

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, APRIL 5, 2017 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - February 22, 2017
4. PLAN COMMISSION CONSIDERATION: Continuation of Zoning Hearing Case 17-01: (Northeast corner of Route 83 Frontage Road and 79th Street, Willowbrook, Illinois - Chicago Gun Club LLC, 4825 Lee Avenue, Downers Grove, Illinois) Petition requesting approval to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, approval of a Special Use Permit for an "Indoor Firing Range", approval of a Plat of Subdivision, and approval of associated variations on the property.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook

Staff Report to the Plan Commission

(Continuation of the February 22nd, 2017 Public Hearing)

Plan Commission Original Public Hearing Date:	February 22, 2017		
Plan Commission Public Public Hearing Continuation Date:	April 5, 2017		
Prepared By:	Anna Franco, Planning Consultant		
Case Title:	The Chicago Gun Club		
Petitioner:	The Chicago Gun Club LLC (and TCGC Property LLC as property owner) 4825 Lee Avenue, Downers Grove, IL 60515		
Action Requested:	Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
Purpose:	To develop a 31,000-square foot gun club facility that includes a 32-bay firing range, firearm and jeep retail, classroom space, lounge (including bar), and other accessory uses related to the operation of the facility.		
Location:	Northeast corner of Frontage and 79th, just south of Willowbrook Inn.		
PINs:	09-26-402-029 and 09-26-402-018		
Existing Zoning:	B-3 General Business District		
Proposed Zoning:	B-4 Highway and Service Business District		
Existing Land Use:	Vacant		
Property Size:	3.42 Acres		
Surrounding Land Use:	North	Use	Zoning
	North	B-4	Willowbrook Inn
	South	B-4	La Quinta Hotel
	East	B-4	Willowbrook Inn and EconoLodge
	West	Kingery Highway and R-2	Single Family across Kingery Hwy
Necessary Action by the Plan Commission:	Continue Public Hearing, accept testimony, and approve a recommendation to the Village Board.		



Attached Documents

- Attachment 1:** February 22, 2017 Staff Report (15 Sheets)
- Attachment 2:** Responses to February 22nd Plan Commission Comments/Questions, 3/14/17 (7 Sheets)
- Attachment 3:** Development Executive Summary, no date (6 sheets)
- Attachment 4:** Revised Engineering, Architectural, Elevation & Signage, Landscaping, Lighting, revisions dated 3/13/17 (21 Sheets)
- Attachment 5:** Preliminary Plat of Subdivision, revisions dated 2/17/17 (1 Sheet)
- Attachment 6:** Final Plat of Subdivision, revisions dated 3/9/17 (2 Sheets)
- Attachment 7:** Findings of Fact (from Staff), 3/22/17 (6 Sheets)

Follow-up Items from February 22nd Plan Commission Meeting

The Plan Commission and Village Staff requested multiple follow-up items to be prepared for review and discussion at the April 5th Plan Commission. These items are outline below and discussed in further detail later in the report.

1. **Zoning Bulk Requirements:** Staff requested that the petitioner list additional dimensions in the revised plans in order to determine compliance with the Village's zoning standards.
2. **Outstanding Submittal Items:** Staff requested that the petitioner submit a stormwater report *following the Du Page County format* as well as a Final Plat of Subdivision for review by the Village Engineer.
3. **Landscaping Plan Revisions:** Staff requested that landscape plantings be added to the Landscape Plan for the area along the south border of the parking lot.
4. **Emergency Egress:** The Plan Commission requested that a second means of egress from the building be added to the plans.
5. **Subdivision Improvements:** Staff requested that the required subdivision improvements for curb, gutter, sidewalk, and streetlights be added to the petitioner's plans.
6. **Vehicle Display:** Staff requested that the petitioner clarify how the display vehicles will be moved in and out of the facility.
7. **Rooftop Mechanicals Location and Screening:** Staff requested the specific location of the proposed HVAC system and air filtration mechanicals on the property or building, as well as how this equipment will be screened.
8. **Hours of Operation:** Staff requested clarification on the proposed hours of operation.
9. **Business Name:** Staff requested that the petitioner explain why they choose the name "The Chicago Gun Club."
10. **Air Filtration and Handling Systems:** Staff requested that the petitioner provide additional detail regarding the proposed air filtration and handling system.
11. **Firing Range Noise:** Staff requested that the petitioner provide additional detail regarding noise levels from the proposed shooting range.
12. **Gower Middle School Bus Routes:** Members of the public requested that Staff identify Gower Middle School bus routes near the proposed gun club.



13. **Village Liquor License:** Both Staff and the Village Attorney have looked into whether the sale of liquor may be allowed in the proposed gun club facility.

14. **Safety Measures for Alcohol Use:** Staff has requested that the petitioner provide additional detail regarding the handling of alcohol at the proposed facility.

15. **General Building Security:** Staff has requested that the petitioner provide additional detail regarding proposed building security.

16. **Gun Exposure Laws:** Staff requested that the petitioner provide additional detail regarding Illinois gun exposure laws.

17. **Pepper's Sporting Goods:** Both the Plan Commission and members of the public requested that Staff look into Pepper's Sporting Goods, a firing range and firearms store that closed 10+ years ago.

18. **Willowbrook Police Department:** The Plan Commission requested that Staff reach out to the Willowbrook Police Chief about the proposed facility.

1. Zoning Bulk Requirements

As requested, the petitioner has added dimensions to the revised site plan. The updated site plan dimensions, along with the associated code requirement dimensions, are outlined in the now completed zoning table, below. With these additional dimensions now labelled, Staff identified that the front yard building setback is 96.93' and hence a variance is required to allow a reduction from the required minimum front yard setback of 100' to 96.93'. Staff recommends support of the additional relief as the difference of approximately 3' will not alter the intended character of a property in the B-4 zoning district.

Staff also identified that the northernmost drive aisle is only 23.65' and does not meet the minimum 24' drive aisle width standard that is required by the parking section of the Village code. Staff recommends that the petitioner revise their plans so that a minimum 24' drive aisle is provided. Staff recommends that the 0.35' difference be subtracted from the building foundation landscaping as opposed to the 9.14' north pavement setback. This additional revision will be listed under "Conditions for Approval" at the end of this report.

Exhibit 1 B-4 Zoning District Compliance Table

B-4 Zoning District				
Item	Code Section	Code Requirement	Proposed	Departure
Minimum Lot Area	9-6D-3A	87,120 sf (2 acres)	148,971 sf	none
Minimum Lot Width	9-6D-3B	300'	greater than 300'	none
Minimum Lot Depth	9-6D-3C	250'	375.13'	none
Minimum Front Yard Setback	9-6D-3D1	100'	96.93'	Yes (authorized)
Minimum Interior Side Yard Setback	9-6D-3D2	40'	57.52'	none
Minimum Exterior Side Yard Setback	9-6D-3D3	60'	n/a	n/a
Minimum Rear Yard Setback	9-6D-3D4	40'	68.89'	none
Minimum Transition Yard	9-6D-3D5	100'	n/a	n/a
Maximum Height	9-6D-3E	35'	30.67'	none
Maximum Floor Area Ratio	9-6D-3F	0.3	0.21 (0.208)	none
Maximum Lot Coverage	9-6D-3G	50%	16.65%	none



Exhibit 2 Parking & Loading Compliance Table

Parking & Loading				
Item	Code Section	Code Requirement	Proposed	Departure
Loading Berth Screening	9-10-4A	screening wall (6'-8') or evergreen landscaping (6')	Loading area is setback into the building	none
Minimum Loading Berth Size	9-10-4B	12' width, 55' length	12' width, 55' length	none
Minimum Loading Berth Clearance	9-10-4B	14'	15.17'	none
Minimum Required Berths	9-10-4H	5,001 to 50,000 sf = 1 required	1 berth	1
Minimum Parking Interior Side & Rear Yard Setback	9-10-5G	10'	5.17' interior, 11.02' rear	Yes (authorized)
Minimum Parking Exterior Side & Front Yard Setback	9-10-5G	15'	9.29'	Yes (authorized)
Minimum End Parking Islands	9-10-5G3	9' width	9'	none
Minimum Intermediate Parking Islands	9-10-5G3	6', between every 20 spaces	6'	none
Minimum Dividing Parking Islands	9-10-5G3	10' width between 3 parking bays	12'	none
Minimum 90 Degree Parking Aisle Width	9-10-5L1	24'	23.65'	Yes (authorized)
Minimum Width of Driveway	9-10-5L2A	24'	28'	none
Minimum Radius Connecting Street Pavement Edge & Driveway Edge	9-10-5L2B	25'	36'	none
Minimum Angle at Intersection of Driveway & Street	9-10-5L2C	60 degrees	90 degrees	none
Minimum Distance of Driveway from nearest lot line	9-10-5L2D	70'	228.52'	none
Minimum Spacing between separate driveway entrances	9-10-5L2F	400' or 500'	n/a	n/a
Parking Required (Motor Vehicle Sales)	9-10-5K	129 spaces (see parking table)	129	none
Accessible spaces required	9-10-5N	5 spaces	5 spaces	none

2. Outstanding Submittal Items

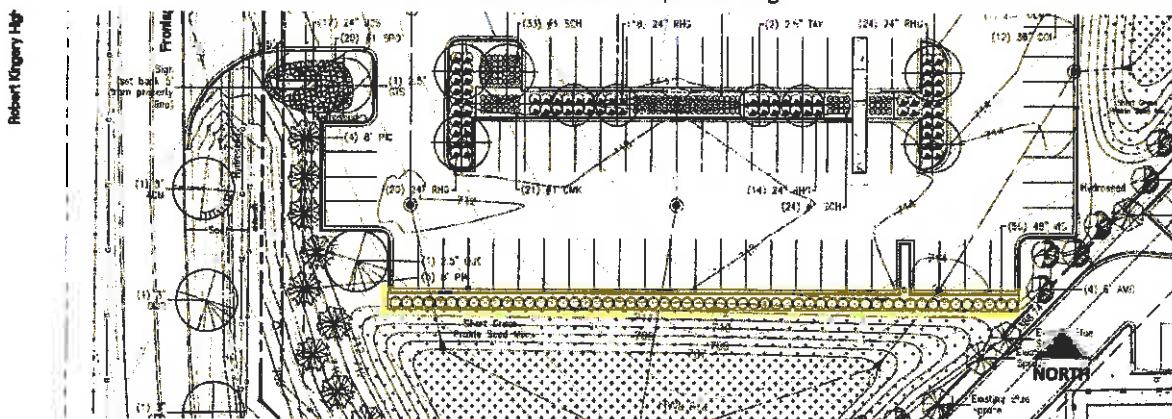
Staff requested that the petitioner submit a stormwater report following the Du Page County format and a Final Plat of Subdivision for review. Both items have been submitted and reviewed by the Village Engineer. The Village Engineer is requiring addition revisions to the Final Plat and engineering plans so Staff has added a condition to the list of "Conditions for Approval" that these revisions be made prior to Village Board approval.



3. Landscaping Plan Revisions

Staff requested that landscape plantings be added to the Landscape Plan for the area along the south border of the parking lot. In response, the petitioner has added 56 Autumn Jazz Viburnum (deciduous shrubs) that will be at least 4' in height, as required by Section 9-10-5(G)(1) of the Village Zoning Ordinance. The 56 additional plantings are highlighted in **Exhibit 3** below.

Exhibit 3 Additional Landscape Plantings



4. Emergency Egress

The Plan Commission requested that a second means of egress be added to the plans. An emergency "egress only" stairwell has now been added to the northwest corner of the 2nd floor in the revised architectural plans.

Exhibit 4 Second Egress Location

• Emergency “egress only” stairwell





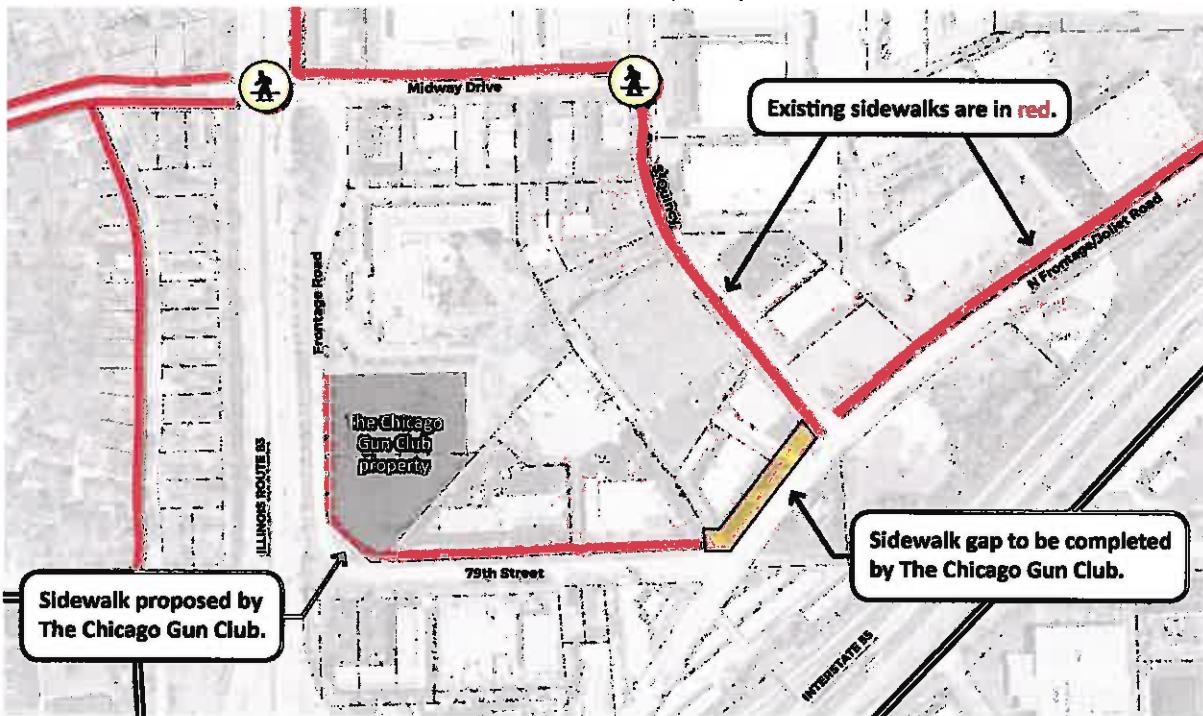
5. Subdivision Improvements

As noted in the Staff Report for the Plan Commission meeting on April 13, 2016, as well as in an email sent to the petitioner on June 1, 2016, Staff specified that the petitioner will need to install a public walkway, curb and gutter, and street lighting as required by Section 10-7-2C, Section 10-7-4A and B, and Section 10-7-4D of the Village Zoning Ordinance. A public walkway, curb and gutter, and street lighting were not included in the first set of submitted plans, but have been addressed or included in the petitioner's revised plans.

The petitioner will be installing one streetlight at the corner of 79th Street and Frontage Road, the exact location to be determined by the Village Engineer, as well as a 5' foot sidewalk along the entire length of the property frontage. Staff recommends that the petitioner be granted relief from the subdivision regulations that require curb and gutter along their property's frontage since 79th Street/Frontage Road/Joliet Road is a mainly rural cross-section and does not contain curb and gutter along most of the roadway.

In lieu of installing curb and gutter along the length of the property's frontage, Staff recommends that the petitioner instead install sidewalk (or provide fee-in-lieu for sidewalk) just southeast of the Quincy Street and Joliet Road intersection, as denoted in yellow in **Exhibit 5** below. The installation of sidewalk in this location will effectively close an existing sidewalk gap and created a continuous pedestrian route from the gun club property to the Quincy Street/Joliet Road intersection, and beyond.

Exhibit 5 Sidewalk Gap Analysis



6. Vehicle Display

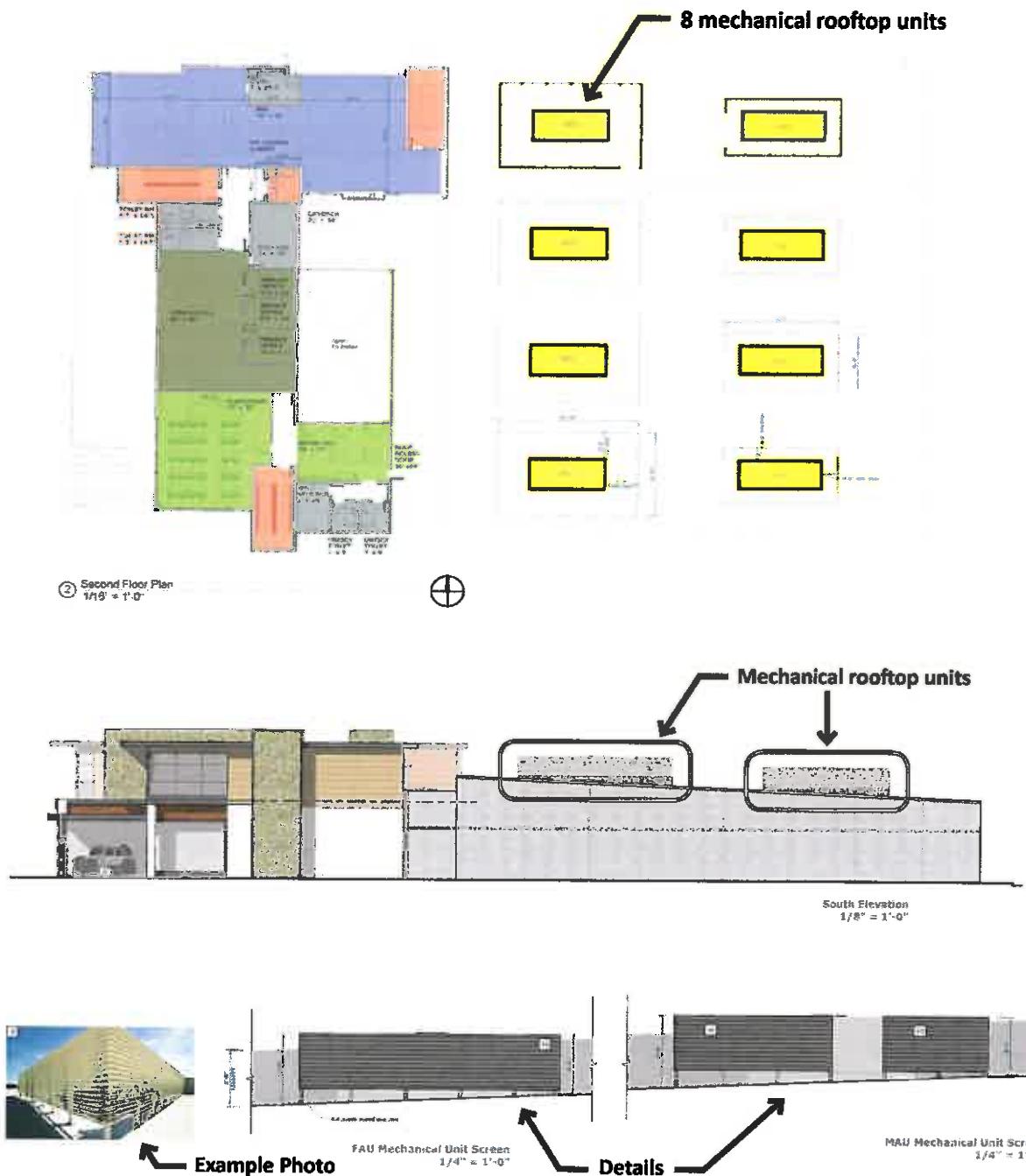
Staff requested that the petitioner clarify how the display vehicles will be moved in and out of the facility. The petitioner has stated that vehicles will be either physically pushed into the building after gasoline is removed or will be driven into the building and then have the gasoline safely removed after positioning. Additional information is provided in **Attachment 2 "Responses to February 22nd Plan Commission Comments/Questions"**.



7. Rooftop Mechanicals Location and Screening

The revised architectural plans show that 8 rooftop mechanical units will be located over the firing range area of the proposed gun club facility. The rooftop mechanical will be hidden by a metal louver screen that will match the height of the mechanical units it is screening. Please see **Exhibit 6** below or **Attachment 4** for additional detail.

Exhibit 6 Rooftop Mechanicals Location & Detail





8. Hours of Operation

Staff requested clarification on the proposed hours of operation. The petitioner has stated that they will no longer offer 24-hour building access to any gun club members. The gun club facility will only operate within the hours of 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M. Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday.

9. Business Name

The petitioner chose the name "The Chicago Gun" because they would like the club to have national recognition and ultimately, some degree of historical significance. The petitioner believes that the association with "Chicago" and "gun violence" will be only temporary. Additionally, the petitioner had originally preferred "The Gentry Club", however, there is an existing federal trademark application for use of the phrase "gentry club".

10. Air Filtration and Handling Systems

Lead pollution from the firing range was a notable concern at the February 22nd Plan Commission. The petitioner has provided additional information regarding air filtration in **Attachment 2 "Responses to February 22nd Plan Commission Comments/Questions"** and the associated attachment entitled "Expertise of Carey's Heating and Air Conditions, Inc.". The resource provides a wealth of information regarding the proposed air filtration system and most notably states that air returned to the outside environment is filtered through 3 stages of filters including final 99.97% HEPA filters before being exhausted to the outdoors.

11. Firing Range Noise

Firing range noise was a notable concern at the February 22nd Plan Commission meeting and therefore Staff requested that the petitioner provide additional detail regarding the proposed noise levels from the shooting range. The petitioner has provided additional information in **Attachment 2 "Responses to February 22nd Plan Commission Comments/Questions"**, which describes the type of building materials that will be used to mediate sound, decibel ratings from the Frisco Gun Club in Texas, and decibel rating comparisons using familiarities like a food blender, diesel truck, TV-audio, electrical transformer, etc.

From the information provided, Staff cannot accurately identify the proposed decibel rating for the proposed gun club facility. However, based on the information provided, Staff finds it doubtful that residents along Eleanor Drive (west side of IL Route 83) will be able to hear noise from the proposed firing range, especially over the regular noise of passenger vehicle and truck vehicle traffic along IL Route 83, which is measured at 70 to 80 decibels.

12. Gower Middle School Bus Routes

Gower Middle School is part of Gower School District #62, which boundaries include areas of Burr Ridge, Willowbrook, and unincorporated Du Page County. Gower Middle School is located at the intersection of Madison and 80th Street at 7941 S Madison Street, Burr Ridge, IL and is approximately 0.43 miles from the proposed gun club property when measured from property line to property line.

Village Staff spoke to the School District's Building, Grounds, and Transportation Director regarding the District's school bus routes. The Director stated that school buses sometimes take Frontage Road to avoid truck backups in the area, but the buses are typically empty on their way back from Gower School West. In the past, school buses have picked up students from this area if their family was staying at one of the hotels along Frontage Road, however, the School District has not made any pickups from the Frontage Road hotels this school year.



13. Village Liquor License

Sale of Liquor is Permitted

During the February 22nd Plan Commission public hearing, a resident of Eleanor Place stated that the gun club is technically not allowed to serve alcohol per Section 5-3-19(A)8 of the Village code, which dates back to 1979 and states:

"A person commits the offense of unlawful use of weapons when he knowingly carries or possesses any firearm, stun gun or laser or other deadly weapon in any place which is licensed to sell intoxicating beverages, or at any public gathering held pursuant to a license issued by any governmental body or any public gathering at which an admission is charged, excluding a place where a showing, demonstration or lecture involving the exhibition of unloaded firearms is conducted."

With regard to Section 5-3-19(A)(8) of the Village Code of Ordinances, Village Staff requested that the Village Attorney review the current ordinance and provide his opinion on its applicability to the proposed development. He concluded that the language in sub-section 8 within the local ordinance was nullified as a result of the 2013 Illinois Firearm Concealed Carry Act, which allows the possession of firearms in facilities that hold a liquor license, provided the owner does not prohibit firearms within, or provided that 50% or more of the revenue generated by the facility is not derived from liquor sales. Below is the pertinent section of the state law:

"A licensee under this Act shall not knowingly carry a firearm on or into any building, real property, and parking area under the control of an establishment that serves alcohol on its premises, if more than 50% of the establishment's gross receipts within the prior 3 months is from the sale of alcohol. The owner of an establishment who knowingly fails to prohibit concealed firearms on its premises as provided in this paragraph or who knowingly makes a false statement or record to avoid the prohibition on concealed firearms under this paragraph is subject to the penalty under subsection (c-5) of Section 10-1 of the Liquor Control Act of 1934." (430 ILCS 66/65 Sec. 65. Prohibited areas.)

Willowbrook, as a non-home-rule municipality, does not have the authority to impose regulations that are more restrictive than current state law. Therefore, as a result of the passage of the Illinois Firearm Concealed Carry Act, the Village will need to amend the 1979 ordinance and cannot enforce the Section 5-3-19(a)8 provision on this development.

Issuance of Liquor License

The Plan Commission is merely a recommending body. Their duty is to fully consider all aspects of the proposed land use at that location, and forward a recommendation relative to the zoning application to the Village Board for their consideration. So, based on public testimony received, along with the Plan Commission's own thoughts on the subject, the Plan Commission could always include in their recommendation that the facility should not be issued a liquor license, however, it is ultimately up to the Village Liquor Control Commissioner and the Village Board to decide if a liquor license will be issued.

14. Safety Measures for Alcohol Use

At the February 22nd Plan Commission meeting, the petitioner provided safety information regarding the sale and consumption of alcohol. To summarize, liquor sales will only be available within the 2nd floor VIP member area and access to this area requires check-in with the "Member Concierge". No firearms will be allowed in the VIP member area and will be required to be checked for the remainder of the day within the adjacent locker room or placed in the truck of a vehicle.



When a customer enters the VIP Lounge they are given a wristband that allows them access to the range. If they order an alcoholic drink the wristband is removed and a message is added to AXIS (the point-of-sale system) that alcohol has been served. If a customer that is served alcohol attempts to access the range the range safety officer will only let members with a wristband on the range and also see the message in the computer that alcohol has been served. It works as a two-layer protection system to keep people that have been served alcohol off the range.

In written correspondence with Village Staff, the petitioner has also further clarified that once a member has been flagged for alcohol use, that member will be denied access to the rentals and the shooting range for the remainder of the day.

As alcohol was a major concern amongst members of the public, Staff has also submitted written correspondence to the petitioner regarding how person's will be treated that have alcohol in their system **prior** to entering the facility. The petitioner has stated that personnel will be trained to spot symptoms of alcohol impairment, and that any individuals exhibiting any evidence of impairment while in the shooting areas of the facility will be asked to leave the premises immediately.

15. General Building Security

Building security was a notable concern at the February 22nd Plan Commission meeting. Staff has requested that the petitioner provide additional detail regarding proposed building security. The petitioner has provided this detail in **Attachment 2 "Responses to February 22nd Plan Commission Comments/Questions"**.

16. Gun Exposure Laws

Staff requested that the petitioner provide additional detail regarding Illinois gun exposure laws. The petitioner has provided this detail in **Attachment 2 "Responses to February 22nd Plan Commission Comments/Questions"**. In summary, Illinois law states that a person with a valid FOID card may transport a firearm if it is broken down in a non-functioning state, if it is not immediately accessible, or if it is enclosed in a case. This does not apply to persons who have been issued a valid concealed carry license, whom are allowed to keep or carry a loaded or unloaded concealed firearm on or about his or her person.

17. Pepper's Sporting Goods

At the February 22nd Plan Commission meeting, a member of the public requested that Staff look into issues related to a firearms store and shooting range business named "Pepper's" located in Carol Stream, Illinois. Upon further investigation, Staff has found that the business, "Pepper's Sporting Goods" has now since closed and was actually located in unincorporated DuPage County at the northwest corner of IL Route 64 and Bloomingdale Road. The business has since been demolished, the property incorporated into the Village of Glendale Heights, and a CVS Pharmacy built on the property.

Staff reached out to the Village of Glendale Heights Community Development Department on February 23, 2017 and spoke to a member of their staff (an ex-police officer and Village employee for over 30 years) to discover more information about the reference firing range. Neither Staff or an ex-police chief could recall any issues associated with the firing range. The only thing that may have been an issue is if someone bought their gun from this location and later committed a crime with that gun.

Since the business was located in unincorporated DuPage County, Staff has also reached out to the DuPage County Community Development Department and Sheriff's Office regarding the business. Unfortunately, they were unable to find police reports or other documentation of issues related to the business.



18. Willowbrook Police Department

The Plan Commission requested that Staff reach out to the Willowbrook Police Chief about the proposed facility. Staff has reached out to Police Chief Mark Shelton regarding the proposed gun facility who has provided Staff with comments and feedback. The applicant has stated that they will work closely with the Willowbrook Police Department to ensure security measures are up to the department's standards.

Findings of Fact

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided in **Attachment 7**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided in **Attachment 7**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Summary of Zoning Requests

To establish the proposed gun club facility on the subject property, Staff has identified the following zoning requests. Item # 5 and Item # 9 are additional relief identified in the petitioner revised plans.

1. