'

D-Series Size 1 LED Flood Luminaire

Technical specifications and notes for the D-Series Size 1 LED Flood Luminaire, including dimensions, mounting options, and performance metrics.

D-Series Size 1 LED Flood Luminaire

Technical specifications and notes for the D-Series Size 1 LED Flood Luminaire, including dimensions, mounting options, and performance metrics.

LITHONIA LIGHTING

FORMULA SPECIFICATIONS

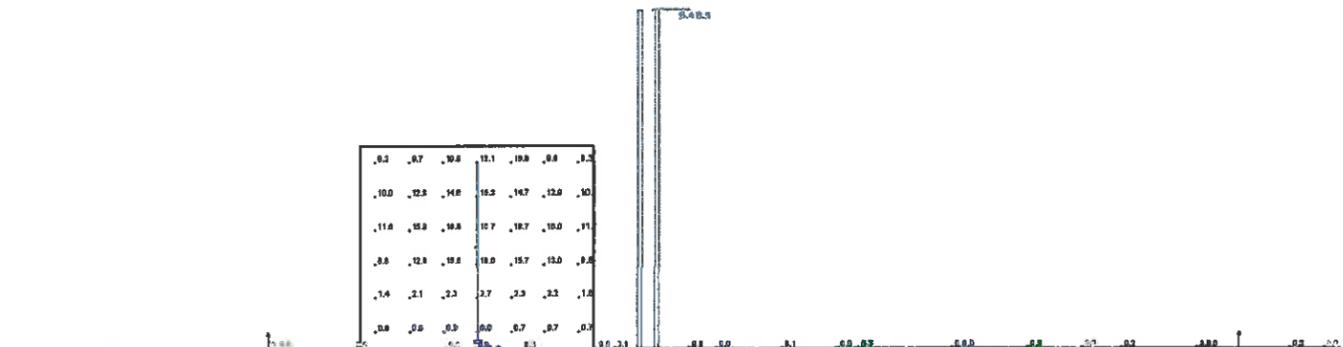
SSS

Technical specifications and notes for the LITHONIA LIGHTING FORMULA SPECIFICATIONS, including product details and performance data.

Zone	Area	Lighting	Fixture	Quantity	Power (W)	Current (A)	Voltage (V)	Power Factor	Notes
A	7	Lithonia Lighting	DSX1 LED 60C 700 40K T4M HVOLT	1	16237	0.95	131		
B	5	Lithonia Lighting	DSX1 LED 60C 700 40K T3M HVOLT HS	1	12726	0.95	131		
C	1	Lithonia Lighting	DSX1 LED 60C 700 40K T3M HVOLT	1	16020	0.95	131		
D	1	Lithonia Lighting	DSXW1 LED 80C 530 40K T3M HVOLT	1	2159	0.95	19.1		
E	2	Lithonia Lighting	DSX1 LED P2 30K HNF	1	AbsorLee	0.95	42		

Calc Zone	Area	Perimeter	Volume	Area Ratio	Perimeter Ratio	Volume Ratio
Calc Zone Entire Area	38.00	13.00	0.00	N/A	N/A	
Calc Zone Parking Area only	38.00	13.00	0.00	7.6:1	3.4:1	
Calc Zone Property Line	1.00	0.00	0.00	N/A	N/A	
Calc Zone Sign Face	1.70	0.60	0.00	32.8:1	15.2:1	

Zone	Area	Perimeter	Volume	Area Ratio	Perimeter Ratio	Volume Ratio
1 A	-92.25	38.00	20.00	180.00	0.00	
2 A	-42.75	38.00	20.00	180.00	0.00	
3 A	-15.25	38.00	20.00	180.00	0.00	
4 A	-117.00	-103.00	20.00	0.00	0.00	
5 A	38.00	-103.00	20.00	0.00	0.00	
6 A	-36.00	-103.00	20.00	0.00	0.00	
7 A	101.00	-36.50	20.00	270.00	0.00	
1 B	30.50	221.75	20.00	180.00	0.00	
2 B	-95.00	221.75	20.00	180.00	0.00	
3 B	137.00	222.00	20.00	180.00	0.00	
4 B	-171.00	14.25	20.00	90.00	0.00	
5 B	-170.00	148.00	20.00	90.00	0.00	
1 C	-100.00	122.75	20.00	270.00	0.00	
1 D	-15.25	166.00	15.00	270.00	0.00	
1 E	-180.00	-41.00	0.50	0.00	136.40	
2 E	-180.00	-18.30	0.50	180.00	136.40	



D-Series Size 1 LED Flood Luminaire

Specifications:

- Power: 16237 W
- Current: 0.95 A
- Voltage: 131 V

D-Series Size 1 LED Area Luminaire

Specifications:

- Power: 12726 W
- Current: 0.95 A
- Voltage: 131 V

LITHONIA LIGHTING

SSS

Specifications:

- Power: 2159 W
- Current: 0.95 A
- Voltage: 19.1 V

Model	Quantity	Item Description	Manufacturer	Part Number	Notes	Quantity	Unit Price	Total Price	
A	7	Lithonia Lighting DSXL LED 60C 700 40K T3M HVOLT	Lithonia Lighting	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	18237	0.95	131
B	5	Lithonia Lighting DSXL LED 60C 700 40K T3M HVOLT HS	Lithonia Lighting	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	12726	0.95	131
C	1	Lithonia Lighting DSXL LED 60C 700 40K T3M HVOLT	Lithonia Lighting	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	18020	0.95	131
D	1	Lithonia Lighting DSXFL LED P1 30K 10K T3M HVOLT	Lithonia Lighting	DSXFL LED WITH 10 LED LIGHT ENGINEER, TYPE 3M OPTIC, 4000K, @ 530mA.	LED	1	2159	0.95	19.1
E	2	Lithonia Lighting DSXFL LED P2 30K 10K HV	Lithonia Lighting	DSXFL LED P2 30K 10K HV	LED	1	Absolute	0.95	42



D-Series Size 1 LED Flood Luminaire

Specifications

SPH: 54°

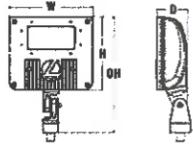
Depth: 1.10"

Width: 1.10"

Height: 1.10"

Overall Height: 1.10"

Weight: 0.15 lbs



Quantity: _____

Part Number: _____

Notes: _____

Introduction

The D-Series Size 1 Flood features precision optics to beautifully illuminate a variety of applications while its sleek, compact styling blends seamlessly with the environment.

The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce excellent uniformity combined with precision beam patterns for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 70-150W metal halide floods, with typical energy savings of 72% and expected service life of over 100,000 hours.



D-Series Size 1 LED Area Luminaire

Specifications

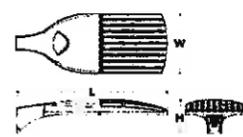
SPH: 54°

Length: 5.4"

Width: 1.10"

Height: 1.10"

Weight: 0.27 lbs



Quantity: _____

Part Number: _____

Notes: _____

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXL LED 60C 1000 40K T3M HVOLT SPA DBXDB

Code	Description	Value	Code	Description	Value	Code	Description	Value
DSXL	Flood optics	60C	1000	LED	1000	40K	T3M	HVOLT
SPA	Finish	DBXDB						

Ordering Information

EXAMPLE: DSXFL LED P1 40K 10K HVOLT THK DBXDB

Code	Description	Value	Code	Description	Value	Code	Description	Value
DSXFL	Flood optics	P1	40K	10K	10K	HVOLT	THK	DBXDB

Accessories

Code	Description	Value	Code	Description	Value
DSXFL LED P1 40K 10K HVOLT THK DBXDB	DSXFL LED P1 40K 10K HVOLT THK DBXDB	2159	DSXFL LED P2 30K 10K HV	DSXFL LED P2 30K 10K HV	Absolute

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800.229.6931 • Fax 770.499.1414

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTRODUCTION - Superior bright, uniform illumination from 100% LED technology. The pole luminaire is designed for long life, low maintenance and easy installation.

CONSTRUCTION - Fully Die-Cast Aluminum housing and trim with stainless steel fasteners. The pole luminaire is constructed with a high quality, corrosion resistant, powder coated aluminum housing. The luminaire is constructed with a high quality, corrosion resistant, powder coated aluminum housing. The luminaire is constructed with a high quality, corrosion resistant, powder coated aluminum housing.

INSTALLATION - The luminaire is designed for easy installation. The luminaire is designed for easy installation. The luminaire is designed for easy installation.



EXAMPLE: SSS 20 SCCR19 DBX

Code	Description	Value	Code	Description	Value
SSS	Anchor Base Pole	SSS	SSS	SSS	SSS

Controls & Shields

DSXFL LED P1 40K 10K HVOLT THK DBXDB

DSXFL LED P2 30K 10K HV

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800.229.6931 • Fax 770.499.1414

**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, bidding, permit, or construction purposes.
Approved: _____
Arch. Reg. No.: _____
Date: 03/02/17

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

1002

DATE

MAR. 10, 2017

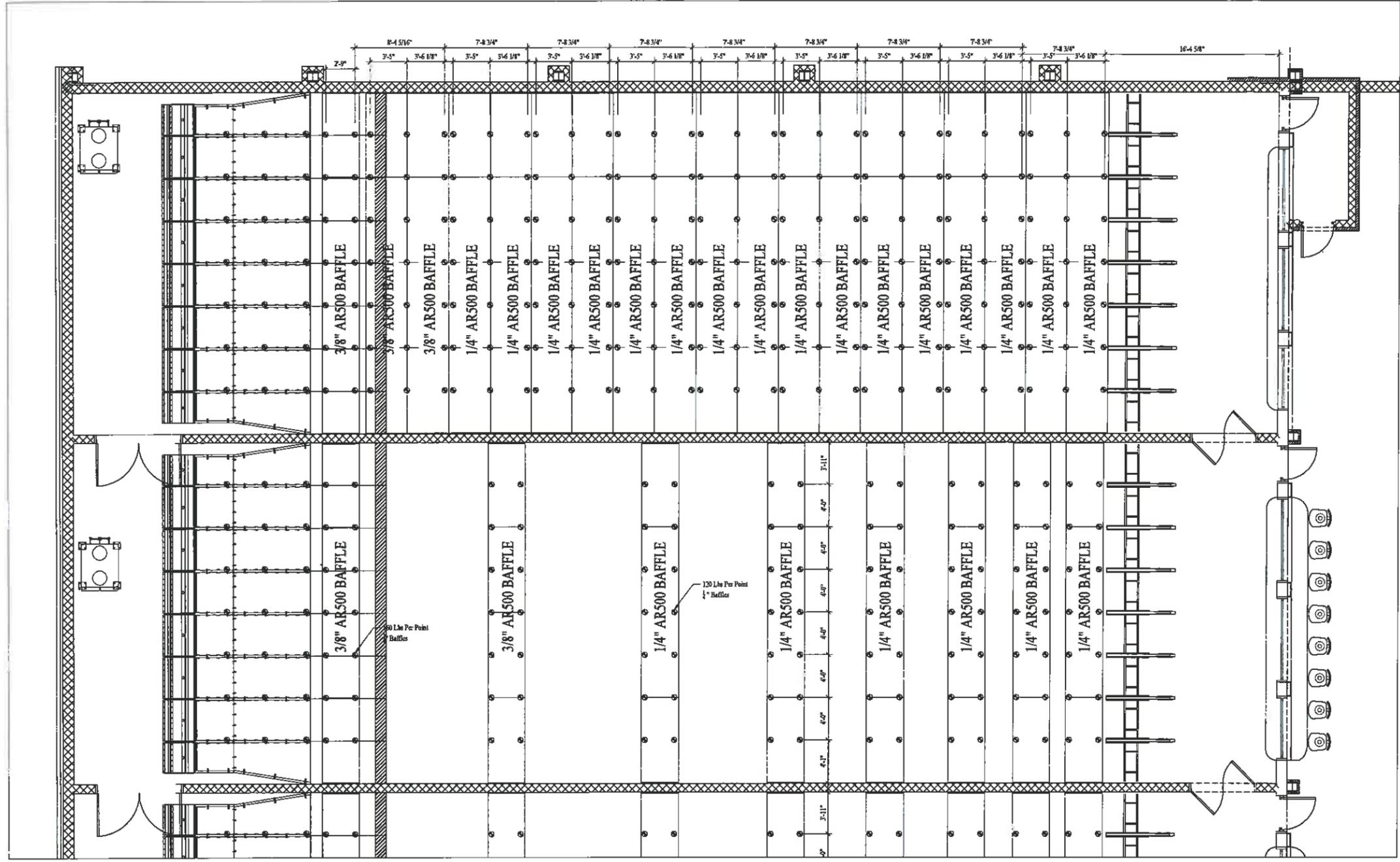
ISSUE

SHEET TITLE

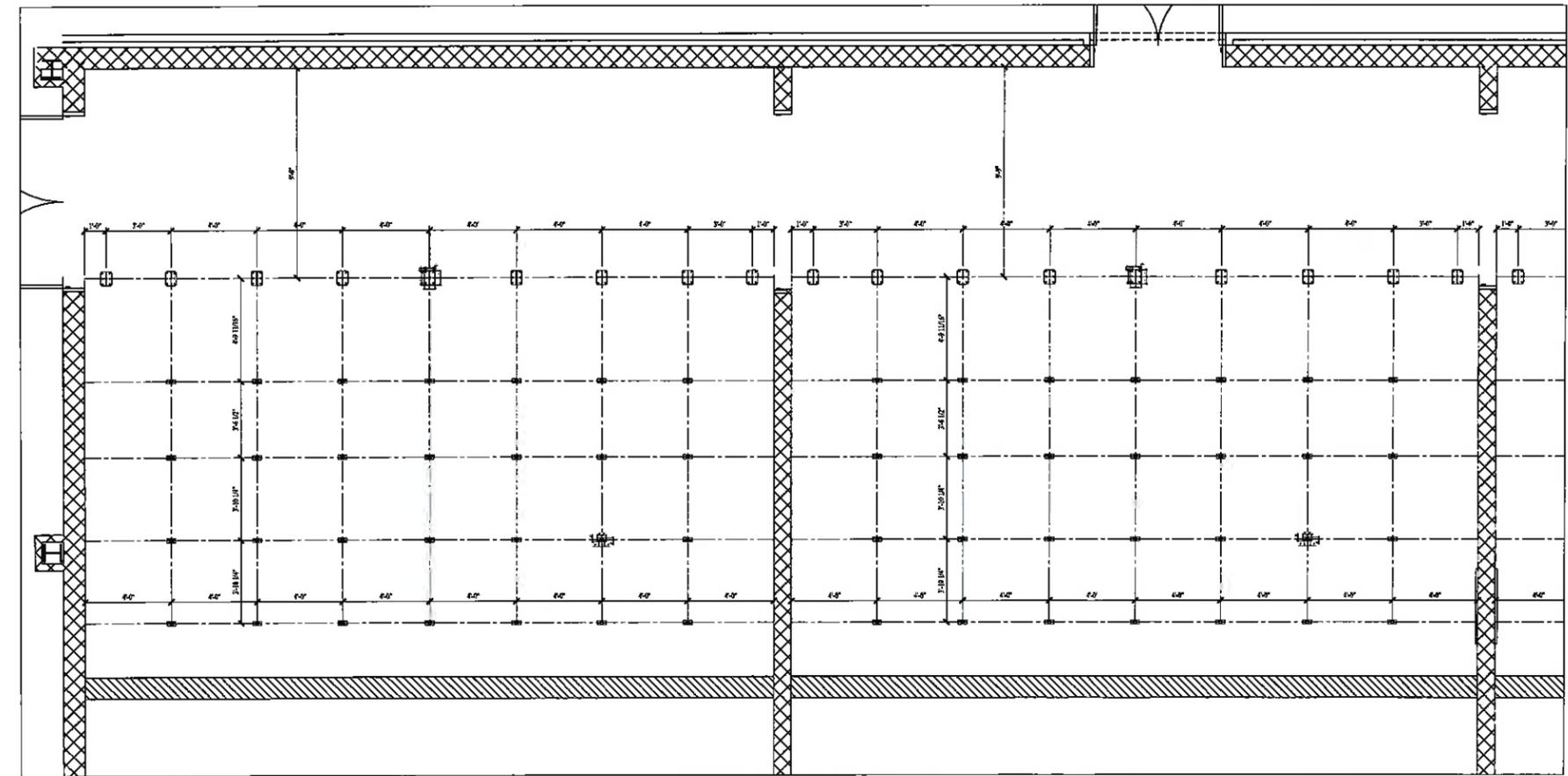
RANGE PLAN

SHEET NO.

