

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, APRIL 10, 2017, AT 6:30 P.M. AT THE **BURR RIDGE POLICE DEPARTMENT TRAINING ROOM, 7700 COUNTY LINE ROAD, BURR RIDGE, DUPAGE COUNTY, ILLINOIS**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
  - a. Waive Reading of Minutes (APPROVE)
  - b. Minutes - Special Board Meeting - Budget Workshop - March 20, 2017 (APPROVE)
  - c. Minutes - Regular Board Meeting - March 27, 2017 (APPROVE)
  - d. Warrants - \$162,936.25 (APPROVE)
  - e. Monthly Financial Report - March 31, 2017 (APPROVE)
  - f. Ordinance - An Ordinance Amending Title 3, Chapter 12, Section 3-12-5(B) of the Village Code - Classifications, Class B License (PASS)
  - g. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Enter into an Employment Agreement Between the Village of Willowbrook and Timothy J. Halik as its Village Administrator and Director of Municipal Services (ADOPT)
  - h. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Enter into an Employment Agreement Between the Village of Willowbrook and Caroline A. Dittman as its Director of Finance (ADOPT)
  - i. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal to Conduct the 2017 Village-Wide Spring Brush Collection Program - N.J. Ryan Tree & Landscape, LLC (ADOPT)

- j. Motion - Motion to Approve - Lake Hinsdale Park Renovation: Payout #3 - Final Payment - George's Landscaping, Inc. (PASS)
- k. Proclamation - A Proclamation Recognizing the Week of May 21<sup>st</sup> Through May 27<sup>th</sup>, 2017 as National Emergency Medical Services (EMS) Week Within the Village of Willowbrook (APPROVE)
- l. Proclamation - A Proclamation Recognizing the Week of April 9<sup>th</sup> Through April 15<sup>th</sup>, 2017 as National Public Safety Telecommunicators Week Within the Village of Willowbrook (APPROVE)
- m. Plan Commission Recommendation - Public Hearing No. 17-01: Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two-lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code. - The Chicago Gun Club, Illinois Route 83 Frontage Road and 79th Street (RECEIVE RECOMMENDATION ONLY - BOARD CONSIDERATION OF THIS DEVELOPMENT APPLICATION WILL OCCUR AT THE REGULAR MEETING OF THE VILLAGE BOARD ON APRIL 24, 2017)

NEW BUSINESS

- 6. RESOLUTION - A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NO. 35 - THE INSTALLATION OF VIDEO AND AUDIO EQUIPMENT WITHIN INTERVIEW ROOMS - POLICE BUILDING EXPANSION/RENOVATION PROJECT, AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDER

PRIOR BUSINESS

- 7. COMMITTEE REPORTS
- 8. ATTORNEY'S REPORT

9. CLERK'S REPORT
10. ADMINISTRATOR'S REPORT
11. MAYOR'S REPORT
12. CLOSED SESSION
13. ADJOURNMENT

MINUTES OF THE SPECIAL MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, MARCH 20, 2017, AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, BURR RIDGE, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

The meeting was called to order at the hour of 5:33 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: Trustee Umberto Davi.

Also present were Village Administrator Tim Halik, Director of Finance Carrie Dittman, Chief of Police Mark Shelton, Deputy Chief Robert Schaller, Assistant to the Village Administrator Garrett Hummel, and Deputy Clerk Cindy Stuchl.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Clerk Hansen to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None Presented.

5. PUBLIC HEARING - APPROPRIATION ORDINANCE

The Public Hearing was called to order at 5:35 p.m. at the Burr Ridge Police Department, Training Room, 7700 County Line Road, Burr Ridge, Illinois. Mayor Trilla opened the public hearing relative to the proposed Appropriation Ordinance for Fiscal Year 2017-2018.

Mayor Trilla asked if there were any questions or comments. Being there were no questions or comments, Mayor Trilla asked for a motion to close the public hearing.

MOTION: Made by Trustee Oggerino, seconded by Trustee Mistele, to close the public hearing with regard to the Appropriation Ordinance.

ROLL CALL VOTE: AYES: Trustees Berglund, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: Trustee Davi.

MOTION DECLARED CARRIED

6. DISCUSSION - FISCAL YEAR 2017-18 DRAFT BUDGET

Administrator Halik presented to the Village Board a general overview of the budget. Administrator Halik advised that the majority of the summary highlights were discussed at the Joint Committee Meeting held on February 20, 2017. He noted the following:

- The final budget for fiscal year 2017/18 is planned to be approved at the April 24, 2017 Board meeting.
- All existing services and programs will be maintained.
- Proposed days of operating expenses is 176 days, and the daily cost to operate the General Fund is \$23,606 per day.
- The Five-Year Plan includes reserve spending on identified projects and programs.

Administrator Halik reviewed the General Fund highlights. Attributes include:

- Proposed budget includes a drawdown of reserves of approximately \$1,671,156.
- Includes a 2.5% salary increase placeholder for union employees per the labor agreement.
- Health insurance costs include a 5.8% increase. (Administrator Halik advised that the cost increase is projected to be 4.8%; however, budget numbers will remain at 5.8% as of now and will be updated prior to the final approval of the budget)
- Police Pension contributions increased 8.14%.
- IMRF Pension contributions decreased 0.95%.

Director Dittman related that there is an anticipation of a 1.89% increase in all revenues Village-wide. The significant changes in expenditures include a 6.43% decrease in Administration due to building improvements and the 9-11 artifact display which is in the current budget year but not recurring. Director Dittman advised

that there is a 13.72% increase in the expenditures in Planning due to an increase in the fee for outsourcing planner functions.

The increase in Police Department expenditures relates to increased health insurance costs, union wage increases, and police pension contributions.

Director Dittman related that the part of the decrease in Public Works expenditures (22.28%) is the result of a reduction in engineering fees for this next fiscal year, the Emerald Ash Borer tree replacement program, and street improvement decreases.

The increase in fund transfers is due to the transfer to the LAFER Fund.

Administrator Halik reviewed the status of grant funding the village has obtained. It includes:

- \$400,000 - Illinois Department of Natural Resources OSLAD grant. Administrator Halik advised this grant was released from suspension. Administrator Halik related that the contract for the renovation should come before the Board in the near future.
- \$60,000 - Illinois DCEO - Illinois Capital Bill - Lake Hinsdale Park renovation project. This project has been completed. Reimbursement has been submitted to the state.
- \$50,000 - Illinois DCEO - Illinois Capital Bill - Prairie Trail Park improvements. This grant has been released; however, DCEO has not released the funds as of yet.
- \$365,211 - Federal STP - Kingery Highway & 63<sup>rd</sup> Street Streetlight Project. The IDOT bid opening occurred on March 3<sup>rd</sup>. The lowest qualified bid came in at \$345,000 from H & H Electric from Franklin Park.
- \$90,000 - DuPage County Water Quality Improvement grant. Administrator Halik related that this grant will be used to reconstruct the parking lots within the Municipal Campus.

Administrator Halik advised that there are 38 full-time employees.

Director Dittman advised that the anticipated increase in health insurance rates was 5.8%; however, the most current data indicates that the annual increase will be 4.8%. Tentative annual premium contributions for FY 17/18 for a single employee are \$7,099 and for family coverage is \$20,874. The final premium rates will be voted on by IPBC in late March.

Director Dittman related that police pension costs will increase 8.14%, or \$65,553. The rate of payroll has increased from 38.99% to 41.82%. The Village contribution amount will be \$871,363. The funding target used in the actuarial valuation for the pension fund is 100% by 2040. The statutory minimum is 90%. Contributions are based on 14 beneficiaries and 23 active officers.

IMRF pension contribution will decrease by 0.95%, with rate of payroll decreasing from 17.45% to 15.43%. Director Dittman advised that it is anticipated that there will be no additional IMRF positions in the next fiscal year.

Director Dittman provided a financial overview of the Fiscal Year 2017-2018 budget.

Director Dittman related that building permit revenue has been increased. Permits collections have remained strong and the trend is to remain upwards.

Director Dittman advised that the Supplemental Appropriation Ordinance approved at the last Board meeting granted spending authority for the Business District Fund. Funds will be transferred to reimburse the General Fund for expenditures already incurred.

Director Dittman stated that the DuPage Water Commission has announced a tentative increase in water rates of 1.667%. Director Dittman related that the water fund is very healthy and this increase will not be passed on to residents.

Director Dittman advised that \$472,000 of the police renovation budget for FY 17/18 has been shifted to FY 16/17 due to an earlier than expected completion date. There has been an additional \$95,000 added to the budget for change orders. The transfer from the General Fund to the LAFER Fund to finish the project will be \$741,700.

Director Dittman related that projected sales tax revenue of \$75,000 has been added to the Business District Tax Fund.

Director Dittman stated that no tax revenue for the Pete's Fresh Market development has been estimated or budgeted due to not knowing when they will be open for business.

Director Dittman presented the revenue summary for all funds for the Village, and expenditure summary for all funds of the Village, along with major revenue sources for the General Fund.

Director Dittman advised that the projected number of reserved days for FY 16/17 will end with 248 days. It is proposed that the amount of reserved days after the FY 17/18 fiscal year will have 176 days. Director Dittman described the methodology used to project the General Fund five (5) years into the future.

Director Dittman stated that the target amount of Water Fund days reserve is 90 days. The amount of reserve days at the end of FY 16/17 is estimated to be at 257 days. In the Water Fund 5-year forecast, no rate increases have been included in the projections shown; however, 3% annual expenditure increases are included.

#### Discretionary Budget Items Requiring Board Direction

There are four (4) discretionary budget items identified. These have not been included in the budget, as of yet.

##### I. Illinois Route 83 Corridor Study Update

Administrator Halik related that the last corridor study was adopted by the Village Board in 1991. The purpose of the study is to provide community input to IDOT for the eventual widening of Route 83 through Willowbrook. The study will allow the Village to argue points of interest for the community, rather than merely accepting IDOT's final design. This widening project has not been completed.

In 2015, Administrator Halik advised that a federal transportation act was passed and provides \$305 Billion in funding for improvements to be used between 2016 and 2020. Discussions have been held throughout the state. Truck congestion was a major issue. Administrator Halik explained that Route 83 is a strategic regional route that serves I-55.

Administrator Halik stated that the corridor study needs to be updated in order for the Village to have a say in the road work project. Costs for the study update would be \$44,600.

The Board's consensus was to include funding in the FY 2017/18 budget for this item.

II. Parking Lot Replacement Project - Municipal Campus

Administrator Halik advised that there is cracking in the asphalt of the Village Hall and Community Resource Center (CRC). The cause is due to a base problem. The issue cannot be fixed with a simple overlay of pavement. The entire parking lot would need to be completely renovated. The base for the newly renovated police department is in good shape and only requires an overlay for that lot.

The cost for reconstruction in asphalt of just the Village Hall lot would be \$176,037. Administrator Halik looked for different grant opportunities to help fund the project. A DuPage County Water Quality Improvement Grant was applied for which funds the reconstruction using permeable pavers. The total cost to reconstruct both Village Hall and CRC parking lots with pavers would be \$620,245.60. If awarded, the maximum amount of the grant is 25% or \$155,061. Willowbrook was awarded a grant for 15% of the costs, or \$90,000.

After negotiations with DuPage County, the Village can convert to a 25% grant to only reconstruct the Village Hall parking, or \$73,698. The total cost of the project for the Village Hall would be \$294,792.

Administrator Halik advised that the grant can also be reapplied for once the CRC renovations begin.

The Board's consensus was to include funding in the FY 2017/18 budget for this item.

III. Telephone System Upgrade

Assistant to the Village Administrator Hummel related that the current phone system was purchased in 2006. The phone system useful life lasts approximately 15-20 years. The voice mail system lasts approximately ten (10) years.

Currently, when the phone system goes down, it is becoming increasingly difficult for the repairmen to find parts for the system. The current system runs over traditional phone lines.

With the new police department renovations, an additional 20 phones will be required, at a cost of \$5,000 for the current system.

Estimated costs to replace the entire phone network, including 62 phones, Mitel voice mail, installation, training, and switching phones lines from the traditional lines to an internet based system, would cost \$46,463.

The Board's consensus was to include funding in the FY 2017/18 budget for this item.

#### IV. Police Body Cameras

Chief Shelton advised that body cameras are an important topic. The DuPage State's Attorney's Office is working on an agreement with the company, Taser International, for their data and video electronic services. County police departments that use the Taser system will allow the State's Attorney's Office to download footage from body cameras and squad car cameras for their cases.

Chief Shelton stated that Taser offers a 5-year lease option. Costs for the first year is \$33,846, which includes 20 cameras, unlimited cloud storage, camera upgrades and software licenses. Years 2 - 5 would cost \$22,884 annually. Total cost for 5-year program is \$125,382.

Concerns were raised over implementing a body camera program. Mayor Trilla advised to agree to the funding. The actual implementation for the program would be discussed at a later Board meeting.

The Board's consensus was to include funding in the FY 2017/18 budget for this item.

#### V. Impact of All Discretionary Items

Administrator Halik reviewed the Budget Workshop discretionary items with the Board. If all discretionary items were accepted, it would cost a total of approximately \$300,946 - \$314,821, which equates to approximately thirteen (13) operating days.

7. CLOSED SESSION

- a. Consideration of Compensation of Specific Employees Pursuant to Chapter 5 ILCS 120/2(c)(1)

ADJOURN INTO CLOSED SESSION

MOTION: Made by Trustee Kelly, seconded by Trustee Neal, to adjourn into Closed Session at the hour of 6:58 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Kelly, Neal, and Oggerino.  
NAYS: None. ABSENT: Trustee Davi.

MOTION DECLARED CARRIED

8. ADJOURNMENT

MOTION: Made by Trustee Kelly, seconded by Trustee Neal, to adjourn the meeting at the hour of 8:08 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: Trustee Davi.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

April 10, 2017

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Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, MARCH 27, 2017 AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, VILLAGE OF BURR RIDGE, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Attorney Thomas Bastian, Village Administrator Timothy Halik, Chief Mark Shelton, Deputy Chief Robert Schaller, Director of Finance Carrie Dittman, and Deputy Clerk Cindy Stuchl.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Deputy Chief Schaller to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None Presented.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - March 13, 2017 (APPROVE)
- c. Warrants - \$230,017.80 (APPROVE)
- d. Ordinance - An Ordinance Providing for the Official Zoning Map of the Village of Willowbrook, DuPage County, Illinois - Ordinance No. 17-O-07 (PASS)
- e. Resolution - A Resolution Waiving the Competitive Bidding Process and Authorizing the Mayor and Village Clerk to Execute a Certain Agreement - Landscape Maintenance Services - Between the Village of Willowbrook and Falco's Landscaping - Resolution No. 17-R-16 (ADOPT)

- f. Resolution - A Resolution of the Village of Willowbrook Approving and Authorizing the Execution of an Intergovernmental Agreement Between the Village of Willowbrook and the County of DuPage to Provide Mowing Services along County Roads and Rights-of-Ways - Resolution No. 17-R-17 (ADOPT)
- g. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Enter into an Agreement with BKD LLP for Audit Services for Fiscal Year 2016/17 - Resolution No. 17-R-18 (ADOPT)
- h. Resolution - A Resolution Terminating the Agreement Between Azavar Technologies and the Village of Willowbrook to Provide Municipal Utility Tax Audits - Resolution No. 17-R-19 (ADOPT)
- i. Proclamation - A Proclamation Recognizing the Week of May 7 Through May 13, 2017 as Municipal Clerks Week in the Village of Willowbrook (APPROVE)
- j. Proclamation - A Proclamation Declaring April 4, 2017 as National Service Recognition Day Within the Village of Willowbrook (APPROVE)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

#### NEW BUSINESS

##### 6. DELINQUENT WATER BILLS

Administrator Halik advised that there were eight (8) delinquent water bills. Staff requested authorization to proceed in accordance with past practices, which was granted.

7. ORDINANCE - AN ORDINANCE GRANTING A TIME EXTENSION IN WHICH TO OBTAIN IDOT APPROVAL OF A PROPERTY LEASE AGREEMENT AS REQUIRED BY SECTION ELEVEN OF ORDINANCE NO. 16-O-48 - A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, INCLUDING APPROVAL OF PRELIMINARY AND FINAL PLAT OF PUD, GRANTING CERTAIN WAIVERS FROM THE ZONING ORDINANCE, GRANTING CERTAIN VARIATIONS FROM THE SUBDIVISION REGULATIONS, GRANTING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION, AND RELATED MATTERS - PC 15-08: 820 PLAINFIELD ROAD - PETE'S FRESH MARKET

Administrator Halik reminded the Board that an ordinance had been passed on December 19, 2016 approving the zoning for the Pete's Fresh Market development. As part of the project, a portion of land owned by the State of Illinois needed to be leased in order to construct a northern access drive to the property. The process to obtain the lease had not been finalized by IDOT at the time. A condition was added to the ordinance that required that the lease be fully executed prior to March 31, 2017 or the ordinance would become nullified.

Administrator Halik related that on March 22<sup>nd</sup>, he received a request from Pete's Fresh Market to extend the deadline. Administrator Halik advised that he contacted a representative from IDOT and confirmed that the lease process is proceeding but is not yet completed. The representative suggested that a 60-day extension be approved for the lease agreement to be fully executed.

Administrator Halik stated that this ordinance will extend the deadline date from March 31, 2017 to May 31, 2017.

MOTION: Made by Trustee Davi and seconded by Trustee Kelly to pass Ordinance No. 17-O-08 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

8. RESOLUTION - A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO EXECUTE A CERTAIN CONTRACT - WILLOW POND PARK IMPROVEMENT PROJECT - CLAUSS BROTHERS, INC.

Administrator Halik advised that Clauss Brothers, Inc. provided the lowest qualified bid for the Willow Pond Park Improvement project. The bid opening was held on March 3, 2015; however, the State of Illinois suspended the OSLAD grant on March 10, 2015. The grant was released on August 15, 2016.

Administrator Halik related that work should begin in late April with completion by August 2017.

MOTION: Made by Trustee Oggerino and seconded by Trustee Davi to adopt Resolution No. 17-R-20 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRIOR BUSINESS

9. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele had no report.

Trustee Berglund had no report.

Trustee Davi had no report.

Trustee Oggerino had no report.

10. ATTORNEY'S REPORT

Attorney Bastian had no report.

11. CLERK'S REPORT

Clerk Hansen had no report.

12. ADMINISTRATOR'S REPORT

Administrator Halik distributed a thank you letter from the Illinois Public Works Mutual Aid Network for the Village's assistance with damage clean up after the Naplate tornado.

Director Dittman related that a change was made to the pay schedule for paychecks to be issued in arrears for all employees effective March 31, 2017.

13. MAYOR'S REPORT

Mayor Trilla had no report.

14. CLOSED SESSION

Mayor Trilla stated that there was no need for Closed Session during tonight's meeting.

15. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund, to adjourn the Regular Meeting at the hour of 6:43 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

April 10, 2017.

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Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

WARRANTS

April 10, 2017

GENERAL CORPORATE FUND	-----	\$139,593.62
WATER FUND	-----	20,157.19
WATER CAPITAL IMPROVEMENT FUND	-----	1,757.44
L.A.F.E.R FUND	-----	1,428.00
TOTAL WARRANTS	-----	\$162,936.25

  
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Carrie Dittman, Director of Finance

APPROVED:

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Frank A. Trilla, Mayor

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/11/2017	APCHK	41(E)*#	APRIL 2017	INTERGOVERNMENTAL PERSONNEL	EMP DED PAY- INSURANCE	210-204	00	11,211.30
			APRIL 2017		LIFE INSURANCE - ELECTED OFFICIALS	410-141	05	76.69
			APRIL 2017		LIFE INSURANCE - COMMISSIONERS	435-148	07	25.48
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	455-141	10	2,012.69
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	510-141	15	713.56
			APRIL 2017		PLAN COMMISSION COMPENSATION	510-340	15	58.45
			APRIL 2017		LIFE INSURANCE - COMMISSIONERS	550-148	20	84.18
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	610-141	25	2,016.71
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	630-141	30	24,613.77
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	710-141	35	1,272.68
			APRIL 2017		HEALTH/DENTAL/LIFE INSURANCE	810-141	40	2,165.80
				CHECK APCHK 41(E) TOTAL FOR				<u>44,251.31</u>
04/11/2017	APCHK	90291	372708	4 ALL PROMOS	PUBLIC RELATIONS	475-365	10	243.04
			372711		PUBLIC RELATIONS	475-365	10	431.00
				CHECK APCHK 90291 TOTAL FOR				<u>674.04</u>
04/11/2017	APCHK	90292	13621722	4IMPRINT INC	PUBLIC RELATIONS	475-365	10	1,205.89
04/11/2017	APCHK	90294	25623	ASPEN AUTO BODY INC.	MAINTENANCE - VEHICLES	630-409	30	2,032.93
04/11/2017	APCHK	90296	22995	BANNERVILLE USA INC	CHILDRENS SPECIAL EVENTS - OTHER	585-150	20	300.00
			22976		PARK IMPROVEMENTS - NEIGHBORHOOD P	595-695	20	100.00
				CHECK APCHK 90296 TOTAL FOR				<u>400.00</u>
04/11/2017	APCHK	90297	17 UNIFORMS	BLAKE HUNTLEY	UNIFORMS	630-345	30	78.82
04/11/2017	APCHK	90299	17-73	CAR REFLECTIONS	MAINTENANCE - VEHICLES	630-409	30	875.00
04/11/2017	APCHK	90300	107490	CHICAGO SPORTS MEDIA	FAMILY SPECIAL EVENT - RACE	585-154	20	200.00
04/11/2017	APCHK	90301	9012576820	CINTAS FIRST AID & SAFETY	OPERATING EQUIPMENT	630-401	30	1,128.15
			9012743105		OPERATING EQUIPMENT	630-401	30	1,610.85
				CHECK APCHK 90301 TOTAL FOR				<u>2,739.00</u>
04/11/2017	APCHK	90302#	VH MAR17	COMCAST CABLE	INTERNET/WEBSITE HOSTING	460-225	10	129.85
			825 MW MAR 17		INTERNET/WEBSITE HOSTING	640-225	30	84.65
			PW MAR 17		EDP LICENSES	715-263	35	104.85
				CHECK APCHK 90302 TOTAL FOR				<u>319.35</u>

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/11/2017	APCHK	90303#	7494249014 MAR 17 4215105154 MAR 17 1844110006 FEB/MAR	COMMONWEALTH EDISON	ENERGY/COMED (835 MIDWAY) ENERGY - STREET LIGHTS ENERGY - STREET LIGHTS	466-240 745-207 745-207	10 35 35	256.90 551.31 1,357.19 <u>2,165.40</u>
CHECK APCHK 90303 TOTAL FOR								
04/11/2017	APCHK	90304	71620522 71621400 71623277 71622849	COMPASS MINERALS AMERICA	OPERATING SUPPLIES OPERATING SUPPLIES OPERATING SUPPLIES OPERATING SUPPLIES	755-331 755-331 755-331 755-331	35 35 35 35	12,034.83 8,131.86 6,173.70 6,395.50 <u>32,735.89</u>
CHECK APCHK 90304 TOTAL FOR								
04/11/2017	APCHK	90306	16-244Q-1	DESIGN PERSPECTIVES INC	PARK IMPROVEMENTS - NEIGHBORHOOD P	595-695	20	600.00
04/11/2017	APCHK	90307#	200 COUPONS 200 COUPONS	DUPAGE COUNTY	TAXI CAB VOUCHER INVENTORY SENIOR CITIZEN TAXI PROGRAM	190-103 475-372	00 10	500.00 500.00 <u>1,000.00</u>
CHECK APCHK 90307 TOTAL FOR								
04/11/2017	APCHK	90308	JU 4414	DUPAGE COUNTY HEALTH DEPARTM	OPERATING EQUIPMENT	630-401	30	1,280.00
04/11/2017	APCHK	90309	5-745-10400	FEDERAL EXPRESS CORP.	POSTAGE & METER RENT	455-311	10	27.27
04/11/2017	APCHK	90310	EASTER HUNT 17	FENSKE JOHN	CHILDRENS SPECIAL EVENTS - OTHER	585-150	20	61.00
04/11/2017	APCHK	90311	17 UNIFORMS	GADDIS DAVID	UNIFORMS	630-345	30	48.81
04/11/2017	APCHK	90312	2849098 2849107	GOVT FINANCE OFCRS ASSN	SCHOOLS/CONFERENCES/TRAVEL SCHOOLS/CONFERENCES/TRAVEL	610-304 610-304	25 25	85.00 85.00 <u>170.00</u>
CHECK APCHK 90312 TOTAL FOR								
04/11/2017	APCHK	90313	15472 15473	H AND R CONSTRUCTION INC.	SNOW REMOVAL CONTRACT STREET & ROW MAINTENANCE	740-287 750-328	35 35	1,728.00 3,720.00 <u>5,448.00</u>
CHECK APCHK 90313 TOTAL FOR								
04/11/2017	APCHK	90314	HANDZIK/POLELIET	ILLINOIS DIVISION OF THE I.A	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	550.00
04/11/2017	APCHK	90315#	994402-001 994402-001	LOGSDON OFFICE SUPPLY	OFFICE SUPPLIES OFFICE SUPPLIES	455-301 610-301	10 25	13.40 155.16 <u>168.56</u>
CHECK APCHK 90315 TOTAL FOR								

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/11/2017	APCHK	90316	30230	MARQUARDT PRINTING CO.	OFFICE SUPPLIES	710-301	35	74.00
04/11/2017	APCHK	90318	313617	MIDCO	PHONE - TELEPHONES	630-201	30	675.00
04/11/2017	APCHK	90319	SPR SMR 17	MUNICIPAL CLERKS OF ILLINOIS	SCHOOLS/CONFERENCES/TRAVEL	455-304	10	70.00
04/11/2017	APCHK	90320	APRIL 17	NCPERS GROUP LIFE INSURANCE	EMP DED - SUPPLEMENTAL LIFE INSURA	210-213	00	128.00
04/11/2017	APCHK	90321	217198	NORTH EAST MULTI REGIONAL TR	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	600.00
04/11/2017	APCHK	90322	47872 FEB 17	OFFICIAL PAYMENTS CORP	FEES/DUES/SUBSCRIPTIONS	610-307	25	17.55
04/11/2017	APCHK	90323	0718002568	PROFORMA	FAMILY SPECIAL EVENT - RACE	585-154	20	332.17
04/11/2017	APCHK	90324	90007	PUBLIC SAFETY DIRECT INC	MAINTENANCE - VEHICLES	630-409	30	100.00
04/11/2017	APCHK	90325	1716325	RAY O'HERRON CO., INC.	UNIFORMS	630-345	30	851.00
			1717182		MAINTENANCE - VEHICLES	630-409	30	148.99
				CHECK APCHK 90325 TOTAL FOR				999.99
04/11/2017	APCHK	90326	1262	RCH ROOFING CONSTRUCTION	MAINTENANCE - BUILDING	466-228	10	525.45
04/11/2017	APCHK	90328	S201911 #53	STALKER RADAR APPLIED CONCEPT	MAINTENANCE - RADIO EQUIPMENT	630-421	30	1,237.00
04/11/2017	APCHK	90329#	8043600237	STAPLES	OFFICE SUPPLIES	455-301	10	191.21
			8043600237		COMMISSARY PROVISION	455-355	10	49.99
			8043600237		OFFICE SUPPLIES	610-301	25	7.28
				CHECK APCHK 90329 TOTAL FOR				248.48
04/11/2017	APCHK	90330	2017-054	SUNSET SEWER & WATER	STREET & ROW MAINTENANCE	750-328	35	1,728.20
04/11/2017	APCHK	90331	201703 MAR 17	T.P.I.	PLAN REVIEW - BUILDING CODE - REIM	820-258	40	5,145.00
			201703 MAR 17		PLAN REVIEW - BUILDING CODE - RIEM	820-258	40	7,356.44
			201703 MAR 17		PART TIME - INSPECTOR	830-109	40	2,940.00
			201703 MAR 17		PLUMBING INSPECTION - RIEMB.	830-115	40	315.00
				CHECK APCHK 90331 TOTAL FOR				15,756.44
04/11/2017	APCHK	90332	114563	TAMELING INDUSTRIES	STREET & ROW MAINTENANCE	750-328	35	216.00
04/11/2017	APCHK	90333	17-0887	THOMPSON ELEV. INSPECT. SERV	ELEVATOR INSPECTION - REIMB.	830-117	40	301.00
04/11/2017	APCHK	90334	5K POSTCARDS 17	U.S. POSTMASTER	FAMILY SPECIAL EVENT - RACE	585-154	20	1,412.17
04/11/2017	APCHK	90335	STND BULK #43	U.S. POSTMASTER	POSTAGE & METER RENT	455-311	10	225.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
<b>Fund: 01 GENERAL FUND</b>								
04/11/2017	APCHK	90336#	0611035170	UNIFIRST	MAINTENANCE - BUILDING	466-228	10	241.25
			0611017259		MAINTENANCE - BUILDING	466-228	10	171.22
			0611020235		MAINTENANCE - BUILDING	466-228	10	171.22
			0611032186		MAINTENANCE - PW BUILDING	725-418	35	87.09
			0611017304		MAINTENANCE - PW BUILDING	725-418	35	61.26
			0611020281		MAINTENANCE - PW BUILDING	725-418	35	61.26
				CHECK APCHK 90336 TOTAL FOR				<u>793.30</u>
04/11/2017	APCHK	90338	3416845-0	WAREHOUSE DIRECT	OFFICE SUPPLIES	630-301	30	36.26
			3421104-0		OPERATING SUPPLIES	630-331	30	1,128.19
			3428872-0		OPERATING EQUIPMENT	630-401	30	82.30
			3410986-0		OPERATING EQUIPMENT	630-401	30	99.92
			3407544-0		FURNITURE & OFFICE EQUIPMENT	630-405	30	449.00
				CHECK APCHK 90338 TOTAL FOR				<u>1,795.67</u>
04/11/2017	APCHK	90339	17615	WBK ENGINEERING LLC	PLAN REVIEW - PLANNER	520-257	15	4,322.96
			17616		PLAN REVIEW - PLANNER	520-257	15	73.50
			17617		PLAN REVIEW - PLANNER	520-257	15	24.50
			17618		PLAN REVIEW - PLANNER	520-257	15	24.50
			17619		PLAN REVIEW - PLANNER	520-257	15	2,425.50
			17620		PLAN REVIEW - PLANNER	520-257	15	710.50
			17621		PLAN REVIEW - PLANNER	520-257	15	73.50
			17622		PLAN REVIEW - PLANNER	520-257	15	1,347.50
			17623		PLAN REVIEW - PLANNER	520-257	15	367.50
			17624		PLAN REVIEW - PLANNER	520-257	15	245.00
			17625		PLAN REVIEW - PLANNER	520-257	15	294.00
				CHECK APCHK 90339 TOTAL FOR				<u>9,908.96</u>
04/11/2017	APCHK	90340	52129	WESTERN REMAC INC	ROAD SIGNS	755-333	35	39.60
			52127		ROAD SIGNS	755-333	35	500.00
			52128		ROAD SIGNS	755-333	35	174.30
			52130		ROAD SIGNS	755-333	35	79.00
				CHECK APCHK 90340 TOTAL FOR				<u>792.90</u>
04/11/2017	APCHK	90341*#	49139584	WEX BANK	FUEL/MILEAGE/WASH	455-303	10	127.10
			49139584		FUEL/MILEAGE/WASH	630-303	30	3,624.94
			49139584		FUEL/MILEAGE/WASH	710-303	35	602.10
			49139584		FUEL/MILEAGE/WASH	810-303	40	83.93

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/11/2017	APCHK	90342	WL74826	CHECK APCHK 90341 TOTAL FOR				4,438.07
				WHEELS LT	ESCHEATS/UNCLAIMED PROP PAYABLE	210-102	00	25.00
04/11/2017	APCHK	90344#	4-26-17 EVENT	WLBK BURR RIDGE CHAMBER OF C	SCHOOLS/CONFERENCES/TRAVEL	435-304	07	27.00
			4-26-17 EVENT		SCHOOLS/CONFERENCES/TRAVEL	610-304	25	27.00
			4-26-17 EVENT		SCHOOLS/CONFERENCES/TRAVEL	630-304	30	81.00
			4-26-17 EVENT		SCHOOLS/CONFERENCES/TRAVEL	710-304	35	27.00
				CHECK APCHK 90344 TOTAL FOR				162.00
Fund: 02 WATER FUND								
Total for fund 01 GENERAL FUND								
04/11/2017	APCHK	41(E)*#	APRIL 2017	INTERGOVERNMENTAL PERSONNEL	HEALTH/DENTAL/LIFE INSURANCE	401-141	50	1,329.65
04/11/2017	APCHK	90293	7001343595	AMERICAN WATER WORKS ASSN	FEES DUES SUBSCRIPTIONS	401-307	50	330.00
04/11/2017	APCHK	90295	28551	ASSOCIATED TECHNICAL SERV. I	LEAK SURVEYS	430-276	50	638.50
04/11/2017	APCHK	90305	8203	COMPASS PLUMBING LLC	MAINTENANCE - PUMPS & WELL 3	420-488	50	465.00
			8204		MAINTENANCE - PUMPS & WELL 3	420-488	50	605.00
				CHECK APCHK 90305 TOTAL FOR				1,070.00
04/11/2017	APCHK	90317	320281 MAR 17	METROPOLITAN INDUSTRIES INC	EDP	440-695	50	138.00
04/11/2017	APCHK	90337	9782424402 MAR 17	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	75.06
04/11/2017	APCHK	90341*#	49139584	WEX BANK	FUEL/MILEAGE/WASH	401-303	50	602.09
04/11/2017	APCHK	90343	04/05/2017	WHOLE FOODS MARKET #10573	CUSTOMER OVERPAYMENT	280-135	00	15,973.89
Fund: 09 WATER CAPITAL IMPROVEMENTS FUND								
04/11/2017	APCHK	90298	3/31/17	CAMEO ELECTRIC INC		440-604	65	1,757.44
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
04/11/2017	APCHK	90327	P619412	SENTINEL TECHNOLOGIES INC		930-411	75	1,428.00
Total for fund 09 WATER CAPITAL IMPROVEMENTS F								
Total for fund 14 LAND ACQUISITION, FACILITY,								
TOTAL - ALL FUNDS								
* *-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND								
# *-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT								

Payroll Liability Check Register  
For Check Dates 03/01/2017 to 03/31/2017

Check Number	Vendor Name	Check Date	Check Amount
52800	I C M A RETIREMENT TRUST - 457	03/31/2017	725.00
52801	ILLINOIS STATE DISBURSEMENT UNIT	03/31/2017	1,848.93
52802	NATIONWIDE RETIREMENT SOLUTIONS	03/31/2017	3,765.08
52803	VILLAGE OF WILLOWBROOK	03/31/2017	34,834.51
EFT82	EFTPS	03/31/2017	38,817.54
EFT83	I.M.R.F. PENSION FUND	03/31/2017	27,223.80
EFT84	ILLINOIS DEPT. OF REVENUE	03/31/2017	4,254.13
52786	AFLAC	03/17/2017	2,113.42
52787	COMMUNITY BANK OF WILLOWBROOK	03/17/2017	629.15
52788	I C M A RETIREMENT TRUST - 457	03/17/2017	725.00
52789	ILLINOIS STATE DISBURSEMENT UNIT	03/17/2017	1,848.93
52790	ILLINOIS FRATERNAL	03/17/2017	903.00
52791	NATIONWIDE RETIREMENT SOLUTIONS	03/17/2017	3,857.43
52792	VILLAGE OF WILLOWBROOK	03/17/2017	38,686.20
EFT80	EFTPS	03/17/2017	25,508.61
EFT81	ILLINOIS DEPT. OF REVENUE	03/17/2017	4,020.28
52776	COMMUNITY BANK OF WILLOWBROOK	03/03/2017	629.15
52777	I C M A RETIREMENT TRUST - 457	03/03/2017	725.00
52778	ILLINOIS STATE DISBURSEMENT UNIT	03/03/2017	1,848.93
52779	NATIONWIDE RETIREMENT SOLUTIONS	03/03/2017	3,877.79
52780	VILLAGE OF WILLOWBROOK	03/03/2017	38,686.20
EFT78	EFTPS	03/03/2017	28,672.88
EFT79	ILLINOIS DEPT. OF REVENUE	03/03/2017	4,525.53
Total Checks: 23		Total Paid:	\$268,726.49



MONTHLY FINANCIAL REPORT  
MARCH 2017

RESPECTFULLY SUBMITTED BY:

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Frank A. Trilla, Mayor

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Carrie Dittman, Director of Finance

**VILLAGE OF WILLOWBROOK  
FINANCIAL REPORT  
MUNICIPAL SALES AND USE TAXES**

<b>MONTH SALE</b>						
<b>DIST</b>	<b>MADE</b>	<b>12-13</b>	<b>13-14</b>	<b>14-15</b>	<b>15-16</b>	<b>16-17</b>
MAY	FEB	\$ 261,216	\$ 250,138	\$ 245,589	\$ 253,282	\$ 267,882
JUNE	MAR	308,159	304,370	293,285	301,469	312,681
JULY	APR	288,609	295,557	293,319	267,013	269,580
AUG	MAY	316,487	334,102	342,029	328,251	331,887
SEPT	JUNE	336,664	338,139	330,203	349,847	398,196
OCT	JULY	291,508	300,405	318,631	306,409	316,266
NOV	AUG	330,699	332,925	349,800	337,896	315,293
DEC	SEPT	300,348	288,422	287,860	360,843	325,374
JAN	OCT	282,374	283,164	303,324	318,340	289,208
FEB	NOV	306,325	295,860	296,349	304,839	304,898
MARCH	DEC	377,505	387,074	365,874	393,072	371,080
APRIL	JAN	277,850	234,816	253,532	266,970	
<b>TOTAL</b>		<b>\$ 3,677,745</b>	<b>\$ 3,644,970</b>	<b>\$ 3,679,794</b>	<b>\$ 3,788,231</b>	<b>\$ 3,502,345</b>
<b>MTH AVG</b>		<b>\$ 306,479</b>	<b>\$ 303,747</b>	<b>\$ 306,650</b>	<b>\$ 315,686</b>	<b>\$ 318,395</b>
<b>BUDGET</b>		<b>\$ 3,493,374</b>	<b>\$ 3,447,000</b>	<b>\$ 3,450,000</b>	<b>\$ 3,600,000</b>	<b>\$ 3,600,000</b>

YEAR TO DATE LAST YEAR : \$ 3,521,261  
 YEAR TO DATE THIS YEAR : \$ 3,502,345  
 DIFFERENCE : \$ (18,916)

PERCENTAGE CHANGE :

-0.54%

**CURRENT FISCAL YEAR :**

BUDGETED REVENUE: \$ 3,600,000  
 PERCENTAGE OF YEAR COMPLETED : 91.67%  
 PERCENTAGE OF REVENUE TO DATE : 97.29%  
 PROJECTION OF ANNUAL REVENUE : \$ 3,767,881  
 EST. DOLLAR DIFF ACTUAL TO BUDGET \$ 167,881  
 EST. PERCENT DIFF ACTUAL TO BUDGET 4.7%

VILLAGE OF WILLOWBROOK  
MONTHLY CASH AND INVESTMENT BALANCE BY FUND  
FOR THE MONTH ENDED 03/31/2017

ACCOUNT	BALANCE
<b>Fund 01 GENERAL FUND</b>	
CHECKING - 0283	0.00
COMMUNITY BANK OF WB - 0275	(142,494.31)
IL FUNDS - 5435	4,690,392.51
COMMUNITY BANK OF WB MM - 1771	302,523.34
COMMUNITY BANK RD LGHT - 0724	8,057.35
COMMUNITY BANK OF WB FSA - 3804	11,622.94
U.S. BANK RED LIGHT - 4216	11,200.00
COMMUNITY BANK DRUG ACCT - 4171	141,169.08
COMMUNITY BANK WB CADETS - 10620387	173.72
PETTY CASH REVLVING	950.00
IMET - GENERAL	28.70
<b>Total For Fund 01:</b>	<b>5,023,623.33</b>
<b>Fund 02 WATER FUND</b>	
IL FUNDS WATER - 5914	910,820.71
COMMUNITY BANK OF WB WTR - 4163	816,056.99
COMMUNITY BANK OF WB - 0275	0.00
<b>Total For Fund 02:</b>	<b>1,726,877.70</b>
<b>Fund 03 HOTEL/MOTEL TAX FUND</b>	
IL FUNDS HOTEL/MOTEL - 5948	224,740.09
COMMUNITY BANK OF WB - 0275	49,276.23
<b>Total For Fund 03:</b>	<b>274,016.32</b>
<b>Fund 04 MOTOR FUEL TAX FUND</b>	
IL FUNDS MFT - 5443	206,297.70
<b>Total For Fund 04:</b>	<b>206,297.70</b>
<b>Fund 06 SSA ONE BOND &amp; INTEREST FUND</b>	
IL FUNDS SSA BOND - 4621	5,405.01
<b>Total For Fund 06:</b>	<b>5,405.01</b>
<b>Fund 07 POLICE PENSION FUND</b>	
COMMUNITY BANK OF WB PP - 4155	95,955.95
COMMUNITY BANK OF WB - 0275	0.00
MONEY MARKET - MB FINANCIAL BANK	498,835.14
US TREASURIES	61,606.41
US AGENCIES	4,006,867.82
MUNICIPAL BONDS	661,459.94
CORPORATE BONDS	3,336,704.75
EQUITIES	3,904,407.30
MUTUAL FUNDS	6,259,112.98
MARKET VALUE CONTRA	1,196,771.99
<b>Total For Fund 07:</b>	<b>20,021,722.28</b>
<b>Fund 09 WATER CAPITAL IMPROVEMENTS FUND</b>	
COMMUNITY BANK OF WB - 0275	371,475.00
IL FUNDS WTR CAP - 1206	72,069.40
<b>Total For Fund 09:</b>	<b>443,544.40</b>
<b>Fund 10 CAPITAL PROJECT FUND</b>	
IL FUNDS CAP PROJECTS - 3133	11,471.81
<b>Total For Fund 10:</b>	<b>11,471.81</b>
<b>Fund 11 DEBT SERVICE FUND</b>	
IL FUNDS BOND PROCEEDS DS - 2756	110.39
<b>Total For Fund 11:</b>	<b>110.39</b>
<b>Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &amp;</b>	
IL FUNDS BOND PROCEEDS LAFER - 2772	969,675.19
<b>Total For Fund 14:</b>	<b>969,675.19</b>
<b>TOTAL CASH &amp; INVESTMENTS:</b>	<b>28,682,744.13</b>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017  
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 03/31/2017
<b>Fund 01 - GENERAL FUND</b>		
<b>MONEY MARKET</b>		
01-00-110-322	IL FUNDS - 5435	4,690,392.51
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	302,523.34
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	8,057.35
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	141,169.08
01-00-120-155	IMET - GENERAL	28.70
	Net MONEY MARKET	5,142,170.98
<b>PETTY CASH</b>		
01-00-110-911	PETTY CASH REVLVING	950.00
	Net PETTY CASH	950.00
<b>SAVINGS</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	(142,494.31)
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,622.94
01-00-110-335	U.S. BANK RED LIGHT - 4216	11,200.00
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	173.72
	Net SAVINGS	(119,497.65)
<b>Fund 02 - WATER FUND</b>		
<b>MONEY MARKET</b>		
02-00-110-113	IL FUNDS WATER - 5914	910,820.71
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	816,056.99
	Net MONEY MARKET	1,726,877.70
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>		
<b>MONEY MARKET</b>		
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	224,740.09
	Net MONEY MARKET	224,740.09
<b>SAVINGS</b>		
03-00-110-257	COMMUNITY BANK OF WB - 0275	49,276.23
	Net SAVINGS	49,276.23
<b>Fund 04 - MOTOR FUEL TAX FUND</b>		
<b>MONEY MARKET</b>		
04-00-110-116	IL FUNDS MFT - 5443	206,297.70
	Net MONEY MARKET	206,297.70
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND</b>		
<b>MONEY MARKET</b>		
06-00-110-117	IL FUNDS SSA BOND - 4621	5,405.01
	Net MONEY MARKET	5,405.01
<b>Fund 07 - POLICE PENSION FUND</b>		
<b>MONEY MARKET</b>		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	95,955.95
	Net MONEY MARKET	95,955.95
<b>SAVINGS</b>		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	498,835.14
	Net SAVINGS	498,835.14
<b>AGENCY CERTIFICATES</b>		
07-00-120-260	US AGENCIES	4,006,867.82
	Net AGENCY CERTIFICATES	4,006,867.82
<b>CORPORATE BONDS</b>		
07-00-120-288	CORPORATE BONDS	3,336,704.75
	Net CORPORATE BONDS	3,336,704.75
<b>EQUITIES</b>		
07-00-120-289	EQUITIES	3,904,407.30
	Net EQUITIES	3,904,407.30

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017  
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 03/31/2017
Fund 07 - POLICE PENSION FUND		
MUNICIPAL BONDS		
07-00-120-270	MUNICIPAL BONDS	661,459.94
	Net MUNICIPAL BONDS	661,459.94
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	6,259,112.98
	Net MUTUAL FUNDS	6,259,112.98
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	1,196,771.99
	Net MARKET VALUE	1,196,771.99
TREASURY NOTES		
07-00-120-250	US TREASURIES	61,606.41
	Net TREASURY NOTES	61,606.41
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		
09-00-110-324	IL FUNDS WTR CAP - 1206	72,069.40
	Net MONEY MARKET	72,069.40
SAVINGS		
09-00-110-257	COMMUNITY BANK OF WB - 0275	371,475.00
	Net SAVINGS	371,475.00
Fund 10 - CAPITAL PROJECT FUND		
MONEY MARKET		
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	11,471.81
	Net MONEY MARKET	11,471.81
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	110.39
	Net MONEY MARKET	110.39
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	969,675.19
	Net MONEY MARKET	969,675.19

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017  
CASH & INVESTMENTS BY INSTITUTION

GL NUMBER	DESCRIPTION	END BALANCE 03/31/2017
<b>COMMUNITY BANK OF WB</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	(142,494.31)
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	302,523.34
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	8,057.35
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,622.94
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	141,169.08
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	173.72
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	816,056.99
03-00-110-257	COMMUNITY BANK OF WB - 0275	49,276.23
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	95,955.95
09-00-110-257	COMMUNITY BANK OF WB - 0275	371,475.00
	Net COMMUNITY BANK OF WB	1,653,816.29
<b>ILLINOIS FUNDS</b>		
01-00-110-322	IL FUNDS - 5435	4,690,392.51
02-00-110-113	IL FUNDS WATER - 5914	910,820.71
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	224,740.09
04-00-110-116	IL FUNDS MFT - 5443	206,297.70
06-00-110-117	IL FUNDS SSA BOND - 4621	5,405.01
09-00-110-324	IL FUNDS WTR CAP - 1206	72,069.40
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	11,471.81
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	110.39
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	969,675.19
	Net ILLINOIS FUNDS	7,090,982.81
<b>IMET</b>		
01-00-120-155	IMET - GENERAL	28.70
	Net IMET	28.70
<b>MBFINANCIAL BANK</b>		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	498,835.14
07-00-120-250	US TREASURIES	61,606.41
07-00-120-260	US AGENCIES	4,006,867.82
07-00-120-270	MUNICIPAL BONDS	661,459.94
07-00-120-288	CORPORATE BONDS	3,336,704.75
07-00-120-289	EQUITIES	3,904,407.30
07-00-120-290	MUTUAL FUNDS	6,259,112.98
07-00-120-900	MARKET VALUE CONTRA	1,196,771.99
	Net MBFINANCIAL BANK	19,925,766.33
<b>U.S. BANK</b>		
01-00-110-335	U.S. BANK RED LIGHT - 4216	11,200.00
	Net U.S. BANK	11,200.00
<b>VILLAGE OF WILLOWBROOK</b>		
01-00-110-911	PETTY CASH REVLVING	950.00
	Net VILLAGE OF WILLOWBROOK	950.00
<b>Total - All Funds:</b>		28,682,744.13

INTERFUND ACTIVITY REPORT FOR WILLOWBROOK  
 Period Ending 03/31/2017  
 Due To/From Other Funds

GL Number	Description	Balance
<b>Fund 01: GENERAL FUND</b>		
Due From Other Funds		
01-00-140-102	DUE TO/FROM WATER FUND	77,616.96
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	87,477.84
01-00-140-115	DUE TO/FROM RT 83/PLAINFIELD RD TAX FUND	58,131.38
	<b>Total Due From Other Funds</b>	<b>223,226.18</b>
<b>Fund 02: WATER FUND</b>		
Due From Other Funds		
02-00-140-101	DUE TO/FROM GENERAL FUND	(77,616.96)
	<b>Total Due From Other Funds</b>	<b>(77,616.96)</b>
<b>Fund 07: POLICE PENSION FUND</b>		
Due From Other Funds		
07-00-140-101	DUE TO/FROM GENERAL FUND	(87,477.84)
	<b>Total Due From Other Funds</b>	<b>(87,477.84)</b>
<b>Fund 15: RT 83/PLAINFIELD RD BUSINESS DISTRCT TAX</b>		
Due From Other Funds		
15-00-140-101	DUE TO/FROM GENERAL FUND	(58,131.38)
	<b>Total Due From Other Funds</b>	<b>(58,131.38)</b>

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	MONTH 03/31/2017	ACTIVITY FOR 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>							
<b>PROPERTY TAX</b>							
01-00-310-101	PROPERTY TAX LEVY - SRA	0.00	66,496.54	66,496.54	74,620.00	89.11	8,123.46
01-00-310-102	PROPERTY TAX LEVY - ROAD & BRIDGE	81.35	103,951.16	103,951.16	106,201.00	97.88	2,249.84
	<b>Net PROPERTY TAX</b>	81.35	170,447.70	170,447.70	180,821.00	94.26	10,373.30
<b>OTHER TAXES</b>							
01-00-310-201	MUNICIPAL SALES TAX	371,079.97	3,502,344.57	3,502,344.57	3,600,000.00	97.29	97,655.43
01-00-310-202	ILLINOIS INCOME TAX	158,363.34	813,117.27	813,117.27	740,418.00	109.82	(72,699.27)
01-00-310-203	AMUSEMENT TAX	4,791.97	59,890.02	59,890.02	74,790.00	80.08	14,899.98
01-00-310-204	REPLACEMENT TAX	149.36	1,205.91	1,205.91	1,220.00	98.85	14.09
01-00-310-205	UTILITY TAX	90,339.08	894,662.49	894,662.49	1,000,000.00	89.47	105,337.51
01-00-310-208	PLACES OF EATING TAX	43,212.21	459,383.84	459,383.84	475,000.00	96.71	15,616.16
01-00-310-209	WATER TAX	14,740.85	166,179.67	166,179.67	177,000.00	93.89	10,820.33
01-00-310-210	WATER TAX - CLARENDON WATER CO	0.00	900.95	900.95	1,000.00	90.10	99.05
	<b>Net OTHER TAXES</b>	682,676.78	5,897,684.72	5,897,684.72	6,069,428.00	97.17	171,743.28
<b>LICENSES</b>							
01-00-310-302	LIQUOR LICENSES	0.00	52,750.00	52,750.00	80,000.00	65.94	27,250.00
01-00-310-303	BUSINESS LICENSES	210.00	83,972.50	83,972.50	82,000.00	102.41	(1,972.50)
01-00-310-305	VENDING MACHINE	25.00	2,700.00	2,700.00	2,000.00	135.00	(700.00)
01-00-310-306	SCAVENGER LICENSES	0.00	8,000.00	8,000.00	8,000.00	100.00	0.00
	<b>Net LICENSES</b>	235.00	147,422.50	147,422.50	172,000.00	85.71	24,577.50
<b>PERMITS</b>							
01-00-310-401	BUILDING PERMITS	15,940.33	472,052.31	472,052.31	225,000.00	209.80	(247,052.31)
01-00-310-402	SIGN PERMITS	869.95	9,131.50	9,131.50	5,000.00	182.63	(4,131.50)
01-00-310-403	OTHER PERMITS	24.00	7,074.70	7,074.70	500.00	1,414.94	(6,574.70)
01-00-310-404	COUNTY BMP FEE	0.00	1,841.00	1,841.00	2,000.00	92.05	159.00
	<b>Net PERMITS</b>	16,834.28	490,099.51	490,099.51	232,500.00	210.80	(257,599.51)
<b>FINES</b>							
01-00-310-501	CIRCUIT COURT FINES	14,874.95	103,436.86	103,436.86	105,000.00	98.51	1,563.14
01-00-310-502	TRAFFIC FINES	2,530.00	48,272.66	48,272.66	25,000.00	193.09	(23,272.66)
01-00-310-503	RED LIGHT FINES	36,200.00	676,294.00	676,294.00	525,000.00	128.82	(151,294.00)
	<b>Net FINES</b>	53,604.95	828,003.52	828,003.52	655,000.00	126.41	(173,003.52)
<b>OVERHEAD REIMBURSEMENT</b>							
01-00-310-601	ADMINISTRATIVE SUPPORT REIMB - WATE	43,582.58	479,408.38	479,408.38	522,991.00	91.67	43,582.62
	<b>Net OVERHEAD REIMBURSEMENT</b>	43,582.58	479,408.38	479,408.38	522,991.00	91.67	43,582.62
<b>CHARGES &amp; FEES</b>							
01-00-310-700	PLANNING APPLICATION FEES	0.00	18,088.00	18,088.00	10,000.00	180.88	(8,088.00)
01-00-310-701	PUBLIC HEARING FEES	0.00	17,051.50	17,051.50	2,550.00	668.69	(14,501.50)
01-00-310-702	PLANNING REVIEW FEES	0.00	11,336.10	11,336.10	6,000.00	188.94	(5,336.10)
01-00-310-703	ANNEXATION FEES	0.00	500.00	500.00	0.00	100.00	(500.00)
01-00-310-704	ACCIDENT REPORT COPIES	180.00	1,696.00	1,696.00	2,000.00	84.80	304.00
01-00-310-705	VIDEO GAMING FEES	2,993.46	30,532.63	30,532.63	20,000.00	152.66	(10,532.63)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
01-00-310-706	COPIES-ORDINANCES & MAPS	0.00	10.00	50.00	20.00	40.00
01-00-310-723	ELEVATOR INSPECTION FEES	2,550.00	3,550.00	5,000.00	71.00	1,450.00
01-00-310-724	BURGLAR ALARM FEES	0.00	(550.00)	15,000.00	(3.67)	15,550.00
01-00-310-726	NSF FEE	0.00	25.00	0.00	100.00	(25.00)
	Net CHARGES & FEES	5,723.46	82,239.23	60,600.00	135.71	(21,639.23)
PARK & RECREATION CHARGES						
01-00-310-813	PARK & REC CONTRIBUTION	3,343.54	6,347.94	2,250.00	282.13	(4,097.94)
01-00-310-814	PARK PERMIT FEES	0.00	712.00	3,000.00	23.73	2,288.00
01-00-310-815	SUMMER RECREATION FEES	2,155.00	3,040.00	840.00	361.90	(2,200.00)
01-00-310-816	WINTER RECREATION FEES	0.00	131.00	8,485.00	1.54	8,354.00
01-00-310-817	SPECIAL EVENTS	0.00	3,078.87	2,600.00	118.42	(478.87)
01-00-310-818	FALL RECREATION FEES	0.00	0.00	6,718.00	0.00	6,718.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL R	0.00	6,562.50	6,500.00	100.96	(62.50)
01-00-310-820	HOLIDAY CONTRIBUTION	0.00	3,370.00	1,300.00	259.23	(2,070.00)
01-00-310-822	BRAWB BASEBALL REIMB FACILITY	0.00	0.00	6,600.00	0.00	6,600.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	765.00	0.00	765.00
	Net PARK & RECREATION CHARGES	5,498.54	23,242.31	39,058.00	59.51	15,815.69
OTHER REVENUE						
01-00-310-901	REIMBURSEMENTS - IRMA	2,120.93	14,037.16	5,000.00	280.74	(9,037.16)
01-00-310-904	REIMB - ETSB CAPITAL (DUCOMM)	0.00	62,473.00	72,000.00	86.77	9,527.00
01-00-310-907	BID PROPOSAL DEPOSIT	0.00	105.00	0.00	100.00	(105.00)
01-00-310-909	SALE - FIXED ASSETS	0.00	9,045.00	7,500.00	120.60	(1,545.00)
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	0.00	675.00	500.00	135.00	(175.00)
01-00-310-911	ATS RED LIGHT ENERGY REIMBURSEMENT	239.71	1,247.79	8,000.00	15.60	6,752.21
01-00-310-912	REIMBURSEMENTS-BRUSH PICK-UP	0.00	8,475.84	11,600.00	73.07	3,124.16
01-00-310-913	OTHER RECEIPTS	70.00	19,569.06	500.00	3,913.81	(19,069.06)
01-00-310-914	REIMB - PARK & REC MEMORIAL PROGRAM	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DET	0.00	4,655.49	4,000.00	116.39	(655.49)
01-00-310-916	DONATIONS	0.00	40.00	0.00	100.00	(40.00)
01-00-310-917	REIMBURSEMENTS - PUBLIC WORKS OTHE	0.00	40,377.33	16,500.00	244.71	(23,877.33)
01-00-310-919	REIMBURSEMENTS - CD ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-920	REIMBURSEMENTS - PW ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-922	FEDERAL/STATE GRANTS	0.00	95,100.00	456,189.00	20.85	361,089.00
01-00-310-925	NICOR GAS ANNUAL PAYMENT	0.00	16,429.59	17,472.00	94.03	1,042.41
01-00-310-926	CABLE FRANCHISE FEES	0.00	165,782.07	208,000.00	79.70	42,217.93
01-00-310-930	DRUG FORFEITURES - DEA	0.00	9,080.00	40,000.00	22.70	30,920.00
01-00-310-933	NARCINT REVENUE	0.00	8,867.55	0.00	100.00	(8,867.55)
	Net OTHER REVENUE	2,430.64	455,959.88	850,261.00	53.63	394,301.12
NON-OPERATING						
01-00-320-108	INTEREST INCOME	2,837.91	17,970.15	1,750.00	1,026.87	(16,220.15)
	Net NON-OPERATING	2,837.91	17,970.15	1,750.00	1,026.87	(16,220.15)
TRANSFERS IN						
01-00-330-115	TRANSFER FROM BUSINESS DISTRICT	20,414.70	20,414.70	0.00	100.00	(20,414.70)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	MONTH 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>						
Net TRANSFERS IN						
		20,414.70	20,414.70	0.00	100.00	(20,414.70)
<b>Fund 01 - GENERAL FUND:</b>						
TOTAL REVENUES						
<b>Fund 02 - WATER FUND</b>						
CHARGES & FEES						
02-00-310-712	WATER SALES	294,916.94	3,327,220.61	3,545,000.00	93.86	217,779.39
02-00-310-713	WATER PENALTIES	985.15	12,032.42	0.00	100.00	(12,032.42)
02-00-310-718	SHUTOFF/NSF FEE	1,310.00	12,580.00	0.00	100.00	(12,580.00)
	Net CHARGES & FEES	297,212.09	3,351,833.03	3,545,000.00	94.55	193,166.97
OTHER REVENUE						
02-00-310-714	WATER METER SALES	0.00	8,013.83	2,600.00	308.22	(5,413.83)
02-00-310-716	WATER METER READ SALES	459.75	4,496.36	6,000.00	74.94	1,503.64
02-00-310-717	OTHER REVENUE	0.00	1,100.00	1,000.00	110.00	(100.00)
	Net OTHER REVENUE	459.75	13,610.19	9,600.00	141.77	(4,010.19)
NON-OPERATING						
02-00-320-108	INTEREST INCOME	612.51	4,097.98	1,000.00	409.80	(3,097.98)
02-00-320-713	WATER CONNECTION FEES	0.00	10,100.00	3,000.00	336.67	(7,100.00)
	Net NON-OPERATING	612.51	14,197.98	4,000.00	354.95	(10,197.98)
<b>Fund 02 - WATER FUND:</b>						
TOTAL REVENUES						
		298,284.35	3,379,641.20	3,558,600.00	94.97	178,958.80
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>						
OTHER TAXES						
03-00-310-205	HOTEL/MOTEL TAX	13,758.82	223,545.21	243,000.00	91.99	19,454.79
	Net OTHER TAXES	13,758.82	223,545.21	243,000.00	91.99	19,454.79
NON-OPERATING						
03-00-320-108	INTEREST INCOME	54.41	305.99	30.00	1,019.97	(275.99)
	Net NON-OPERATING	54.41	305.99	30.00	1,019.97	(275.99)
<b>Fund 03 - HOTEL/MOTEL TAX FUND:</b>						

REVENUE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>						
TOTAL REVENUES		13,813.23	223,851.20	243,030.00	92.11	19,178.80
<b>Fund 04 - MOTOR FUEL TAX FUND</b>						
OTHER TAXES		18,361.90	201,540.48	221,186.00	91.12	19,645.52
04-00-310-216	MFT RECEIPTS					
Net OTHER TAXES		18,361.90	201,540.48	221,186.00	91.12	19,645.52
<b>NON-OPERATING</b>						
04-00-320-108	INTEREST INCOME	121.10	1,188.84	150.00	792.56	(1,038.84)
Net NON-OPERATING		121.10	1,188.84	150.00	792.56	(1,038.84)
<b>Fund 04 - MOTOR FUEL TAX FUND:</b>						
TOTAL REVENUES		18,483.00	202,729.32	221,336.00	91.59	18,606.68
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND</b>						
PROPERTY TAX		0.00	288,035.05	319,485.00	90.16	31,449.95
06-00-310-101	PROPERTY TAX RECEIPTS					
Net PROPERTY TAX		0.00	288,035.05	319,485.00	90.16	31,449.95
<b>NON-OPERATING</b>						
06-00-320-108	INTEREST INCOME	3.23	308.53	35.00	881.51	(273.53)
06-00-320-112	DEVELOPER CONTRIBUTION	0.00	31,449.95	0.00	100.00	(31,449.95)
Net NON-OPERATING		3.23	31,758.48	35.00	90,738.51	(31,723.48)
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND:</b>						
TOTAL REVENUES		3.23	319,793.53	319,520.00	100.09	(273.53)
<b>Fund 07 - POLICE PENSION FUND</b>						
OTHER REVENUE		92,978.07	743,824.56	805,810.00	92.31	61,985.44
07-00-310-607	VILLAGE CONTRIBUTION					
07-00-310-906	POLICE CONTRIBUTIONS	19,228.84	181,293.28	202,140.00	89.69	20,846.72
Net OTHER REVENUE		112,206.91	925,117.84	1,007,950.00	91.78	82,832.16
<b>NON-OPERATING</b>						
07-00-320-108	INTEREST INCOME	24,562.47	495,363.06	500,000.00	99.07	4,636.94
07-00-320-110	UNREALIZED GAIN OR LOSS ON INVESTME	63,931.23	39,510.09	0.00	100.00	(39,510.09)
07-00-320-111	GAIN/LOSS ON INVESTMENTS	312,798.81	636,936.96	0.00	100.00	(636,936.96)
Net NON-OPERATING		401,292.51	1,171,810.11	500,000.00	234.36	(671,810.11)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 07 - POLICE PENSION FUND</b>						
<b>Fund 07 - POLICE PENSION FUND:</b>						
TOTAL REVENUES		513,499.42	2,096,927.95	1,507,950.00	139.06	(588,977.95)
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND</b>						
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND</b>						
NON-OPERATING						
09-00-320-105	IEPA LOAN PROCEEDS	0.00	882,797.00	931,460.00	94.78	48,663.00
09-00-320-108	INTEREST INCOME	44.37	795.01	50.00	1,590.02	(745.01)
Net NON-OPERATING		44.37	883,592.01	931,510.00	94.86	47,917.99
TRANSFERS IN						
09-00-330-102	TRANSFER FROM WATER	50,000.00	150,000.00	100,000.00	150.00	(50,000.00)
Net TRANSFERS IN		50,000.00	150,000.00	100,000.00	150.00	(50,000.00)
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:</b>						
TOTAL REVENUES		50,044.37	1,033,592.01	1,031,510.00	100.20	(2,082.01)
<b>Fund 10 - CAPITAL PROJECT FUND</b>						
<b>Fund 10 - CAPITAL PROJECT FUND:</b>						
NON-OPERATING						
10-00-320-108	INTEREST INCOME	6.82	178.24	0.00	100.00	(178.24)
Net NON-OPERATING		6.82	178.24	0.00	100.00	(178.24)
<b>Fund 10 - CAPITAL PROJECT FUND:</b>						
TOTAL REVENUES		6.82	178.24	0.00	100.00	(178.24)
<b>Fund 11 - DEBT SERVICE FUND</b>						
<b>Fund 11 - DEBT SERVICE FUND</b>						
NON-OPERATING						
11-00-320-108	INTEREST INCOME	0.04	132.78	0.00	100.00	(132.78)
Net NON-OPERATING		0.04	132.78	0.00	100.00	(132.78)
TRANSFERS IN						
11-00-330-101	TRANSFER FROM GENERAL FUND	0.00	278,979.00	278,979.00	100.00	0.00
11-00-330-102	TRANSFER FROM WATER	0.00	47,051.00	47,051.00	100.00	0.00
Net TRANSFERS IN		0.00	326,030.00	326,030.00	100.00	0.00

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/2017	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 11 - DEBT SERVICE FUND						
Fund 11 - DEBT SERVICE FUND:						
TOTAL REVENUES		0.04	326,162.78	326,030.00	100.04	(132.78)
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & NON-OPERATING						
14-00-320-108	INTEREST INCOME	712.51	9,767.37	500.00	1,953.47	(9,267.37)
Net NON-OPERATING		712.51	9,767.37	500.00	1,953.47	(9,267.37)
TRANSFERS IN						
14-00-330-101	TRANSFER FROM GENERAL FUND	0.00	1,553.22	25,000.00	6.21	23,446.78
Net TRANSFERS IN		0.00	1,553.22	25,000.00	6.21	23,446.78
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & :						
TOTAL REVENUES		712.51	11,320.59	25,500.00	44.39	14,179.41
TOTAL REVENUES - ALL FUNDS		1,728,767.16	16,207,089.42	16,017,885.00	101.18	(189,204.42)

EXPENDITURE REPORT FOR WILLOWBROOK  
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>Dept 05-VILLAGE BOARD &amp; CLERK</b>								
<b>GENERAL MANAGEMENT</b>								
01-05-400-147	MEDICARE	66.23	643.54	687.00	93.67	43.46	1,374.00	730.46
01-05-400-161	SOCIAL SECURITY	283.19	2,751.65	2,939.00	93.63	187.35	5,878.00	3,126.35
01-05-410-101	SALARIES - MAYOR & VILLAGE	3,600.00	33,900.00	40,200.00	84.33	6,300.00	80,400.00	46,500.00
01-05-410-125	SALARY - VILLAGE CLERK	600.00	6,600.00	7,200.00	91.67	600.00	14,400.00	7,800.00
01-05-410-141	LIFE INSURANCE - ELECTED OF	76.69	846.63	1,300.00	65.13	453.37	2,600.00	1,753.37
01-05-410-201	PHONE - TELEPHONES	62.58	622.54	720.00	86.46	97.46	1,440.00	817.46
01-05-410-301	OFFICE SUPPLIES	16.25	27.24	750.00	3.63	722.76	1,500.00	1,472.76
01-05-410-303	FUEL/MILEAGE/WASH	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-05-410-304	SCHOOLS/CONFERENCES/TRA	640.99	5,147.64	5,310.00	96.94	162.36	10,620.00	5,472.36
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	0.00	1,908.30	2,008.00	95.03	99.70	4,016.00	2,107.70
01-05-410-308	WELLNESS	0.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00
<b>GENERAL MANAGEMENT</b>								
		5,345.93	52,447.54	61,814.00	84.85	9,366.46	123,628.00	71,180.46
<b>COMMUNITY RELATIONS</b>								
01-05-420-365	PUBLIC RELATIONS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>COMMUNITY RELATIONS</b>								
		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>CAPITAL IMPROVEMENTS</b>								
01-05-425-611	FURNITURE & OFFICE EQUIPME	0.00	50.90	0.00	100.00	(50.90)	0.00	(50.90)
<b>CAPITAL IMPROVEMENTS</b>								
		0.00	50.90	0.00	100.00	(50.90)	0.00	(50.90)
<b>Total Dept 05-VILLAGE BOARD &amp; CLERK</b>								
		5,345.93	52,498.44	62,314.00	84.25	9,815.56	124,628.00	72,129.56
<b>Dept 07-BOARD OF POLICE COMMISSIONERS</b>								
<b>ADMINISTRATION</b>								
01-07-435-104	PART TIME - CLERICAL	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-07-435-148	LIFE INSURANCE - COMMISSIO	25.48	376.82	565.00	66.69	188.18	1,130.00	753.18
01-07-435-239	FEES - BOPC ATTORNEY	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-07-435-301	OFFICE SUPPLIES	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-07-435-302	PRINTING & PUBLISHING	0.00	95.82	1,000.00	9.58	904.18	2,000.00	1,904.18
01-07-435-304	SCHOOLS/CONFERENCES/TRA	0.00	58.90	0.00	100.00	(58.90)	0.00	(58.90)
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	0.00	871.00	500.00	174.20	(371.00)	1,000.00	129.00
01-07-435-311	POSTAGE & METER RENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>ADMINISTRATION</b>								
		25.48	1,402.54	9,165.00	15.30	7,762.46	18,330.00	16,927.46
<b>OTHER</b>								
01-07-440-542	EXAMS - WRITTEN	12,338.00	12,788.00	8,000.00	159.85	(4,788.00)	16,000.00	3,212.00
01-07-440-543	EXAMS - PHYSICAL	0.00	212.00	700.00	30.29	488.00	1,400.00	1,188.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	1,539.24	1,539.24	3,500.00	43.98	1,960.76	7,000.00	5,460.76
01-07-440-545	EXAMS - POLYGRAPH	0.00	660.00	1,000.00	66.00	340.00	2,000.00	1,340.00
<b>OTHER</b>								
		13,877.24	15,199.24	13,200.00	115.15	(1,999.24)	26,400.00	11,200.76

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
Total Dept 07-BOARD OF POLICE COMMISSIONERS		13,902.72	16,601.78	22,365.00	74.23	5,763.22	44,730.00	28,128.22
Dept 10-ADMINISTRATION								
GENERAL MANAGEMENT								
01-10-400-147	MEDICARE	387.59	3,221.40	3,426.00	94.03	204.60	6,852.00	3,630.60
01-10-400-151	IMRF	4,147.16	36,876.30	40,107.00	91.94	3,230.70	80,214.00	43,337.70
01-10-400-161	SOCIAL SECURITY	1,657.29	11,755.32	11,715.00	100.34	(40.32)	23,430.00	11,674.68
01-10-455-101	SALARIES - MANAGEMENT STA	9,568.67	78,463.11	82,929.00	94.61	4,465.89	165,858.00	87,394.89
01-10-455-102	OVERTIME	1,089.15	6,013.58	5,000.00	120.27	(1,013.58)	10,000.00	3,986.42
01-10-455-106	ASST TO VILLAGE ADMINISTRA	7,550.88	60,407.05	65,439.00	92.31	5,031.95	130,878.00	70,470.95
01-10-455-107	ADMINISTRATIVE INTERN	504.30	9,662.42	10,234.00	94.41	571.58	20,468.00	10,805.58
01-10-455-126	SALARIES - CLERICAL	8,388.96	67,111.69	72,704.00	92.31	5,592.31	145,408.00	78,296.31
01-10-455-131	PERSONNEL RECRUITMENT	0.00	0.00	550.00	0.00	550.00	1,100.00	1,100.00
01-10-455-141	HEALTH/DENTAL/LIFE INSURAN	2,667.14	27,030.99	29,219.00	92.51	2,188.01	58,438.00	31,407.01
01-10-455-144	EMPLOYEE BENEFIT - UNEMPL	0.00	0.00	213.00	0.00	213.00	426.00	426.00
01-10-455-201	PHONE - TELEPHONES	1,407.81	18,503.78	13,260.00	139.55	(5,243.78)	26,520.00	8,016.22
01-10-455-266	CODIFY ORDINANCES	0.00	2,115.00	3,000.00	70.50	885.00	6,000.00	3,885.00
01-10-455-301	OFFICE SUPPLIES	1,447.21	6,556.73	10,000.00	65.57	3,443.27	20,000.00	13,443.27
01-10-455-302	PRINTING & PUBLISHING	0.00	1,779.04	3,000.00	59.30	1,220.96	6,000.00	4,220.96
01-10-455-303	FUEL/MILEAGE/WASH	82.54	965.43	2,800.00	34.48	1,834.57	5,600.00	4,634.57
01-10-455-304	SCHOOLS/CONFERENCES/TRA	40.00	2,893.67	5,116.00	56.56	2,222.33	10,232.00	7,338.33
01-10-455-305	STRATEGIC PLANNING	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	0.00	12,020.65	15,010.00	80.08	2,989.35	30,020.00	17,999.35
01-10-455-311	POSTAGE & METER RENT	615.85	3,504.07	6,955.00	50.38	3,450.93	13,910.00	10,405.93
01-10-455-315	COPY SERVICE	662.99	7,016.06	4,000.00	175.40	(3,016.06)	8,000.00	983.94
01-10-455-355	COMMISSARY PROVISION	79.38	604.98	1,500.00	40.33	895.02	3,000.00	2,395.02
01-10-455-409	MAINTENANCE - VEHICLES	0.00	391.23	1,000.00	39.12	608.77	2,000.00	1,608.77
01-10-455-411	MAINTENANCE - EQUIPMENT	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-10-455-505	CASH - OVER OR SHORT	0.00	(8.18)	0.00	100.00	8.18	0.00	8.18
GENERAL MANAGEMENT		40,296.92	356,884.32	389,927.00	91.53	33,042.68	779,854.00	422,969.68
COMMUNITY RELATIONS								
01-10-475-365	PUBLIC RELATIONS	147.95	2,356.03	10,000.00	23.56	7,643.97	20,000.00	17,643.97
01-10-475-366	NEWSLETTER	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-10-475-370	MEALS-ON-WHEELS	0.00	2,000.00	2,000.00	100.00	0.00	4,000.00	2,000.00
01-10-475-372	SENIOR CITIZEN TAXI PROGRA	0.00	1,250.00	1,200.00	104.17	(50.00)	2,400.00	1,150.00
COMMUNITY RELATIONS		147.95	5,606.03	15,200.00	36.88	9,593.97	30,400.00	24,793.97
CAPITAL IMPROVEMENTS								
01-10-485-602	BUILDING IMPROVEMENTS	0.00	1,949.73	52,500.00	3.71	50,550.27	105,000.00	103,050.27
01-10-485-611	FURNITURE & OFFICE EQUIPME	0.00	69.98	2,500.00	2.80	2,430.02	5,000.00	4,930.02
01-10-485-641	EDP EQUIPMENT	0.00	0.00	16,399.00	0.00	16,399.00	32,798.00	32,798.00
01-10-485-642	PEG CHANNEL EQUIPMENT	0.00	0.00	8,000.00	0.00	8,000.00	16,000.00	16,000.00
01-10-485-643	9/11 ARTIFACT	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
CAPITAL IMPROVEMENTS		0.00	2,019.71	99,399.00	2.03	97,379.29	198,798.00	196,778.29
DATA PROCESSING								
01-10-460-212	EDP EQUIPMENT/SOFTWARE	0.00	5,200.75	3,784.00	137.44	(1,416.75)	7,568.00	2,367.25

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
01-10-460-225	INTERNET/WEBSITE HOSTING	129.85	6,122.08	0.00	100.00	(6,122.08)	0.00	(6,122.08)
01-10-460-267	DOCUMENT STORAGE/SCANNI	0.00	4,073.00	0.00	100.00	(4,073.00)	0.00	(4,073.00)
01-10-460-305	EDP PERSONNEL TRAINING	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-10-460-331	OPERATING SUPPLIES	0.00	252.81	500.00	50.56	247.19	1,000.00	747.19
<b>DATA PROCESSING</b>								
		129.85	15,648.64	4,534.00	345.14	(11,114.64)	9,068.00	(6,580.64)
<b>BUILDINGS</b>								
01-10-466-228	MAINTENANCE - BUILDING	3,630.19	48,021.92	58,773.00	81.71	10,751.08	117,546.00	69,524.08
01-10-466-235	NICOR GAS (7760 QUINCY)	683.06	3,056.53	5,250.00	58.22	2,193.47	10,500.00	7,443.47
01-10-466-236	NICOR GAS (835 MIDWAY)	439.73	1,188.66	4,000.00	29.72	2,811.34	8,000.00	6,811.34
01-10-466-237	NICOR GAS (825 MIDWAY)	465.64	2,408.37	1,250.00	192.67	(1,158.37)	2,500.00	91.63
01-10-466-240	ENERGY/COMED (835 MIDWAY)	25.01	1,843.10	3,000.00	61.44	1,156.90	6,000.00	4,156.90
01-10-466-241	ENERGY/COMED (825 MIDWAY)	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-10-466-250	SANITARY (7760 QUINCY)	22.94	79.27	300.00	26.42	220.73	600.00	520.73
01-10-466-251	SANITARY (835 MIDWAY)	31.19	407.46	400.00	101.87	(7.46)	800.00	392.54
01-10-466-252	SANITARY (825 MIDWAY)	32.59	259.59	200.00	129.80	(59.59)	400.00	140.41
01-10-466-293	LANDSCAPE - VILLAGE HALL	0.00	1,972.49	5,500.00	35.86	3,527.51	11,000.00	9,027.51
01-10-466-351	BUILDING MAINTENANCE SUPP	220.54	5,091.51	8,000.00	63.64	2,908.49	16,000.00	10,908.49
01-10-466-385	SANITARY USER CHARGE	0.00	0.00	200.00	0.00	200.00	400.00	400.00
<b>BUILDINGS</b>								
		5,550.89	64,328.90	87,373.00	73.63	23,044.10	174,746.00	110,417.10
<b>LEGAL</b>								
01-10-470-239	FEES - VILLAGE ATTORNEY	5,951.96	81,040.58	75,000.00	108.05	(6,040.58)	150,000.00	68,959.42
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	8,929.71	3,000.00	297.66	(5,929.71)	6,000.00	(2,929.71)
01-10-470-242	FEES - LABOR COUNSEL	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
<b>LEGAL</b>								
		5,951.96	89,970.29	88,000.00	102.24	(1,970.29)	176,000.00	86,029.71
<b>RISK MANAGEMENT</b>								
01-10-480-272	INSURANCE - IRMA	0.00	223,499.00	244,034.00	91.59	20,535.00	488,068.00	264,569.00
01-10-480-273	SELF INSURANCE - DEDUCTIBL	0.00	721.00	2,500.00	28.84	1,779.00	5,000.00	4,279.00
01-10-480-276	WELLNESS	0.00	2,421.38	12,220.00	19.81	9,798.62	24,440.00	22,018.62
<b>RISK MANAGEMENT</b>								
		0.00	226,641.38	258,754.00	87.59	32,112.62	517,508.00	290,866.62
<b>TRANSFERS TO OTHER FUNDS</b>								
01-10-900-111	TRANSFER TO DEBT SERVICE	0.00	67,184.00	67,184.00	100.00	0.00	134,368.00	67,184.00
01-10-900-112	TRANSFER TO DEBT SERVICE -	0.00	211,795.00	211,795.00	100.00	0.00	423,590.00	211,795.00
01-10-900-114	TRANSFER TO LAFER	0.00	1,553.22	25,000.00	6.21	23,446.78	50,000.00	48,446.78
<b>TRANSFERS TO OTHER FUNDS</b>								
		0.00	280,532.22	303,979.00	92.29	23,446.78	607,958.00	327,425.78
<b>Total Dept 10-ADMINISTRATION</b>								
		52,077.57	1,041,631.49	1,247,166.00	83.52	205,534.51	2,494,332.00	1,452,700.51
<b>Dept 15-PLANNING &amp; ECONOMIC DEVELOPMENT</b>								
<b>GENERAL MANAGEMENT</b>								
01-15-400-147	MEDICARE	48.50	411.32	424.00	97.01	12.68	848.00	436.68
01-15-400-151	IMRF	531.82	4,768.95	5,194.00	91.82	425.05	10,388.00	5,619.05
01-15-400-161	SOCIAL SECURITY	207.41	1,759.01	1,815.00	96.92	55.99	3,630.00	1,870.99

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<b>Fund 01 - GENERAL FUND</b>								
01-15-510-102	OVERTIME	126.60	1,328.67	500.00	265.73	(828.67)	1,000.00	(328.67)
01-15-510-126	SALARIES - CLERICAL	3,320.05	26,449.76	28,775.00	91.92	2,325.24	57,550.00	31,100.24
01-15-510-141	HEALTH/DENTAL/LIFE INSURAN	770.72	8,498.92	9,313.00	91.26	814.08	18,626.00	10,127.08
01-15-510-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	36.00	0.00	36.00	72.00	72.00
01-15-510-232	CONSULTANTS - DESIGN & OTH	0.00	0.00	31,500.00	0.00	31,500.00	63,000.00	63,000.00
01-15-510-301	OFFICE SUPPLIES	0.00	682.40	200.00	341.20	(482.40)	400.00	(282.40)
01-15-510-302	PRINTING & PUBLISHING	156.22	2,141.10	3,000.00	71.37	858.90	6,000.00	3,858.90
01-15-510-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	0.00	997.65	800.00	124.71	(197.65)	1,600.00	602.35
01-15-510-311	POSTAGE & METER RENT	0.00	37.09	750.00	4.95	712.91	1,500.00	1,462.91
01-15-510-340	PLAN COMMISSION COMPENSA	58.45	750.41	650.00	115.45	(100.41)	1,300.00	549.59
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>GENERAL MANAGEMENT</b>		5,219.77	47,825.28	85,957.00	55.64	38,131.72	171,914.00	124,088.72
<b>CAPITAL IMPROVEMENTS</b>								
01-15-540-641 EDP EQUIPMENT		0.00	0.00	2,400.00	0.00	2,400.00	4,800.00	4,800.00
<b>CAPITAL IMPROVEMENTS</b>		0.00	0.00	2,400.00	0.00	2,400.00	4,800.00	4,800.00
<b>DATA PROCESSING</b>								
01-15-515-212 EDP EQUIPMENT/SOFTWARE		0.00	2,250.39	450.00	500.09	(1,800.39)	900.00	(1,350.39)
01-15-515-305 EDP PERSONNEL TRAINING		0.00	0.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
01-15-515-306 CONSULTING SERVICES		0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
<b>DATA PROCESSING</b>		0.00	2,250.39	3,300.00	68.19	1,049.61	6,600.00	4,349.61
<b>ENGINEERING</b>								
01-15-520-229 RENT - MEETING ROOM		0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-15-520-245 FEES - ENGINEERING		1,121.00	2,192.75	3,000.00	73.09	807.25	6,000.00	3,807.25
01-15-520-246 FEES - COURT REPORTER		496.20	4,111.85	2,000.00	205.59	(2,111.85)	4,000.00	(111.85)
01-15-520-254 PLAN REVIEW - ENGINEER		1,486.72	12,881.60	10,000.00	128.82	(2,881.60)	20,000.00	7,118.40
01-15-520-257 PLAN REVIEW - PLANNER		10,335.63	116,142.45	75,000.00	154.86	(41,142.45)	150,000.00	33,857.55
01-15-520-258 PLAN REVIEW - TRAFFIC CONS		1,120.50	1,344.60	7,200.00	18.68	5,855.40	14,400.00	13,055.40
<b>ENGINEERING</b>		14,560.05	136,673.25	97,450.00	140.25	(39,223.25)	194,900.00	58,226.75
<b>RISK MANAGEMENT</b>								
01-15-535-273 SELF INSURANCE - DEDUCTIBL		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
<b>RISK MANAGEMENT</b>		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
<b>Total Dept 15-PLANNING &amp; ECONOMIC DEVELOPMENT</b>		19,779.82	186,748.92	191,607.00	97.46	4,858.08	383,214.00	196,465.08
<b>Dept 20-PARKS &amp; RECREATION</b>								
<b>CAPITAL IMPROVEMENTS</b>								
01-20-595-641 EDP EQUIPMENT		0.00	0.00	1,600.00	0.00	1,600.00	3,200.00	3,200.00
01-20-595-695 PARK IMPROVEMENTS - NEIGH		23,781.28	79,965.34	856,189.00	9.34	776,223.66	1,712,378.00	1,632,412.66
01-20-595-696 COMMUNITY PARK DEVELOPME		0.00	0.00	4,210.00	0.00	4,210.00	8,420.00	8,420.00
<b>CAPITAL IMPROVEMENTS</b>		23,781.28	79,965.34	861,999.00	9.28	782,033.66	1,723,998.00	1,644,032.66

EXPENDITURE REPORT FOR WILLOWBROOK  
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>ADMINISTRATION</b>								
01-20-400-147	MEDICARE	43.69	562.40	411.00	136.84	(151.40)	822.00	259.60
01-20-400-151	IMIRF	464.99	5,463.98	4,190.00	130.41	(1,273.98)	8,380.00	2,916.02
01-20-400-161	SOCIAL SECURITY	186.83	2,404.65	1,759.00	136.71	(645.65)	3,518.00	1,113.35
01-20-550-101	SALARIES - PERMANENT EMPL	3,013.50	28,157.30	27,025.00	104.19	(1,132.30)	54,050.00	25,892.70
01-20-550-103	PART TIME - PROGRAM SUPER	0.00	0.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
01-20-550-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	97.00	0.00	97.00	194.00	194.00
01-20-550-148	LIFE INSURANCE - COMMISSIO	84.18	1,174.74	1,056.00	111.24	(118.74)	2,112.00	937.26
01-20-550-201	EMERGENCY TELEPHONE LINE	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-20-550-301	OFFICE SUPPLIES	0.00	75.27	200.00	37.64	124.73	400.00	324.73
01-20-550-302	PRINTING & PUBLISHING	0.00	7,486.36	2,360.00	317.22	(5,126.36)	4,720.00	(2,766.36)
01-20-550-303	FUEL/MILEAGE/WASH	0.00	0.00	266.00	0.00	266.00	532.00	532.00
01-20-550-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	325.00	0.00	325.00	650.00	650.00
01-20-550-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	275.00	0.00	275.00	550.00	550.00
01-20-550-311	POSTAGE & METER RENT	1,594.91	3,954.50	5,969.00	66.25	2,014.50	11,938.00	7,983.50
<b>ADMINISTRATION</b>		<b>5,388.10</b>	<b>49,279.20</b>	<b>45,383.00</b>	<b>108.59</b>	<b>(3,896.20)</b>	<b>90,766.00</b>	<b>41,486.80</b>
<b>DATA PROCESSING</b>								
01-20-555-212	EDP EQUIPMENT/SOFTWARE	0.00	1,535.25	300.00	511.75	(1,235.25)	600.00	(935.25)
01-20-555-306	CONSULTING SERVICES	7,500.00	15,000.00	15,000.00	100.00	0.00	30,000.00	15,000.00
01-20-615-267	DOCUMENT STORAGE/SCANNI	2,003.90	2,003.90	0.00	100.00	(2,003.90)	0.00	(2,003.90)
<b>DATA PROCESSING</b>		<b>9,503.90</b>	<b>18,539.15</b>	<b>15,300.00</b>	<b>121.17</b>	<b>(3,239.15)</b>	<b>30,600.00</b>	<b>12,060.85</b>
<b>RISK MANAGEMENT</b>								
01-20-560-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
<b>RISK MANAGEMENT</b>		<b>0.00</b>	<b>0.00</b>	<b>2,500.00</b>	<b>0.00</b>	<b>2,500.00</b>	<b>5,000.00</b>	<b>5,000.00</b>
<b>LANDSCAPING</b>								
01-20-565-245	FEES - ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-20-565-341	PARK LANDSCAPE SUPPLIES	0.00	12,039.54	15,500.00	77.67	3,460.46	31,000.00	18,960.46
01-20-565-342	LANDSCAPE MAINTENANCE SE	960.00	36,701.78	62,983.00	58.27	26,281.22	125,966.00	89,264.22
01-20-565-352	REIMB EXPENSES - MEMORIAL	0.00	0.00	3,500.00	0.00	3,500.00	7,000.00	7,000.00
<b>LANDSCAPING</b>		<b>960.00</b>	<b>48,741.32</b>	<b>82,983.00</b>	<b>58.74</b>	<b>34,241.68</b>	<b>165,966.00</b>	<b>117,224.68</b>
<b>MAINTENANCE</b>								
01-20-570-102	OVERTIME	0.00	5,473.31	7,000.00	78.19	1,526.69	14,000.00	8,526.69
01-20-570-103	PART TIME - LABOR	0.00	1,932.14	10,080.00	19.17	8,147.86	20,160.00	18,227.86
01-20-570-234	RENT - EQUIPMENT	0.00	778.18	907.00	85.80	128.82	1,814.00	1,035.82
01-20-570-279	TRASH REMOVAL	0.00	0.00	155.00	0.00	155.00	310.00	310.00
01-20-570-281	CONTRACTED MAINTENANCE	235.00	87,216.74	25,550.00	341.36	(61,666.74)	51,100.00	(36,116.74)
01-20-570-331	MAINTENANCE SUPPLIES	0.00	6,121.64	11,350.00	53.94	5,228.36	22,700.00	16,578.36
01-20-570-345	UNIFORMS	0.00	0.00	200.00	0.00	200.00	400.00	400.00
<b>MAINTENANCE</b>		<b>235.00</b>	<b>101,522.01</b>	<b>55,242.00</b>	<b>183.78</b>	<b>(46,280.01)</b>	<b>110,484.00</b>	<b>8,961.99</b>
<b>SUMMER PROGRAM</b>								
01-20-575-111	RECREATION INSTRUCTORS	0.00	0.00	2,253.00	0.00	2,253.00	4,506.00	4,506.00
01-20-575-119	SUMMER PROGRAM MATERIAL	0.00	4,823.66	7,244.00	66.59	2,420.34	14,488.00	9,664.34
01-20-575-517	SENIORS PROGRAM	0.00	5,000.00	4,667.00	107.14	(333.00)	9,334.00	4,334.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>SUMMER PROGRAM</b>								
0.00		9,823.66	14,164.00	69.36	4,340.34	28,328.00	18,504.34	
<b>FALL PROGRAM</b>								
01-20-580-111	RECREATION INSTRUCTORS	0.00	0.00	442.00	0.00	442.00	884.00	884.00
01-20-580-118	FALL PROGRAM MATERIALS & S	0.00	513.11	54.00	950.20	(459.11)	108.00	(405.11)
01-20-580-517	SENIORS PROGRAM	0.00	5,912.00	4,667.00	126.68	(1,245.00)	9,334.00	3,422.00
0.00		6,425.11	5,163.00	124.45	(1,262.11)	10,326.00	3,900.89	
<b>WINTER PROGRAM</b>								
01-20-585-112	RECREATION INSTRUCTORS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-585-121	WINTER PROGRAM MATERIALS	0.00	1,798.00	6,429.00	27.97	4,631.00	12,858.00	11,060.00
01-20-585-150	CHILDRENS SPECIAL EVENTS -	510.94	5,823.84	2,597.00	224.25	(3,226.84)	5,194.00	(629.84)
01-20-585-151	FAMILY SPECIAL EVENT - MOVI	0.00	902.00	1,361.00	66.27	459.00	2,722.00	1,820.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE	0.00	0.00	7,500.00	0.00	7,500.00	15,000.00	15,000.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	970.00	3,184.00	30.46	2,214.00	6,368.00	5,398.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	799.99	11,408.75	21,000.00	54.33	9,591.25	42,000.00	30,591.25
01-20-585-232	RENT - FACILITY	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-20-585-517	SENIORS PROGRAM	0.00	5,000.00	4,667.00	107.14	(333.00)	9,334.00	4,334.00
1,310.93		25,902.59	47,538.00	54.49	21,635.41	95,076.00	69,173.41	
<b>WINTER PROGRAM</b>								
<b>SPRING PROGRAM</b>								
01-20-586-112	RECREATION INSTRUCTORS - S	0.00	0.00	289.00	0.00	289.00	578.00	578.00
01-20-586-121	SPRING PROGRAM MATERIALS	0.00	0.00	170.00	0.00	170.00	340.00	340.00
0.00		0.00	0.00	459.00	0.00	459.00	918.00	918.00
<b>SPECIAL RECREATION</b>								
01-20-590-518	SPECIAL RECREATION ASSOC	0.00	37,044.38	37,045.00	100.00	0.62	74,090.00	37,045.62
01-20-590-520	ADA RECREATION ACCOMMOD	0.00	5,709.80	11,175.00	51.09	5,465.20	22,350.00	16,640.20
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	0.00	66,492.00	0.00	66,492.00	132,984.00	132,984.00
0.00		42,754.18	114,712.00	37.27	71,957.82	229,424.00	186,669.82	
<b>Total Dept 20-PARKS &amp; RECREATION</b>								
41,179.21		382,952.56	1,245,443.00	30.75	862,490.44	2,490,886.00	2,107,933.44	
<b>Dept 25-FINANCE DEPARTMENT</b>								
<b>GENERAL MANAGEMENT</b>								
01-25-400-147	MEDICARE	362.87	2,929.03	3,253.00	90.04	323.97	6,506.00	3,576.97
01-25-400-151	IMRF	3,548.42	29,353.88	33,171.00	88.49	3,817.12	66,342.00	36,988.12
01-25-400-161	SOCIAL SECURITY	1,551.56	12,350.64	13,505.00	91.45	1,154.36	27,010.00	14,659.36
01-25-610-101	SALARIES - MANAGEMENT STA	14,429.04	115,432.32	125,050.00	92.31	9,617.68	250,100.00	134,667.68
01-25-610-102	OVERTIME	40.50	1,939.58	1,500.00	129.31	(439.58)	3,000.00	1,060.42
01-25-610-104	PART TIME - CLERICAL	2,718.36	21,596.75	23,911.00	90.32	2,314.25	47,822.00	26,225.25
01-25-610-126	SALARIES - CLERICAL	8,527.45	68,519.53	73,904.00	92.71	5,384.47	147,808.00	79,288.47
01-25-610-141	HEALTH/DENTAL/LIFE INSURAN	2,245.35	24,465.10	26,074.00	93.83	1,608.90	52,148.00	27,682.90
01-25-610-144	EMPLOYEE BENEFIT - UNEMPL	0.00	0.00	274.00	0.00	274.00	548.00	548.00
01-25-610-301	OFFICE SUPPLIES	615.00	2,463.66	3,730.00	66.05	1,266.34	7,460.00	4,996.34
01-25-610-302	PRINTING & PUBLISHING	0.00	906.11	1,150.00	78.79	243.89	2,300.00	1,393.89

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<b>Fund 01 - GENERAL FUND</b>								
01-25-610-303	FUEL/MILEAGE/WASH	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-25-610-304	SCHOOLS/CONFERENCES/TRA	0.00	322.65	4,225.00	7.64	3,902.35	8,450.00	8,127.35
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	103.35	2,307.20	2,015.00	114.50	(292.20)	4,030.00	1,722.80
01-25-610-311	POSTAGE & METER RENT	0.00	227.26	600.00	37.88	372.74	1,200.00	972.74
	<b>GENERAL MANAGEMENT</b>	<b>34,141.90</b>	<b>282,813.71</b>	<b>312,562.00</b>	<b>90.48</b>	<b>29,748.29</b>	<b>625,124.00</b>	<b>342,310.29</b>
<b>CAPITAL IMPROVEMENTS</b>								
01-25-625-611	FURNITURE & OFFICE EQUIPME	0.00	350.00	0.00	100.00	(350.00)	0.00	(350.00)
01-25-625-641	EDP EQUIPMENT	0.00	0.00	4,800.00	0.00	4,800.00	9,600.00	9,600.00
	<b>CAPITAL IMPROVEMENTS</b>	<b>0.00</b>	<b>350.00</b>	<b>4,800.00</b>	<b>7.29</b>	<b>4,450.00</b>	<b>9,600.00</b>	<b>9,250.00</b>
<b>DATA PROCESSING</b>								
01-25-615-212	EDP EQUIPMENT/SOFTWARE	1,204.00	6,745.55	37,505.00	17.99	30,759.45	75,010.00	68,264.45
01-25-615-213	VILLAGE-WIDE IT SOFTWARE/LI	0.00	0.00	6,711.00	0.00	6,711.00	13,422.00	13,422.00
01-25-615-263	EDP LICENSES	1,647.38	20,258.31	500.00	4,051.66	(19,758.31)	1,000.00	(19,258.31)
01-25-615-305	EDP PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-25-615-306	IT - CONSULTING SERVICES	0.00	20,617.42	25,000.00	82.47	4,382.58	50,000.00	29,382.58
01-25-615-331	OPERATING SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
	<b>DATA PROCESSING</b>	<b>2,851.38</b>	<b>47,621.28</b>	<b>70,716.00</b>	<b>67.34</b>	<b>23,094.72</b>	<b>141,432.00</b>	<b>93,810.72</b>
<b>FINANCIAL AUDIT</b>								
01-25-620-251	AUDIT SERVICES	0.00	25,031.00	25,031.00	100.00	0.00	50,062.00	25,031.00
01-25-620-252	FINANCIAL SERVICES	0.00	4,140.00	4,840.00	85.54	700.00	9,680.00	5,540.00
	<b>FINANCIAL AUDIT</b>	<b>0.00</b>	<b>29,171.00</b>	<b>29,871.00</b>	<b>97.66</b>	<b>700.00</b>	<b>59,742.00</b>	<b>30,571.00</b>
	<b>Total Dept 25-FINANCE DEPARTMENT</b>	<b>36,993.28</b>	<b>359,955.99</b>	<b>417,949.00</b>	<b>86.12</b>	<b>57,993.01</b>	<b>835,898.00</b>	<b>475,942.01</b>
<b>Dept 30-POLICE DEPARTMENTS</b>								
<b>CAPITAL IMPROVEMENTS</b>								
01-30-680-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-30-680-625	NEW VEHICLES	0.00	130,000.00	130,000.00	100.00	0.00	260,000.00	130,000.00
01-30-680-641	EDP EQUIPMENT	0.00	0.00	20,797.00	0.00	20,797.00	41,594.00	41,594.00
	<b>CAPITAL IMPROVEMENTS</b>	<b>0.00</b>	<b>130,000.00</b>	<b>155,797.00</b>	<b>83.44</b>	<b>25,797.00</b>	<b>311,594.00</b>	<b>181,594.00</b>
<b>ADMINISTRATION</b>								
01-30-400-147	MEDICARE	3,850.27	34,722.15	38,004.00	91.36	3,281.85	76,008.00	41,285.85
01-30-400-151	IMRF	3,168.77	28,462.12	30,848.00	92.27	2,385.88	61,696.00	33,233.88
01-30-400-161	SOCIAL SECURITY	1,528.31	12,163.34	12,343.00	98.54	179.66	24,686.00	12,522.66
01-30-630-101	SALARIES - PERMANENT EMPL	220,418.60	1,912,861.16	2,156,912.00	88.69	244,050.84	4,313,824.00	2,400,962.84
01-30-630-102	OVERTIME	22,222.96	310,856.16	285,000.00	109.07	(25,856.16)	570,000.00	259,143.84
01-30-630-103	OVERTIME - SPECIAL DETAIL &	765.77	4,599.37	23,000.00	20.00	18,400.63	46,000.00	41,400.63
01-30-630-104	PART TIME - CLERICAL	3,117.28	22,868.71	25,202.00	90.74	2,333.29	50,404.00	27,535.29
01-30-630-106	ACCREDITATION MANAGER	737.50	4,212.50	12,245.00	34.40	8,032.50	24,490.00	20,277.50
01-30-630-126	SALARIES - CLERICAL	19,140.25	153,421.94	165,880.00	92.49	12,458.06	331,760.00	178,338.06
01-30-630-127	OVERTIME - CLERICAL	1,116.47	9,265.93	8,000.00	115.82	(1,265.93)	16,000.00	6,734.07
01-30-630-131	PERSONNEL RECRUITMENT	767.00	1,367.00	0.00	100.00	(1,367.00)	0.00	(1,367.00)

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<b>Fund 01 - GENERAL FUND</b>								
01-30-630-141	HEALTH/DENTAL/LIFE INSURAN	28,675.46	317,044.22	318,338.00	99.59	1,293.78	636,676.00	319,631.78
01-30-630-144	EMPLOYEE BENEFIT - UNEMPL	0.00	0.00	1,985.00	0.00	1,985.00	3,970.00	3,970.00
01-30-630-155	POLICE PENSION	92,978.07	743,824.56	805,810.00	92.31	61,985.44	1,611,620.00	867,795.44
01-30-630-201	PHONE - TELEPHONES	2,202.74	22,428.01	28,000.00	80.10	5,571.99	56,000.00	33,571.99
01-30-630-202	ACCREDITATION	0.00	4,065.00	5,000.00	81.30	935.00	10,000.00	5,935.00
01-30-630-238	FIAT	0.00	3,500.00	3,500.00	100.00	0.00	7,000.00	3,500.00
01-30-630-241	FEES - FIELD COURT ATTORNE	0.00	(2,242.00)	12,000.00	(18.68)	14,242.00	24,000.00	26,242.00
01-30-630-242	DUPAGE CHILDREN'S CENTER	0.00	3,000.00	3,000.00	100.00	0.00	6,000.00	3,000.00
01-30-630-245	FIRING RANGE	0.00	1,503.43	2,000.00	75.17	496.57	4,000.00	2,496.57
01-30-630-246	RED LIGHT - ADJUDICATOR	765.00	4,057.65	7,000.00	57.97	2,942.35	14,000.00	9,942.35
01-30-630-247	RED LIGHT - CAMERA FEES	13,485.00	134,850.00	269,700.00	50.00	134,850.00	539,400.00	404,550.00
01-30-630-248	RED LIGHT - COM ED	119.35	1,247.84	2,400.00	51.99	1,152.16	4,800.00	3,552.16
01-30-630-249	RED LIGHT - MISC FEE	2,402.99	17,949.88	14,000.00	128.21	(3,949.88)	28,000.00	10,050.12
01-30-630-301	OFFICE SUPPLIES	150.08	4,354.14	6,600.00	65.97	2,245.86	13,200.00	8,845.86
01-30-630-302	PRINTING & PUBLISHING	0.00	2,623.03	5,450.00	48.13	2,826.97	10,900.00	8,276.97
01-30-630-303	FUEL/MILEAGE/WASH	4,274.39	39,240.26	92,300.00	42.51	53,059.74	184,600.00	145,359.74
01-30-630-304	SCHOOLS/CONFERENCES/TRA	624.00	13,192.89	25,000.00	52.77	11,807.11	50,000.00	36,807.11
01-30-630-305	TUITION REIMBURSEMENT	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	157.00	14,580.04	12,500.00	116.64	(2,080.04)	25,000.00	10,419.96
01-30-630-308	CADET PROGRAM	1,005.55	1,923.03	4,000.00	48.08	2,076.97	8,000.00	6,076.97
01-30-630-311	POSTAGE & METER RENT	688.02	3,893.50	4,000.00	97.34	106.50	8,000.00	4,106.50
01-30-630-315	COPY SERVICE	162.38	2,295.79	4,000.00	57.39	1,704.21	8,000.00	5,704.21
01-30-630-331	OPERATING SUPPLIES	0.00	1,372.11	2,000.00	68.61	627.89	4,000.00	2,627.89
01-30-630-345	UNIFORMS	1,124.54	21,602.13	29,000.00	74.49	7,397.87	58,000.00	36,397.87
01-30-630-346	AMMUNITION	0.00	5,426.60	12,000.00	45.22	6,573.40	24,000.00	18,573.40
01-30-630-401	OPERATING EQUIPMENT	2,152.94	18,507.96	23,000.00	80.47	4,492.04	46,000.00	27,492.04
01-30-630-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-30-630-409	MAINTENANCE - VEHICLES	4,907.32	26,262.42	72,000.00	36.48	45,737.58	144,000.00	117,737.58
01-30-630-421	MAINTENANCE - RADIO EQUIPM	0.00	0.00	6,300.00	0.00	6,300.00	12,600.00	12,600.00
ADMINISTRATION		432,708.01	3,901,302.87	4,531,817.00	86.09	630,514.13	9,063,634.00	5,162,331.13
<b>DATA PROCESSING</b>								
01-30-640-212	EDP EQUIPMENT/SOFTWARE	0.00	23,568.20	10,500.00	224.46	(13,068.20)	21,000.00	(2,568.20)
01-30-640-225	INTERNET/WEBSITE HOSTING	84.65	1,060.79	0.00	100.00	(1,060.79)	0.00	(1,060.79)
01-30-640-263	EDP LICENSES	0.00	15,292.25	11,000.00	139.02	(4,292.25)	22,000.00	6,707.75
01-30-640-267	DOCUMENT STORAGE/SCANNI	0.00	25,464.80	0.00	100.00	(25,464.80)	0.00	(25,464.80)
01-30-640-306	CONSULTING SERVICES	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
DATA PROCESSING		84.65	65,386.04	23,000.00	284.29	(42,386.04)	46,000.00	(19,386.04)
<b>RISK MANAGEMENT</b>								
01-30-645-273	SELF INSURANCE - DEDUCTIBL	0.00	5,153.08	12,500.00	41.22	7,346.92	25,000.00	19,846.92
RISK MANAGEMENT		0.00	5,153.08	12,500.00	41.22	7,346.92	25,000.00	19,846.92
<b>PATROL</b>								
01-30-650-268	ANIMAL CONTROL	0.00	145.00	800.00	18.13	655.00	1,600.00	1,455.00
01-30-650-343	JAIL SUPPLIES	0.00	473.20	1,000.00	47.32	526.80	2,000.00	1,526.80
01-30-650-345	UNIFORMS	0.00	649.56	0.00	100.00	(649.56)	0.00	(649.56)
01-30-650-349	DRUG FORFEITURE EXP - FEDE	0.00	9,080.00	40,000.00	22.70	30,920.00	80,000.00	70,920.00

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
PATROL		0.00	10,347.76	41,800.00	24.76	31,452.24	83,600.00	73,252.24
INVESTIGATIVE								
01-30-655-335	CAMERA SUPPLIES	0.00	0.00	400.00	0.00	400.00	800.00	800.00
01-30-655-339	CONFIDENTIAL FUNDS	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
INVESTIGATIVE		0.00	0.00	1,400.00	0.00	1,400.00	2,800.00	2,800.00
TRAFFIC SAFETY								
01-30-660-105	PART TIME - CROSSING GUARD	790.84	4,501.48	5,049.00	89.16	547.52	10,098.00	5,596.52
TRAFFIC SAFETY		790.84	4,501.48	5,049.00	89.16	547.52	10,098.00	5,596.52
ESDA COORDINATOR								
01-30-665-263	SIREN MAINTENANCE	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ESDA COORDINATOR		0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
CRIME PREVENTION								
01-30-670-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-670-331	COMMODITIES	0.00	2,492.81	4,500.00	55.40	2,007.19	9,000.00	6,507.19
CRIME PREVENTION		0.00	2,492.81	5,500.00	45.32	3,007.19	11,000.00	8,507.19
TELECOMMUNICATIONS								
01-30-675-235	RADIO DISPATCHING	0.00	309,559.45	311,366.00	99.42	1,806.55	622,732.00	313,172.55
TELECOMMUNICATIONS		0.00	309,559.45	311,366.00	99.42	1,806.55	622,732.00	313,172.55
Total Dept 30-POLICE DEPARTMENT		433,583.50	4,428,743.49	5,088,729.00	87.03	659,985.51	10,177,458.00	5,748,714.51
Dept 35-PUBLIC WORKS DEPARTMENT								
CAPITAL IMPROVEMENTS								
01-35-765-641	EDP EQUIPMENT	0.00	0.00	2,400.00	0.00	2,400.00	4,800.00	4,800.00
01-35-765-685	STREET IMPROVEMENTS	0.00	0.00	272,306.00	0.00	272,306.00	544,612.00	544,612.00
CAPITAL IMPROVEMENTS		0.00	0.00	274,706.00	0.00	274,706.00	549,412.00	549,412.00
ADMINISTRATION								
01-35-400-147	MEDICARE	385.72	3,079.55	3,125.00	98.55	45.45	6,250.00	3,170.45
01-35-400-151	IMRF	3,796.25	31,103.29	36,003.00	86.39	4,899.71	72,006.00	40,902.71
01-35-400-161	SOCIAL SECURITY	1,649.06	11,932.01	12,484.00	95.58	551.99	24,968.00	13,035.99
01-35-710-101	SALARIES - PERMANENT EMPL	17,199.27	135,425.36	151,562.00	89.35	16,136.64	303,124.00	167,698.64
01-35-710-102	OVERTIME - LABOR	4,522.71	24,118.03	18,620.00	129.53	(5,498.03)	37,240.00	13,121.97
01-35-710-103	PART TIME - LABOR	2,239.78	28,926.29	21,560.00	134.17	(7,366.29)	43,120.00	14,193.71
01-35-710-126	SALARIES - CLERICAL	2,741.05	21,928.18	23,754.00	92.31	1,825.82	47,508.00	25,579.82
01-35-710-141	HEALTH/DENTAL/LIFE INSURAN	1,626.41	16,916.41	27,629.00	61.23	10,712.59	55,258.00	38,341.59
01-35-710-144	EMPLOYEE BENEFITS - UNEMP	0.00	178.00	178.00	0.00	178.00	356.00	356.00
01-35-710-201	TELEPHONES	142.66	1,855.17	2,500.00	74.21	644.83	5,000.00	3,144.83
01-35-710-301	OFFICE SUPPLIES	98.00	135.58	500.00	27.12	364.42	1,000.00	864.42
01-35-710-302	PRINTING & PUBLISHING	0.00	282.80	1,250.00	22.62	967.20	2,500.00	2,217.20

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<b>Fund 01 - GENERAL FUND</b>								
01-35-710-303	FUEL/MILEAGE/WASH	496.36	5,756.48	12,500.00	46.05	6,743.52	25,000.00	19,243.52
01-35-710-304	SCHOOLS/CONFERENCES/TRA	0.00	172.00	3,000.00	5.73	2,828.00	6,000.00	5,828.00
01-35-710-306	REIMB PERSONNEL EXPENSES	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	0.00	290.00	350.00	82.86	60.00	700.00	410.00
01-35-710-311	POSTAGE & METER RENT	0.00	990.07	1,500.00	66.00	509.93	3,000.00	2,009.93
01-35-710-345	UNIFORMS	0.00	4,018.13	4,500.00	89.29	481.87	9,000.00	4,981.87
01-35-710-401	OPERATING SUPPLIES & EQUIP	0.00	1,603.38	5,000.00	32.07	3,396.62	10,000.00	8,396.62
01-35-710-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
<b>ADMINISTRATION</b>		<b>34,897.27</b>	<b>288,532.73</b>	<b>326,815.00</b>	<b>88.29</b>	<b>38,282.27</b>	<b>653,630.00</b>	<b>365,097.27</b>
<b>DATA PROCESSING</b>								
01-35-715-212	EDP EQUIPMENT/SOFTWARE	0.00	2,705.37	450.00	601.19	(2,255.37)	900.00	(1,805.37)
01-35-715-225	INTERNET/WEBSITE HOSTING	104.85	1,181.85	0.00	100.00	(1,181.85)	0.00	(1,181.85)
<b>DATA PROCESSING</b>		<b>104.85</b>	<b>3,887.22</b>	<b>450.00</b>	<b>863.83</b>	<b>(3,437.22)</b>	<b>900.00</b>	<b>(2,987.22)</b>
<b>ENGINEERING</b>								
01-35-720-245	FEES - ENGINEERING	1,906.75	175,022.34	164,623.00	106.32	(10,399.34)	329,246.00	154,223.66
01-35-720-254	PLAN REVIEW - ENGINEER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
<b>ENGINEERING</b>		<b>1,906.75</b>	<b>175,022.34</b>	<b>166,123.00</b>	<b>105.36</b>	<b>(8,899.34)</b>	<b>332,246.00</b>	<b>157,223.66</b>
<b>BUILDINGS</b>								
01-35-725-412	MAINTENANCE - GAS TANKS AN	0.00	18,902.07	8,400.00	225.02	(10,502.07)	16,800.00	(2,102.07)
01-35-725-413	MAINTENANCE - GARAGE	146.58	2,270.65	3,000.00	75.69	729.35	6,000.00	3,729.35
01-35-725-414	MAINTENANCE - SALT BINS	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-35-725-415	NICOR GAS	425.61	1,868.97	4,000.00	46.72	2,131.03	8,000.00	6,131.03
01-35-725-417	SANITARY USER CHARGE	23.87	66.83	200.00	33.42	133.17	400.00	333.17
01-35-725-418	MAINTENANCE - PW BUILDING	1,230.47	10,579.68	8,500.00	124.47	(2,079.68)	17,000.00	6,420.32
<b>BUILDINGS</b>		<b>1,826.53</b>	<b>33,688.20</b>	<b>24,600.00</b>	<b>136.94</b>	<b>(9,088.20)</b>	<b>49,200.00</b>	<b>15,511.80</b>
<b>EQUIPMENT REPAIR</b>								
01-35-735-409	MAINTENANCE - VEHICLES	645.30	18,349.57	20,000.00	91.75	1,650.43	40,000.00	21,650.43
01-35-735-411	MAINTENANCE - EQUIPMENT	2,529.50	5,538.20	4,000.00	138.46	(1,538.20)	8,000.00	2,461.80
<b>EQUIPMENT REPAIR</b>		<b>3,174.80</b>	<b>23,887.77</b>	<b>24,000.00</b>	<b>99.53</b>	<b>112.23</b>	<b>48,000.00</b>	<b>24,112.23</b>
<b>SNOW REMOVAL</b>								
01-35-740-287	SNOW REMOVAL CONTRACT	715.00	34,515.50	60,000.00	57.53	25,484.50	120,000.00	85,484.50
01-35-740-306	REIMB PERSONAL EXPENSES	0.00	0.00	200.00	0.00	200.00	400.00	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	0.00	1,684.80	6,000.00	28.08	4,315.20	12,000.00	10,315.20
<b>SNOW REMOVAL</b>		<b>715.00</b>	<b>36,200.30</b>	<b>66,200.00</b>	<b>54.68</b>	<b>29,999.70</b>	<b>132,400.00</b>	<b>96,199.70</b>
<b>STREET LIGHTING</b>								
01-35-745-207	ENERGY - STREET LIGHTS	533.09	17,226.28	16,640.00	103.52	(586.28)	33,280.00	16,053.72
01-35-745-223	MAINTENANCE - STREET LIGHT	1,980.75	20,112.91	15,000.00	134.09	(5,112.91)	30,000.00	9,887.09
01-35-745-224	MAINTENANCE - TRAFFIC SIGN	0.00	5,742.48	7,000.00	82.04	1,257.52	14,000.00	8,257.52
<b>STREET LIGHTING</b>		<b>2,513.84</b>	<b>43,081.67</b>	<b>38,640.00</b>	<b>111.50</b>	<b>(4,441.67)</b>	<b>77,280.00</b>	<b>34,198.33</b>
<b>STORM WATER IMPROVEMENTS</b>								

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<b>Fund 01 - GENERAL FUND</b>								
01-35-750-286	JET CLEANING CULVERT	1,590.00	8,869.50	20,000.00	44.35	11,130.50	40,000.00	31,130.50
01-35-750-289	SITE IMPROVEMENTS	0.00	22,480.76	20,000.00	112.40	(2,480.76)	40,000.00	17,519.24
01-35-750-290	EQUIPMENT RENTAL	759.27	1,830.16	5,000.00	36.60	3,169.84	10,000.00	8,169.84
01-35-750-328	STREET & ROW MAINTENANCE	15,067.34	170,203.72	90,000.00	189.12	(80,203.72)	180,000.00	9,796.28
01-35-750-329	MAINTENANCE - SAW MILL CRE	0.00	1,900.51	1,500.00	126.70	(400.51)	3,000.00	1,099.49
01-35-750-338	TREE MAINTENANCE	0.00	417,636.50	256,640.00	162.73	(160,996.50)	513,280.00	95,643.50
01-35-750-381	STORM WATER IMPROVEMENT	0.00	25,086.37	40,000.00	62.72	14,913.63	80,000.00	54,913.63
	<b>STORM WATER IMPROVEMENTS</b>	<b>17,416.61</b>	<b>648,007.52</b>	<b>433,140.00</b>	<b>149.61</b>	<b>(214,867.52)</b>	<b>866,280.00</b>	<b>218,272.48</b>
<b>STREET MAINTENANCE</b>								
01-35-755-279	TRASH REMOVAL	0.00	0.00	1,250.00	0.00	1,250.00	2,500.00	2,500.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	0.00	37,591.14	49,000.00	76.72	11,408.86	98,000.00	60,408.86
01-35-755-282	REIMB EXP - CONSTRUCTION	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-35-755-283	REIMB EXP - OTHER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	0.00	19,275.00	20,000.00	96.38	725.00	40,000.00	20,725.00
01-35-755-290	EQUIPMENT RENTAL	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE	0.00	24,958.44	20,000.00	124.79	(4,958.44)	40,000.00	15,041.56
01-35-755-331	OPERATING SUPPLIES	4,601.20	26,949.17	60,000.00	44.92	33,050.83	120,000.00	93,050.83
01-35-755-332	J.U.L.I.E.	0.00	2,422.18	2,387.00	101.47	(35.18)	4,774.00	2,351.82
01-35-755-333	ROAD SIGNS	3,653.06	13,435.17	9,000.00	149.28	(4,435.17)	18,000.00	4,564.83
01-35-755-401	OPERATING EQUIPMENT	0.00	626.50	2,500.00	25.06	1,873.50	5,000.00	4,373.50
	<b>STREET MAINTENANCE</b>	<b>8,254.26</b>	<b>125,257.60</b>	<b>166,887.00</b>	<b>75.06</b>	<b>41,629.40</b>	<b>333,774.00</b>	<b>208,516.40</b>
<b>NUISANCE CONTROL</b>								
01-35-760-258	PEST CONTROL	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-35-760-259	MOSQUITO ABATEMENT	0.00	28,869.55	32,100.00	89.94	3,230.45	64,200.00	35,330.45
	<b>NUISANCE CONTROL</b>	<b>0.00</b>	<b>28,869.55</b>	<b>33,100.00</b>	<b>87.22</b>	<b>4,230.45</b>	<b>66,200.00</b>	<b>37,330.45</b>
<b>Total Dept 35-PUBLIC WORKS DEPARTMENT</b>		<b>70,809.91</b>	<b>1,406,434.90</b>	<b>1,554,661.00</b>	<b>90.47</b>	<b>148,226.10</b>	<b>3,109,322.00</b>	<b>1,702,887.10</b>
<b>Dept 40-BUILDING &amp; ZONING DEPARTMENT</b>								
<b>GENERAL MANAGEMENT</b>								
01-40-400-147	MEDICARE	179.05	1,554.21	1,707.00	91.05	152.79	3,414.00	1,859.79
01-40-400-151	IMRF	1,960.93	18,797.02	20,882.00	90.02	2,084.98	41,764.00	22,966.98
01-40-400-161	SOCIAL SECURITY	765.57	6,645.38	7,298.00	91.06	652.62	14,596.00	7,950.62
01-40-810-101	SALARIES - PERMANENT EMPL	8,482.80	67,862.40	73,517.00	92.31	5,654.60	147,034.00	79,171.60
01-40-810-102	OVERTIME	905.47	15,134.03	15,413.00	98.19	278.97	30,826.00	15,691.97
01-40-810-126	SALARIES - CLERICAL	3,320.27	26,672.80	28,775.00	92.69	2,102.20	57,550.00	30,877.20
01-40-810-141	HEALTH/DENTAL/LIFE INSURAN	2,337.28	25,770.82	27,975.00	92.12	2,204.18	55,930.00	30,179.18
01-40-810-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	107.00	0.00	107.00	214.00	214.00
01-40-810-201	TELEPHONES	104.35	975.17	1,000.00	97.52	24.83	2,000.00	1,024.83
01-40-810-301	OFFICE SUPPLIES	63.31	1,186.11	750.00	158.15	(436.11)	1,500.00	313.89
01-40-810-302	PRINTING & PUBLISHING	0.00	552.58	750.00	73.68	197.42	1,500.00	947.42
01-40-810-303	FUEL/MILEAGE/WASH	43.11	532.06	1,250.00	42.56	717.94	2,500.00	1,967.94
01-40-810-304	SCHOOLS/CONFERENCES/TRA	0.00	1,175.00	1,000.00	117.50	(175.00)	2,000.00	825.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	0.00	330.00	500.00	66.00	170.00	1,000.00	670.00
01-40-810-311	POSTAGE & METER RENT	0.00	426.03	400.00	106.51	(26.03)	800.00	373.97

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Fund 01 - GENERAL FUND								
01-40-810-345	UNIFORMS	0.00	0.00	400.00	0.00	400.00	800.00	800.00
01-40-810-401	OPERATING EQUIPMENT	0.00	564.58	200.00	282.29	(364.58)	400.00	(164.58)
01-40-810-409	MAINTENANCE - VEHICLES	0.00	2,432.35	1,000.00	243.24	(1,432.35)	2,000.00	(432.35)
GENERAL MANAGEMENT		18,162.14	170,610.54	182,924.00	93.27	12,313.46	365,848.00	195,237.46
CAPITAL IMPROVEMENTS								
01-40-835-611	FURNITURE & OFFICE EQUIPME	0.00	700.00	0.00	100.00	(700.00)	0.00	(700.00)
CAPITAL IMPROVEMENTS		0.00	700.00	0.00	100.00	(700.00)	0.00	(700.00)
DATA PROCESSING								
01-40-815-212	EDP EQUIPMENT/SOFTWARE	0.00	2,502.61	450.00	556.14	(2,052.61)	900.00	(1,602.61)
01-40-815-305	EDP PERSONNEL TRAINING	0.00	1,450.00	1,350.00	107.41	(100.00)	2,700.00	1,250.00
01-40-815-306	CONSULTING SERVICES	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-40-815-401	EDP OPERATING EQUIPMENT	0.00	0.00	2,400.00	0.00	2,400.00	4,800.00	4,800.00
DATA PROCESSING		0.00	3,952.61	4,950.00	79.85	997.39	9,900.00	5,947.39
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	0.00	1,000.00	4,000.00	25.00	3,000.00	8,000.00	7,000.00
01-40-820-246	FEES - DRAINAGE ENGINEER	1,028.00	7,876.26	6,000.00	131.27	(1,876.26)	12,000.00	4,123.74
01-40-820-247	REIMB EXP - ENGINEERING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-40-820-254	PLAN REVIEW - ENGINEER	1,080.25	2,357.92	5,000.00	47.16	2,642.08	10,000.00	7,642.08
01-40-820-255	PLAN REVIEW - STRUCTURAL	0.00	3,620.00	5,000.00	72.40	1,380.00	10,000.00	6,380.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	14,455.84	89,781.88	30,000.00	299.27	(59,781.88)	60,000.00	(29,781.88)
01-40-820-259	PLAN REVIEW - DRAINAGE ENGI	0.00	18,304.88	12,500.00	146.44	(5,804.88)	25,000.00	6,695.12
ENGINEERING		16,564.09	122,940.94	63,000.00	195.14	(59,940.94)	126,000.00	3,059.06
INSPECTION								
01-40-830-109	PART TIME - INSPECTOR	2,793.00	31,080.00	30,000.00	103.60	(1,080.00)	60,000.00	28,920.00
01-40-830-115	PLUMBING INSPECTION	720.00	7,065.00	6,000.00	117.75	(1,065.00)	12,000.00	4,935.00
01-40-830-117	ELEVATOR INSPECTION	43.00	6,474.00	7,000.00	92.49	526.00	14,000.00	7,526.00
01-40-830-119	CODE ENFORCEMENT INSPECT	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
INSPECTION		3,556.00	44,619.00	47,000.00	94.93	2,381.00	94,000.00	49,381.00
Total Dept 40-BUILDING & ZONING DEPARTMENT		38,282.23	342,823.09	297,874.00	115.09	(44,949.09)	595,748.00	252,924.91
Fund 01 - GENERAL FUND:								
TOTAL EXPENDITURES		711,954.17	8,218,390.66	10,128,108.00	81.14	1,909,717.34	20,256,216.00	12,037,825.34

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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. APPROX.	APPROP. AVAIL.
Fund 02 - WATER FUND								
Dept 50-WATER DEPARTMENT								
CAPITAL IMPROVEMENTS								
02-50-440-694	DISTRIBUTION SYSTEM REPLA	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
02-50-440-695	EDP	368.00	27,371.00	23,276.00	117.59	(4,095.00)	46,552.00	19,181.00
CAPITAL IMPROVEMENTS								
		368.00	27,371.00	33,276.00	82.25	5,905.00	66,552.00	39,181.00
ADMINISTRATION								
02-50-400-147	MEDICARE	321.31	2,863.21	3,177.00	90.12	313.79	6,354.00	3,490.79
02-50-400-151	IMRF	3,458.60	32,475.82	36,035.00	90.12	3,559.18	72,070.00	39,594.18
02-50-400-161	SOCIAL SECURITY	1,374.15	11,314.83	13,585.00	83.29	2,270.17	27,170.00	15,855.17
02-50-401-101	SALARIES - PERMANENT EMPL	16,020.02	122,456.57	137,419.00	89.11	14,962.43	274,838.00	152,381.43
02-50-401-102	OVERTIME - LABOR	3,514.21	45,031.05	32,944.00	136.69	(12,087.05)	65,888.00	20,856.95
02-50-401-103	PART TIME - CLERICAL	0.00	6,908.13	25,000.00	27.63	18,091.87	50,000.00	43,091.87
02-50-401-126	SALARIES - CLERICAL	2,740.79	21,926.54	23,754.00	92.31	1,827.46	47,508.00	25,581.46
02-50-401-141	HEALTH/DENTAL/LIFE INSURAN	1,683.34	17,539.14	28,347.00	61.87	10,807.86	56,694.00	39,154.86
02-50-401-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	178.00	0.00	178.00	356.00	356.00
02-50-401-201	PHONE - TELEPHONES	311.14	9,303.49	9,600.00	96.91	296.51	19,200.00	9,896.51
02-50-401-239	FEES - VILLAGE ATTORNEY	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-401-301	OFFICE SUPPLIES	0.00	428.74	1,500.00	28.58	1,071.26	3,000.00	2,571.26
02-50-401-302	PRINTING & PUBLISHING	0.00	3,305.68	6,000.00	55.09	2,694.32	12,000.00	8,694.32
02-50-401-303	FUEL/MILEAGE/WASH	496.35	5,756.44	3,500.00	164.47	(2,256.44)	7,000.00	1,243.56
02-50-401-304	SCHOOLS CONFERENCE TRAV	0.00	32.00	2,000.00	1.60	1,968.00	4,000.00	3,968.00
02-50-401-306	REIMB PERSONNEL EXPENSES	0.00	0.00	150.00	0.00	150.00	300.00	300.00
02-50-401-307	FEES DUES SUBSCRIPTIONS	0.00	352.50	550.00	64.09	197.50	1,100.00	747.50
02-50-401-311	POSTAGE & METER RENT	0.00	3,772.40	6,500.00	58.04	2,727.60	13,000.00	9,227.60
02-50-401-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION								
		29,919.91	283,466.54	331,739.00	85.45	48,272.46	663,478.00	380,011.46
OTHER								
02-50-449-102	INTEREST EXPENSE	0.00	10,034.00	10,034.00	100.00	0.00	20,068.00	10,034.00
02-50-449-104	BOND PRINCIPAL EXPENSE	0.00	10,286.00	10,286.00	100.00	0.00	20,572.00	10,286.00
02-50-449-105	INTEREST EXPENSE - IEPA LOA	0.00	0.00	17,145.00	0.00	17,145.00	34,290.00	34,290.00
02-50-449-106	PRINCIPAL EXPENSE - IEPA LO	0.00	0.00	38,840.00	0.00	38,840.00	77,680.00	77,680.00
OTHER								
		0.00	20,320.00	76,305.00	26.63	55,985.00	152,610.00	132,290.00
DATA PROCESSING								
02-50-417-212	EDP EQUIPMENT/SOFTWARE	2,684.99	12,086.44	750.00	1,611.53	(11,336.44)	1,500.00	(10,586.44)
02-50-417-263	EDP LICENSES	538.00	5,245.00	0.00	100.00	(5,245.00)	0.00	(5,245.00)
02-50-417-305	EDP PERSONNEL TRAINING	0.00	0.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
02-50-417-401	EDP OPERATING EQUIPMENT	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
DATA PROCESSING								
		3,222.99	17,331.44	6,100.00	284.12	(11,231.44)	12,200.00	(5,131.44)
ENGINEERING								
02-50-405-245	FEES - ENGINEERING	1,748.00	4,616.43	2,000.00	230.82	(2,616.43)	4,000.00	(616.43)
ENGINEERING								
		1,748.00	4,616.43	2,000.00	230.82	(2,616.43)	4,000.00	(616.43)
TRANSFERS TO OTHER FUNDS								
02-50-410-501	REIMBURSE OVERHEAD GENER	43,582.58	479,408.38	522,991.00	91.67	43,582.62	1,045,982.00	566,573.62

EXPENDITURE REPORT FOR WILLOWBROOK  
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GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
<b>Fund 02 - WATER FUND</b>								
02-50-900-109	TRANSFER TO WATER CAPITAL	50,000.00	150,000.00	100,000.00	150.00	(50,000.00)	200,000.00	50,000.00
02-50-900-111	TRANSFER TO DEBT SERVICE	0.00	31,616.00	31,616.00	100.00	0.00	63,232.00	31,616.00
02-50-900-112	TRANSFER TO DEBT SERVICE -	0.00	15,435.00	15,435.00	100.00	0.00	30,870.00	15,435.00
	<b>TRANSFERS TO OTHER FUNDS</b>	<b>93,582.58</b>	<b>676,459.38</b>	<b>670,042.00</b>	<b>100.96</b>	<b>(6,417.38)</b>	<b>1,340,084.00</b>	<b>663,624.62</b>
<b>WATER PRODUCTION</b>								
02-50-420-206	ENERGY - ELECTRIC PUMP	2,465.11	12,036.60	12,000.00	100.31	(36.60)	24,000.00	11,963.40
02-50-420-294	LANDSCAPING - WELLS 1 & 3	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-420-361	CHEMICALS	0.00	835.57	1,750.00	47.75	914.43	3,500.00	2,664.43
02-50-420-362	SAMPLING ANALYSIS	319.00	1,529.00	2,678.00	57.09	1,149.00	5,356.00	3,827.00
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	1,193.47	500.00	238.69	(693.47)	1,000.00	(193.47)
02-50-420-491	PUMP INSPECTION REPAIR MAI	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-575	PURCHASE OF WATER	110,006.40	1,387,934.40	1,624,000.00	85.46	236,065.60	3,248,000.00	1,860,065.60
	<b>WATER PRODUCTION</b>	<b>112,790.51</b>	<b>1,403,529.04</b>	<b>1,642,928.00</b>	<b>85.43</b>	<b>239,398.96</b>	<b>3,285,856.00</b>	<b>1,882,326.96</b>
<b>WATER STORAGE</b>								
02-50-425-473	WELLHOUSE REPAIRS & MAINT	0.00	755.00	1,500.00	50.33	745.00	3,000.00	2,245.00
02-50-425-474	WELLHOUSE REPAIRS & MAIN -	0.00	1,918.67	1,000.00	191.87	(918.67)	2,000.00	81.33
02-50-425-475	MATERIALS & SUPPLIES- STAN	0.00	2,246.00	1,000.00	224.60	(1,246.00)	2,000.00	(246.00)
02-50-425-485	REPAIRS & MAINTENANCE-STA	1,258.05	7,629.85	5,985.00	127.48	(1,644.85)	11,970.00	4,340.15
	<b>WATER STORAGE</b>	<b>1,258.05</b>	<b>12,549.52</b>	<b>9,485.00</b>	<b>132.31</b>	<b>(3,064.52)</b>	<b>18,970.00</b>	<b>6,420.48</b>
<b>TRANSPORTATION/DISTRIBUTION</b>								
02-50-430-276	LEAK SURVEYS	0.00	4,222.00	10,000.00	42.22	5,778.00	20,000.00	15,778.00
02-50-430-277	WATER DISTRIBUTION REPAIRS	4,725.22	152,656.67	95,000.00	160.69	(57,656.67)	190,000.00	37,343.33
02-50-430-299	LANDSCAPING - OTHER	0.00	1,315.90	4,000.00	32.90	2,684.10	8,000.00	6,684.10
02-50-430-401	OPERATING EQUIPMENT	39.94	76.46	1,000.00	7.65	923.54	2,000.00	1,923.54
02-50-430-425	J. U. L. I. E. MAINTENANCE & SU	0.00	142.00	750.00	18.93	608.00	1,500.00	1,358.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRI	64.32	33,400.63	12,500.00	267.21	(20,900.63)	25,000.00	(8,400.63)
	<b>TRANSPORTATION/DISTRIBUTION</b>	<b>4,829.48</b>	<b>191,813.66</b>	<b>123,250.00</b>	<b>155.63</b>	<b>(68,563.66)</b>	<b>246,500.00</b>	<b>54,686.34</b>
<b>METERS &amp; BILLING</b>								
02-50-435-278	METERS FLOW TESTING	477.25	6,231.00	2,000.00	311.55	(4,231.00)	4,000.00	(2,231.00)
02-50-435-461	NEW METERING EQUIPMENT	6,037.08	50,328.95	7,500.00	671.05	(42,828.95)	15,000.00	(35,328.95)
02-50-435-462	METER REPLACEMENT	0.00	86.80	500.00	17.36	413.20	1,000.00	913.20
02-50-435-463	MAINTENANCE - METER EQUIP	0.00	81.68	5,000.00	1.63	4,918.32	10,000.00	9,918.32
	<b>METERS &amp; BILLING</b>	<b>6,514.33</b>	<b>56,728.43</b>	<b>15,000.00</b>	<b>378.19</b>	<b>(41,728.43)</b>	<b>30,000.00</b>	<b>(26,728.43)</b>
<b>Total Dept 50-WATER DEPARTMENT</b>		<b>254,233.85</b>	<b>2,694,185.44</b>	<b>2,910,125.00</b>	<b>92.58</b>	<b>215,939.56</b>	<b>5,820,250.00</b>	<b>3,126,064.56</b>

EXPENDITURE REPORT FOR WILLOWBROOK  
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ACTIVITY FOR	2016-17							
MONTH	ORIGINAL	% BDGT	AVAILABLE	APPROP.	APPROP.	AVAIL.		
03/31/17	BUDGET	USED	BALANCE					
	YTD BALANCE							
	03/31/2017							

Fund 02 - WATER FUND

TOTAL EXPENDITURES	254,233.85	2,694,185.44	2,910,125.00	92.58	215,939.56	5,820,250.00	3,126,064.56
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EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 03 - HOTEL/MOTEL TAX FUND								
Dept 53-HOTEL/MOTEL								
COMMUNITY RELATIONS								
03-53-435-302	PRINTING & PUBLISHING	0.00	68.25	0.00	100.00	(68.25)	0.00	(68.25)
03-53-435-303	WILLOWBROOK MOBILE PHONE	0.00	1,074.94	1,024.00	104.97	(50.94)	2,048.00	973.06
03-53-435-308	GRANT PILOT PROGRAM	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
03-53-435-316	LANDSCAPE BEAUTIFICATION	0.00	17,475.19	3,000.00	582.51	(14,475.19)	6,000.00	(11,475.19)
03-53-435-317	ADVERTISING	0.00	10,184.05	100,000.00	10.18	89,815.95	200,000.00	189,815.95
03-53-435-319	CHAMBER DIRECTORY	0.00	6,000.00	3,000.00	200.00	(3,000.00)	6,000.00	0.00
03-53-435-320	TRANSPORTATION	0.00	31,214.00	60,000.00	52.02	28,786.00	120,000.00	88,786.00
	COMMUNITY RELATIONS	0.00	66,016.43	172,024.00	38.38	106,007.57	344,048.00	278,031.57
ADMINISTRATION								
03-53-401-307	FEES DUES SUBSCRIPTIONS	0.00	6,481.20	12,150.00	53.34	5,668.80	24,300.00	17,818.80
03-53-401-311	POSTAGE & METER RENT	0.00	250.99	125.00	200.79	(125.99)	250.00	(0.99)
	ADMINISTRATION	0.00	6,732.19	12,275.00	54.84	5,542.81	24,550.00	17,817.81
SPECIAL EVENTS								
03-53-436-378	WINE & DINE INTELLIGENTLY	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
03-53-436-379	SPECIAL PROMOTIONAL EVENT	0.00	2,500.00	2,500.00	100.00	0.00	5,000.00	2,500.00
	SPECIAL EVENTS	0.00	2,500.00	4,500.00	55.56	2,000.00	9,000.00	6,500.00
	Total Dept 53-HOTEL/MOTEL	0.00	75,248.62	188,799.00	39.86	113,550.38	377,598.00	302,349.38
Fund 03 - HOTEL/MOTEL TAX FUND:								
	TOTAL EXPENDITURES	0.00	75,248.62	188,799.00	39.86	113,550.38	377,598.00	302,349.38

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 04 - MOTOR FUEL TAX FUND								
Dept 56-MOTOR FUEL TAX								
CAPITAL IMPROVEMENTS								
04-56-430-684	STREET MAINTENANCE CONTR	0.00	287,640.22	248,392.00	115.80	(39,248.22)	496,784.00	209,143.78
04-56-430-685	LAFO PROJECT	0.00	131,009.65	163,762.00	80.00	32,752.35	327,524.00	196,514.35
CAPITAL IMPROVEMENTS		0.00	418,649.87	412,154.00	101.58	(6,495.87)	824,308.00	405,658.13
Total Dept 56-MOTOR FUEL TAX		0.00	418,649.87	412,154.00	101.58	(6,495.87)	824,308.00	405,658.13
Fund 04 - MOTOR FUEL TAX FUND:								
TOTAL EXPENDITURES		0.00	418,649.87	412,154.00	101.58	(6,495.87)	824,308.00	405,658.13

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 06 - SSA ONE BOND & INTEREST FUND								
Dept 60-SSA BOND								
OTHER								
06-60-550-401	BOND PRINCIPAL EXPENSE	0.00	140,000.00	140,000.00	100.00	0.00	280,000.00	140,000.00
06-60-550-402	BOND INTEREST EXPENSE	0.00	179,485.00	179,485.00	100.00	0.00	358,970.00	179,485.00
OTHER		0.00	319,485.00	319,485.00	100.00	0.00	638,970.00	319,485.00
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Total Dept 60-SSA BOND		0.00	319,485.00	319,485.00	100.00	0.00	638,970.00	319,485.00
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Fund 06 - SSA ONE BOND & INTEREST FUND:								
TOTAL EXPENDITURES								
		0.00	319,485.00	319,485.00	100.00	0.00	638,970.00	319,485.00

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 07 - POLICE PENSION FUND								
Dept 62								
ADMINISTRATION								
07-62-401-242	LEGAL FEES	0.00	400.00	2,000.00	20.00	1,600.00	4,000.00	3,600.00
07-62-401-251	AUDIT FEES	0.00	3,869.00	3,869.00	100.00	0.00	7,738.00	3,869.00
07-62-401-252	ACTUARY SERVICES	0.00	4,400.00	4,400.00	100.00	0.00	8,800.00	4,400.00
07-62-401-253	FINANCIAL ADVISORY FEES	0.00	25,073.92	33,917.00	73.93	8,843.08	67,834.00	42,760.08
07-62-401-254	FIDUCIARY INSURANCE	0.00	3,026.00	3,098.00	97.68	72.00	6,196.00	3,170.00
07-62-401-304	SCHOOLS CONFERENCE TRAV	0.00	3,036.26	3,237.00	93.80	200.74	6,474.00	3,437.74
07-62-401-307	FEES DUES SUBSCRIPTIONS	0.00	795.00	819.00	97.07	24.00	1,638.00	843.00
07-62-401-531	DEPT OF INSURANCE FILING FE	0.00	3,862.74	3,863.00	99.99	0.26	7,726.00	3,863.26
ADMINISTRATION		0.00	44,462.92	55,203.00	80.54	10,740.08	110,406.00	65,943.08
PENSION BENEFITS								
07-62-401-581	PENSION BENEFITS	78,561.85	850,154.33	844,957.00	100.62	(5,197.33)	1,689,914.00	839,759.67
07-62-401-582	WIDOW'S PENSION	3,209.37	35,303.07	38,512.00	91.67	3,208.93	77,024.00	41,720.93
07-62-401-583	DISABILITY BENEFITS	5,706.62	53,063.14	58,770.00	90.29	5,706.86	117,540.00	64,476.86
07-62-401-586	SEPARATION REFUNDS	0.00	4,267.92	0.00	100.00	(4,267.92)	0.00	(4,267.92)
PENSION BENEFITS		87,477.84	942,788.46	942,239.00	100.06	(549.46)	1,884,478.00	941,689.54
Total Dept 62		87,477.84	987,251.38	997,442.00	98.98	10,190.62	1,994,884.00	1,007,632.62
Fund 07 - POLICE PENSION FUND:								
TOTAL EXPENDITURES		87,477.84	987,251.38	997,442.00	98.98	10,190.62	1,994,884.00	1,007,632.62

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND								
Dept 65-WATER CAPITAL IMPROVEMENTS								
CAPITAL IMPROVEMENTS								
09-65-440-600	WATER SYSTEM IMPROVEMEN	0.00	21,299.60	20,765.00	102.57	(534.60)	41,530.00	20,230.40
09-65-440-602	MTU REPLACEMENT	0.00	13,636.00	0.00	100.00	(13,636.00)	0.00	(13,636.00)
09-65-440-603	VALVE INSERTION PROGRAM	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
09-65-440-604	WATER TANK REPAIRS	3,093.63	935,050.50	981,760.00	95.24	46,709.50	1,963,520.00	1,028,469.50
CAPITAL IMPROVEMENTS		3,093.63	969,986.10	1,008,525.00	96.18	38,538.90	2,017,050.00	1,047,063.90
Total Dept 65-WATER CAPITAL IMPROVEMENTS		3,093.63	969,986.10	1,008,525.00	96.18	38,538.90	2,017,050.00	1,047,063.90
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:								
TOTAL EXPENDITURES		3,093.63	969,986.10	1,008,525.00	96.18	38,538.90	2,017,050.00	1,047,063.90

EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 10 - CAPITAL PROJECT FUND								
Dept 68-CAPITAL PROJECTS								
CAPITAL IMPROVEMENTS								
10-68-540-423	TRAFFIC IMPROVEMENTS	0.00	85,500.00	85,500.00	100.00	0.00	171,000.00	85,500.00
	CAPITAL IMPROVEMENTS	0.00	85,500.00	85,500.00	100.00	0.00	171,000.00	85,500.00
<hr/>								
	Total Dept 68-CAPITAL PROJECTS	0.00	85,500.00	85,500.00	100.00	0.00	171,000.00	85,500.00
<hr/>								
Fund 10 - CAPITAL PROJECT FUND:								
TOTAL EXPENDITURES								
		0.00	85,500.00	85,500.00	100.00	0.00	171,000.00	85,500.00

EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 11 - DEBT SERVICE FUND								
Dept 70-DEBT SERVICE FUND								
OTHER								
11-70-550-401	BOND PRINCIPAL EXPENSE	0.00	199,714.00	199,714.00	100.00	0.00	399,428.00	199,714.00
11-70-550-402	BOND INTEREST EXPENSE	0.00	126,316.00	126,316.00	100.00	0.00	252,632.00	126,316.00
11-70-550-404	BOND ISSUANCE COSTS	0.00	0.00	850.00	0.00	850.00	1,700.00	1,700.00
OTHER		0.00	326,030.00	326,880.00	99.74	850.00	653,760.00	327,730.00
<hr/>								
Total Dept 70-DEBT SERVICE FUND		0.00	326,030.00	326,880.00	99.74	850.00	653,760.00	327,730.00
<hr/>								
Fund 11 - DEBT SERVICE FUND:								
TOTAL EXPENDITURES		0.00	326,030.00	326,880.00	99.74	850.00	653,760.00	327,730.00

EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & RENOVATION								
Dept 75-LAND ACQUISITION/EXPANSION/RENOVATION								
CAPITAL IMPROVEMENTS								
14-75-930-411	POLICE DEPT REMODEL (7760	483,470.06	2,016,835.02	3,060,000.00	65.91	1,043,164.98	6,120,000.00	4,103,164.98
14-75-930-412	CRC REMODEL (825 MIDWAY D	0.00	0.00	25,000.00	0.00	25,000.00	50,000.00	50,000.00
CAPITAL IMPROVEMENTS								
		483,470.06	2,016,835.02	3,085,000.00	65.38	1,068,164.98	6,170,000.00	4,153,164.98
<hr/>								
Total Dept 75-LAND ACQUISITION/EXPANSION/RENOV		483,470.06	2,016,835.02	3,085,000.00	65.38	1,068,164.98	6,170,000.00	4,153,164.98
<hr/>								
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & RENOVATION								
TOTAL EXPENDITURES								
		483,470.06	2,016,835.02	3,085,000.00	65.38	1,068,164.98	6,170,000.00	4,153,164.98

EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 03/31/2017

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 03/31/17	YTD BALANCE 03/31/2017	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRCT TAX								
Dept 15-PLANNING & ECONOMIC DEVELOPMENT								
CONTINGENCIES								
15-15-401-205	ENGINEERING	0.00	1,495.00	0.00	100.00	(1,495.00)	0.00	(1,495.00)
15-15-401-242	LEGAL FEES	2,041.20	12,028.68	0.00	100.00	(12,028.68)	0.00	(12,028.68)
15-15-510-232	CONSULTANTS-DESIGN & OTHE	975.00	22,975.00	0.00	100.00	(22,975.00)	0.00	(22,975.00)
15-15-510-302	PRINTING & PUBLISHING	0.00	1,218.00	0.00	100.00	(1,218.00)	0.00	(1,218.00)
CONTINGENCIES		3,016.20	37,716.68	0.00	100.00	(37,716.68)	0.00	(37,716.68)
TRANSFERS TO OTHER FUNDS								
15-15-900-101	TRANSFER TO GENERAL	20,414.70	20,414.70	0.00	100.00	(20,414.70)	0.00	(20,414.70)
TRANSFERS TO OTHER FUNDS		20,414.70	20,414.70	0.00	100.00	(20,414.70)	0.00	(20,414.70)
Total Dept 15-PLANNING & ECONOMIC DEVELOPMENT								
		23,430.90	58,131.38	0.00	100.00	(58,131.38)	0.00	(58,131.38)
Fund 15 - RT 83/PLAINFIELD RD BUSINESS DISTRCT T								
TOTAL EXPENDITURES								
		23,430.90	58,131.38	0.00	100.00	(58,131.38)	0.00	(58,131.38)
TOTAL EXPENDITURES - ALL FUNDS								
		1,563,660.45	16,169,693.47	19,462,018.00	83.08	3,292,324.53	38,924,036.00	22,754,342.53

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

AN ORDINANCE AMENDING TITLE 3, CHAPTER 12, SECTION 3-12-5 (B)  
OF THE VILLAGE CODE – CLASSIFICATIONS: CLASS B LICENSE

**AGENDA NO.**

5f

**AGENDA DATE:** 4/10/17

**STAFF REVIEW:** Tim Halik, Village Administrator

**SIGNATURE:** Tim Halik

**LEGAL REVIEW:** Thomas Bastian, Village Attorney

**SIGNATURE:** THOMAS BASTIAN TH

**RECOMMENDED BY:** Tim Halik, Village Administrator

**SIGNATURE:** Tim Halik

**REVIEWED & APPROVED BY COMMITTEE:**

YES

NO

N/A

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The Village Code of Ordinances provides for the number of liquor licenses that are currently issued to qualified business establishments within the community. It is the policy of the Deputy Liquor Control Commissioner and the Village Board not to maintain any unassigned liquor licenses. The Village's Deputy Liquor Control Commissioner is the authority that may grant local licenses to persons or entities for premises within the Village. The Village Board has the authority to amend the Village Code, upon the recommendation of the Deputy Liquor Control Commissioner, to reflect an increase or decrease in the number of liquor licenses that exist within each class of license.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

Historically, the Deputy Liquor Control Commissioner recommends to the Village Board an amendment to the Village Code be considered with regard to the number of liquor licenses within each class of license after an application is received, reviewed, and the required background report is favorable returned. At this time, the Village Board is requested to approve the attached Ordinance, which would amend the Village Code to reflect an additional liquor license in the Class B license category to be issued to the new MOD Pizza restaurant to be located at 7135 Kingery Highway (former Pei Wei restaurant location), within the Willowbrook Town Center Shopping Center. The tenant finish permit for the new restaurant is under review and should be issued very shortly.

It is recommended that the Village Board approve the attached Ordinance amending the Village Code to increase the number of Class B liquor licenses from fourteen (14) to fifteen (15).

**ACTION PROPOSED:**

Pass the Ordinance

ORDINANCE NO. 17-O-\_\_\_\_\_

AN ORDINANCE AMENDING TITLE 3, CHAPTER 12, SECTION 3-12-5  
(B) OF THE VILLAGE CODE – CLASSIFICATIONS, CLASS B LICENSE

---

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Code of the Village of Willowbrook be amended as follows:

SECTION ONE: That Title 3, Chapter 12, Section 3-12-5(B) of the Village Code of the Village of Willowbrook, entitled "Class B License", is hereby amended by deleting the last sentence in the section and in lieu thereof adding the following new sentence:

“There shall be no more than fifteen (15) class B licenses issued at any one time.”

SECTION TWO: That all ordinances and resolutions, or parts thereof, in conflict with the provisions with this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION THREE: That this Ordinance shall be in full force and effect after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 10<sup>th</sup> day of April, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF WILLOWBROOK AND TIMOTHY J. HALIK AS ITS VILLAGE ADMINISTRATOR AND DIRECTOR OF MUNICIPAL SERVICES

AGENDA NO. 5g

AGENDA DATE: 4/10/17

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Mayor Frank Trilla

SIGNATURE: Frank Trilla/ps

REVIEWED & APPROVED BY COMMITTEE: YES  NO  N/A

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

The attached Agreement provides terms for employment between Mr. Halik and the Village to serve in the capacity of both Village Administrator and Director of Municipal Services, effective May 1, 2017.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The attached Agreement contains the exact same language as the prior Agreement that was approved by the Board in May of 2013 with the following exceptions:

- 1) Effective dates changed throughout.
- 2) Section 4 (Salary) was updated.

**ACTION PROPOSED:**

Adopt the Resolution

RESOLUTION NO. 17-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK  
TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF  
WILLOWBROOK AND TIMOTHY J. HALIK AS ITS  
VILLAGE ADMINISTRATOR AND DIRECTOR OF MUNICIPAL SERVICES

---

**WHEREAS**, the Village of Willowbrook has retained the services of TIMOTHY J. HALIK as its VILLAGE ADMINISTRATOR and DIRECTOR OF MUNICIPAL SERVICES; and,

**WHEREAS**, the Mayor and Board of Trustees of the Village of Willowbrook have determined that it is in the best interests of the Village to enter into an Employment Agreement with TIMOTHY J. HALIK to define the services to be rendered, and the compensation to be paid for same, all in accordance with the copy of the Agreement attached hereto as Exhibit "A" and by this reference incorporated herein.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor is hereby authorized to execute and the Village Clerk is hereby directed to attest to the Agreement appended hereto as Exhibit "A", defining the Village's employment relationship with TIMOTHY J. HALIK as its VILLAGE ADMINISTRATOR and its DIRECTOR OF MUNICIPAL SERVICES.

**ADOPTED AND APPROVED** on this 10<sup>th</sup> day of April, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**EMPLOYMENT AGREEMENT**

**THIS AGREEMENT**, made and entered into effective as of the 10<sup>th</sup> day of April, 2017, by and between the VILLAGE OF WILLOWBROOK, an Illinois municipal corporation (sometimes hereinafter referred to as the "VILLAGE") and TIMOTHY J. HALIK (sometimes hereinafter referred to as the "EMPLOYEE"):

**WITNESSETH:**

**WHEREAS**, the VILLAGE, to the extent permitted by law, desires to employ the services of EMPLOYEE as both its Village Administrator and its Director of Municipal Services as such positions are provided for by the Village Code of the VILLAGE; and,

**WHEREAS**, it is the desire of the VILLAGE to provide certain benefits, establish certain conditions of employment and to set working conditions of said EMPLOYEE; and,

**WHEREAS**, the purpose of the Agreement is to:

1. Secure and retain the services of the EMPLOYEE and to provide inducement for him to remain in such employment;
2. To make possible full work productivity by assuring the EMPLOYEE'S morale and peace of mind with respect to future security;
3. To act as a deterrent against malfeasance or dishonesty for personal gain on the part of the EMPLOYEE;
4. To provide a just means of terminating the EMPLOYEE'S services with or without cause as the VILLAGE may desire; and,

*T. Halik*

**WHEREAS**, EMPLOYEE desires to be employed as both the Village Administrator and as the Director of Municipal Services of the VILLAGE upon the terms and conditions hereinafter set forth.

**NOW, THEREFORE**, in consideration of the foregoing recitals and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, the parties hereto agree as follows:

**SECTION ONE:**     **EMPLOYMENT:**     Subject to the terms of this Agreement, the VILLAGE agrees to appoint the EMPLOYEE to both the office of Village Administrator and the office of Director of Municipal Services of the VILLAGE. The EMPLOYEE agrees to be employed as the Village Administrator and the Director of Municipal Services of the VILLAGE and to perform the functions and duties of said offices in accordance with the Village Code of the VILLAGE and any other ordinances, resolutions, rules and regulations, policies of the VILLAGE, and professional codes of ethics in effect as of the effective date of this Agreement, and those hereafter adopted or instituted by the VILLAGE as the case may be, pertaining to the duties and responsibilities of the Village Administrator and the Director of Municipal Services and to perform such other legally permissible and proper duties and functions as the Mayor and/or Board of Trustees of the VILLAGE may, from time to time, assign. The EMPLOYEE shall attend such meetings and make such written and oral reports and recommendations as the Mayor and/or Village Board may require. He shall report directly to and follow such directions as the Village Mayor and/or Village Board shall provide. He shall maintain regular office hours as may from time to time be approved by the Mayor.

T.H.B.

**SECTION TWO:**      **TERM, EXTENSION & ELECTION:**      The term of this Agreement shall commence effective as of May 1, 2017, and shall terminate on the last day of the term of the incumbent Village Mayor unless sooner terminated by operation of law or as otherwise provided for in this Agreement. Notwithstanding the conclusion of the said term of this Agreement solely by reason of the expiration of the incumbent Village Mayor's full term of office, the parties hereto agree that the said term of Agreement may, by an executed, written Addendum to this Agreement, be extended by the parties for one additional period not to exceed sixty (60) calendar days to allow for their possible execution of a new Employment Agreement. In the event that no such new Employment Agreement is reached and entered into by the parties within said additional period, then the VILLAGE's employment of the EMPLOYEE as both its Village Administrator and its Director of Municipal Services shall, without more, cease and terminate; *provided*, if, during the term of this Agreement, the VILLAGE terminates the EMPLOYEE from either his position as Village Administrator or his position as Director of Municipal Services, the said EMPLOYEE may elect either to (a) remain in the employment of the VILLAGE solely in the position unaffected by said VILLAGE termination or to (b) withdraw from all remaining employment with the VILLAGE; *provided further*, (a) in the event the EMPLOYEE so elects to remain in the employment of the VILLAGE solely as either its Village Administrator or as its Director of Municipal Services, whichever the case may be, his annual base salary for such remaining employment services rendered under this Agreement shall then be modified in accordance with the adjustment provision set forth hereinafter at SECTION FOUR; or, (b) in the alternative event the EMPLOYEE so elects to withdraw from all remaining employment with the VILLAGE, he shall then be entitled to severance pay in accordance with the provisions of paragraph C set forth hereinafter in SECTION THREE.

T. K. B. B.

**SECTION THREE:    TERMINATION AND SEVERANCE PAY:**

A. It is expressly understood and agreed that the employment status of the EMPLOYEE is not subject to the jurisdiction of Title 12, Chapter 2, of the Village Code of the VILLAGE OF WILLOWBROOK.

B. Notwithstanding any provision in this Agreement to the contrary, the VILLAGE shall have the absolute right to terminate the services of the EMPLOYEE with or without cause at any time and for any reason whatsoever, and without any due process hearing that might be required by law or otherwise, subject only to subparagraph C of this SECTION THREE.

For the purposes of this paragraph B, the following events shall be deemed to be a termination of the services of the EMPLOYEE on the day of such occurrence:

1.    Should the VILLAGE expressly terminate or otherwise remove the EMPLOYEE from his position as Village Administrator or his position as Director of Municipal Services and the EMPLOYEE then elects to withdraw from all remaining employment with the VILLAGE in accordance with the provision regarding such a separation and election set forth in SECTION TWO hereinabove;
2.    Should the VILLAGE, without the EMPLOYEE'S consent, at any time during the term of this Agreement reduce the salary or other financial benefits of the EMPLOYEE in a greater percentage than that applicable across the board for all VILLAGE employees; **provided**, that the adjustment of the EMPLOYEE'S salary pursuant to his election to remain in the employment of the VILLAGE as set forth hereinabove in SECTION TWO shall not be deemed an event of termination under this paragraph;



3. Should the VILLAGE, upon the written demand of the EMPLOYEE, fail or refuse to comply with any of the terms of this Agreement;
4. Should the EMPLOYEE resign following a recommendation by the corporate authorities that he resign; and,
5. Should the VILLAGE fail to execute an Extension Addendum to this Agreement and a new Employment Agreement following the expiration of the incumbent Mayor's full term of office in accordance with the terms, conditions and provisions of SECTION TWO hereinabove.

C. If the EMPLOYEE is terminated by the VILLAGE pursuant to any of the provisions of subparagraph B above, the VILLAGE agrees to pay EMPLOYEE as severance pay, within thirty (30) days of the date of said termination, a lump sum cash payment equal to either three (3) months of the EMPLOYEE'S annual base salary or his adjusted annual base salary as delineated under SECTION FOUR, whichever the case may then be, plus an additional one (1) calendar week's salary for each completed year of full-time employment with the VILLAGE, together not to exceed a maximum of six (6) months severance pay. In addition, the VILLAGE agrees to maintain, in full force and effect, to the extent permitted by law, all benefits identified in Sections Eight and Ten for a period of three (3) months from and after the date of said termination, plus an additional one (1) calendar week's benefits for each completed year of full-time employment with the VILLAGE, together not to exceed a maximum of six (6) months benefits, or until EMPLOYEE has obtained new employment, whichever is less.

Notwithstanding the foregoing, the VILLAGE shall not be obligated to pay the severance pay and severance benefits provided for hereinabove if any such termination is preceded by six (6) months prior written notice to the EMPLOYEE by the VILLAGE.

*T. H. H. H.*

D. Notwithstanding the provisions contained in subparagraphs B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should the EMPLOYEE abandon his position. The term "abandon" shall, for purposes of this subparagraph, mean actions by the EMPLOYEE evidencing his voluntary, intentional relinquishment of the position. The term "abandon" shall not mean the EMPLOYEE'S:

- Inability to perform the duties and responsibilities of his position due to illness or injury;
- Refusal to take any action or perform any duty or responsibility of his position due to his good faith belief that doing so would violate a legal, moral or ethical obligation; and,
- Unauthorized or unexcused absence from Village Hall, unless such absence exceeds three (3) consecutive days.

In addition, this subparagraph is not intended to authorize the termination of the EMPLOYEE due to personality conflict or differences in management style or philosophy.

In the event of a termination of the EMPLOYEE pursuant to this subparagraph D, the VILLAGE shall not be obliged to pay the severance pay nor to provide the severance benefits provided in subparagraph C above.

E. Notwithstanding the provisions contained in subparagraphs B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should the EMPLOYEE be convicted of an illegal act involving personal gain to himself or otherwise, if, in the opinion of the VILLAGE, such conviction would have an adverse effect upon the VILLAGE. In the event of such a termination, the VILLAGE shall not be obliged to pay the severance pay nor to provide the severance benefits provided herein.

Further, in the event the EMPLOYEE shall be indicted or arrested for the violation of any criminal law or statute which, in the opinion of the Mayor and Board of Trustees of the

T. K. K. K.

VILLAGE, would reflect unfavorably upon said VILLAGE, or in any way interfere with his ability to discharge the duties of his employment, then the VILLAGE may request and, upon such a request, the EMPLOYEE shall accept a leave of absence without pay pending a final determination of the criminal charges brought against said EMPLOYEE. Should the EMPLOYEE be cleared of all wrongdoing in connection therewith, he shall be restored to his position and all amounts of back pay withheld shall be promptly paid to him. Should the EMPLOYEE plead or be found guilty of any such violation, or should any such violation be dismissed or otherwise compromised in consideration for testimony or other evidence, then he shall forfeit his positions as both the Village Administrator and the Director of Municipal Services of the VILLAGE OF WILLOWBROOK, together with any right or privilege attendant thereto, including any back pay which may have been withheld subsequent to his indictment or arrest.

F. Notwithstanding any provision in this Agreement to the contrary, the EMPLOYEE shall have the right to voluntarily resign any time from his employment with the VILLAGE. In the event EMPLOYEE voluntarily resigns from his employment with the VILLAGE before the expiration of this Agreement, the EMPLOYEE shall give the VILLAGE thirty (30) days prior written notice of his intent to resign. Further, the EMPLOYEE shall not be entitled to severance pay or to severance benefits as set forth in subparagraph C above.

G. Notwithstanding the provisions contained in subparagraphs B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should any complaint of sexual harassment filed against the EMPLOYEE during the term of this Agreement be substantiated by the Village Board.

In the event of such termination, the VILLAGE shall not be obligated to pay the severance pay nor to provide the severance benefits provided in subparagraph C above.



H. The EMPLOYEE expressly waives any rights to a due process hearing with respect to any termination or other disciplinary action, whether required by law or otherwise, including those provided by the Village Code.

I. The EMPLOYEE acknowledges that he has had the opportunity to review the terms of this Agreement with an attorney of his own choosing, prior to the execution of this Agreement.

**SECTION FOUR:     SALARY:**

The VILLAGE hereby agrees to pay EMPLOYEE for services to be rendered under this Agreement an annual base salary of ONE HUNDRED SIXTY-SEVEN THOUSAND ONE HUNDRED EIGHTY-FOUR DOLLARS (\$167,184.00) per year, payable in installments at the same pay periods other employees of the VILLAGE are paid. In addition, while EMPLOYEE continues to serve as both the Village Administrator and Director of Municipal Services, EMPLOYEE shall be paid, in addition to the above annual salary, an annual stipend amount of TWENTY-ONE THOUSAND EIGHT HUNDRED SIXTEEN DOLLARS (\$21,816.00) per year payable in installments at the same pay periods other employees of the VILLAGE are paid. The VILLAGE further agrees to review and consider increasing EMPLOYEE'S said annual base salary in accordance with the guidelines set forth in the "Pay Plan" adopted by the Mayor and Board of Trustees; *provided*, in the event of an election by EMPLOYEE under SECTION TWO hereinabove to remain in the employment of the VILLAGE either as its Village Administrator or as its Director of Municipal Services, whichever the case may be, then the said annual base salary and annual stipend amount shall be modified as of the date of that election. as follows:

- a) If EMPLOYEE is relieved of his appointment as Village Administrator and, under the terms of this Agreement, elects to remain employed by the Village as Director of Municipal Services, the said annual base salary for serving as solely the Director of Municipal Services shall be modified to an annual adjusted base salary in the amount of ONE



HUNDRED THIRTY-TWO THOUSAND DOLLARS (\$132,000.00) per year, payable in installments at the same pay periods other employees of the VILLAGE are paid. Further, if EMPLOYEE is relieved of his appointment as Village Administrator and, under the terms of this Agreement, elects to remain employed by the Village as Director of Municipal Services, the said annual stipend payment will cease. The VILLAGE further agrees to review and consider increasing EMPLOYEE'S said annual base salary in accordance with the guidelines set forth in the "Pay Plan" adopted by the Mayor and Board of Trustees.

- b) If EMPLOYEE is relieved of his appointment as Director of Municipal Services and, under the terms of this Agreement, elects to remain employed by the Village as Village Administrator, the said annual base salary for serving as solely the Village Administrator shall remain in the amount of ONE HUNDRED SIXTY-SEVEN THOUSAND ONE HUNDRED EIGHTY-FOUR DOLLARS (\$167,184.00) per year, payable in installments at the same pay periods other employees of the VILLAGE are paid. Further, if EMPLOYEE is relieved of his appointment as Director of Municipal Services and, under the terms of this Agreement, elects to remain employed by the Village as Village Administrator, the said annual stipend payment will cease. The VILLAGE further agrees to review and consider increasing EMPLOYEE'S said annual base salary in accordance with the guidelines set forth in the "Pay Plan" adopted by the Mayor and Board of Trustees.

**SECTION FIVE: EXTENT OF SERVICES - OUTSIDE ACTIVITIES:** EMPLOYEE shall devote his entire time, attention and energies to the VILLAGE'S business and shall not during the term of this Agreement be engaged in any other business, teaching or consulting activity whether or not such activity is pursued for gain, profit or other pecuniary advantage, without the expressed prior approval of the Mayor and Board of Trustees.

T. Hill

**SECTION SIX:**      **AUTOMOBILE:**    EMPLOYEE'S duties require that he shall have the exclusive and unrestricted use at all time during his employment with the VILLAGE of an automobile which shall be provided to him by the VILLAGE. Except as provided above, the said vehicle shall only be used in accordance with the VILLAGE'S "Personnel Manual" as amended. The particular vehicle to be made available to the EMPLOYEE shall be within the discretion of the Village Mayor.

The VILLAGE shall be responsible for paying for liability, property damage and comprehensive insurance, as well as for the purchase, operation, maintenance, repair and regular replacement of said automobile.

**SECTION SEVEN:**      **EMPLOYEE'S EXPENSES:**    The VILLAGE shall annually appropriate and budget an amount of money for the purpose of defraying the hereinafter itemized expenses of the EMPLOYEE as the Village Administrator and as its Director of Municipal Services. The amount so appropriated and budgeted shall be left to the sound discretion of the Mayor and Board of Trustees of the Village of Willowbrook. The amount to be appropriated and budgeted shall include, but not by way of limitation, allocations for the following expenses:

A. Professional dues and subscription expenses for the ICC, APWA , AWWA and other subscriptions of the EMPLOYEE necessary and desirable for his continued professional education, growth and advancement and for the good of the VILLAGE.

B. Travel and subsistence expenses including, but not by way of limitation, traveling expenses, registration fees, lodging, meals and other business expenses so as to enable the EMPLOYEE to attend Federal, State, regional or local seminars, conferences, short courses or institutes reasonably necessary for his professional development or for the conduct of the official business for the Village of Willowbrook as approved by the Mayor and Village Board.

T. Hill

**SECTION EIGHT:**     **BENEFITS:**   The VILLAGE agrees to provide EMPLOYEE and his dependents all benefits on the same basis and to the same extent such benefits are enjoyed by all other management personnel of the VILLAGE, including, but not limited to, insurance (life, accident and sickness disability income benefits, major medical and dependents coverage, hospitalization, surgical and comprehensive medical, etc.), sick leave, compensatory time, vacation leave, etc., consistent with the policies established by the VILLAGE in the VILLAGE’S “Personnel Manual”.

**SECTION NINE:**     **PERFORMANCE EVALUATION:**   As Village Administrator, the EMPLOYEE shall establish an annual goal setting session and an annual evaluation session consistent with the “Personnel Evaluation Handbook” adopted by the Mayor and Board of Trustees.

**SECTION TEN:**     **RETIREMENT:**   It is acknowledged that the VILLAGE is a member of and participates in the Illinois Municipal Retirement Fund (IMRF). The EMPLOYEE shall be entitled to the same benefits and consideration granted by the VILLAGE with respect to all other employees as provided by law.

**SECTION ELEVEN:**     **VACATION LEAVE & BUY-BACK:** EMPLOYEE shall be entitled to all vacation leave as provided for by the “Personnel Manual” of the VILLAGE OF WILLOWBROOK. The EMPLOYEE shall also be entitled to one (1) additional week of paid vacation leave annually in addition to the leave provided by the “Personnel Manual.” Further, in consideration of the EMPLOYEE’S dual status as both the VILLAGE’S Administrator and its Director of Municipal Services and the Personnel Manual’s existing allowance of a one (1) week



“cash-in” proviso for accrued vacation time by VILLAGE personnel whose vacation leave cannot be taken without an adverse effect on workload responsibilities, the VILLAGE hereby agrees that EMPLOYEE may elect to “cash-in” up to two (2) weeks of his accrued vacation per year in lieu of taking his present entitlement to six (6) weeks of annual vacation leave.

**SECTION TWELVE:**      **RESIDENCY:**    It is hereby acknowledged that the EMPLOYEE currently resides at [REDACTED] The VILLAGE expressly acknowledges that EMPLOYEE’S current residence is of such proximity to the VILLAGE that the EMPLOYEE can adequately perform all the duties of his office. During the term of this Agreement and any extensions thereof, the VILLAGE agrees that the EMPLOYEE’S current residence shall be deemed to satisfy any future residency requirements that the VILLAGE may adopt.

Notwithstanding the foregoing, the EMPLOYEE agrees not to relocate his permanent residence a further distance from the corporate limits of the VILLAGE OF WILLOWBROOK than his current residence at [REDACTED] without the approval of the Mayor and Board of Trustees.

**SECTION THIRTEEN:**      **GENERAL PROVISIONS:**

A. This Employment Agreement sets forth the entire understanding of the parties and may only be amended, modified or terminated by a written instrument signed by the parties except as herein otherwise provided. This Agreement entirely supplants all other prior Employment Agreements between the parties.

B. The EMPLOYEE acknowledges that the services to be rendered by him are unique and personal. Accordingly, the EMPLOYEE may not assign any of his rights or delegate any of

T.H.B.

his duties or obligations under this Agreement. This Agreement shall be binding upon and inure to the benefit of any successor governmental legal entity or successor elected VILLAGE officials which may assume and perform the duties of the VILLAGE and/or the elected officials thereof.

C. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and this Agreement may be enforced with that provision severed or as modified by the court.

D. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

E. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

1. **VILLAGE at:**  
Village Mayor  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527
2. **EMPLOYEE at:**  
Timothy J. Halik  
[REDACTED]  
[REDACTED]
3. To such other person or place which either party hereto by its prior written notice shall designate for notice to it from the other party hereto.

F. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.



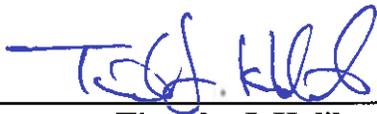
*IN WITNESS WHEREOF*, the parties hereto have set their hands and seal this 10<sup>th</sup> day of April, 2017.

**VILLAGE OF WILLOWBROOK,  
an Illinois Municipal Corporation**

By: \_\_\_\_\_  
**Village Mayor**

**ATTEST:**

\_\_\_\_\_  
**Village Clerk**

  
\_\_\_\_\_  
**Timothy J. Halik**

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF WILLOWBROOK AND CAROLINE A. DITTMAN AS ITS DIRECTOR OF FINANCE

**AGENDA NO.**

5h

**AGENDA DATE:** 4/10/17

**STAFF REVIEW:** Tim Halik, Village Administrator

**SIGNATURE:**



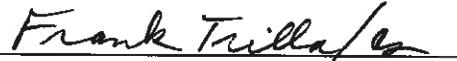
**LEGAL REVIEW:** Thomas Bastian, Village Attorney

**SIGNATURE:**



**RECOMMENDED BY:** Mayor Frank Trilla

**SIGNATURE:**



**REVIEWED & APPROVED BY COMMITTEE:**

YES

NO

N/A

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

The attached Agreement provides terms for employment between Ms. Caroline Dittman and the Village to serve in the capacity of Director of Finance, effective May 1, 2017.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The attached Agreement contains the exact same language as the prior Agreement that was approved by the Board in May of 2015 with the following exceptions:

- 1) Effective dates changed throughout.
- 2) Section 4 (Salary) was updated.

**ACTION PROPOSED:**

Adopt the Resolution

RESOLUTION NO. 17-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF WILLOWBROOK AND CAROLINE A. DITTMAN AS ITS DIRECTOR OF FINANCE

---

**WHEREAS**, the Village of Willowbrook has retained the services of CAROLINE A. DITTMAN as its DIRECTOR OF FINANCE; and,

**WHEREAS**, the Mayor and Board of Trustees of the Village of Willowbrook have determined that it is in the best interests of the Village to enter into an Employment Agreement with CAROLINE A. DITTMAN to define the services to be rendered, and the compensation to be paid for same, all in accordance with the copy of the Agreement attached hereto as Exhibit "A" and by this reference incorporated herein.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor is hereby authorized to execute and the Village Clerk is hereby directed to attest to the Agreement appended hereto as Exhibit "A", defining the Village's employment relationship with CAROLINE A. DITTMAN as its DIRECTOR OF FINANCE.

**ADOPTED AND APPROVED** on this 10<sup>th</sup> day of April, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

## EMPLOYMENT AGREEMENT

THIS AGREEMENT, made and entered into effective as of the 10<sup>th</sup> day of April, 2017, by and between the VILLAGE OF WILLOWBROOK, an Illinois municipal corporation (sometimes hereinafter referred to as the "VILLAGE") and CAROLINE A. DITTMAN (sometimes hereinafter referred to as the "EMPLOYEE"):

### WITNESSETH:

**WHEREAS**, the VILLAGE, to the extent permitted by law, desires to employ the services of EMPLOYEE as the Director of Finance of the VILLAGE, as such position is provided for by the Village Code of the VILLAGE OF WILLOWBROOK; and,

**WHEREAS**, it is the desire of the VILLAGE to provide certain benefits, establish certain conditions of employment and to set working conditions of said EMPLOYEE; and,

**WHEREAS**, the purpose of the Agreement is to:

1. Secure and retain the services of EMPLOYEE and to provide inducement for her to remain in such employment;
2. To make possible full work productivity by assuring EMPLOYEE'S morale and peace of mind with respect to future security;
3. Act as a deterrent against malfeasance or dishonesty for personal gain on the part of the EMPLOYEE; and,
4. Provide a just means of terminating EMPLOYEE'S services with or without cause as the VILLAGE may desire; and,

**WHEREAS**, EMPLOYEE desires to be employed as Director of Finance of the VILLAGE upon the terms and conditions hereinafter set forth.

**NOW, THEREFORE**, in consideration of the foregoing recitals and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, the parties hereto agree as follows:

**SECTION ONE: EMPLOYMENT:** The VILLAGE agrees to employ the EMPLOYEE as Director of Finance of the VILLAGE. The EMPLOYEE agrees to be employed as Director of Finance of the VILLAGE and to perform the functions and duties of said office in accordance with the Village Code of the VILLAGE OF WILLOWBROOK and any other ordinances, resolutions, rules and regulations, policies of the VILLAGE, and professional codes of ethics in effect as of the effective date of this Agreement, and those hereafter adopted or instituted by the VILLAGE as the case may be, pertaining to the duties and responsibilities of the Director of Finance. The EMPLOYEE shall attend such meetings and make such written and oral reports and recommendations as the Mayor, Village Board or Village Administrator may require. She shall report to and follow such directions as the Mayor or Village Administrator shall provide. She shall maintain regular office hours as may from time to time be approved the Village Administrator.

**SECTION TWO: TERM & EXTENSION:** The term of employment under this Agreement shall commence as of May 1, 2017, and shall end on the last day of the term of the incumbent Mayor unless sooner terminated by operation of law or as otherwise provided for in this Agreement. Notwithstanding the conclusion of the said term of employment solely by reason of the expiration of the incumbent Mayor's full term of office, the parties hereby agree that the said term of employment hereunder may, by an executed, written Addendum to this Agreement be extended for one additional period not to exceed sixty (60) calendar days to allow for their possible execution of a new Employment Agreement. In the event no such new

Agreement is reached and entered into by the parties within said additional period, then the VILLAGE'S employment of the EMPLOYEE as its Director of Finance shall, without more, cease and terminate.

**SECTION THREE:                    TERMINATION AND SEVERANCE PAY:**

A.    It is expressly understood and agreed that the employment status of EMPLOYEE is not subject to the jurisdiction of Title 12, Chapter 2 of the Village Code of the VILLAGE OF WILLOWBROOK.

B.    Notwithstanding any provision in this Agreement to the contrary, the VILLAGE shall have the absolute right to terminate the services of the EMPLOYEE with or without cause at any time and for any reason whatsoever, subject only to paragraph C of this Section Three.

For the purposes of this paragraph B, the following events shall be deemed to be a termination of the services of the EMPLOYEE on the day of such occurrence:

1.     Should the VILLAGE expressly terminate or otherwise remove the EMPLOYEE from her position or substantially all of her responsibilities of Director of Finance;
2.     Should the VILLAGE, without the EMPLOYEE'S consent, at any time during the term of this Agreement, reduce the salary or other financial benefits of the EMPLOYEE in a greater percentage than that applicable across the board for all VILLAGE employees;
3.     Should the VILLAGE, upon the written demand of the EMPLOYEE, fail or refuse to comply with any terms of this Agreement; or,
4.     Should the EMPLOYEE resign following a recommendation by the corporate authorities that she resign.

5. Should the VILLAGE fail to execute an Extension Addendum to this Agreement and a new Employment Agreement following the expiration of the incumbent Mayor's full term of office in accordance with the terms, conditions and provisions of SECTION TWO hereinabove.

C. If the EMPLOYEE is terminated by the VILLAGE pursuant to the provisions of subparagraph B above, the VILLAGE agrees to pay EMPLOYEE as severance pay, within thirty (30) days of termination, a lump sum cash payment equal to three (3) months of the EMPLOYEE'S annual salary plus an additional one (1) calendar week's salary for each completed year of full-time employment with the VILLAGE at the time of termination, together not to exceed a maximum of six (6) months severance pay. In addition, the VILLAGE agrees to maintain, in full force and effect and to the extent permitted by law, all benefits identified in Sections Seven and Nine for a period of three (3) months from and after the date of termination plus an additional one (1) calendar week's benefits for each completed year of full-time employment with the VILLAGE together not to exceed a maximum of six (6) months benefits.

Notwithstanding the foregoing, the VILLAGE shall not be obligated to pay the severance pay and fringe benefits provided for hereinabove if any such termination is preceded by six (6) months prior written notice to the EMPLOYEE by the VILLAGE.

D. Notwithstanding the provisions contained in subparagraph B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should the EMPLOYEE abandon his position. The term "abandon" shall, for purposes of this subparagraph, mean actions by the EMPLOYEE evidencing her voluntary, intentional relinquishment of the position. The term "abandon" shall not mean the EMPLOYEE'S:

- Inability to perform the duties and responsibilities of her position due to illness or injury.
- Refusal to take any action or perform any duty or responsibility of her position due to her good faith belief that doing so would violate a legal, moral or ethical obligation.
- Unauthorized or unexcused absence from Village Hall, unless such absence exceeds three (3) consecutive days.

In addition, this subparagraph is not intended to authorize the termination of the EMPLOYEE due to personality conflict or differences in management style or philosophy.

In the event of termination pursuant to this subparagraph, the VILLAGE shall not be obliged to pay the severance pay nor provide the severance benefits provided in subparagraph C above.

E. Notwithstanding the provisions contained in subparagraph B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should the EMPLOYEE be convicted of an illegal act involving personal gain to herself or otherwise, if, in the opinion of the VILLAGE, such conviction would have an adverse effect upon the VILLAGE. In the event of such a termination, the VILLAGE shall not be obliged to pay the severance pay nor provide the severance benefits provided herein.

Further, in the event the EMPLOYEE shall be indicted or arrested for the violation of any criminal law or statute which, in the opinion of the Mayor and Board of Trustees of the VILLAGE, would reflect unfavorably upon said VILLAGE, or in any way interfere with her ability to discharge the duties of her position, then the VILLAGE may request and, upon such a request, the EMPLOYEE shall accept a leave of absence without pay pending a final

determination of the criminal charges brought against said EMPLOYEE. Should the EMPLOYEE be cleared of all wrongdoing in connection therewith, she shall be restored to her position and all amounts of pay withheld shall be promptly paid to her. Should the EMPLOYEE plead or be found guilty of any such violation, or should any such violation be dismissed or otherwise compromised in consideration for testimony or other evidence, then she shall forfeit her position as the Director of Finance of the VILLAGE OF WILLOWBROOK, together with any right or privilege attendant thereto, including any back pay which may have been withheld subsequent to her indictment or arrest.

F. Notwithstanding any provision in this Agreement to the contrary, the EMPLOYEE shall have the right to voluntarily resign any time from her position with the VILLAGE. In the event EMPLOYEE voluntarily resigns from her position with the VILLAGE before the expiration of this Agreement, the EMPLOYEE shall give the VILLAGE thirty (30) days prior written notice of her intent to resign. Further, the EMPLOYEE shall not be entitled to severance benefits as set forth in subparagraph C above.

G. Notwithstanding the provisions contained in subparagraphs Band C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the EMPLOYEE should any complaint of sexual harassment filed against the EMPLOYEE during the term of this Agreement be substantiated by the Village Board.

In the event of such termination, the VILLAGE shall not be obligated to pay the severance pay nor provide the severance benefits provided in this Agreement.

H. The EMPLOYEE expressly waives any rights to a due process hearing with respect to any termination or other disciplinary action, whether required by law or otherwise, including those provided by the Village Code.

I. The EMPLOYEE acknowledges that she has had the opportunity to review the terms of this Agreement with an attorney of her own choosing, prior to the execution of this Agreement.

**SECTION FOUR: SALARY:** The VILLAGE agrees to pay EMPLOYEE for services rendered pursuant to this Agreement an annual base salary of ONE HUNDRED TWENTY-EIGHT THOUSAND ONE HUNDRED SEVENTY-SEVEN DOLLARS (\$128,177.00), per year, payable in installments at the same pay periods other employees of the VILLAGE are paid, provided that the VILLAGE agrees to review and consider increasing EMPLOYEE'S base salary in accordance with the guidelines set forth in the "Pay Plan" adopted by the Mayor and Board of Trustees.

**SECTION FIVE: EXTENT OF SERVICE – OUTSIDE ACTIVITIES:** EMPLOYEE shall devote her entire time, attention and energies to the VILLAGE'S business and shall not during the term of this Agreement be engaged in any other business, teaching or consulting activity whether or not such activity is pursued for gain, profit or other pecuniary advantage, without the expressed prior approval of the Village Administrator.

**SECTION SIX: EMPLOYEE'S EXPENSES:** The VILLAGE shall annually appropriate and budget an amount of money for the purpose of defraying the expenses of the Director of Finance, including but not limited to, business expenses, professional dues and subscriptions, educational expenses and related training and continuing professional education requirements necessary to maintain her designation as a Certified Public Accountant (CPA), travel expenses, registration fees, lodging and meals, etc., consistent with the rules and regulations contained in the VILLAGE'S "Personnel Manual".

**SECTION SEVEN:**            **BENEFITS:**    The VILLAGE agrees to provide EMPLOYEE and her dependents all benefits on the same basis and to the same extent such benefits are enjoyed by all other management personnel of the VILLAGE OF WILLOWBROOK, including, but not limited to, insurance (life, accident and sickness disability income benefits, major medical and dependents coverage, hospitalization, surgical and comprehensive medical, etc.), sick leave, compensatory time, vacation leave, etc., consistent with the policies established by the VILLAGE in the VILLAGE'S "Personnel Manual".

**SECTION EIGHT:**            **PERFORMANCE EVALUATION:**    The Village Administrator shall establish an annual goal setting session and an annual evaluation session consistent with the "Personnel Evaluation Handbook" adopted by the Mayor and Board of Trustees.

**SECTION NINE:**            **RETIREMENT:**    It is acknowledged that the VILLAGE is a member of and participates in the Illinois Municipal Retirement Fund (IMRF). The EMPLOYEE shall be entitled to the same benefits and consideration granted by the VILLAGE with respect to all other employees as provided by law.

**SECTION TEN:**            **VACATION LEAVE:**    EMPLOYEE shall be entitled to all vacation leave as provided for by the "Personnel Manual" of the VILLAGE OF WILLOWBROOK, with the following exceptions, amendments, and deviations:

- a) For purposes of "Vacation Leave", as contained in Article 5.4(A)(1) of the "Personnel Manual", EMPLOYEE has served as a finance consultant since December 13, 2010; therefore,
- b) For purposes of "Vacation Computation", as contained in Article 5.4(C) of the "Personnel Manual", EMPLOYEE's anniversary date of employment, for this section only, shall be

regarded as December 13, 2010 – the initial date the EMPLOYEE began serving as a finance consultant for the Village. (For all other employment purposes, and other provisions within this Agreement, the EMPLOYEE's anniversary date shall be the commencement date of the original term of employment of June 1, 2015.)

- c) Annual vacation time accruals, subsequent to the initial awarded vacation time, shall be awarded each December 13<sup>th</sup> thereafter, commencing on December 13, 2015, at which time EMPLOYEE will be awarded fifteen (15) additional vacation days annually. At December 13, 2020, EMPLOYEE will be awarded twenty (20) additional vacation days annually. At December 13, 2025, EMPLOYEE will be awarded twenty-five (25) additional vacation days annually.

**SECTION ELEVEN:**      **RESIDENCY:** It is hereby acknowledged that the EMPLOYEE currently resides at [REDACTED]. The VILLAGE expressly acknowledges that EMPLOYEE'S current residence is of such proximity to the VILLAGE that the EMPLOYEE can adequately perform all the duties of her office. During the term of this Agreement and any extensions thereof, the VILLAGE agrees that the EMPLOYEE'S current residence shall be deemed to satisfy any future residency requirements that the VILLAGE may adopt.

**SECTION TWELVE:**      **GENERAL PROVISIONS:**

A. This Agreement sets forth the entire understanding of the parties and may only be amended, modified or terminated by a written instrument signed by the parties except as herein otherwise provided.

B. The EMPLOYEE acknowledges that the services to be rendered by her are unique

and personal. Accordingly, the EMPLOYEE may not assign any of her rights or delegate any of her duties or obligations under this Agreement. This Agreement shall be binding upon and inure to the benefit of any successor governmental legal entity or successor elected VILLAGE officials which may assume and perform the duties of the VILLAGE and/or the elected officials thereof.

C. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and the Agreement may be enforced with that provision severed or as modified by the court.

D. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

E. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

1. **VILLAGE at:**

Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527

2. **EMPLOYEE at:**

Caroline A. Dittman  
[REDACTED]  
[REDACTED]

3. To such other person or place which either party hereto by its prior written notice shall designate for notice to it from the other party hereto.

F. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

*IN WITNESS WHEREOF*, the parties hereto have set their hands and seals this 10th day of April, 2017.

**VILLAGE OF WILLOWBROOK, an  
Illinois Municipal Corporation**

By: \_\_\_\_\_  
Mayor

**ATTEST:**

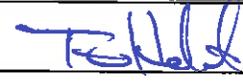
\_\_\_\_\_  
Village Clerk

*Caroline A. Dittman*  
\_\_\_\_\_  
Caroline A. Dittman

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<p style="text-align: center;"><b>ITEM TITLE:</b></p> <p>A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ACCEPT A PROPOSAL TO CONDUCT THE 2017 VILLAGE-WIDE SPRING BRUSH COLLECTION PROGRAM – N.J. RYAN TREE &amp; LANDSCAPE, LLC</p>	<p><b>AGENDA NO.</b> <span style="float: right;">5i</span></p> <p><b>AGENDA DATE:</b> <u>4/10/17</u></p>
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<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u></u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN TH.</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u></u>
<b>REVIEWED BY MUNICIPAL SERVICES COMMITTEE:</b> YES <input checked="" type="checkbox"/> April 10, 2017 NO <input type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY, ETC.)**

This past Fall, the Village’s EAB abatement tree contractor, NJ Ryan Tree & Landscape, LLC, completed the Village-wide brush collection program. The program included curb-side collection of piled brush throughout town with the resulting chipped hauled away. The program was completed on-time and without incident, and the Village also received several compliments from residents commenting on the good site clean-up practices of the contractor.

The Spring program will also consist of a curb-side chipping program. Staff has attempted to solicit proposals from local landscape maintenance contractors, however, they have been largely unresponsive. However, NJ Ryan Tree & Landscape, LLC. has offered to extend the same price they charged from the Fall program. Therefore, the Village-wide collection program can be completed for \$9,600.

As part of the Spring program, in the past we have also tried to tub grind some of the collected brush to make a quality mulch available to residents for yard beautification purposes. However, between equipment rental and labor costs, this practice has become cost prohibitive. After review, staff has determined that it would be more cost effective to separately purchase a large quantity of ground mulch rather than to rent the required equipment to attempt to produce it ourselves using the collected brush. Therefore, staff would recommend that a quantity of ground mulch be purchased and delivered to the PW garage for resident use.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The cost of the Spring collection program would be \$9,600. This includes two (2) chipping crews working 40 hours each to complete the collection. The F.Y. 2017/18 Budget includes the following funding to conduct both the Spring and Fall Brush Collection Programs:

<u>FUND</u>	<u>ACCOUNT</u>	<u>DESCRIPTION</u>	<u>BUDGET</u>
PW – Street Maint.	01-35-755-284	Reimb. Exp. – Brush Pick-Up	\$20,000

**ACTION PROPOSED:**

Adopt resolution. The Spring Brush Collection Program is scheduled to occur May 8<sup>th</sup> through May 12<sup>th</sup>, 2017. A postcard mailer will be sent directly to residents along with notification on the Village’s website.

RESOLUTION NO. 17-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ACCEPT A PROPOSAL TO CONDUCT THE 2017 VILLAGE-WIDE SPRING BRUSH COLLECTION PROGRAM – N.J. RYAN TREE & LANDSCAPE, LLC

---

BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor and Village Clerk be and the same are hereby authorized and directed to accept the proposal from N.J. Ryan Tree & Landscape, LLC on a time and material basis to complete the 2017 Spring Brush Collection Program in the not to exceed amount of \$9,600.00 as set forth in the proposal attached hereto as Exhibit "A" which is, by this reference, expressly incorporated herein.

ADOPTED and APPROVED this 10<sup>th</sup> day of April, 2017

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

NJ RYAN TREE & LANDSCAPE LLC

17271 IL ROUTE 23

DEKALB, IL 60115

# Estimate

Date	Estimate #
3/27/2017	123

Name / Address
Village of Willowbrook



Project

Description	Qty	Cost	Total
Spring brush pickup - May 8 - 12, 2017		9,600.00	9,600.00
		<b>Total</b>	\$9,600.00

Customer Signature \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<b>ITEM TITLE:</b> Motion to Approve – Lake Hinsdale Park Renovation: Payout #3 – Final Payment – George’s Landscaping, Inc.	<b>AGENDA NO.</b> <b>5j</b>  <b>AGENDA DATE:</b> <u>4/10/17</u>
---	---

<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	SIGNATURE: <u></u>
<b>LEGAL REVIEW:</b> Tom Bastian, Village Attorney	SIGNATURE: <u>THOMAS BASTIAN TH</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	SIGNATURE: <u></u>
<b>REVIEWED &amp; APPROVED BY MUNI. SERVICES COMMITTEE:</b> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The public bid opening for the Lake Hinsdale Park Renovation Project occurred on August 18, 2016 at 2:00 PM. A total of four (4) sealed bids were received prior to the deadline with the low bid received from George’s Landscaping d/b/a GLI Services, Inc. in the total amount of \$79,063. The Village Board awarded a contract to George’s Landscaping at their regular meeting on August 22, 2016. The signed resolution and executed contract was then sent to George’s Patecki, President of George’s Landscaping, via Fed-Ex on August 23, 2016 to be counter-signed and returned. A pre-construction meeting was held on September 6, 2016 at 9:30 AM at the Village Hall. The start of this project was delayed due to the contractor needing to finish contract work in other locations.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

Work began in November and is now complete. A final punchlist inspection was previously performed, which revealed the need to resolve a minor grading drainage issue. However, the contractor has address the issue and the remainder of the restoration work was found to be satisfactory. The contractor has submitted a request for final payment of the retainage amount. The following is a breakdown of the project costs:

(TOTAL CONTRACT AMOUNT:	\$79,441.66)
Invoice #1 amount:	\$39,772.04 (Board approved January 9, 2017)
Invoice #2 amount:	\$31,725.45 (Board Approved February 27, 2017)
-----	
Retainage (10%):	\$7,944.17

Staff would recommend that the Mayor and Board of Trustees authorize Payout #3 – Final Payment to George’s Landscaping Inc. in the amount of \$7,944.17. Final Waivers of Lien and Certified Payroll Reports have been received. The authorized payment amount would be expended from the following fund:

<u>FUND</u>	<u>ACCOUNT</u>	<u>DESCRIPTION</u>	<u>AVAILABLE BALANCE</u>
GF – Park Improvements	01-20-595-695	Facilities	\$21,750.59

**ACTION PROPOSED:**

Pass motion.



MEMO

To: Tim Halik

From: Tod J. Stanton

Date: March 24, 2017

**Certificate for Payment**

Owner: Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527

Contract: 2016 Lake Hinsdale Park Improvements

Pay Application: 3

Based upon our observations at the site and on the data comprising the Contractor's Application for Payment, the work has progressed to the point indicated on the Application for Payment and to the best of our knowledge, the work covered by this Application for Payment is in accordance with the Contract Documents and that all amounts shown are due. Therefore, we recommend payment be made to George's Landscaping, Inc. for the amount approved in the Application for Payment.

This certificate is not negotiable. The amount certified is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are made without prejudice to any rights of the owner or the contractor under this Contract.

Design Perspectives, Inc., by   
Tod J. Stanton

Date: 3.24.17



**PROJECT APPLICATION AND PROJECT CERTIFICATE FOR PAYMENT**

**AIA DOCUMENT G702**

2016 Lake Hinsdale Park Improvements

**THREE-FINAL**  
 Tuesday, February 28, 2017  
 Tuesday, February 28, 2017  
 2016 Lake Hinsdale Park Imp  
 Wednesday, September 28, 2016

**Copy to:**  
 OWNER  
 ARCHITECT  
 CONTRACTOR  
 OTHER

**OWNER:** Village of Willowbrook  
 835 Midway Drive  
 Willowbrook, IL 60527  
 (630) 920-2261

**Design Perspectives**  
 1280 Iroquois Ave., Suite 110  
 Naperville, IL 60563  
 (630) 428-3134

**FROM:** George's Landscaping, Inc.  
 1410 Mills Road  
 Joliet, IL 60433  
 (815) 774-0350

**CONTRACTOR'S APPLICATION FOR PAYMENT**

Application is made for Payment, as shown below, in connection with the Contract. Continuation Sheet, AIA G703, is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

- 1. ORIGINAL CONTRACT SUM
- 2. Net change by Change Orders
- 3. CONTRACT SUM TO DATE (Line 1 + 2)
- 4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)

\$	76,295.00
\$	3,146.66
\$	79,441.66
\$	79,441.66

- 5. RETAINAGE:

- a. 10% of Completed Work (Columns D + E on G703) \$ -
- b. 10% of Stored Material (Column F on G703) \$ -

Total Retainage (Line 5a + 5b or Total in Column I of G703)

- 6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)

\$ 79,441.66

- 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)

\$ 71,497.49

- 8. CURRENT PAYMENT DUE

\$ 7,944.17

- 9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)

\$ -

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ -	\$ -
Change Order #1	\$ 3,146.66	
Total approved this Month	\$ 3,146.66	\$ -
<b>TOTALS</b>	<b>\$ 3,146.66</b>	<b>\$ -</b>
<b>NET CHANGES BY Charge Order</b>	<b>\$ -</b>	<b>3,146.66</b>

CONTRACTOR: George's Landscaping, Inc. DBA George's Landscaping, Inc.

BY: [Signature] DATE: February 28, 2017

State of: Illinois  
 County of: Will  
 Subscribed and sworn to before me this 22 day of March 2017

Notary Public: [Signature]



**ARCHITECT'S CERTIFICATE FOR PAYMENT**

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: 7,944.17  
 (Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT: [Signature]

BY: [Signature] DATE: 3.24.17

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT,

containing Contractor's signed Certification is attached.

In tabulations below, amounts are stated in exact dollar and cents amounts.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO.:  
 APPLICATION DATE:  
 PERIOD TO:  
 PROJECT NO.:

THREE-FINAL  
 Tuesday, February 28, 2017  
 Tuesday, February 28, 2017  
 2016 Lake Hinsdale Park Imp

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F MATERIALS PRESENTLY STORED (Not in D or E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H BALANCE TO FINISH (C-G)	I RETAINAGE
			FROM PREVIOUS APPLICATIONS						
1	<b>Mobilization and Project Start Up</b> Project & sit mobilization including construction staking and bond costs	\$ 3,693.00	\$ 3,693.00	\$ -	\$ -	\$ -	\$ 3,693.00	\$ -	\$ -
2	<b>Removals, Grading &amp; Drainage</b> Remove wood chips from existing playground area Strip and stockpile all topsoil encountered during grading operations including 9 garden pots. Topsoil will be used to fulfill the requirements of this project. Perform all grading and excavation to obtain subgrade for pavements and other grading requirements as shown or noted on plans and in accordance with the specifications. This to include fine grading of the 9 garden plots. Re-spread clean stockpiled topsoil 4" thick minimum over all prepared subgrades and fine grade all disturbed areas. Install playground drainage (French Drain & Pipe) as shown or noted on plans and in accordance with the specifications.	\$ 10,345.00	\$ 10,345.00	\$ -	\$ -	\$ -	\$ 10,345.00	\$ -	\$ -
	<b>Paving</b>								
3	Type 201 Concrete Paving	\$ 6,587.50	\$ 6,587.50	\$ -	\$ -	\$ -	\$ 6,587.50	\$ -	\$ -
4	Type 202 Limestone Path	\$ 5,359.50	\$ 5,359.50	\$ -	\$ -	\$ -	\$ 5,359.50	\$ -	\$ -
5	Furnish & Install Concrete Playground Curb Furnish & Install Playground Trench Edge (Spade Edging)	\$ 5,110.00	\$ 5,110.00	\$ -	\$ -	\$ -	\$ 5,110.00	\$ -	\$ -
6	<b>Playground Construction</b>	\$ 1,684.00	\$ 1,684.00	\$ -	\$ -	\$ -	\$ 1,684.00	\$ -	\$ -
7	Furnish & Install Complete Playground Playground Area	\$ 19,585.00	\$ 19,585.00	\$ -	\$ -	\$ -	\$ 19,585.00	\$ -	\$ -
8	Furnish & Install Existing Playground Area Engineered Wood Fiber Safety Surface	\$ 900.00	\$ 900.00	\$ -	\$ -	\$ -	\$ 900.00	\$ -	\$ -
9		\$ 1,610.00	\$ 1,610.00	\$ -	\$ -	\$ -	\$ 1,610.00	\$ -	\$ -





STATE OF ILLINOIS

COUNTY OF WILL

FINAL WAIVER OF LIEN

Gty #

Escrow #

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by Village of Willowbrook to furnish General Construction for the premises known as Lake Hinsdale Park Improvements of which Village of Willowbrook is the owner.

THE undersigned, for and in consideration of Seven Thousand Nine Hundred Forty Four & 17/100 (\$7,944.17) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor, services, material, fixtures, apparatus or machinery, heretofore furnished, or which may be furnished at any time hereafter, by the undersigned for the above-

described premises, INCLUDING EXTRAS\*  
DATE March 22, 2017

COMPANY NAME: GLI Services, Inc. DBA George's Landscaping, Inc.  
ADDRESS: 1410 Mills Road / Joliet, IL 60433

SIGNATURE AND TITLE

/ Project Manager

\*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS  
COUNTY OF WILL

TO WHOM IT MAY CONCERN:

The undersigned, Bridget Clark being duly sworn, deposes and says that he or she is Project Manager of GLI Services, Inc. DBA George's Landscaping, Inc. who is the contractor furnishing General Construction work on the building located at Lake Hinsdale Park Improvements, Willowbrook, IL owned by Village of Willowbrook, that the total amount of the contract including extras\* is \$79,441.66 on which he or she has received payment of \$71,497.49 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and materials required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
George's Landscaping, Inc 1410 Mills Road / Joliet, IL 60433	General Construction	\$61,655.17	\$53,711.00	\$7,944.17	\$0.00
Parkreation, Inc./Playpower LT 27 E. Palatine Rd. Prospect Hts, IL	Play Equipment	\$17,786.49	\$17,786.49	\$0.00	\$0.00
TOTAL LABOR AND MATERIALS INCLUDING EXTRAS* TO COMPLETE:		\$79,441.66	\$71,497.49	\$7,944.17	\$0.00

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated

DATE March 22, 2017

SIGNATURE:

/ Project Manager

SUBSCRIBED AND SWORN TO BEFORE ME THIS 22nd DAY OF March, 2017

\*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT

NOTARY PUBLIC

1722 R5/96

Provided by Chicago Title Insurance Company





# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:** A PROCLAMATION RECOGNIZING THE WEEK OF MAY 21<sup>ST</sup> THROUGH MAY 27<sup>TH</sup>, 2017 AS NATIONAL EMERGENCY MEDICAL SERVICES (EMS) WEEK WITHIN THE VILLAGE OF WILLOWBROOK

**AGENDA NO.** 5k

**AGENDA DATE:** 4/10/17

**STAFF REVIEW:** Cindy Stuchl

**SIGNATURE:** *Cindy Stuchl*

**LEGAL REVIEW:** Thomas Bastian

**SIGNATURE:** THOMAS BASTIAN *TL*

**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:** *TEHLL*

**REVIEWED & APPROVED BY COMMITTEE:** YES  NO  N/A

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The American College of Emergency Physicians (ACEP) was instrumental in establishing EMS Week when President Gerald Ford declared November 3 – 10, 1974 as the first "National Emergency Medical Services Week." This annual observance continued for four more years and was then reinstated by ACEP in 1982. Around this time the observance of EMS Week was moved to September. In 1992 EMS Week was again moved to be the 3<sup>rd</sup> week in May. The move was made to separate EMS Week from Fire Prevention week in October. The rationale for the move was the majority of fire and EMS services felt having the two events back to back hurt the effectiveness of each program so EMS Week was moved to May.

National Emergency Medical Services Week brings together local communities and medical personnel to publicize safety and honor the dedication of those who provide the day-to-day lifesaving services of medicine's "front line."

#### ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

None.

**ACTION PROPOSED:** APPROVE THE PROCLAMATION

# Village of Willowbrook

## Proclamation

**WHEREAS**, emergency medical services (EMS) are a vital public service; and

**WHEREAS**, the members of EMS teams are ready to provide lifesaving care to those in need 24 hours a day, seven days a week; and

**WHEREAS**, access to quality emergency care dramatically improves the survival and recovery rate of those who experience sudden illness or injury; and

**WHEREAS**, EMS has grown to fill a gap by providing important, out of hospital care, including preventative medicine, follow-up care, and access to telemedicine; and

**WHEREAS**, the EMS system consists of first responders, emergency medical technicians, paramedics, emergency medical dispatchers, firefighters, police officers, educators, administrators, pre-hospital nurses, emergency nurses, emergency physicians, trained members of the public, and other out-of-hospital medical care providers; and

**WHEREAS**, the members of EMS teams, whether career or volunteer, engage in thousands of hours of specialized training and continuing education to enhance their lifesaving skills; and

**WHEREAS**, it is appropriate to recognize the value and accomplishments of EMS providers by designating Emergency Medical Services Week.

**NOW, THEREFORE, I, FRANK A. TRILLA**, Mayor of the Village of Willowbrook, do hereby proclaim the week of May 21<sup>st</sup> through 27<sup>th</sup>, 2017 to be National EMS Week, to honor the dedication of the men and women who provide the day-to-day lifesaving services of medicine's "front line".

Proclaimed this 10<sup>th</sup> day of April, 2017.

Attest:

---

Mayor

---

Village Clerk

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:** A PROCLAMATION RECOGNIZING THE WEEK OF APRIL 9<sup>th</sup> THROUGH APRIL 15<sup>th</sup>, 2017 AS NATIONAL PUBLIC SAFETY TELECOMMUNICATORS WEEK WITHIN THE VILLAGE OF WILLOWBROOK

**AGENDA NO.** 51

**AGENDA DATE:** 4/10/17

**STAFF REVIEW:** Cindy Stuchl

**SIGNATURE:** Lindy Stuchl

**LEGAL REVIEW:** Thomas Bastian

**SIGNATURE:** THOMAS BASTIAN TH

**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:** T Stuchl

**REVIEWED & APPROVED BY COMMITTEE:** YES  NO  N/A

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The Association of Public Safety Communications Officials International introduced National Public Safety Telecommunicators Week to Congress in 1991. The goal for this week is to publicly recognize the men and women of DuPage Public Safety Communications who answer emergency and non-emergency calls for service and coordinate and dispatch police, fire and EMS responses quickly and accurately to those in need.

#### ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The Mayor and Board of Trustees have over the past years adopted Proclamations recognizing "National Public Safety Telecommunicators Week" within the Village of Willowbrook.

**ACTION PROPOSED:** APPROVE THE PROCLAMATION

# Village of Willowbrook

## Proclamation

**WHEREAS**, emergencies can occur at any time that require police, fire or emergency medical services; and

**WHEREAS**, when an emergency occurs, the prompt response of police officers, firefighters and paramedics is critical to the protection of life and preservation of property; and

**WHEREAS**, the safety of our police officers and firefighters is dependent upon the quality and accuracy of information obtained from citizens who telephone DuPage Public Safety Communications; and

**WHEREAS**, Public Safety Telecommunicators are the first and most critical contact our citizens have with emergency services; and

**WHEREAS**, Public Safety Telecommunicators are the single vital link for our police officer, firefighters and paramedics by monitoring their activities by radio, providing them information and ensuring their safety; and

**WHEREAS**, Public Safety Telecommunicators of DuPage Public Safety Communications have contributed substantially to the apprehension of criminals, suppression of fires and treatment of patients; and

**WHEREAS**, each dispatcher has exhibited compassion, understanding and professionalism during the performance of their job in the past year.

**NOW, THEREFORE, I, FRANK A. TRILLA**, Mayor of the Village of Willowbrook, do hereby proclaim the week of April 9<sup>th</sup> through 15<sup>th</sup>, 2017 to be National Public Safety Telecommunicators Week, in honor of the men and women whose diligence and professionalism keep our villages, cities and citizens safe.

Proclaimed this 10<sup>th</sup> day of April, 2017.

Attest:

---

Mayor

---

Village Clerk

**IN AN EMERGENCY,  
EVERY  
SECOND  
COUNTS.**



**CREATE YOUR OWN Smart911 PROFILE AT:**  
[www.dupageco.org/Smart911](http://www.dupageco.org/Smart911)



**IT'S QUICK, IT'S FREE AND IT'S PRIVATE.**

The information in your Smart911 safety profile helps first responders help you faster when you dial 911. Join more than 31,000 DuPage County residents who have already signed up.

Provided by the Emergency Telephone System Board of DuPage County

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<b>ITEM TITLE:</b> Receive Plan Commission Recommendation – Public Hearing 17-01: Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a “Firing Range, Indoor”, a petition for approval of a Plat of Subdivision to consolidate the two-lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code. – The Chicago Gun Club, Illinois Route 83 Frontage Road and 79 <sup>th</sup> Street.	<b>AGENDA NO.</b>  <span style="font-size: 1.5em;">5m</span>  <b>AGENDA DATE:</b> <u>04/10/17</u>
---	--

<b>STAFF REVIEW:</b> Anna Franco, Planning Consultant	<b>SIGNATURE:</b> <u>Anna E Franco</u>
<b>LEGAL REVIEW:</b> Tom Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN JR</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>TE Halik</u>
<b>REVIEWED &amp; APPROVED BY COMMITTEE:</b> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The Plan Commission first saw concepts for this project back in May of 2016 and were generally supportive of the proposed use. The petitioner submitted preliminary plans in January 2017, which were presented before the Plan Commission at a public hearing at the February 22, 2017 Plan Commission. The public hearing was then continued to the April 5, 2017 Plan Commission, where the Plan Commission made a positive recommendation to the Village Board.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The applicant wishes to develop a 31,000-square foot gun club facility that would include a 32-bay firing range, firearm and jeep retail, educational classroom space, two membership lounges (including one bar), offices, and other accessory uses related to the operation of the facility. The subject property, which is vacant and has been on the market for a long time, is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge.

The business team anticipates a top of the line facility at the location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club is intended to function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. They are also looking to emulate the “club like” atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club.

Both Plan Commission meetings were attended by numerous members of the public, including mainly residents from Willowbrook, but also from Burr Ridge and Darien. The majority of those who provided public testimony opposed the proposed gun club and had notable concerns regarding general public safety, the safety of alcohol and firearms, firing range noise, air quality emissions, and proximity to Gower Middle School. Approximately fourteen (14) people testified in opposition of the gun club. There was also public testimony in favor of the gun club from approximately three (3) people. Their comments centered around the idea that firearms are misunderstood due to unlawful use of firearms. The Plan Commission actively listened to all members of the public who wished to provide public testimony at the meeting.

The Plan Commission voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board. Their motion included twenty-five (25) recommended conditions that either must be met before final Village zoning approval or must be incorporated into the final ordinance granting zoning approval. These recommended conditions are listed in the Staff Report dated April 10, 2017.

**ACTION PROPOSED:** Receive Plan Commission Recommendation.



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## MEMORANDUM

**MEMO TO:** Frank A. Trilla, Mayor  
Board of Trustees

**MEMO FROM:** Dan Kopp, Chairman, Plan Commission

**DATE:** April 6, 2017

**SUBJECT:** **Zoning Hearing Case 17-01:** The Chicago Gun Club, Northeast corner of Route 83 Frontage Road and 79th Street. Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.

At the regular meeting of the Plan Commission held on April 5, 2017, the above referenced application was discussed and the following motion was made:

**MOTION:** Made by Soukup seconded by Kaucky that based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations as listed as in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

**ROLL CALL:** AYES: Chairman Kopp, Commissioners Kaucky, Lacayo, Ruffolo, and Soukup;  
NAYS: None.  
ABSENT: Vice Chairman Wagner, Commissioner Remkus.

**MOTION DECLARED CARRIED**

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## FINDINGS OF FACT

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

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### **Standards for Special Use Permit**

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

**Finding:** The applicant will ensure EPA, NIOSH, and OSHA standard air quality thought the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, waring signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.



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**Finding:** The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

**Finding:** The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.



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- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

**Finding:** The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development. The development will also provide two large bioretention areas at the east and southern areas of the property that will meet the development's stormwater requirements. Additionally, the petitioner will be installing curb and gutter, public sidewalk, and street lighting along their frontage of IL Route 83 Frontage Road in accordance with Village standards that will promote increased stormwater control, pedestrian connectivity, and pedestrian and vehicular safety.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Finding:** Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Finding:** The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and building materials.

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**(G)** Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

**Finding:** The proposed special use has never been applied for (or denied) with respect to this specific location.

### Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

**(A)** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Finding:** The property cannot yield a reasonable return is the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

**(B)** The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Finding:** The proposed variations will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interiors side, and front yard parking setbacks are not supported. Additionally, the applicant may not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported. The applicant may also not be able to provide proper landscaping at the front of the building if an approximate three foot (3') variation to the front yard building setback is not supported.

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- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Finding:** The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan. Additionally, a variance of approximately three feet (3') from the required one hundred foot (100') front yard building setback will not alter the intended character and will not be materially detrimental to the public welfare of injurious to other property or improvements in the neighborhood.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Finding:** The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.



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(F) The proposed variation will not alter the essential character of the locality.

**Finding:** The proposed variations will not alter the essential character of the locality. The parking setback and front yard building setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997).

**Finding:** The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed and the approximate three foot (3') relief from the required one hundred foot (100') building setback will not alter the intended character of the B-4 Zoning District. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

### Standards for Variation from Subdivision Regulations

The board of trustees may authorize a variation from the subdivision regulations after review and recommendation by the plan commission when, in its opinion, undue hardship may result from strict compliance and provided the variation applies only to the requirements of this title. The board may take such action only upon receipt from the plan commission of a written recommendation specifying the manner in which the findings required in this section have or have not been met by the facts pertinent to the requested variation.

No variation shall be granted unless the board of trustees finds:

(A) That there are special circumstances or conditions affecting said property, such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

**Finding:** The current roadway system that comprises IL Route 83 Frontage Road (79th Street and Joliet Road) is currently a rural cross section for the vast majority of the roadway. The proposed variation to relieve the petitioner of the requirement to install curb and gutter will maintain the rural cross section and overall character of the roadway system.

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- (B) That the variation is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

**Finding:** The variation to relieve the petitioner of the requirement to install curb and gutter will allow the property owner to maintain the successful stormwater drainage ditch along the property Frontage.

- (C) That the granting of the variation will not be detrimental to the public welfare or injurious to other property in the area in which said property is located.

**Finding:** The proposed variation to relieve the petitioner of the requirement to install curb and gutter will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The absence of curb and gutter along the property's frontage will maintain the status quo of a rural cross section for the 79th Street/Joliet Road/Route 83 Frontage Road.

- (D) The alleged hardship has not been created by any person having a present proprietary interest in the property. (Ord. 79-O-43, 11-26-1979)

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

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## Village of Willowbrook Staff Report to the Village Board

<b>Plan Commission Date:</b>	February 22, 2017		
<b>Plan Commission- Public Public Hearing Continuation Date:</b>	April 5, 2017		
<b>Village Board Receive:</b>	April 10, 2017		
<b>Prepared By:</b>	Anna Franco, Planning Consultant		
<b>Case Title:</b>	The Chicago Gun Club		
<b>Petitioner:</b>	The Chicago Gun Club LLC (and TCGC Property LLC as property owner) 4825 Lee Avenue, Downers Grove, IL 60515		
<b>Action Requested:</b>	Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two-lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
<b>Purpose:</b>	To develop a 31,000-square foot gun club facility that includes a 32-bay firing range, firearm and jeep retail, classroom space, two lounges (including one bar), and other accessory uses related to the operation of the facility.		
<b>Location:</b>	Northeast corner of Frontage and 79th, just south of Willowbrook Inn.		
<b>PINs:</b>	09-26-402-029 and 09-26-402-018		
<b>Existing Zoning:</b>	B-3 General Business District		
<b>Proposed Zoning:</b>	B-4 Highway and Service Business District		
<b>Existing Land Use:</b>	Vacant		
<b>Property Size:</b>	3.42 Acres		
<b>Surrounding Land Use:</b>	<b>Use</b>	<b>Zoning</b>	
	North	B-4	Willowbrook Inn
	South	B-4	La Quinta Hotel
	East	B-4	Willowbrook Inn and EconoLodge
	West	Kingery Highway and R-2	Single Family across Kingery Hwy

**Necessary Action by the Village Board:** Receive Plan Commission Recommendation

## Attached Documents

- Attachment 1:** Development Executive Summary, no date (6 sheets)
- Attachment 2:** Revised Engineering, Architecture, Elevations & Signage, Landscaping, Lighting, revisions dated 3/13/17 (35 Sheets)
- Attachment 3:** Preliminary Plat of Subdivision, revisions dated 2/17/17 (1 Sheet)
- Attachment 4:** Final Plat of Subdivision, revisions dated 3/9/17 (2 Sheets)
- Attachment 5:** Findings of Fact (from Staff), 3/22/17 (6 Sheets)
- Attachment 6:** Responses to February 22nd Plan Commission Comments/Questions, 3/14/17 (7 Sheets)
- Attachment 7:** Acoustics Presentation from April 5, 2015 Plan Commission Meeting (11 Sheets)
- Attachment 8:** Written public comment made prior to 4/6/17 (22 Sheets)

## Site Description

The property is located at the northeast corner of Frontage Road and 79<sup>th</sup> Street, just south of Willowbrook Inn and west of the EconoLodge. The property is currently located in the B-3 General Business Zoning District, but is adjacent on all sides by property located in the B-4 Highway and Service District. The 3.4-acre property consists of Lot 2 and Lot 4 in the Anvans Subdivision and is trapezoidal in shape. The property has never been developed and is currently vacant.

**Exhibit 1** Aerial of the Subject Property



**Exhibit 2** Google 3D View of the Property (Looking Northeast)





## Development Proposal

The subject property has been vacant and on the market for a long time. The petitioner, The Chicago Gun Club, has recently purchased the property and wishes to rezone the property from B-3 to B-4 and obtain special use approval for an indoor firing range to develop a 31,000-square foot "guntry club". The facility would include 32 tactical shooting bays (that will accommodate two people per bay), as well training/educational classrooms, retail sales (including customized Jeeps), membership lounges (including a bar), and office uses.

The business team anticipates a top of the line facility at this location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club will function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. The architect has been selected for the work they did for facility in Ann Arbor Michigan call "Ann Arbor Arms". They are also looking to emulate the "club like" atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club. Images of both of these facilities can be found online. A project narrative from the petitioner can be found in **Attachment 1** "Development Executive Summary".

The gun club is proposed to operate from 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday. The gun club will have a maximum of 15 employees, including management, on site at any one time with approximately 10 employees on site during normal weekday hours. An average of 250 members are anticipated to visit the gun club during a typical day.

## Staff Analysis

### Appropriateness of Use

The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. As indicated in the applicant's materials, these types of uses are relatively new and can come with actual or perceived impacts on the community. This is the Plan Commission's opportunity to get answers to as many questions as you have about hours, staffing, lighting, security, whether food and/or liquor is involved, etc.

The new facility that just opened in Bolingbrook called the Range at 355 opened recently as a member only club, and all memberships were sold out in a very short period of time, indicating a strong demand for this use. The proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. If any possible negative impacts associated with the use are mitigated, the site is appropriate for the proposed use.



**Comprehensive Plan**

The Comprehensive Plan designates the subject property as “Highway Commercial”, which is intended to serve both the traveling public on the community’s most traveled routes, as well as meet some local community retail and service needs. This planned designation extends from I-55 all the way up to 75th Street. Zoning along this same section of Route 83 includes B-2, B-3 and B-4 zones, with B-4 zones on the Willowbrook Ford and hotel properties. There are no specific references in the Comprehensive Plan to this vacant site, but staff has summarized certain relevant commercial policies from the Comprehensive Plan for the Plan Commission’s consideration. These relevant policies and how they relate to the proposed gun club facility are summarized in the table below:

**Exhibit 3** Relevant Comprehensive Plan Goals & Policies

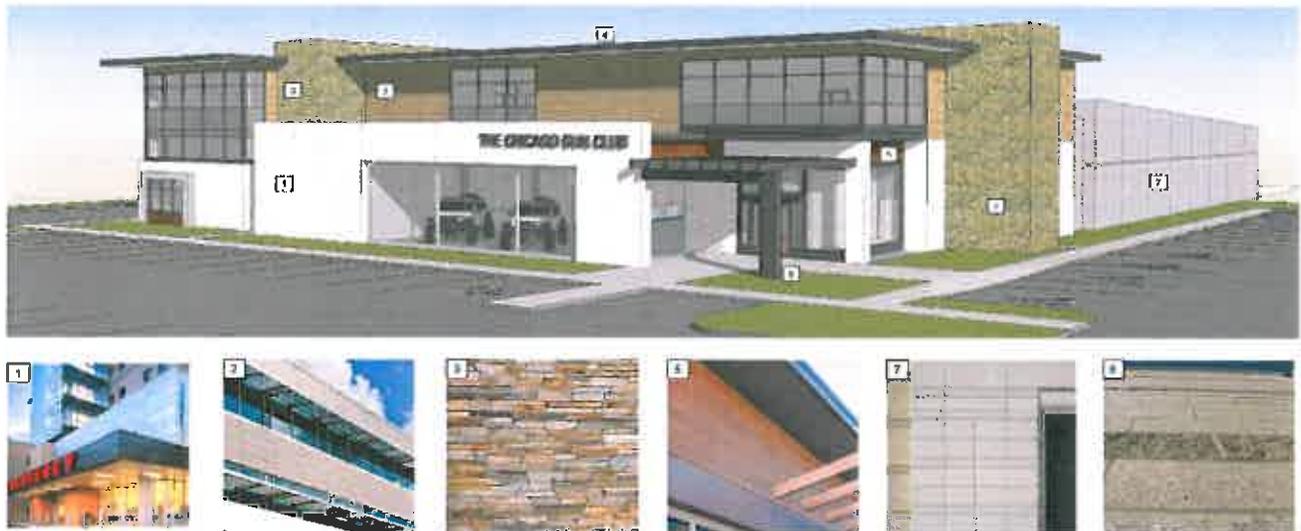
Relevant Comprehensive Plan Goals & Policies		
Item #	Plan Text	Relation to The Chicago Gun Club
1	Consolidate lots when possible and provide coordinated/planned access to individual uses	The petitioner has submitted a Plat of Subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision.
2	Development should occur in locations served by transportation facilities capable of handling the traffic to be generated.	A completed traffic impact study indicates that existing infrastructure will continue to operate at acceptable levels of services. No left turn lane for the development is required. However, the entry intersection will need to be stop sign controlled.
3	Do not allow uses where traffic exceeds street capacities, or where significant problems in access or compatibility with adjacent uses is anticipated.	Please see above.
4	Provide adequate and attractively landscaped off-street parking and loading facilities.	The Landscape Plan provides both adequate and attractive landscaping of off-street parking and loading facilities.
5	Incorporate high standards of design and construction.	The facility design is both attractive and modern.
6	Preserve natural features as possible and promote pedestrian use.	The petitioner has conducted a tree survey and will be preserving trees along the perimeter of the property. The petitioner <b>has NOT included plans for a sidewalk</b> along the frontage of their property. This will be a required addition in their revised plans.
7	Rezoning requests for new commercial developments must be carefully evaluated. If sufficient need cannot be determined or if commercial development policies cannot be met, then the rezoning requests should not be approved.	The proposed zoning of B-4 Highway Commercial is consistent with the zoning of adjacent properties in this area of the Village.
8	Provide a “sense of arrival in Willowbrook.” Intent is for Route 83 to be landscaped as a “parkway” not a highway.	The petitioner is proposing 9 new street trees along Frontage Road and will be installing one attractive monument sign along Frontage Road.
9	Special gateway landscaping should be created at major interchanges and intersections.	The monument sign, referenced above, will be attractively landscaped.
10	The I-55 frontage road should be improved to industrial collector street standards between Midway Drive and Joliet Road. Street lights should be provided in conjunction with this improvement.	The petitioner has <b>NOT included curb and gutter of street lighting in their plans</b> . The addition of these elements will be a requirement in their revised plans.
11	Signalization of the Midway/Frontage Road intersection should be evaluated or considered.	The Traffic Impact Study has indicated that signalization is not necessary to handle the traffic generated by this development.



### Building Elevations

The petitioner has submitted colored building elevations for the proposed gun club facility, shown below and shown more extensively in **Attachment 2** "Revised Engineering, Architectural, Elevation & Signage, Landscaping, Lighting". The proposed building features an impressive modern façade on the west side of the building, which includes the building's main entrance (covered by a steel pergola), the proposed Jeep retail display, and large windows on the second floor of the building. Building materials at the front of the building will include a combination of stone veneer, painted aluminum, cedar plank siding, ground face block, fiber cement siding, and pre-cast concrete panels. The gun range portion, at the "back" of the building will be constructed of mainly pre-cast concrete panels. The petitioner will be requesting a variance to allow metal as an architectural accent for the building, which is prohibited by Section 9-6-1(E)2 of the Village Code.

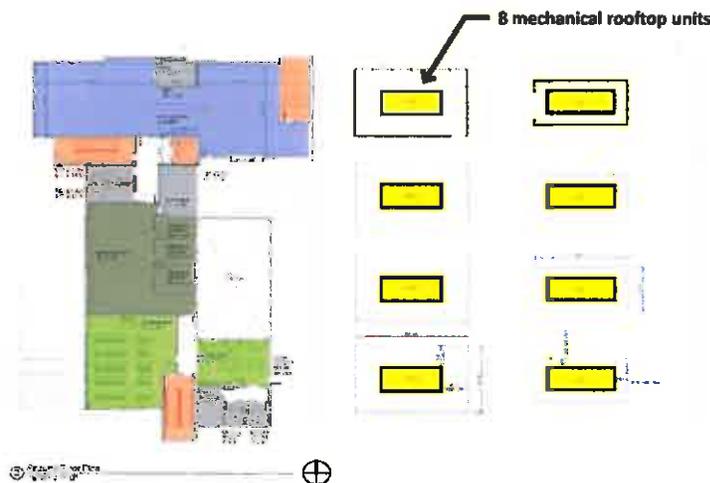
**Exhibit 4** Building Elevation Rendering & Proposed Materials

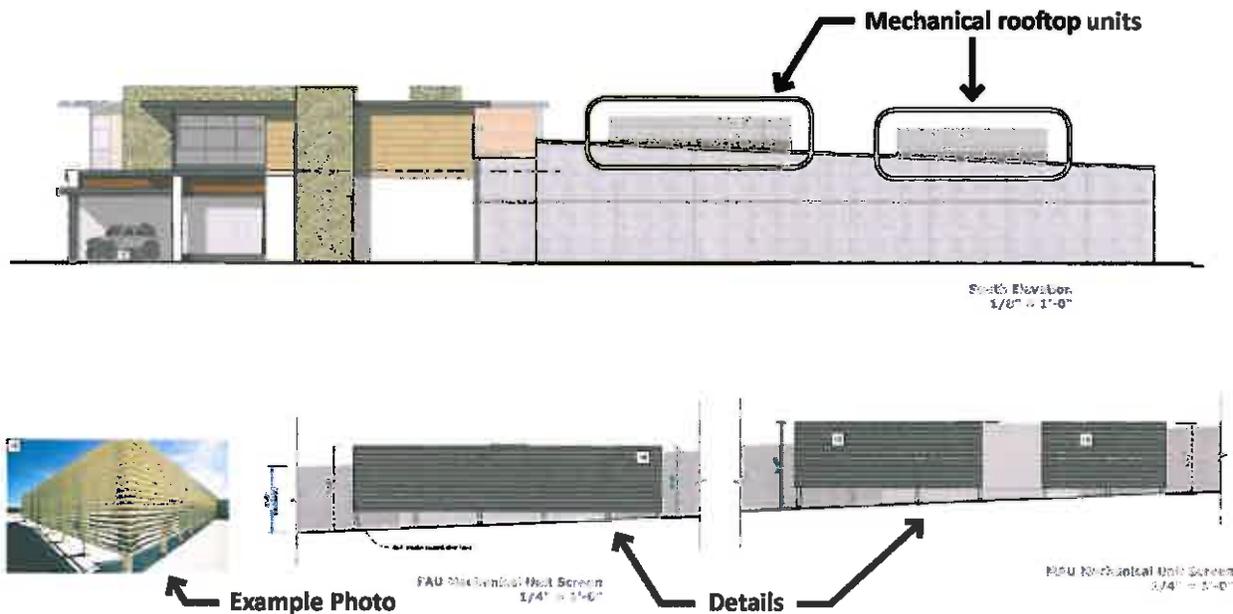


### Rooftop Mechanicals Location and Screening

The revised architectural plans show that 8 rooftop mechanical units will be located over the firing range area of the proposed gun club facility. The rooftop mechanical will be hidden by a metal louver screen that will match the height of the mechanical units it is screening. Please see **Exhibit 5** below or **Attachment 2** for additional detail.

**Exhibit 5** Rooftop Mechanicals Location & Detail





**Building Use Breakdown**

The proposed gun club will be a two-story, approximately 31,000 gross square foot facility, located entirely on the northern Lot 2 portion of the property. The first floor will be a total of approximately 25,000 square feet and will consist of mainly the 32-gun range bays at the back of the building, which is almost 50% of the building's square footage. The front of the first floor will consist of a retail floor, Jeep retail, a member's lounge, locker rooms, a rental station, and the gun smith. The second floor will be a total of approximately 6,000 square feet and will include the gun club's VIP Lounge area, classroom space, offices, and an outdoor skydeck. A color-coded breakdown of the facilities' floor plans are shown below in Exhibit 6.

**Exhibit 6 Building Use Breakdown Table and Diagram**

Color Code	Building Use	Square Footage	Percentage of Total Building S.F.
Yellow	Indoor Firing Range	14,824 S.F.	48%
Pink	Retail	4,370 S.F.	14%
Green	Lounge (assembly)	3,907 S.F.	13%
Blue	Accessory Commercial	2,837 S.F.	9%
Grey	Warehouse/Storage	1,620 S.F.	5%
Orange	Jeep Retail	1,260 S.F.	4%
Purple	Office	1,212 S.F.	4%
Dark Blue	Classroom	864 S.F.	3%
	<b>Total Square Footage</b>	<b>30,893 S.F.</b>	<b>100%</b>





**Zoning Bulk Requirements**

The petitioner is requesting to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District. A detailed discussion of important bulk exceptions and variations for the B-4 Zoning District is provided below and summarized in **Exhibit 7 “B-4 Zoning District Compliance Table”**.

**Lot Dimensions:** The subject property is in compliance with the minimum lot depth and lot width requirements of the B-4 Zoning District. The subject property is also in compliance with the B-4 Zoning District minimum lot area, with a lot area of approximately 148,848 square feet, or 3.4 acres. The subject property is considered Lot 2 and Lot 4 of the Anvans Subdivision.

**Setbacks:** The required and proposed minimum setbacks are shown in **Exhibit 7** on the following page. All setbacks are in compliance with the B-4 Zoning District standards with the exception of the front yard building setback. The front yard building setback is 96.93’ and hence a variance is required to allow a reduction from the required minimum front yard setback of 100’ to 96.93’. Staff recommends support of the additional relief as the difference of approximately 3’ will not alter the intended character of a property in the B-4 zoning district.

**Building Height:** The maximum height of a building in the B-4 Zoning District is 35’. The proposed building height for the badminton facility is 30.67’ and is in compliance with the Zoning Ordinance.

**Density and Coverage:** The maximum lot coverage (building coverage) in the B-4 Zoning District is 50%. The proposed gun club facility has a building footprint of approximately 24,811 square feet; so on a 3.4 acre lot, the building coverage is approximately 16.6% and is well below the maximum 50% threshold. As a two-story building, the floor area ratio (FAR) is approximately 0.21, which is above the minimum required 0.3 FAR.

**Exhibit 7 B-4 Zoning District Compliance Table**

<b>B-4 Zoning District</b>				
<b>Item</b>	<b>Code Section</b>	<b>Code Requirement</b>	<b>Proposed</b>	<b>Departure</b>
Minimum Lot Area	9-6D-3A	87,120 sf (2 acres)	148,971 sf	none
Minimum Lot Width	9-6D-3B	300'	greater than 300'	none
Minimum Lot Depth	9-6D-3C	250'	375.13'	none
Minimum Front Yard Setback	9-6D-3D1	100'	96.93'	<b>Yes (authorized)</b>
Minimum Interior Side Yard Setback	9-6D-3D2	40'	57.52'	none
Minimum Exterior Side Yard Setback	9-6D-3D3	60'	n/a	n/a
Minimum Rear Yard Setback	9-6D-3D4	40'	68.89'	none
Minimum Transition Yard	9-6D-3D5	100'	n/a	n/a
Maximum Height	9-6D-3E	35'	30.67'	none
Maximum Floor Area Ratio	9-6D-3F	0.3	0.21 (0.208)	none
Maximum Lot Coverage	9-6D-3G	50%	16.65%	none



## Parking & Loading

**Required Parking:** The petitioner’s site plan proposes a total of 129 parking spaces (including 5 handicap spaces) located along the north, west, and south sides of the building. No parking is proposed on the east side of the building.

Required parking was calculated by using the parking formulas outlined in Title 9, Chapter 10, Section 5K of the Village Code. Numerous parking formulas were used to calculate parking, so for ease, parking requirements are outlined in **Exhibit 8 “Required Parking”**, below. As you can see, the zoning code requires that the proposed use provide exactly 129 parking spaces. If any future use changes are made to the proposed floor plans, required parking will need to be closely monitored.

**Exhibit 8 Required Parking**

Required Parking Calculation						
Use	Square Footage	Seats/Lanes/Employ	Code Section	Code Requirement	Req. Spaces	Proposed Spaces
Indoor Firing Range	14,824.00	32 lanes	9-10-5K3	2 spaces per firing lane	64.00	64
Retail	4,220.00	assuming 4,280	9-10-5K4	1 space per 250 sf	16.88	20
Jeep Retail	1,260.00	n/a	9-10-5K4	1 per 400 sf	3.15	3
Assembly (Lounge)	3,974.50	n/a	9-10-5K4	1 space per 250 sf	15.90	21
Warehouse/Storage	1,620.00	3 employees	9-10-5K4	1 space per 1.5 workers	2.00	2
Office	1,212.00	n/a	9-10-5K4	1 per 225 sf	5.39	8
Classroom	864.00	32 seats	9-10-5K3	1 space for every 3 seats	10.67	10
Accessory Commercial	2,836.50	n/a	9-10-5K4	1 space per 250 sf	11.35	none
<b>Total</b>	<b>30,811.50</b>				<b>129.30</b>	<b>129</b>

**\*\* 5 accessible spaces required per Code Section 9-10-5(N)**

**Pavement Setbacks:** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The petitioner is requesting two variances from the required pavement setbacks: (1) to reduce the minimum parking interior side setback from 10’ to 5.17’; and (2) to reduce the minimum parking front rear setback from 15’ to 9.29’. Staff recommends approval of these variations as neither should have significant impact, if any, on neighboring properties.

**Loading Facility:** The petitioner provides one loading berth at the north side of the building, which is recessed into the building. The berth is 12’ width and 55’ length, with a clearance of 15’ and meets the Village’s requirements.



**Exhibit 9 Parking & Loading Compliance Table**

Parking & Loading				
Item	Code Section	Code Requirement	Proposed	Departure
Loading Berth Screening	9-10-4A	screening wall (6'-8') or evergreen landscaping (6')	Loading area is setback into the building	none
Minimum Loading Berth Size	9-10-4B	12' width, 55' length	12' width, 55' length	none
Minimum Loading Berth Clearance	9-10-4B	14'	15.17'	none
Minimum Required Berths	9-10-4H	5,001 to 50,000 sf = 1 required	1 berth	1
Minimum Parking Interior Side & Rear Yard Setback	9-10-5G	10'	5.17' interior, 11.02' rear	Yes (authorized)
Minimum Parking Exterior Side & Front Yard Setback	9-10-5G	15'	9.29'	Yes (authorized)
Minimum End Parking Islands	9-10-5G3	9' width	9'	none
Minimum Intermediate Parking Islands	9-10-5G3	6', between every 20 spaces	6'	none
Minimum Dividing Parking Islands	9-10-5G3	10' width between 3 parking bays	12'	none
Minimum 90 Degree Parking Aisle Width	9-10-5L1	24'	23.65'	Yes (authorized)
Minimum Width of Driveway	9-10-5L2A	24'	28'	none
Minimum Radius Connecting Street Pavement Edge & Driveway Edge	9-10-5L2B	25'	36'	none
Minimum Angle at Intersection of Driveway & Street	9-10-5L2C	60 degrees	90 degrees	none
Minimum Distance of Driveway from nearest lot line	9-10-5L2D	70'	228.52'	none
Minimum Spacing between separate driveway entrances	9-10-5L2F	400' or 500'	n/a	n/a
Parking Required (Motor Vehicle Sales)	9-10-5K	129 spaces (see parking table)	129	none
Accessible spaces required	9-10-5N	5 spaces	5 spaces	none

**Landscaping**

The petitioner is proposing abundant landscaping for the gun club property that includes a variety of deciduous, conifer, and ornamental trees and shrubs. The proposed landscaping should effectively frame the property with deciduous and evergreen trees, establish nine (9) new street trees along the property's frontage, and add greenery to the gun club facility's parking areas.

**Stormwater Management**

The petitioner is proposing two naturalized detention areas; one just east of the building, and a second larger detention area at the south end of the proposed parking area. The perimeter of the detention basins will be planted with short grass prairie seed mix and interior of the detention basins will be planted with sedge meadow seed mix.



## Signage

### Building Wall Signage

The petitioner is proposing one wall sign on the west side of the building. The wall sign, shown below on the "Partial West Elevation", will include the name of the facility, "THE CHICAGO GUN CLUB" in all caps. The lettering in the sign will be finished with an "Old Copper" color and will be illuminated from behind with a white LED light. The wall sign conforms with Village Zoning Ordinance requirements.



Sample Installation

Exhibit 10 Proposed Building Wall Sign

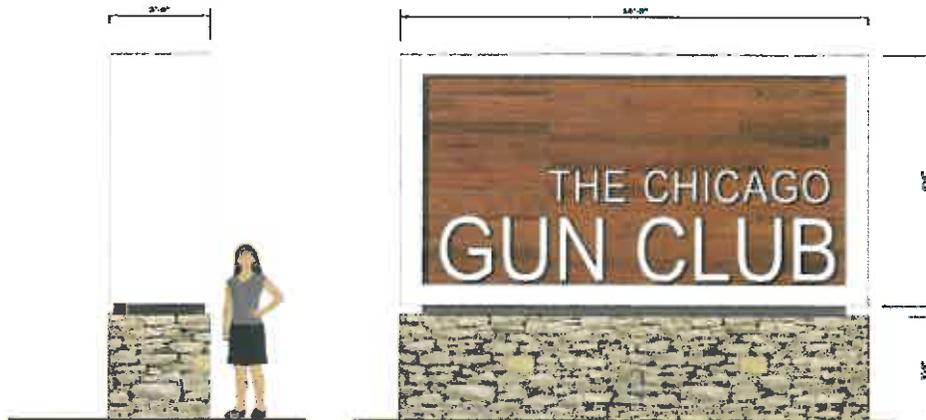


Partial West Elevation

### Monument Signage

The petitioner is proposing one monument sign to be located on the south side of the proposed driveway. The sign, shown below, will be approximately 11.5' tall and 14' wide. The sign will be constructed of a smooth cedar plank for the sign face and some sort of masonry stone for the base.

Exhibit 11 Proposed Monument Sign



Enlarged View, Side  
1/2" = 1'-0"

Monument Sign Enlarged View,  
Front and Back

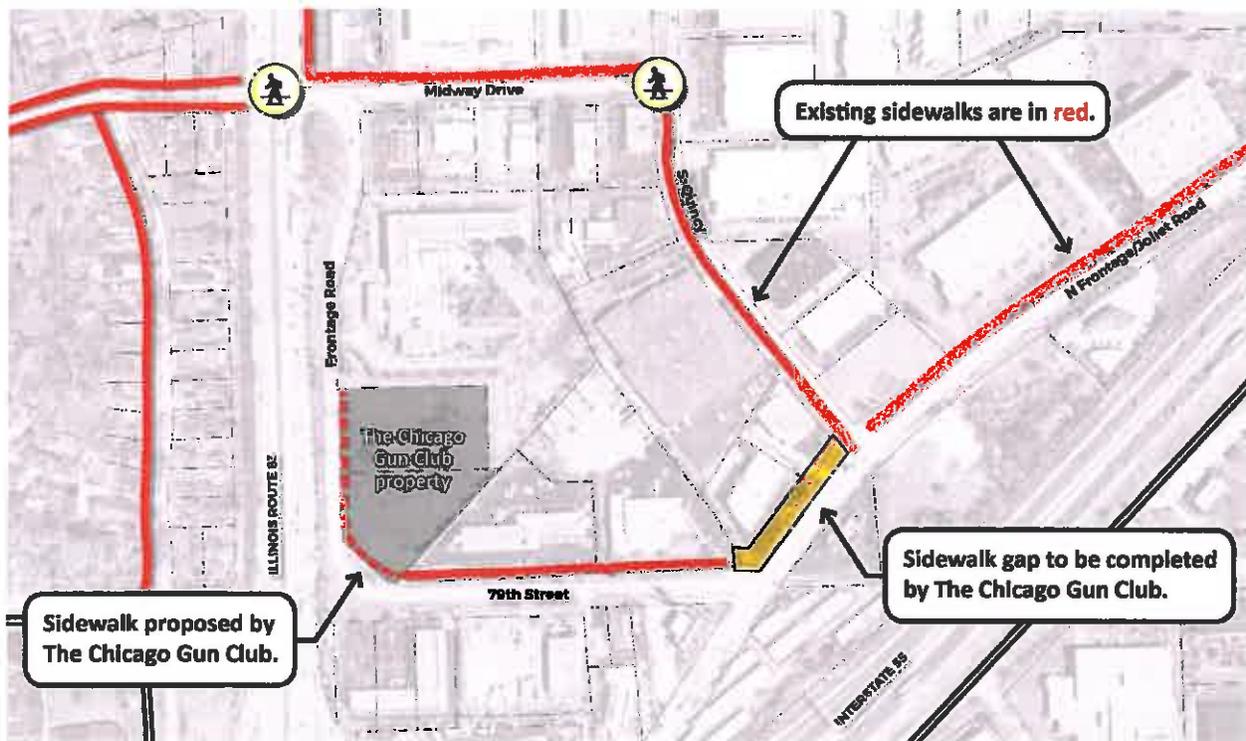


### Subdivision Regulation Requirements

The petitioner will be installing one streetlight at the corner of 79th Street and Frontage Road, the exact location to be determined by the Village Engineer, as well as a 5' foot sidewalk along the entire length of the property frontage. Staff recommends that the petitioner be granted relief from the subdivision regulations that require curb and gutter along their property's frontage since 79th Street/Frontage Road/Joliet Road is a mainly rural cross-section and does not contain curb and gutter along most of the roadway.

In lieu of installing curb and gutter along the length of the property's frontage, Staff recommends that the petitioner instead install sidewalk (or provide fee-in-lieu for sidewalk) just southeast of the Quincy Street and Joliet Road intersection, as denoted in yellow in Exhibit 5 below. The installation of sidewalk in this location will effectively close an existing sidewalk gap and created a continuous pedestrian route from the gun club property to the Quincy Street/ Joliet Road intersection, and beyond.

Exhibit 12 Sidewalk Gap Analysis



### Trash Enclosure

The petitioner is proposing a 7' precast concrete trash enclosure on the north side of the building, just north of the loading area for the building. The trash enclosure must be constructed to look like masonry and shall appear to the color and style of the building. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

Additionally, the trash enclosure will be screened on the west, north, and south by low evergreen and deciduous shrubs, and by one existing, mature honey locust tree. Staff feels this should be adequate screening for the Willowbrook Inn parking area to the north.



## Utilities

All existing and proposed utilities can be found on "The Site & Utilities" plan in **Attachment 2** of this report. The property is serviced by existing watermain along the frontage of the property, however, only the portion of the watermain on Lot 4 is located within a utility easement. The petitioner has extended this utility easement as shown on the Final Plat in **Attachment 4**.

## Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, which was specifically requested by Staff and the Plan Commission at the Plan Commission meeting on May 18, 2016. The purpose of the Traffic Impact Study is to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

This Traffic Study has been reviewed by our traffic consultant from Gewalt Hamilton Associates (GHA) who has confirmed that the following are true:

- The proposed gun club is projected to generate a low volume of traffic during the critical weekday evening peak hours.
- Access to the proposed gun club is to be provided via one full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.
- No left-turn lane will be required to accommodate site access on Frontage Road.
- Intersections near the proposed development currently operate at acceptable levels of service and will continue to do so with the proposed gun club.

## Lighting

The petitioner has submitted a photometric plan for the proposed gun club facility. The photometric plan has been reviewed by the Village's engineering consultant and the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance.

## Vehicle Display

Staff requested that the petitioner clarify how the display vehicles will be moved in and out of the facility. The petitioner has stated that vehicles will be either physically pushed into the building after gasoline is removed or will be driven into the building and then have the gasoline safely removed after positioning. Additional information is provided in **Attachment 6 "Responses to February 22nd Plan Commission Comments/Questions"**.

## Air Filtration and Handling Systems

Lead pollution from the firing range was a notable concern at the February 22<sup>nd</sup> Plan Commission. The petitioner has provided additional information regarding air filtration in **Attachment 6 "Responses to February 22nd Plan Commission Comments/Questions"** and the associated attachment entitled "Expertise of Carey's Heating and Air Conditions, Inc.". The resource provides a wealth of information regarding the proposed air filtration system and most notably states that air returned to the outside environment is filtered through 3 stages of filters including final 99.97% HEPA filters before being exhausted to the outdoors.



### **Firing Range Noise**

Firing range noise was a notable concern at the February 22<sup>nd</sup> Plan Commission meeting and therefore Staff requested that the petitioner provide additional detail regarding the proposed noise levels from the shooting range. The petitioner has provided additional information in **Attachment 6 "Responses to February 22nd Plan Commission Comments/Questions"**, which describes the type of building materials that will be used to mediate sound, decibel ratings from the Frisco Gun Club in Texas, and decibel rating comparisons using familiarities like a food blender, diesel truck, TV-audio, electrical transformer, etc.

From the information provided, Staff cannot accurately identify the proposed decibel rating for the proposed gun club facility. However, based on the information provided, Staff finds it doubtful that residents along Eleanor Drive (west side of IL Route 83) will be able to hear noise from the proposed firing range, especially over the regular noise of passenger vehicle and truck vehicle traffic along IL Route 83, which is measured at 70 to 80 decibels.

### **Gower Middle School Bus Routes**

Gower Middle School is part of Gower School District #62, which boundaries include areas of Burr Ridge, Willowbrook, and unincorporated Du Page County. Gower Middle School is located at the intersection of Madison and 80th Street at 7941 S Madison Street, Burr Ridge, IL and is approximately 0.43 miles from the proposed gun club property when measured from property line to property line.

Village Staff spoke to the School District's Building, Grounds, and Transportation Director regarding the District's school bus routes. The Director stated that school buses sometimes take Frontage Road to avoid truck backups in the area, but the buses are typically empty on their way back from Gower School West. In the past, school buses have picked up students from this area if their family was staying at one of the hotels along Frontage Road, however, the School District has not made any pickups from the Frontage Road hotels this school year.

### **General Building Security**

Building security was a notable concern at the February 22<sup>nd</sup> Plan Commission meeting. Staff has requested that the petitioner provide additional detail regarding proposed building security. The petitioner has provided this detail in **Attachment 6 "Responses to February 22nd Plan Commission Comments/Questions"**.

### **Gun Exposure Laws**

Staff requested that the petitioner provide additional detail regarding Illinois gun exposure laws. The petitioner has provided this detail in **Attachment 6 "Responses to February 22nd Plan Commission Comments/Questions"**. In summary, Illinois law states that a person with a valid FOID card may transport a firearm if it is broken down in a non-functioning state, if it is not immediately accessible, or if it is enclosed in a case. This does not apply to persons who have been issued a valid concealed carry license, whom are allowed to keep or carry a loaded or unloaded concealed firearm on or about his or her person.

### **Willowbrook Police Department**

The Plan Commission requested that Staff reach out to the Willowbrook Police Chief about the proposed facility. Staff has reached out to Police Chief Mark Shelton regarding the proposed gun facility who has provided Staff with comments and feedback. The applicant has stated that they will work closely with the Willowbrook Police Department to ensure security measures are up to the department's standards.



## **Liquor License**

### **Sale of Liquor is Permitted**

During the February 22<sup>nd</sup> Plan Commission public hearing, a resident of Eleanor Place stated that the gun club is technically not allowed to serve alcohol per Section 5-3-19(A)8 of the Village code, which dates back to 1979 and states:

“A person commits the offense of unlawful use of weapons when he knowingly carries or possesses any firearm, stun gun or laser or other deadly weapon in any place which is licensed to sell intoxicating beverages, or at any public gathering held pursuant to a license issued by any governmental body or any public gathering at which an admission is charged, excluding a place where a showing, demonstration or lecture involving the exhibition of unloaded firearms is conducted.”

With regard to Section 5-3-19(A)(8) of the Village Code of Ordinances, Village Staff requested that the Village Attorney review the current ordinance and provide his opinion on its applicability to the proposed development. He concluded that the language in sub-section 8 within the local ordinance was nullified as a result of the 2013 Illinois Firearm Concealed Carry Act, which allows the possession of firearms in facilities that hold a liquor license, provided the owner does not prohibit firearms within, or provided that 50% or more of the revenue generated by the facility is not derived from liquor sales. Below is the pertinent section of the state law:

“A licensee under this Act shall not knowingly carry a firearm on or into any building, real property, and parking area under the control of an establishment that serves alcohol on its premises, if more than 50% of the establishment's gross receipts within the prior 3 months is from the sale of alcohol. The owner of an establishment who knowingly fails to prohibit concealed firearms on its premises as provided in this paragraph or who knowingly makes a false statement or record to avoid the prohibition on concealed firearms under this paragraph is subject to the penalty under subsection (c-5) of Section 10-1 of the Liquor Control Act of 1934.” (430 ILCS 66/65 Sec. 65. Prohibited areas.)

Willowbrook, as a non-home-rule municipality, does not have the authority to impose regulations that are more restrictive than current state law. Therefore, as a result of the passage of the Illinois Firearm Concealed Carry Act, the Village will need to amend the 1979 ordinance and cannot enforce the Section 5-3-19(a)8 provision on this development.

### **Issuance of Liquor License**

The Plan Commission is merely a recommending body. Their duty is to fully consider all aspects of the proposed land use at that location, and forward a recommendation relative to the zoning application to the Village Board for their consideration. So, based on public testimony received, along with the Plan Commission's own thoughts on the subject, the Plan Commission could always include in their recommendation that the facility should not be issued a liquor license, however, it is ultimately up to the Village Liquor Control Commissioner and the Village Board to decide if a liquor license will be issued.



### **Safety Measures for Alcohol Use**

At the February 22<sup>nd</sup> Plan Commission meeting, the petitioner provided safety information regarding the sale and consumption of alcohol. To summarize, liquor sales will only be available within the 2<sup>nd</sup> floor VIP member area and access to this area requires check-in with the “Member Concierge”. No firearms will be allowed in the VIP member area and will be required to be checked for the remainder of the day within the adjacent locker room or placed in the truck of a vehicle.

When a customer enters the VIP Lounge they are given a wristband that allows them access to the range. If they order an alcoholic drink the wristband is removed and a message is added to AXIS (the point-of-sale system) that alcohol has been served. If a customer that is served alcohol attempts to access the range the range safety officer will only let members with a wristband on the range and also see the message in the computer that alcohol has been served. It works as a two-layer protection system to keep people that have been served alcohol off the range.

In written correspondence with Village Staff, the petitioner has also further clarified that once a member has been flagged for alcohol use, that member will be denied access to the rentals and the shooting range for the remainder of the day.

As alcohol was a major concern amongst members of the public, Staff has also submitted written correspondence to the petitioner regarding how person’s will be treated that have alcohol in their system **prior** to entering the facility. The petitioner has stated that personnel will be trained to spot symptoms of alcohol impairment, and that any individuals exhibiting any evidence of impairment while in the shooting areas of the facility will be asked to leave the premises immediately.

### **Findings of Fact**

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided in **Attachment 5**, along with the proposed findings to be incorporated in the Plan Commission’s recommendation and the Village Board’s ordinance if approved.

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided in **Attachment 5**, along with the proposed findings to be incorporated in the Plan Commission’s recommendation and the Village Board’s ordinance if approved.



## Summary of Zoning Requests

To establish the proposed gun club facility on the subject property, Staff has identified the following zoning requests:

1. Rezoning of the property from B-3 General Business to B-4 Highway & Service Business, which permits a "Firearms store, except when located adjoining I-55 or Route 83".
2. A Special Use Permit for an "Firing Range, Indoor" in the B-4 Zoning District.
3. Approval of a Preliminary Plat of Subdivision.
4. Approval of a Final Plat of Subdivision (to be submitted prior to second Plan Commission meeting).
5. A variation to reduce the minimum front yard building setback from 100' (required) to 96.93' (proposed), per Section 9-6D-3D of the Village Code.
6. A variation to reduce the minimum parking interior side & rear yard setback from 10' (required) to 5.17' (proposed), per Section 9-10-5G of the Village Code.
7. A variance to reduce the minimum parking exterior side & front yard setback from 15' (required) to 9.29' (proposed), per Section 9-10-5G of the Village Code.
8. A variance to allow metal siding as an architectural accent, which is prohibited by Section 9-6-1(E)2 of the Village Code.
9. A variance to eliminate the requirement that the applicant construct curbs and gutters for the required street improvements along IL Route 83 Frontage Road and 79th Street.



## Conditions for Approval

1. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
2. The owner shall install one (1) streetlight at the intersection of 79<sup>th</sup> Street and Frontage Road once the specific location has been provided by the Village Engineer.
3. The owner shall install or pay fee in lieu for the installation of the sidewalk gap near the intersection of Joliet Road and South Quincy Street, as determined by Village Staff.
4. The proposed metal material shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
5. Any smoking conducted on the premises must be conducted outside of the building.
6. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.
7. The owner shall obtain all necessary permits from IDOT prior to performing any work within the Frontage Road/79th Street right-of-way.
8. The proposed building must be fire sprinkled and fully fire alarmed.
9. There shall be no outdoor storage of materials or vehicles of any kind.
10. The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans submitted by the petitioner.
11. The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
12. All sales of vehicles at the subject property shall be consummated and completed on the subject property.
13. There will be no testing driving of vehicles for sale on the subject property.
14. The owner shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
15. The gun club facility shall at all times conform with all applicable noise standards pursuant to Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
16. The gun club facility shall only operate with the hours of 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday.
17. All mechanical equipment located on the roof that is not screened by a parapet extension or is taller than the parapet extension in that area shall be screened as approved by the Village Administrator. Furthermore, noise from the rooftop mechanicals must conform with the Village's noise standards outlined in Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
18. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time as is reasonably practical.
19. A permit is required from DuPage County Public Works for the sanitary sewer connection prior to the Village issuing a building permit.
20. Prior to the issuance of any final certificate of occupancy, the owner shall complete the improvements to the IL Route 83 Frontage Road along the frontage of the subject realty as shown in the engineering plans.
21. A separate sign permit shall be obtained for the monument signage near the entry driveway for the property and for the proposed building signage, pursuant to the Village Code.
22. The sale and consumption of alcohol on the premises shall be restricted to the proposed member only lounge areas, as designated on the Architectural Plans.
23. The sale of alcohol at the facility shall not constitute more than 50% of total sales.
24. The petitioner shall revise their plans so that all parking aisle widths are at least 24' wide.
25. All outstanding comments from the Village Engineer must be addressed prior to final zoning approval from the Village Board.



## Staff Recommendation

In 2014, as a result of an increase in requests to consider firearm related uses based on changes in concealed carry gun laws, the Village decided to consider a pro-active approach to accommodating and regulating these businesses by initiating text amendments and re-zonings that would accommodate these businesses within the community. In March 2014, the Village determined that it would be appropriate to allow Firearm Stores as a permitted use in the B-4 District and allow Firing Ranges as a special use.

Staff supports the petition to rezone the subject property from the B-3 zoning district to B-4 zoning district, which allows the approved firearms related uses. The proposed business and zoning district is consistent with the Comprehensive Plan's "Highway Commercial" designation of the property as well as the zoning of adjacent B-4 properties.

Furthermore, Staff supports the special use petition as the proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts.

Lastly, Staff believes that the proposed business would be a successful addition to the Village's retail tax base, which the Village heavily relies upon since the Village does not levy a property tax for its residents. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. The proposed gun club facility would establish a unique business in this area of the Village and may have the same positive impact as other recreational/entertainment uses have had in the Village. The facility would also be subject to an amusement tax of 6% of gross sales.

## Motion

The following sample motion was provided in the staff report for the Plan Commission.

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations as listed as in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

The following motion made by Soukup was seconded by Kaucky and approved unanimous 5-0 roll call vote of the members present:

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations as listed as in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

# **Attachment 1**

Development Executive Summary (6 sheets)

## Development Concept Executive Summary

<b>Who:</b>	<p>Private local investor group including Joe Neveril, an Illinois attorney since 1996;</p> <p>Management and Advisory team would include current and former police, certified firearm safety trainers, ex-military, legal / accounting / regulatory expertise, and a franchised new car dealer with over 30 years of experience in the local market.</p> <p>Architectural Firm: Damian Farrell Design Group, PLLC Specialized Equipment Vendor: Action Target</p>
<b>What:</b>	<p>Develop the Chicagoland Area's first <b>state-of-the-art, luxury</b> indoor shooting range with emphasis on <b>SAFETY, EDUCATION &amp; PREPAREDNESS</b>.</p> <p>Revenue would be generated from the following sources:</p> <ul style="list-style-type: none"> <li>• Member initiation fees and monthly dues;</li> <li>• Sale of merchandise: <ul style="list-style-type: none"> <li>◦ Firearms and ammunition;</li> <li>◦ Firearms accessories (optics, holsters, kits, etc.);</li> <li>◦ Emergency / Survival / Outdoor gear;</li> </ul> </li> <li>• Rentals (Lanes and Firearms) / Potential municipal police contracts;</li> <li>• Firearm safety / training classes (e.g, CCL, "Know Your Surroundings", Self-Defense, etc.);</li> <li>• Limited food and drink;</li> <li>• Sale of customized 4x4s to survivalist/outdoor/hunting market.</li> </ul>
<b>When:</b>	Commence construction in Fall of 2016, if permitted.
<b>Where:</b>	3.42 vacant acres located at 79 <sup>th</sup> Street and Frontage Rd., Willowbrook.
<b>Why:</b>	The opportunity for lawful gun owners to properly train in a luxurious, comfortable, clean, and safe environment simply does not exist in this area.
<b>How:</b>	<p>Build a world class training facility with a luxury resort/private club "look and feel":</p> <ul style="list-style-type: none"> <li>• 29,000 sq. ft. brand new structure;</li> <li>• Luxurious appointments and high-end finishes throughout;</li> <li>• Highest grade HVAC system / bullet traps / lighting / airflow quality;</li> <li>• 32 total shooting lanes, Tactical Bay with computerized targeting systems;</li> <li>• 4,000 - 7,000 sq. ft. retail area;</li> <li>• Multiple categories of membership with varying amenities and benefits;</li> <li>• Member-exclusive access to dedicated luxury areas (fireplaces, flat screen TVs, leather seating, outdoor cigar lounge);</li> <li>• High-tech classroom area(s) dedicated to education &amp; safety training.</li> </ul>

## Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

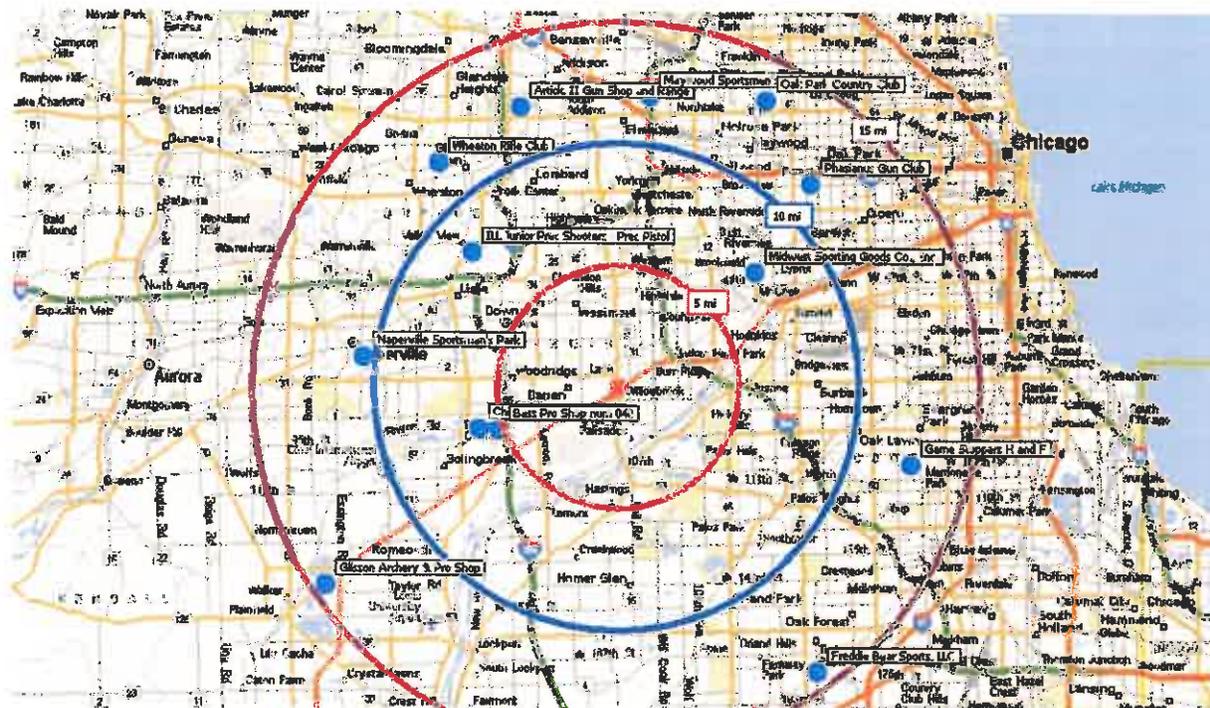
### I. Safety First: Firearm Education & Training Opportunities Lag Firearm Proliferation

On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public.<sup>(i)</sup> The new “concealed carry” law went effective January 1, 2014. Nine thousand (9,000) concealed carry licenses (CCLs) were issued to DuPage County residents from January 1, 2014, through December 31, 2015; Forty thousand were issued to neighboring Cook County residents over that same two-year period.<sup>(ii)</sup>

Nearly ten thousand people within DuPage County are allowed to generally go about their daily lives carrying a concealed firearm. They could be at a restaurant, at a department store, almost anywhere. Do they know how to handle their weapon safely? Do they know how to check if it is loaded, cocked, ready to go off, etc.? To obtain a CCL, Illinois law requires applicants to have successfully passed a 16 hour training course taught by a certified CCL instructor. How many CCL permit holders have forgotten the lessons taught in the program? Most importantly, where do they go to review and practice to ensure basic proficiency and adherence to safety protocols?

Simply stated, there is a void in the local marketplace. Given the barriers to approval, permitting, and construction, indoor gun ranges—places where one can go to train regardless of the weather—have failed to keep pace with the increase in firearm demand. Consequently, indoor facilities “have never been busier.”<sup>(iii)</sup> The Illinois State Rifle Association estimates that concealed carry will generate \$1 billion of added economic activity over its first three years.<sup>(iv)</sup>

Despite the surge in popularity, gun ranges are noticeably absent in affluent DuPage County, especially within the I-88 E-W and I-55 N-S band:



In the diagram above, each blue dot represents a location of shooting range, shooting facility or preserve per the National Shooting Sports Foundation (NSSF) database within 5, 10 and 15 miles from our proposed site. Only two (2) of the indicated locations are actual indoor ranges open to the public (all the others are archery only, outdoor only, golf clubs with outdoor shooting areas, and other non-comparables).

Historically, the two nearest indoor range options for residents of the affluent Willowbrook, Hinsdale, Burr Ridge, Oak Brook, Clarendon Hills and Darien area have been Midwest Guns in Lyons and Article II in Lombard. On February 15th of this year, “The Range at 355” opened in Bolingbrook. And although each of these indoor ranges may be doing well financially, none of these facilities offer the luxury, upscale “guntry club” amenities that are becoming increasingly popular across the United States. We discuss the emergence of this new indoor range business model in detail in the next section.

## **II. The “Guntry Club” Concept: A State-of-the-Art Shooting Facility with Member Amenities**

With the opening of the Scottsdale Gun Club in 2004, the up-scale, luxury indoor shooting range concept—“the guntry club”—was born.<sup>(vi)</sup> The term has emerged as way to describe posh indoor shooting ranges that have been designed to appeal more to women and families than traditional ranges.”<sup>(vi)</sup> Lounges with leather chairs, flat-screen TVs and “members only” access are typical. In the most successful projects, private memberships are “pre-sold” prior to construction.

Consumer demand, as well as investor interest, has been steadily growing for such indoor facilities. According to the New York Times,

“...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls.”<sup>(vii)</sup>

An article in the Washington Post describes the evolution towards upscale facilities:

The high-end ranges come as the \$15 billion gun industry’s sales have more than doubled since 2005. ... The average age of new target shooters is 33, while 47 percent live in urban or suburban areas, and 37 percent are female ... Shooters spend \$10 billion a year on target shooting, including the cost of firearms, ammunition and range fees.

Those demographics and economics are attracting investors without firearms industry backgrounds; they see ranges as a new place to employ their cash. Elite Shooting Sports, a nearly \$14 million project, has investors from the electronics industry. real estate, finance, hotel and auto industry executives have backed other new ranges.

“A lot of savvy investors have seen the surge in sales within the firearms industry, see that it’s a quality industry to invest in and are smartly doing so,” said Zach Snow, a range expert

## Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

at the sports foundation. “These ranges are trying to project a comfortable image to the largest contingent of people possible.”

Gone are the folding chairs, stale coffee and drab settings of the old mom-and-pop gun ranges. The idea now is to compete for entertainment dollars with golf and country clubs, nightclubs and movie theaters, which have also gone high-end with leather chairs and mixed drinks. Miami’s Lock & Load, which offers themed machine gun packages, including one with Israeli special forces weapons, is the No. 1-ranked activity in the city on TripAdvisor. Ranges are even becoming a new place to take clients for lunch — and squeeze off a few rounds.”  
(viii)

In short, the industry is going up-scale (like what Top Golf is doing to driving ranges) and our proposed site—with as favorable demographics as anywhere in the country—is an ideal location.

### III. The Potential Financial Engine

In terms of revenue, and by way of example, a well-known luxury gun club, with 32 shooting lanes and 4,000 sq. ft. of retail space, generated sales of \$1.628 million (and a gross profit of \$727,636) during a 3-month period (May-June, 2005) in its first year of operation. Two years later, in 2007, that same 3-month period (May-June, 2007) generated sales of \$2.905 million (and a gross profit of \$1,035,076).<sup>(ix)</sup> Annualizing these figures suggests that potential taxable revenue could exceed \$6.5 million in the first year, and be well over \$11.5 million by the third. The revenue ceiling, however, may actually be much higher: a new luxury indoor facility located in Oklahoma City reportedly generated \$26 million in revenue in 2013.<sup>(x)</sup>

In addition, none of these historical reference points included vehicle sales in their respective business models. Our concept also includes selling customized 4X4s (with 2 models on site at any given time) tailored to outdoor survivalists. Each customized vehicle will retail in the \$45,000 – \$60,000 range, depending on options. We anticipate selling between 2 and 5 such vehicles each month, which could account for an additional \$1 to \$3 million in annual taxable receipts.



Continuing with the preparedness / survivalist theme, we also intend on offering a wide range of merchandise tailored to this growing market segment. One product example is the “Bug-Out Bag” – a pre-packed bag that includes items that can keep a person or family alive in the harshest of conditions for a certain period of time. For many people, confidence in knowing that one’s family has a real and tangible survival plan in place provides peace of mind and improved overall quality of life.

#### **IV. Conclusion**

Guns are not going away. In fact, quite the opposite. And with each terrible event—whether it be terrorism or just some deranged person—gun purchases actually spike across the U.S. The weekend after the Paris attacks set records for gun purchases. The Chicagoland area is no exception.

Law abiding citizens are purchasing guns in record numbers, and many are obtaining CCLs, but the number of clean and comfortable locations in which to maintain adequate proficiency and to receive critical firearm safety training have not kept pace. This puts our families and children at risk of unintended injury.

Two years ago, the Willowbrook Zoning Board discussed the indoor gun range business model in detail, and then took the proactive steps to introduce a text amendment to the B-4 designation. As part of that process, Willowbrook re-zoned four nearby lots as B-4, and thus, identified location(s) potentially eligible for this type of use.

The (practically) adjacent subject property shares these very same characteristics and would be an ideal location for this business.

We welcome your thoughts, concerns and feedback on our development concept.

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#### **End Notes:**

<sup>(i)</sup> Illinois Bar Journal, December 2013, Volume 101, Number 12, Page 620.

<sup>(ii)</sup> See “Concealed carry permit applications drop across Illinois”, By – Associated Press, State Journal-Register, February 1, 2016.

<sup>(iii)</sup> See “Illinois gun ranges busy, trying to meet demand” By - Associated Press - Sunday, March 23, 2014, Information attributed to The Daily Herald. See also: “Sign-ups soar for shooting classes; Jan. 5 first day for online concealed carry registration”, The Telegraph, by Sanford J. Schmidt, December 27, 2013; and “Demand for concealed carry keeps growing in suburbs”, The Daily Herald, January 16, 2014.

<sup>(iv)</sup> “Gun law fires up training for concealed-carry”, Illinois Business Journal, Written by Terry Hillig; December 2013.

<sup>(v)</sup> See Candace Carlisle, “Guns are the new range: Taking clients to the range”, Dallas Business Journal, September 27, 2013.

<sup>(vi)</sup> Arthur Hirsch, “Entrepreneurs plan posh ‘guntry club’ in Beltsville”, The Baltimore Sun, January 30, 2015.

## **Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club**

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(vii) Julie Turkowitz, “Ready, Aim, Fire, Then Relax in the Lounge”, The New York Times, November 28, 2014.

(viii) Michael S. Rosenwald, “Guntry clubs target a new breed of shooter: younger, more affluent and female.” The Washington Post, January 13, 2015.

(ix) Note: the gross profit figure does not include operating expenses –that is, no advertising, administrative, personnel expense or facility expense are included.

(x) Arthur Hirsch, “Entrepreneurs plan posh 'guntry club' in Beltsville”, The Baltimore Sun, January 30, 2015.

# **Attachment 2**

Revised Engineering, Architecture, Elevations & Signage, Landscaping, Lighting (35 Sheets)

# CHICAGO GUN CLUB WILLOWBROOK, ILLINOIS

## LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED

## PROJECT LOCATION



**PROJECT LOCATION MAP**

**PREPARED FOR**  
**CHICAGO GUN CLUB, LLC.**  
**and TCGC PROPERTY, LLC.**  
**WILLOWBROOK, ILLINOIS**

## NOTICE TO CONTRACTORS

### EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)

### ENGINEER'S CERTIFICATION

STATE OF ILLINOIS)  
SS.  
COUNTY OF DU PAGE)

I, ALGIS J. RUGIENIUS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 W. ARRENVILLE ROAD, LISLE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONDING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 052-047342  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2017

## INDEX OF SHEETS

1. COVER SHEET
2. GENERAL NOTES & SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
4. GRADING PLAN
5. SWPPP & EROSION CONTROL PLAN
6. SITE PLAN
7. DETAILS
8. DETAILS
9. DETAILS

DATE	PER	REVISION
3/14/2017		

SHEET TITLE	
1	CHICAGO GUN CLUB WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering - Consulting  
Land Surveying  
515 W. Arrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Website: www.mecil.com



FIELD OFFICE	GE
DRAWN BY	CLS
CHECKED BY	AS
APPROVED BY	AR
DATE	11/27/2016
SCALE	AS SHOWN
VERT	AS SHOWN

SHEET  
**1**  
OF 9 SHEETS  
PROJ # 16-PP-2003



**SOURCE BENCHMARK**  
DU PAGE COUNTY, ILLINOIS  
MONUMENT (GPS)  
BENCHMARK STATION NO. DK3293  
DESCRIPTION: A GPS MONUMENT LOCATED AT THE NORTHWEST CORNER OF MADISON STREET AND 85RD STREET.  
ELEVATION: 732.01 NVD88

**SITE BENCHMARK #1**  
CUT CROSS ON TOP OF CURB 2 1/2 FEET NORTHEAST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 712.07

**SITE BENCHMARK #2**  
FLAG NAIL IN THE EAST EDGE OF PAVEMENT ON THE FRONTAGE ROAD AND 45' NORTH OF THE NORTHWEST PROPERTY CORNER.  
ELEVATION = 710.25



DRAWN BY: CLS  
 CHECKED BY: AS  
 APPROVED BY: AR  
 DATE: 11/27/2016  
 SCALE: AS SHOWN  
 VERT: AS SHOWN

**PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES**

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

1. ALL ON-SITE AND OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WILLOWBROOK.
2. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION.
3. ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED IN CONFORMANCE WITH THE MOST RECENT VILLAGE STANDARD.
4. EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE EITHER INTEGRATED INTO THE SITE DRAINAGE SYSTEM, REMOVED OR PLUGGED IN A MANNER DEEMED APPROPRIATE BY THE VILLAGE ENGINEER.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF WILLOWBROOK.
6. THE VILLAGE MUST HAVE FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITY.
7. THE TESTING AND STERILIZATION OF ALL NEW WATER DISTRIBUTION FACILITIES SHALL BE COMPLETED PRIOR TO MAKING WATER SERVICE TAPS BY AN OUTSIDE TESTING SERVICE.
8. MATERIAL SPECIFICATIONS COMPLY WITH VILLAGE STANDARDS AND INCLUDE:
  - A. PAVING BASE MATERIALS
  - B. PAVING SURFACE MATERIALS
  - C. CONCRETE MATERIALS
  - D. PIPE MATERIALS

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

1. THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.
2. THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
4. THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.
5. STABILIZE AND PROTECT DISTURBED AREAS. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. MECHANICAL, STRUCTURAL, AND/OR VEGETATIVE CONTROL METHODS SHALL BE USED IN ORDER TO RETARD SOIL EROSION IF DIRECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
6. KEEP RUN-OFF VELOCITIES LOW WITH SHORT SLOPES AND LOW GRADIENTS. THE INSTALLATION OF NATURAL VEGETATIVE COVER HELPS TO KEEP STORM WATER VELOCITIES LOW, AND THUS LIMIT SOIL EROSION EFFECTS.
7. PROTECT DISTURBED AREAS FROM STORM WATER RUN-OFF. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE. PROTECTIVE MEASURES SHALL BE UTILIZED TO DIVERT RUN-OFF FROM DISTURBED AREAS.
8. RETAIN SEDIMENT WITHIN THE SITE AREA - SEDIMENT BASINS SHALL BE CONSTRUCTED IN ORDER TO DETAIN SEDIMENT LADEN RUN-OFF SO THAT THE SOIL PARTICLES SETTLE OUT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
9. NATURAL PLANT COVER SHALL BE MAINTAINED AND PROTECTED AND ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION.
10. PROTECTION OF EXISTING FACILITIES AND UTILITIES - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY FACILITIES FOR THE PROTECTION OF ALL EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT. ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, FILTERED, OR OTHERWISE TREATED TO REMOVE SEDIMENT. FURTHERMORE, ANY DAMAGE DONE BY HIM, HIS AGENTS, OR ASSIGNS SHALL BE REPAIRED AT NO ADDITIONAL COMPENSATION.
11. DIRT ON PAVEMENT - WHERE A CONTRACTOR'S EQUIPMENT IS OPERATED UPON AN EXISTING PAVEMENT USED BY TRAFFIC THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS IMMEDIATELY AND AT OTHER TIMES AS DIRECTED BY THE OWNER, THE ENGINEER, OR THE GOVERNING MUNICIPALITY. THE CLEANING WORK SHALL BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE COST OF THE CONTRACTOR'S CONTRACT FOR THE WORK TO BE PERFORMED.
12. DUST CONTROL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EXCESSIVE DUST BY WATERING DURING THE CONSTRUCTION PERIOD UNTIL THE ROAD PAVEMENT IS INSTALLED BY THE PAVING CONTRACTOR. THE REQUIREMENT FOR DUST CONTROL SHALL BE AS DIRECTED BY THE LOCAL APPROVING AUTHORITIES OR THE ENGINEER, AND SUCH DUST CONTROL (IF REQUIRED) SHALL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
13. NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED.
14. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR VILLAGE OF WILLOWBROOK.
15. WHEN A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE (3) DAYS, SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED.
16. THE CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE USE OF HEAVY EQUIPMENT WITHIN THE DESIGNATED DRAINAGE FACILITIES.
17. NO STOCKPILING WITHIN DRIP LINE OF TREES. MAINTAIN TWENTYFIVE (25) FEET MINIMUM DISTANCE BETWEEN STOCKPILES AND DRAINAGE WAY, AND SILT FENCE OR VEGETATIVE COVER ON DOWNHILL SIDE.
18. EROSION CONTROL MEASURES INSPECTION SHALL BE CONDUCTED WEEKLY OR AFTER EVERY 1/2 INCH OF RAIN.
19. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE DEFICIENCIES FOUND AND NOTED ON INSPECTION REPORT. DEFICIENCIES SHALL BE CORRECTED WITHIN 24 HOURS.
20. A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING CONSTRUCTION OF THE BIO-RETENTION SWALE TO VERIFY THAT THE UNDERLYING SOILS WILL ALLOW INFILTRATION.

**EXCAVATION**

1. ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, PCC CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
2. EARTHWORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:
  - A. REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE
  - B. PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING.
  - C. STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL BE MADE.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.
5. EXISTING SEWER AND WATERMAIN TRENCHES UNDER DRIVEWAYS IN PARKWAYS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTED TRENCH BACKFILL.
6. EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

**GENERAL NOTES**

1. ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
3. SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS' PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
4. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
6. THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
7. THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTY-TWO (72) HOUR NOTICE FOR ANY STAKING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
8. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - 8.1 TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
  - 8.2 VILLAGE OF WILLOWBROOK PUBLIC WORKS - (630) 920-2238
9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER SHALL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
10. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
13. THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES. ANY PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
14. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF SITE WATER. TILES THAT CONVEY OFF SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILLED WITH C&G COMPACTED IN EIGHT INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SLIT TRENCHING.
15. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIRE HYDRANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
16. ALL MANHOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
17. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
18. THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
19. THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
20. THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
21. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
22. ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

23. THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-892-0123) PRIOR TO ANY WORK IN THE RIGHT OF WAY OR EASEMENTS TO LOCATE UTILITIES, AND CONTACT THE OWNER'S REPRESENTATIVE SHOULD PUBLIC UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
24. ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE MUNICIPALITY, AND ALL PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE SPECIFICATIONS.
25. ALL NEW CURB THAT MEETS EXISTING CURB WILL HAVE THREE DRILLED AND GROUTED #6 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5/8" DIAMETER FOR EACH NEW CURB ADJACENT TO EXISTING CURB.
26. FOR STRUCTURE ADJUSTMENT - MINIMUM OF 6" (2 @ 3") ADJUSTING RINGS (10" MA) CONCRETE RINGS WILL BE 3" MINIMUM. RUBBER CAN BE 1" - 3" AND MUST BE USED FOR TOP ADJUSTING RING IN PAVED AREAS. "LAW INTRA-RISE" RUBBER COMPOSITE ADJUSTMENT RISERS OR APPROVED EQUAL.
27. ADD AN INTERNAL/EXTERNAL ADJUTOR SEAL ON THE ADJUSTED SANITARY MANHOLE. THE "E" SEAL STOPS INFLOW BETWEEN THE MANHOLE FRAME AND THE TOP ADJUSTING RING AND IT ALSO SEALS THE MANHOLE CHIMNEY FROM THE FRAME TO THE CORBEL. ONE VENDOR OF THIS SEAL IS ADAPTOR INC.

DATE	3/14/2016	PER VILLAGE REVIEW
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**GENERAL NOTES AND SPECIFICATIONS**

**CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS**

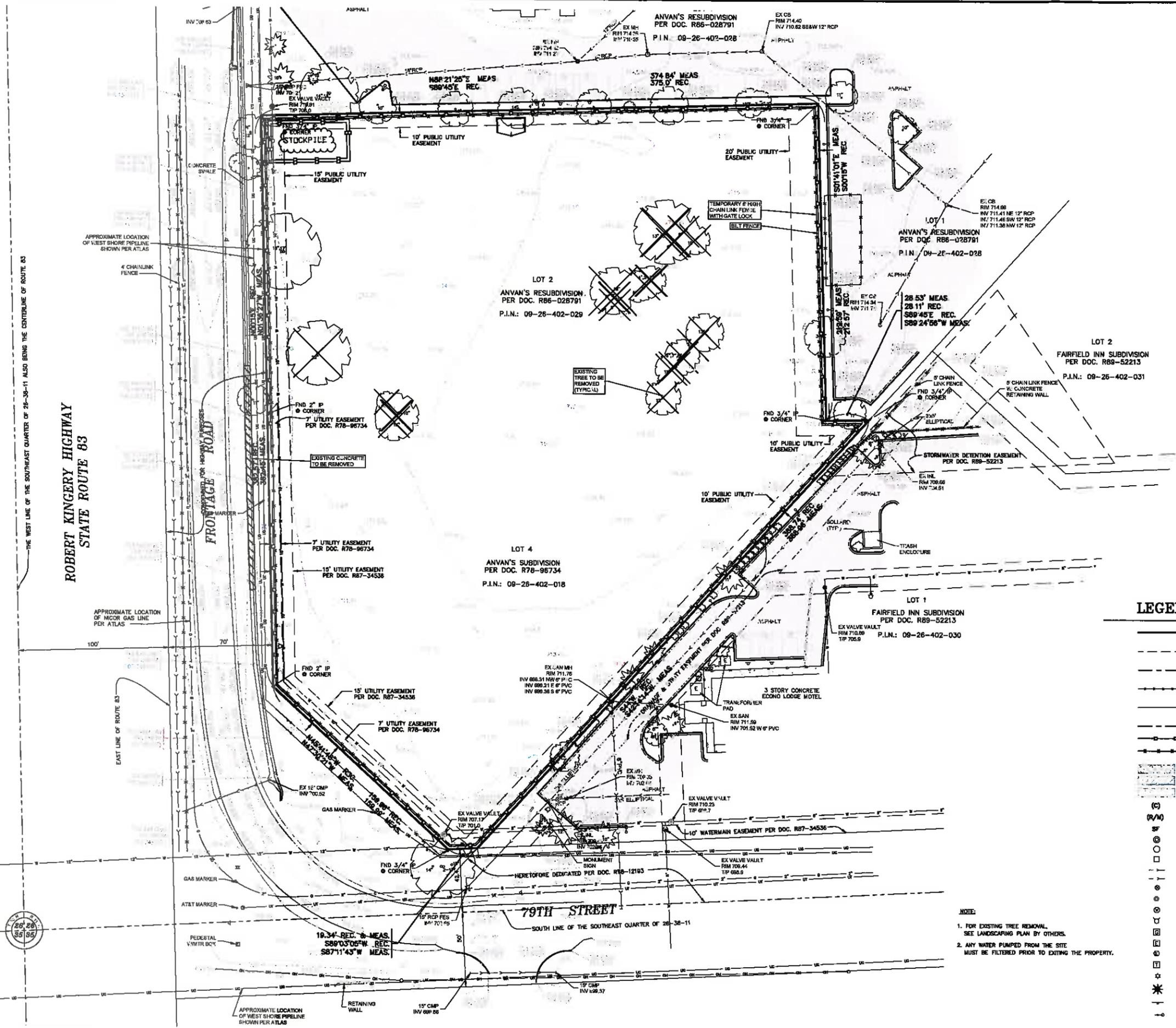
**Morris Engineering, Inc.**  
Civil Engineering • Consulting  
Land Surveying • Utility  
515 West Lake Street, Suite 400  
Schaumburg, IL 60196  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Web: www.mechill.com



FIELD CHECK	CS
DRAWN BY	CS
CHECKED BY	AS
APPROVED BY	AR
DATE	11/07/2016
SCALE	HORIZ - VERT -

SHEET  
**2**

11/16/2016 10:58 AM  
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MORRIS ENGINEERING, INC.



THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

FRONTAGE ROAD

LOT 4  
ANVAN'S SUBDIVISION  
PER DOC. R78-96734  
P.I.N.: 08-26-402-018

LOT 2  
ANVAN'S RESUBDIVISION  
PER DOC. R86-028791  
P.I.N.: 08-26-402-029

LOT 1  
FAIRFIELD INN SUBDIVISION  
PER DOC. R89-52213  
P.I.N.: 08-26-402-030

LOT 2  
FAIRFIELD INN SUBDIVISION  
PER DOC. R89-52213  
P.I.N.: 08-26-402-031

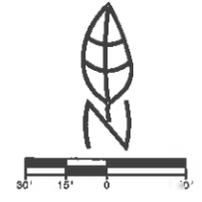
LOT 1  
ANVAN'S RESUBDIVISION  
PER DOC. R86-028791  
P.I.N.: 08-26-402-028

79TH STREET  
SOUTH LINE OF THE SOUTHEAST QUARTER OF 26-38-11

**LEGEND**

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - CENTER LINE
- - - SILT FENCE
- - - CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- (C) CALCULATED
- (R/M) RECORD/MEASURED
- SF SQUARE FEET
- ⊙ EXIST. MANHOLE
- ⊙ EXIST. CATCH BASIN
- ⊙ EXIST. CURB INLET
- - - STORM SEWER
- - - SANITARY SEWER
- ⊙ WATER VALVE
- ⊙ BUFFALO BOX (B-BOX)
- ⊙ WATER VALVE & VAULT
- ⊙ FIRE HYDRANT
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC PEDESTAL
- ⊙ PHONE PEDESTAL
- ⊙ LIGHT POST
- ⊙ PROPOSED LIGHT POST
- ⊙ STREET SIGN
- ⊙ DOWNSPOUT

**NOTE:**  
1. FOR EXISTING TREE REMOVAL, SEE LANDSCAPING PLAN BY OTHERS.  
2. ANY WATER PUMPED FROM THE SITE MUST BE FILTERED PRIOR TO EXITING THE PROPERTY.



EXISTING CONDITIONS AND DEMOLITION PLAN  
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

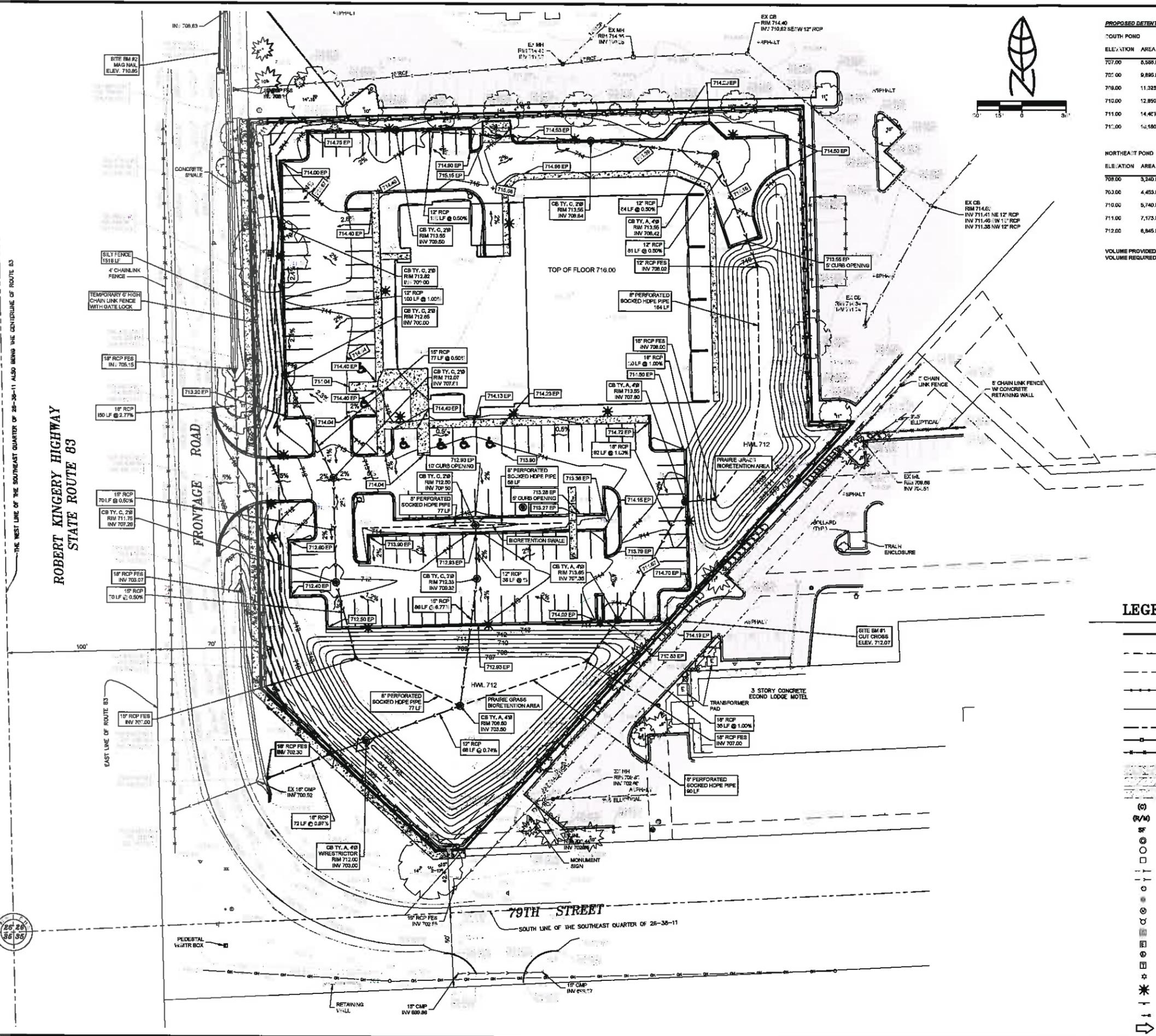
Morris Engineering, Inc.  
Civil Engineering & Consulting  
Land Surveying  
515 Westmoreland Ave., Suite 100  
Wilmette, IL 60091  
Phone: (847) 271-0770  
Fax: (847) 271-0774  
Website: www.mehi.com



FIELD CHECK:	GB
DRAWN BY:	CLB
CHECKED BY:	AS
APPROVED BY:	AR
DATE:	11/22/2016
SCALE:	HORIZONTAL 1"=30' VERTICAL NONE
SHEET	3
OF 9 SHEETS	
PROJ #	16-PP-3008

DATE	3/14/2017
PER	VILLAGE REVIEW
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PROJECT: 16-PP-3008  
 DATE: 11/22/2016  
 DRAWN BY: CLB  
 CHECKED BY: AS  
 APPROVED BY: AR  
 DATE: 11/22/2016  
 SCALE: HORIZONTAL 1"=30'  
 VERTICAL NONE  
 SHEET 3 OF 9 SHEETS  
 PROJ # 16-PP-3008



**PROPOSED DETENTION POND VOLUME CALCULATION**

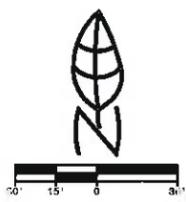
**SOUTH POND**

ELEVATION	AREA	Avg. AREA	CHANGE IN ELEV.	TOTAL VOLUME (C.F.)
707.00	5,585.00	9,231.50	1.00	9,231.50
707.00	9,895.00	10,610.00	1.00	10,610.00
708.00	11,325.00	12,175.00	1.00	12,175.00
710.00	12,850.00	13,850.00	1.00	13,850.00
711.00	14,475.00	15,324.50	1.00	15,324.50
715.00	16,180.00	16,180.00	1.00	16,180.00
				TOTAL 60,515.00 C.F.
				TOTAL 1,389 AC-FT

**NORTHEAST POND**

ELEVATION	AREA	Avg. AREA	CHANGE IN ELEV.	TOTAL VOLUME (C.F.)
708.00	3,340.00	5,208.50	1.00	5,208.50
703.00	4,453.00	5,045.00	1.00	5,045.00
710.00	5,740.00	6,185.00	1.00	6,185.00
711.00	7,173.00	6,809.00	1.00	6,809.00
712.00	8,845.00	8,845.00	1.00	8,845.00
				TOTAL 34,797.50 C.F.
				TOTAL 9,589 AC-FT

VOLUME PROVIDED 1,874C-FT  
VOLUME REQUIRED 1,784C-FT



THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

FRONTAGE ROAD

79TH STREET  
SOUTH LINE OF THE SOUTHEAST QUARTER OF 28-38-11

**LEGEND**

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- EXISTING BUILDING
- CENTER LINE
- SILT FENCE
- CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- (C) CALCULATED
- (R/M) RECORD/MEASURED
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- ⊙ EXIST. MANHOLE
- ⊙ EXIST. CATCH BASIN
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- STORM SEWER
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- ⊙ BUFFALO BOX (B-BOX)
- ⊙ WATER VALVE & VAULT
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- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC PEDESTAL
- ⊙ PHONE PEDESTAL
- ⊙ LIGHT POST
- ⊙ PROPOSED LIGHT POST
- ⊙ STREET SIGN
- ⊙ DOWNSPOUT
- ⊙ OVERFLOW ROUTE

DATE: 3/17/2017

PER VALUE REVIEW

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**GRADING CONTROL PLAN**

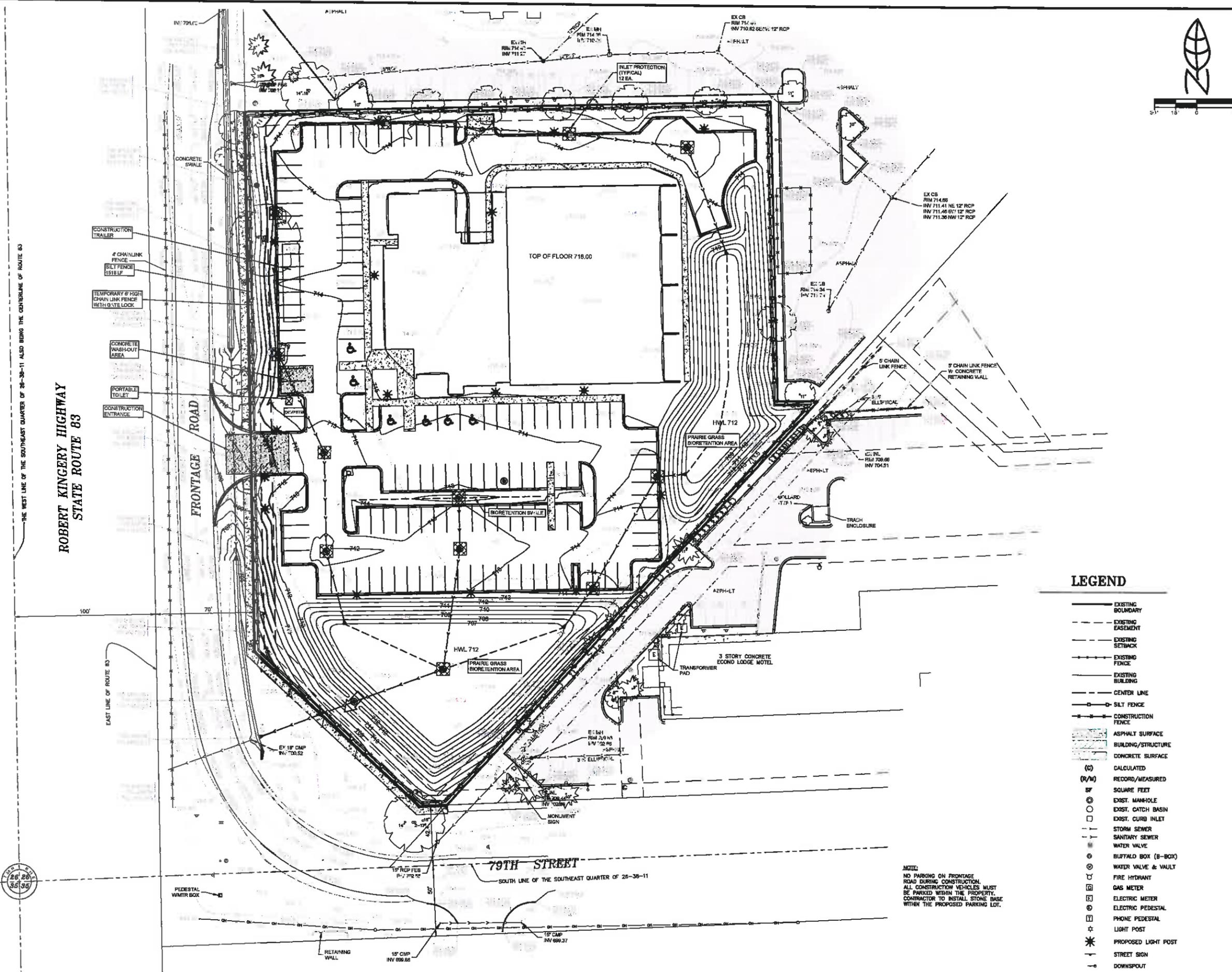
**CHICAGO GUN CLUB**  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying • Consulting  
515 Waukegan Road, Lisle, IL 60532  
Phone: (630) 271-0770  
Survey: (630) 271-0599  
Fax: (630) 271-0774  
Website: www.mecil.com



FIELD CHECK:	GB
DRAWN BY:	CJS
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APPROVED BY:	AR
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OF 9 SHEETS	
PROJ # 16-PR-2003	

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MORRIS ENGINEERING, INC. 515 WAUKEGAN ROAD, LISLE, IL 60532



THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

FRONTAGE ROAD

79TH STREET  
SOUTH LINE OF THE SOUTHEAST QUARTER OF 26-38-11

- CONSTRUCTION TRAILER
- 4' CHAIN LINK FENCE
- SILT FENCE 1510 LF
- TEMPORARY 6' HIGH CHAIN LINK FENCE WITH GATE LOCK
- CONCRETE WASH-OUT AREA
- PORTABLE TOILET
- CONSTRUCTION ENTRANCE

**LEGEND**

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - CENTER LINE
- SILT FENCE
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- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- ELECTRIC PEDESTAL
- PHONE PEDESTAL
- LIGHT POST
- ★ PROPOSED LIGHT POST
- STREET SIGN
- DOWNSPOUT
- OVERFLOW ROUTE

NOTE:  
NO PARKING ON FRONTAGE ROAD DURING CONSTRUCTION. ALL CONSTRUCTION VEHICLES MUST BE PARKED WITHIN THE PROPERTY. CONTRACTOR TO INSTALL STONE BASE WITHIN THE PROPOSED PARKING LOT.

DATE	REV	DESCRIPTION
3/21/2017	1	PER VILLAGE REVIEW
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SWPPP & EROSION CONTROL PLAN  
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

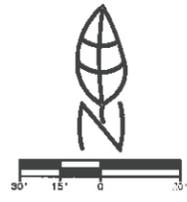
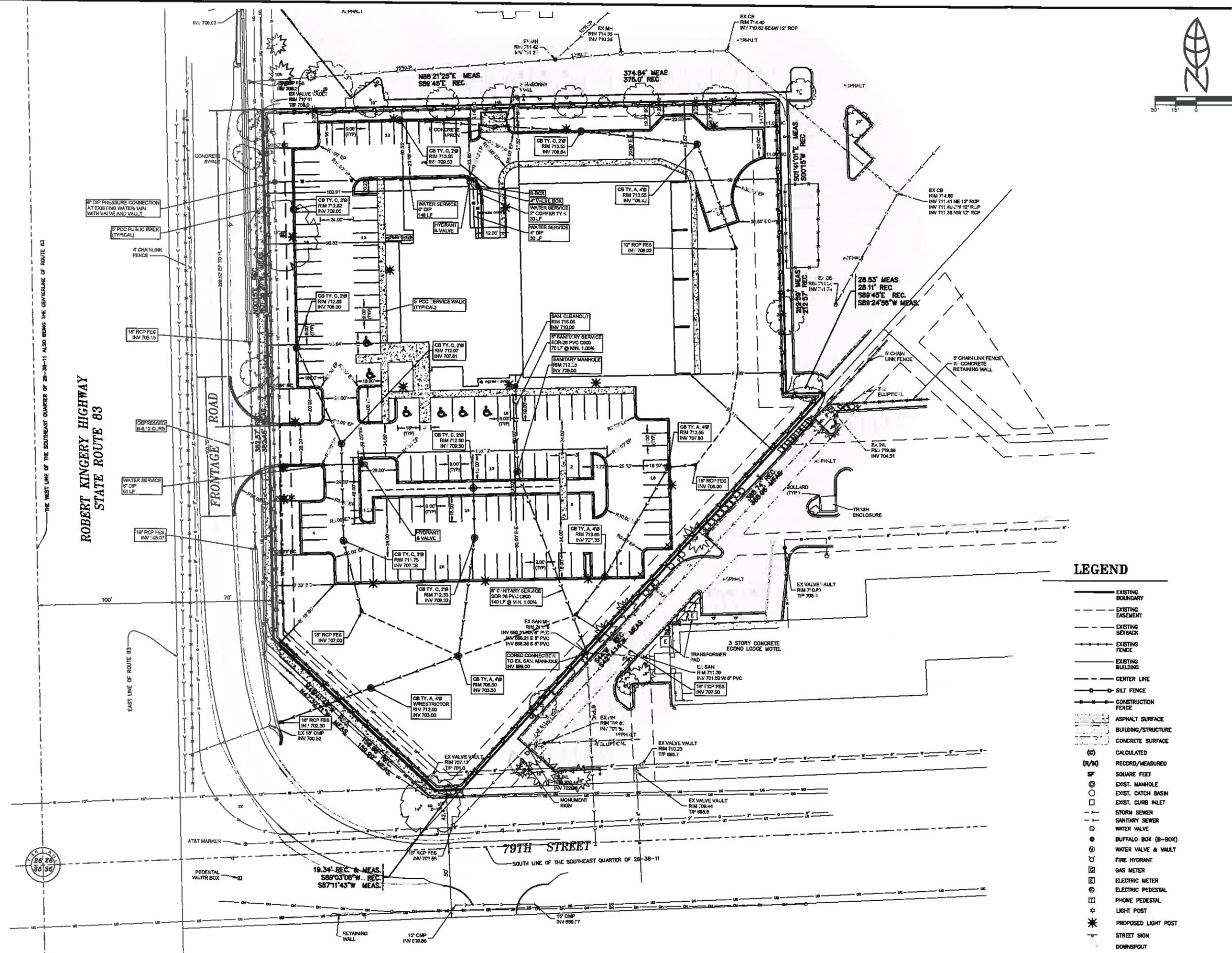
Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying • Consulting  
515 Warrenville Road, Suite 1L 06532  
Phone: (630) 271-0770  
Survey: (630) 271-0774  
Fax: (630) 271-0774  
Website: www.mecivil.com



FIELD CHECK:	GB
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APPROVED BY:	AR
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**5**  
OF 9 SHEETS  
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MORRIS ENGINEERING, INC. \PROJECTS\16-PR-2003\SWPPP\16-PR-2003-05.dwg



THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

FRONTAGE ROAD

79TH STREET  
SOUTH LINE OF THE SOUTHEAST QUARTER OF 28-38-11

**LEGEND**

- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - CENTER LINE
- - - SILT FENCE
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- ASPHALT SURFACE
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- (C) CALCULATED
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- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC PEDESTAL
- ⊙ PHONE PEDESTAL
- ⊙ LIGHT POST
- ⊙ PROPOSED LIGHT POST
- ⊙ STREET SIGN
- ⊙ DOWNSPOUT

DATE	DESCRIPTION
3/24/2017	PER VILLAGE REVIEW

SITE & UTILITIES PLAN  
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

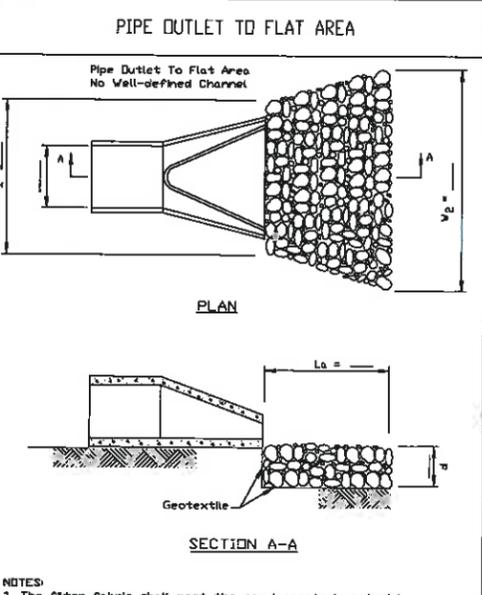
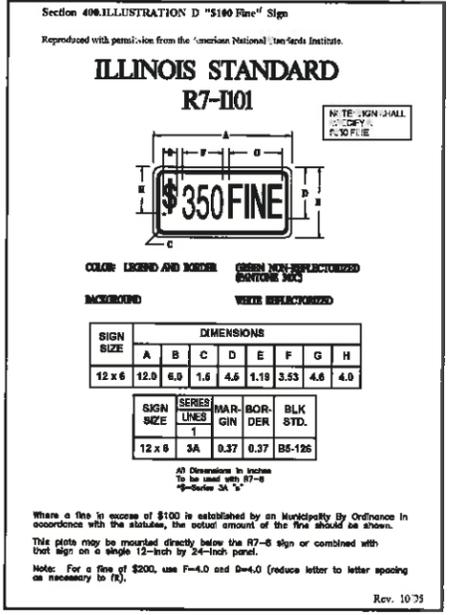
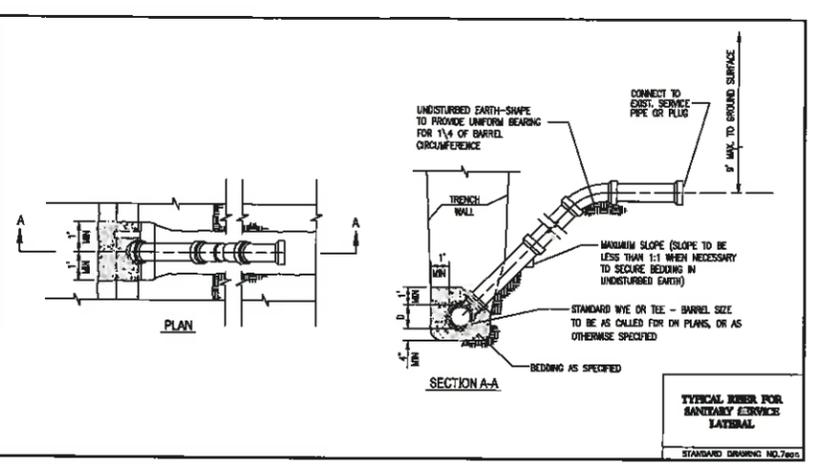
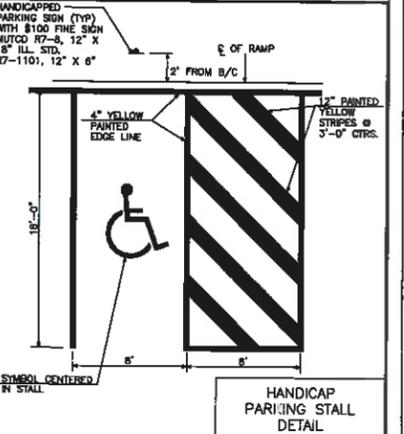
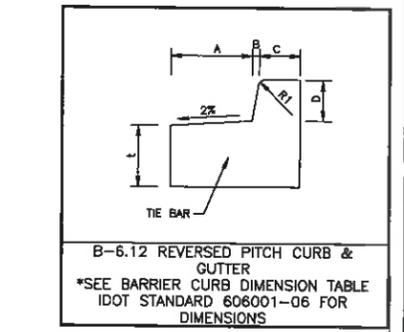
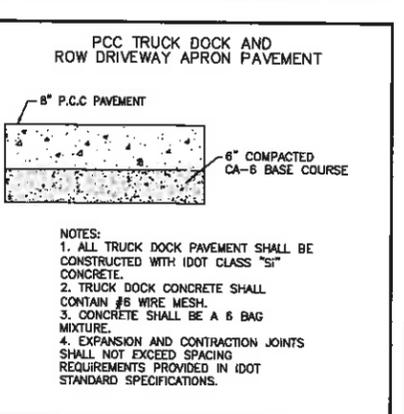
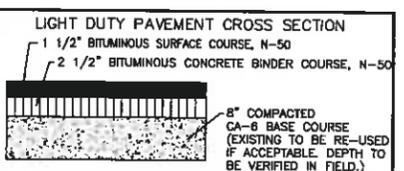
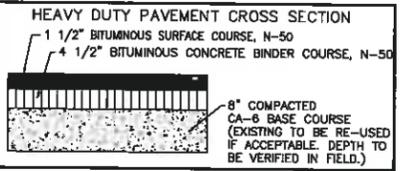
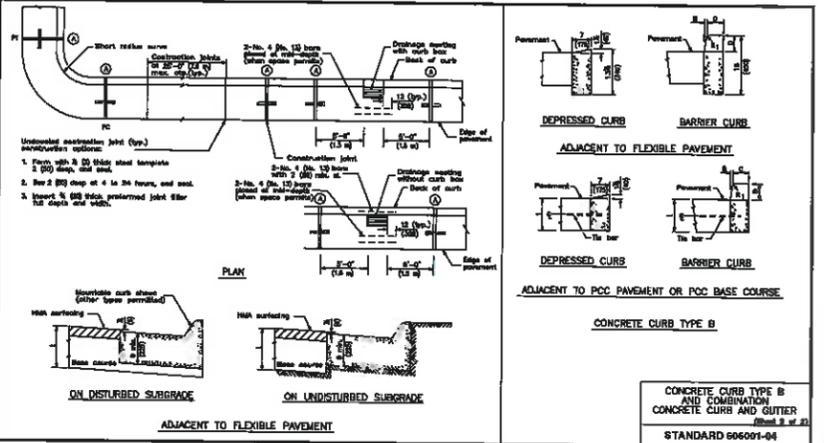
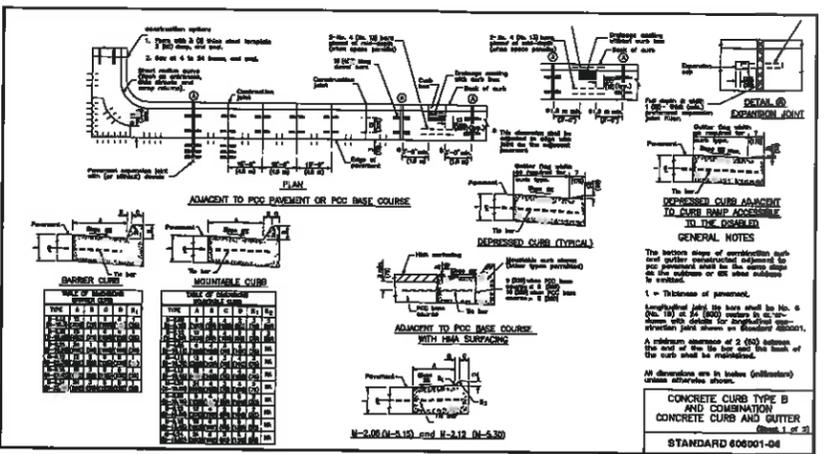
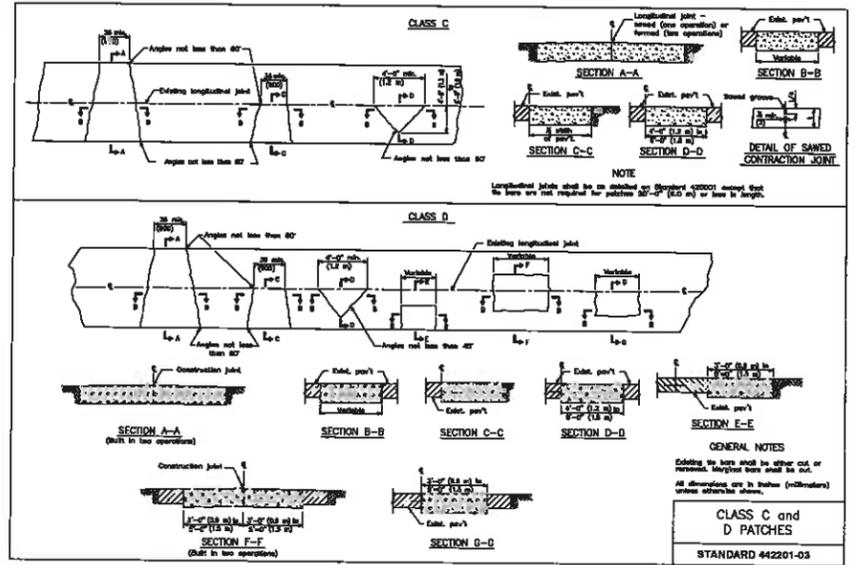
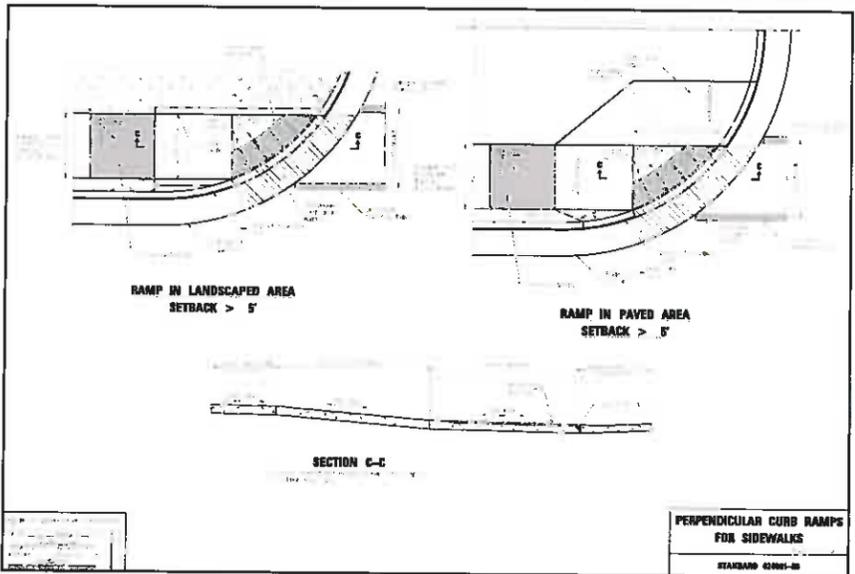
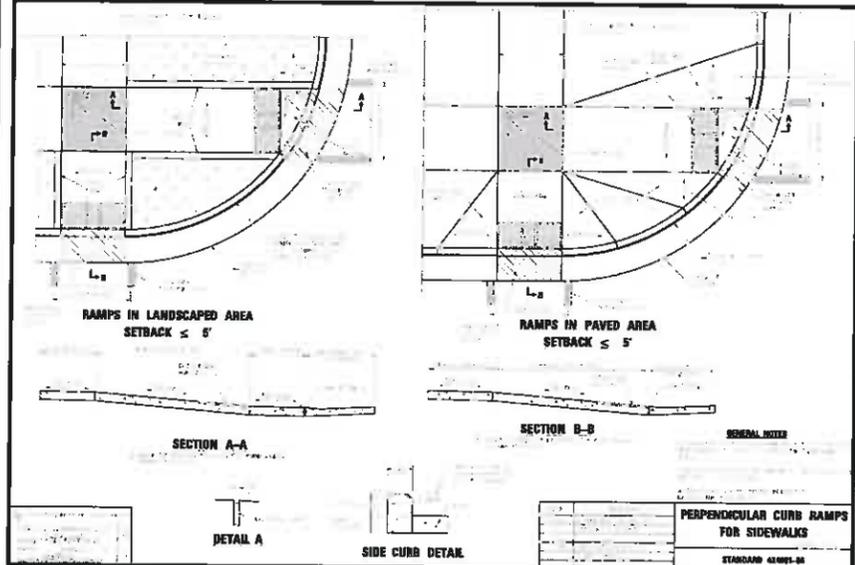
Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying • Consulting  
515 Westmore Road, Joliet, IL 60552  
Phone: (815) 271-0770  
Survey: (815) 271-0589  
Fax: (815) 271-0774  
Web: www.morriseng.com



FIELD CHECK: CB  
DRAWN BY: CJS  
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APPROVED BY: AR  
DATE: 11/07/2016  
SCALE: HORIZ 1"=30'  
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SHEET  
**6**  
OF 9 SHEETS  
PROJ # 16-PR-8003

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MORRIS ENGINEERING, INC. 515 WESTMORE ROAD, JOLIET, IL 60552  
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**RIPRAP TABLES**

Table 1  
Rock Riprap Sizes and Thickness (Inches.)

IDOT Grad. No.	d50	dmax	Min. Blanket Thickness
RR-3	5	10	15
RR-4	9	14	20
RR-5	12	19	24
RR-6	15	22	32
RR-7	18	27	32

1/ Concrete block may be used to replace RR-3

Table 2  
Minimum IDOT Rock Sizes and Apron Length (L<sub>a</sub> in feet) for Maximum and Minimum Tailwater Conditions

Culvert Size (Inches)	Min. Tailwater		Max. Tailwater	
	5 ft (1.5 m)	10 ft (3.0 m)	5 ft (1.5 m)	10 ft (3.0 m)
12	RR-3	RR-3	RR-3	RR-3
18	RR-3	RR-4	RR-3	RR-3
24	RR-3	RR-4	RR-3	RR-4
30	RR-3	RR-4	RR-3	RR-4
36	RR-4	RR-5	RR-4	RR-4
48	RR-5	RR-6	RR-4	RR-4
60	RR-6	RR-6	RR-5	RR-5
72	RR-7	RR-7	RR-5	RR-5

1/ Maximum conduit velocity f.p.s.

Rock Gradation source: IDOT SCS IL April 1993

DATE: 3/24/2017 PER MILLAGE REVIEW

1 2 3 4 5 6

DETAIL SHEET

CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering • Consulting  
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515 Warrenville Road, Suite 100, Willowbrook, IL 60527  
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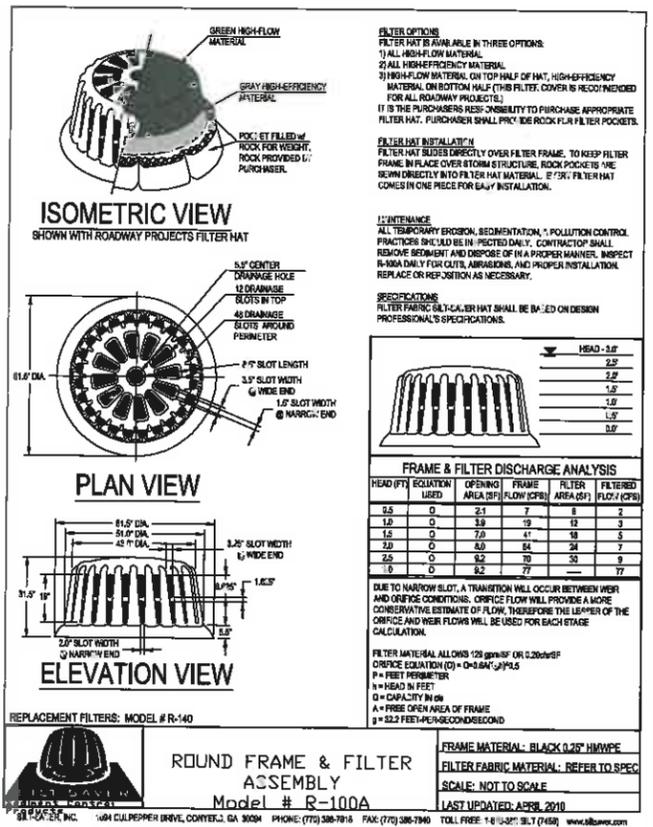
**ME**  
BETTER OPERATING METHODS • PROMOTING BETTER LIVES

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SHEET  
**7**  
OF 9 SHEETS

PROJ # 16-PP-8008

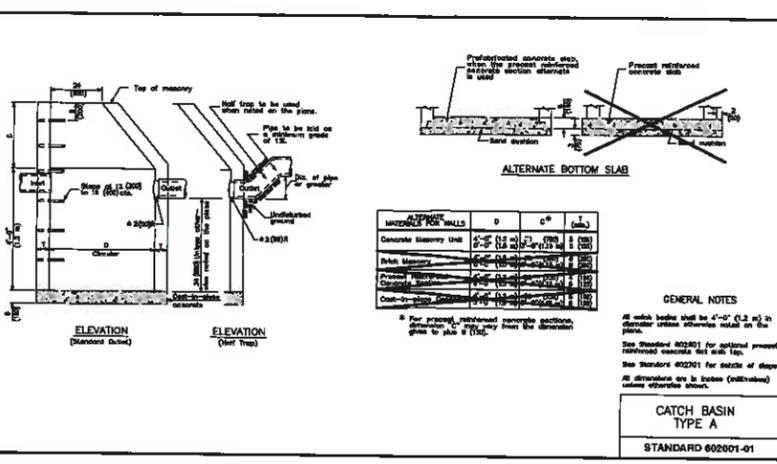
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**ROUND FRAME & FILTER ASSEMBLY**  
**Model # R-100A**  
 LAST UPDATED: APRIL 2010

REPLACEMENT FILTERS: MODEL # R-140

FRAME MATERIAL: BLACK 0.25\"/>



**GENERAL NOTES**

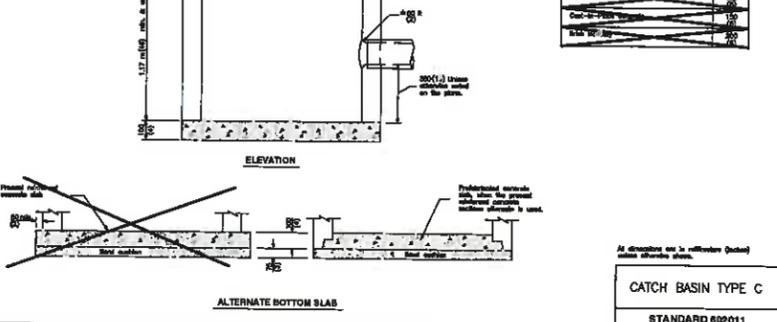
All slots shall be 4\"/>

See Standard #02201 for details of slots.

All dimensions are in inches (millimeters) unless otherwise noted.

Reinforce as furnished by manufacturer.

**CATCH BASIN TYPE A**  
 STANDARD 602001-01



**GENERAL NOTES**

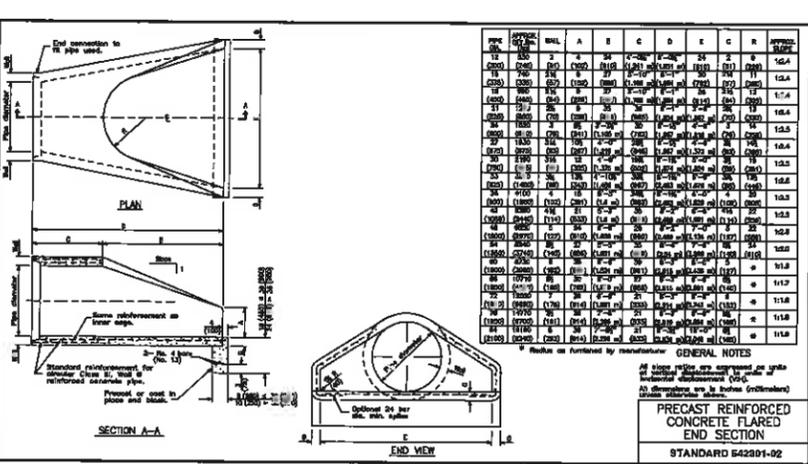
All slots shall be 4\"/>

See Standard #02201 for details of slots.

All dimensions are in inches (millimeters) unless otherwise noted.

Reinforce as furnished by manufacturer.

**CATCH BASIN TYPE C**  
 STANDARD 602011



**GENERAL NOTES**

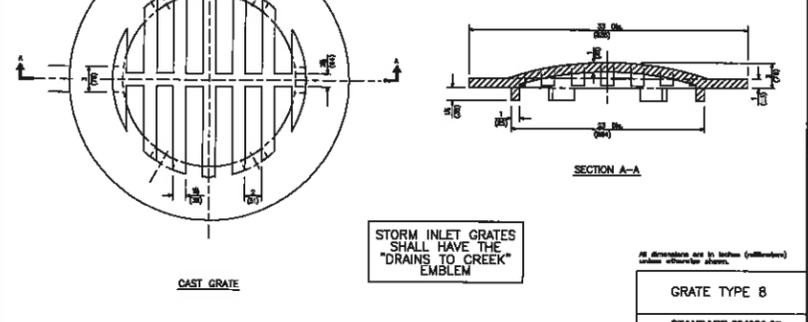
All slots shall be 4\"/>

See Standard #02201 for details of slots.

All dimensions are in inches (millimeters) unless otherwise noted.

Reinforce as furnished by manufacturer.

**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
 STANDARD 642201-02



**GENERAL NOTES**

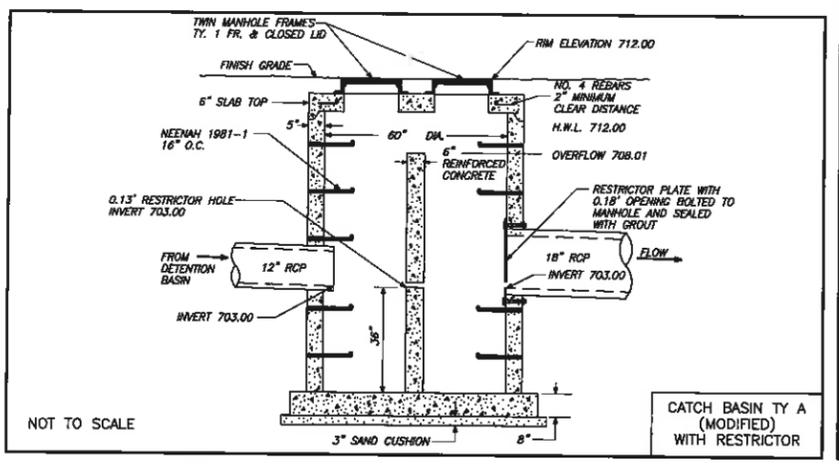
All slots shall be 4\"/>

See Standard #02201 for details of slots.

All dimensions are in inches (millimeters) unless otherwise noted.

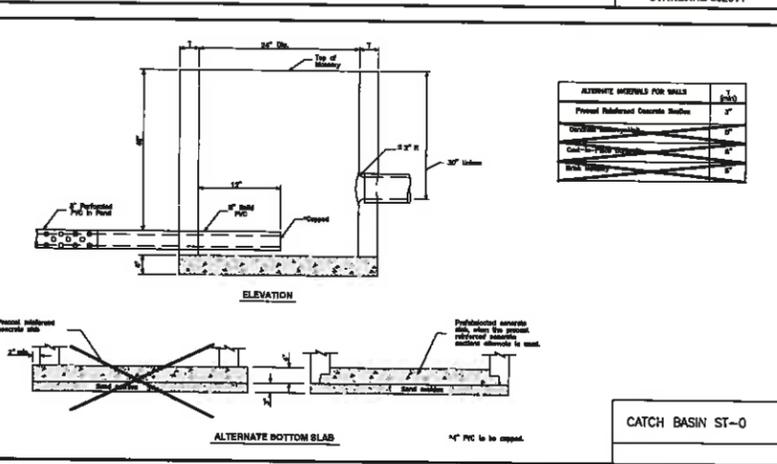
Reinforce as furnished by manufacturer.

**CAST GRATE**  
 STANDARD 604036-02



**CATCH BASIN TYPE A (MODIFIED) WITH RESTRICTOR**

NOT TO SCALE



**GENERAL NOTES**

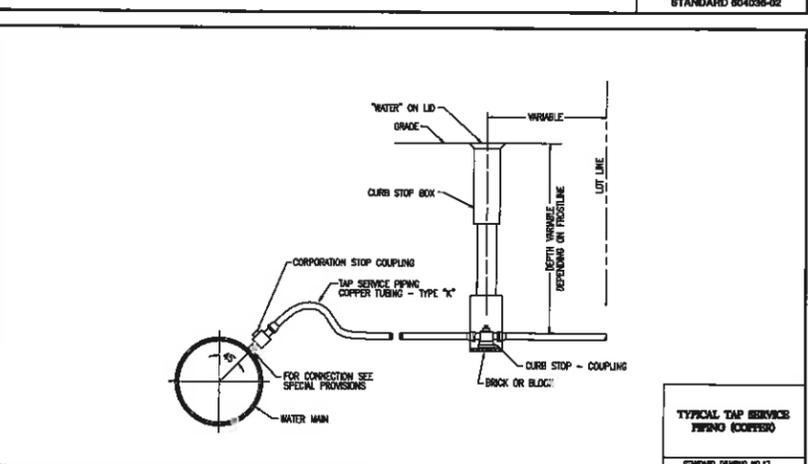
All slots shall be 4\"/>

See Standard #02201 for details of slots.

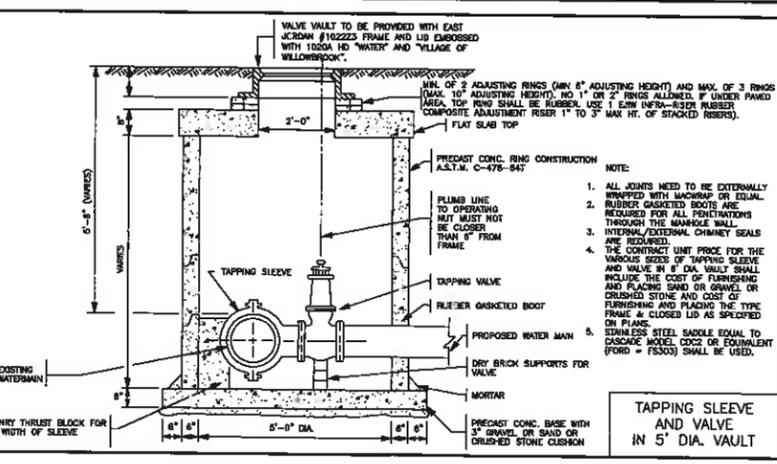
All dimensions are in inches (millimeters) unless otherwise noted.

Reinforce as furnished by manufacturer.

**CATCH BASIN ST-0**



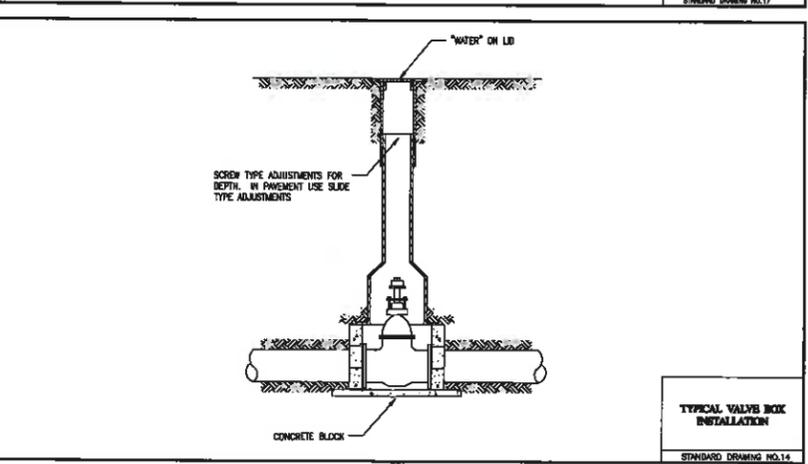
**TYPICAL TAP SERVICE RING CONNECTION**  
 STANDARD DRAWING NO. 17



**TAPPING SLEEVE AND VALVE IN 5' DIA. VAULT**

NOTE:

- ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MACHINAP OR EQUAL RUBBER GASKETED BOOTS ARE REQUIRED FOR ALL PENETRATIONS THROUGH THE MANHOLE WALL.
- INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED.
- THE CONTRACT UNIT PRICE FOR THE VARIOUS SIZES OF TAPPING SLEEVE AND VALVE IN 5' DIA. VAULT SHALL INCLUDE THE COST OF FURNISHING AND PLACING THE TYPE FRAME & CLOSED LID AS SPECIFIED ON PLANS.
- SLIMLESS STEEL SADDLE SHALL TO CASCADE MODEL CO22 OR EQUIVALENT (FORD = FS303) SHALL BE USED.



**TYPICAL VALVE BOX INSTALLATION**  
 STANDARD DRAWING NO. 14

DATE: 3/24/2017

PER: WILSON, RENEW

1	2	3	4	5	6
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DETAIL SHEET

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
 Civil Engineering & Consulting  
 Land Surveying  
 515 Waterville Road, Lisle, IL 60532  
 Phone: (630) 271-0770  
 Survey: (630) 271-0559  
 Fax: (630) 271-0774  
 Website: www.morris-eng.com



FIELD CHECK: GS

DRAWN BY: CJS

CHECKED BY: AS

APPROVED BY: AR

DATE: 11/02/2016

SCALE: HORIZ. NONE

VERT. NONE

SHEET

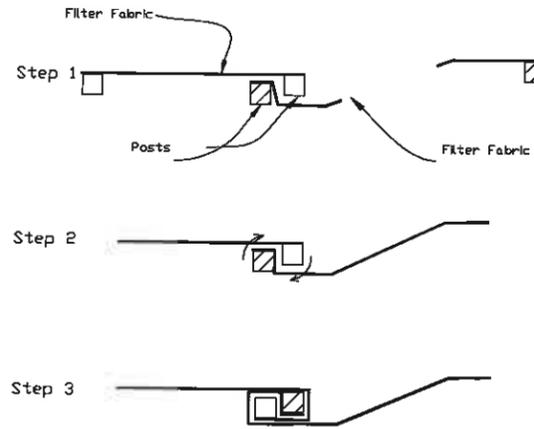
**8**

OF 9 SHEETS

PROJ # 16-PR-2003

3/1/2017 3:47 PM  
 I:\PROJECTS\16-PR-2003\16-PR-2003-SITE\AS-2016-03-14.dwg

**SILT FENCE**



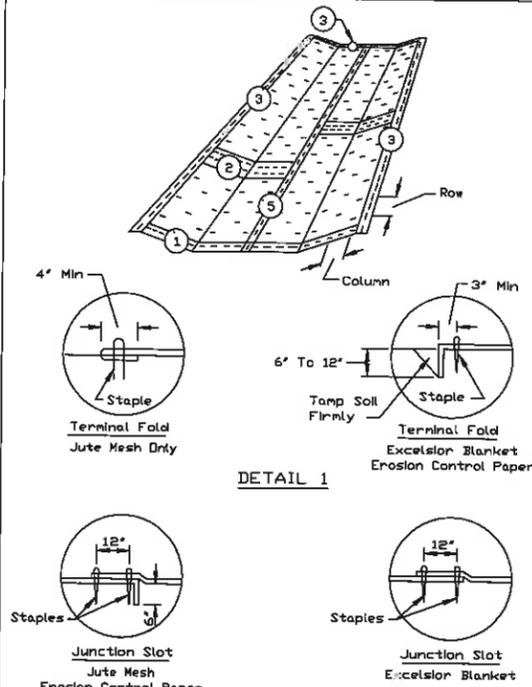
ATTACHING TWO SILT FENCES

- NOTES:**
- Place the end post of the second fence inside the end post of the first fence.
  - Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
  - Drive both posts a minimum of 18 inches into the ground and bury the flap.

REFERENCE	STANDARD DWG. NO.
Project _____	IL-620(W)
Designed _____	SHEET 2 OF 2
Checked _____	DATE 1-29-99
Approved _____	



**EROSION BLANKET PLAN**



DETAIL 1

DETAIL 2

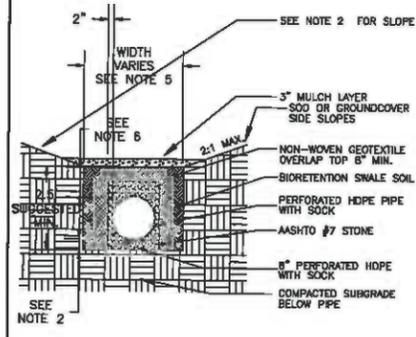
REFERENCE	STANDARD DWG. NO.
Project _____	IL-530
Designed _____	SHEET 1 OF 2
Checked _____	DATE 5-24-94
Approved _____	



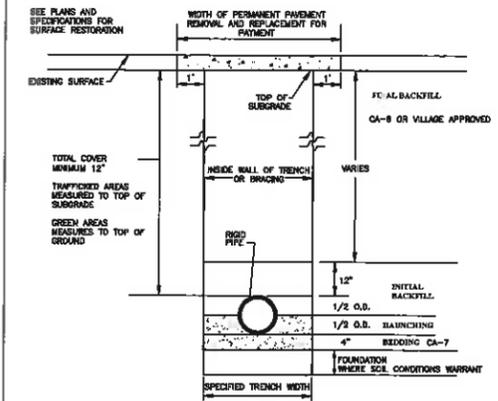
Wet to Mesic Prairie with Flowers Mix - to be planted within the Bioswale

Scientific Name	Common Name	sq. ft. per sq. yd.
Andropogon gerardi	Big Bluestem Grass	1.500
Asclepias spp.	Milkweed	0.063
Aster laevis	Smooth Blue Aster	0.016
Aster novae-angliae	New England Aster	0.031
Aster procerus	Willow Aster	0.031
Callimacrotis canadensis	Blue Joint Grass	0.043
Carex stricta	Large Yellow Fox Sedge	0.125
Carex bebbii	Bebb's Owl Sedge	0.125
Carex normalis	Spreading Owl Sedge	0.125
Carex vulpinoidea	Brown Fox Sedge	0.500
Camisia fasciculata	Partridge Pea	0.250
Elymus canadensis	Canada Wild Ryegrass	1.000
Epilobium ciliatum	Cinnamon Willow Herb	0.015
Eupatorium perfoliatum	Common Boneset	0.015
Hypericum pyramidatum	Great St. John's Wort	0.063
Impatiens striata	Blue Flag	0.125
Liatris pycnostachya	Purple Blazing Star	0.313
Lobelia spicata	Marsh Blazing Star	0.188
Lobelia siphilitica	Great Blue Lobelia	0.031
Mimulus ringens	Monkey Flower	0.031
Monarda fistulosa	Wild Bergamot	0.063
Nonnutum virginicum	Switch Grass	0.500
Parthenium integrifolium	Wild Quinine	0.125
Petalostemum purpureum	Purple Prairie Clover	0.250
Physostegia virginiana	Obedient Plant	0.063
Pycnanthemum virginicum	Common Mountain Mint	0.063
Rudbeckia hirta	Yellow Coneflower	0.250
Rudbeckia hirta	Black-Eyed Susan	0.250
Scirpus atrovirens	Dark Green Rush	0.500
Stachys palustris	Common Plantain	0.188
Stachys palustris	Common Plantain	0.250
Solidago canadensis	Goldenrod	0.063
Solidago rigida	Stiff Goldenrod	0.125
Sorghastrum nutans	Indian Grass	1.000
Sparganium angustifolium	Prairie Cord Grass	0.500
Veronica fasciculata	Common Speedwell	0.031
Veronica virginiana	Golden's Root	0.063
Zizia aurea	Golden Alexander	0.031
Total		8.825

**BIORETENTION SWALE**  
NOT TO SCALE



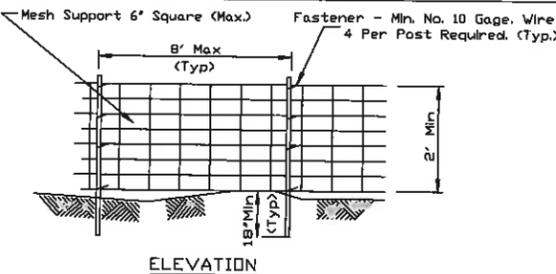
- REFER TO ASTM/AASHTO SPECIFICATION OR MANUFACTURERS RECOMMENDATION FOR BEDDING DEPTH AND MATERIALS.
- ROADSIDE SLOPE AND LENGTH SHOULD CONFORM TO AASHTO OPR LOCAL STANDARDS.
- PONDING DEPTH IN SWALE SHOULD BE BELOW ROAD EDGE DRAINS OR SUBBASE.
- HOPE PIPE IS USED FOR ALTERNATIVE DETENTION STORAGE AND INFILTRATION INTO BIORETENTION SOIL. STANDARD FOUR OR SIX INCH HOPE UNDERDRAIN CAN BE USED IF ADDITIONAL STORAGE IS NOT REQUIRED.
- REFER TO TRENCH WIDTH PER MANUFACTURER FOR MINIMUM SIZE AND RIGHT OF WAY WIDTH.
- RECOMMEND 1 FOOT MINIMUM. SEE LOCAL CODES.
- PERFORATED PIPE INTO YARD INLETS TO CONTROL INFLOW AND PONDING. LAY PIPE ON MINIMUM SLOPE FOR CONVEGANCE OF PEAK DESIGN STORM.
- BIORETENTION SWALE SOIL SHALL CONSIST OF 60% COARSE SAND AND 40% COMPOST.



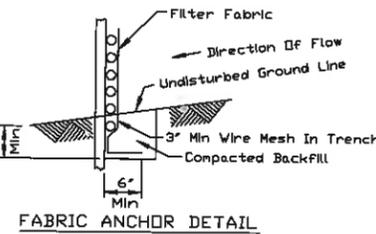
NOTE: ALL RCP PIPE SHALL BE EQUIPPED WITH CHAINING GASKETS MEETING OR EXCEEDING MATERIAL REQUIREMENTS OF ASTM C-51.

**RIGID PIPE INSTALLATION**  
DETAIL

**SILT FENCE WITH WIRE SUPPORT PLAN**



ELEVATION



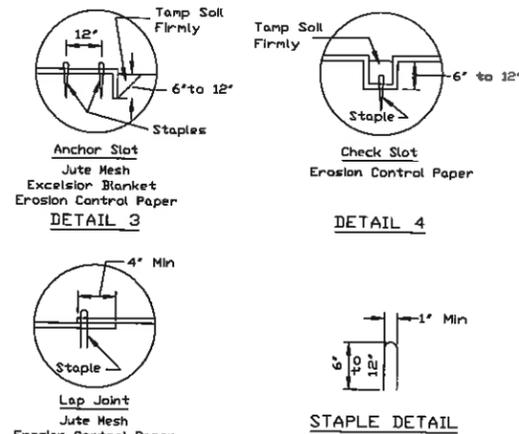
FABRIC ANCHOR DETAIL

- NOTES:**
- Wires of mesh support shall be min. gage no. 12.
  - Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  - Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
  - Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	STANDARD DWG. NO.
Project _____	IL-620W
Designed _____	SHEET 1 OF 2
Checked _____	DATE 3-3-95
Approved _____	



**EROSION BLANKET PLAN**



DETAIL 3

DETAIL 4

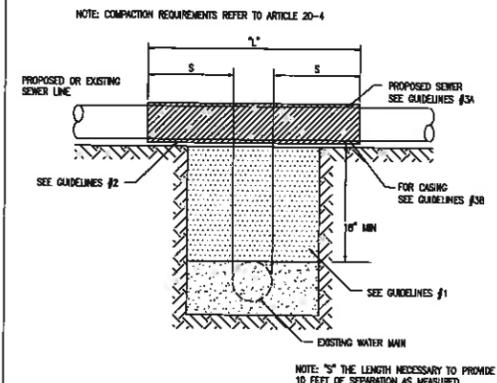
STAPLE DETAIL

- NOTES:**
- On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
  - Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4' x 225' roll of material and 125 staples are required per 4' x 150' roll of material.
  - Erosion control material shall be placed loosely over ground surface. Do not stretch.
  - All terminal ends and transverse laps shall be stapled at approximately 12' intervals.

REFERENCE	STANDARD DWG. NO.
Project _____	IL-530
Designed _____	SHEET 2 OF 2
Checked _____	DATE 3-1-95
Approved _____	



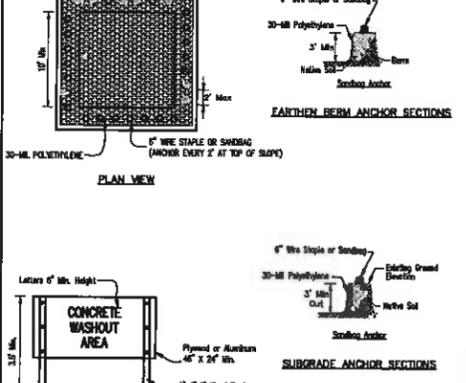
**PROPOSED SEWER LINE WITH 10" MINIMUM VERTICAL SEPARATION ABOVE EXISTING WATER MAIN**



- GUIDELINES:**
- IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS N) AND COMPACT.
  - DO NOT SELECT GRANULAR EMBEDEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT EXCAVATED MATERIAL (CLASS N) AND COMPACT THE LENGTH OF 1' FEET.
  - A) CONSTRUCT 1' FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR:  
B) USE 1' FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.

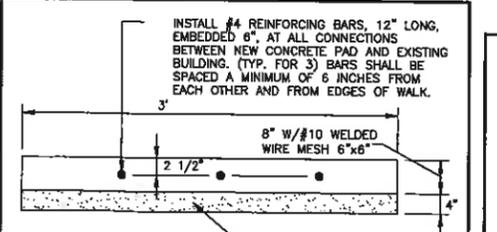
**WATER AND SEWER SEPARATION REQUIREMENTS**  
VERTICAL SEPARATION  
STANDARD DRAWING NO. 19

**CONCRETE WASHOUT FACILITY - EARTHEN TYPE**



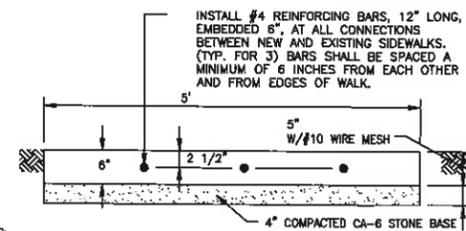
- NOTES:**
- Minimizing temporary concrete material facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facility to a functional condition.
  - Facility shall be closed or reconstructed in a new area once washed because too-dirty to use.

**TEMPORARY CONCRETE WASHOUT FACILITY - EARTHEN TYPE**



- NOTES:**
- CONCRETE PADS SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" PORTLAND CEMENT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 14 DAYS.
  - PREFORMED EXPANSION JOINTS (3/4" THICK) SHALL BE CONSTRUCTED IN PAD EVERY 100 FEET.
  - TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED IN PAD EVERY FIVE FEET.
  - PAD SHALL BE TESTED PER VILLAGE CODE.

**STANDARD DETAIL FOR CONCRETE PADS**



- NOTES:**
- ALL SIDEWALK SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" PORTLAND CEMENT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS.
  - PREFORMED EXPANSION JOINTS (3/4" THICK) SHALL BE CONSTRUCTED IN SIDEWALK EVERY 100 FEET AND AT ALL ADJUTING DRIVEWAYS AND CURB AND GUTTER.
  - TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED IN SIDEWALK EVERY FIVE FEET.
  - SIDEWALK SHALL HAVE 1/4" PER FOOT CROSS-SLOPE.
  - SIDEWALKS SHALL BE TESTED PER VILLAGE CODE.
  - SIDEWALK SHALL CONFORM TO IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**STANDARD DETAIL FOR SIDEWALK**

DETAIL SHEET  
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering & Consulting  
Land Surveying  
515 W. Main Street, Suite 100  
Willowbrook, IL 60522  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Website: www.morris-eng.com



FIELD CHECK:	GB
DRAWN BY:	C.S.
CHECKED BY:	AS
APPROVED BY:	AR
DATE:	11/17/2010
SCALE:	HORIZ. NONE
	VERT. NONE
SHEET	9
OF 9 SHEETS	
PROJ #	15-PR-2009



Planning Commission

PROJECT NUMBER 161107\_05\_02

DATE 03.13.2017

# THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60527



Damian Farrell Design Group PLLC  
300 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
MI 734.998.1331  
MI 734.213.3075

## VICINITY MAP



## PROJECT DIRECTORY

**LAND OWNER**  
TCCO PROPERTY, LLC  
221 CENTER STREET  
HILLSIDE, ILLINOIS 60182

**PETITIONERS**  
TCCO PROPERTY, LLC  
321 CENTER STREET  
HILLSIDE, ILLINOIS 60182  
- AND -  
THE CHICAGO GUN CLUB, LLC  
4825 LEE AVENUE  
DOWNERS GROVE, ILLINOIS 60516

**ARCHITECT**  
DAMIAN FARRELL DESIGN GROUP PLLC  
300 METTY DRIVE, SUITE 4A  
ANN ARBOR, MICHIGAN 48103  
PH. 734.998.1331

**CIVIL ENGINEER**  
MORRIS ENGINEERING, INC.  
515 V. ARDENVILLE ROAD  
LISLE, ILLINOIS 60532  
PH. 630.271.0770

**SURVEYOR**  
ROAKE FRO ASSOCIATES, INC.  
1064 QUINCY AVENUE, SUITE 100A  
NAPERVILLE, ILLINOIS 60563  
PH. 630.355.4400 x 210

**LANDSCAPE ARCHITECT**  
DAVID R. MCCALLUM ASSOCIATES, INC.  
350 NORTH MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048  
PH. 647.352.0209

**TRAFFIC CONSULTANT**  
KENIG LINDGREN, O'HARA, ABOONA, INC.  
9575 WEST HIGGIN ROAD, SUITE 400  
ROSELAND, ILLINOIS 60016  
PH. 847.518.0990

**LIGHTING CONSULTANT**  
KSA LIGHTING AND CONTROLS  
1220 CENTRAL AVENUE  
HANOVER PARK, ILLINOIS 60133

**GENERAL CONTRACTOR**  
TBD

## PROJECT SUMMARY

**PROJECT DESCRIPTION**  
THE PROPOSED PROJECT IS A TWO-STORY, 51,000 sq. ft. MIXED USE FACILITY WHICH INCLUDES:  
- INDOOR FIRING RANGE (16,810 sq. ft.)  
- RETAIL (5,220 sq. ft.)  
- ASSEMBLY (4,827 sq. ft.)  
- WAREHOUSE (2,769 sq. ft.)  
- OFFICES (1,865 sq. ft.)  
- CLASSROOM (980 sq. ft.)

THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 129 CAR2 (INCLUDING 5 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

## SITE DATA

<b>PARCEL I.D.</b>	00-05-402-029 00-28-402-018																																					
<b>ZONING DISTRICT</b>	EXISTING: B-3, GENERAL BUSINESS PROPOSED: B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT																																					
<b>SITE AREA</b>	EXISTING: 3.1 acres (149,843 sq. ft.) REQ'D (for B-4): 2.0 acre min. (87,120 sq. ft.)																																					
<b>REQUIRED SETBACKS</b>	FRONT YARD: 100 ft. INT. SIDE YD: 40 ft. EXT. SIDE YD: 80 ft. REAR YARD: 40 ft. MAX ALLOW. HEIGHT: 35 ft. MAX LOT COVERAGE: 50%	<b>PROPOSED SETBACKS</b> FRONT YARD: 100 ft. INT. SIDE YD: 57.6 ft. EXT. SIDE YD: 79 ft. REAR YARD: 68 ft. PROPOSED HEIGHT: 34 ft. PROPOSED LOT COVERAGE: 17%																																				
<b>SITE SIGNAGE REQUIREMENTS</b>	MIN. SETBACK: 5 ft. MAX. HEIGHT: 21 ft. MAX SIGN SURFACE: 400 sq. ft.	<b>PROPOSED SITE SIGNAGE</b> SIGN SETBACK: 5 ft. PROP. HEIGHT: 12 ft. PROPOSED SIGN SURFACE: 22.1 sq. ft. (total of both sides)																																				
<b>PARKING CALCULATION</b>	<table border="1"> <thead> <tr> <th>SPACE</th> <th>QTY.</th> <th>REQUIREMENT</th> <th>NO. OF SPACES</th> </tr> </thead> <tbody> <tr> <td>INDOOR FIRING RANGE</td> <td>32 lanes</td> <td>2 spaces per lane</td> <td>64.00 spaces</td> </tr> <tr> <td>RETAIL</td> <td>4,130 sq. ft.</td> <td>4 spaces per 1,000 sq. ft.</td> <td>16.52 spaces</td> </tr> <tr> <td>DEEP RETAIL</td> <td>1,020 sq. ft.</td> <td>1 space per 400 sq. ft.</td> <td>2.55 spaces</td> </tr> <tr> <td>ASSEMBLY (LOUNGE)</td> <td>3,750 sq. ft.</td> <td>1 space per 225 sq. ft.</td> <td>16.67 spaces</td> </tr> <tr> <td>WAREHOUSE</td> <td>2,070 sq. ft.</td> <td>1 space per 1.6 workers</td> <td>2.00 spaces</td> </tr> <tr> <td>OFFICES</td> <td>1,320 sq. ft.</td> <td>1 space per 225 sq. ft.</td> <td>5.87 spaces</td> </tr> <tr> <td>CLUBROOM</td> <td>30 seats</td> <td>1 per 3 seats</td> <td>10.00 spaces</td> </tr> <tr> <td>ACCESSORY COM.</td> <td>2,800 sq. ft.</td> <td>1 per 250 sq. ft.</td> <td>11.20 spaces</td> </tr> </tbody> </table>	SPACE	QTY.	REQUIREMENT	NO. OF SPACES	INDOOR FIRING RANGE	32 lanes	2 spaces per lane	64.00 spaces	RETAIL	4,130 sq. ft.	4 spaces per 1,000 sq. ft.	16.52 spaces	DEEP RETAIL	1,020 sq. ft.	1 space per 400 sq. ft.	2.55 spaces	ASSEMBLY (LOUNGE)	3,750 sq. ft.	1 space per 225 sq. ft.	16.67 spaces	WAREHOUSE	2,070 sq. ft.	1 space per 1.6 workers	2.00 spaces	OFFICES	1,320 sq. ft.	1 space per 225 sq. ft.	5.87 spaces	CLUBROOM	30 seats	1 per 3 seats	10.00 spaces	ACCESSORY COM.	2,800 sq. ft.	1 per 250 sq. ft.	11.20 spaces	
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## SHEET INDEX

<b>00-GENERAL</b>	
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A2.0	ELEVATIONS
A2.1	SIGNAGE
A3.0	PERSPECTIVES AND MATERIAL NOTES
A3.1	MECH. SCREEN MATERIAL NOTES
<b>02-SURVEY</b>	
C1.0	SURVEY
<b>03-CIVIL</b>	
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2	GENERAL NOTES & SPECIFICATIONS
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	GRADING PLAN
5	SWPP & EROSION CONTROL PLAN
7	DETAILS
8	DETAILS
9	DETAILS
6	SITE PLAN
<b>04-LANDSCAPE</b>	
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L2.0	TREE INVENTORY
<b>05-PHOTOMETRIC</b>	
E1.0	PHOTOMETRIC SITE PLAN
E1.1	SIGN ELEVATION
E1.2	CUT SHEETS

SITE PLAN REVIEW

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60527

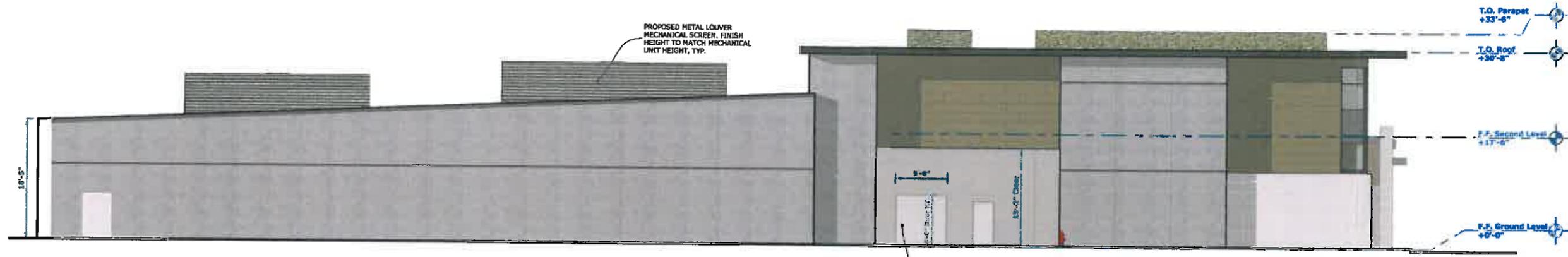
<b>DATE</b>	04.05.17
<b>DESCRIPTION</b>	Planning Commission
<b>DESIGNER</b>	Designer
<b>DRAWN</b>	Author
<b>PROJECT NUMBER</b>	161107_05_02

TITLE SHEET, MAP + SHEET INDEX

# T1.0



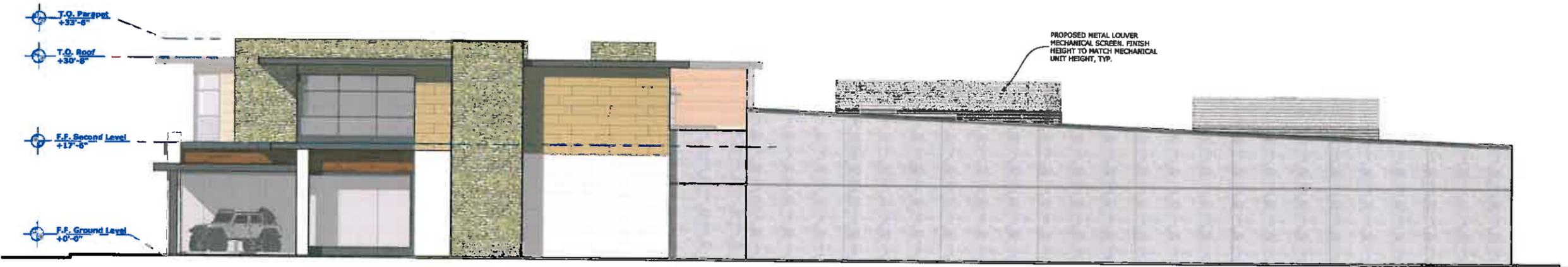
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North Elevation  
1/8" = 1'-0"



West Elevation  
1/8" = 1'-0"



South Elevation  
1/8" = 1'-0"



Damian Farrell Design Group PLLC  
339 BETTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48106  
847.764.9911.1311  
561.712.11.1951

SITE PLAN REVIEW

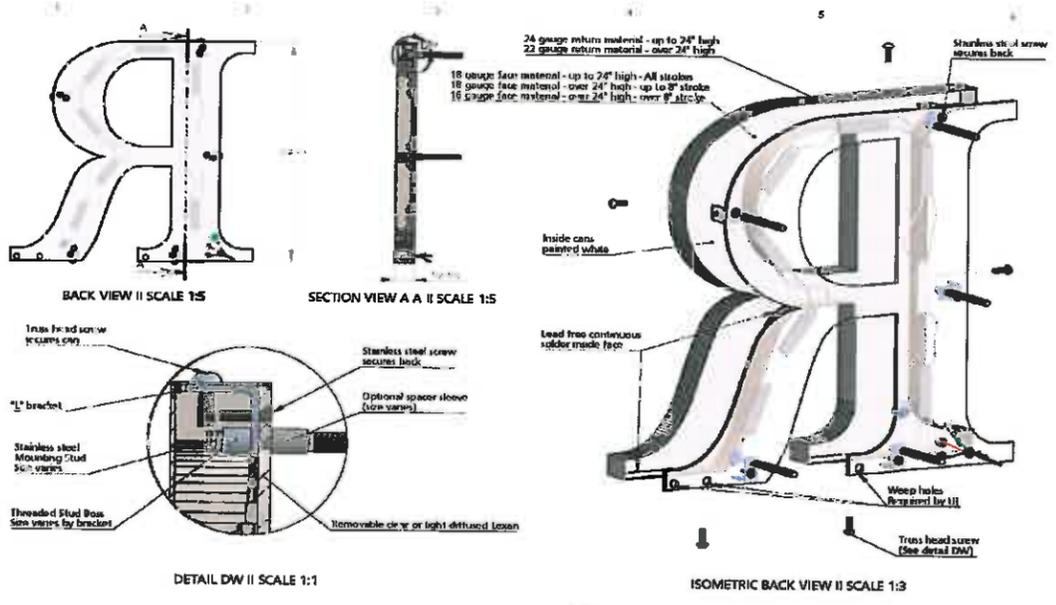
ARCHITECT OF RECORD	
STRUCTURAL ENGINEER OF RECORD	
CIVIL ENGINEER OF RECORD	
M.E.P. ENGINEER OF RECORD	
ARCHITECT OF RECORD	
DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

THE CHICAGO GUN CLUB

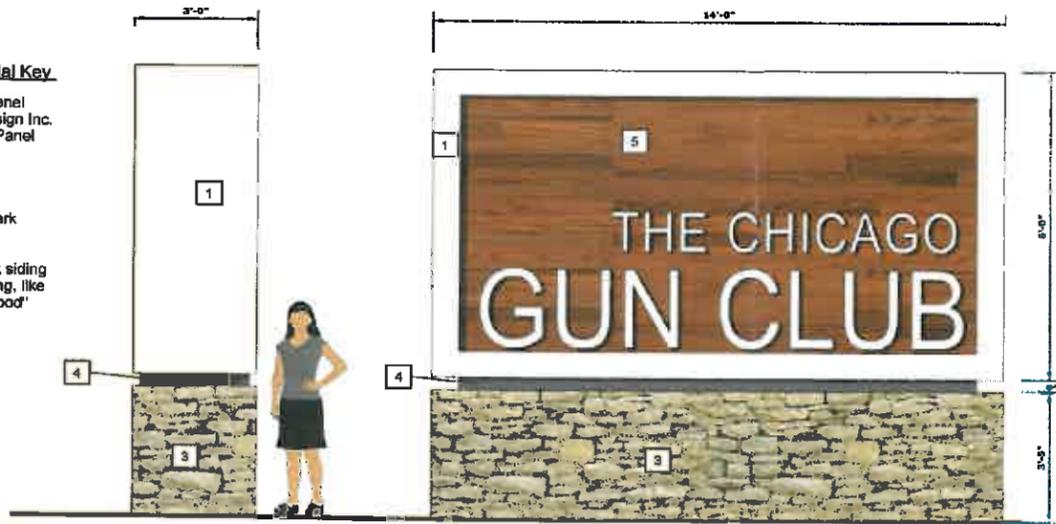
7171 STREET AND FRONTAGE ROAD  
WILLSBORO, IL 61871

ELEVATIONS

A2.0



- Monument Sign Material Key**
- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System, White.
  - 3 Stone veneer
  - 4 Aluminum fascia, dark bronze anodized
  - 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.



**BACK OPTIONS**

- Clear Lexan: 5/2" high - 0.118 thick, over 24" - 0.236" thick
- Light diffused Lexan: 0.177" thick

**MATERIAL OPTIONS**

- Standard - 304 polished stainless steel
- Optional - 316 polished stainless steel (more corrosion resistant)
- Optional - 304 polished stainless with titanium coating



**METAL FACE WITH BACK - LED REMOVABLE CAN MOUNT**

STAINLESS STEEL      FABRICATED METAL

FINISH: POLISHED      FINISH: POLISHED

SCALE: AS SHOWN      SCALE: AS SHOWN

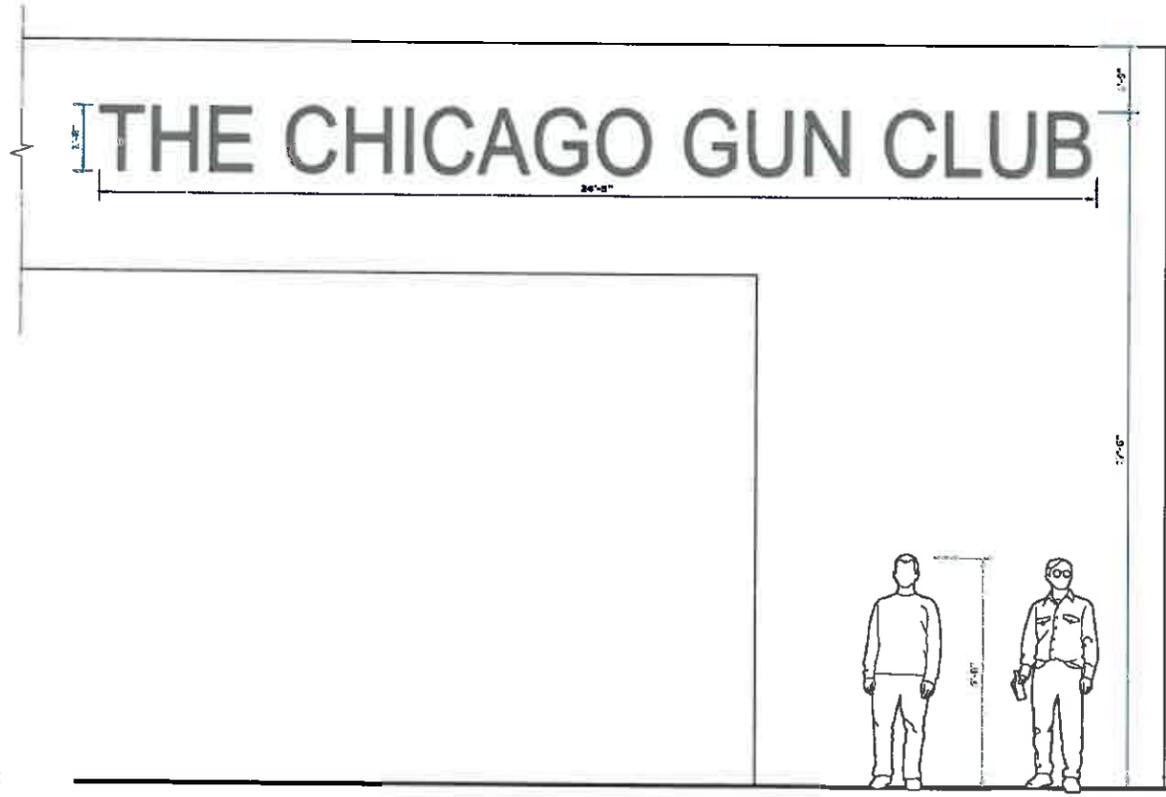
**Typical Signage Construction**



Sample Installation



Finish Color: "Old Copper"



Partial West Elevation  
1/8" = 1'-0"

SITE PLAN REVIEW

THE CHICAGO GUN CLUB

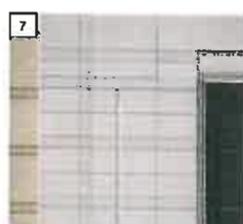
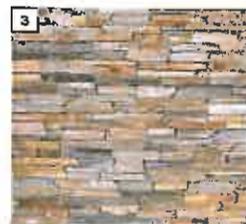
70TH STREET AND FRONT (BE ROAD WILLAMSBURG, LINDSBURG COURT)

DATE	DESCRIPTION
04.06.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	151107_05_02

**SIGNAGE**

**A2.1**

S:\Data\PROJECTS\2016\1107\_05\_02\_TCBC - Phase II\Rev161231\_SPA\161219\_SPA SUBMITTAL.rvt



**Material Key Notes**

- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System, White.
- 2 Fiber-cement siding, like Nichiha "Architectural Block" series, Mocha
- 3 Stone veneer
- 4 Aluminum fascia, dark bronze anodized
- 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.
- 6 Steel pergola structure, painted dark bronze
- 7 Pre-cast concrete panel
- 8 Ground-face block
- 9 Fiber-cement soffit panels

SITE PLAN REVIEW

THE CHICAGO GUN CLUB

78TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60027

DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

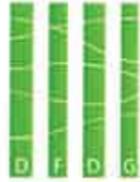
**PERSPECTIVES AND MATERIAL NOTES**

**A3.0**

Damian Farrell Design Group PLLC  
200 E. WYOMING - SUITE 104  
WILLOWBROOK, IL 60091  
TEL: 708.984.1331  
FAX: 708.333.7953



S:\Data\PROJECTS\20161107\_05\_02\_TCSC - Phase II\Rev\161231\_SPA\161219\_SPA SUBMITTAL.rvt

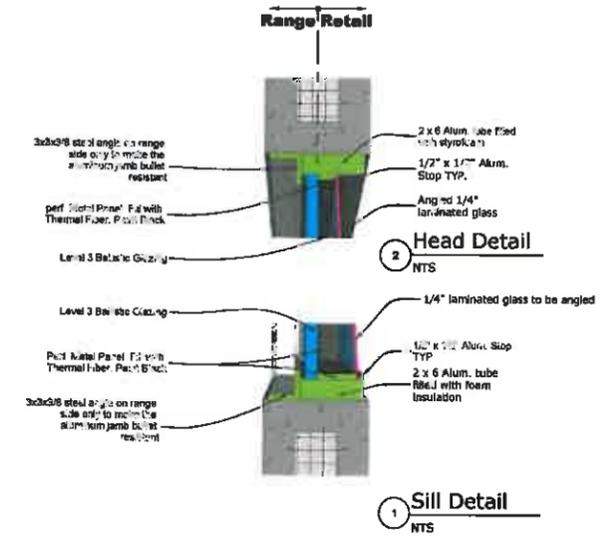
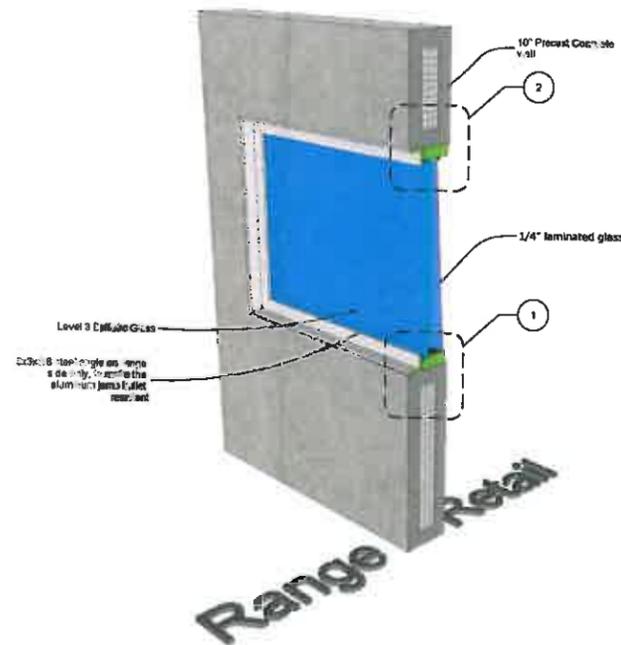


Damian Farrell Design Group PLLC

390 METTY DRIVE, SUITE 404  
ANN ARBOR, MI 48103  
tel 734.937.1331  
fax 734.117.2993

LANDSCAPE ARCHITECT	
STRUCTURAL ENGINEER OF RECORD	
CIVIL ENGINEER OF RECORD	
MPE ENGINEER OF RECORD	
ARCHITECT OF RECORD	
MECHANICAL ENGINEER OF RECORD	
THE CHICAGO GUN CLUB 97TH STREET AND FRONTAGE ROAD WILLOWBROOK, ILLINOIS 60527	
DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

SITE PLAN REVIEW



- Notes:
- Perforated Metal Panel: .063 thick, 1/4" round holes, 3/8" staggered pattern. To be painted to match jamb.
  - Level 3, Ballistic Glass, proposed as Glass-Clad Polycarbonate

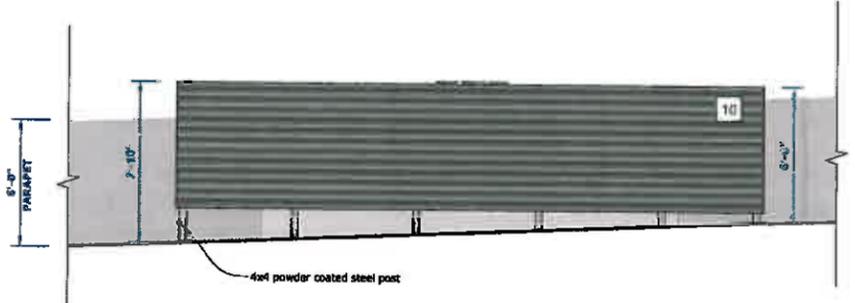
**Ballistic/Acoustic Window Sketch**

**Material Key**

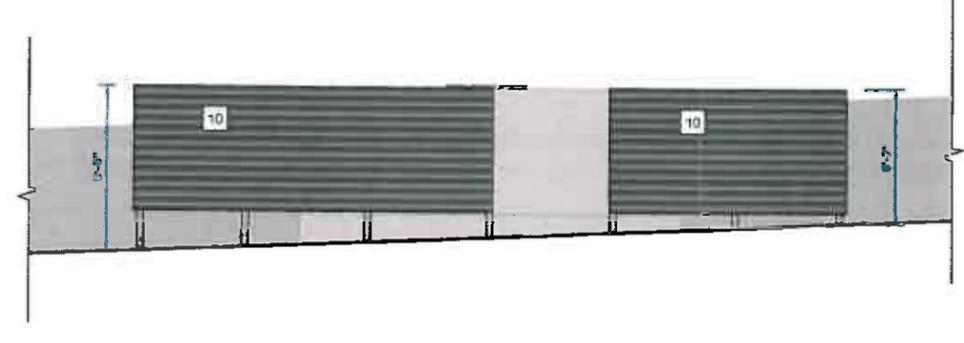
10 Metal Louver Mechanical Screen. Finish color TBD.



NOTE:  
PARAPET HEIGHT IS TYPICAL FOR ALL RANGES EXCEPT TACTICAL.  
TACTICAL RANGE HEIGHT PARAPET IS 1'-6"



**FAU Mechanical Unit Screen**  
1/4" = 1'-0"



**MAU Mechanical Unit Screen**  
1/4" = 1'-0"

**MECH. SCREEN MATERIAL NOTES**

**A3.1**

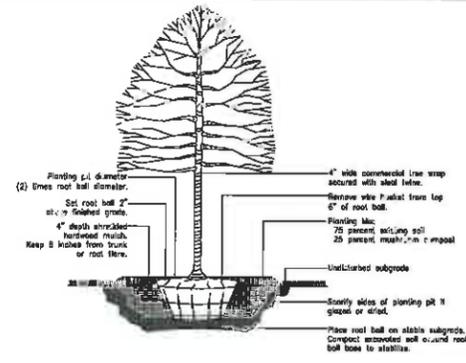
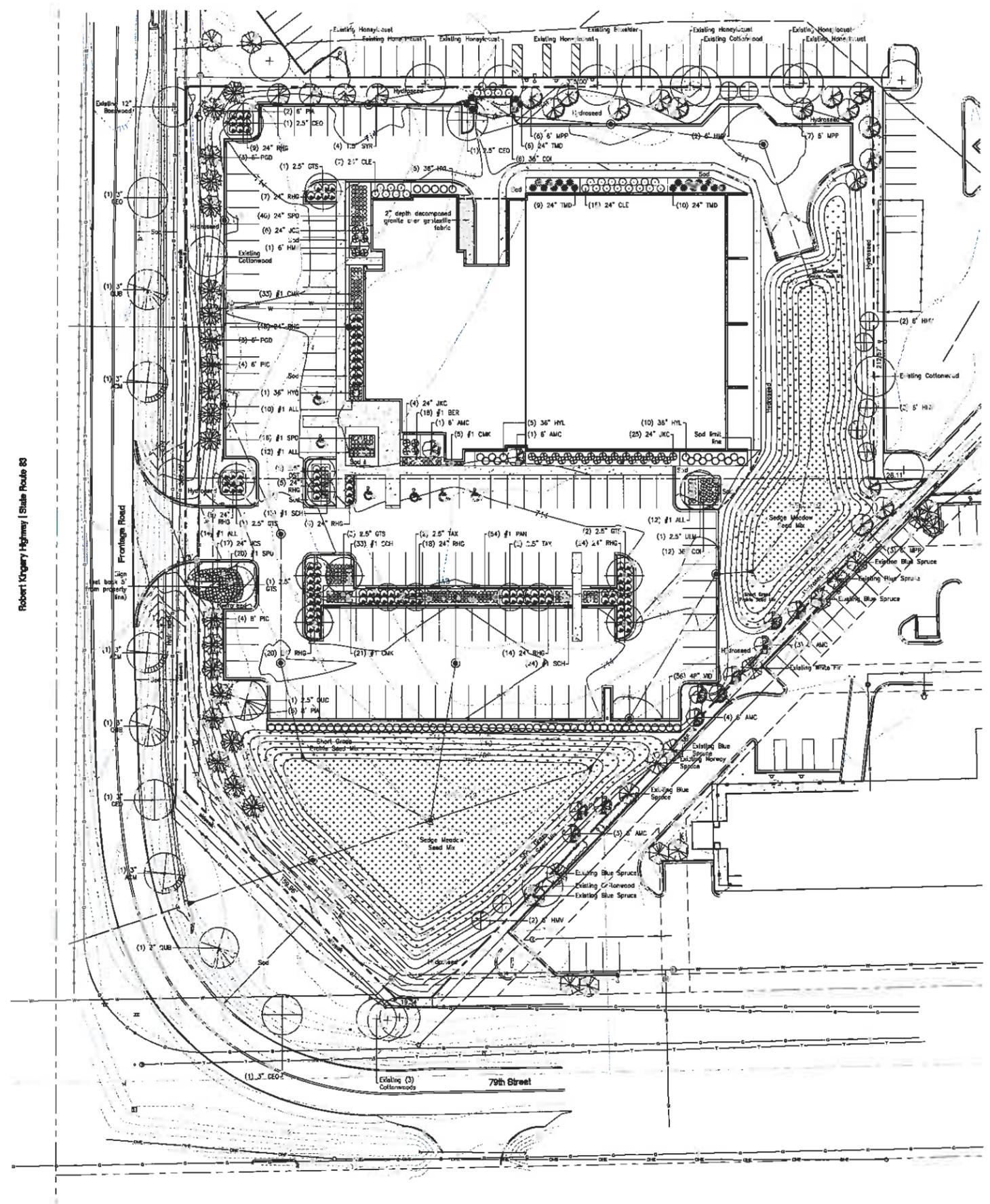
**The Chicago Gun Club**

79th Street & Frontage Road  
Wilmette, IL

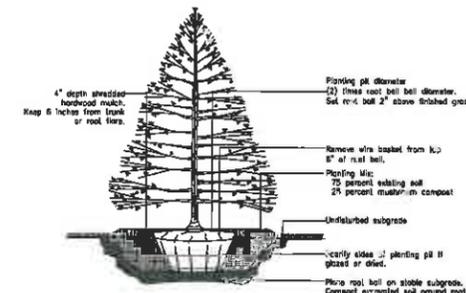
DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
300 N. Milwaukee Avenue (Library) Room 620M  
T 847.262.7333 | F 847.361.7234



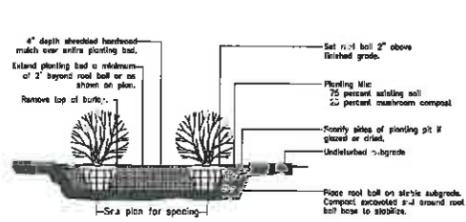
**Landscape Plan**



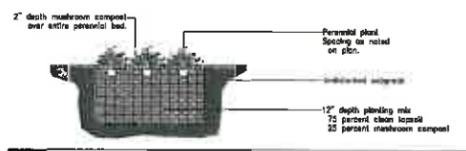
**Detail Deciduous Tree Planting**



**Detail Deciduous Ornamental Tree Planting**



**Detail Evergreen Tree Planting**



**Detail Shrub Planting**



**Detail Perennial Planting**

**Landscape Notes**

**General Notes**

- The Landscape Contractor shall verify locations of all underground utilities prior to digging and is required to contact ALLIANCE (1.800.852.0123) and any other public or private agency, necessary for utility location, 48 hours prior to construction.
- The Contractor shall be responsible for all materials and supplies as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction Manager and the Village of Wilmette, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction Manager and the Owner before any changes are executed.
- No plants are to be changed or substituted without the approval of the Landscape Architect and the Village of Wilmette.
- All necessary site work permits and licenses shall be obtained and paid for by the Contractor prior to the commencement of work.

**Planting Notes**

- Plant material sizing, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and species on plans list represent minimum requirements.
- All plant material shall be inspected and approved by the Owner, or the Owner's representative prior to installation. Undersized or substituted plant material will not be approved by the Village of Wilmette.
- All areas not shown as planting shall be restored and seed or sodded as noted.
- Contractor shall fine grade all landscaped areas to within 0.02" of finished grade.
- All ball and tree tags shall be spots edged upon final placement of sod.
- Contractor shall remove all holes, logs or rope from all plant material before final completion of the work.
- Contractor shall supply on killed watering of all plant material after placement in ground.

**Parkey Tree Notes**

- Trees shall be planted to avoid utility conflicts in the parkway.
- Trees shall be set back a minimum of ten feet (10') horizontally from utility structures, including, but not limited to, manholes, valve vaults, valve boxes, fire hydrants, transformer and switch cases. Approval by the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- Areas disturbed within the parkway shall be restored and sodded.
- For the Village of Wilmette requirements, the owner shall initiate the parkway (5.0, 6.0) along Frontage Road Separately, an irrigation plan shall be submitted to the Village for review prior to approval of a project permit.

**Sedge Meadow Seed Mix**

Grosses, Sedges, and Rushes	Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Carex acuticarpa		Bristly Sedge	15	
Carex vulpinaea		Blown Fox Sedge	15	
Elymus virginicus		Virginia Wild Ryegrass	45	
Panicum virgatum		Switch Grass	128	
<b>Total Grosses, Sedges, and Rushes:</b>			<b>203</b>	<b>13</b>

**Forbs**

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Asclepias incarnata	Swamp Milkweed	8	
Helenium autumnale	Sneezeweed	5	
Lobelia cardinalis	Cardinal Flower	2	
Lobelia siphilitica	Great Blue Lobelia	1	
Penstemon digitalis	Foxglove Beard Tongue	5	
Physocarpus opulifolius	Obelisk Plant	5	
Solidago rigida	Riddle's Goldenrod	6	
<b>Total Forbs:</b>		<b>32</b>	<b>2</b>

**Temporary Color Crop**

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Avena sativa	Common Oats	320	20

Applied at the rate of 15 lbs. per acre. | Cover with NAG 5758N Erosion Control Blanket (biodegradable).

**Short Grass Prairie Seed Mix**

Grosses	Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Andropogon scoparius		Little Bluestem	240	
Luzula turpidentula		Side Pile Grass	56	
Elymus canadensis		Canada Wild Ryegrass	20	
<b>Total Grasses:</b>			<b>320</b>	<b>20</b>

**Forbs**

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Asclepias tuberosa	Butterfly Milkweed	15	
Cornopsis serotina	Prairie Coreopsis	5	
Dalea purpurea	Purple Prairie Clover	6	
Echinacea pallida	Pink Purple Coneflower	15	
E. laevis	Purple Coneflower	15	
Penstemon digitalis	Foxglove Beard Tongue	4	
Physocarpus opulifolius	Obelisk Plant	5	
Rudbeckia hirta	Black-Eyed Susan	3	
Tridax asarifolia	Spiderwort	9	
<b>Total Forbs:</b>		<b>80</b>	<b>5</b>

**Temporary Color Crop**

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
Avena sativa	Common Oats	320	20

Applied at the rate of 25 lbs. per acre. | Cover with NAG 5758N Erosion Control Blanket (biodegradable).

**Plant List**

Shade Tree	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACM	3	3"	Acer imbricatum 'Morton'	State Street Maple	BB	
CEO	2	2.5"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB	
CID	3	3"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB	
CTS	3	2.5"	Castalia tinctoria var. kerensis 'Styline'	Styline Ironwood / American Hopblossom	BB	
OST	2	2.5"	Osirea virginiana	Ironwood / American Hopblossom	BB	
QUC	1	3"	Quercus bicolor	Swamp White Oak	BB	
YAC	4	2.5"	Yucca angustifolia	Chiniquet Oak	BB	
ULM	1	2.5"	Ulmus x 'Morton Glassy'	Common Baldcypress / Triumph Elm	BB	

**Ornamental Trees**

Key	Qty.	Size	Botanical Name	Common Name	Remarks
MAC	12	6"	Amelanchier canadensis	Shadblow Serviceberry	BB / Clump
MAN	10	6"	Hamelia venusta	Norfolk Witchhazel	BB / Clump
MPP	16	6"	Morus purpurea	Purple Prince Mulberry	BB / Clump
SYN	4	1.5"	Syringa reticulata	Japanese Tree Lilac	BB

**Evergreen Trees**

Key	Qty.	Size	Botanical Name	Common Name	Remarks
PDD	5	6"	Picea glauca 'Danco'	Black Hills Spruce	BB
PIA	7	6"	Picea abies	Norway Spruce	BB
PIG	6	6"	Picea purpura	Colorado Green Spruce	BB

**Shrubs**

Key	Qty.	Size	Botanical Name	Common Name	Remarks
CLE	22	24"	Clethra alnifolia 'Hummingbird'	Hummingbird Summertree	BB
DDI	18	36"	Cornus sericea 'Semi'	Semi Red Dogwood	BB
HYL	20	36"	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	BB
HYD	1	36"	Hydrangea quercifolia	Oakleaf Hydrangea	BB
JCS	23	24"	Juniperus chinensis var. sargentii	Sargent Juniper	BB
JKC	2	24"	Juniperus chinensis 'Kobold's Compact'	Kobold's Compact Juniper	BB
RHS	28	24"	Rhus aromatica 'Scented-Lav'	Low Fragrant Sumac	BB
TMD	25	24"	Taxus x media 'Densiformis'	Low Yew	BB
VD	56	48"	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum	BB

**Perennials and Ornamental Grasses**

Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	48	#1	Allium 'Summer Bells'	Summer Beauty Allium	Container
BER	18	#1	Bergenia cordifolia 'Winter GLV'	Winter Glow Bergenia	Container
CMK	59	#1	Clematis rectiflora 'Keri Faerster'	Faerster Red Clematis	Container
PAN	54	#1	Panicum virgatum	Switch Grass	Container
SCH	73	#1	Solidago canadensis	Little Bluestem	Container
SPO	70	#1	Sporobolus heterophyllus	Prairie Dropseed	Container

Note: Existing trees designated to remain are counted toward zoning requirements.

Issue	Description	Date
0	Village Review Comments	03/17
2	Site Plan Modification	01/04/17
1	For Review	02/06/16

Number: 45996  
Scale: 1" = 30'  
File: 45996PL4  
Sheet: L10

**Tree Key**



**Tree Condition Rating**

RATING	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not immediately lethal to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defects, insects, disease or other problems that may be seriously lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
5	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is an aerial, leaning with instability, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
6	Dead	Less than 10% of the tree shows signs of life.

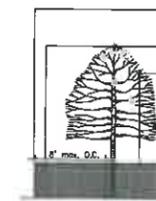
**Tree Inventory**

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	12"	Tilia americana	Basewood	3/3	To remain, Off-site
2	14"/16"	Populus deltoides	Cottonwood	3/3	To remain, Off-site
3	10"	Gleditsia triacanthos	Honeylocust	3/3	To remain, Off-site
4	13"	Gleditsia triacanthos	Honeylocust	2/2	To remain, Off-site
5	12"	Gleditsia triacanthos	Honeylocust	2/2	To remain, Off-site
6	12"	Gleditsia triacanthos	Honeylocust	2/2	To remain, Off-site
7	4"	Acer negundo	Boxelder	2/4	To remain, Off-site
8	10"	Gleditsia triacanthos	Honeylocust	4/3	To remain, Off-site
9	6"	Populus deltoides	Cottonwood	4/3	To remain, Off-site
10	15"	Gleditsia triacanthos	Honeylocust	3/3	To remain, Off-site
11	8"	Gleditsia triacanthos	Honeylocust	4/3	To remain, Off-site
12	13"/16"	Populus deltoides	Cottonwood	3/3	Remove
13	6"	Populus deltoides	Cottonwood	3/3	Remove
14	10"	Populus deltoides	Cottonwood	3/3	Remove
15	8"	Populus deltoides	Cottonwood	3/3	Remove
16	4"/7"/7"	Populus deltoides	Cottonwood	3/3	Remove
17	11"	Populus deltoides	Cottonwood	3/3	Remove
18	8"	Populus deltoides	Cottonwood	3/3	Remove
19	16"	Populus deltoides	Cottonwood	3/3	Remove
20	6"	Populus deltoides	Cottonwood	3/3	Remove
21	8"/10"	Populus deltoides	Cottonwood	3/3	Remove
22	6"	Populus deltoides	Cottonwood	3/3	Remove
23	13"	Populus deltoides	Cottonwood	3/3	Remove
24	4"/7"/7"	Populus deltoides	Cottonwood	3/3	Remove
25	10"/10"	Populus deltoides	Cottonwood	3/3	Remove
26	5"	Populus deltoides	Cottonwood	3/3	Remove
27	11"	Populus deltoides	Cottonwood	3/3	Remove
28	12"	Populus deltoides	Cottonwood	2/3	Remove
29	9"	Picea pungens glauca	Blue Spruce	3/3	To remain, Off-site
30	10"	Picea pungens glauca	Blue Spruce	3/3	To remain, Off-site
31	11"	Picea pungens glauca	Blue Spruce	3/3	To remain, Off-site
32	10"	Abies concolor	White Fir	2/2	To remain, Off-site
33	8"	Picea pungens glauca	Blue Spruce	3/3	To remain, Off-site
34	9"	Picea abies	Honey Spruce	3/3	To remain, Off-site
35	10"	Picea pungens glauca	Blue Spruce	2/2	To remain, Off-site
36	8"	Picea pungens glauca	Blue Spruce	2/2	To remain, Off-site
37	10"	Populus deltoides	Cottonwood	2/2	To remain, Off-site
38	6"	Picea pungens glauca	Blue Spruce	2/2	To remain, Off-site
38a	15"	Populus deltoides	Cottonwood	3/3	To remain, Off-site
38b	17"/17"	Populus deltoides	Cottonwood	3/3	To remain, Off-site
38c	14"	Populus deltoides	Cottonwood	3/3	Remove
40	13"	Populus deltoides	Cottonwood	3/3	Remove
41	10"/10"	Populus deltoides	Cottonwood	3/3	Remove
42	7"	Populus deltoides	Cottonwood	3/3	Remove
43	11"	Ulmus americana	American Elm	3/3	Remove Off-site
44	22"	Populus deltoides	Cottonwood	3/3	Remove
45	16"/17"	Populus deltoides	Cottonwood	3/3	To remain

Tree Inventory Date: November 1, 2016

**Tree Preservation Notes**

- The owner or his/her designee shall be responsible for construction and maintenance of temporary fencing, or other tree protection measures, to be used during construction.
- The Village of Willowbrook shall be notified of any failure to protect existing trees during construction as existing trees were counted toward the zoning requirement for landscaping.
- Grading and construction equipment shall be forbidden from encroaching within the drip line of a tree.
- No construction activity, movement, and/or placement of equipment or materials or spoils storage shall be permitted within the critical root zone of a protected tree or at any higher location where drainage toward the tree could conceivably affect the health of the tree. No access > 3', additional fill, liquids or construction debris shall be placed within the critical root zone of a protected tree.
- No attachments, fences, wires, other than those approved for bracing, guying or wrapping, shall be attached to trees during the construction period.
- Grade changes shall be allowed under the drip line of any trees designated for preservation only if tree trunks and branches are protected when construction must occur within the drip line areas.



**Tree Protection Fencing**

Model fence posts - Secure fence to posts with wire in minimum two locations.

"Orange Alert" 4' orange plastic safety fence

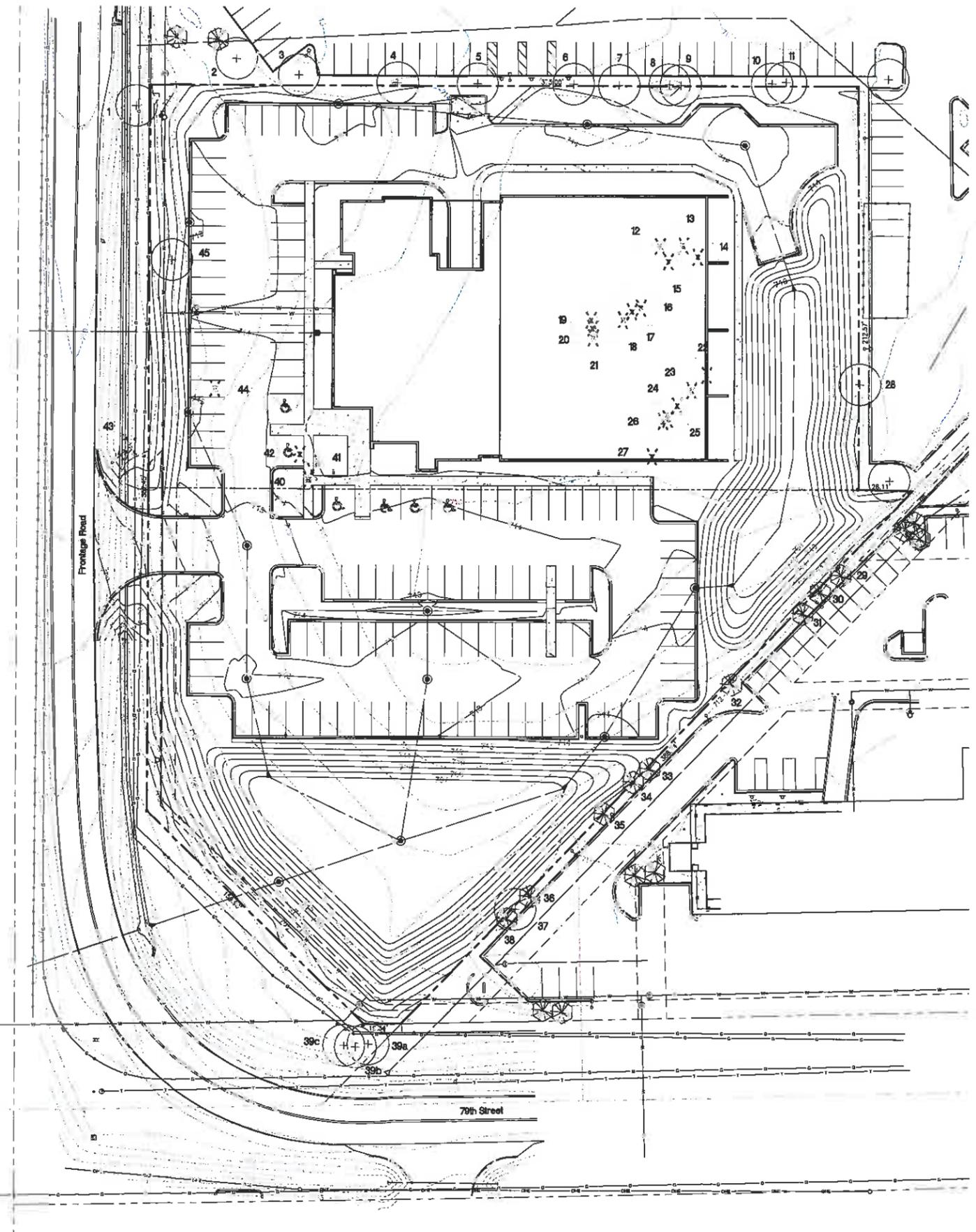
Fence at drip line of existing trees to remain or edge of proposed improvement

NOTE:  
After trees are safety fenced, nothing is to be placed out, cut, pushed, stored, or stacked inside the fence.

Remove protective fence only after all construction work has been finished.

All tree protection fences shall be installed prior to any "in-situ" work.

Robert Morgan Highway / State Route 83



**The Chicago Gun Club**

70th Street & Frontage Road  
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
350 N. Michigan Avenue | 10th Floor, Box 6008  
Chicago, IL 60611 | P 312.281.2024



**Tree Inventory**

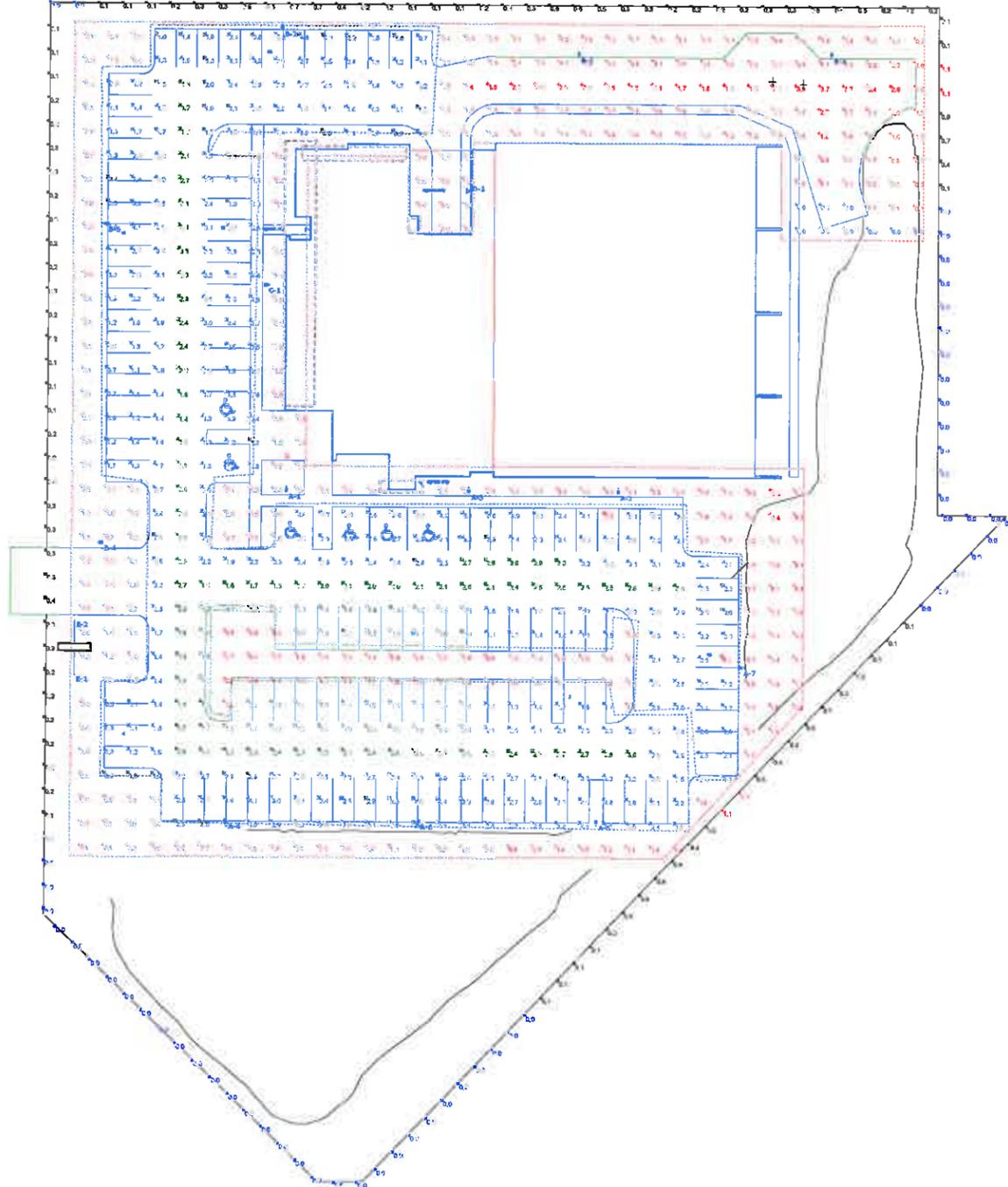
Mark	Description	Date
C	Village Review Comments	03/15/17
S	Site Plan Modification	01/14/17
F	For Review	12/30/16

Number: 42796  
 Date: 11/1/16  
 File: 4389FPA  
 Sheet: L2.0

Item	Code	Quantity	Description	Notes	Unit	Quantity	Unit Price	Total Price
A	7	1	Lithonia Lighting DSX1 LED 60C 700 40K T4H HVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	131.00	131.00
B	5	1	Lithonia Lighting DSX1 LED 60C 700 40K T3H HVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	131.00	131.00
C	1	1	Lithonia Lighting DSX1 LED 60C 700 40K T3H HVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	131.00	131.00
D	1	1	Lithonia Lighting DSX1 LED 10C 10C 530 40K T3H HVOLT	DSX1 LED with 10 LEDs @ 530 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	19.10	19.10
E	2	1	Lithonia Lighting DSX1 LED P2 30K HMF	DSX1 LED P2 30K HMF	LED	1	42.00	42.00

Calc Zone	Area	Perimeter	Volume	Area	Perimeter	Volume
Calc Zone 1800 Area	2,200.00	1,200.00	1,400.00	N/A	N/A	
Calc Zone 1800 Perim Area	2,200.00	1,200.00	1,400.00	2,200.00	1,200.00	1,400.00
Calc Zone 1800 Volume	2,200.00	1,200.00	1,400.00	N/A	N/A	
Calc Zone 1800 Area	2,200.00	1,200.00	1,400.00	2,200.00	1,200.00	1,400.00

Item	Code	Quantity	Description	Notes	Unit	Quantity	Unit Price	Total Price
1	A	22.25	38.00	20.00	180.00	0.00		
2	A	47.75	38.00	20.00	180.00	0.00		
3	A	-15.25	38.00	20.00	180.00	0.00		
4	A	-117.00	-16.00	38.00	0.00	0.00		
5	A	8.00	-102.00	28.00	0.00	0.00		
6	A	-36.00	-102.00	28.00	0.00	0.00		
7	A	101.00	-36.00	28.00	278.00	0.00		
1	B	30.50	221.75	20.00	180.00	0.00		
2	B	-95.00	221.75	20.00	180.00	0.00		
3	B	137.00	221.75	20.00	180.00	0.00		
4	B	-171.00	14.25	20.00	90.00	0.00		
5	D	-176.00	148.00	28.00	90.00	0.00		
1	C	-200.00	122.75	28.00	278.00	0.00		
1	D	-15.25	168.00	15.00	278.00	0.00		
1	E	-280.00	-11.00	0.50	0.00	136.40		
2	E	-180.00	-18.30	0.50	180.00	136.40		



Plan View  
Scale - 1" = 30'

**D-Series Size 1 LED Laminaire**

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

- 100% LED
- 4000K
- 3000lm
- 120V
- 150W
- 1200mm x 600mm
- 1500mm x 600mm
- 1800mm x 600mm
- 2400mm x 600mm
- 3000mm x 600mm
- 3600mm x 600mm
- 4200mm x 600mm
- 4800mm x 600mm
- 5400mm x 600mm
- 6000mm x 600mm
- 6600mm x 600mm
- 7200mm x 600mm
- 7800mm x 600mm
- 8400mm x 600mm
- 9000mm x 600mm
- 9600mm x 600mm
- 10200mm x 600mm
- 10800mm x 600mm
- 11400mm x 600mm
- 12000mm x 600mm
- 12600mm x 600mm
- 13200mm x 600mm
- 13800mm x 600mm
- 14400mm x 600mm
- 15000mm x 600mm
- 15600mm x 600mm
- 16200mm x 600mm
- 16800mm x 600mm
- 17400mm x 600mm
- 18000mm x 600mm
- 18600mm x 600mm
- 19200mm x 600mm
- 19800mm x 600mm
- 20400mm x 600mm
- 21000mm x 600mm
- 21600mm x 600mm
- 22200mm x 600mm
- 22800mm x 600mm
- 23400mm x 600mm
- 24000mm x 600mm
- 24600mm x 600mm
- 25200mm x 600mm
- 25800mm x 600mm
- 26400mm x 600mm
- 27000mm x 600mm
- 27600mm x 600mm
- 28200mm x 600mm
- 28800mm x 600mm
- 29400mm x 600mm
- 30000mm x 600mm

**SSS**

**IMPORTANT**



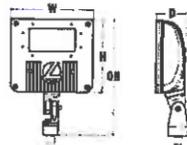
Model	Label	Quantity	Manufacturer	Part Number	Description	Notes	Part Number	Quantity	Part Number	
A	Lithonia Lighting	7	DSXL LED 10C 700 40K T3H MVOLT	DSXL LED with 80 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXL_LED_60C_700_40K_T3H_LV_OUT_1ea	16247	0.95	131
B	Lithonia Lighting	5	DSXL LED 60C 700 40K T3H MVOLT HS	DSXL LED with 80 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSXL_LED_60C_700_40K_T3H_MVOLT_HS_1ea	12726	0.95	131
C	Lithonia Lighting	1	DSXL LED 60C 700 40K T3H MVOLT	DSXL LED with 80 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSXL_LED_60C_700_40K_T3H_MVOLT_1ea	16020	0.95	131
D	Lithonia Lighting	1	DSXW LED 30C 530 40K T3H MVOLT	DSXW LED WITH (1) 10 LED LIGHT ENGINE(S), TYPE T3H OPTIC, 4000K, @ 530mA	LED	1	DSXW_LED_30C_530_40K_T3H_MVOLT_1ea	2159	0.95	19.1
E	Lithonia Lighting	2	DSXF LED P2 30K HMF	DSXF LED P2 30K HMF	LED	1	DSXF_LED_P2_30K_HMF_1ea	Absolute	0.95	42



### D-Series Size 1 LED Flood Luminaire

#### Specifications

EPA:	1.91
Depth:	5.40"
Width:	3.70"
Height:	4.40"
Overall Height:	5.40"
Weight:	1.91 lbs



#### Introduction

The D-Series Size 1 Flood luminaire provides superior performance in a variety of applications with its sleek, minimalist design. It is available with clear or frosted lenses to match your aesthetic. The D-Series Flood luminaire features a built-in chip on board LED technology providing consistent uniformity and low power consumption. The D-Series Flood luminaire is available in a variety of beam spreads to meet your specific application needs. The D-Series Flood luminaire is available in a variety of beam spreads to meet your specific application needs. The D-Series Flood luminaire is available in a variety of beam spreads to meet your specific application needs.

#### Ordering Information

EXAMPLE: DSXF1 LED P1 40K MSP MVOLT/TK DBBXD

#### Part List

Part	Description	Qty	Part	Description	Qty
DSXF1	DSXF LED P1 40K MSP MVOLT/TK DBBXD	1	DSXF1	DSXF LED P1 40K MSP MVOLT/TK DBBXD	1

#### Accessories

DSXF1-ACC-1	DSXF1-ACC-1
-------------	-------------

#### Stock configurations are offered for shorter lead times

DSXF1-ACC-1	DSXF1-ACC-1
-------------	-------------

#### Notes

1. All dimensions are in inches unless otherwise specified.
2. All weights are in pounds unless otherwise specified.
3. All materials are made in the USA unless otherwise specified.
4. All materials are made in the USA unless otherwise specified.
5. All materials are made in the USA unless otherwise specified.
6. All materials are made in the USA unless otherwise specified.
7. All materials are made in the USA unless otherwise specified.



LITHONIA LIGHTING  
10000 W. 100th Street, Suite 100, Overland Park, KS 66204  
800.445.4455 • www.lithonia.com



### D-Series Size 1 LED Area Luminaire

#### Specifications

EPA:	1.91
Length:	5.40"
Width:	3.70"
Height:	4.40"
Overall Height:	5.40"
Weight:	1.91 lbs



#### Introduction

The modern styling of the D-Series is striking and innovative - making a bold, progressive statement, even in the most semialtim with its sleek design. The D-Series is the benefit of the latest in LED technology into a high performance, high efficiency long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 150W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and an expected service life of over 100,000 hours.

#### Ordering Information

EXAMPLE: DSXL1 LED 60C 1000 40K T3H MVOLT SPA DBBXD

Part	Description	Qty	Part	Description	Qty
DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1	DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1

#### Part List

Part	Description	Qty	Part	Description	Qty
DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1	DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1

#### Accessories

DSXL1-ACC-1	DSXL1-ACC-1
-------------	-------------

#### Controls & Shields

DSXL1-ACC-1	DSXL1-ACC-1
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LITHONIA LIGHTING  
10000 W. 100th Street, Suite 100, Overland Park, KS 66204  
800.445.4455 • www.lithonia.com



#### FEATURES & SPECIFICATIONS

**Introduction**  
The modern styling of the D-Series is striking and innovative - making a bold, progressive statement, even in the most semialtim with its sleek design. The D-Series is the benefit of the latest in LED technology into a high performance, high efficiency long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 150W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and an expected service life of over 100,000 hours.

Part	Quantity
DSXL1	1



#### Ordering Information

Part	Description	Qty	Part	Description	Qty
DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1	DSXL1	DSXL LED 60C 1000 40K T3H MVOLT SPA DBBXD	1

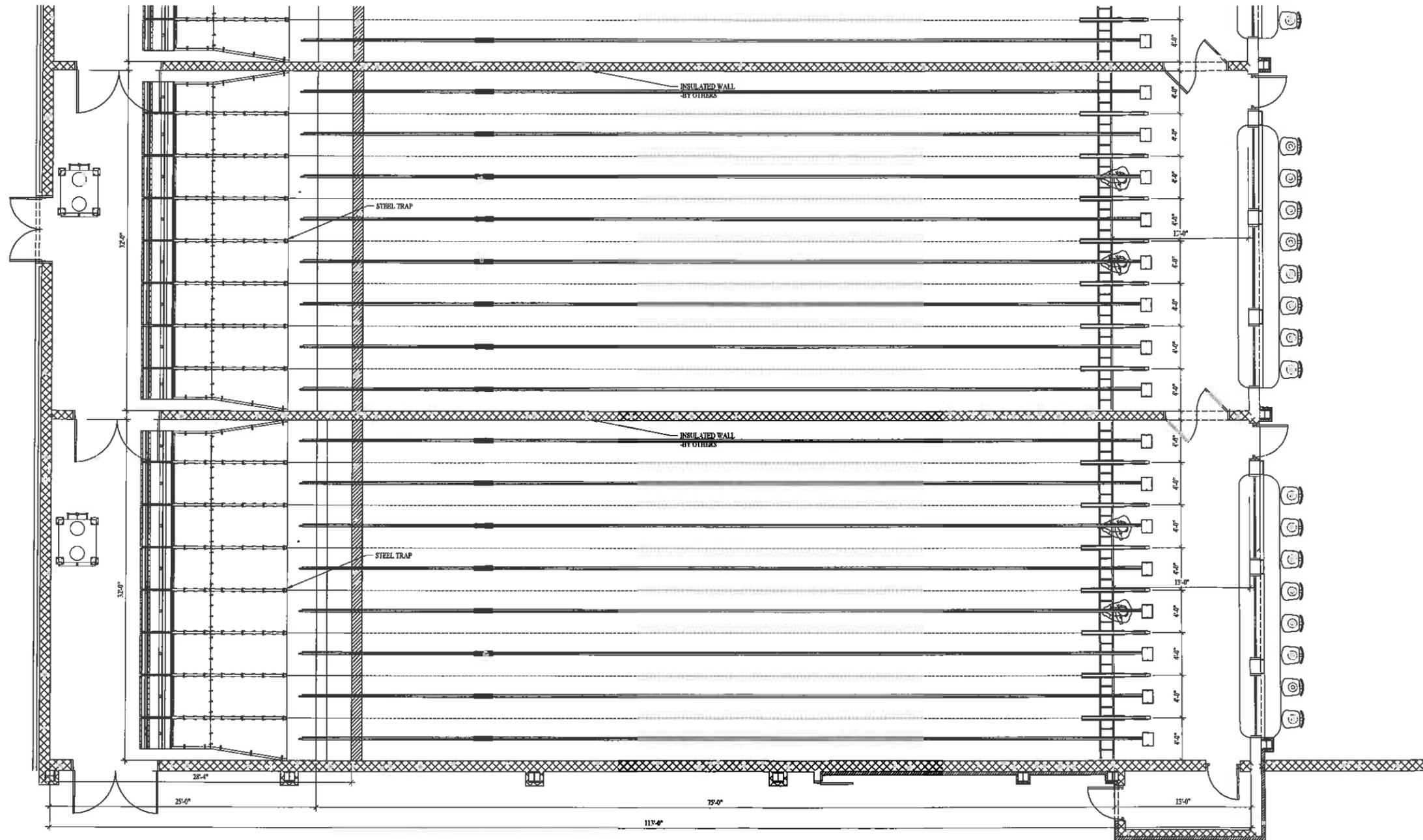
07008

07008

PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
 DRAWING NO: 1002-01  
 DATE: 10/10/17  
 SCALE: AS SHOWN

PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
 DRAWING NO: 1002-01  
 DATE: 10/10/17  
 SCALE: AS SHOWN

**01 OVERALL PLAN**



**FUSION TARGETS**  
 RANGE EQUIPMENT  
 FUSION TARGET, INC.  
 196 S. 112th St.  
 Channahon, IL 61018

**Chicago Gun Club  
 Shooting Range**

**OWNER'S CONSULTANT**  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP  
**OWNER'S CONSULTANT**  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP

**INTERIM REVIEW ONLY**  
 These comments are for review only and are not intended for final design. All changes must be approved by the consultant.

KEY PLAN

REVISION  
 \_\_\_\_\_  
 \_\_\_\_\_  
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FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**  
 SCALE

SHEET TITLE  
**RANGE PLAN**

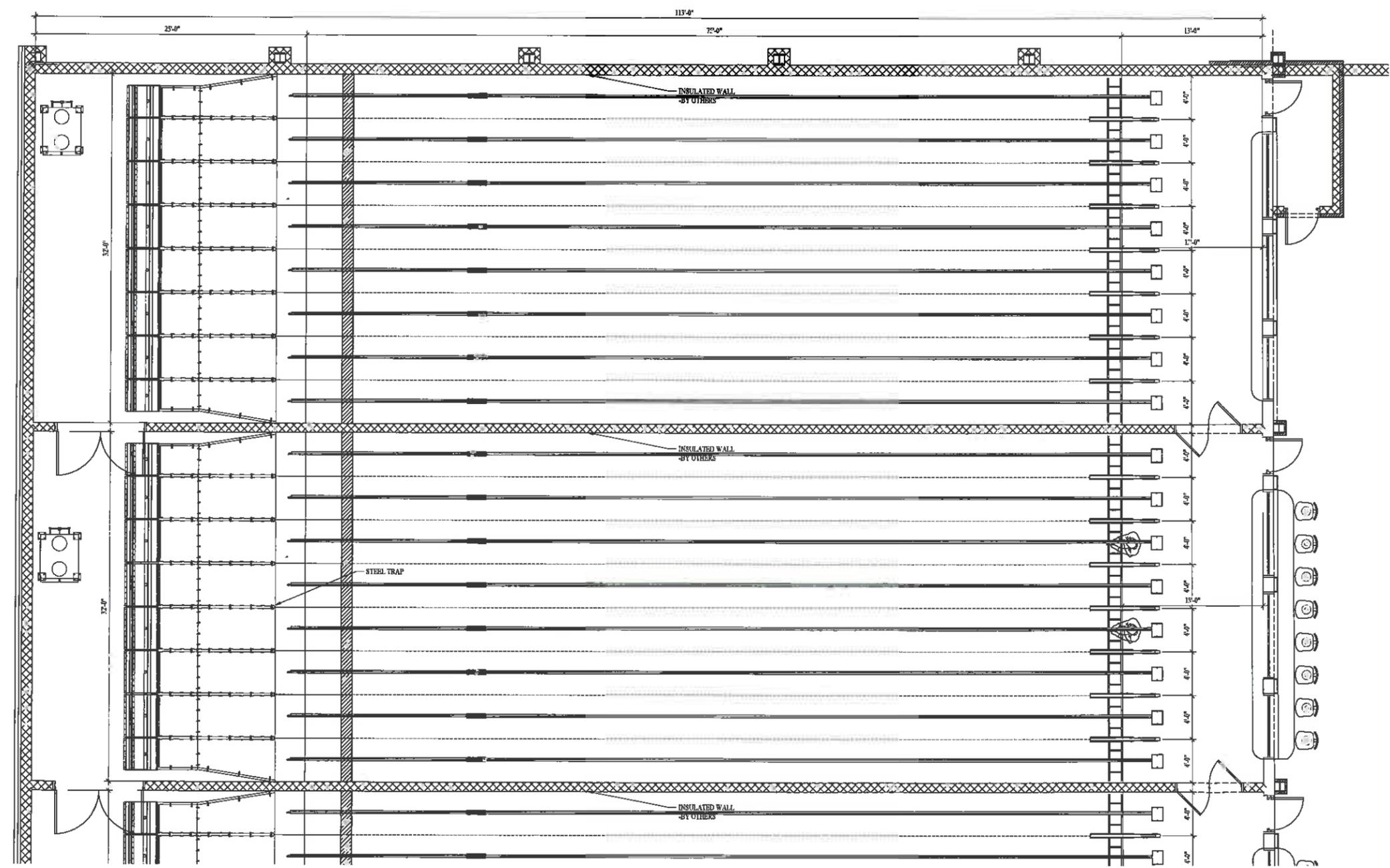
SHEET NO

**A1.01**

PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
 SHEET NO: A1.21  
 DATE: 03/10/2017  
 DRAWN BY: J. W. [unreadable]  
 CHECKED BY: [unreadable]

DATE: 03/10/2017  
 FILE NAME: [unreadable]  
 REF: [unreadable]

**01 OVERALL PLAN**  
 1/8" = 1'-0"



**FUSION TARGETS**  
 RANGE EQUIPMENT  
 1137 C 148  
 Orem, Utah 84058

# Chicago Gun Club Shooting Range

**OWNER'S CONSULTANT**  
 CONSULTANT NAME:  
 ADDRESS:  
 CITY, STATE, ZIP:

**OWNER'S CONSULTANT**  
 CONSULTANT NAME:  
 ADDRESS:  
 CITY, STATE, ZIP:

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FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

SHEET TITLE  
**RANGE PLAN**

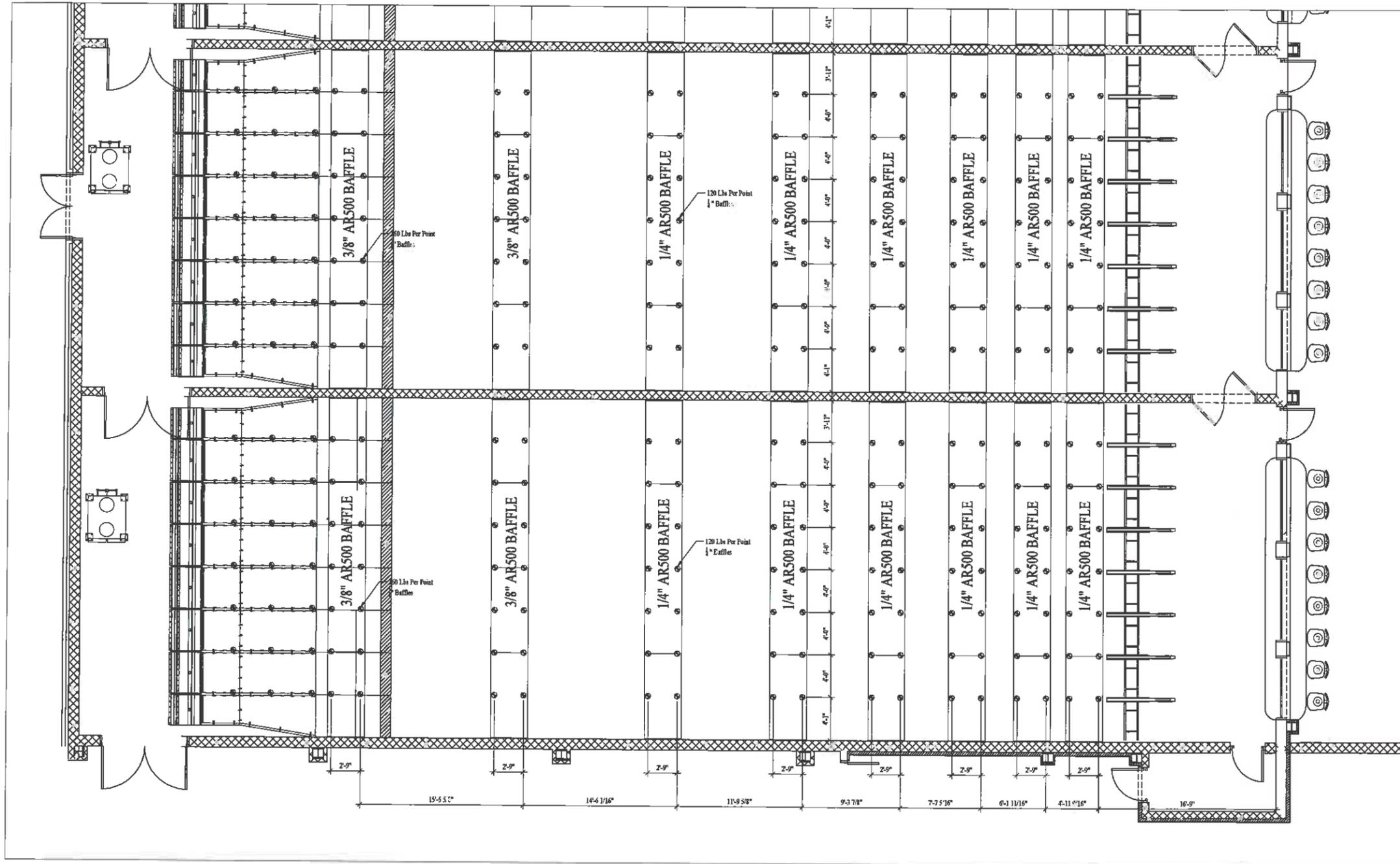
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**A1.21**

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PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
 SHEET: 01 OVERALL PLAN  
 DATE: MAR 10 2017

**01 OVERALL PLAN**  
 1/8" = 1'-0"



# FUSION TARGETS



RANGE EQUIPMENT  
 713-841-7400  
 1157 S 141st  
 PAUL, IA 50457

## Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP

OWNER'S CONSULTANT  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP

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KEY PLAN

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FUSION TARGETS PROJECT NUMBER: 1002

DATE  
**MAR. 10, 2017**

FILE

SHEET TITLE

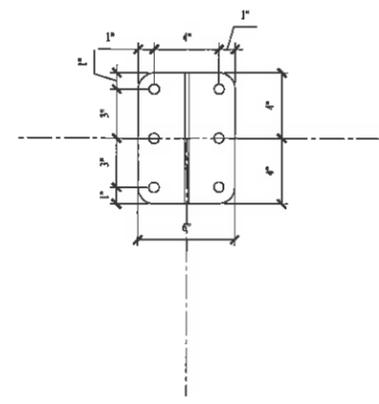
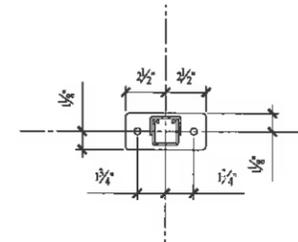
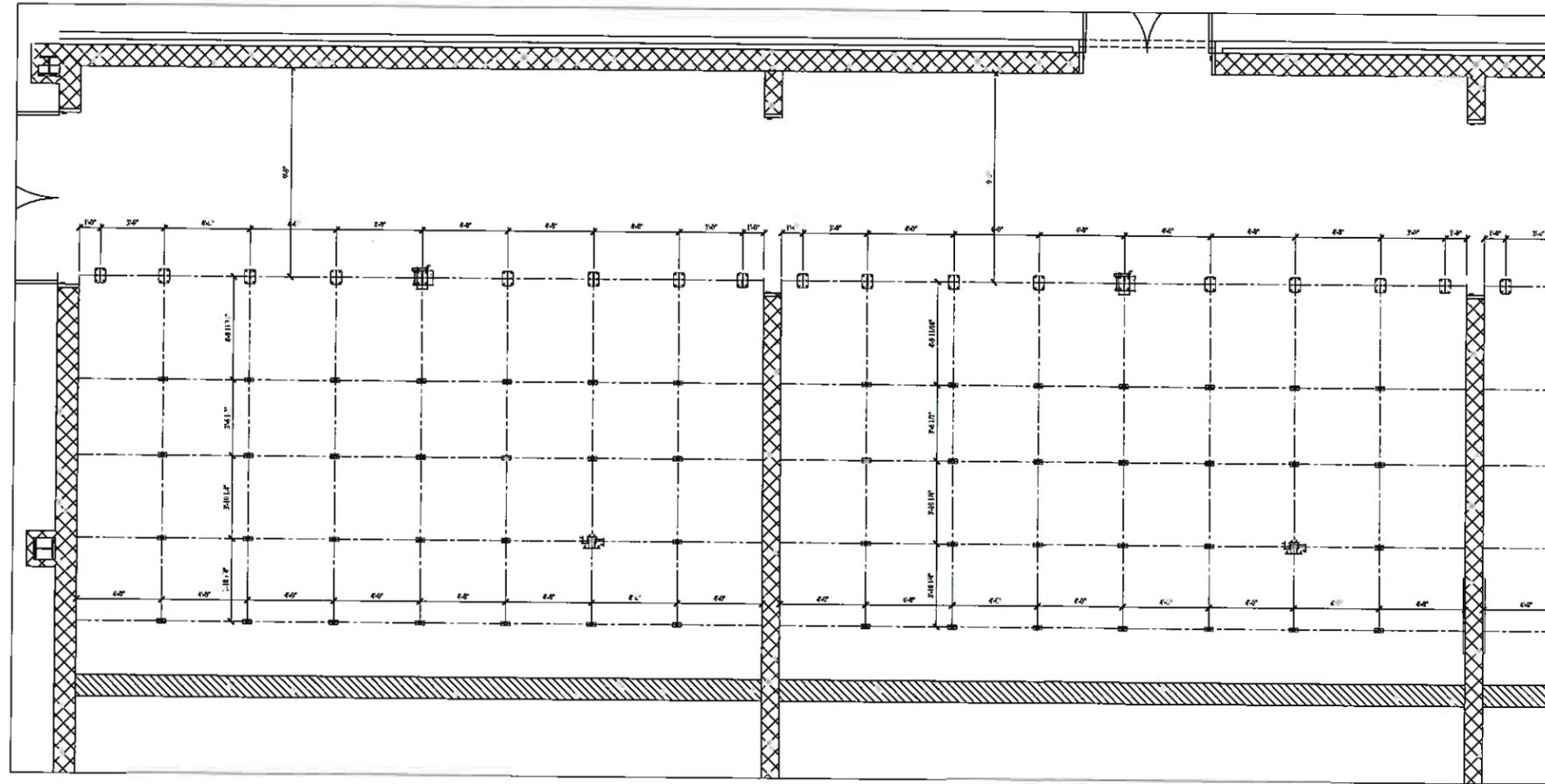
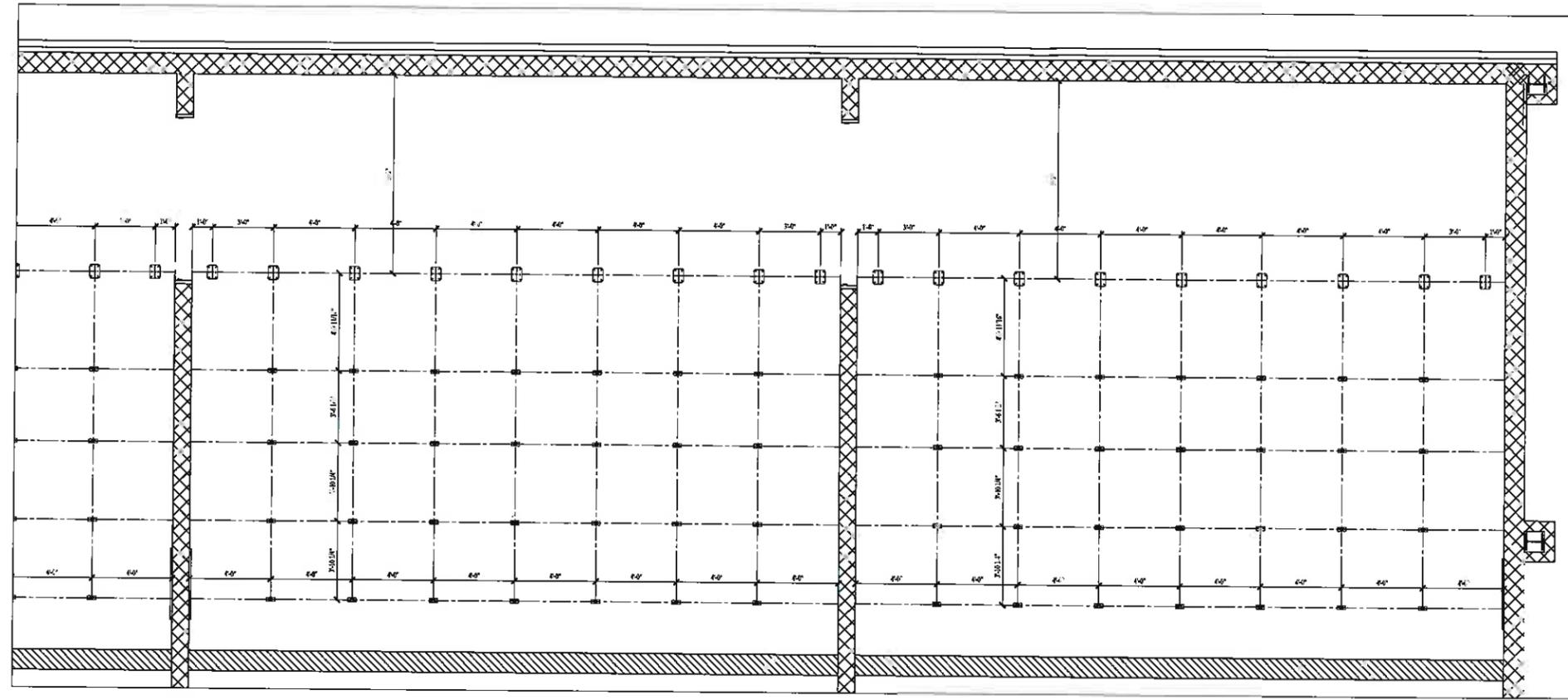
**RANGE PLAN**

SHEET NO.

**A1.02**



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 FILE NAME: \_\_\_\_\_ FILE DATE: \_\_\_\_\_ XREF: \_\_\_\_\_



RANGE EQUIPMENT  
 FUSION TARGETS INC.  
 1111 S. 1000 W.  
 CARMICHAEL, UTAH 84302

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP

OWNER'S CONSULTANT  
 CONSULTANT NAME  
 ADDRESS  
 CITY, STATE, ZIP

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 or any other purpose without the express  
 written consent of the consultant.  
 Project No. \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Consultant: \_\_\_\_\_

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

ISSUE

SHEET TITLE

**TRAP FOOTPRINT**

SHEET NO.

**A1.03**

**01 OVERALL PLAN**  
1/8" = 1'-0"

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
ARCHITECT  
PLANNING  
ENGINEERING

OWNER'S CONSULTANT  
ARCHITECT  
PLANNING  
ENGINEERING

INTERIM REVISION ONLY  
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NO. 4  
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NO. 50

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER  
4602

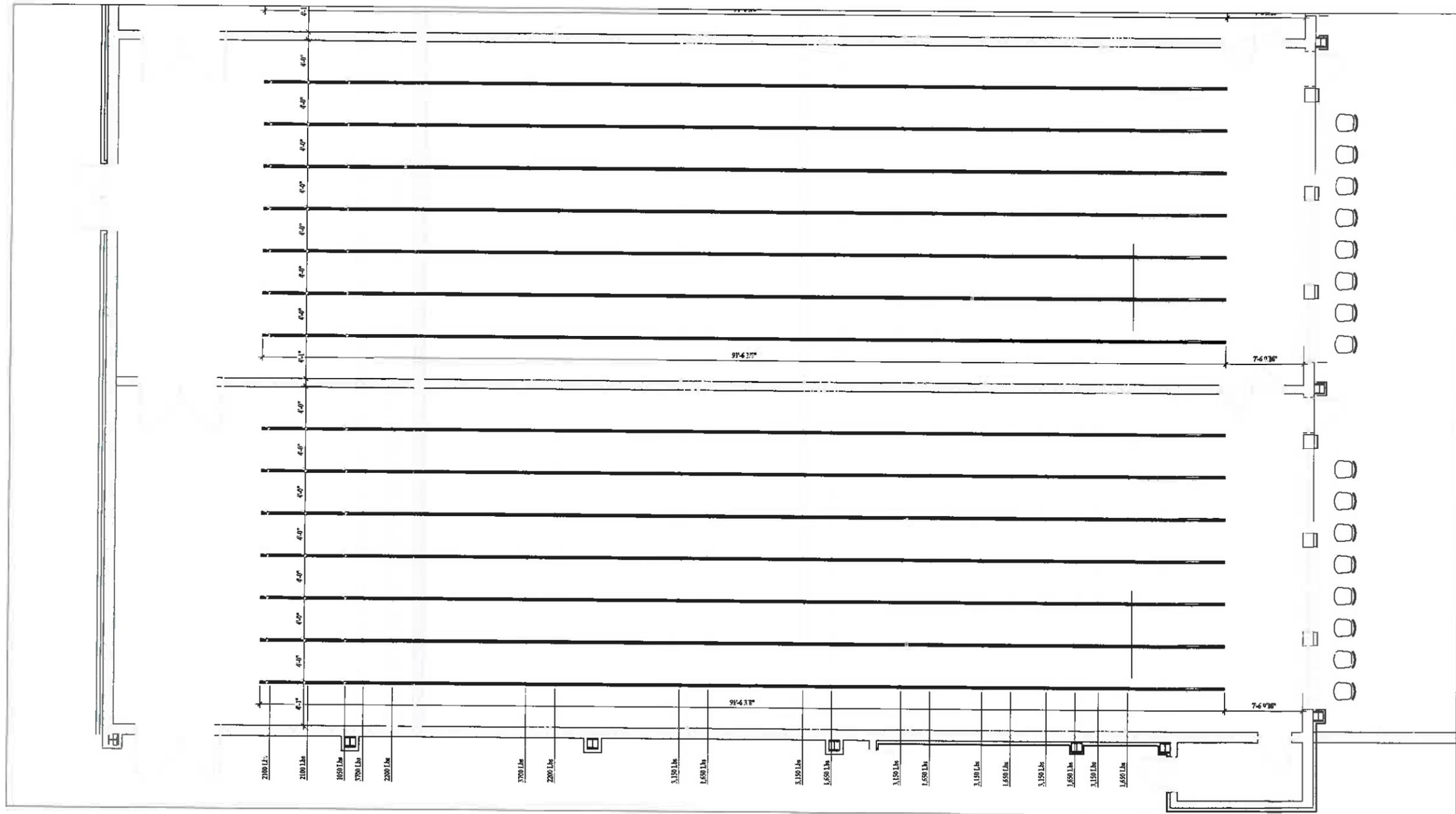
DATE  
MAY 10, 2011

ISSUE

SHEET TITLE

RANGE ANGLE PLAN

A1.04



01 OVERALL PLAN

DATE: 05/10/11  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
PROJECT: Chicago Gun Club Shooting Range

NO. OF SHEETS: 1  
SHEET NO.: 1

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
CHICAGO  
2011

ENGINEER'S CONSULTANT  
CHICAGO  
2011

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KEY PLAN

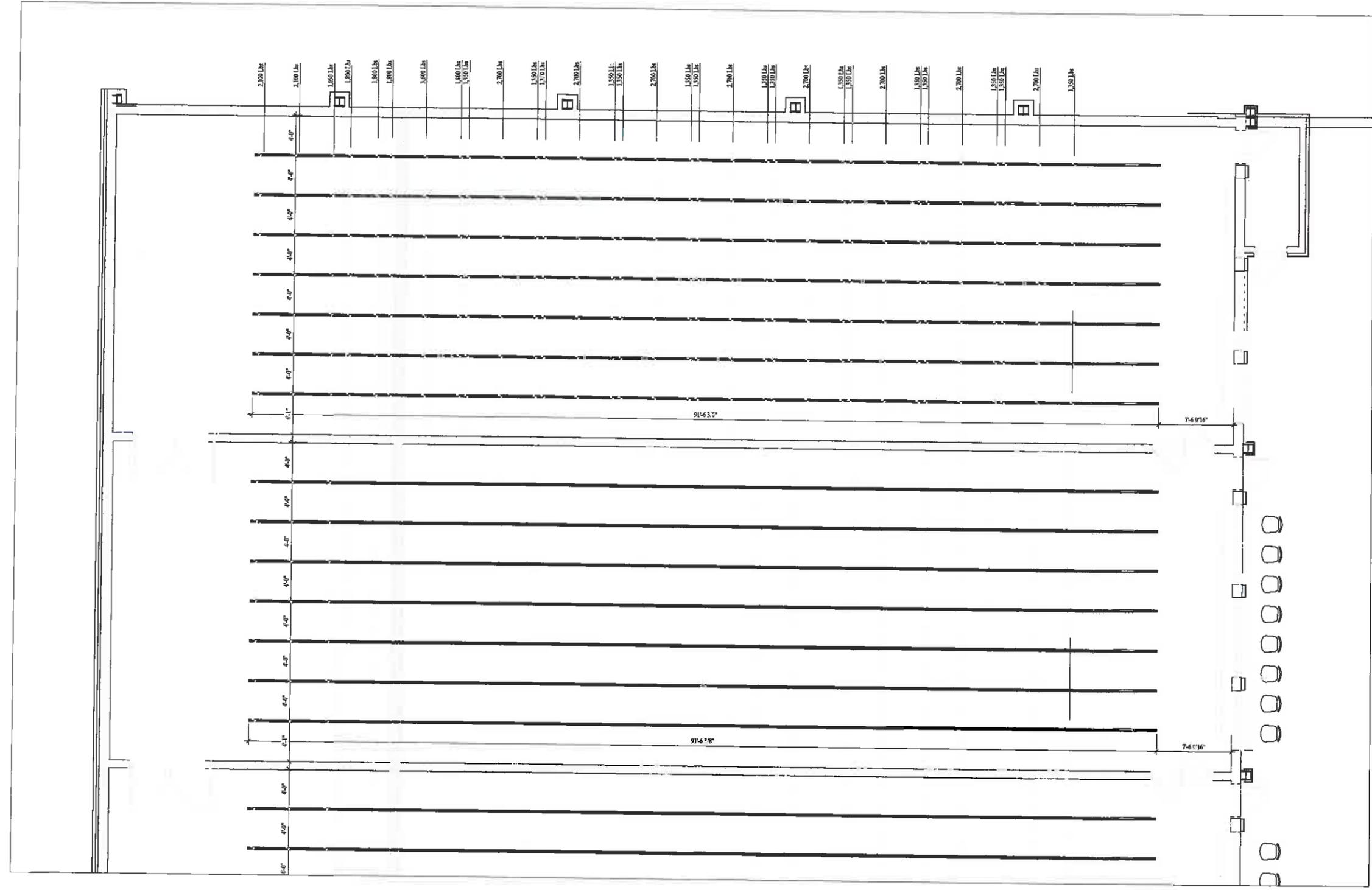
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FUSION TARGETS: PROJECT NUMBER  
**1002**

DATE  
MAY 10, 2011

ISSUE

SHEET TITLE  
RANGE ANGLE PLAN



PROJ: 1002  
SHEET: A1.24  
DATE: 05/10/11  
SCALE: AS SHOWN  
OVERALL PLAN



RANGE EQUIPMENT  
PLAN TARGETS IN  
1/4" = 1'-0"  
DATE: 03/10/2017

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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KEY PLAN

REVISION	DATE	BY

FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

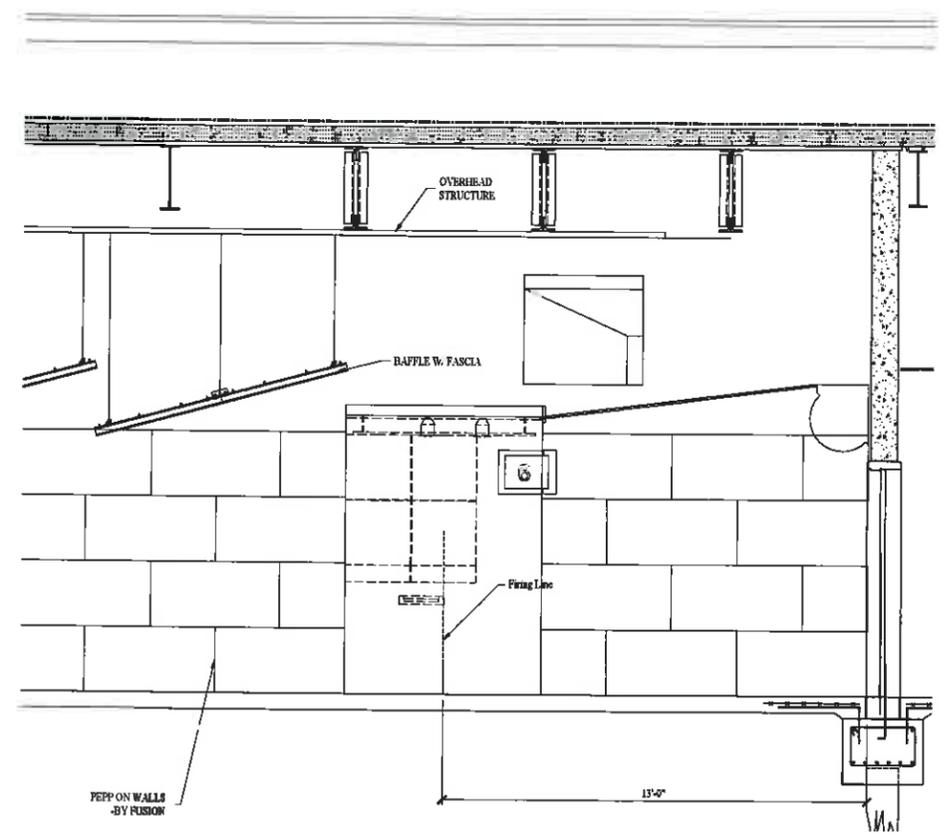
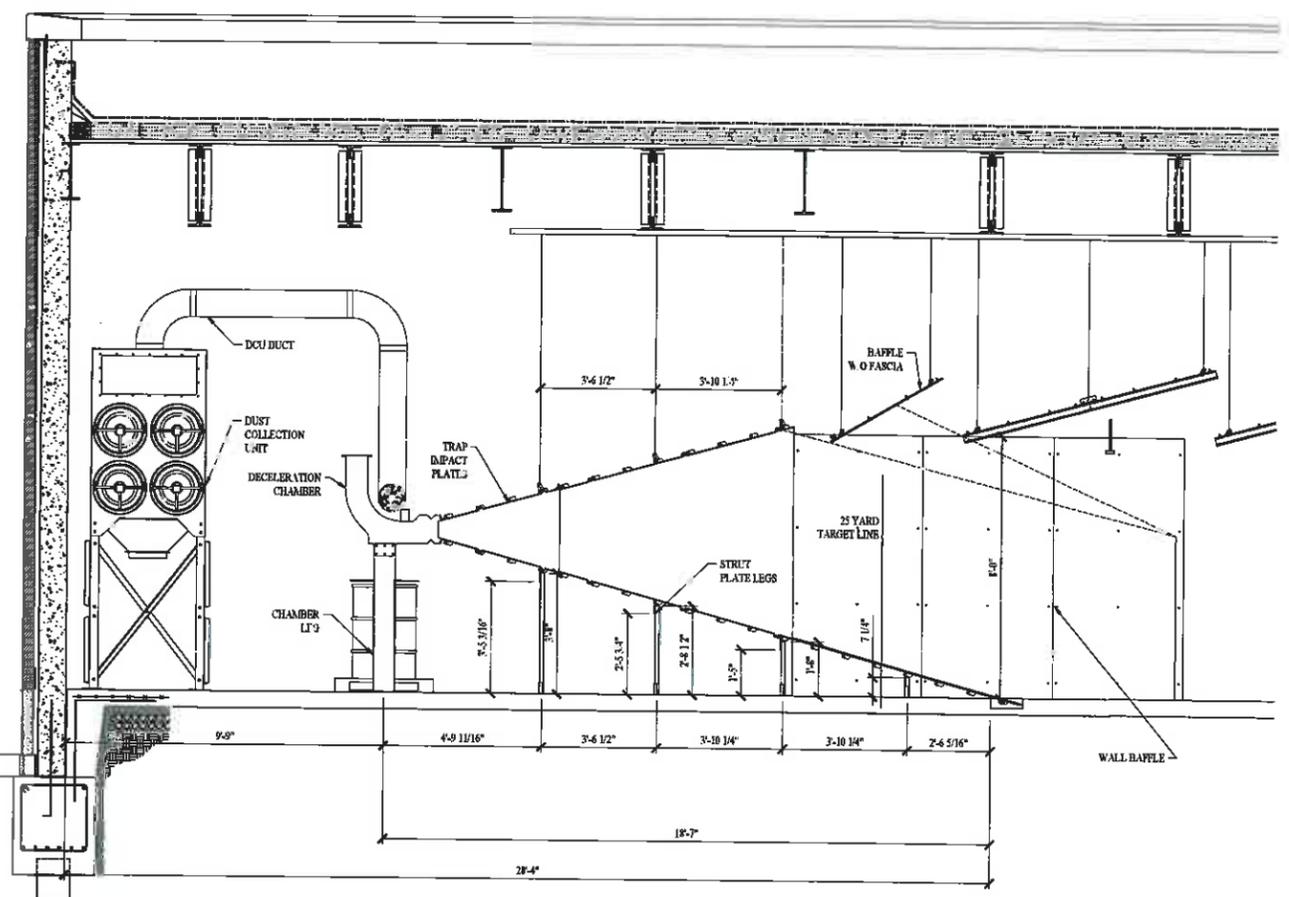
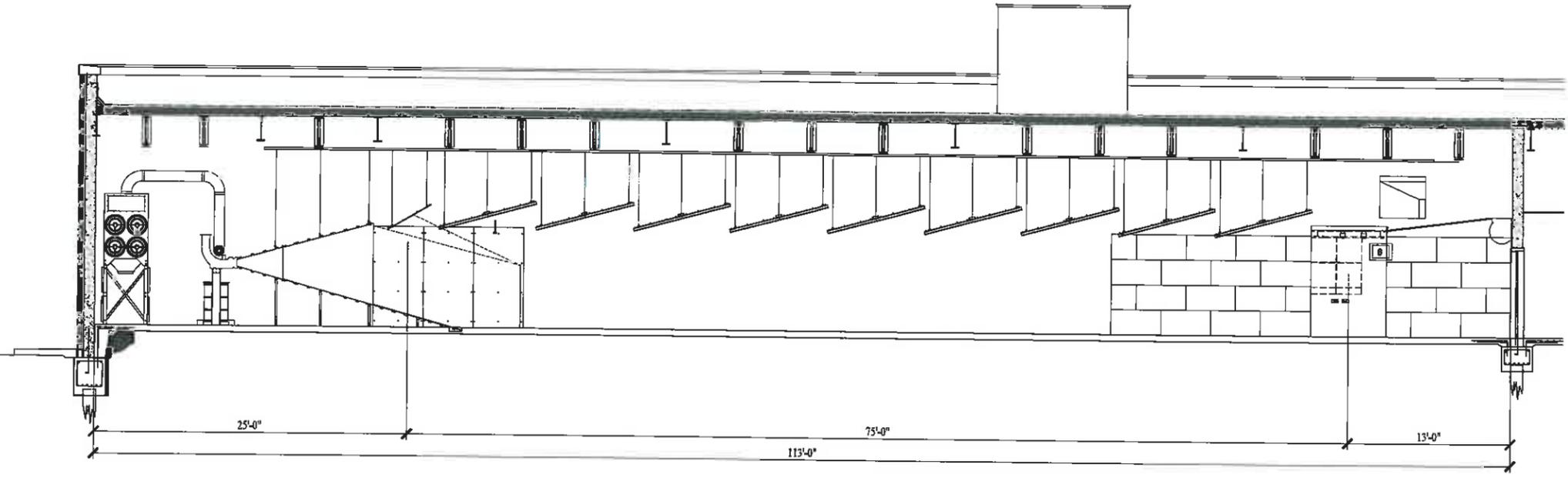
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SHEET TITLE

**RANGE SECTION**

SHEET NO

**A2.21**



01 OVERALL PLAN  
1/8" = 1'-0"

DATE: 03/10/2017  
TIME: 10:00 AM  
USER: J. B. BROWN  
PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
SHEET: A2.21

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

SCALE

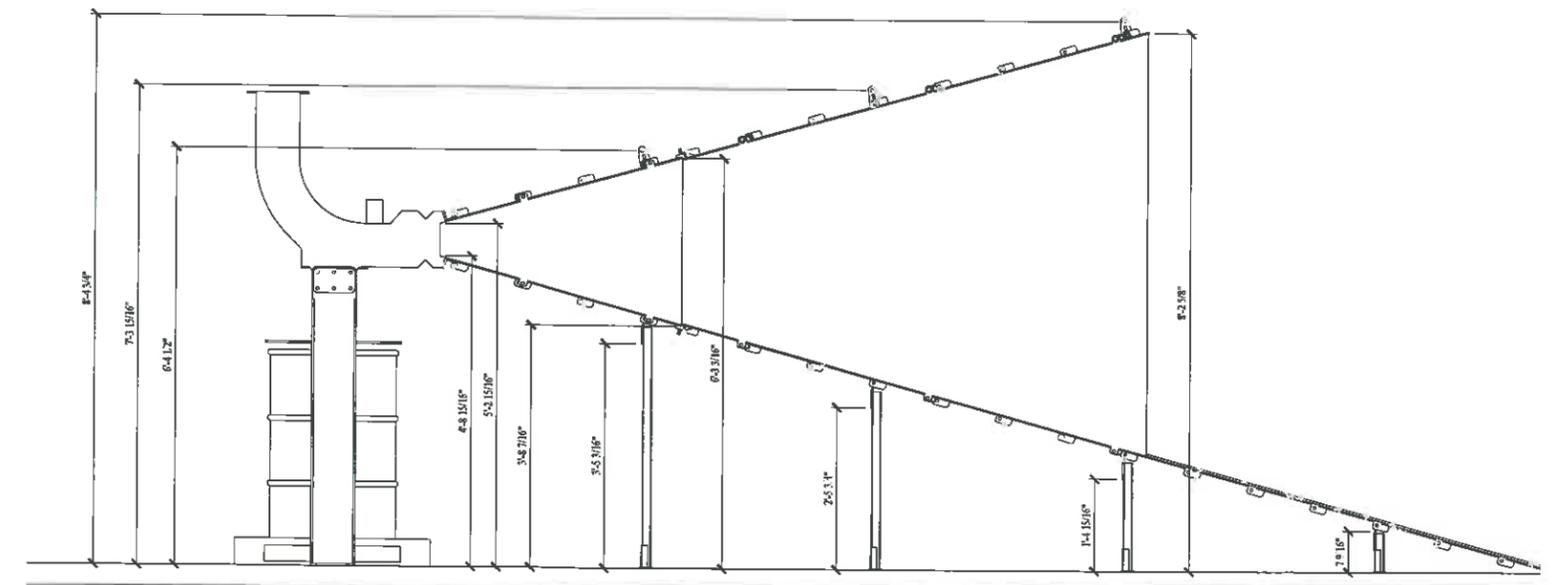
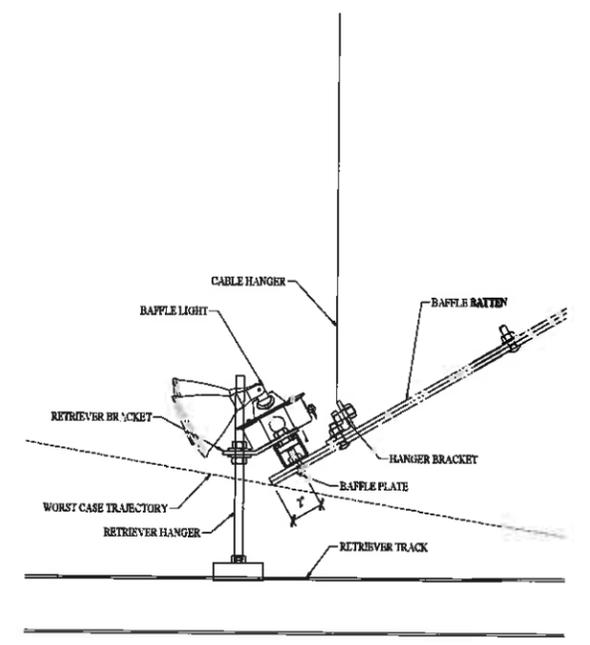
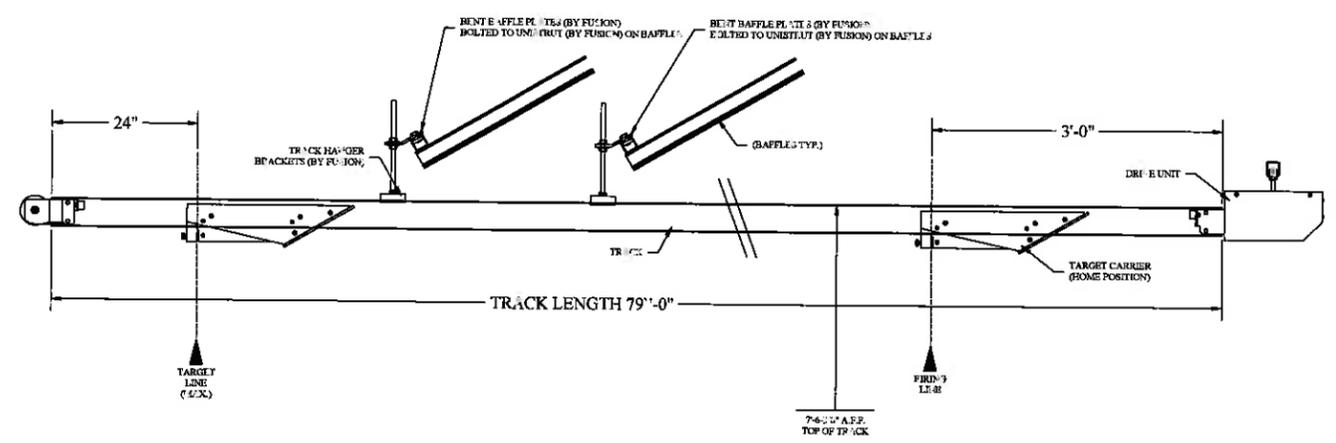
SHEET TITLE

**RANGE DETAILS**

SHEET NO

**A2.02**

NOTE: SPACING BETWEEN TRACK HANGING POINTS MULTIPLY BY 12'-0"



FUSION TARGETS, INC. 187 S 14th St, Orem, UT 84058  
 PHONE: 801-225-1111 FAX: 801-225-1112  
 WWW.FUSIONTARGETS.COM  
 DATE: MAR 10 2017  
 TIME: 10:00 AM

PLOT DATE: \_\_\_\_\_ FILE NAME: \_\_\_\_\_ FILE DATE: \_\_\_\_\_ XREFS: \_\_\_\_\_  
**01 OVERALL PLAN**  
 1/2" = 1'-0"

RANGE EQUIPMENT  
FUSION TARGETS, INC.  
1157 N. 141 W.  
Orem, Utah 84057

## Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
COUNTY NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
COUNTY NAME  
ADDRESS  
CITY, STATE, ZIP

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Date: \_\_\_\_\_

KEY PLAN

REVISION


FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

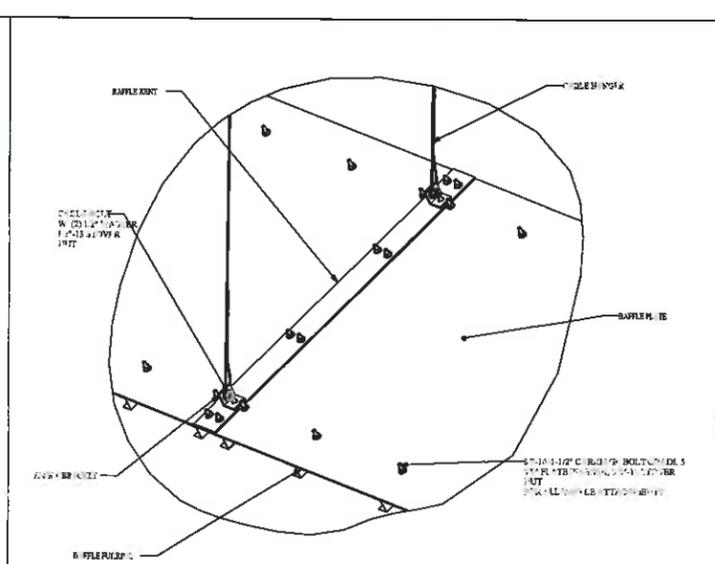
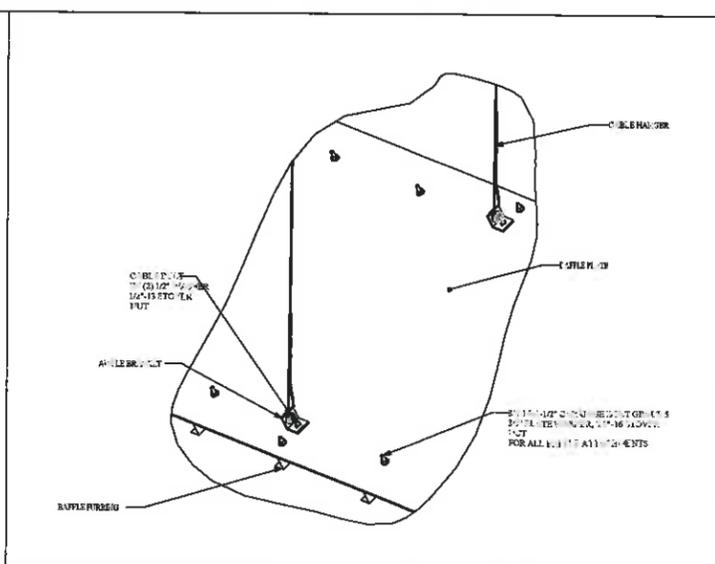
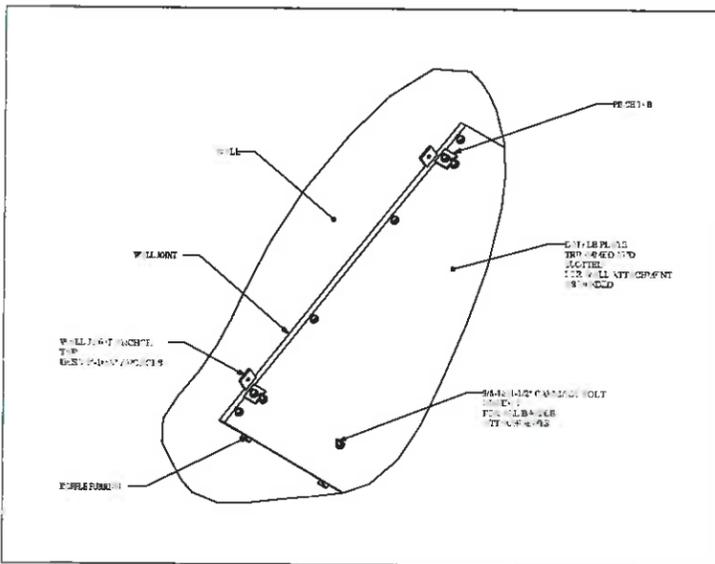
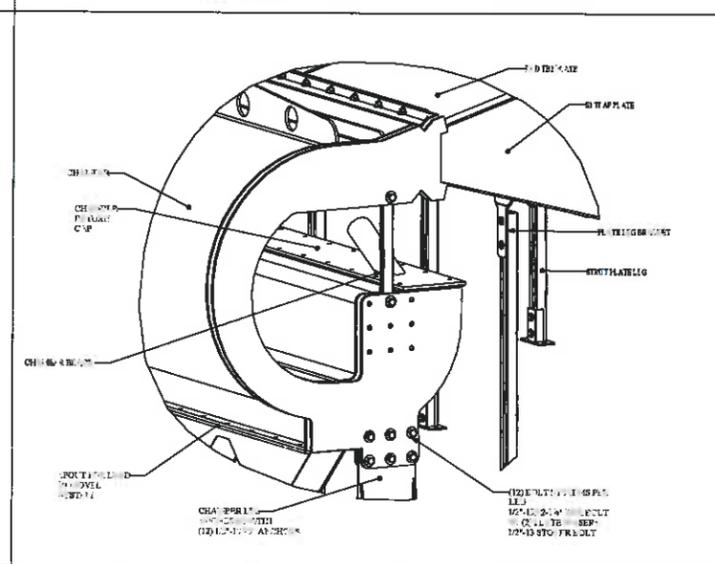
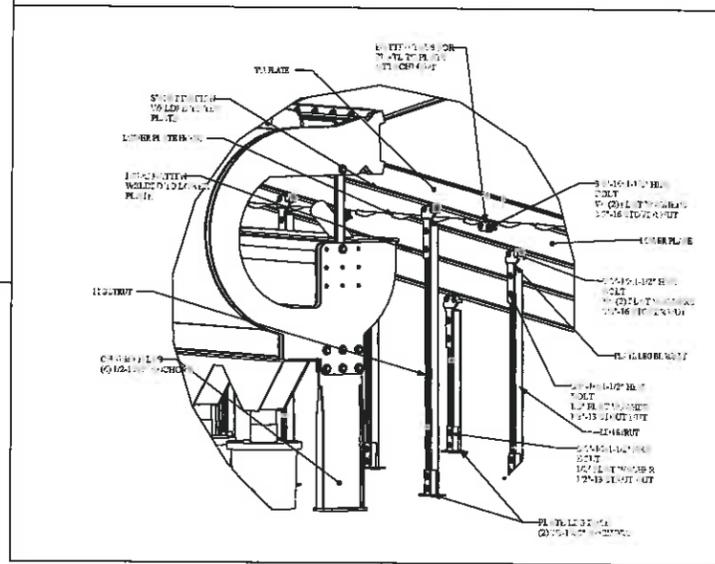
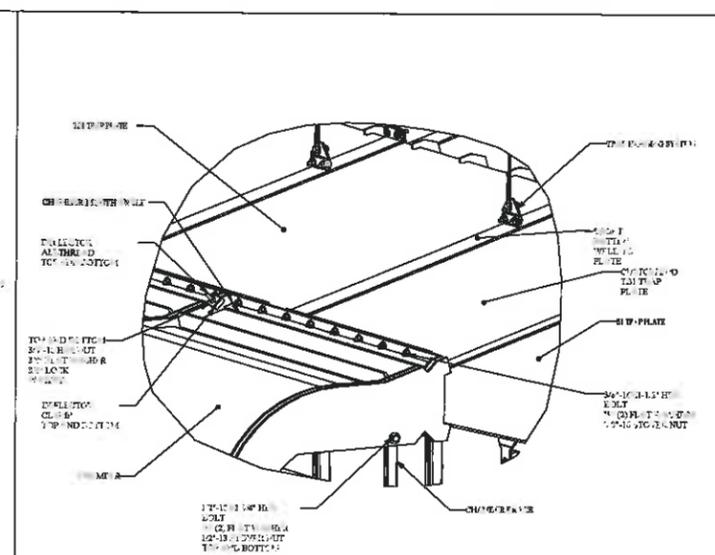
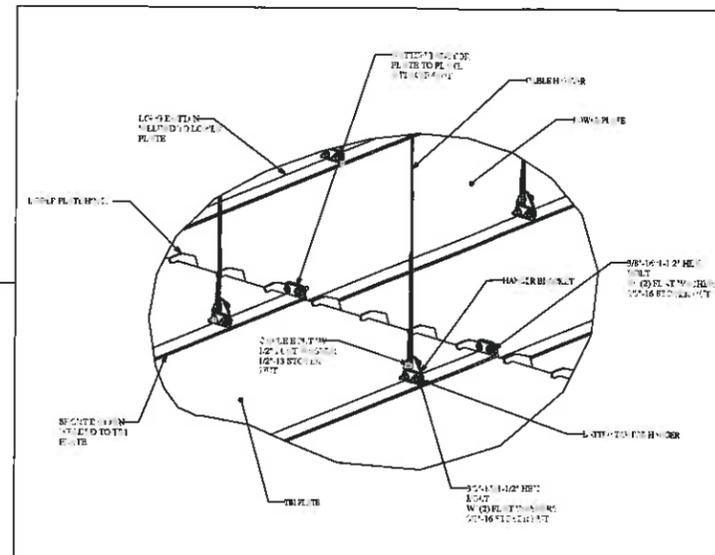
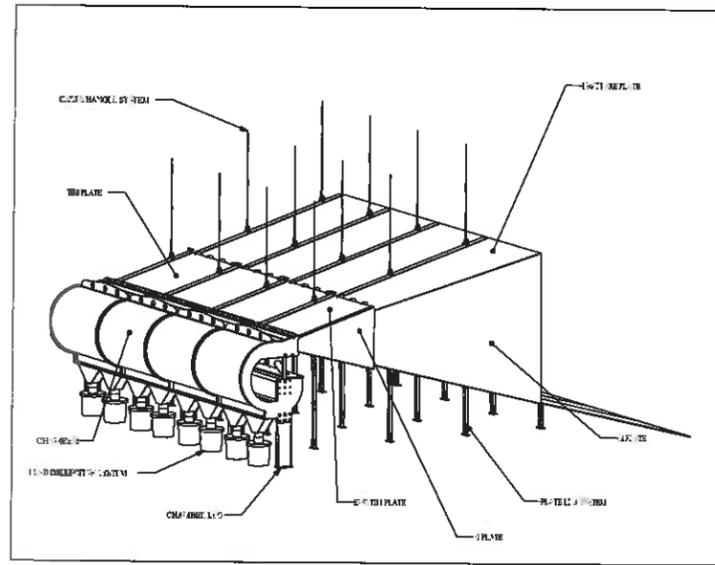
FILE NO.

SHEET TITLE

**RANGE DETAILS**

SHEET NO.

**A2.03**



PROJECT DATE: \_\_\_\_\_  
FILE NAME: \_\_\_\_\_  
SHEET: \_\_\_\_\_

RANGE EQUIPMENT  
FUSION TARGETS INT.  
1187 S. 140th  
Orem, Utah 84057

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

**INTERIM REVIEW ONLY**  
These documents are preliminary, and are not intended for construction purposes, or for use in any other manner, and are not intended to constitute approval, or any other form of approval, or any other form of approval, or any other form of approval.

KEY PLAN:

NO. ISSUED:

FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

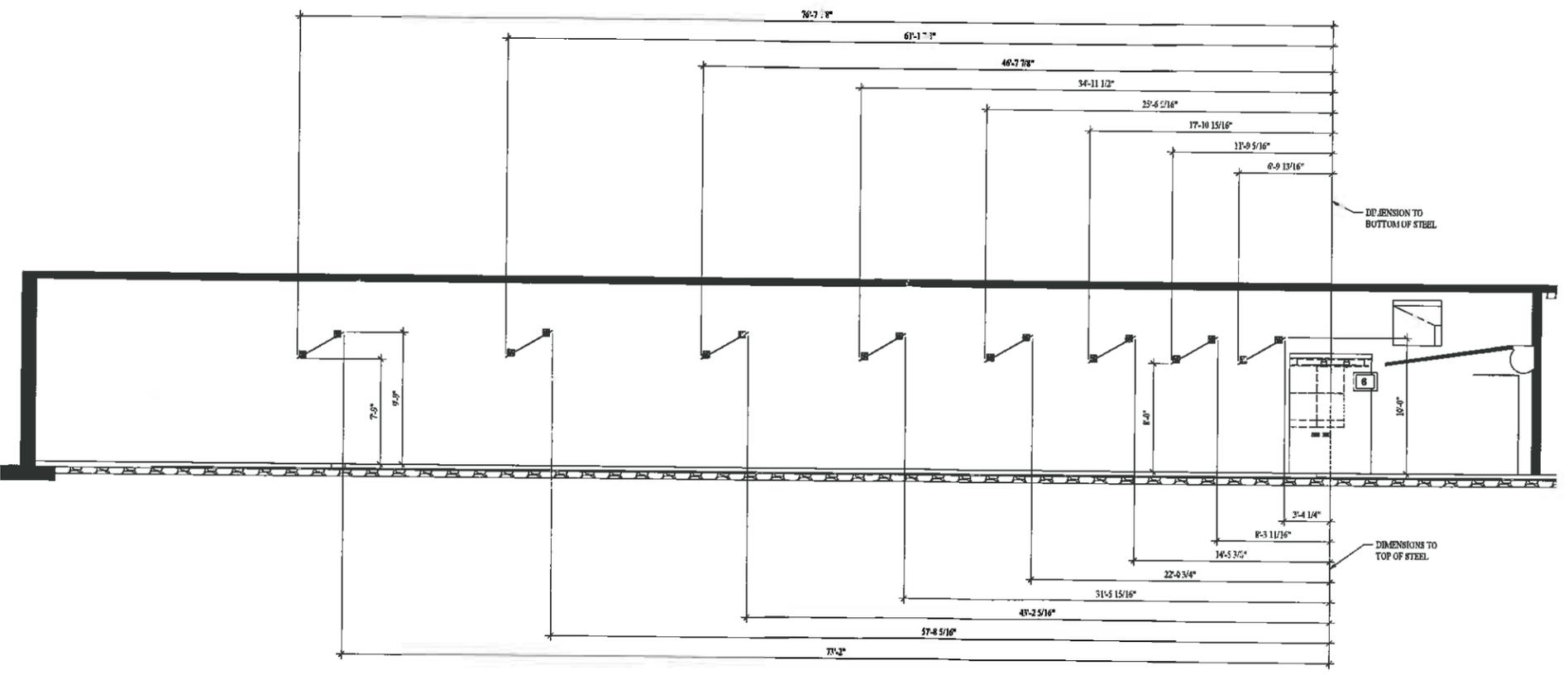
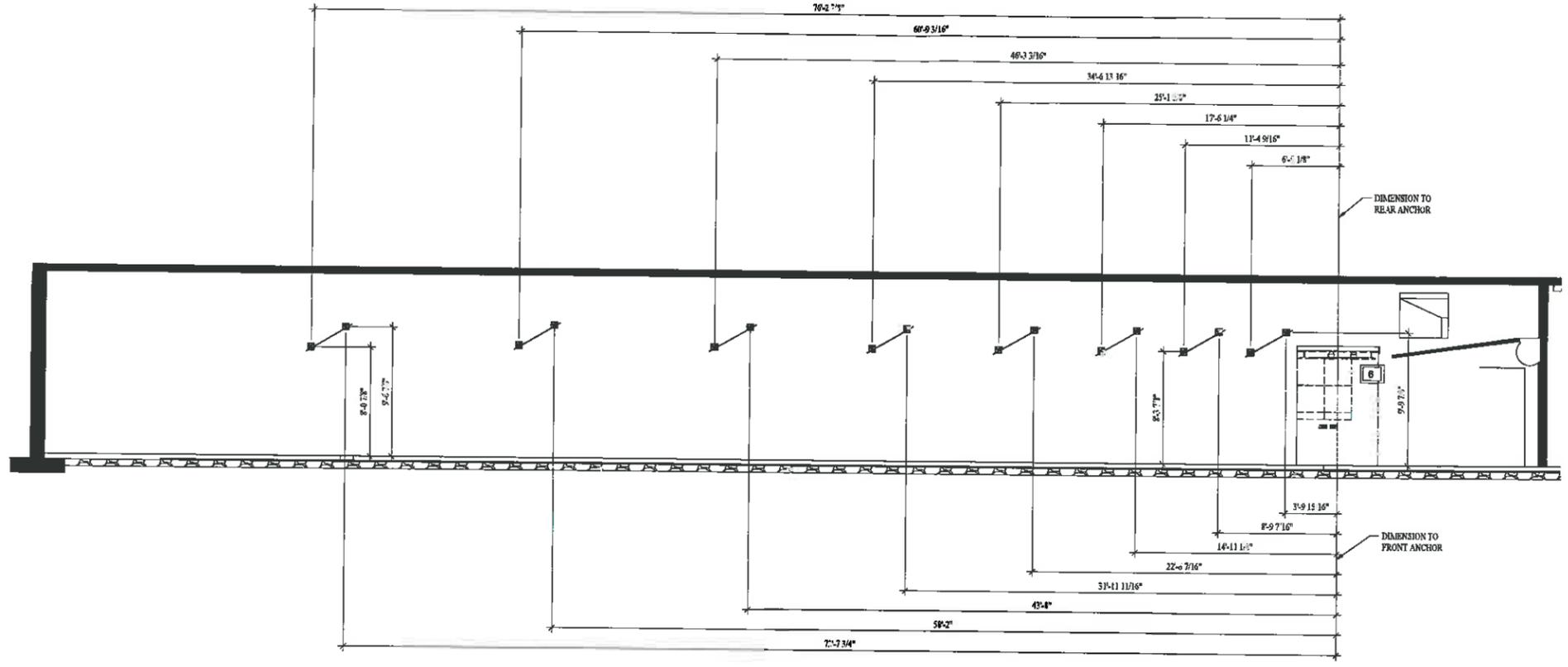
SCALE

SHEET TITLE

**RANGE SECTION**

SHEET NO.

**A2.04**



**01 OVERALL PLAN**  
1/2" = 1'-0"

PROJECT NAME: CHICAGO GUN CLUB SHOOTING RANGE  
PROJECT DATE: MAR 10 2017  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN  
DATE: 03/10/17

RANGE EQUIPMENT  
FUSION TARGETS INC.  
1167 S 1100 W  
OFA, UT 84043

**Chicago Gun Club  
Shooting Range**

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

**INTERIM REVIEW ONLY**  
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KEY PLAN

REVISIONS

FUSION TARGETS PROJECT NUMBER  
**1002**

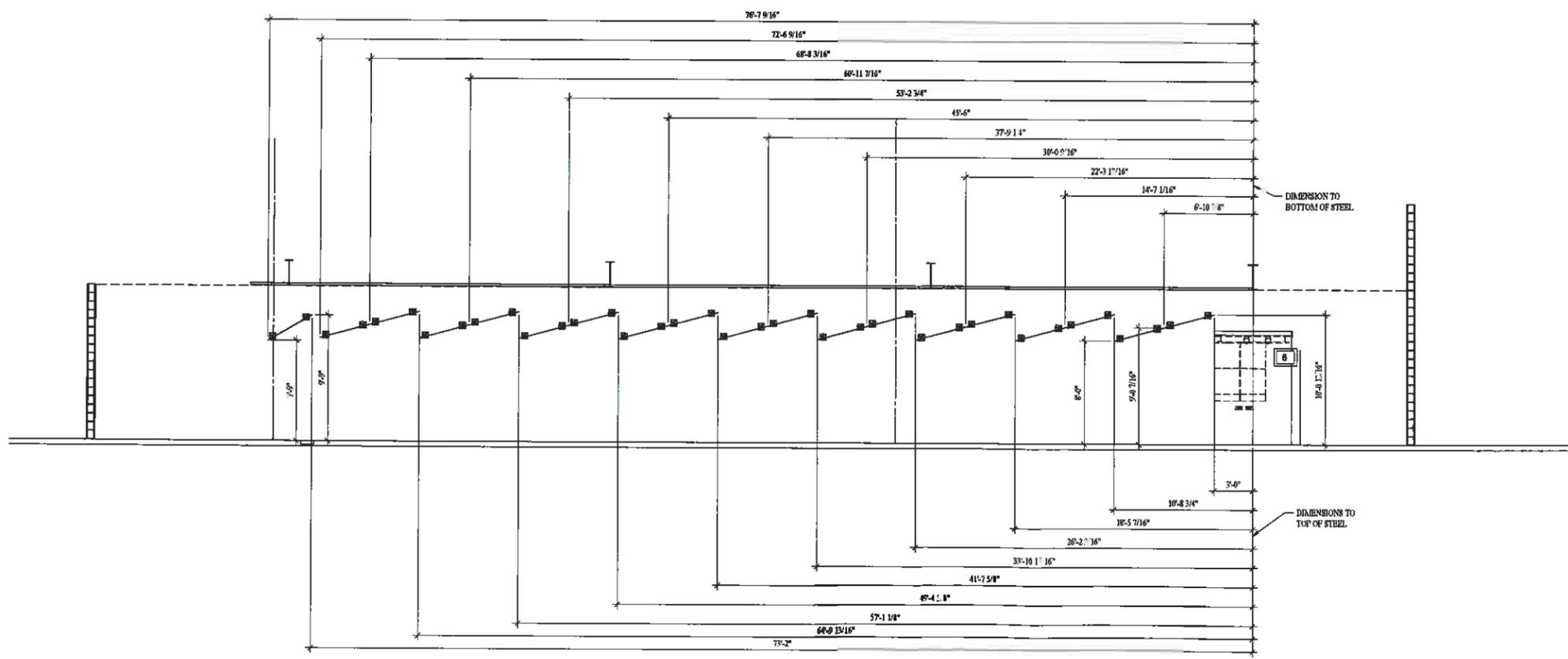
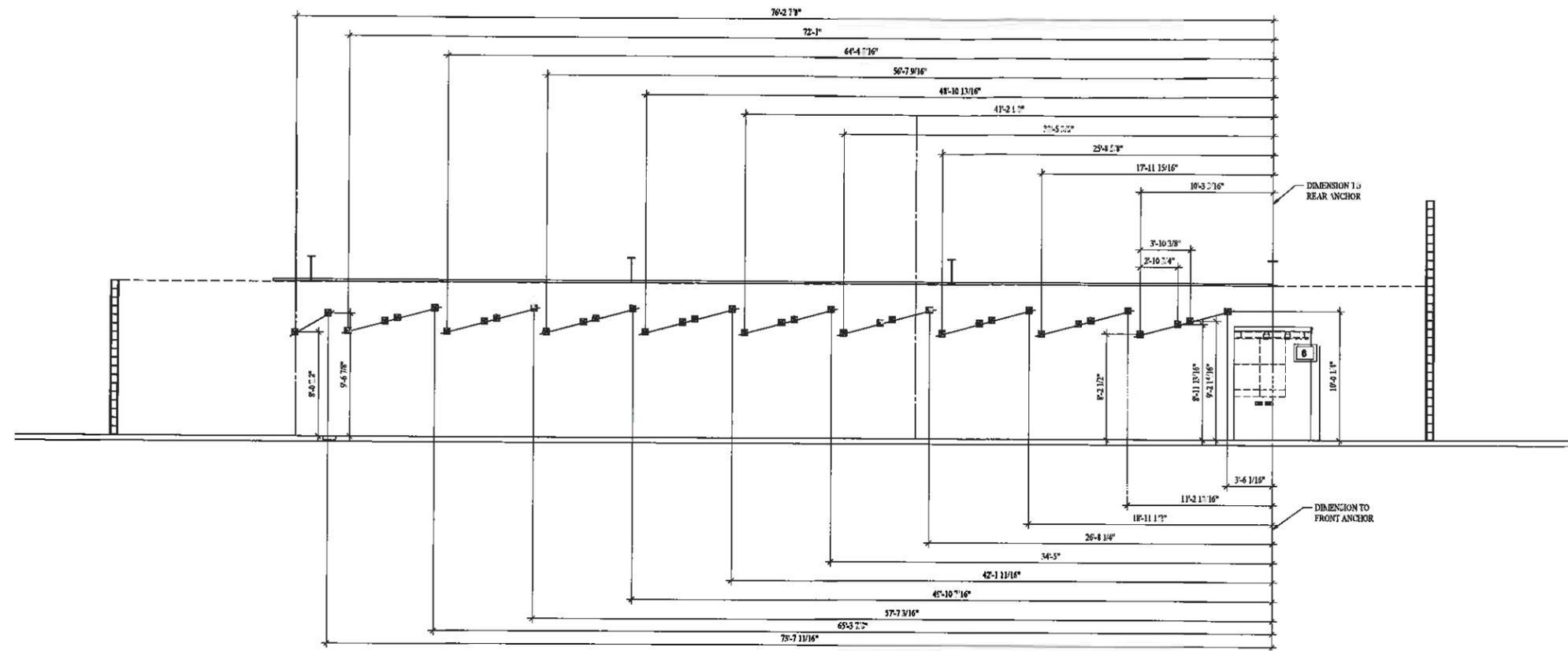
DATE  
**MAR. 10, 2017**

NAME

SHEET TITLE  
**RANGE SECTION**

SHEET NO.

**A2.24**



**01 OVERALL PLAN**  
1/16" = 1'-0"

FILE DATE FILE NAME FILE DATE XREFS  
10/10/17 1002-A2.24 10/10/17 1002-A2.24

**Chicago Gun Club  
Shooting Range**

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

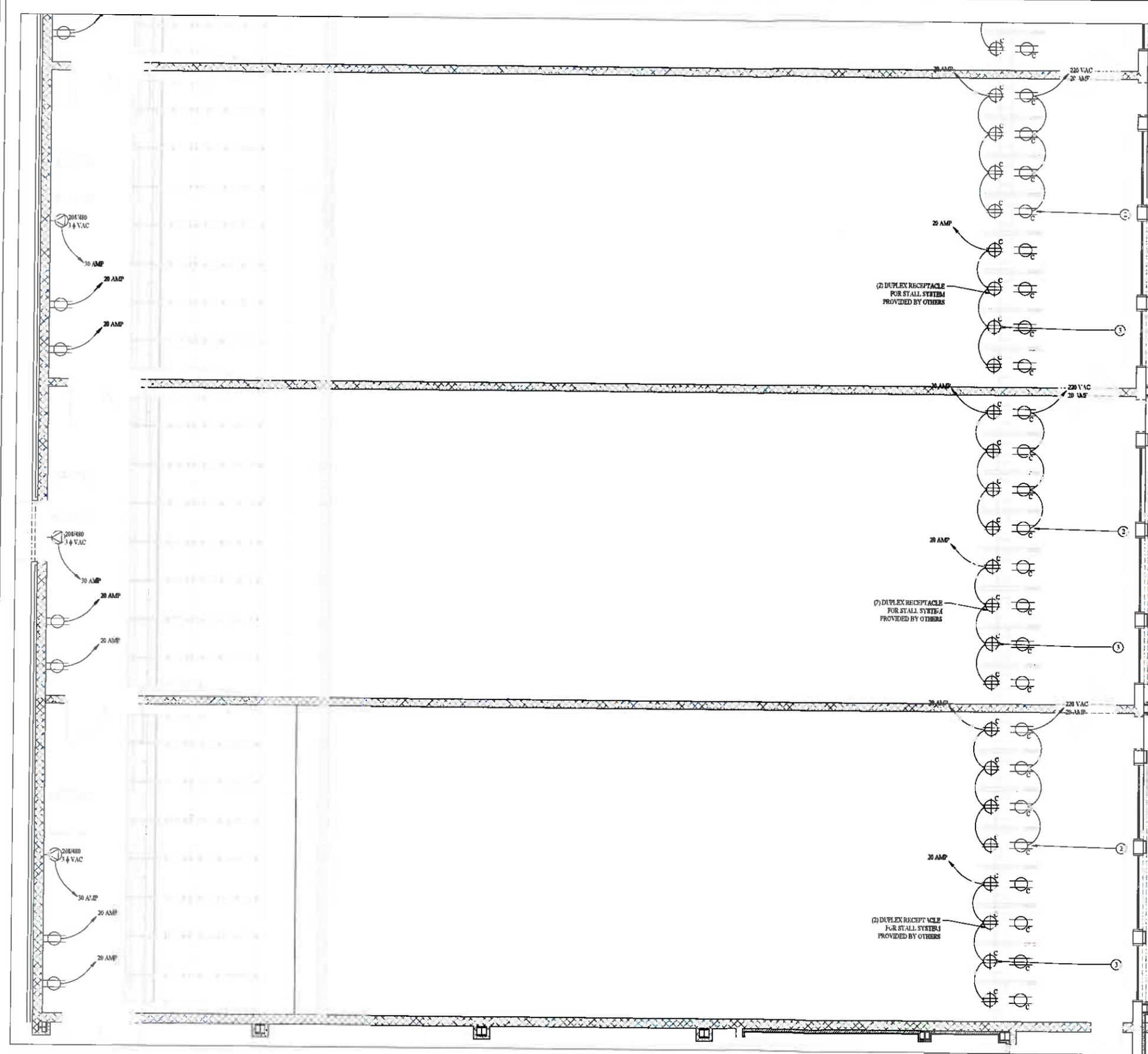
DATE

ISSUE

SHEET TITLE

**ELECTRICAL NOTES:**

1. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL CIRCUITS AND RECEPTACLES NEEDED FOR THE RANGE EQUIPMENT. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH FUSION TARGET PERSONNEL FOR LOCATION AND TIMING.
2. SINGLE 220 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.
3. (2) DUPLEX 120 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.



DATE: 10-20-17  
FILE NAME: FILE CODE: SHEET:

# **Attachment 3**

Preliminary Plat of Subdivision (1 Sheet)

# PRELIMINARY PLAT OF SUBDIVISION FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



SCALE: 1"=30'  
BASIS OF BEARINGS:  
ILLINOIS STATE PLANE - EAST ZONE

GROSS BOUNDARY AREA  
BOUNDARY AREA = 148,971 S.F. OR 3.420 ACRES

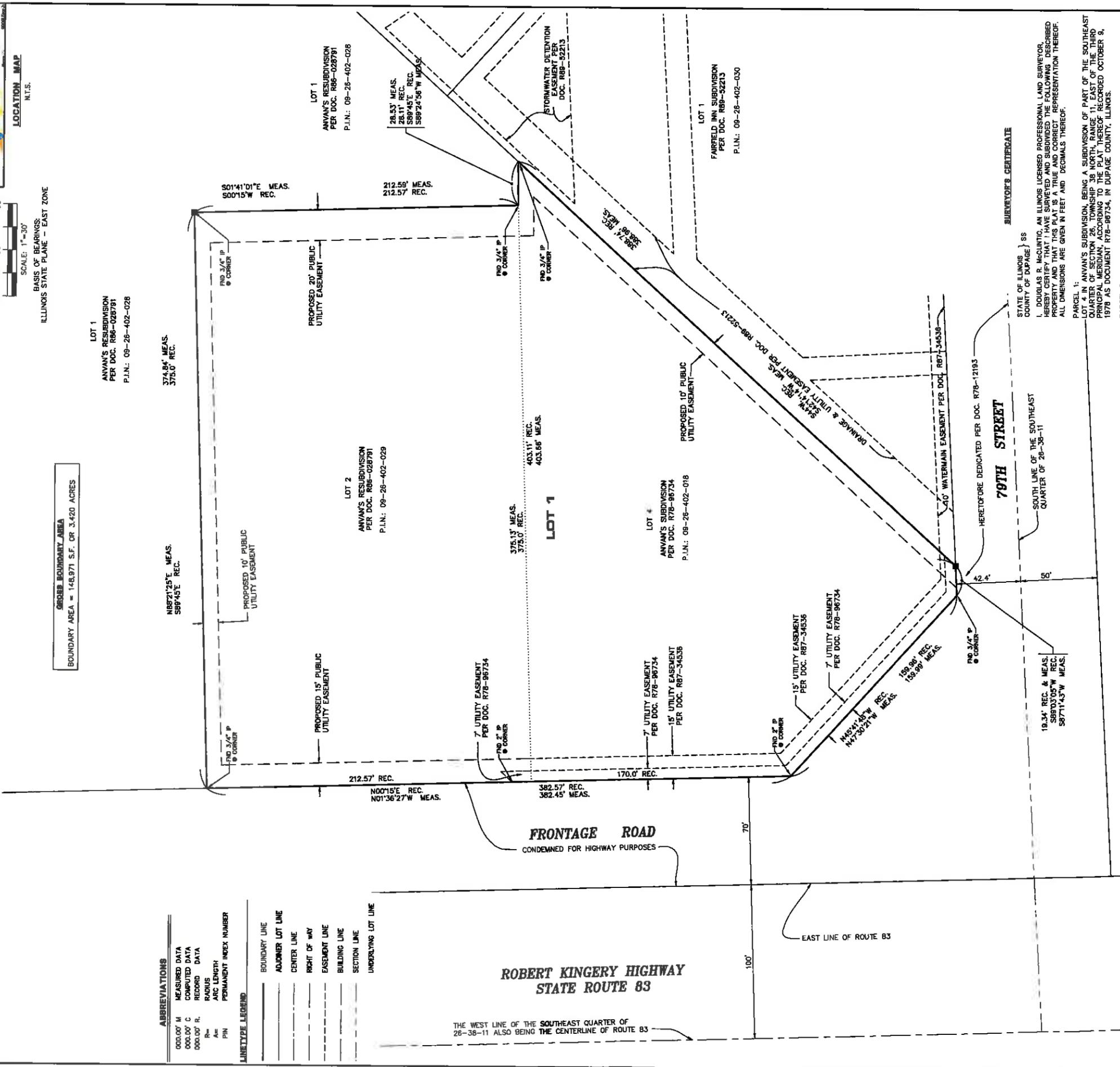
LOT 1  
ANVAN'S RESUBDIVISION  
PER DOC. R86-028791  
P.L.N.: 09-28-402-028

**ABBREVIATIONS**

000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PI=	PERMANENT INDEX NUMBER

**LINE/TYPE LEGEND**

---	BOUNDARY LINE
---	ADJACENT LOT LINE
---	CENTER LINE
---	RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING LINE
---	SECTION LINE
---	UNDERLYING LOT LINE



THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } SS

I, DOUGLAS R. MCQUINN, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBMITTED THE FOLLOWING DESCRIBED PLAT AND THAT THE SAME IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1:  
LOT 4 IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-86734, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:  
LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S SUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R88-28791, IN DUPAGE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE CITY OF NAPERVILLE TO REZONE THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN AND THAT SAID SUBDIVISION IS LOCATED IN ZONE 1. THE MEASUREMENTS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 17043C0908 WITH EFFECTIVE DATE OF DECEMBER 15, 2004.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

- NOTES:**
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  - 3/4" I.D. X 24" LONG IRON PIPE PLACED AT ALL LOT CORNERS AND POINTS OF CURVATURE (UNLESS OTHERWISE NOTED) TO CONFORM TO ILL. COMPILED STATUTES CHAPTER 765 ILCS 205/1 REGARDING PLACEMENT OF MONUMENTS.
  - DENOTES CONCRETE MONUMENT SET.

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 035-002892  
LICENSE VALID THROUGH NOVEMBER 30, 2018



**ROAKE AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
1854 QUINCY AVENUE, SUITE 100A • NAPERVILLE, ILLINOIS 60540  
TEL (800) 866-5282 • FAX (800) 866-8287

PREPARED FOR:  
**CHICAGO GUN CLUB LLC**  
4825 LEE AVENUE  
DOWNERS GROVE, ILLINOIS 60515  
TEL (630) 670-5412

NO.	DATE	REVISIONS
1	02-17-17	REVISIONS PER WILLOWBROOK COMMENTS

ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS  
PRELIMINARY PLAT OF SUBDIVISION

DWG./C.D. BY: SBR/D/DM FILE: 8341PREL P.L.D. BK./PG.: 264/75-77 SHEET NO. 1 OF 1  
SCALE: 1"=30' DATE: 5/19/18 JOB NO.: 83A-001

# Attachment 4

Final Plat of Subdivision (2 Sheets)

# FINAL PLAT OF SUBDIVISION FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



SCALE: 1"=30'  
BASIS OF BEARINGS:  
ILLINOIS STATE PLANE - EAST ZONE

GROSS BOUNDARY AREA  
BOUNDARY AREA = 148,971 S.F. OR 3.420 ACRES

**ABBREVIATIONS**

000.00" M	MEASURED DATA
000.00" C	COMPUTED DATA
000.00" R.	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PIN	PERMANENT INDEX NUMBER

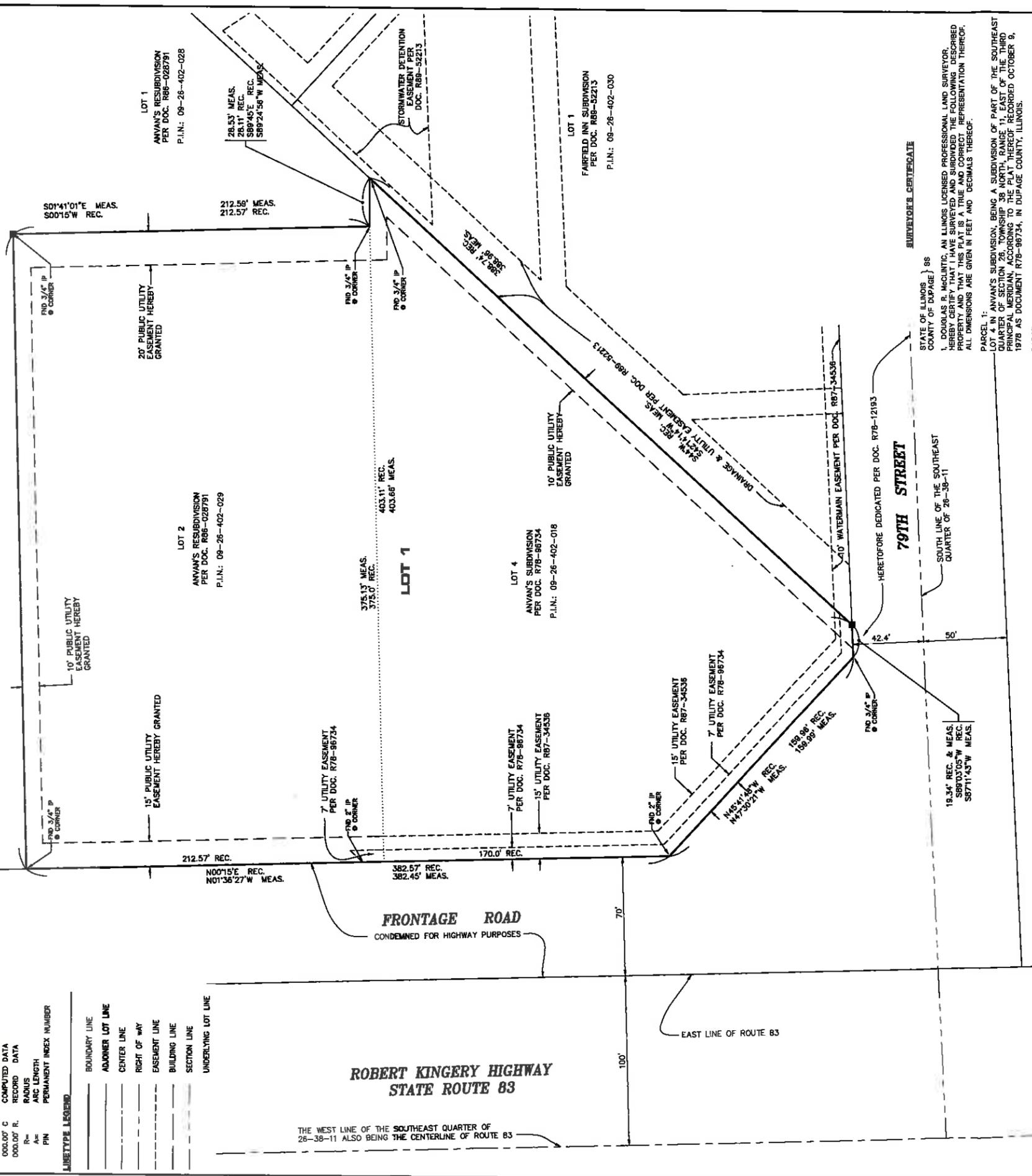
**LINE/TYPE LEGEND**

---	BOUNDARY LINE
---	ADJACENT LOT LINE
---	CENTER LINE
---	RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING LINE
---	SECTION LINE
---	UNDERLYING LOT LINE

LOT 1  
ANVAN'S RESUBDIVISION  
PER DOC. R86-028791  
P.I.N.: 09-26-402-028

374.84' MEAS.  
375.0' REC.

N88°21'25"E MEAS.  
S88°45'E REC.



**ROBERT KINGERY HIGHWAY  
STATE ROUTE 83**

THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

- NOTES:**
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  2. 3/4" I.D. X 24" LONG IRON PIPE PLACED AT ALL LOT CORNERS AND POINTS OF CURVATURE (UNLESS OTHERWISE NOTED) TO CONFORM TO ILL. COMPILED STATUTES CHAPTER 785 ICS 205/1 REGARDING PLACEMENT OF MONUMENTS.
  3. ■ DENOTES CONCRETE MONUMENT SET.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } 88  
I, DOUGLAS R. MCCLINTIC, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1:  
LOT 4 IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HEREOF RECORDED OCTOBER 9, 1979 AS DOCUMENT R78-98734, IN DUPAGE COUNTY, ILLINOIS.  
PARCEL 2:  
LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S RESUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R88-28791, IN DUPAGE COUNTY, ILLINOIS.  
I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREOF DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO ICS 5/1-12-6, AS HERETOFORE, AND HEREAFTER AMENDED, AND THAT THE PROPERTY SHOWN ON THE PLAT HEREOF IS INTENDED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 1705-S0809H WITH EFFECTIVE DATE OF DECEMBER 15, 2004.  
THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREOF.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_



ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 036-005892  
LICENSEE VALID THROUGH NOVEMBER 30, 2018

<p>PREPARED FOR: <b>CHICAGO GUN CLUB LLC</b> 4825 LEE AVENUE DOWNERS GROVE, ILLINOIS 60515 TEL (630) 670-5412</p>		<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>02-27-17</td> <td>REVISIONS PER WILLOWBROOK COMMENTS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	02-27-17	REVISIONS PER WILLOWBROOK COMMENTS
NO.	DATE	DESCRIPTION						
1	02-27-17	REVISIONS PER WILLOWBROOK COMMENTS						
<p>ROUTE 83 &amp; 79TH STREET - WILLOWBROOK, ILLINOIS</p>		<p>FINAL PLAT OF SUBDIVISION</p>						
<p>DRW./CDD. BY: SRH/DRM</p>	<p>FILE: B341PS</p>	<p>F.L.D. BK./PG.: 284/75-77</p>						
<p>SCALE: 1"=30'</p>	<p>DATE: 3/06/17</p>	<p>JOB NO.: 834.001</p>						
<p>SHEET NO. 1 OF 1</p>		<p>1 OF 1</p>						



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OWNER'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
THIS IS TO CERTIFY THAT THE ... AN ILLINOIS CORPORATION, AS TRUSTEE UNDER A TRUST AGREEMENT DATED ... AND KNOWN AS TRUST NO. ... IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND NOT INDIVIDUALLY BUT AS SUCH TRUSTEE, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND THE SAID CORPORATION, NOT INDIVIDUALLY BUT AS TRUSTEE, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT ... CITY, ILLINOIS, THIS ... DAY OF ... MONTH, ... A.D., ... YEAR ... AS TRUSTEE UNDER TRUST NO. ... AND NOT INDIVIDUALLY.

BY: ... SIGNATURE ... ATTEST: ... SIGNATURE ...
TITLE: ... PRINT NAME ... TITLE: ... PRINT NAME ...

NOTARY'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
I, ... PRINT NAME ... A NOTARY PUBLIC IN AND FOR THE SAID COUNTY OF ... IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT ... PRINT NAME ... OF ... SAID OWNER, WHO IS PERSONALLY KNOWN TO ...

ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT.
AS SUCH ... TITLE ... RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SAID INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL.
THIS ... DATE ... DAY OF ... MONTH ... 20 ... YEAR ...
NOTARY PUBLIC SIGNATURE ... TITLE ...
PRINT NAME ...

MY COMMISSION EXPIRES ON ... MONTH ... DATE ... 20 ... YEAR

SCHOOL DISTRICT BOUNDARY STATEMENT

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:
1. THAT ... IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF MAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE.

2. TO THE BEST OF THE OWNERS' KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LES I.E. PRAIRIE SCHOOL DISTRICT 204 AURORA, ILLINOIS 60540 OWNERS: ... SIGNATURE ... ATTEST: ... SIGNATURE ...

SUBSCRIBED AND SWORN BEFORE ME THIS ... DATE ... DAY OF ... MONTH ... 20 ... YEAR
NOTARY PUBLIC ... SIGNATURE ... TITLE: ... PRINT NAME ...

VILLAGE COLLECTOR CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
I, VILLAGE COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT MAPERVILLE, ILLINOIS, THIS ... DAY OF ... 20 ... YEAR
BY: ... VILLAGE COLLECTOR
TITLE: ... PRINT NAME ...

SURFACE WATER STATEMENT

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERC ... BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF ... REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DRAINAGE OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO PREVENT ANY DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ... DAY OF ... 20 ... YEAR
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. ... LICENSE VALID THROUGH NOVEMBER 30, 2017

OWNER: ... PRINT NAME ...
BY: ... SIGNATURE ...
TITLE: ... PRINT NAME ...

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
APPROVED BY THE WILLOWBROOK PLAN COMMISSION AT A MEETING HELD THE ... DAY OF ... A.D., 20 ...

BY: ... CHAIRMAN ... ATTEST: ... SECRETARY ...

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
I, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS ... DAY OF ... A.D., 20 ...

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
THIS INSTRUMENT ... WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE ... DAY OF ... 20 ... AT ... O'CLOCK ... M.

RECORDED OF DEEDS ...

ILLINOIS DEPARTMENT OF TRANSPORTATION STATEMENT

THE PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO § 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE ILLINOIS TRANSPORTATION ACT AND THAT ALL NECESSARY STATEMENTS TO STATE LEGISLATION WILL BE REQUIRED BY THE DEPARTMENT.

SIGNATURE ... DATE ... 20 ... YEAR ...
PRINT ...
REGION ONE ENGINEER ...

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } ss
COUNTY OF DUPAGE } ss
DOUGLAS R. MACINTYRE, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFIES THAT THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1: THIS LOT IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST LOT 2 IN SECTION 20, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-98734, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S RESUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R88-28791, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED IN THE SOUTHWEST CORNER OF THE CORNER WHICH ADJOINS AN OFFICIAL COMPREHENSIVE PLAN AND IS CROSSING THE SECTION CORNER BETWEEN THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6, AS HERETOFORE AND HEREAFTER AMENDED AND THAT SAID SUBDIVISION IS LOCATED IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 1704-3C0808H WITH EFFECTIVE DATE OF DECEMBER 15, 2004.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND AND SEAL THIS ... DAY OF ... 20 ... YEAR



CHICAGO GUN CLUB LLC
4825 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515
TEL (630) 670-5412
ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
1894 QUINCY AVENUE, SUITE 100A • MAPERVILLE, ILLINOIS 60540
TEL (630) 955-9282 • FAX (630) 955-9287
ILLINOIS DEPARTMENT OF TRANSPORTATION STATEMENT
THE PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO § 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE ILLINOIS TRANSPORTATION ACT AND THAT ALL NECESSARY STATEMENTS TO STATE LEGISLATION WILL BE REQUIRED BY THE DEPARTMENT.
SIGNATURE ... DATE ... 20 ... YEAR ...
PRINT ...
REGION ONE ENGINEER ...
REASONS DESCRIPTION
NO. DATE
PREPARED FOR CHICAGO GUN CLUB LLC
4825 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515
TEL (630) 670-5412
ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS
FINAL PLAT OF SUBDIVISION
DRN./DSD. RT. SRN./DRM FILE: 8341PS F.D. BK./P.C. 284/75-77 SHEET NO. 1 OF 2
SCALE: 1"=30' DATE: 3/09/17 JOB NO.: 834.001

# **Attachment 5**

**Findings of Fact (6 Sheets)**

## Findings of Fact

### Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

**(A)** That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

**Finding:** The establishment, maintenance, or operation of the proposed shooting range will not be detrimental to or endanger the public health, safety, moral, and comfort or general welfare of the Village of Willowbrook.

The applicant will ensure EPA, NIOSH, and OSHA standard air quality through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet-proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

**(B)** That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

**Finding:** The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

**(C)** That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

**Finding:** The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

**(D)** That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

**Finding:** The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large biorentetion areas at the east and southern areas of the property that will meet the development's stormwater requirements. Additionally, the petitioner will be installing curb and gutter, public sidewalk, and street lighting along their frontage of IL Route 83 Frontage Road in accordance with Village standards that will promote increased stormwater control, pedestrian connectivity, and pedestrian and vehicular safety.

**(E)** That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Finding:** Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive

will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

**(F)** That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Finding:** The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and building materials.

**(G)** Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

**Finding:** The proposed special use has never been applied for (or denied) with respect to this specific location.

## **Standards for Variations**

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

**(A)** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Finding:** The property cannot yield a reasonable return is the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

**(B)** The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Finding:** The proposed variations will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interiors side, and front yard parking setbacks are not supported. Additionally, the applicant may not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported. The applicant may also not be able to provide proper landscaping at the front of the building if an approximate three foot (3') variation to the front yard building setback is not supported.

**(C)** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**(D)** The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Finding:** The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan. Additionally, a variance of approximately three feet (3') from the required one hundred foot (100') front yard building setback will not alter the intended character and will not be

materially detrimental to the public welfare of injurious to other property or improvements in the neighborhood.

**(E)** The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Finding:** The proposed variations to reduce parking setbacks and add metal siding will not impair an adequate supply of light and air to adjacent property.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

**(F)** The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

**Finding:** The proposed variations will not alter the essential character of the locality. The parking setback and front yard building setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

**(G)** The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

**Finding:** The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed and the approximate three foot (3') relief from the required one hundred foot (100') building setback will not alter the intended character of the B-4 Zoning District. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

## **Standards for Variation from Subdivision Regulations**

The board of trustees may authorize a variation from the subdivision regulations after review and recommendation by the plan commission when, in its opinion, undue hardship may result from strict compliance and provided the variation applies only to the requirements of this title. The board may take such action only upon receipt from the plan commission of a written recommendation specifying the manner in which the findings required in this section have or have not been met by the facts pertinent to the requested variation.

No variation shall be granted unless the board of trustees finds:

**(A)** That there are special circumstances or conditions affecting said property, such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

**Finding:** The current roadway system that comprises IL Route 83 Frontage Road (79<sup>th</sup> Street and Joliet Road) is currently a rural cross section for the vast majority of the roadway. The proposed variation to relieve the petitioner of the requirement to install curb and gutter will maintain the rural cross section and overall character of the roadway system.

**(B)** That the variation is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

**Finding:** The variation to relieve the petitioner of the requirement to install curb and gutter will allow the property owner to maintain the successful stormwater drainage ditch along the property Frontage.

**(C)** That the granting of the variation will not be detrimental to the public welfare or injurious to other property in the area in which said property is located.

**Finding:** The proposed variation to relieve the petitioner of the requirement to install curb and gutter will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The absence of curb and gutter along the property's frontage will maintain the status quo of a rural cross section for the 79<sup>th</sup> Street/Joliet Road/Route 83 Frontage Road.

**(D)** The alleged hardship has not been created by any person having a present proprietary interest in the property. (Ord. 79-O-43, 11-26-1979)

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

# Attachment 6

Responses to February 22nd Plan Commission Comments/Questions (7 Sheets)

## THE CHICAGO GUN CLUB LLC

March 14, 2017

Ms. Anna Franco  
Village Planner  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

RE: **Responses to February 22nd Plan Commission Comments/Questions:**

Dear Ms. Franco,

Please see the following responses to the Staff Comments provided in your letter dated February 27, 2017:

**Staff Comment:** 1. You had mentioned that vehicles in the proposed retail display will contain no fuel. Please explain how these vehicles will be moved in and out of the building.

**Petitioner Response:** Vehicles can either be physically pushed into the building after gasoline is removed or can be driven into the building and then have gasoline safely removed immediately after positioning. The goal is to have static display vehicles stored as safely as possible with all gasoline removed.

Proper ignition prevention protocols will be followed. For example, we will make sure the work area is well ventilated. All gasoline removal will take place outside of the building if possible. Appropriate safety placards will be posted and enforced, and no ignition source will be allowed within 20 feet or less of where the tank is being emptied. We will also keep multipurpose fire extinguishers available and near the work area.

Regarding specific fuel removal procedures, applicable OSHA regulations will be followed and an OSHA approved "gas caddy" will be utilized to completely drain the tank of fuel (see OSHA regulation 29 CFR 1910.106). All gasoline drained from the tank would only be stored in approved storage containers. Personnel will be prohibited from draining or storing fuel in an open container. Siphoning by mouth will be strictly prohibited.

**Staff Comment:** 2. How will the gun club address persons using the facility that already have alcohol in their system?

**Petitioner Response:** Personnel will be trained to spot symptoms of alcohol impairment. Any individuals exhibiting any evidence of impairment while in the shooting areas of the facility will be asked to leave the premises immediately.

**Staff Comment:** 3. How long will a member be denied access to the gun range after being flagged for alcohol use?

**Petitioner Response:** They will be denied access for the remainder of the day.

**Staff Comment:** 4. Please explain why you chose the name "The Chicago Gun Club". Please also explain why other names, such as "The Guntry Club", are not available for use.

**Petitioner Response:** We chose the name because we feel our club will have national recognition and ultimately, some degree of historical significance. The association with "Chicago" and "gun violence" may be temporary, while The Chicago Gun Club we hope will thrive for decades.

With respect to the name "The Guntry Club", there is an existing federal trademark application for use of the phrase "guntry club":

[http://tsdr.uspto.gov/#caseNumber=87010132&caseType=SERIAL\\_NO&searchType=statusSearch](http://tsdr.uspto.gov/#caseNumber=87010132&caseType=SERIAL_NO&searchType=statusSearch)

**Staff Comment:** 5. Noise was a notable concern during the public hearing. Please provide additional detail regarding the peak decibel range on the property. It may be beneficial to compare the proposed decibel range with decibel ratings of nearby uses.

**Petitioner Response:** Noise mitigation has been a focus area of our architectural team. Specifically, the building design now incorporates the following elements, each serving to reduce the anticipated decibel level readings measured outside of the building:

- The structure will be constructed of 10" insulated concrete panels and the roof will have 6-8" of Rigid foam insulation;
- The perimeter of each range bay will be sprayed with closed cell foam to seal the connection between the precast walls and the roof decking;
- All exterior doors will be ballistic and acoustic rated. In addition, the location of the single exterior range door is perpendicular to the projectile path which should substantially reduce noise levels registered along the east façade;
- All viewing windows will be custom ballistic and acoustic rated glass;
- Special noise insulation material, PEPP sound absorbing panels, will be placed inside the building surrounding the firing line to further reduce noise from the firing range; and
- The strategic use of vestibules will also serve to mitigate noise levels both inside and outside the structure. The vestibules will have 8" thick staggered stud walls to keep the sound attenuating insulation continuous. The vestibule ceiling will have 8" of insulation as well.

Together, these construction techniques and materials should serve to reduce the anticipated noise levels in and around the facility.

Although not a certified sound engineer, Ken Love recently recorded peak decibel level readings at The Frisco Gun Club in Frisco, Texas, for comparative purposes. The Frisco Gun Club is an upscale facility that is more similar to our design concept than other nearby ranges. The following summarizes the findings:

Frisco Gun Club Peak Noise Survey		
March 11th 2017 11:00 a.m. – 3:00 p.m.		
Location	Average db	Peak db
Range service door	79.1	88.2
Range service door @ 45'	75.5	80.5
Range service door @ 90' property line	73.6	76.0
Rifle range firing line	76.0	87.4
Rifle range firing line @ 25'	72.1	79.4
Rifle range firing line @ 50' property line	69.1	71.1
VIP range door	73.6	78.2
VIP range door @ 25'	69.9	72.4
VIP range door @ 50' property line	68.2	69.8
Front Entrance	72.2	73.2
Front Entrance @ 60'	75.6	81.2
Front Entrance @ 120' property line	80.9	92.2

Survey Notes :

1. FGC was constructed using 6" - 8" tilt wall concrete panels with no added insulation and a single layer of ISO board (3") insulation on the roof. All exterior range doors are insulated metal doors but not rated as sound absorbing or ballistic. TCGC is to be constructed of 10" insulated precast concrete panels and all exterior doors are to be ballistic and sound rated. The roof will have 6-8" of rigid foam insulation.
2. Survey was taken during peak operations, all 42 firing positions were occupied
3. At the front entrance of the building no gunshots could be heard and noise increased the closer readings were taken to Eldorado Parkway. Eldorado parkway has approximately 25,000 vehicles pass by the FGC on a daily basis with very little commercial traffic. Route 83 has approximately 50,000 vehicles per day pass the proposed site and a great deal of commercial traffic.
4. TCGC will also apply PEPP sound absorbing panels inside the building surrounding the firing line to further reduce noise from firing range. FGC did not use PEPP panels during construction.
5. The neighbor adjoining to the east of FGC is a storage facility with "live on site" management. The living quarters are approximately 400 feet from the rifle range firing line and 300 feet from the pistol range and no noise complaints have ever surfaced.

For additional context, the following are comparative typical noise readings:

Garbage disposal, dishwasher, average factory, freight train (at 15 meters). Car wash at 20 ft (89 dB); propeller plane flyover at 1000 ft (88 dB); diesel truck 40 mph at 50 ft (84 dB); diesel train at 45 mph at 100 ft (83 dB). Food blender (88 dB); milling machine (85 dB); garbage disposal (80 dB).	80	2 times as loud as 70 dB. Possible damage in 8 hour exposure.
Passenger car at 65 mph at 25 ft (77 dB); freeway at 50 ft from pavement edge 10 a.m. (76 dB). Living room music (76 dB); radio or TV-audio, vacuum cleaner (70 dB).	70	Arbitrary base of comparison. Upper 70s are annoyingly loud to some people.
Conversation in restaurant, office, background music, Air conditioning unit at 100 feet.	60	Half as loud as 70 dB. Fairly quiet.
Quiet suburb, conversation at home. Large electrical transformers at 100 feet.	50	One-fourth as loud as 70 dB.

**Staff Comment:**           **6. Please describe in detail, the proposed security measures for the facility.**

**Petitioner Response:** Although our specific, detailed security policies and emergency response plans are not properly shared outside of law enforcement and the ATF, in general, we will be employing the following security measures:

During Business Hours:

- A control room with access to all security cameras, range ventilation control will be staffed during normal business hours with responsibility to monitor security cameras and notify range staff of any safety/security/customer service issues. They will also monitor the range ventilation system to ensure optimum performance.
- The architectural design plans call for concrete balusters and rapidly deploying drop down security doors to be positioned at strategic locations in and around the facility.
- All employees will be equipped with two way radios to communicate with each other and receive notifications from the person in the control room monitoring the cameras.
- All range members must have a valid F.O.I.D. Card to be allowed access to company owned firearms.
- Access to all company owned firearms will be restricted by key lock to prevent access without employee interaction.

- A Range Safety Officer will always be present anytime the range is occupied.
- Regular firearms inventory procedures utilizing at least two employees to ensure accountability of company owned firearms.
- All employees will be trained to spot the symptoms of persons that may be under the influence of an intoxicant and how to appropriately respond to the situation.
- All customer owned firearms are required to be unloaded and secured in a case before entering facility (excluding lawful concealed carry firearms).

#### After Business Hours

- The facility will be equipped with a monitored fire/security system. The system will monitor all doors for forced entry, internal/external motion detection that will notify the monitoring company of any unauthorized activity or fire event so they may notify the facility management and/or the proper authorities.
- Given the proximate location of the Willowbrook Police Department, response times will be exceptional and therefore serve as a deterrent to illegal activity.
- All firearms on the premises will be either secured in place with high security display cases or moved to the vault room for overnight storage.

**Staff Comment:** 7. Lead pollution was a notable concern during the public hearing. Please provide additional detail regarding the lead filtration equipment for the facility and especially focus on the air quality emitted from the facility. Staff would like to know what levels of lead, if any, will be emitted and if the emissions meet Environmental Protection Agency (EPA) lead air quality standards.

**Petitioner Response:** See attached brochure with details regarding the proposed ventilation system. Carey's is widely considered to be the very best in the field. Based on Carey's testing our annual output of lead into the air is less than the lead it would take to make one 9MM bullet.

We will also incorporate sticky mats at range entrances/exits to control lead on the bottom of shoes and hand washing stations in the range vestibules so employees and customers can clean their hands after leaving the range area.

**Staff Comment:** 8. The exposure of guns outside of the facility was a notable concern at the public hearing. Please provide information regarding State and federal legislation regarding exposure of guns on the property.

**Petitioner Response:** According to The Law Center to Prevent Gun Violence:

Illinois prohibits any person from knowingly carrying or possessing a firearm in any vehicle except on the person's own home, land, fixed place of business or on the land or in the legal dwelling of another person as an invitee with that person's permission. 720 Ill. Comp. Stat. 5/24-

1(a)(4). The statute does not apply, however, to the transportation of firearms that are: 1) broken down in a non-functioning state; 2) not immediately accessible; or 3) unloaded and enclosed in a case, firearm carrying box, shipping box, or other container by a person with a currently valid Firearm Owner's Identification card.

In *People v. Diggins*, 919 N.E.2d 327 (Ill. 2009), the Supreme Court of Illinois reviewed whether the center console of a vehicle was a "case" for the purposes of the lawful containment of a firearm in a vehicle, within the meaning of 720 Ill. Comp. Stat. 5/24-1.6(a)(1), which imposes an additional penalty for publicly carrying a firearm if it is uncased. The court found nothing in the overall statutory scheme to suggest that the legislature intended for the various types of receptacles to be firearm specific, and concluded that the center console of the vehicle fell within the ordinary definition of a "case."

Under Illinois' Concealed Firearm Carry Act, enacted in 2013, a person who is issued a valid concealed carry license is permitted to keep or carry a loaded or unloaded concealed firearm on or about his or her person within a vehicle. 430 Ill. Comp. Stat. 66/10(c)(2).

The parking lot will be under camera surveillance. Individuals in the parking lot of the facility that are in any way acting in a manner that violates the law will be immediately brought to the attention of the Willowbrook Police Department.

**Staff Comment:** 9. At the public meeting, your associate, Ken Love, mentioned that some tiers of membership may be allowed 24-hour access to the facility. This was cited as a major concern from Staff, the Plan Commission, and local residents. The Plan Commission will likely include a condition to restrict the hours of operation to 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M. Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday unless evidence is presented to appease stated concerns.

**Petitioner Response:** We are dropping this aspect of the operation; if in the future it becomes a high priority for the membership, we will go through the appropriate administrative process to see if we can gain approval.

**Staff Comment:** 10. A second means of egress from the second floor must be added to the architectural plans, per request by the Village Building Inspector and the Plan Commission. Please coordinate with Building Inspector Roy Giuntoli regarding this requirement. Roy Giuntoli can be reached at 630.920.2262 or at [rgiuntoli@willowbrook.il.us](mailto:rgiuntoli@willowbrook.il.us).

**Petitioner Response:** An emergency "egress only" stairwell has been added to the NE corner of the 2<sup>nd</sup> floor in the revised architectural plans.

**Staff Comment:** 11. Please provide Staff with a copy of the Powerpoint presentation used at the February 22nd Plan Commission meeting.

Response: See attached/enclosed.

**Staff Comment:** Liquor License According to Section 5-3-19(A)8 of the Village of Willowbrook Municipal Code: "A person commits the offense of unlawful use of weapons when he knowingly: Carries or possesses any firearm, stun gun or laser or other deadly weapon in any place which is licensed to sell intoxicating beverages, or at any public gathering held pursuant to a license issued by any governmental body or any public gathering at which an admission is charged, excluding a place where a showing, demonstration or lecture involving the exhibition of unloaded firearms is conducted" Village Staff is looking into whether an amendment to this section or a variation from this section can be pursued to allow alcohol at your facility. At this time, however, alcohol is prohibited for the proposed facility.

**Petitioner Response:** We are currently relying on the email from Anna Franco received on February 27, 2017, indicating that per the Illinois Firearm Concealed Carry Act, alcohol is allowed to be sold on the property if the sale of alcohol is less than 50% of total sales, and consequently, that a condition to the Plan Commission's motion and the ordinance for the petition will likely contain a restriction such as "The sale of alcohol cannot constitute more than 50% of total sales," or similar language.

\* \* \* \* \*

Once again, we would like to thank you and the Plan Commission for taking the time to consider our proposed development. It truly has been a pleasure working with you and others on the Village Staff.

As always, if you have any questions, please do not hesitate contacting me.

Respectfully,



Joe Neveril

Managing Partner  
The Chicago Gun Club, LLC



8201 W 183<sup>rd</sup> St; Suite B  
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Phone: 708-532-2449  
Fax: 708-429-2150  
Website: careyscentral.com

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### **Expertise of Carey's Heating and Air Conditioning, Inc.**

Carey's Small Arms Range Ventilation has been developing, designing and installing successful Indoor Range projects for almost two decades. They have specialized their designs in the control of contaminants created by indoor ranges and are currently known as a national leader in the field. They have worked with the United States Navy to develop the current range ventilation standards as described in the Unified Force Criteria. Carey's wrote the ventilation standards for the GSA, edited the standards for the United States Air Force as published in the ETL, and have been consultants for the Federal Law Enforcement Training Center (Department of Homeland Security) and FBI.

The design, installation and commissioning of the range ventilation system can be the difference between an unsafe range and a range that meets the IMC 2009, OSHA, EPA and NIOSH standards. The critical components are custom fabricated in Carey's facility and are the summation of the lessons learned in hundreds of past range ventilation projects completed.

Specifically, the radial air diffusers and plenums are custom built and have been tested to provide laminar air flow at the firing line after proper commissioning. "Laminar" flow is a steady, even airflow required to safely clear contaminate from the respiratory zone of the users of the range. These special diffusers are not available from a standard diffuser supplier.

Although the control system uses standard DDC Components from Johnson Control, the programming of the equipment is custom. The design, programming and assembly of the Carey's Direct Digital Control system is done by an experienced programmer who has worked on all of the ranges that Carey's has completed. This ensures that the control system installed and tested will automatically shut down if unsafe conditions are detected within the range. This will protect both the occupants of the range and the adjoining areas.

The supervision provided by Carey's Small Arms Range Ventilation is necessary to ensure guaranteed results in meeting these standards. If the project does not have the proper oversight, it can result in unsatisfactory results. Unlike a standard ventilation project where the system is installed and the air test and balancer sets the design air flow at each system outlet, a range ventilation system is designed for proper air flow at the firing line that is ten to fifteen feet from the distribution point. It must be the designer's responsibility to ensure proper airflow. An installing contractor can only install the project as shown on the drawings and control the air flow to the distribution device.

Due to the potential of over exposure to carbon monoxide, lead and other heavy metals on the range as well as the potential to contaminate adjoining areas with surface contaminates, the only way to guarantee performance is to have the system installation and design managed by someone with the experience to see potential problems with the installation. Carey's site reviews also look at the building construction to identify potential problems such as a breach in the range walls that could present problems for the end users.



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 Tinley Park, IL 60487  
 Phone: 708-532-2449  
 Fax: 708-429-2150  
 Website: careyscentral.com

Carey's Small Arms Range Ventilation has completed over hundreds indoor range ventilation projects at facilities that have met all of the required standards, including projects for the US Navy, US Air Force, US Marshals, Police Departments and private ranges. In these projects they have similarly provided the design and build services. Each range has met the commissioning requirements of an average air flow of 75 feet per minute with no readings less than 50 feet per minute. All of the United States Navy Ranges have been tested by an independent industrial hygienist who has measured and returned results of less than detectable levels of lead in the respiratory zone. The ranges have further proven to all have a negative pressure that contains contaminates. Below is a sample of impressive and significant range projects completed by Carey's Small Arms Range Ventilation:

**Commercial**

5280 Armory, CO	Action Impact, MI
Alpha Range, IL	AI's Sporting Goods, UT
American Fire Arms School, MA	American Shooters Supply, NV
Athena, TX	Barracks 616, MI
Big Boy Guns, OK	Big Shots, NE
BluCore, CO	Blueline Tactical, NY
Bob's Little Sport Shop, NJ	Border Tactical, CA
Bow & Barrel, IL	Boyert Shooting Center, TX
Bristlecone, CO	Bud's Gun Range, TN
Calibers Culter Location, NM	Calibers Coors Location, NM
Carolina Sporting Arms, NC	Centennial Gun Club, CO
Citizens Rifle and Revolver Club, NJ	Eagle Gun Range, TX
Elite Shooting Sports, VA	Federal Way Indoor Range, WA
Fox Shooting Loft, OH	Frontier Justice, MO
G4S Cash Solutions, Canada	Get Some Guns, UT
Godfrey's Indoor Shooting Ranges, KS	Granite, NH
Gun Vault, UT	Gun World of South Florida
Guns N Gear, ID	Helen Boosalis Park, NE
High Caliber Training Center, IL	Hortst & McCann Firearms, MD
Laramie County Shooting Sports Complex, WY	Lotus Gun Works Jensen Beach, FL
Lotus Gun Works Naples, FL	Magnum, CO
Maine Military Supply, CO	Max Creek, WI
McCunn Specialty Firearms, IA	Melbourne, FL
Metro Shooting Supplies, MO	Montgomery Shooting Complex, AL
OMB Guns, KS	On Target, IL
Park City Gun Club, UT	Gun For Hire, NJ
Point Blank Range and Gun Shop, OH	Pro Shots, NC
Ready Line, OH	Red Dot Firearms, UT
Rich's Gun Shop, OR	RKA, IL
RTSP, NJ	S and D Indoor Gun Range, KY
Sharp Shooters, MO	Sheridan Arms, MI
Shoot Indoors, CO	Shooters Edge, TN
Shooters World, FL	Skagit Island, WA
Stone Hart's Gun Club, FL	Tactical Advantage, TN
Take Aim, FL	The Machine Gun Nest, MD
The Range at Ballantyne, SC	The Range at Richfield, WI
Three Sights, MT	Thunder Hollow, MS
Tiverton Rod & Gun Club, RI	Treasure Chest, KS
West Coast Armory, WA	Whistling Pines Gun Club, CO
Wilshire Gun Club, OK	Yakima, WA



8201 W 183<sup>rd</sup> St; Suite B  
 Tinley Park, IL 60487  
 Phone: 708-532-2449  
 Fax: 708-429-2150  
 Website: careyscentral.com

### Military

Aviano Air Base, Italy	Bangor Naval Base
Colts Neck Naval Base	Coronado Naval Base
Dam Neck Seal Base	Eglin Air Force Base
Fort Bragg	Fort Campbell
Fort Drum	Fort Monmouth
Fort Story	Fort Worth
Groton Naval Base	Jacksonville Naval Air Station
Keesler Air Force Base	La Posta Mountain Warfare Training Facility
Little Creek Naval Base	Newark Naval Base
New Orleans Naval Air Station	Niagara Air Force Base
Patuxent River Naval Base	Quantico Marine Base
United States Air Force Reserves	

### Law Enforcement

Appleton PD, WI	Bedford Park PD, IL
Bensenville PD, IL	Boulder PD, CO
Border Patrol Station Boulevard, CA	Border Patrol Station San Diego, CA
Buena Park PD, CA	Council Bluffs PD, IA
Davenport PD, IA	Davie PD, FL
Eagleton Courthouse, MO	Elk Grove Village PD, IL
Green Bay PD, WI	Greenfield PD, WI
Hoffman Estates PD, IL	Kansas City PD, KS
Lake Forest PD, IL	Lancaster PD, NY
Longmont PD, CO	Macon County Sheriffs Range, IL
Manassas Park PD, VA	Middletown PD, PA
Milwaukee County Sheriff Dept., WI	Montclair PD, CA
Montgomery County Sheriff Dept., PA	Naperville PD, IL
NACO Border Patrol Station	Oak Creek PD, WI
Ontario PD, CA	Orlando PD, FL
Pascua Yaqui, AZ	Pasadena PD, CA
Pelham PD, AL	Portland PD, OR
Scarsdale PD, NY	Seabrook Nuclear, NH
Skokie PD, IL	Sunrise PD, FL
Washington Metro Transit Authority, MD	Wheaton PD, IL

### Educational / Manufacturing

Broward Community College, FL	Cuyahoga Community College, OH
Dayton T Brown, NY	Glock Manufacturing Facility, GA
I.W.I. US, PA	Indian River State College, FL
Los Alamos National Laboratory, NM	Miami College of Policing, FL
Michigan State University, MI	Palm Beach State College, FL
Proof Research, MT	Precision Ammo, FL
Remington Manufacturing Facility, KY	SchoolCraft College Public Safety Training, MI
Sig Sauer Manufacturing Facility, NH	



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### Management

The management team assigned to this range project is key personnel at Carey's Small Arms Range Ventilation and will ensure that this project will be completed professionally within the parameters set. The Carey's team consists of the following:

- Bill Provencher:** President and CEO – oversees all aspects of project.
- Pat Tovey:** Secretary-Treasurer and CFO – responsible for all material acquisition, contracts and project coordination.
- Brian Wright:** Director of Sales – assists in range planning, pricing and project coordination
- Sam Pappas:** Project Manager – oversees all aspects of the project throughout construction – coordinating with owners, subcontractors, and general contractors to schedule equipment delivery, installation, and start-up.
- Jim McKay:** Control Manager – Designs, supervises the assembly and start up of the range control systems. Commissions the systems.
- Kristofer Williams:** Engineer – Designs equipment and distribution systems for the range ventilation.

The team of professionals that Carey's brings to this project is among the most knowledgeable and complete authorities in the range ventilation field.

### Responsiveness and Support

Carey's is the only range ventilation supplier that has a 24 hour, seven day per week response center that can support and troubleshoot the range ventilation system through the direct digital control system. Their level of commitment to ensuring that our range is fully operational and functioning is extraordinary.

### Experience of contractor personnel

Carey's personnel have over almost two decades of experience installing ranges. In addition to seasoned employees and industry leading partners, Carey's has extensive sub-contractor relationships with all the disciplines of range construction. Carey's success in hiring experienced, professional employees, partners and sub-contractors is evidenced by their track record in building some of the most advanced, complex, state-of-the-art firearms training facilities in the world.

### Uniqueness

Carey's Small Arms Range Ventilation has been an innovative force in range ventilation design since 1995. Carey's has constructed a full scale model in-house to perform research and development in order to establish the best design for airflow in small arms ranges and shoot houses and also to develop Carey's custom radial diffuser plenum assembly that have been proven to provide even airflow in hundreds of indoor firing ranges.



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## Range Ventilation Design

The mechanical systems for a small arms range should be designed to maintain a laminar or even air flow at the shooters respiratory zone throughout all firing lines. The design should provide this air flow with a lack of turbulence at all of the shooting positions. There are three primary considerations for the design of small arms ranges:

1. The primary purpose for the ventilation of an indoor firing range is to remove from the respiratory zone of the occupants harmful contaminants created during the firing of a weapon. Exploding primers containing lead styphnate and friction from the lead slug against the gun barrel create airborne lead. There is also carbon monoxide as well as other contaminants created during the firing of a weapon.
2. The second and equally important reason for the properly designed and installed ventilation and control system is to keep the range at a negative pressure to the surrounding base building space. Contaminates created on a small arms range need to be contained within the range space. This will prevent the ingestion of contaminants as well as keeping the surfaces free of contaminants in non-range spaces of the base building.
3. The final purpose is to remove the smoke from the range for properly seeing the targets.

The standards followed and required are summarized below:

NIOSH (National Institute of Occupational Safety and Health) has set the standard for range design. This suggested design criteria has been found to consistently produce conditions that keep exposure in the respiratory zone below the allowable limits for lead exposure.

The following is a summary of the IMC 2009, EPA, NIOSH and OSHA standards as they apply to small arms range ventilation:

**IMC 2009 502.19 Indoor firing ranges.** Ventilation shall be provided in an *approved* manner in areas utilized as indoor firing ranges. Ventilation shall be designed to protect employees and the public in accordance with OSHA 29 CFR 1910.1025 where applicable.

### **EPA:**

TITLE 40--PROTECTION OF ENVIRONMENT CHAPTER I--ENVIRONMENTAL PROTECTION AGENCY PART 50--NATIONAL PRIMARY AND SECONDARY AMBIENT AIR QUALITY STANDARDS--Table of Contents Sec. 50.12 National primary and secondary ambient air quality standards for lead. National primary and secondary ambient air quality standards for lead and its compounds, measured as elemental lead by a reference method based on appendix G to this part, or by an equivalent



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method, are: 1.5 micrograms per cubic meter, maximum arithmetic mean averaged over a calendar quarter. (Secs. 109, 301(a) Clean Air Act as amended (42 U.S.C. 7409, 7601(a))) On November 12th, 2008, the EPA issued a final rule that revised the NAAQS for lead and associated ambient air lead monitoring requirements strengthening the requirement to 0.15 micrograms per cubic meter as total suspended particles measured as a three-month rolling average. (73 FR 66964, codified at 40 CFR part 58)

#### **NIOSH and OSHA:**

Established by NIOSH, the performance intent for firing range ventilation systems shall meet all the requirements outlined as recommendations and design considerations in HEW publication no. (NIOSH) 76-130, dated December, 1975, entitled "Lead Exposure Design Considerations for Indoor Firing Ranges". This design standard prefers an air flow velocity of 75 feet per minute average on the empty range. This design has consistently provided for the compliance within the established federal standards for airborne inorganic lead concentration limits.

When properly executed, lead concentrations are consistently maintained below the action level of 30 micrograms per cubic meter (30ug/m<sup>3</sup>) in an area where the limit shall not exceed 50 micrograms of lead per cubic meter (50ug/m<sup>3</sup>) of air over a time weighted average of eight hours as measured at the respiration zone of the shooters and the range officer when firing from the firing booths per OSHA 29 CFR. 1910.1025 and 1926.62.

#### **Airflow**

The air flow in the range is designed to maintain an average velocity of 75 feet per minute at the firing lines over the entire cross sectional areas. The safety of the occupants is the primary focus of the design for the range mechanical system. The exhaust airflow has been sized 10% greater than the supply airflow to maintain a negative pressure in the range of 0.05" of static pressure. This is measured between the range and the base building area. This will prevent contaminate created inside the range from spreading to the base building area.

#### **Duct System**

The distribution systems and radial diffuser plenum assemblies are designed to provide a laminar air flow over the cross sectional area. The distribution systems and radial diffusers provided by Carey's on this project have been used on over hundreds of ranges that have meet and exceeded the NIOSH, EPA, OSHA, United States Navy Unified Force Criteria (UFC), Engineering Technical Letter (ETL), and Government Service Administration (GSA) range design standards for small arms range ventilation.

#### **Equipment**

Recirculation system ventilation air-handling units consist of a commercial/industrial package make-up air unit and custom filtration air-handling unit. The package make-up air unit consists of an outside damper, outside air filters, DX cooling section, modulating hot gas reheat, gas heat exchanger, supply fan, unit processor control, and condenser section. The filtration air-handling unit consists of three stages of



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filtration, MERV-8 pre-filters, MERV-14 mid-filters, and 99.97% high efficiency particulate arrestor (HEPA) filters, variable frequency drive, recirculation fan, supply dampers and exhaust dampers.

### Controls

The range ventilation DDC control system is comprised of Johnson Controls HVAC control components such as temperature sensors, pressure sensors, pressure transducers, unitary controllers, and a FX controller. The control system logs trends for the operating parameters such as filter differential pressure and exhaust command. The DDC control system will produce maintenance messages for changing filters, belts, and general maintenance on the equipment. The control system will also produce alarms and warning messages if doors are held open too long, if there is a problem or fault in the units, and the control system will automatically alarm and shutdown if the range conditions become unsafe.

### Operation

Outside air is brought in through the make-up air unit where it is tempered and supplied to the range. The airflow is pushed through a graduated supply duct distribution system and balanced with heavy duty volume dampers to distribute evenly to custom supply radial diffuser plenums located on the rear wall behind the shooters. The airflow is balanced to provide an average of 75fpm at the firing line. Air is pushed/pulled down range to a graduated return duct system. Return air is filtered through 3 stages of filters including final 99.97% HEPA filters before being exhausted or recirculated. The return / exhaust fan is modulated through a variable frequency drive to maintain a range to base-building negative pressure of -0.05" WC.

### Typical Re-Circulation System Layout





# **Attachment 7**

Acoustics Presentation from April 5, 2015 Plan Commission Meeting (11 Sheets)

# The Chicago Gun Club

## Acoustic Review

Jordan Moran

M. Eng.

Acoustical Solutions, LLC

# Existing Background Noise

- Measurements were taken at 10-11AM on April 4<sup>th</sup>
- Measurement at Boundary of proposed site
- Measurement at Eleanor Place, opposite proposed site
- Measurement at termination of 79<sup>th</sup> Street



# Existing Background Noise - Results

Boundary of proposed site

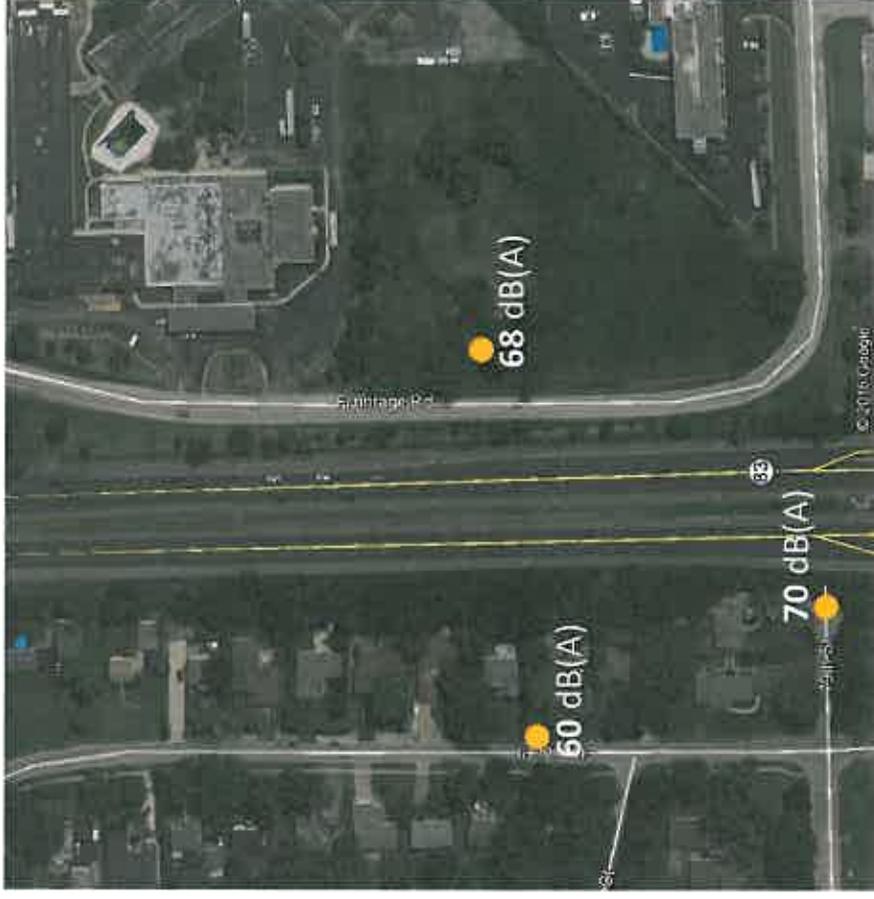
- 68dB(A)

Measurement at Eleanor Place

- 60dB(A)

Measurement at 79<sup>th</sup> Street

- 71dB(A)



# Computer Generated Prediction Model

- A 3D Computer generated model created to predict the possible impacts
- Modeled with every bay in use
- Every shooter firing simultaneously  
Hence 36 shooter firing
- Measurement is “impulse”  
measurement (the absolute short term peak sound pressure level)



# Prediction Model - Results

Boundary of proposed site

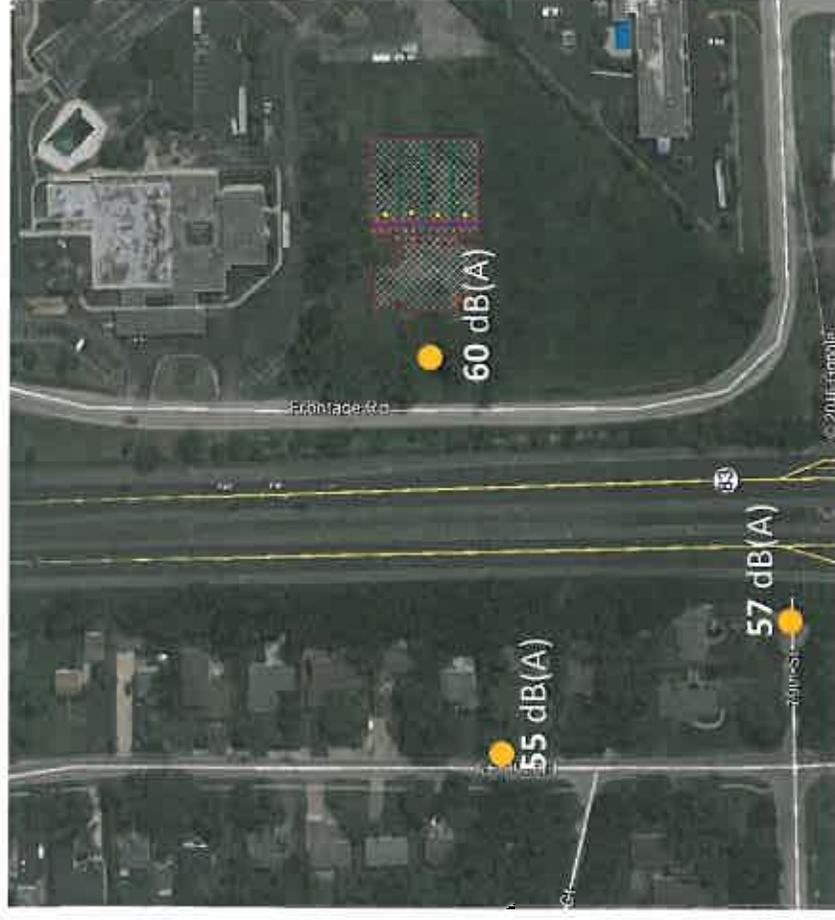
- 60dB(A)

Measurement at Eleanor Place

- 55dB(A)

Measurement at 79<sup>th</sup> Street

- 57dB(A)



# Measurement of Other Ranges

- To give a comparative measure of the range performance relative to existing ranges
- Measurements were taken a “The Range at 355”
- Measurements taken outside inline with the firing line
  - Peak Level = **69dB(A)** [Predicted Level = 76dB(A)]
- Measurements taken outside by rear exit door (non-acoustic door)
  - Peak Level = **82dB(A)** [Predicted Level = 77dB(A)]

***The Doors and Wall constructions of the proposed range differs from the measured range. The Door and Walls selected are superior.***

# Possible Noise Impact

- To Assess the impacts one must add the predict levels to the existing levels
- Decibels do NOT add LINEARLY, they add LOGARITHMICLY

So,

Boundary of proposed site

$$= 68 + 60 = \mathbf{69dB(A)}$$

Measurement at Eleanor Place

$$= 60 + 55 = \mathbf{61dB(A)}$$

Measurement at 79<sup>th</sup> Street

$$= 71 + 57 = \mathbf{71dB(A)}$$

# Impact – What Does That Actually Mean?

- What will these level actually be heard as?
- This is dependent on the amount of increase
  - Boundary of proposed site, Increase of **1dB(A)**
  - Measurement at Eleanor Place, Increase of **1dB(A)**
  - Measurement at 79<sup>th</sup> Street, Increase of **0dB(A)**

A 3dB increase is (in normal conditions) is a “just noticeably” difference

A 6dB increase is (in normal conditions) is a “noticeably” difference

A 10dB increase is a perceptual doubling of perceived loudness

# What Does Less Shooters Cause?

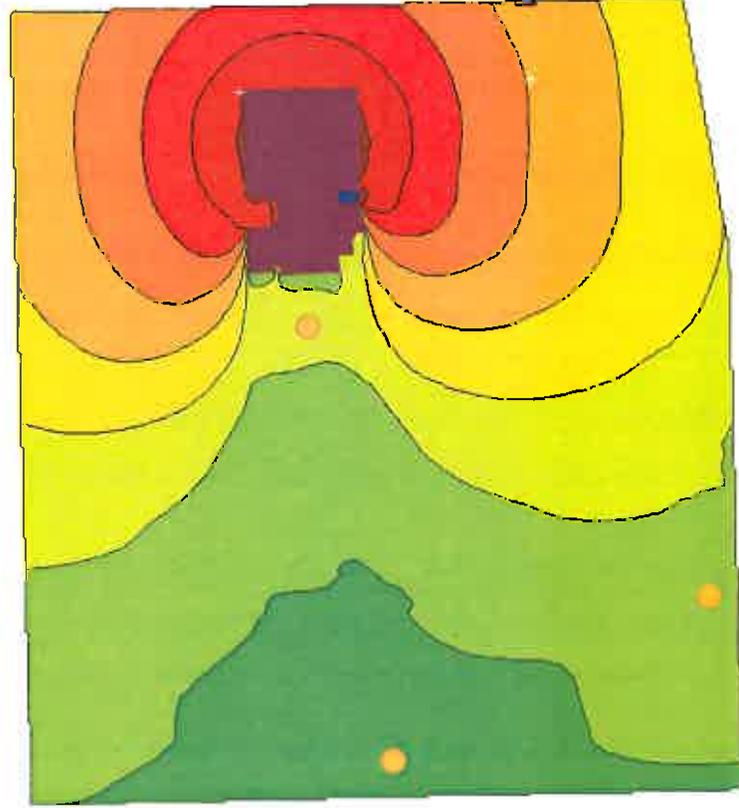
As the number of simultaneous firings reduce the noise level will also:

If, only 16 shooter fire simultaneously results will reduce by - **3dB**

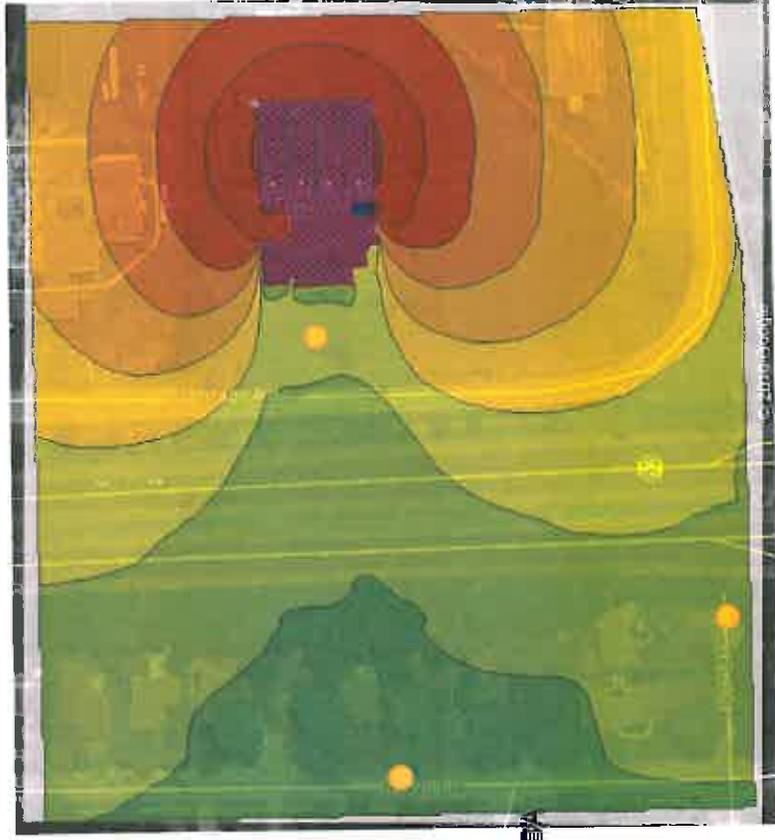
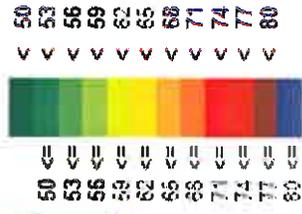
If, only 8 shooter fire simultaneously results will reduce by - **6dB**

If, only 4 shooter fire simultaneously results will reduce by - **9dB**

# Sound Mapping Results



Leq (impulse) in dB(A)



# Final Comments

- The Predictive model is incredibly pessimistic, it is truly a worse case scenario, especially due to the use of impulse as the measure
- The current model suggests the worse-case gun range scenario, will cause an imperceptibly increase in noise level relative to the existing background noise level due to traffic noise
- If less shooters were firing, or were not firing simultaneously, this impact would decrease further

# Attachment 8

Written public comment made prior to 4/6/17 (22 Sheets)

**Tim Halik**

---

**From:** Tom Swartz [REDACTED]  
**Sent:** Wednesday, April 05, 2017 5:12 PM  
**To:** Tim Halik  
**Subject:** gun range

I am in favor of the gun range. people who complain about noise have never been to a gun range. the trucks on 83 make more noise. I am a little concerned about alcohol, but trust the board to handle it right'.

tom swartz

## Anna Franco

---

**From:** Zoltan Baksay  
**Sent:** Thursday, April 06, 2017 8:53 AM  
**To:** Tim Halik  
**Cc:** Anna Franco; Roy Giuntoli  
**Subject:** Re: Proposed Willowbrook gun range

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Mr. Halik

Thanks for the quick response. I have sent a similar email to Mayor Trilla, each Trustee, and Mr. Hansen as well.

I intend to submit an FOIA request for the PowerPoint presentation given by the acoustic engineer at yesterday's Plan Commission meeting, but likely won't get to submitting that request until this afternoon.

Thanks again!

Kind regards,  
Zoltan Baksay

On Apr 6, 2017, at 7:26 AM, Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)> wrote:

Mr. Baksay –

Thank you for your comments. I will share them with the Mayor and Village Board.

Please be advised that I am merely an employee of the Village, and do not hold an elected position. Therefore, I do not have a position on the proposed development. My responsibility is to ensure that the development application is processed in accordance with all applicable laws and regulations. The Village Board will consider the application at their regular Village Board meeting on April 24, 2017. Village Board meetings are currently held at the Burr Ridge police department training room located at 7700 County Line Road, Burr Ridge, IL 60527. The meeting will start at 6:30 PM on April 24<sup>th</sup>.

Again, thank you for sharing your comments, and if you have any further questions, please don't hesitate to contact me.

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

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Web: [www.willowbrookil.org](http://www.willowbrookil.org)

<image001.jpg>

**From:** Zoltan Baksay [REDACTED]  
**Sent:** Thursday, April 06, 2017, 12:58 AM  
**To:** Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)>  
**Subject:** Proposed Willowbrook gun range

Dear Tim,

I am writing to express my serious concerns with the proposed indoor gun range that received unanimous approval from the Plan Commission earlier this evening. Many residents voiced legitimate concerns regarding having a gun range as a neighbor in our great village.

One of the Planning Commissioners (I believe it was Bernardo Lacayo - the nameplate in front of him stated William Remkus, but I don't believe it was Mr. Remkus) was rude and unprofessional, complaining the meeting was taking too long, and that some people had spoken already. There were passionate village residents primarily voicing their opinions against this gun range and there is nothing that precludes a resident from speaking more than once at a Plan Commission meeting.

I am pleased to know the petitioners dropped the 24/7 biometric access aspect of the proposed operation, but I have concerns regarding alcohol served on premises, lead pollution, noise pollution, and public safety. As a long-time resident living in close proximity to the proposed gun range, I would strongly consider moving out of Willowbrook should this gun range get approved.

I assure you that I will voice my concerns at upcoming Village Board meetings and ask that you join me and others in opposition to this gun range.

Please let me know if you have any questions or comments.

Kind regards,  
Zoltan Baksay

## Anna Franco

---

**From:** Anna Franco  
**Sent:** Tuesday, April 04, 2017 4:15 PM  
**Subject:** FW: StrategyES Voice Message <63B7F80A>  
**Attachments:** 00023a58.wav

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Completed

Plan Commissioners,

Please reference the attached audio file to listen to a voicemail message left for Village Administrator Tim Halik regarding the Chicago Gun Club. This message was recorded at about 10:15am on Tuesday, April 4, 2017.

Regards,

Anna

---

**From:** Tim Halik  
**Sent:** Tuesday, April 04, 2017 11:32 AM  
**To:** Anna Franco  
**Cc:** Roy Giuntoli  
**Subject:** FW: StrategyES Voice Message <63B7F80A>

Anna – Please share this public comment with the plan commission....

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

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E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)



**From:** Strategy Sender [mailto:Strategy@10.0.20.240]  
**Sent:** Tuesday, April 04, 2017 10:13 AM

**To:** Tim Halik <THalik@willowbrook.il.us>  
**Subject:** StrategyES Voice Message <63B7F80A>

**This is a transcription of a voicemail message left for Village Administrator Tim Halik at about 10:15am on Tuesday, April 4, 2017.**

Hello Mr. Halik,

My name is Julie Milo [REDACTED] and I am just calling to express my opinion about the proposed gun range by the old Holiday Inn on Route 83. I just want you to know that I am very opposed to it and it makes me very uncomfortable and I do not think that it is a good addition to our community, I don't think that it sends the message of what our community stand for that we want to send. I don't think it will be good for our property value and I think it will have a higher concentration of people walking around in our community who are armed because I think the people that will draw in are the kind of people who will take advantage of the concealed carry law. We will have more people walking around in our community with guns on their person than in a typical community. And if there is a gun range out there I don't know that I will go to that Target I will probably go to that Target on 63<sup>rd</sup> Street instead. I don't know that I will go to that Denny's I just won't want to be there where the people that attract will probably frequent. So, I hope you take this into consideration in your decision (inaudible) because it does not reflect what our families believe in. Something like that certainly can exist people have their right to that based upon the constitution but it needs to be out in the middle of no where like strip clubs are in the middle of no where. People have a right to go to them but they should not be in communities with families. OK thank you. I hope you listen to this. Bye Bye

Transcribed by Village Staff on April 5, 2017

## Anna Franco

---

**From:** Anna Franco  
**Sent:** Tuesday, April 04, 2017 4:23 PM  
**To:** Planning Commission  
**Subject:** FW: Proposed Gun Range in Willowbrook

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Completed

Plan Commissioners,

Please see the following email correspondence regarding the proposed Chicago Gun Club. I will give each of you a copy of this correspondence at tomorrow night's Plan Commission meeting.

Regards,

Anna

---

**From:** Tim Halik  
**Sent:** Tuesday, April 04, 2017 3:23 PM  
**To:** 'Margaret Muenzing'  
**Cc:** Anna Franco  
**Subject:** RE: Proposed Gun Range in Willowbrook

**Ms. Muenzing -**

Thank you for your comments regarding this development application. I've asked our planning consultant to share it with the members of the plan commission at tomorrow night's public hearing.

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

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E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)

-----Original Message-----

**From:** Margaret Muenzing [mailto:[muenzing@willowbrookil.org](mailto:muenzing@willowbrookil.org)]  
**Sent:** Tuesday, April 04, 2017 1:54 PM  
**To:** Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)>  
**Subject:** Proposed Gun Range in Willowbrook

Dear Sir:

I'm extremely concerned about this gun range proposal in our area. I was planning on attending Wednesday night's meeting to voice my opposition but was called out of town on an emergency.

I didn't hear about this until after the first meeting, but am extremely concerned about what I have heard.

First, do we need a gun range in a fairly congested area that's mainly residential? With a bar and a liquor license? That is not a good combination in any locale but here in our neighborhood it's extremely disconcerting.

More traffic, lead residue, drinking in proximity to guns, the ability to possibly rent guns to use outside the facility????

Why would anyone think this is a good idea? I understand that the village is attracted by the potential revenue but the village's primary concern should be its citizens and surrounding local residents who live here, and raise children here.

This is our home.

We reside in TriState Village, at the intersection of Route 83 and I-55. You're likely to draw in a lot of outside gun enthusiasts to our neighborhood., who aren't going to care about our residents.

Please do not okay this facility.

Thank you for reading my concerns.

Margaret Muenzing

[REDACTED]

Willowbrook 60527

Sent from my iPhone

## Anna Franco

---

**From:** Tim Halik  
**Sent:** Thursday, March 16, 2017 8:26 AM  
**To:** 'Zoltan Baksay'  
**Cc:** Anna Franco; Cindy Stuchl  
**Subject:** RE: Guntry club - PowerPoint presentation  
**Attachments:** Plan Commission\_02222017.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Mr. Baksay –

Thank you for your message. Attached is the PowerPoint presentation you requested.

With regard to Section 5-3-19(A)(8) of the Village Code of Ordinances, the ordinance dates back to 1979. We requested our Village Attorney review the current ordinance and provide his opinion on its applicability to the proposed development. He concluded that the language in sub-section 8 within the local ordinance was nullified as a result of the 2013 Illinois Firearm Concealed Carry Act, which allows the possession of firearms in facilities that hold a liquor license, provided the owner does not prohibit firearms within, or provided that 50% or more of the revenue generated by the facility is not derived from liquor sales. Below is the pertinent section of the state law:

*"A licensee under this Act shall not knowingly carry a firearm on or into any building, real property, and parking area under the control of an establishment that serves alcohol on its premises, if more than 50% of the establishment's gross receipts within the prior 3 months is from the sale of alcohol. The owner of an establishment who knowingly fails to prohibit concealed firearms on its premises as provided in this paragraph or who knowingly makes a false statement or record to avoid the prohibition on concealed firearms under this paragraph is subject to the penalty under subsection (c-5) of Section 10-1 of the Liquor Control Act of 1934." (430 ILCS 66/65 Sec. 65. Prohibited areas.)*

Willowbrook, as a non home-rule municipality, does not have the authority to impose regulations in this area that are more restrictive than current state law. Therefore, as a result of the passage of the Illinois Firearm Concealed Carry Act, we will need to amend the 1979 ordinance and we cannot enforce that provision on this development.

If you have any other questions or comments, please do not hesitate to contact me or our planning consultant, Anna Franco (630-920-2233 office).

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Office (direct): 630.920.2261  
Fax: 630.920.2427  
E-mail: thalik@willowbrook.il.us  
Web: www.willowbrookil.org

-----Original Message-----

From: Zoltan Baksay [mailto:zoltan.baksay@willowbrookil.org]  
Sent: Wednesday, March 15, 2017 9:26 PM  
To: Tim Halik <THalik@willowbrook.il.us>  
Subject: Guntry club - PowerPoint presentation

Hello Tim,

My name is Zoltan Baksay and I commented at the zoning hearing meeting in February. I would like to request a copy of the PowerPoint presentation (either in PowerPoint or a PDF version) so I can review the appendix in detail. It contained information that is not included in the documents filed with the village. If you are not able to provide the presentation, I understand.

If your able to comment, I would like to get your opinion on the unlawful use of weapons ordinance (section 5-3-19 section 8) and if it would apply to an establishment like the proposed guntry club. The section reads as follows:

"carries or possesses any firearm, stun gun or laser or other deadly weapon in any place which is licensed to sell intoxicating beverages"

I look forward to your response and will be present at the April 5th Plan Commission meeting to get responses to the concerns I raised and make additional comments against the proposed shooting range.

Kind regards,  
Zoltan Baksay

## Anna Franco

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**From:** Strategy Sender <Strategy@10.0.20.240>  
**Sent:** Wednesday, March 15, 2017 10:10 AM  
**To:** Anna Franco  
**Subject:** StrategyES Voice Message <49594845>  
**Attachments:** 0002373c.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**This is a transcription of a voicemail message left for Planning Consultant Anna Franco at about 10:10am on Wednesday, March 15, 2017.**

Hi Anna,

I was directed to your voice mail I was told that you were the Planning Commissioner or in charge of it. I was calling in regards to the possibility of a gun club coming up on Frontage Road which is less than a mile away from Gower Middle. There is already a gun store that is practically next to Gower Middle and a lot of the community members really had no idea that that was even coming up. This has raised a lot of questions among the community in Willowbrook and Burr Ridge and I would like to get more information on it from you so that I can relay it to the people in the community that have expressed interest in it as well. We do not want it there. We are planning on attending the meeting on April 5 at Hinsdale South High School to voice our opinion and I really would just like to talk with you about it to see exactly what the story is. To get the real facts I would like to go to the source. My name is Mrs. Reedy. If you can please give me a call back my number is [REDACTED]

Transcribed by Village Staff on April 5, 2017

## Anna Franco

---

**From:** Tim Halik  
**Sent:** Tuesday, March 14, 2017 11:25 AM  
**To:** Anna Franco  
**Subject:** FW: Procedure

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Completed

FYI...

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Office (direct): 630.920.2261  
Fax: 630.920.2427  
E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)



**From:** SUSAN KAMUDA [REDACTED]  
**Sent:** Tuesday, March 14, 2017 10:52 AM  
**To:** Tim Halik <THalik@willowbrook.il.us>  
**Cc:** [REDACTED]  
**Subject:** Re: Procedure

Thanks so much, Tim, I was really confused and concerned. Mayor Trilla is confused too, he was definitely talking about the gun range.

"This has passed both the zoning board and the board of trustees. All meetings are posted, by state statute, in a local paper and in the lobby at village hall. This is a well respected outfit in the gun range industry. More information would be available at village hall."

Frank

Sue

On Mar 14, 2017, at 10:45 AM, Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)> wrote:

Thanks Sue. I did not see your message to the mayor, or his response, but perhaps he was thinking about a different development that was recently considered by the Village Board. I can ask him. You can be assured that the proposed Chicago Gun Club development is not yet through the Village Plan Commission, and our Village Board has not yet considered it. As I mentioned in my last message to you, the Plan Commission public hearing was continued to April 5, 2017 at 7:00 PM at Hinsdale South High School, 7401 Clarendon Hills Road, Darien.

After the Plan Commission closes the public hearing, considers the development, and votes on a recommendation, that recommendation will be forwarded to the Village Board. The Village Board will then consider the development and take a final vote.

If you have any other questions, please let me know.

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Office (direct): 630.920.2261  
Fax: 630.920.2427  
E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)

<image001.jpg>

**From:** SUSAN KAMUDA [REDACTED]  
**Sent:** Tuesday, March 14, 2017 10:11 AM  
**To:** Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)>  
**Cc:** [REDACTED]  
**Subject:** Re: Procedure

Tim,  
In an email yesterday, Mayor Trilla said this has already passed the zoning board and the board of trustees, unanimously. Does it go back to the trustees again? He seems to be under the impression that if the planning commission passes it, it's a done deal.

Sue  
(I've copied my neighbor.)

On Feb 23, 2017, at 12:43 PM, Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)> wrote:

Sue - Thanks for your message.

Our zoning ordinance is based on Illinois statutory requirements to process zoning changes. The applicant in this case has submitted an application to re-zone the property in question from the B-3 (General Business) zoning district to the B-4 (Highway & Service Business) zoning district in order to obtain a Special Use Permit to construct an indoor firing range.

The required zoning process includes holding a public hearing before the Village Plan Commission to receive feedback from the community. This public hearing occurred last evening and was continued to April 5, 2017 at 7:00 PM at Hinsdale South High School, 7401 Clarendon Hills Road, Darien. After the public hearing is closed, the Plan Commission will consider the application, take a vote, and forward a recommendation relative to the application to the Village Board. The final consideration (approval or denial) of the re-zoning request will be determined at a meeting of the Village Board.

If you have any other questions, please let me know.

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

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Fax: 630.920.2427  
E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)

-----Original Message-----

From: SUSAN KAMUDA [REDACTED]  
Sent: Thursday, February 23, 2017 12:14 PM  
To: Tim Halik <[THalik@willowbrook.il.us](mailto:THalik@willowbrook.il.us)>  
Subject: Procedure

Hi Tim,

Hoping you can help me with the procedure the Village follows for approving a zoning change. In particular I'm interested in the zoning change to allow the Chicago Gun Club to build and operate in Willowbrook.

I believe the next meeting of the Plan Commission is on April 5th at 7:00 p.m. at the Village Hall. Can you please confirm this?

If the Plan Commission approves the zoning change, is that final approval for the project or would it go to the Board of Trustees for final approval?

Thanks for your help.

Sue Kamuda

7801 Bland Rd

Willowbrook

## Anna Franco

---

**From:** Tim Halik  
**Sent:** Wednesday, March 15, 2017 1:34 PM  
**To:** Anna Franco  
**Subject:** FW: Proposed gun range

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Just FYI....

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

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E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)



**From:** helen neal [REDACTED]  
**Sent:** Wednesday, March 15, 2017 1:06 PM  
**To:** Tim Halik <THalik@willowbrook.il.us>  
**Subject:** Fw: Proposed gun range

emailed that I received on my VofW

G

**From:** SUSAN KAMUDA [REDACTED]  
**Sent:** Monday, March 13, 2017 5:32 PM

To: Gayle Neal  
Subject: Proposed gun range

Hello, Ms. Neal:

My husband and I have lived on Eleanor Place for over 30 years. We are concerned about the proposed gun range. Many of our neighbors are less than 500' from the site. Alcohol and guns? 24/7 access for some members? This site is less than a mile from Gower Middle School. We really don't think this belongs in Willowbrook.

Can you tell me your feelings about the project?

Thank you,  
Sue Kamuda

7102 Eleanor Pl  
Willowbrook

## Anna Franco

---

**From:** Tim Halik  
**Sent:** Tuesday, March 14, 2017 12:13 PM  
**To:** 'SE'  
**Cc:** Anna Franco  
**Subject:** RE: Proposed Zoning for Gun Range Facility in Willowbrook, IL

Dear S. Eisenberg –

Thank you for your message, and for the opportunity to provide responses to your comments. With regard to notice of the public hearing for consideration of the zoning application for the proposed Chicago Gun Club development in Willowbrook, please know that the required form of notice is dictated by Illinois state statute and Village ordinance. These requirements mandate that a legal notice of public hearing be published in a local newspaper, all properties located within 250 feet of the property in question receive a direct (i.e., mailed) notice, and a sign must be posted on the property in question advising of the date, time and location of the public hearing. These notice provisions are requirements of all zoning applications in which a public hearing is required, and were completed for this application.

The required public hearing for this development was held on February 22, 2017 at 7:00 PM at Hinsdale South High School, 7401 Clarendon Hills Road, Darien. The public hearing was then continued to April 5, 2017 at 7:00 PM at Hinsdale South High School, 7401 Clarendon Hills Road, Darien.

With regard to your comments on the types of firearms that can be rented at the proposed facility, below (in **bold** font), please find a response on that item from the applicant, Mr. Joe Neveril:

**"Most "Guntry Clubs" in the country have fully automatic firearms for rent at their facilities and as such have developed well known and established policies regarding their use by "civilian" shooters. Here are some examples from the machine gun program my business partner, Ken Love, put in place while General Manager at The Frisco Gun Club.**

**All range rules apply along with the following policies:**

- **The shooter is never in unsupervised possession of the firearm. When a shooter makes a request to fire a machine gun a specially trained employee will retrieve the firearm from secure storage along with the appropriate magazines and ammunition. These firearms are never "on display" and always remain in secure storage when not in use.**
- **All shooters are given a safety brief and training on how to operate the particular firearm they will be shooting. They are then escorted to the range, and the firearm is made ready by our employee. The shooter is allowed to shoot the firearm, while at all times a specially trained range safety officer is in very close proximity. This is probably the most personal training a shooter receives while at our facility. After the shooter has exhausted their ammunition supply (usually 30 to 60 rounds) the firearm is returned to secure storage. Again, the firearm is never in unsupervised possession of a customer and never leaves the facility.**

- **All shooters must possess the basic skills and physical ability to safely operate the firearm they wish to shoot.**
- **Personnel with access to the automatic firearms is limited to supervisor level only.**
- **Secure storage take place in a UL approved gun safe designed specifically for this purpose and is located in a specially designed vault room that is located in the secure inventory storage area of the facility.**

**As far as "assault weaponry" goes, that term may technically apply to the fully automatic machine guns mentioned above. With that said, ALL firearms that will be available for rent to our members will conform to all local, state and federal laws, and our rental policies will prevent unauthorized access to those firearms. All shooters must surrender their F.O.I.D. card prior to entering the range, and since possession of an F.O.I.D card means the holder has been deemed by the state police a citizen in good standing and responsible under the law to possess firearms, we can be reasonably sure of our customer's integrity. Most ranges in the area employ similar policies.**

**Safety will always guide our decision making process, and we will never do anything that will undermine our community. The Chicago Gun Club will be a place where responsible gun owners can operate their firearms in a controlled and safe manner, and in doing so, we strongly believe will actually bring value to the community by promoting training and responsible firearms ownership."**

Again, thank you for your feedback on this proposed development. If you have any other questions or comments, please do not hesitate to contact me or our planning consultant, Anna Franco (630-920-2233 office). In accordance with your request, your message will be forwarded to the individual members of the Village Plan Commission.

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Office (direct): 630.920.2261  
Fax: 630.920.2427  
E-mail: thalik@willowbrook.il.us  
Web: www.willowbrookil.org

-----Original Message-----

From: SE [REDACTED]  
Sent: Monday, March 13, 2017 5:34 PM  
To: Tim Halik <THalik@willowbrook.il.us>  
Subject: Proposed Zoning for Gun Range Facility in Willowbrook, IL

Apparently few Willowbrook residents are aware of the proposed zoning to allow a Gun Range facility to be built in Willowbrook. It is something I just learned about through a local share community and your e-mail address was given. If you are not one who is involved with the subject matter, would you kindly pass this along to the zoning committee.

If this plan were to be well known around the community, I would think the committee would receive many responses for or against it. I personally would not support it, however if it were put through one thing concerns me the most. It was indicated that there will be rentals for machine guns but not sure about any other type of assault weaponry.

Even in a highly established range with proper rules and hopefully safety regulations, why on earth would someone want to or be permitted to know how to operate a machine gun or assault weapon other than the military. These days any type of weapon can be found somewhere and I would hope that if approving such a facility Willowbrook would take further safety measures to prevent this type of activity. The fact that liquor will also be served to me compounds the issue.

I sincerely hope you take this matter into consideration when reviewing the zoning for this establishment. I know people living in the direct area of homes by the proposed site have already begun to voice their concerns.

Thank you.

Sincerely

S Eisenberg

## Anna Franco

---

**From:** Anna Franco <afranco@wbkengineering.com>  
**Sent:** Thursday, April 06, 2017 4:20 PM  
**To:** Anna Franco  
**Subject:** Fw: I'm against the gun range

**Anna Franco**  
Urban Planner

**WBK Engineering, LLC**  
116 West Main Street, Suite 201, St. Charles, Illinois 60174  
P: 630.443.7755 D: 630.338.8531

[www.wbkengineering.com](http://www.wbkengineering.com) | [Mediating the Built & Natural Environments](#) | [Part of the Mno-Bmadsen Family](#)

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**From:** Tim Halik <THalik@willowbrook.il.us>  
**Sent:** Wednesday, April 5, 2017 6:33 PM  
**To:** Anna Franco  
**Cc:** Roy Giuntoli  
**Subject:** Fwd: I'm against the gun range

Please share with the plan commission....

Tim

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Megan Lawrence <mela@willowbrook.il.us>  
**Date:** 4/5/17 6:26 PM (GMT-06:00)  
**To:** Tim Halik <THalik@willowbrook.il.us>  
**Subject:** I'm against the gun range

Dear Tim,

I am a resident of Willowbrook (██████████) and would like you to reconsider moving forward with the gun range entirely. In addition to safety (24 hour access, proximity to 2 schools and my house, and serving alcohol), I am against it simply because I don't

think it is a right 'fit' business for our village.

Please pass along my dissent to the Mayor and Trustees. Thanks in advance.

Sincerely,  
Megan Lawrence



Sent from my iPhone

**Tim Halik**

---

**From:** Shivani Kamdar [REDACTED]  
**Sent:** Thursday, April 06, 2017 10:05 PM  
**To:** Tim Halik  
**Subject:** Opposition to Gun Club

Dear Mr. Halik,

Thank you for answering my call earlier today and for your service to our community. Here is the email expressing concerns for the proposed gun club:

Shivani Kamdar  
[REDACTED]

Willowbrook, IL 60527

April 6, 2017

To Mayor Trilla, Village Administrator Tim Halik, and the Village of Willowbrook Members of the Board of Trustees,

I am writing this letter to express my serious concerns with the proposed indoor gun range in Willowbrook. I attended the Plan Commission meeting last night and was shocked to learn the range would have machine guns, be in close proximity to our schools and **serve alcohol during school hours**. The majority of people who spoke last night opposed the club, including multiple gun owners. Three men did voice support for the club, but even one of them seemed concerned about the club serving alcohol.

The following cause much apprehension:

Alcohol served during school hours at a gun club. 3 schools are about a 1 mile away from the proposed site.

Members allowed to use machine guns and rent them.

Members allowed to bring guests. It was not clear if a background check would be done on the guests of the members.

Many residents voiced concerns regarding noise pollution, lead pollution and traffic on streets used by children walking or otherwise commuting to and from school. These concerns were not adequately addressed in my opinion.

It is reckless for a gun range to serve alcohol, especially so close to schools and family friendly areas- Target, Big Gymnastics....

It is even more reckless for the Village of Willowbrook to accept such a proposal.

I am a practicing family physician and see the toll a shooting (accidental or not) can take on a family and community. I do not want to see our community suffer from unintended consequences from the combination of guns and alcohol.

My husband and his family are from Willowbrook. Part of the reason we love living here is because it is safe and quiet.

The public's safety is at risk if the proposal for this gun club passes. I thank you for your service and hope you consider this letter in your decision making process.

Sincerely,

Shivani Kamdar, DO

**Tim Halik**

---

**From:** Megan Lawrence [REDACTED]  
**Sent:** Wednesday, April 05, 2017 6:26 PM  
**To:** Tim Halik  
**Subject:** I'm against the gun range

Dear Tim,

I am a resident of Willowbrook [REDACTED] and would like you to reconsider moving forward with the gun range entirely. In addition to safety (24 hour access, proximity to 2 schools and my house, and serving alcohol), I am against it simply because I don't think it is a right 'fit' business for our village.

Please pass along my dissent to the Mayor and Trustees. Thanks in advance.

Sincerely,  
Megan Lawrence

[REDACTED]

Sent from my iPhone

## Anna Franco

---

**From:** Anna Franco  
**Sent:** Wednesday, April 05, 2017 5:46 PM  
**To:** Planning Commission  
**Subject:** FW: gun range

Plan Commissioners,

Please see the following public comment regarding the proposed Chicago Gun Club, below. I will also have a print out of this email at tonight's Plan Commission meeting.

See you at 7pm.

Anna

**Anna Franco**  
Planning Consultant  
WBK Engineering

630-920-2233 Village Direct  
630-338-8531 WBK Direct

**From:** Roy Giuntoli  
**Sent:** Wednesday, April 05, 2017 5:44 PM  
**To:** Anna Franco <AFranco@willowbrook.il.us>  
**Subject:** FW: gun range

**From:** Tim Halik  
**Sent:** Wednesday, April 05, 2017 5:14 PM  
**To:** Anna Franco <AFranco@wbkengineering.com>  
**Cc:** Roy Giuntoli <RGIUNTOLI@willowbrook.il.us>  
**Subject:** Fwd: gun range

Please share with the plan commission.....

Tim

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Tom Swartz [REDACTED]  
**Date:** 4/5/17 5:11 PM (GMT-06:00)  
**To:** Tim Halik <THalik@willowbrook.il.us>  
**Subject:** gun range

I am in favor of the gun range. people who complain about noise have never been to a gun range. the trucks on 83 make more noise. I am a little concerned about alcohol, but trust the board to handle it right'.

tom swartz

## Tim Halik

---

**From:** mswahi1 [REDACTED]  
**Sent:** Friday, April 07, 2017 9:26 AM  
**To:** Tim Halik  
**Subject:** Please stop the gun range proposal

Tim Halik,

By way of introduction, my name is Sonia Patel. I am a 12+ year resident of Burr Ridge residing in Fieldstone. This is my first time writing to you. The reason for my note today is because I have grave concerns about the proposed indoor gun range proposal. As a mother of 3 little ones attending Gower West, I am deeply disturbed by the possibility of such a facility, which will not only have guns- but machine guns at that, which in of itself is outrageous. In addition, alcohol will be served. I understand the 2nd Amendment, but I cannot possibly fathom why anyone would allow it in such proximity to schools and nearby activities. My children are now attending Gower West, but in due time will be at Gower Middle - both of which are less than 1 mile away from this site. Additionally, we are often at BIG gymnastics and Target - both which are very close to this proposed site. With so many school tragedies across our great nation during recent times, why would we make such a reckless and irresponsible decision as to allow machine guns with its alcohol-served patrons in such close proximity to our children and community?

Simply put, allowing a gun club to come here would be irresponsible, reckless and incredibly dangerous. Please stop this from becoming a reality.

Sincerely,

Sonia Patel

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<p style="text-align: center;"><b>ITEM TITLE:</b></p> <p>A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NO. 35 – THE INSTALLATION OF VIDEO AND AUDIO EQUIPMENT WITHIN INTERVIEW ROOMS – POLICE BUILDING EXPANSION/RENOVATION PROJECT, AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDER</p>	<p><b>AGENDA NO.</b>     6</p> <p><b>AGENDA DATE:</b>                     <u>4/10/17</u></p>
--	--

<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u></u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN TA</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u></u>
<b>REVIEWED BY MUNI. SERVICES COMMITTEE:</b> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, etc.)**

At its regular meeting on October 10, 2016, the Village Board awarded a construction contract in the amount of \$3,152,000 to L.J. Morse Construction Company to complete the expansion/renovation of the Village Police Building located at 7760 Quincy Street. Construction work began on October 19, 2016 and since that time various work has occurred including demolition, completion of the sally port addition, interior framing, rough plumbing and electric, drywall installation, HVAC installations, interior painting, finish installations, and the completion of site work.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The following change order represents a total addition in the contract in the amount of \$29,482.00. The following is a summary of the nature of the required change order:

C.O. #	TYPE	AMOUNT (+ OR -)	EXPLANATION
35	Addition	\$29,482.00	There are three (3) interview rooms within the new police building. In accordance with various law provisions, each room must be equipped with video and audio monitoring and recording equipment, since the resulting electronic data could potentially be used as evidence in a prosecution. The Village hired the firm Sentinel Technologies, Inc. to design the various communications systems within the building including: audio/visual, security, paging, and data cabling. During the design development phase of the project, staff held several meetings with Sentinel to review the system requirements. Sentinel then developed a plan which was included in the bid packet along with the Williams Architect's plan and the site civil plan. Unfortunately, the required audio/video monitoring and recording system for the three (3) interview rooms was not included in the final Sentinel plan put out to bid. Therefore, these installations must be added to the project through a change order. The contractor's proposal of \$29,482 was reviewed by Sentinel and others and determined to be a reasonable amount.

Staff recommends that the resolution authorizing the above change order as presented be adopted. In order to order the equipment so that it will be available when needed, Chairman Mistele and the Mayor were consulted and it was agreed that the change order would be accepted and ratified by the Village Board after-the-fact. Administrator Halik accepted the change order on March 28, 2017.

**ACTION PROPOSED:**  
Adopt resolution, which will serve to accept the change order and ratify and confirm the Administrator's prior acceptance of the change order.

**Police Renovation Project  
Summary of Change Orders (as of 4/4/17)**

Status	Change Order Proposal No.	Change Order Issue No.	Change Order Description	Cost	Board Approved?
Accepted	1	1	Reconstruct Interior Office Walls from Demo.	\$6,901.00	11/14/2016
Accepted	2	2	Alternate Vehicle Carport Manufacturer	(\$7,453.00)	11/14/2016
<del>Rejected</del>	<del>3</del>	<del>3</del>	<del>Manhole Removal</del>	<del>\$3,378.00</del>	<del>N/A</del>
Accepted	4	7	Exterior Police Logo Revision	\$2,166.00	N/A
Accepted	5	3	Demo & Re-Construct Existing Exterior Door Canopies	\$13,562.00	11/28/2016
Accepted	6	8	Relocate Existing Ductwork to Accommodate 9/11 Artifact	\$1,999.00	N/A
Accepted	7	4	Sally Port Addition Footing Undercut (bearing soil)	\$1,391.00	N/A
Accepted	8	5	Drywall Finish - Conference Room No. 122	\$1,984.00	N/A
Accepted	9	6	Delete Concrete Floor Infills (not required)	(\$4,371.00)	N/A
<del>Rejected</del>	<del>10</del>	<del>10</del>	<del>Locker Wall CMU Offset Issue</del>	<del>\$9,388.00</del>	<del>N/A</del>
Accepted	11	9	Replace Interior Window (demolished by Village PW)	\$720.00	N/A
Accepted	12	10	Convert Locksets to Integrated Core System for Doors	\$1,342.00	N/A
Accepted	13	11	Header Addition over Door #131A (not shown in plans)	\$2,119.00	N/A
Accepted	14	12	Reinforcement of Storage Room Wall (not shown in plans)	\$1,665.00	N/A
<del>Rejected</del>	<del>15</del>	<del>15</del>	<del>SA/RA Duct Lining</del>	<del>N/A</del>	<del>N/A</del>
Accepted	16	29	Ceiling Conflicts (plan discrepancies) - T&M NTE	\$3,581.00	3/13/2017
<del>Rejected</del>	<del>17</del>	<del>17</del>	<del>Monument Pier Wall Structural Revisions</del>	<del>\$7,698.00</del>	<del>N/A</del>
Accepted	18	16	Headers Req'd. Over Glass Walls (not shown in plans)	\$5,289.00	1/23/2017
Accepted	19	13	Delete Drywall Soffits in Toilet Rooms 107 & 108	(\$194.18)	N/A
Accepted	20	14	Replace Four (4) Exist. Exterior Doors	\$18,995.00	1/23/2017
Accepted	21	15	Installation of 4" Conduit Per ComEd	\$1,721.00	N/A
Accepted	22	17	Construct Five (5) Glass Wall Header Posts	\$528.00	N/A
Accepted	23	19	Floor Underlayment, R/R Two (2) Exist. Doors	\$13,213.00	2/13/2017
<del>Rejected</del>	<del>24</del>	<del>24</del>	<del>Electric Receptacle Relocation &amp; Additions, Rm. 124/126</del>	<del>\$731.00</del>	<del>N/A</del>
Accepted	25	20	Add Four (4) Electric Receptacles in Training Room	\$4,271.00	2/13/2017
Accepted	26	18	Omit Roof Coverboard	(\$5,250.00)	N/A
Accepted	27	22	Conduit feed & Disconnect replacement - Exist. RTUs	\$3,839.00	2/27/2017
Accepted	28	21	Relocate TV Outlets in Room 132	\$383.00	N/A
Accepted	29	23	Install Rigid Insulation in Office Exterior Walls	\$3,073.00	2/27/2017
Accepted	30	27	9/11 Artifact Display Area Glass Railing	\$6,077.00	3/13/2017
Accepted	31	24	Add wall insulation in exterior walls to roof deck	\$6,308.00	2/27/2017
Accepted	32	25	Float men's and women's locker room floors	\$5,922.00	2/27/2017
Accepted	33	31	Install two (2) protective bollards - sally port access	\$1,616.00	N/A
Accepted	34	26	Replace two (2) existing roof-top exhaust fans	\$1,349.00	N/A
Accepted	35	30	Remove exposed CMU & replace w/face brick	\$2,040.00	N/A
<del>Rejected</del>	<del>36</del>	<del>36</del>	<del>Replace storm inlet rim</del>	<del>\$1,005.00</del>	<del>N/A</del>
Accepted	37	28	Add new 4" underground conduit per ComEd	\$6,650.00	3/13/2017
Accepted	38	32	FD req. exist fire connection be replaced w/5" Stortz	\$561.00	N/A
Accepted	39	35	Sentinel security plan did not include int. room cameras	\$29,482.00	4/10/2017
Accepted	40	33	Credit for artifact display design concept not used	(\$5,069.00)	N/A
Accepted	41	34	Added cost to repair exterior masonry before staining	\$930.00	N/A
Accepted	42		Removal of Debris / Over-excavation of 2 Carport Piers	\$5,570.00	
Accepted	43	36	Cost of add'l. concrete due to site curb relocation	\$533.00	N/A
Accepted	44		Remove and Replace add'l. deteriorated curb on site	\$1,788.00	

Original Contract Sum: \$3,152,000.00  
Net Change by Change Orders To Date: \$127,872.82  
% of Net Change Orders to Original Contract Sum: 4.06%  
New Contract Sum: \$3,279,872.82

  = Accepted

RESOLUTION NO. 17-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NO. 35 – THE INSTALLATION OF VIDEO AND AUDIO EQUIPMENT WITHIN INTERVIEW ROOMS – POLICE BUILDING EXPANSION/RENOVATION PROJECT, AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDER

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BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Administrator is hereby authorized to execute project change order number 35, attached hereto as Exhibit "A" and made a part hereof, in the additional amount of \$29,482.00 to install video and audio recording equipment within three (3) interview rooms, being part of the police building expansion/renovation project. In addition, it is hereby authorized that the Village Administrator's prior execution of said change order on March 28, 2017, be and the same, is hereby ratified and confirmed.

ADOPTED and APPROVED this 10<sup>th</sup> day of April, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**L.J. Morse Construction Company**

128 South Broadway

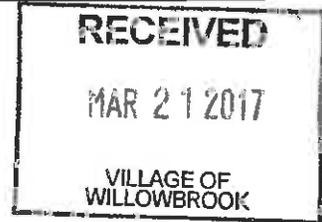
Aurora, IL 60505

**PROPOSED CHANGE ORDER**

**No.00039**

Phone: 630.896.2696

Fax: 630.896.2697



**TITLE:** Additional Cameras per request  
**PROJECT:** Willowbrook Police Facility Renovatn  
**TO:** Attn: Tim Halik  
 Village of Willowbrook  
 835 Midway Drive  
 Willowbrook, IL 60527  
 Phone: 630.920.2261 Fax: 630.920.2427

**DATE:** 03/21/2017  
**JOB:** 2014-052  
**CONTRACT NO:** 1

**RE: To: From: Number:**

**DESCRIPTION OF PROPOSAL**

Included are the added costs to furnish and Install additional cameras as detailed in the attached quote and change request.

Item	Description	Stock#	Quantity	Units	Unit Price	Tax Rate	Tax Amount	Net Amount
00001	Costs per Valley Elec Quote		1		\$26,276.00	0.00%	\$0.00	\$26,276.00
00002	LJM OH/P		1		\$2,628.00	0.00%	\$0.00	\$2,628.00
00003	Bonds		1		\$578.00	0.00%	\$0.00	\$578.00
<b>Unit Cost:</b>								<b>\$29,482.00</b>
<b>Unit Tax:</b>								<b>\$0.00</b>
<b>Total:</b>								<b>\$29,482.00</b>

**APPROVAL:**

By: Tim Halik  
 Tim Halik

By: Louis J. Morse  
 Louis J. Morse

Date: 3-28-17

Date: \_\_\_\_\_

# PROPOSED CHANGE ORDER

## Valley Electrical Contractors Inc.

Mail: Po Box 461  
Deliveries only; 4485 State Route 71  
Oswego, IL 60543  
Telephone: 630-554-6200  
Fax: 630-554-5543  
Contact: Jim Nauert  
Client Address:

Date: 3/16/2017  
Project Name: Willowbrook Police Station  
Project Number: 3498  
Page Number: 1  
Change Order #: 3498-9

## L.J. Morse

Contact: Lou Morse  
128 S. Broadway  
Aurora, IL 60505  
Telephone: 630-896-2696  
Contact: Lou Morse

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### Work Description

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We reserve the right to correct this quote for errors and omissions.

Provide material and labor to install a new interview system.

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### Itemized Breakdown

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Description	Qty
3/4" EMT	30
3/4" EMT DC SS CONN	3
3/4" MINRLAC W/BOLT 1-B	6
3/4" PLASTIC BUSHING	6
4x1-1/2" SQ BOX COMB KO	3
4" SQ 1G PL-RING 3/4" RISE	3
MSF M/STUD SNAP-ON BOX SUPP	3
<b>Totals</b>	

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### Summary

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General Materials		84.14
Material Overhead	(@ 10.000 %)	8.41
Material Markup	(@ 5.000 %)	4.63
<b>Material Total</b>		<b>97.18</b>
JOURNEYMAN	(3.51 Hrs @ \$115.00)	403.65
Interview System Equipment & Labor	(\$25,775.75 + 0.000 % + 0.000 % + 0.000 %)	25,775.75
<b>Subtotal</b>		<b>26,276.58</b>
Final Adjustment		-0.58
<b>Final Amount</b>		<b>\$26,276.00</b>

ORIGINAL

## Louis Morse

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**From:** Jim Nauert <jnauert@valleyelectric.us>  
**Sent:** Thursday, March 16, 2017 2:32 PM  
**To:** Louis Morse  
**Subject:** Willowbrook PD Interview System CO #3498-9  
**Attachments:** PCO #3498-9.pdf; Willowbrook PD Interview System Materials.pdf

Attached is change order #3498-9 and a list of equipment needed to install a complete interview system.

Below is additional information Applied Communications sent for reference:  
Please note the following. There is also a link below for more information on the system.

The iRecord Universe solution includes the following features:

1. **Simple, easy to use, "One Touch" Recording**
2. **HD/IP Cameras**
3. **High Resolution Video**
4. **ONVIF® Compliant**
5. **Software Generated Time and Date Generator (Watermark)**
6. **Software Generated Attorney-Client Microphone Disable Feature**
7. **Brightness and Contrast Control**
8. **Live Viewing and Rewind in Progress Feature**
9. **Real-Time and Post-Time Notes/Bookmarking**
10. **Scrolling Notes**
11. **Searchable META Data SQL Database**
12. **Active Directory® Integration**
13. **Remote Client Browser allows for Live Viewing of Interviews, Live Notes, Data Search, Interview Retrieval**
14. **Remote Start/Stop via Client Browser, Dry Contact Switches**
15. **External Video Import Feature (In-Car Video Files, Body Cameras, Surveillance Files etc.)**
16. **Advanced/Flexible Interdepartmental Security (Password protection, Adjustable User Access, Privacy, Sub-Groups, Multiple Group Support)**
17. **Redaction for Secure Editing**
18. **Chain of Evidence Audit Report PDF**
19. **Export Mobile Anywhere Files to Universe Evidence Vault Database**
20. **Picture in Picture Supports Two Cameras Per Room**
21. **Non-Proprietary Files (WMV, MPEG, MP4), playable on Windows PC and DVD players**
22. **Immediate file transfer to Evidence Vault**
23. **DVD burn time for interviews is approx. 5 mins, Transfer to USB takes seconds**
24. **The ability to burn additional copies via the client browser**
25. **Enterprise Evidence Vault™ for unlimited concurrent access, single centralized database and long term, secure file retention**

<https://www.youtube.com/watch?v=VchikX32-Is>

Let me know if you have any questions.

*Jim Nauert (Estimator)*  
*Valley Electrical Contractors, INC.*  
*P.O. Box 461 Oswego, IL. 60543*  
*P:(630)554-6200 Ext 17*  
*F:(630)554-5543*  
*[jnauert@valleyelectric.us](mailto:jnauert@valleyelectric.us)*

Provide the material and labor to install the iRecord Interview System for the Willowbrook Police Facility.

Qty	Unit	Scope of Work
3	ea	Install Camera Cabling
2	ea	Install Mic Cabling
2	ea	Install Keypswitch Cabling
3	ea	Install Cameras
2	ea	Install Key Switches
2	ea	Install Microphones
1	ea	Install Recording Equipment
1	ea	Install Remote Connection to Monitor

Qty	Unit	Equipment & Materials Description	Part #
1	ea	iRecord Universe IP Turnkey Recording System (3 Room)	IR-Universe (2)
2	ea	Single Gang Toggle Switch Plate w/ LED - Stainless Steel	MCK64
1	ea	Optical Breakout Card - Dry Contact One breakout box supports four switches	SM-WBC1
1	ea	Relay Output with Digital Input Ethernet ModuleOne relay supports four switches	ADAM6060
3	ea	Axis 3364 IP Camera	AX-P3364
2	ea	Covert Light Switch Microphone (Omnidirectional, PZM, Zone)	CN-PZM11LL
1	ea	16 Port Power Supply (Power Supply for Microphones and Accessories)	AL-R615DC616ULC
3	ea	DVD-R Media, 4.7 GB Each (10 Pack)	DVDR-1JC
1	ea	Uninterruptible Power Supply 1000VA	UPS1000
1	ea	Viewsonic 22" LCD Monitor	MON22
1	ea	Computer Speakers	COMPSPKRS
1	ea	Cisco Small Business Smart SG200-08P (Network Switch, 4 cameras max)	SF100D-08P
1	ea	Cat 6 Cable	
1	ea	Cat 6 Patch Panel	
1	ea	Cat 6 Jacks	
1	lot	Misc Cables	
1	lot	Onsite Programming and Training	

## Tim Halik

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**From:** Tim Halik  
**Sent:** Wednesday, March 08, 2017 8:56 AM  
**To:** Louis Morse  
**Cc:** Mark Shelton; 'David Haeseli'; 'Gary A. Pingel'; Robert D. Koeller (rdkoeller@williams-architects.com); 'Christine Keltner'  
**Subject:** VOW - Additional Low-Voltage Installations Required

Lou –

Thanks for taking our early call this morning. As we discussed, Chief Shelton has identified some low-voltage installations that are needed in the building, but were apparently not included on the Sentinel plan:

- In Room #110 (Public Meeting Room/Victim Interview):
  - Video camera with no audio and not recorded, to be able to be viewed on the monitor in Room 109
- In Room #152 (Suspect Interview):
  - Video camera with audio to be DVR recorded (DVR device to be located in Room 128)
- In Room #165 (Suspect Interview):
  - Video camera with audio to be DVR recorded (DVR device to be located in Room 128), and to be able to be viewed on the monitor in Room 128

If you or the low-voltage contractor have any questions on the above, please feel free to contact Chief Mark Shelton directly at [REDACTED] (cell)

**Tim Halik**  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

Office (direct): 630.920.2261  
Fax: 630.920.2427  
E-mail: [thalik@willowbrook.il.us](mailto:thalik@willowbrook.il.us)  
Web: [www.willowbrookil.org](http://www.willowbrookil.org)