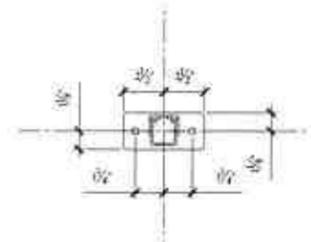
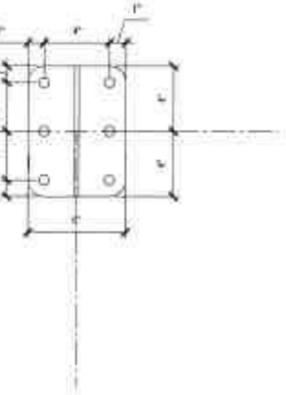
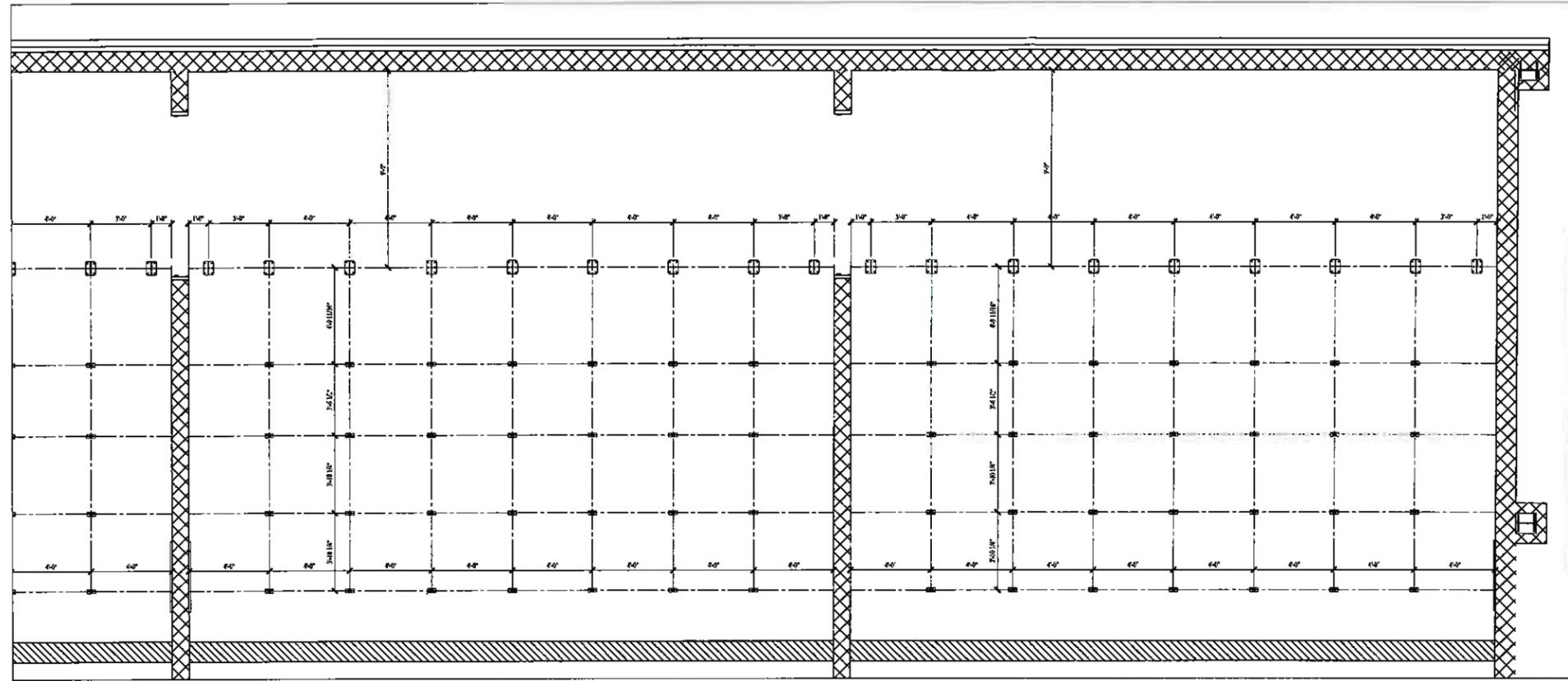
A1.22



ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE SHOWN TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED.
 DATE: 10/10/17
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES



01 OVERALL PLAN



FUSION
TARGETS

RANGE EQUIPMENT
FUSION TARGETS #10
11215 146th St
Burien, OR 97149

**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

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This document is for review only and is not to be used for construction. It is subject to change without notice. All dimensions are in feet and inches. All dimensions are to the center of the member unless otherwise noted. All dimensions are in feet and inches. All dimensions are to the center of the member unless otherwise noted.

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

ISSUE

SHEET TITLE

TRAP FOOTPRINT

SHEET NO.

A1.03

**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT:
CHICAGO GUN CLUB
11/17/14

OWNER'S CONSULTANT:
CHICAGO GUN CLUB
11/17/14

DESIGN REVIEW ONLY
11/17/14

KEY PLAN

REVISION

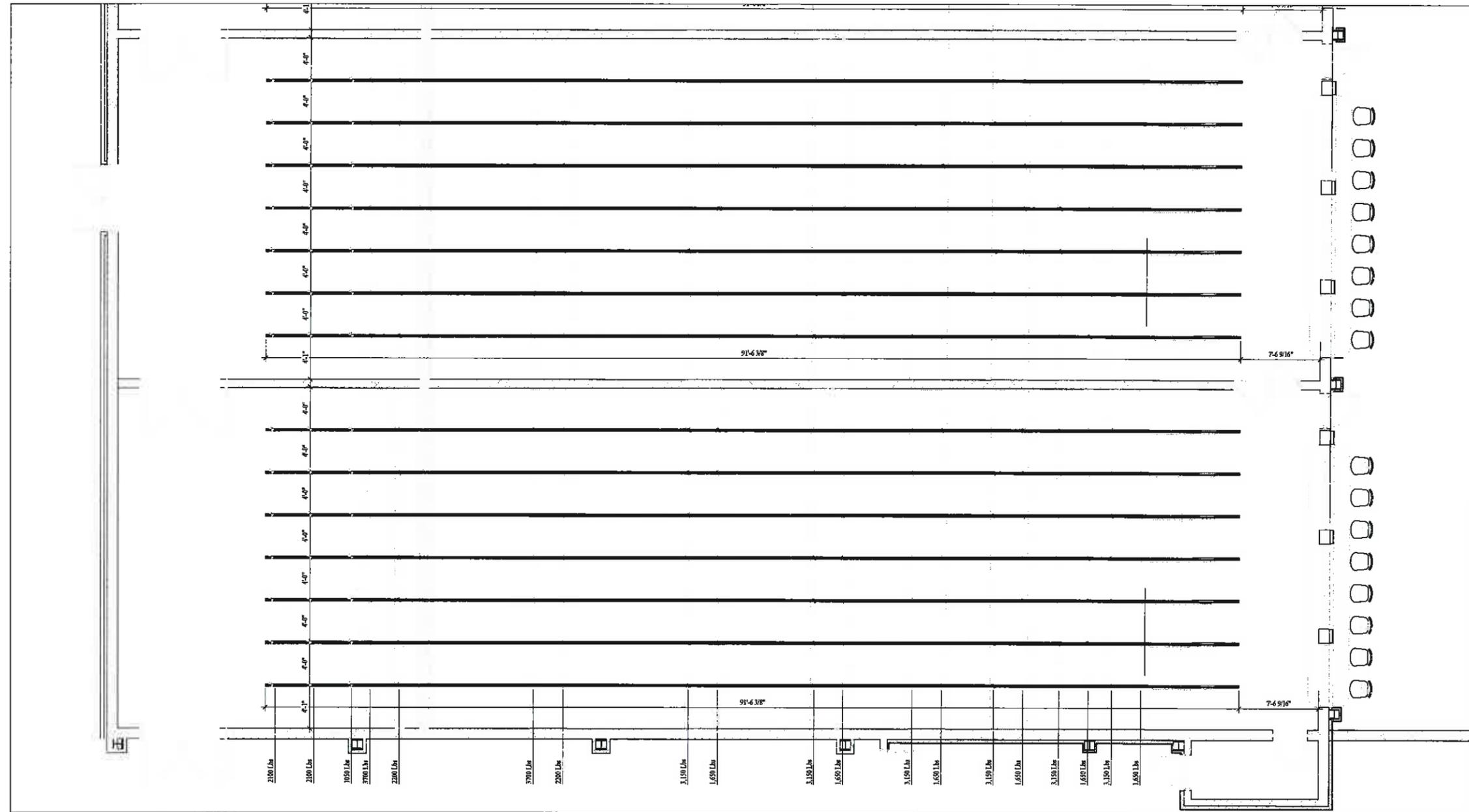
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1002

DATE
MAY 10, 2015

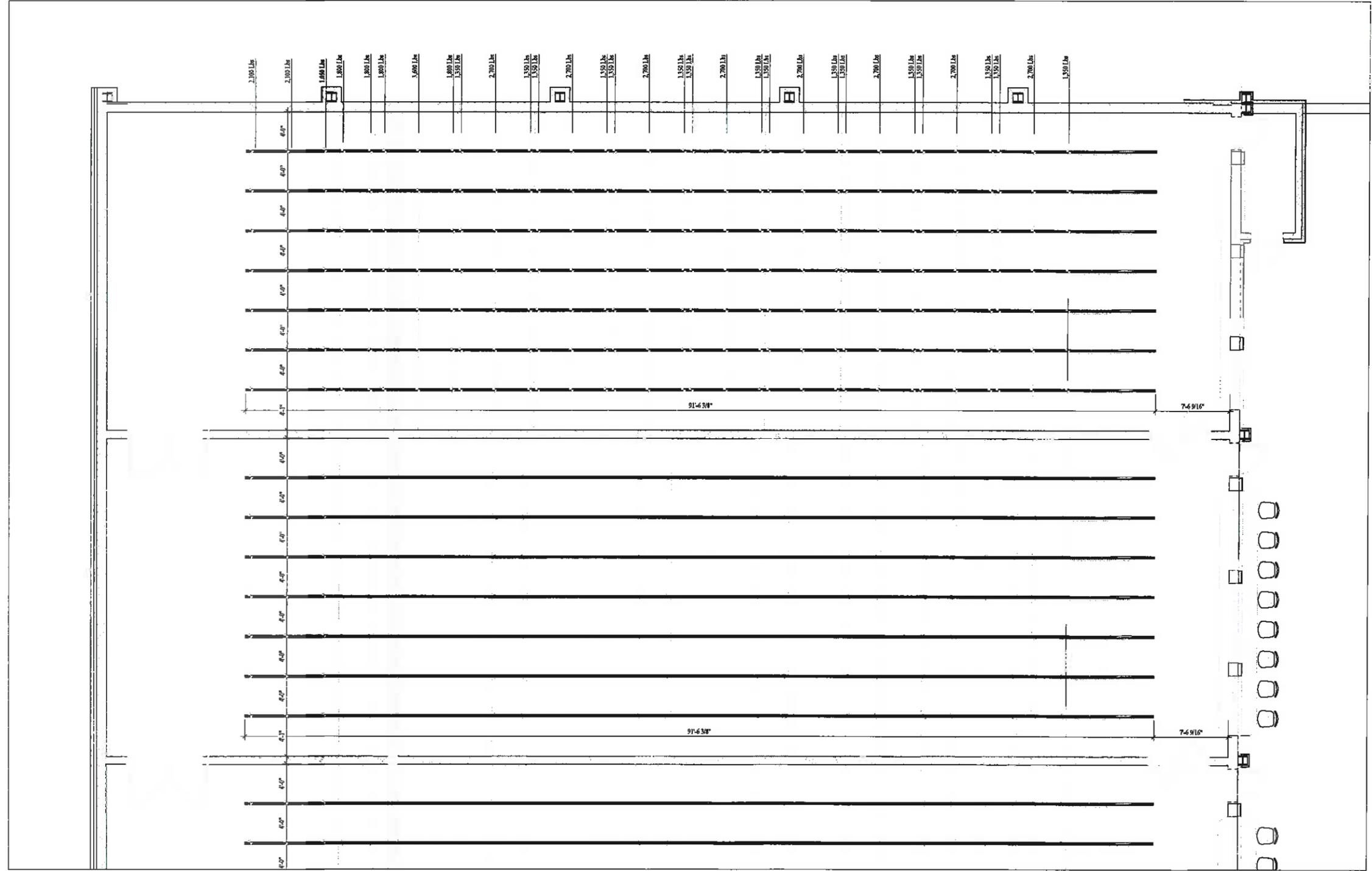
ISSUE

SHEET TITLE

SECTIONS AND KEY PLAN



**Chicago Gun Club
Shooting Range**



OWNER'S CONSULTANT

OWNER'S CONSULTANT

INTERIM REVIEW ONLY

KEY PLAN

REVISION

REVISION

REVISION

REVISION

REVISION

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAY 10, 2011

ISSUE

ISSUE

RANGE ANGLE PLAN

RANGE EQUIPMENT
FUSION TARGETS INC.
1187 S 140 W
Orem, Utah 84058

Chicago Gun Club Shooting Range

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

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Revised: _____
Arch. Reg. No.: _____
Date: 03-22-2017

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

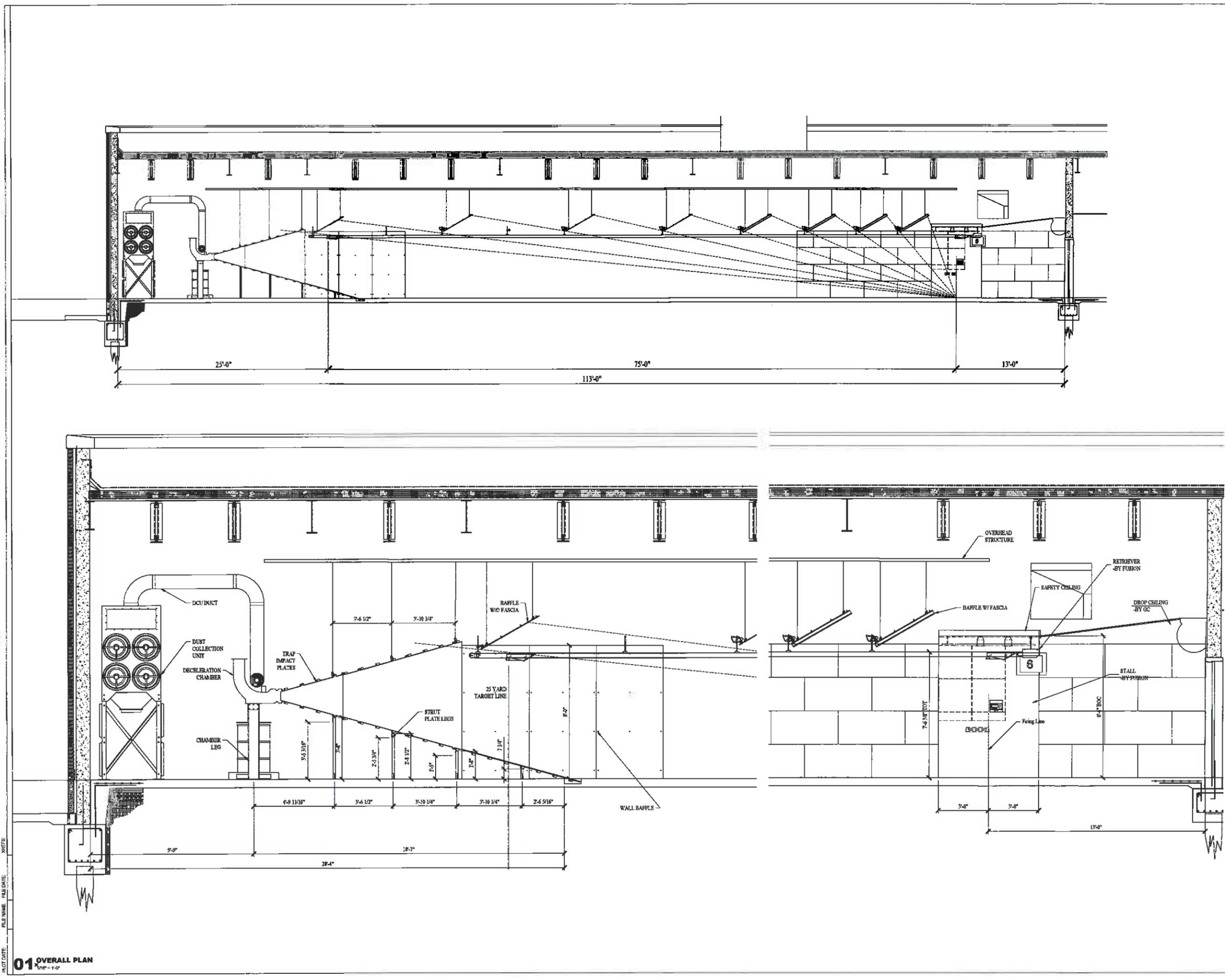
ISSUE

SHEET TITLE

RANGE SECTION

SHEET NO

A2.01



PROJECT: CHICAGO GUN CLUB SHOOTING RANGE
 SHEET: A2.01 RANGE SECTION
 DATE: 03-22-2017
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT LOCATION: 1187 S 140 W, OREM, UT 84058

Chicago Gun Club Shooting Range

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

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Project: Chicago Gun Club Shooting Range
Arch. No.: 1002
Date: 03/10/2017

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

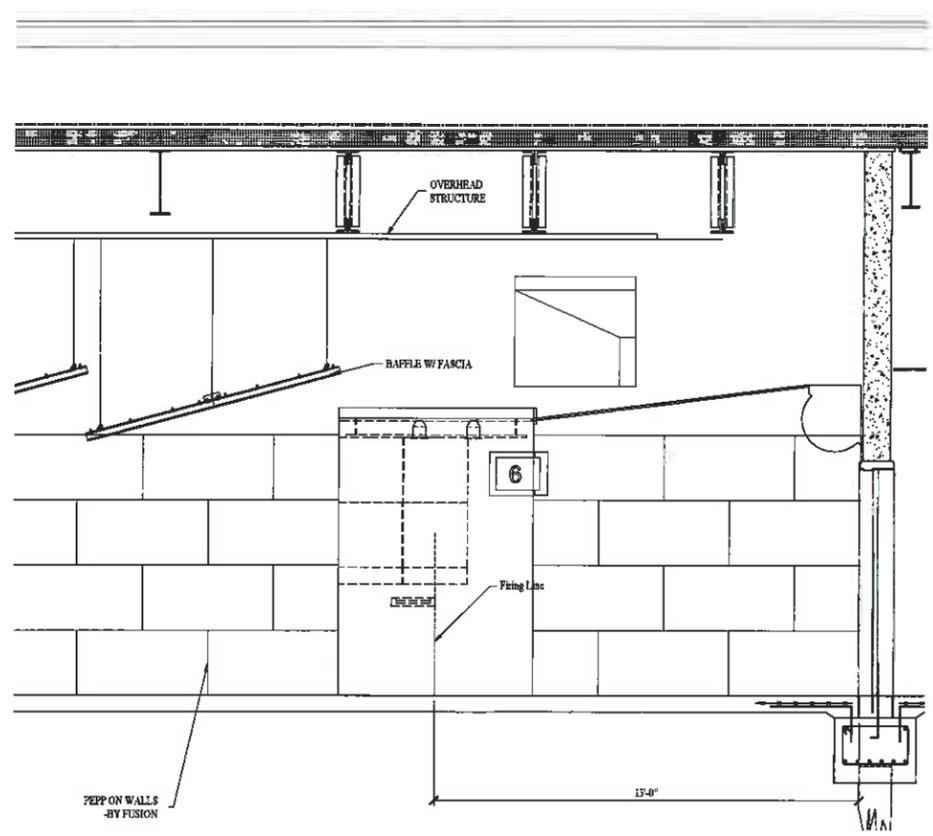
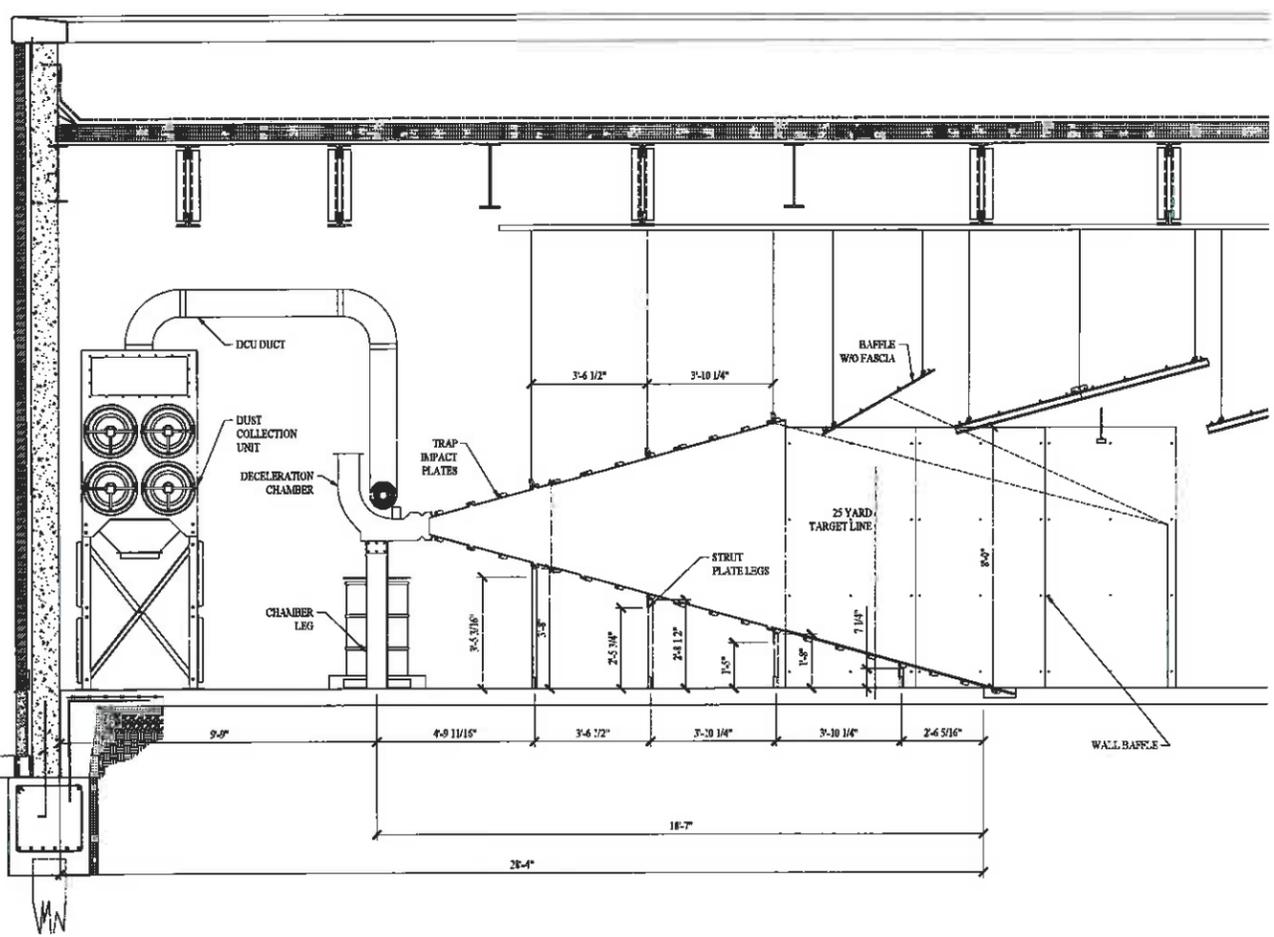
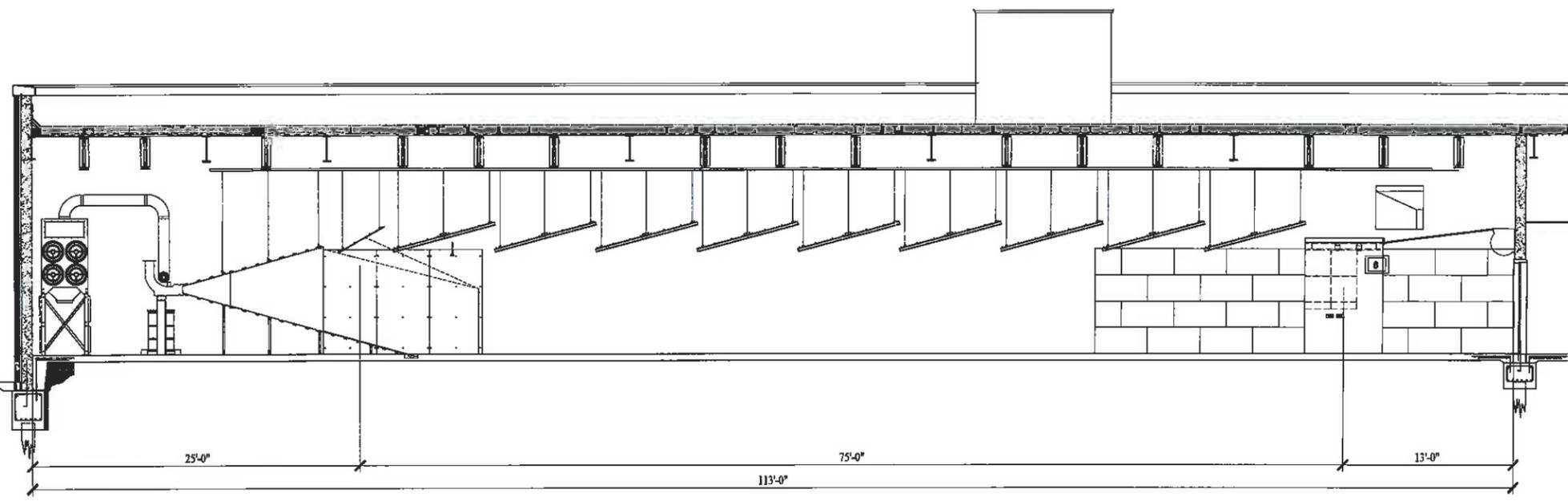
ISSUE

SHEET TITLE

RANGE SECTION

SHEET NO.

A2.21



01 OVERALL PLAN
1/8" = 1'-0"

**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
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Architect: _____
Arch. Reg. No.: _____
Date: 03/20/17

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE:
MAR. 10, 2017

ISSUE

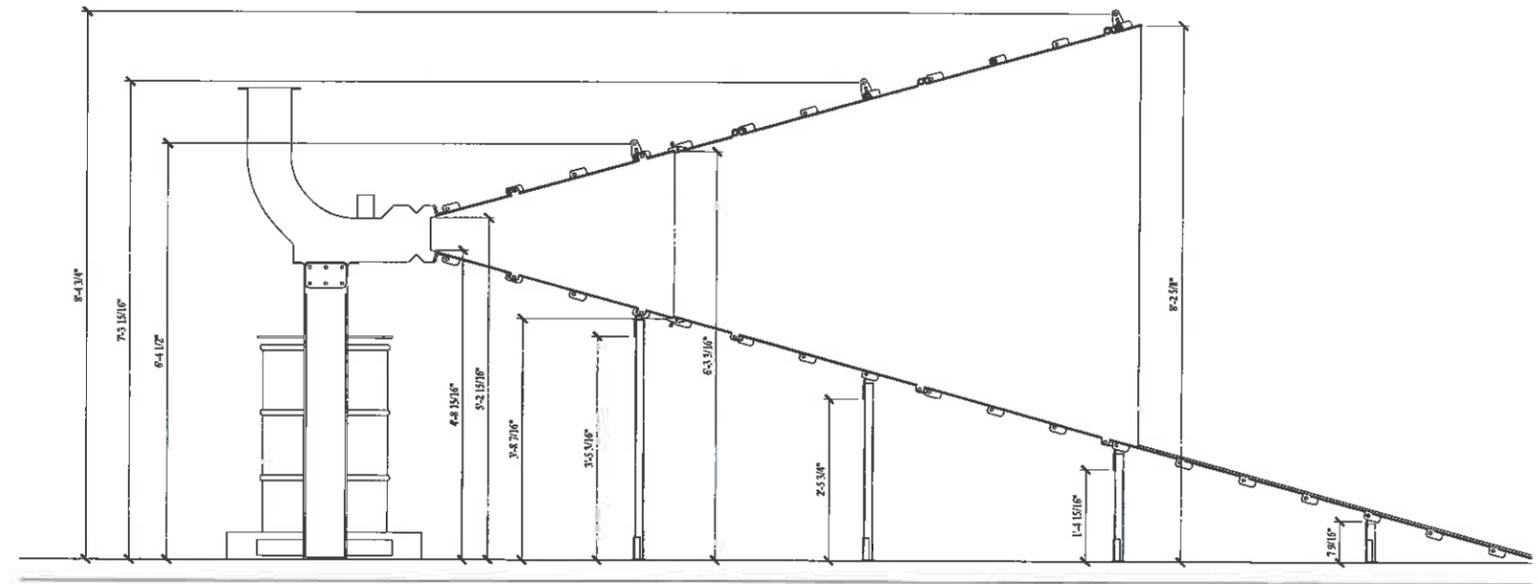
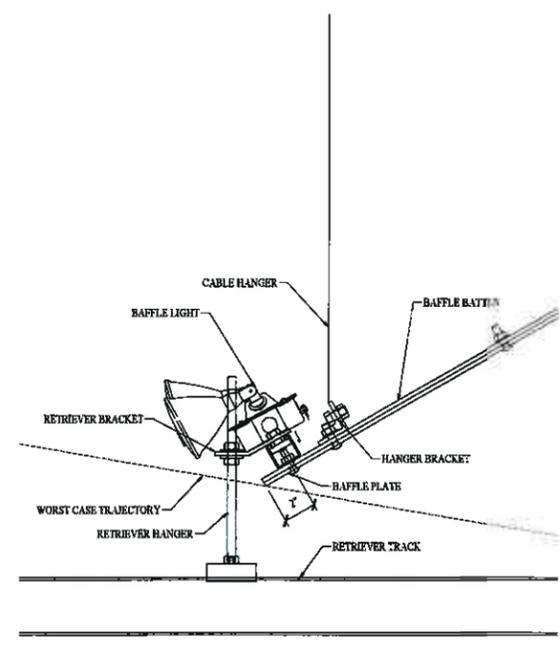
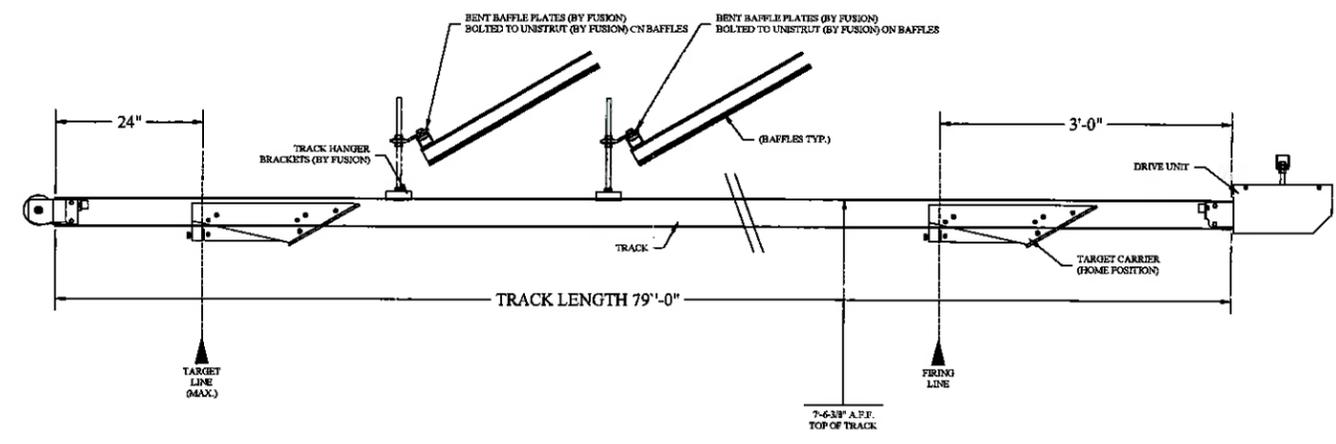
SHEET TITLE

RANGE DETAILS

SHEET NO.

A2.02

NOTE: SPACING BETWEEN
TRACK HANGING POINTS
MUST NOT EXCEED 12'-0"



RANGE EQUIPMENT
FUSION TARGETS INC.
157 S 140 W
Ogden, Utah 84405

Chicago Gun Club Shooting Range

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are preliminary, and are intended for review only and are not intended for regulatory approval, bidding, permit, or construction purposes.
Author: J. Mack
Rev. No: 1
Date: 03/05/20

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

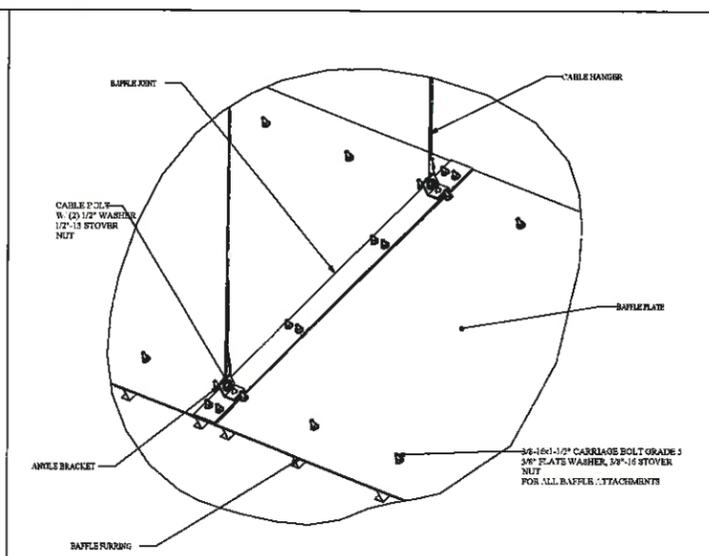
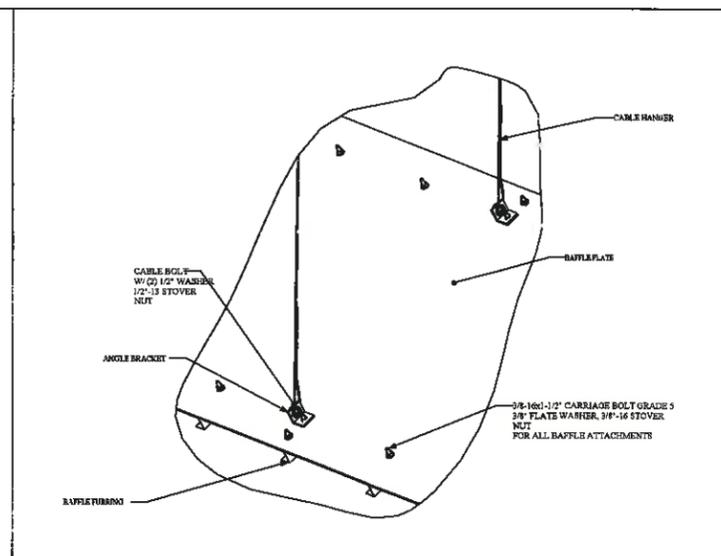
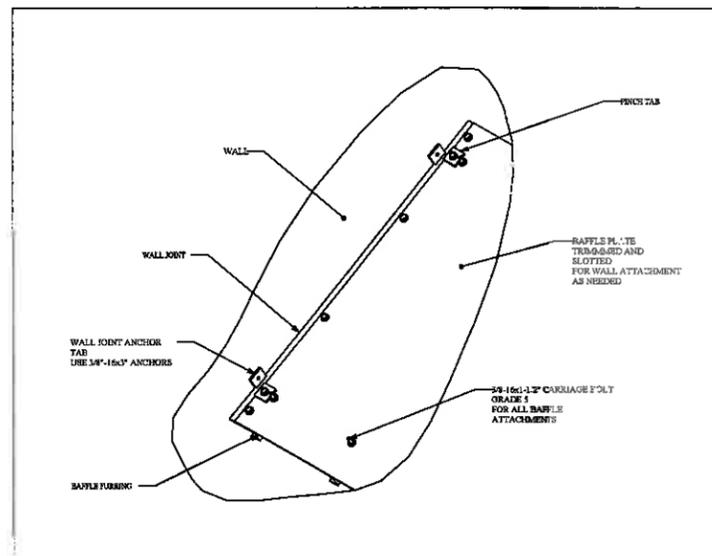
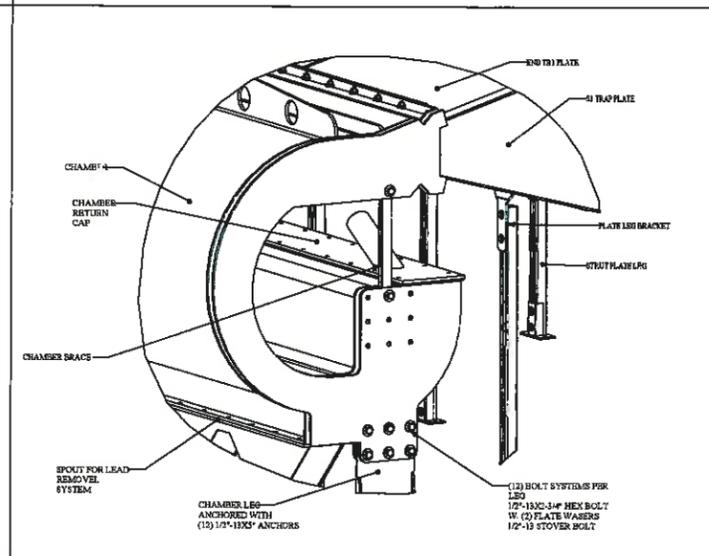
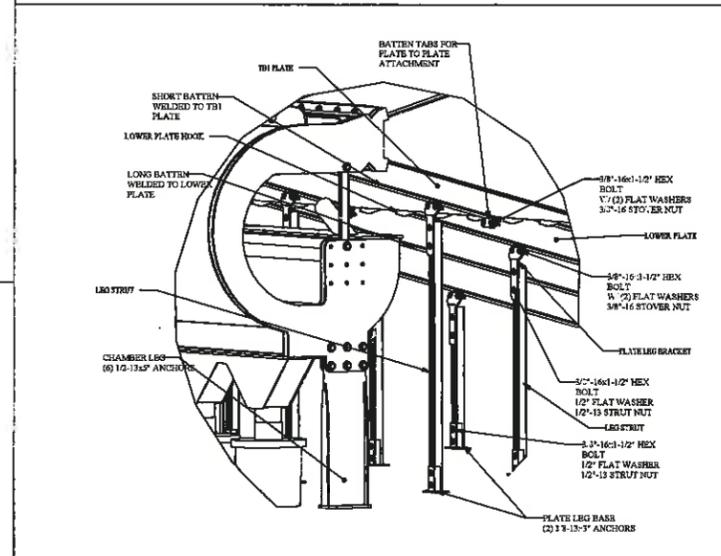
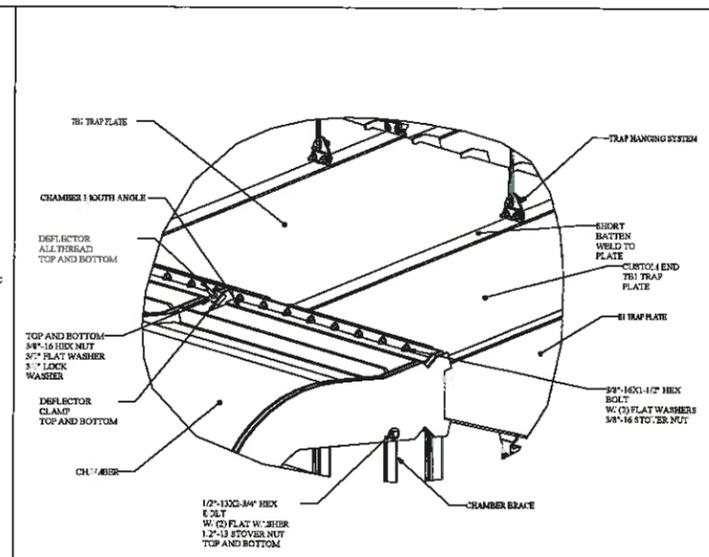
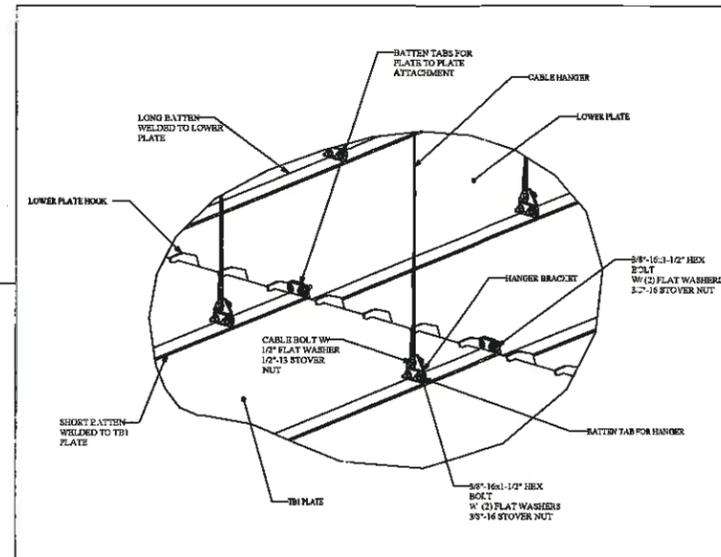
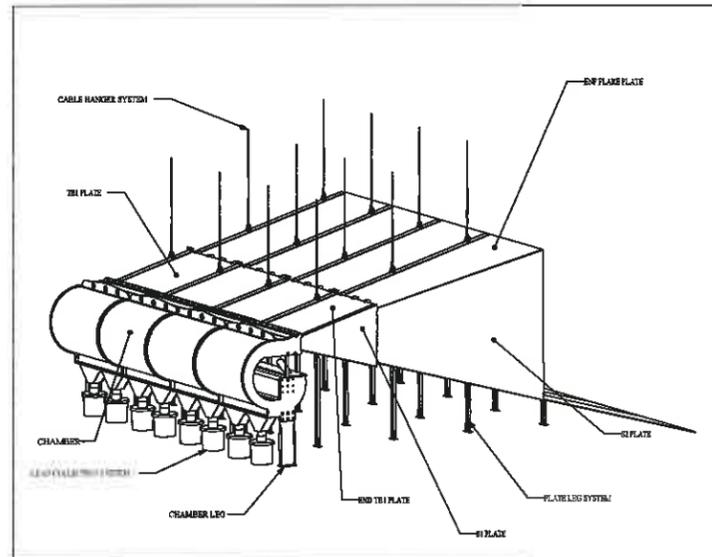
ISSUE

SHEET TITLE

RANGE DETAILS

SHEET NO

A2.03



**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are for informational purposes only and are not intended for regulatory approval, bidding, permit, or construction purposes.
Architect: _____
Arch. Reg. No.: _____
Date: 03-06-21

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

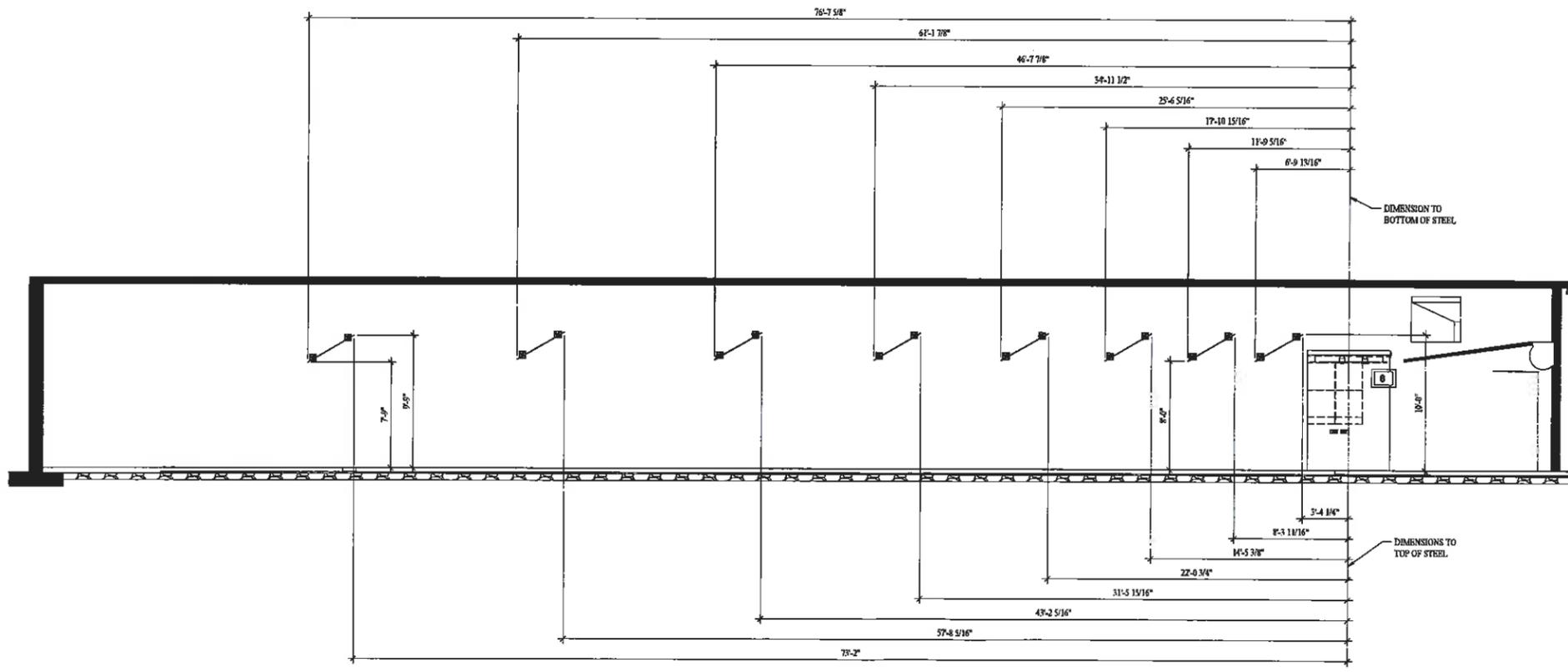
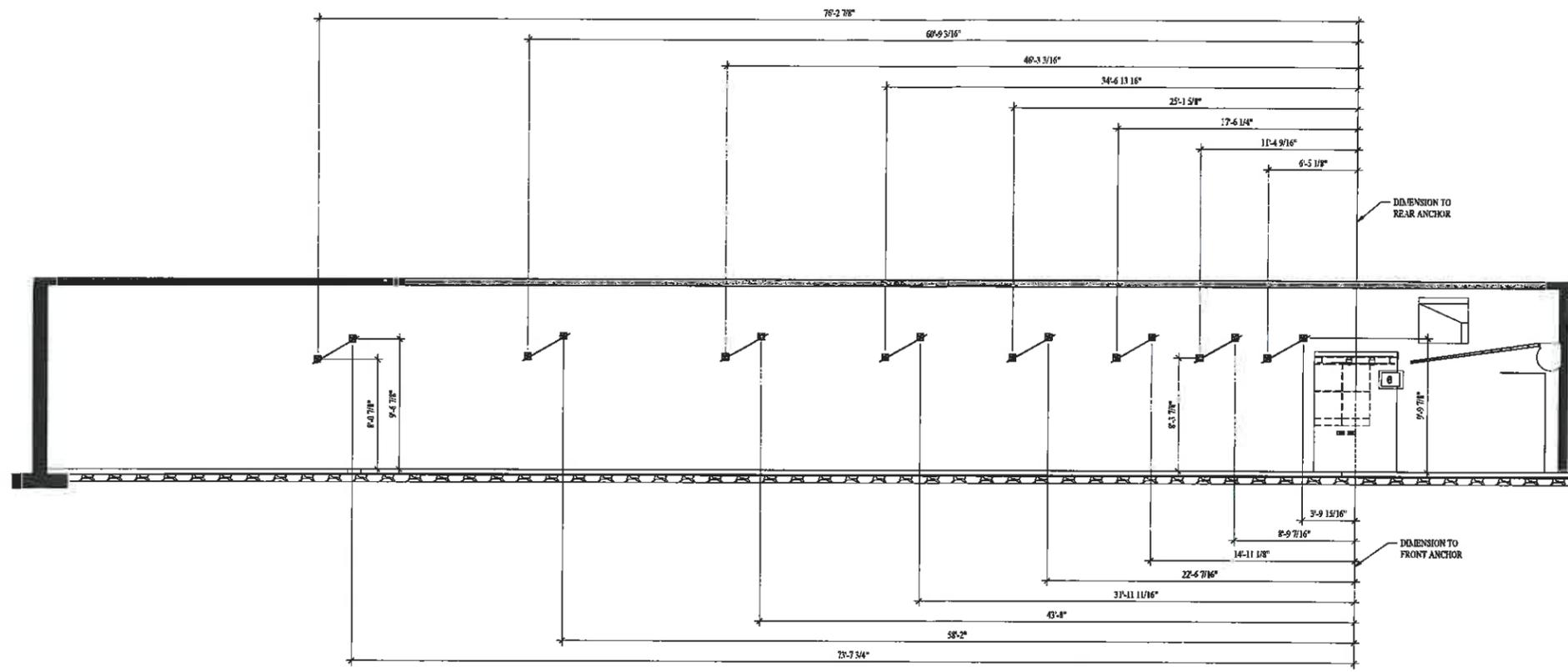
ISSUE

SHEET TITLE

RANGE SECTION

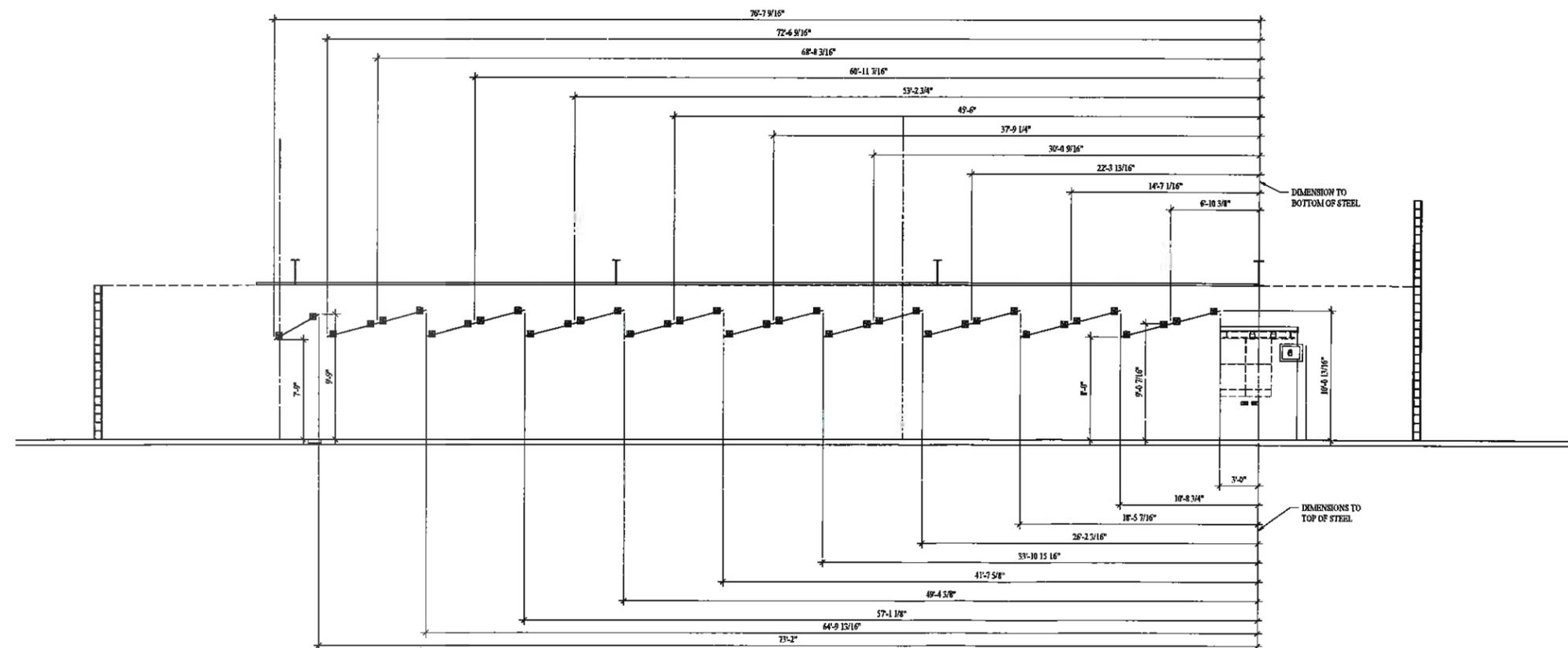
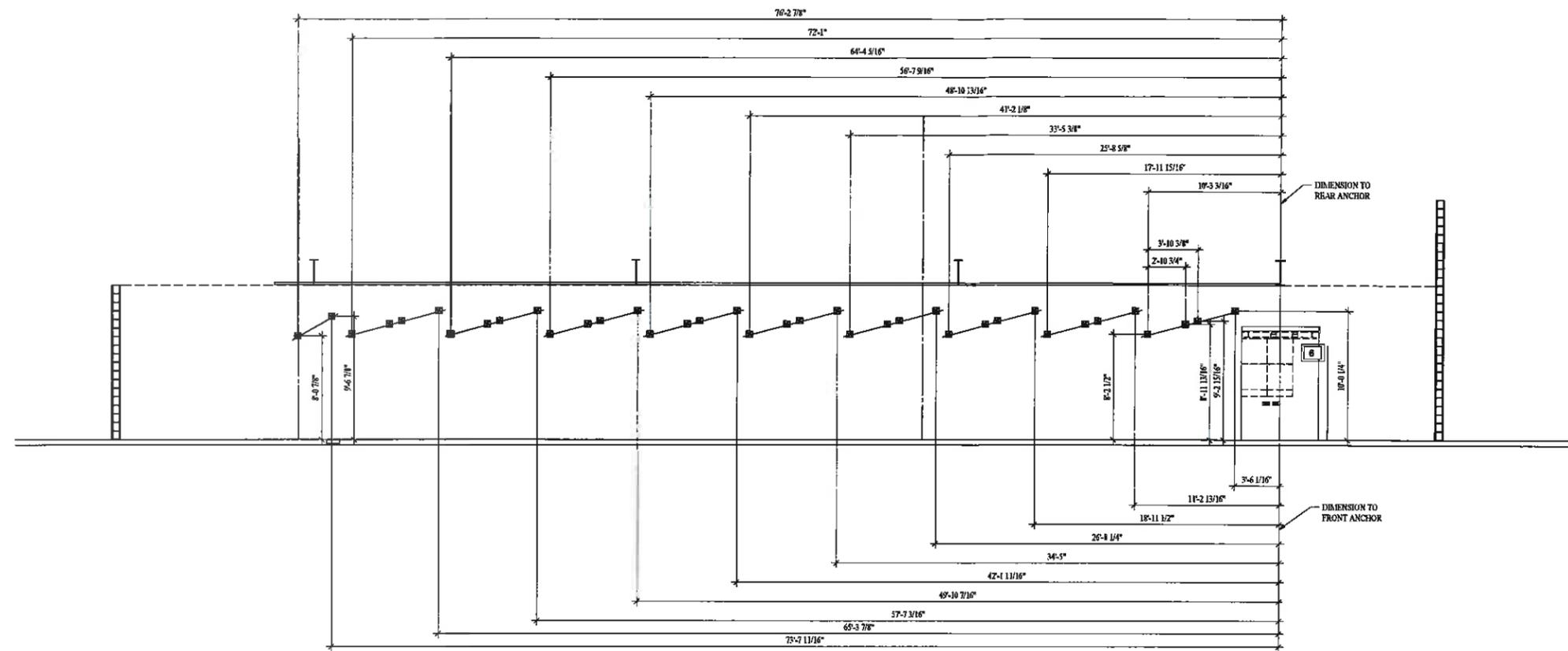
SHEET NO.

A2.04



01 OVERALL PLAN

PROJECT NAME: CHICAGO GUN CLUB SHOOTING RANGE
 PROJECT NO.: 1002
 DATE: 03-06-21
 ARCHITECT: FUSION TARGETS INC.
 ARCH. REG. NO.: 1127 S 140 W
 CROWN, UTAH 84003



**Chicago Gun Club
Shooting Range**

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

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Architect: _____
Arch. Reg. No.: _____
Date: 03/25/2017

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

ISSUE

SHEET TITLE

RANGE SECTION

SHEET NO.

A2.24

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

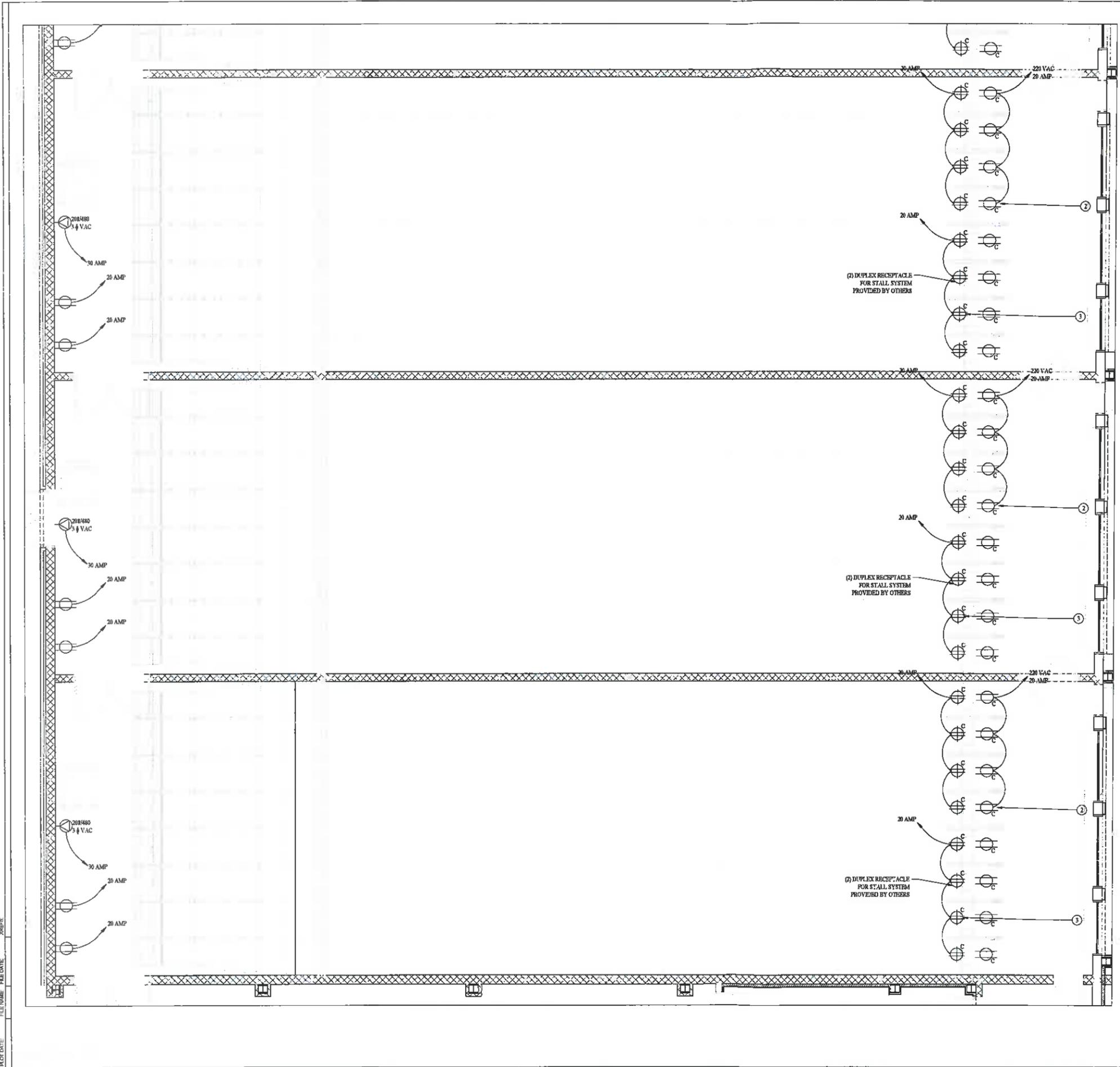
DATE

ISSUE

SHEET TITLE

ELECTRICAL NOTES:

1. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL CIRCUITS AND RECEPTACLES NEEDED FOR THE RANGE EQUIPMENT. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH FUSION TARGET PERSONNEL FOR LOCATION AND TIMING.
2. SINGLE 220 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.
3. (2) DUPLEX 120 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.



Chicago Gun Club

ENGINEER'S ESTIMATE OF PROBABLE COST - Stormwater Facilities and Site Development

	UNIT	QUANTITY	UNIT PRICE	ITEM COST
Silt Fence	FOOT	1516	\$0.90	\$1,364.40
Inlet Protection	EACH	12	\$40.00	\$480.00
8" Perforated HDPE Storm Sewer	FOOT	135	\$16.00	\$2,160.00
12" RCP Storm Sewer	FOOT	501	\$22.00	\$11,022.00
15" RCP Storm Sewer	FOOT	303	\$32.00	\$9,696.00
18" RCP Storm Sewer	FOOT	369	\$38.00	\$14,022.00
Catch Basin Type A, 4' Diameter	EACH	5	\$1,500.00	\$7,500.00
Catch Basin Type C, 2' Diameter	EACH	8	\$1,200.00	\$9,600.00
12" RCP FES	EACH	1	\$350.00	\$350.00
15" RCP FES	EACH	1	\$450.00	\$450.00
18" RCP FES	EACH	5	\$550.00	\$2,750.00
Prairie Grass for Bioretention Area	ACRE	0.27	\$2,000.00	\$546.33
Erosion Control Blanket	SQ YD	1,322.11	\$0.75	\$992

Combination Concrete Curb and Gutter, Type B 6.12	FOOT	2043	\$15.00	\$30,645
Earthwork	L SUM	1	\$24,000.00	\$24,000
Sidewalk	L SUM	1	\$24,000.00	\$24,000
Off-Site Sidewalk	L SUM	1	\$11,000.00	\$11,000
Parking Lot Pavement	L SUM	1	\$115,000.00	\$115,000
Landscaping	L SUM	1	\$107,000.00	\$107,000
Lighting	L SUM	1	\$50,000.00	\$50,000

Run Date 4/18/17 EDF

TOTAL SITEWORK COSTS: \$372,577

EXHIBIT "E"
IMPROVEMENT AGREEMENT

IMPROVEMENT AGREEMENT

THIS AGREEMENT made and entered into this 22nd day of May, 2017, by and between the VILLAGE OF WILLOWBROOK, a municipal corporation of the State of Illinois, having its principal offices at 835 Midway Drive, Willowbrook, Illinois 60527 (hereinafter called "VILLAGE") and The Chicago Gun Club LLC (hereinafter called "DEVELOPER").

W I T N E S S E T H:

WHEREAS, DEVELOPER, as applicant, filed an application for approval of TCGC Subdivision with respect to the property legally described on Exhibit "A", attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY") so as to permit the construction of The Chicago Gun Club ("PROJECT"); and,

WHEREAS, the DEVELOPER desires to construct the PROJECT on the SUBJECT REALTY and has submitted to the VILLAGE Engineering Plans, a copy of which is attached hereto as Exhibit "B" which is, by this reference, incorporated herein, and which has been approved by the Mayor and Board of Trustees of the VILLAGE; and,

WHEREAS, the VILLAGE is willing to approve the PROJECT provided that this Agreement is executed to ensure the completion of certain improvements in accordance with applicable VILLAGE

ordinances and/or agreements between the VILLAGE and DEVELOPER. The PROJECT shall not be approved until this Agreement is executed.

NOW, THEREFORE, it is mutually agreed as follows:

1. DEVELOPER shall furnish, or cause to be furnished, at its own cost and expense, all the necessary materials, labor and equipment to complete the following improvements on and/or relating to the SUBJECT REALTY (the "IMPROVEMENTS" or individually, the "IMPROVEMENT"):

- A. One (1) streetlight at the corner of 79th Street and IL Route 83 Frontage Road.
- B. Sidewalk of five feet (5') in width along the entire frontage of the SUBJECT REALTY.
- C. Off-site sidewalk near the intersection of South Quincy Street and Joliet Road, as illustrated in "Off-site Sidewalk Location", attached hereto as Exhibit "D".

all in a good and workmanlike manner and in accordance with all pertinent ordinances and regulations of the VILLAGE and/or other agreements between the VILLAGE and DEVELOPER, and the Plans and Specifications for such IMPROVEMENTS on file in the offices of the VILLAGE, which Plans and Specifications for Proposed Improvements for the PROJECT, Village of Willowbrook, IL which Civil

Engineering Plans have been prepared by Morris Engineering Inc., consisting of 9 sheets and bearing a latest revision date of April ____, 2017, which Plans and Specifications have heretofore been approved by the VILLAGE, together with any amendments thereto approved by the VILLAGE. Any utilities and services to be installed in or under the streets shall be installed prior to paving.

2. Attached hereto as Exhibit "C" is a complete cost estimate for the construction of the IMPROVEMENTS. The VILLAGE Code and/or any applicable ordinance or agreement provides that the DEVELOPER shall collateralize its obligation to construct all IMPROVEMENTS. The DEVELOPER shall submit a Letter of Credit issued by a sound financial institution authorized to transact business and maintaining an authorized agent for service in the State of Illinois. Such Letter of Credit shall contain such terms and provisions as may be acceptable to the Village Attorney of the VILLAGE and shall be deposited with the VILLAGE prior to the approval of the PROJECT by the VILLAGE.

Said Letter of Credit shall be in a principal amount of not less than one hundred and ten percent (110%) of the DEVELOPER'S engineer's estimate, as approved by the VILLAGE'S Director of

Municipal Services, of the costs of all IMPROVEMENTS to be constructed upon the SUBJECT REALTY.

The Letter of Credit shall provide for its reduction from time to time, based upon the VILLAGE Director of Municipal Services' recommendation to the VILLAGE Administrator of the value of any of the IMPROVEMENTS installed. The VILLAGE Director of Municipal Services' recommendation shall not be subject to question by the DEVELOPER. In no event shall the Letter of Credit be reduced to an amount less than one hundred and ten percent (110%) of the VILLAGE Director of Municipal Services' estimate of the cost of completion of all remaining IMPROVEMENTS. Any language in the Letter of Credit with respect to its reduction shall be subject to the approval of the VILLAGE Attorney. In no event shall the VILLAGE Director of Municipal Services' recommendation for a reduction to the Letter of Credit or the VILLAGE Administrator's authorization for such reduction constitute final acceptance of any of the IMPROVEMENTS.

3. All work related to the IMPROVEMENTS shall be subject to inspection by the VILLAGE Director of Municipal Services, and his approval thereof shall be a condition precedent to the payout of funds to contractors or subcontractors. The approval provided for

in this paragraph shall not constitute final acceptance of any or all of the IMPROVEMENTS.

4. DEVELOPER will pay to the VILLAGE all plan review fees pursuant to Section 4-2-11(F)7 and Section 10-8-3 of the Village Code of the VILLAGE.

5. The DEVELOPER shall furnish the VILLAGE with evidence of liability insurance in the amount of at least \$1,000,000/\$5,000,000 covering the construction activities of the DEVELOPER contemplated by this Agreement. Such insurance shall be written by a company rated by Best Reporting Service A VI or better. Such certificate of insurance shall be deposited before the commencement of any work by the DEVELOPER. The policy shall provide a thirty (30) day "prior notice of termination" provision in favor of the VILLAGE. Should the DEVELOPER allow such liability insurance to terminate prior to the final acceptance of all of the IMPROVEMENTS, the VILLAGE may have recourse against the Letter of Credit for funds sufficient to cause the liability insurance to remain in effect until the final acceptance of all of the IMPROVEMENTS.

6. The DEVELOPER, by its execution of this Agreement, agrees to indemnify, hold harmless, defend, pay costs of defense,

and pay any and all claims or judgments which may hereafter accrue against the VILLAGE, or its agents, servants and employees, arising out of any of the DEVELOPER'S construction activities contemplated by this Agreement.

7. DEVELOPER shall complete those IMPROVEMENTS identified in paragraph 1 of this Agreement prior to the issuance of any building permits.

Notwithstanding any provision contained herein to the contrary, all IMPROVEMENTS shall be completed no later than two (2) years from and after the date of this Agreement.

If work relating to the IMPROVEMENTS is not completed within the time prescribed herein, the VILLAGE shall have the right, but not the obligation, to require completion by drawing on the Letter of Credit in addition to any other available remedies.

8. Upon completion of all IMPROVEMENTS and, further, upon the submission to the VILLAGE of a certificate from the engineering firm employed by DEVELOPER stating that all said IMPROVEMENTS have been completed in conformance with this Agreement, the VILLAGE Code, the final engineering Plans and Specifications relative thereto, any applicable agreements and all State and Federal laws and standards, the VILLAGE Director of

Municipal Services shall, within sixty (60) days after the VILLAGE receives the aforesaid certification from the DEVELOPER'S engineer, either (i) finally accept all said IMPROVEMENTS, or (ii) designate in writing to DEVELOPER all corrections or alterations which shall be required to obtain final acceptance of said IMPROVEMENTS, specifically citing sections of the final engineering Plans and Specifications, the VILLAGE Code or this Agreement, any applicable agreement or State or Federal law or standard, relied upon by said VILLAGE Director of Municipal Services. Should the VILLAGE Director of Municipal Services reject any IMPROVEMENT, or any portion or segment thereof, for final acceptance, the DEVELOPER shall cause to be made to such IMPROVEMENT such corrections or modifications as may be required by the VILLAGE Director of Municipal Services. The DEVELOPER shall cause the IMPROVEMENTS to be submitted and resubmitted as herein provided until the VILLAGE Director of Municipal Services shall finally accept same. No IMPROVEMENT shall be deemed to be finally accepted until the Director of Municipal Services shall finally accept same.

Upon completion and as a condition of final acceptance by the VILLAGE, DEVELOPER agrees to convey and transfer those

IMPROVEMENTS that are deemed to be public improvements to the VILLAGE by appropriate Bill(s) of Sale.

9. The DEVELOPER guarantees that the workmanship and materials furnished under the final Plans and Specifications and used in said IMPROVEMENTS will be furnished and performed in accordance with well-known established practices and standards recognized by engineers in the trade. All IMPROVEMENTS shall be new and of the best grade of their respective kinds for the purpose.

All materials and workmanship shall be guaranteed by the DEVELOPER for a period of eighteen (18) months from the date of final acceptance.

To partially secure the DEVELOPER'S guarantee, at the time of final acceptance by the VILLAGE of the installation of all IMPROVEMENTS in accordance with this Agreement, DEVELOPER shall deposit with the VILLAGE a Maintenance Performance Bond in the amount of fifteen percent (15%) of the actual cost of the IMPROVEMENTS finally accepted by the VILLAGE. This Performance Bond shall be deposited with the VILLAGE and shall be held by the VILLAGE for a period of eighteen (18) months after all IMPROVEMENTS are finally accepted.

The DEVELOPER shall make or cause to be made at its own expense, any and all repairs which may become necessary under and by virtue of this contract guarantee and shall leave the IMPROVEMENT in good and sound condition, satisfactory to the VILLAGE and the VILLAGE Director of Municipal Services, at the expiration of the guarantee period. In said event and at the expiration of such period, said Maintenance Performance Bond shall be returned to the DEVELOPER.

If during said guarantee period, any IMPROVEMENT shall require any repairs or renewals, in the reasonable opinion of the VILLAGE Director of Municipal Services, necessitated by reason of settlement of foundation, structure or backfill, or other defective workmanship or materials, the DEVELOPER shall, upon written notification by the VILLAGE Director of Municipal Services of necessity for such repairs or renewals, make such repairs or renewals, at its own cost and expense. Should the DEVELOPER fail to make such repairs or renewals within the time specified contingent on weather and or conditions not conducive to complete repairs and in such notification, the VILLAGE may cause such work to be done, either by contract or otherwise, and the VILLAGE may draw upon said Maintenance Performance Bond to pay the entire cost

or expense thereof, including attorneys' fees and consultants' costs. Should such cost or expense exceed the amount set forth in said Maintenance Performance Bond, the DEVELOPER will remain liable for any additional cost or expense incurred in the correction process.

10. The DEVELOPER shall furnish the VILLAGE with copies of lien waivers showing that all persons who have done work, or have furnished materials under this Agreement and are entitled to a lien therefore under any laws of the State of Illinois, have been fully paid or are no longer entitled to such lien.

11. The DEVELOPER shall be responsible for the maintenance of the IMPROVEMENTS until such time as they are finally accepted by the VILLAGE. This maintenance shall include routine maintenance, as well as emergency maintenance such as sewer blockages and water main breaks. Such maintenance shall be sufficient to render the IMPROVEMENTS required by paragraph 1 of this Agreement, compliant with the Plans and Specifications identified by said paragraph at the time of their final acceptance by the VILLAGE.

12. The DEVELOPER shall be responsible for any and all damage to the IMPROVEMENTS that may occur during the construction

of the PROJECT irrespective of whether the IMPROVEMENTS damaged have or have not been finally accepted hereunder. DEVELOPER shall replace and repair damage to the IMPROVEMENTS installed within, under or upon the SUBJECT REALTY resulting from construction activities by DEVELOPER, its successors or assigns and its employees, agents, contractors or subcontractors during the term of this Agreement, but shall not be deemed hereby to have released any other party from liability or obligation in this regard. DEVELOPER shall have no obligation with respect to damage resulting from ordinary use, wear and tear occurring after final acceptance.

13. The rights and remedies of the VILLAGE as provided herein, in the ordinances of the VILLAGE and/or in any agreements between the VILLAGE and DEVELOPER regarding the PROJECT, shall be cumulative and concurrent, and may be pursued singularly, successively, or together, at the sole discretion of the VILLAGE, and may be exercised as often as occasion therefor shall arise. Failure of the VILLAGE, for any period of time or on more than one occasion, to exercise such rights and remedies shall not constitute a waiver of the right to exercise the same at any time thereafter or in the event of any subsequent default. No act of

omission or commission of the VILLAGE, including specifically any failure to exercise any right, remedy or recourse, shall be deemed to be a waiver or release of the same; any such waiver or release to be effected only through a written document executed by the VILLAGE and then only to the extent specifically recited therein. A waiver or release with reference to any one event shall not be construed as a waiver or release of any subsequent event or as a bar to any subsequent exercise of the VILLAGE'S rights or remedies hereunder. Except as otherwise specifically required, notice of the exercise of any right or remedy granted to the VILLAGE is not required to be given.

14. From and after the date on which the VILLAGE'S Director of Municipal Services notifies the DEVELOPER, in writing, that the DEVELOPER is in default of any of its obligations under this Agreement, the DEVELOPER shall pay to the VILLAGE, upon demand, all of the VILLAGE'S fees, costs and expenses incurred in enforcing the provisions of this Agreement against DEVELOPER, including, without limitation, reasonable engineers' and reasonable attorneys' fees, costs and expenses, and, if any litigation is filed as part of such enforcement, any court costs and filing fees.

15. This Agreement shall be binding upon and inure to the successors and assigns of the parties to this Agreement. Notwithstanding the foregoing, this Agreement shall not be assigned by either party hereto without the prior written consent of the other party to this Agreement.

16. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and this Agreement may be enforced with that provision severed or as modified by the court.

17. This Agreement sets forth an agreement of the parties insofar as it specifically contradicts, modifies or amplifies any provision of the VILLAGE Code. To the extent that this Agreement does not address an applicable provision of the VILLAGE Code, the VILLAGE Code shall continue to control the parties' activities contemplated by this Agreement regardless of the fact that the VILLAGE Code has not been addressed within the specific terms of this Agreement.

18. This Agreement shall be in full force and effect from the date set forth above until two (2) years from and after the

date on which the last of the IMPROVEMENTS has been finally accepted.

19. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

20. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

A. VILLAGE at:

VILLAGE OF WILLOWBROOK
Attn: Village Admin
835 Midway Drive
Willowbrook, Illinois 60527-5594

B. DEVELOPER at:

The Chicago Gun Club LLC
4825 Lee Avenue
Downers Grove, IL 60515

21. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

Remainder of page intentionally left blank

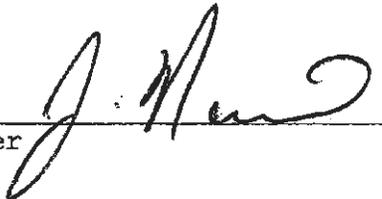
IN WITNESS WHEREOF, the parties hereto have set their hands and seals on the date first above written.

VILLAGE OF WILLOWBROOK, an Illinois municipal corporation,

By: _____
Mayor

ATTEST:

Village Clerk

By:  _____
Owner

ATTEST:

STATE OF ILLINOIS)
) SS.
COUNTY OF DU PAGE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Frank Trilla, Mayor of the VILLAGE OF WILLOWBROOK, and Leroy Hansen, Village Clerk of said Village, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and Village Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth; and the said Village Clerk then and there acknowledged that he, as custodian of the corporate seal of said Village, did affix the corporate seal of said Village to said instrument, as his own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this 22~~nd~~ day of May, 2018⁷

Notary Public

Exhibit A
Legal Description

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN AMVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLIN

Exhibit B
Engineering Plans

Please see Exhibit "D" of this Ordinance for
The Chicago Gun Club Final Engineering Plans

Exhibit C
Engineer's Cost Estimate of Construction

Chicago Gun Club

ENGINEER'S ESTIMATE OF PROBABLE COST - Stormwater Facilities and Site Development

	UNIT	QUANTITY	UNIT PRICE	ITEM COST
Silt Fence	FOOT	1516	\$0.90	\$1,364.40
Inlet Protection	EACH	12	\$40.00	\$480.00
8" Perforated HDPE Storm Sewer	FOOT	135	\$16.00	\$2,160.00
12" RCP Storm Sewer	FOOT	501	\$22.00	\$11,022.00
15" RCP Storm Sewer	FOOT	303	\$32.00	\$9,696.00
18" RCP Storm Sewer	FOOT	369	\$38.00	\$14,022.00
Catch Basin Type A, 4' Diameter	EACH	5	\$1,500.00	\$7,500.00
Catch Basin Type C, 2' Diameter	EACH	8	\$1,200.00	\$9,600.00
12" RCP FES	EACH	1	\$350.00	\$350.00
15" RCP FES	EACH	1	\$450.00	\$450.00
18" RCP FES	EACH	5	\$550.00	\$2,750.00
Prairie Grass for Bioretention Area	ACRE	0.27	\$2,000.00	\$546.33
Erosion Control Blanket	SQ YD	1,322.11	\$0.75	\$992

Combination Concrete Curb and Gutter, Type B 6.12	FOOT	2043	\$15.00	\$30,645
Earthwork	L SUM	1	\$24,000.00	\$24,000
Sidewalk	L SUM	1	\$24,000.00	\$24,000
Off-Site Sidewalk	L SUM	1	\$11,000.00	\$11,000
Parking Lot Pavement	L SUM	1	\$115,000.00	\$115,000
Landscaping	L SUM	1	\$107,000.00	\$107,000
Lighting	L SUM	1	\$50,000.00	\$50,000

Run Date 4/18/17 EDF

TOTAL SITWORK COSTS: \$372,577

Exhibit D
Off-site Sidewalk Location

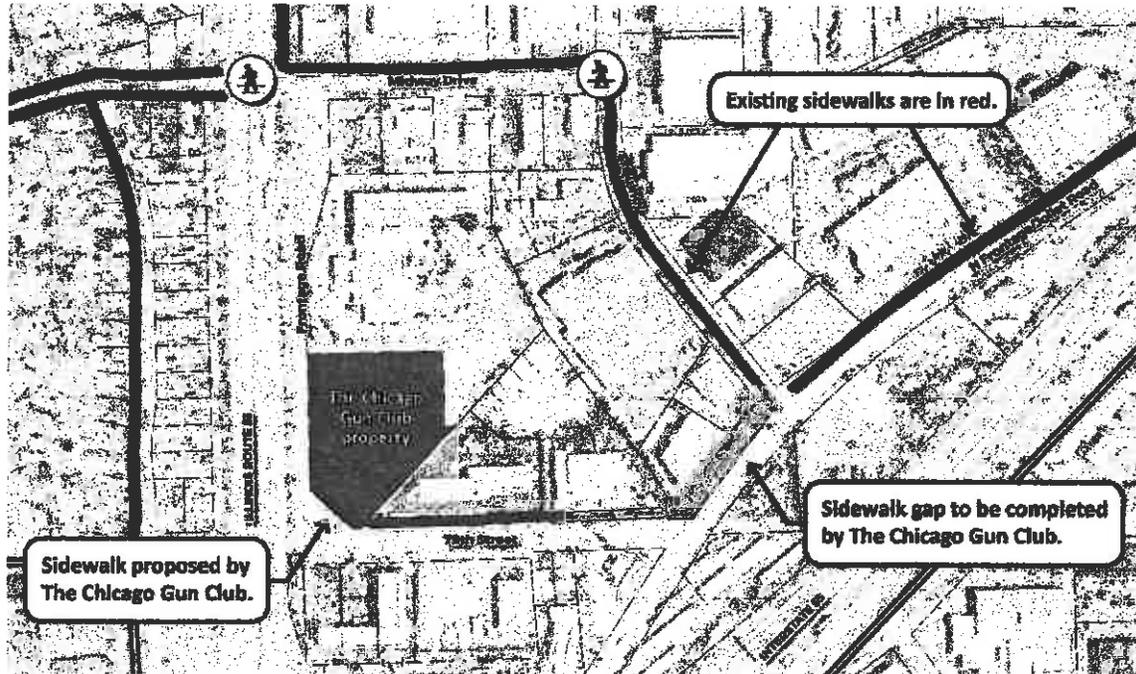


EXHIBIT "F"

TRAFFIC REGULATION AGREEMENT

Return Recorded Document
to:

Tim Halik
Village Administrator
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

TRAFFIC REGULATION AGREEMENT

THIS AGREEMENT is made as of this 22ND day of May, 2017 by and between THE CHICAGO GUN CLUB LLC and the VILLAGE OF WILLOWBROOK, a municipal corporation, within which corporate jurisdiction the Complex is located for the regulation of traffic and other matters within the complex area and the enforcement of said regulations by the assigned traffic law enforcement personnel of the Village.

WITNESSETH:

ARTICLE 1. DEFINITIONS: As used in this Agreement, the following definitions apply:

- 1.1 **Complex:** The land, buildings and other improvements commonly known as The Chicago Gun Club, 7830/7850 IL Route 83, situated in the Village of Willowbrook, DuPage County, Illinois, and legally described in the attached Exhibit "A".
- 1.2 **Permanent Index Numbers (PINs):** 09-26-402-018 and 09-26-402-029.
- 1.3 **Manager:** Those persons or entity employed or retained by Owner from time to time with authority to administer, manage and operate the Complex for the purposes of this Agreement.

1.4 Owner: The Chicago Gun Club LLC, as applicant, and TCGC Property LLC, as property owner.

1.5 Village: Village of Willowbrook, DuPage County, Illinois.

ARTICLE 2. RECITAL OF FACTS: The following recitals of fact are an integral part of this Agreement.

2.1 Owner holds record title to the Complex.

2.2 The Complex is located within the corporate jurisdiction of the Village.

2.3 It is the mutual desire of the parties hereto that the Village shall regulate the parking of automobiles, and traffic and roller skating, bicycle riding and/or skateboarding within the Complex, and enforce said regulations by the assigned traffic law enforcement personnel of the Village.

2.4 The Illinois Vehicle Code (625 ILCS 5/11-209) and the Illinois Municipal Code (65 ILCS 5/1-1-7) provide for such agreement between the Village and the Owner and said statutory authorization enumerated on those matters which may be included in such agreement. Further, additional matters may be included in such agreements pursuant to Article VII, Section 10 of the Illinois Constitution.

2.5 Manager, in its capacity with Owner, is empowered to enter into this Agreement.

ARTICLE 3. COVENANTS: In consideration of the foregoing premises and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, each of the respective parties hereto covenants and agrees as follows:

3.1 The Owner will cause the Manager or its designated representative to cooperate with the Chief of Police or his designated representative in inspecting the parking area of the Complex to determine what, if any, stop signs, yield signs, person with disabilities parking area signs, or any other traffic markers are to be erected, and to determine what, if any, areas are to be marked as stop intersections, yield intersections, person with disabilities parking areas or pedestrian crossings, in order to provide for the safe and efficient trafficking of the parking area of the Complex. Further, such determination may include the regulation and/or prohibition of roller-skating, the riding of bicycles and/or the riding or operation of skateboards in and upon the Complex, and the posting of the signs with the respect thereto.

3.2 If it be determined, pursuant to Paragraph 3.1 of this Agreement, that stop signs, yield signs, person with disabilities parking area signs, or any other markers are to be erected or that specified intersections are to be marked as stop intersections,

yield intersections, or pedestrian crossings, the Owner agrees to erect such signs and markers at the indicated places on the Complex, in accordance with all applicable regulations and specifications promulgated by the State of Illinois. The Owner shall bear the costs and expenses of obtaining, erecting and maintaining any and all such signs and markers necessary for enforcement of the regulations agreed to by the parties herein.

- 3.3 The Owner shall cause the Manager to mark such fire lanes as the local Fire Protection District Chief or his designated representatives shall recommend as necessary for effective movement of Fire Department and other emergency vehicles.
- 3.4 Signs or other devices providing for the regulation of traffic and parking, or the regulation or prohibition of roller skating, bicycle riding or skateboarding, within the Complex, as well as a designation of the exact regulations to be imposed thereon, shall be installed as shown in the Traffic Regulation Plan for *The Chicago Gun Club* as prepared by Morris Engineering, Inc., 515 Warrenville Road, Lisle, IL 60532, consisting of 1 sheet, dated April 18, 2017, a copy of which is attached hereto as Exhibit "B" and by this reference incorporated herein.
- 3.5 The Village hereby agrees to enforce all regulations in the parking areas of the Complex by use of assigned traffic enforcement personnel of the Village; to issue citations to any and all violators of such regulations; and to adopt and enforce any additional reasonable rules and regulations with respect to traffic and parking in the parking area as local conditions may require or the safety and convenience of the public or the users of the parking area.
- 3.6 The Owner hereby agrees to provide for the removal of vehicles that are abandoned or parked in areas where stopping, standing or parking is prohibited. Such removal shall be done pursuant to a towing agreement and in accordance with the requirements of 625 ILCS 5/4-203, including, but not limited to, posting of the notice required therein.
- 3.7 Neither the Owner nor the Manager shall permit any person to park a vehicle at any location in the Complex for the purpose of displaying such vehicle for sale. The owner of any such vehicle may be ticketed by the Village.
- 3.8 The Owner has named the Village as an additional insured on its Comprehensive General Liability Insurance Policy and on their Excess Liability Insurance Policy and a copy of said Certificate of Insurance is attached hereto as Exhibit "C" and incorporated herein. Such liability insurance shall provide that the Village, its officers, agents, agencies, employees, and departments shall be additional insured under such insurance. Said insurance shall be in the minimum amount of one million dollars (\$1,000,000) combined single limit or in such amounts acceptable

to the Village and shall be in such form and with such Company as shall be approved by the corporate authorities.

The Owner hereby agrees to keep said policies in full force and effect throughout the terms of this Agreement. A mandatory written notice must be provided upon the cancellation of any policy as outlined under the Certificate of Insurance evidencing the coverage provided for herein.

3.9 In the event the Owner changes Managers, the Owner shall notify the Village within ten (10) days of such change.

ARTICLE 4. TERM: This Agreement shall be in full force and effect from and after the date of its execution for a period of twenty (20) years of the date thereof, and may, by further agreement of the parties, be continued for additional periods of like duration.

Notwithstanding any provision contained herein to the contrary, after this Agreement has been in effect for a term of one (1) year, this Agreement may be canceled upon the giving of thirty (30) days prior written notice by either party hereto, except to the extent that the Owner may be required to maintain this Agreement pursuant to any zoning relief granted by the Village.

4.1 The sole remedy available to the Owner, upon any breach of this Agreement by the Village, shall be the cancellation of the Agreement under its terms. It is of the essence of this Agreement that the Village shall not be liable in money damages for any breach of this Agreement.

ARTICLE 5. SUCCESSORS: This Agreement shall be binding upon and inure to benefit the respective assigns, successors and personal representatives of each of the parties hereto.

ARTICLE 6. GOVERNING LAW: This Agreement shall be governed by the laws of the State of Illinois.

ARTICLE 7. RECORDING: A fully executed copy of the Agreement shall be recorded in the Office of the Recorder of Deeds of the County of DuPage of the State of Illinois, and it is agreed, pursuant to the statutes set forth above, that no regulation made pursuant to this Agreement shall be effective or enforceable until three (3) days after this Agreement is recorded.

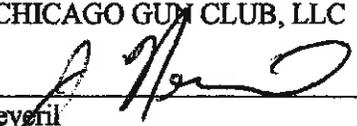
ARTICLE 8. NOTICES: All notices hereunder shall be in writing and sent by Certified Mail, addressed to The Chicago Gun Club LLC, 4825 Lee Avenue Downers Grove, IL 60515, and, if to the Village, at the Office of the Village Administrator of Willowbrook, 835 Midway Drive, Willowbrook, Illinois 60527.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed, as of the date and year first above mentioned.

OWNER

THE CHICAGO GUN CLUB, LLC

BY:



Joe Neveril
(Owner)

VILLAGE OF WILLOWBROOK

BY:

Mayor

ATTEST:

Village Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF COMPLEX

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN AMVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLINOIS

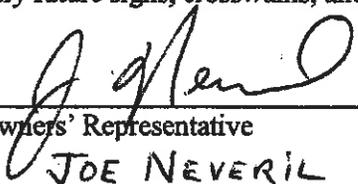
EXHIBIT "B"

TRAFFIC REGULATION PLAN

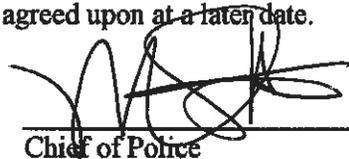
Pursuant to the attached agreement, the Willowbrook Police Department agrees to enforce the following areas as designated on the traffic control plan attached hereto.

1. Traffic control signs including posted speed limit signs, stop signs, yield signs, and one-way signs.
2. No parking within 15 feet of hydrant locations as marked.
3. Handicap parking areas as marked with an official sign.
4. Prohibition of parking along all streets between 2:00 a.m. and 6:00 a.m.
5. Enforcement of yellow curb markings with adjacent "No Parking" signs indicating no parking areas.
6. Enforcement of posted, "No Trespassing" signs.
7. Posted "No Parking" zones.
8. Parking of vehicles for the purpose of being displayed for sale.
9. Enforcement of Village ordinance violations.
10. Prohibition of roller skating, bicycle riding, or skateboarding within the complex as posted.

Any future signs, crosswalks, and so forth may be agreed upon at a later date.

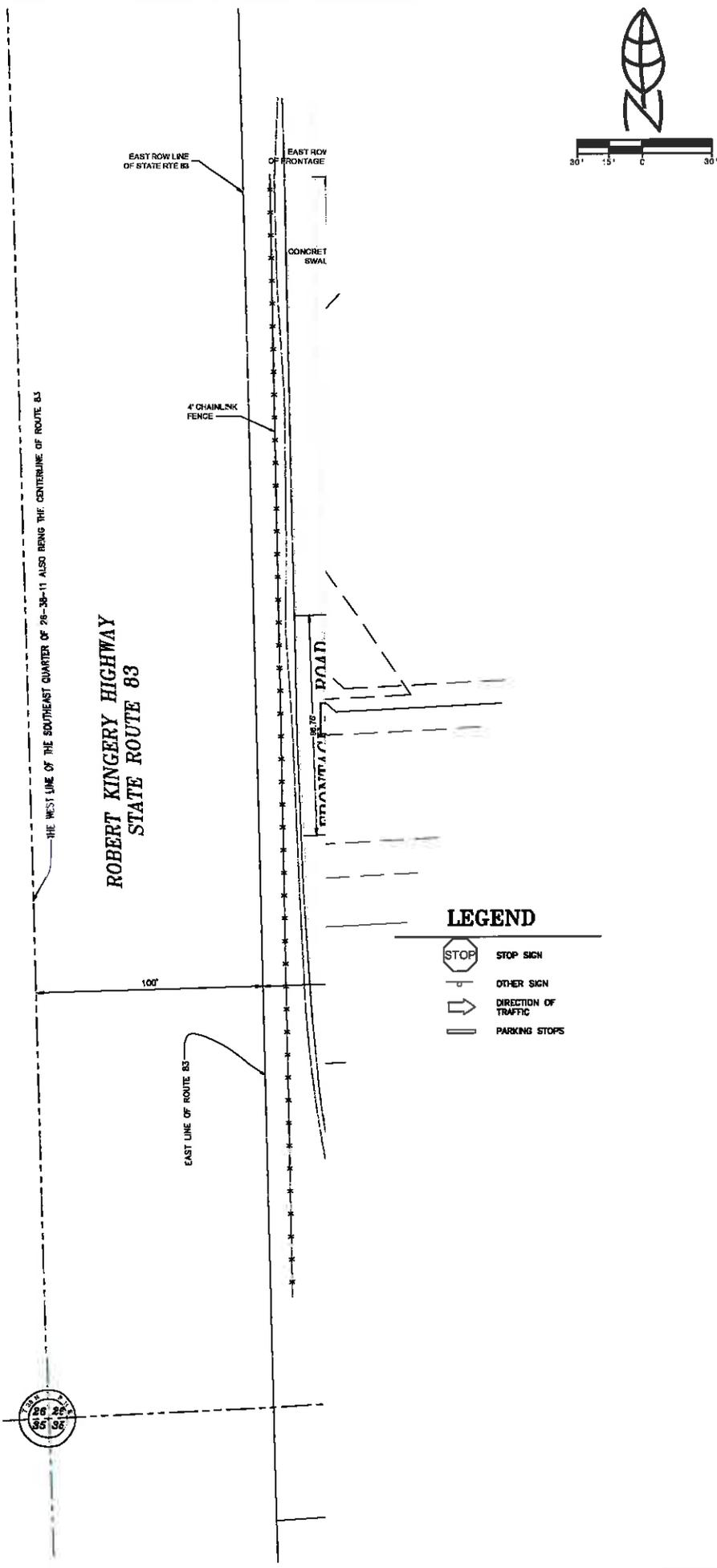


Owners' Representative
JOE NEVERIL



Chief of Police

11/26/2017 11:26:28 AM
 41154501.DWG
 Willows@mei-engineering.com
 Willows@mei-engineering.com



DATE	1	2	3	4	5	6

TRAFFIC REGULATION AGREEMENT EXHIBIT

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
 Civil Engineering • Consulting
 Land Surveying
 515 Warrenville Road, Lisle, IL 60532
 Phone: (630) 271-0770
 Survey: (630) 271-0589
 FAX: (630) 271-0774
 Website: www.mei.com



FIELD CHECK: GR
 DRAWN BY: CJS
 CHECKED BY: AS
 APPROVED BY: AR
 DATE: 4/14/2017
 SCALE: HORIZ 1"=30'
 VERT NONE

SHEET
1
 OF 1 SHEETS
 PROJ # 16-PR-2003

EXHIBIT "C"
CERTIFICATE OF INSURANCE

Client#: 18175

ORANCRU

ACORD™

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 4/07/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER: Construction - Remegl Team, Alliant/Mesirow Insurance, 353 N. Clark Street, Chicago, IL 60654. CONTACT NAME: Jennie Fronczak, PHONE: 312 595-8242, FAX: 312 595-6381, E-MAIL: Jennie.Fronczak@Alliant.com. INSURER(S) AFFORDING COVERAGE: INSURER A: Executive Risk Indemnity, Inc. (NAIC # 35181), INSURER B: Travelers Property Casualty Co. (25674), INSURER C: Federal Insurance Company (20281).

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSR, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include Commercial General Liability (Policy 54303385), Automobile Liability (Policy 54303384), Umbrella Liability (Policy ZUP21N8924417NF), and Workers Compensation and Employers' Liability.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required) Re: Frontage Road and 79th Street in Willowbrook, (DuPage County), Illinois

CERTIFICATE HOLDER: *****SAMPLE***** CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: [Signature]

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MINUTES OF THE REGULAR MEETING OF THE FINANCE AND ADMINISTRATION COMMITTEE OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, APRIL 10, 2017 AT 5:30 P.M. AT THE VILLAGE HALL, 835 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order by Chairman Davi at 5:30 p.m.

2. ROLL CALL

Those present at roll call were Chairman Umberto Davi, Trustee Gayle Neal and Director of Finance Carrie Dittman.

3. APPROVAL OF MINUTES

Minutes of the Regular Finance/Administration Committee held on Monday, March 13, 2017 were reviewed.

Motion to approve made by Chairman Davi, seconded by Trustee Neal. Motion carried.

4. REPORT – Monthly Disbursement Reports – March 2017

The Committee reviewed and accepted the disbursement reports for the month of March and key items are highlighted below:

- Total cash outlay for all Village funds – \$1,351,417. Fiscal Year to Date is \$14,835,246.
- Payroll for active employees including all funds - \$396,135 (3 payrolls). The average payroll for the year was \$147,109, which is a 14.84% decrease from the prior fiscal year.
- Average daily outlay of cash for all Village funds – \$43,594. Fiscal year to date daily average is \$44,318.
- Average daily expenditures for the General Fund only - \$22,966. Fiscal year to date average is \$24,523.

5. REPORT – Sales Tax, Income Tax, Utility Tax, Places of Eating Tax, Fines, Red Light Fines, Building Permits, Water Revenues, Hotel/Motel Tax and Motor Fuel Tax

All revenues are fiscal year to date collections through March 31, 2017 (unaudited):

- Sales tax receipts - \$3,502,345 down 0.54% from the prior year. Trending 4.7% over budget.
- Income Tax receipts - \$721,515 down 12.81% compared to the prior year, 7.2% over budget. IDOR has communicated to DMMC that this is due to “an accounting change” and it affects all municipalities, but IDOR has not given further details about the accounting change or if it will be ongoing. Director Dittman will be attending an IDOR seminar in July that will further discuss this issue.
- Utility tax receipts - \$894,662 down 0.16% from the prior year, 2.7% under budget, consisting of:
 - Telecomm tax - \$363,667, down 7.11%.
 - Northern IL gas - \$121,429, up 17.45%
 - ComEd - \$413,270, up 2.95%

Trustee Neal inquired about what other towns were experiencing. Director Dittman stated that she would investigate and report back to the Committee.

- Places of Eating Tax receipts - \$459,384 down 3.43% compared to the prior year, trending 5.4% over budget.
- Fines - \$151,710 up 23.49% compared with the prior year, 26.33% over budget. Fines come from County distributions and also local fine tickets written by Village police officers.
- Red Light Fines – \$676,294 up 108.16% from the prior year receipts (in the prior year the cameras were down due to road construction and camera maintenance), trending 51.9% above budget. The budget for the first 4 months of FY 2016/17 was reduced due to the Rt. 83/63rd St. intersection cameras being out of service due to the road construction project. Those cameras are still down with no anticipated “go live” date yet given by ATS or IDOT.
- Building Permit receipts - \$472,052 up 37.28% from the prior year, 124.90% above budget.
- Water sales receipts - \$3,327,220 up 6.99% from the prior year, 0.42% below budget.
- Hotel/Motel Tax receipts - \$223,545 up 13.72% compared with the prior year. May & June 2015 collections (from April & May 2015 tax receipts) were still taxed at 1%. The hotel/motel tax rate increased to 5% effective June 1, 2015. Three of the four hotels are open and active. The revenue is trending at 0.6% lower than budget.
- Motor Fuel Tax receipts - \$201,540 down 0.59% compared with the prior year, 1.6% below budget.

The reports above were approved by Chairman Davi and Trustee Neal.

6. VISITOR'S BUSINESS

There were no visitors present at the meeting.

7. COMMUNICATIONS

Director Dittman gave an update on the Willowbrook resident, Mr. Farber, who was being charged an additional City of Darien sales tax on his Verizon bill. Director Dittman previously spoke with Mr. Farber and sent a formal request to IDOR to investigate. IDOR concluded that Verizon was indeed charging incorrect additional sales tax for Darien, and indicated that Mr. Farber was due a refund from Verizon. Director Dittman will send letters to both the local Verizon store and Verizon's corporate headquarters notifying them of the issue. IDOR also sent a letter to Verizon's corporate office.

Chairman Davi inquired about the prior fraudulent check attempts on the Village's bank account. Director Dittman relayed that the Village subsequently implemented Positive Pay, whereby the Village sends a file of authorized payments to the bank each bill run and only the checks matching the file exactly are allowed to clear the bank account. The new system has been working well. We have had only one attempt since Positive Pay was implemented but the check was caught and rejected before it even cleared the Village's account.

8. ADJOURNMENT

Motion to adjourn at 6:00 p.m. was made by Chairman Davi, seconded by Trustee Neal. Motion carried.

(Minutes transcribed by: Carrie Dittman, 4/28/2017)

MINUTES OF THE REGULAR MEETING OF THE PARKS AND RECREATION COMMISSION
HELD ON TUESDAY, APRIL 4, 2017, AT THE VILLAGE HALL, 835 MIDWAY DRIVE,
WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

Commissioner Stetina called the meeting to order at the hour of 7:03 p.m.

2. ROLL CALL

Those present at roll call were Commissioners Catherine Kaczmarek, Ronald Kanaverskis, Laurie Landsman, Carol Lazarski, Robert Pionke, Rene Schuurman, and Doug Stetina.

ABSENT: Chairman Richard Cobb and Commissioner Lorraine Grimsby.

Also present was Temporary Interim Superintendent of Parks and Recreation John Fenske.

A QUORUM WAS DECLARED

3. APPROVAL OF MINUTES – MARCH 7, 2017

The Commission reviewed the March 7, 2017 minutes.

MOTION: A Motion was made by Commissioner Pionke and seconded by Commissioner Lazarski to approve the March 7, 2017 minutes as presented.

ROLL CALL VOTE: AYES: Commissioners Kaczmarek, Kanaverskis, Landsman, Lazarski, Pionke, Schuurman, and Stetina. NAYS: None. ABSENT: Chairman Cobb and Commissioner Grimsby.

MOTION DECLARED CARRIED

4. REPORT – STATUS UPDATE: WILLOW POND PARK RENOVATION PROJECT

Commissioner Stetina advised that he had read in the Village Newsletter/Park Guide that construction will be beginning in May. Interim Superintendent Fenske related that he attended a preconstruction meeting with Village staff, Tod Stanton of Design Perspectives, and the contractor on Monday, April 3rd. Some minor changes were made for plumbing and tree removal.

Interim Superintendent Fenske advised that a construction fence should be installed around the park in the near future.

Commissioner Stetina questioned if the old park equipment will be donated. Interim Superintendent Fenske related that he would need to speak with Administrator Halik for an answer.

5. DISCUSSION – SPECIAL EVENT UPDATES/PLANNING:

a. Easter Egg Hunt – Saturday, April 15, 2017

Interim Superintendent Fenske related that the egg hunt begins at 11:00 a.m. Pictures with the Easter Bunny will begin at 10:15 a.m. Costco had stated that they would donate candy for the eggs. However, the candy had nuts and peanut butter in them. Acceptable candy was then purchased to fill the eggs.

Chick-fil-A will have their cow mascot at the event.

Interim Superintendent Fenske requested that commissioners be at Borse Community Park by 8:30 a.m. to assist with the set up. There should be approximately eleven (11) student volunteers from Hinsdale South High School to help.

Interim Superintendent Fenske advised that banners for the event will be going up in a few of the parks on Monday, April 10th. After the hunt is over, these banners will be replaced with banner for the 5K race.

b. 2017 Spring Fling – May 7, 2017

Interim Superintendent Fenske stated that as of today, there are 39 participants that have signed up for the race. Approximately \$6,600 in donations have been received to date.

Interim Superintendent Fenske advised that postcards will be sent to residents in the near future.

Interim Superintendent Fenske related that the gentleman that conducts the Movie Nights is willing to sell the Village his old PA system for use at Village events. This system is strictly a PA system and has no attachments for music system. The gentleman is allowing the Village to borrow the system for the Easter Egg Hunt to try it out. Recommendation from the commissioners was to purchase a new system and that would then come with a warranty.

6. VISITORS' BUSINESS

None presented.

7. COMMUNICATIONS

The commissioners discussed conducting park tours to see what needs to be done with each of the parks for future budget considerations.

Interim Superintendent Fenske advised that he has sent a notice to Lake Hinsdale Tower to let them know the ribbon cutting for the renovated Lake Hinsdale Park will be held on May 20, 2017.

8. ADJOURNMENT

MOTION: Made by Commissioner Landsman, seconded by Commissioner Schuurman to adjourn the meeting at the hour of 7:46 p.m.

ROLL CALL VOTE: AYES: Commissioners Kaczmarek, Kanaverskis, Landsman, Lazarski, Pionke, Schuurman, and Stetina. NAYS: None. ABSENT: Chairman Cobb and Commissioner Grimsby.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

May 2, 2017

Chairman

Minutes transcribed by Executive Secretary Cindy Stuchl.

MINUTES OF THE MEETING OF THE BOARD OF TRUSTEES OF THE POLICE PENSION FUND OF THE VILLAGE OF WILLOWBROOK HELD ON JANUARY 18, 2017, AT 3:00 PM, AT THE VILLAGE HALL, 835 MIDWAY DRIVE, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

The meeting was called to order at the hour of 3:03 p.m. by President Davi.

2. ROLL CALL

Those present at roll call were President Umberto Davi, Trustee Timothy Kobler, Trustee Joseph Pec, and Trustee Carrie Dittman. Also, present: Michael Stuart and Ted Kirpach of MB Financial. ABSENT: Trustee Scott Eisenbeis.

3. APPROVAL - MINUTES OF THE REGULAR MEETING - October 19, 2016

The Board reviewed the minutes from the October 19, 2016 meeting.

MOTION: Made by Trustee Kobler, seconded by Trustee Pec to approve the minutes of the regular meeting of the Willowbrook Police Pension Fund Board of Trustees held on October 19, 2016.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

4. APPROVAL - MONTHLY PENSION BENEFITS AS OF JANUARY 1, 2017

Trustee Dittman reviewed information on the statutory increases in pension benefits effective January 1, 2017. There are three items to note for retirees who have reached the age of 55: Retirement pension for Mark Altobella will increase 4.25% on November 1, 2017 to \$7,369.55/mo.; John Barnacle will increase 14.75% on April 1, 2017 to \$6,553.62/mo.; and Paul Oggerino will increase 12.75% on May 1, 2017 to \$7,226.15/mo.

After a brief discussion by the Board, the following motion was made:

MOTION: Made by Trustee Kobler, seconded by Trustee Pec, to approve the statutory increases in pension benefits for eligible participants effective January 1, 2017.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

5. APPROVAL OF EXPENSES INCURRED OCTOBER THROUGH DECEMBER 2016

Trustee Dittman reviewed the financial report for the period October through December 2016. Expenses include \$150.00 attorney fees for Atwell & Atwell, audit fees for the pension fund were \$3,869.00, quarterly financial advisory fees were \$8,455.85, 2016 IPPFA conference expenses by Trustee Kobler and Trustee Eisenbeis totaled \$1,126.26, and IPPFA annual

dues for 2017 were \$795.00. The pension benefits for October, November and December totaled \$230,724.92; widow's benefit was \$9,628.11; and disability benefits totaled \$13,478.73.

After Trustee Dittman reviewed the expenses, the following motion was made:

MOTION: Made by Trustee Pec, seconded by Trustee Kobler, to approve the financial report for October through December 2016.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

6. APPROVAL OF INVESTMENTS MADE OCTOBER THRU DECEMBER 2016 - QUARTERLY INVESTMENT REPORT - MB FINANCIAL BANK

Michael Stuart, a representative of MB Financial Bank, summarized the quarterly investment report for the Police Pension Board.

Mr. Stuart reported that the total fund value on 12/31/2016 is at \$19,484,323.00. He summarized the portfolio allocations are targeted at 55% in equities, 45% in fixed income. The performance summary for the total fund in the fourth quarter of 2016 was -.33%. The latest five-year actual is at 6.65% vs. the benchmark at 6.74%.

Ted Kirpach advised this was a good end to 2016. The beginning of 2016 was the worst it has been in decades, however the market recovered a little bit with corporate profits being solid. Energy profits should be up in 2017 with oil prices at \$56/barrel vs. \$26/barrel in 2016.

Unemployment is low at 4.6% vs. the government target of 5%. Economy is very strong with the GDP at 3.2% in the third quarter and looks like it is trending upward.

For the fiscal year to date, the fund yielded 5.31%, slightly below the blended index. We have added to the component a more passive equity strategy which will enable the fund to add dollars into the stock market a little easier rather than buy/sell a little bit at a time. We added Dominos, Nike and Kroger grocery stores to the fund since they have been performing well.

Mr. Kirpach advised that the fund should focus on the long-term investments over the next three years. Equities and economy look solid for the year. Interest rates will be rising but we are well positioned in the portfolio.

The Committee discussed the possibility of raising equity investment percentage from 55% to 60-65%. This is the next agenda item for today.

After a discussion by the Board, the following motion was made:

MOTION: Made by Trustee Pec, seconded by Trustee Dittman to approve MB Financials' Quarterly report.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

7. DISCUSSION - EQUITY INVESTMENT PERCENTAGE

Trustee Dittman advised that at the last meeting, the Board had requested her to reach out to Attorney Atwell to verify that the equity investment percentage can be raised. Attorney Atwell said yes as long as it includes stocks and mutual funds together, the percentage can be raised up to 65% and the Investment Policy already states that it can be raised. The Board would just have to make note in the minutes on when and what percentage it was raised to.

Trustee Kobler feels comfortable moving forward and increasing the funds exposure. He believes it would be beneficial to the fund, however he feels we should move slowly and not immediately raise it to 65% unless a buying opportunity presents itself.

Trustee Pec agrees to follow MB Financial's advice and let them make the determination if they feel the percentage should be raised.

President Davi agrees that businesses are feeling positive with the election of a new president. He would be comfortable to raise it to 60% and leave the 5% as a cushion for the fund.

Trustee Dittman believes that during the last year or two, the inflows and outflows of the fund have been stable and the demographics have been such that the benefits being paid out have about equaled the funds coming in. The fund's investments need to work as hard as they can to grow. She agrees to cap the increase at 60%, leaving the 5% cushion to maintain statutory requirements.

MOTION: Made by President Davi, seconded by Trustee Kobler to direct MB Financial to invest above the 55% equity investment percentage but not to exceed 60%.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

8. DISCUSSION REQ FOR FINANCIAL ADVISORS

The Committee asked to move this discussion item to the end of meeting for discussion.

9. DISCUSSION REQ FOR ACTUARY

The Committee tabled this discussion until the next quarterly meeting on April 18, 2017.

10. VISITOR BUSINESS

None presented.

11. NEW BUSINESS

A. Annual Address Confirmation Letters for Benefit Distribution

Recording Secretary Debbie Hahn advised that the annual address confirmation forms for Benefit Distribution, which must be signed and notarized by the beneficiary, were mailed on January 13, 2017.

B. 2017 Quarterly Meeting Dates

The Committee agreed on the following dates to hold the Willowbrook Police Pension quarterly meetings. They are April 19, 2017, July 19, 2017, and October 18, 2017. These meetings will be held at 3:00 p.m. at the Village Hall, 835 Midway Drive.

12. OLD BUSINESS

2016 Final Audited Financial Statements

Trustee Dittman advised that the FY 2015/16 draft financial statements presented to the Police Pension Board on October 19, 2016 were subsequently finalized and that the Village Board approved the 2016 Final Audited Financial Statement on October 24, 2016. No changes were made to the report after the Police Pension Board reviewed it, and applicable excerpts of the final copy are included in the packet.

MOTION: Made by Trustee Kobler, seconded by President Davi to approve the 2016 Final Audited Financial Statement.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

13. COMMUNICATIONS

None presented.

• NOTE: Michael Stuart and Ted Kirpach left the meeting at 3:45 p.m.

*8. DISCUSSION RFQ FOR FINANCIAL ADVISORS

Trustee Dittman advised that at the last pension meeting, the Board had discussed sending out Request for Qualifications (RFQ) for financial advisors. MB Financial has been the pension board's financial advisors for the past 18 years and their liaison representatives have changed over the years. Trustee Dittman passed out samples of RFQs to the Board to review. She briefly explained the difference between an RFQ and a Request for Proposal (RFP), and inquired if the Board wants to move forward on the RFQs or go directly to an RFP. The RFQ is best used when a large pool of bidders must be narrowed down. The RFQ helps narrow the field to determine who an RFP would ultimately be sent to. The Board discussed sending to a pool of 3-5 companies. The process for sending RFQs and RFPs is roughly the same and it is time consuming to draft, send out, review and rate the responses and the RFQ may not be necessary if the goal is only to send it to 3-5 companies.

After a lengthy discussion, the Board wanted to waive the RFQ process and agreed to send out RFPs to 3-5 selected companies. Trustee Dittman will draft an RFP and send the draft document by March 1, 2017 to members for their review and comments.

A special meeting will be held on March 15, 2017 at 3:00 p.m. to review and approve the RFP requirements and document. The draft RFP should include:

- Expenses
- Fiduciary
- Experience of Article 3 funds managed
- Fees
- Rate of return
- Three (3) references
- Fund manager's experience and qualifications

MOTION: Made by Trustee Kobler, seconded by Trustee Pec to move forward for Trustee Dittman to draft a Request for Proposal (RFP) for financial advisors.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

14. ADJOURNMENT

MOTION: Made by Trustee Pec, seconded by Trustee Kobler to adjourn the Board of Trustees meeting of the Police Pension Fund at the hour of 4:15 p.m.

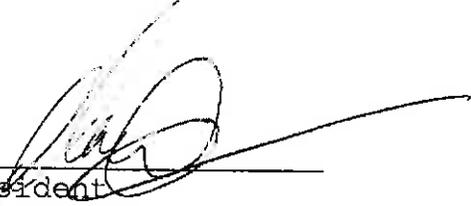
UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

4-19-17

Date


President

Minutes transcribed by Debbie Hahn.

MINUTES OF THE SPECIAL MEETING OF THE BOARD OF TRUSTEES OF THE POLICE PENSION FUND OF THE VILLAGE OF WILLOWBROOK HELD ON WEDNESDAY, MARCH 15, 2017, AT 3:00 PM, AT THE VILLAGE HALL, 835 MIDWAY DRIVE, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

The special meeting was called to order at the hour of 3:00 p.m. by President Davi.

2. ROLL CALL

Those present at roll call were President Umberto Davi, Trustee Timothy Kobler, Trustee Scott Eisenbeis, and Trustee Carrie Dittman. Trustee Joe Pec arrived at 3:17 pm.

ABSENT: None

3. DISCUSSION - REQUEST FOR QUALIFICATIONS FOR FINANCIAL ADVISORS

The Board noted that Item #3 was discussed at the January meeting and it was decided not to pursue an RFQ, but to go directly to an RFP.

4. APPROVAL - REQUEST FOR PROPOSAL FOR FINANCIAL ADVISORS

Trustee Carrie Dittman advised that at the Police Pension Fund's January 18, 2017 Board meeting, the Board decided to prepare a Request for Proposal (RFP) to be sent to a selected number of financial advisors to see if the Village is getting the best financial advice from MB Financial. MB Financial has been the pension board's financial advisors for over 18 years with numerous personnel changes over this time period. As there have been several changes in the representatives assigned to the Pension Board, the Board feels we need to make sure we are getting solid advice

A draft Request for Proposal (RFP) was compiled by Trustee Dittman and emailed on February 28 to each Board member for their review. They were asked to make any changes they felt necessary and then it would be discussed at today's meeting.

The Board reviewed the draft RPD and a discussion ensued. The timeline as noted in the RFP contained highlighted due dates that are subject to change. The Board agreed with the April 7, 2017 submission deadline, and decided that late responses will not be accepted. The Board agreed with the other dates as presented, except that the anticipated implementation date would be changed to August 1, 2017. It was also agreed that the submitting financial institution will need to provide a sample of their Professional Investment Management/Custodial Services agreement with the submitted proposal.

The RFP will be sent to the following financial institutions: MB Financial, Sawyer Falduto, Capital Gains, National Investment Services, and Great Lakes Advisors. These companies are all active with the IPPFA. The Board also discussed placing the RFP on the Village's website for additional exposure, and the Board may receive additional proposals once it is placed on the Village website.

The Board agreed to send the RFP's out on or about March 20, 2017 with the response deadline of April 7, 2017, 4:00 pm. Trustee Dittman will create a cover letter to include with the RFP.

Trustee Dittman will summarize the proposals submitted. At the April 19th pension meeting, all proposals will be reviewed and it will be determined at that time which companies, if any, will be selected for an interview.

Once the proposal has made it to the final stages, the Board agreed to have Pension Attorney Atwell review the proposed agreements of the finalists.

A switch-over date to a new financial company (if necessary) will be August 1, 2017 at the earliest.

MOTION: Made by Trustee Kobler, seconded by Trustee Pec to approve the Request for Proposal for Professional Investment Management/Custodial Services, as presented and changes denoted.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

5. VISITOR BUSINESS

None presented.

6. ADJOURNMENT

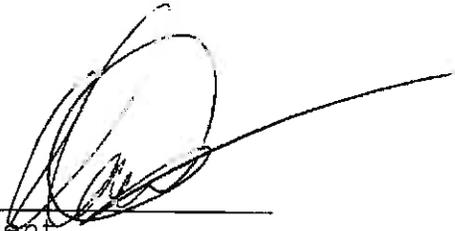
MOTION: Made by Trustee Pec, seconded by Trustee Kobler to adjourn the Special Board of Trustees meeting of the Police Pension Fund at the hour of 3:34 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

4-19-17
Date



President

Minutes transcribed by Debbie Hahn.

AGENDA

Minutes of the Public Safety Committee of the Village of Willowbrook that was held on April 10th, 2017 at 5:30 p.m. at the Willowbrook Village Hall, 835 Midway Drive, in the Village of Willowbrook, DuPage County, Illinois.

CALL TO ORDER

The meeting was called to order at 5:31 p.m.

ROLL CALL

Those present at roll call were Chief Mark Shelton, Chairman of the Public Safety Committee Terrence Kelly, and Trustee Sue Berglund.

1. Reviewed the March 13th, 2017 Public Safety Committee Meeting Minutes.
The Committee approved the March 13th, 2017 Public Safety Committee Meeting Minutes.
2. Reviewed the Weekly Press Releases – Information.
3. Reviewed the Overtime Report for 02/27/2017 – 03/26/2017 - Information.
4. Reviewed the Monthly Expenditure Report for March 2017 – Information.
5. Reviewed the Monthly Offense Summary Report for March 2017 - Information.
6. Discussion Items
None
7. * VISITOR'S BUSINESS (Public comment is limited to three minutes per person).
None
8. ADJOURNMENT
The meeting was adjourned at 5:51 p.m.

Next Meeting Scheduled May 8th, 2017, at 5:30 P.M.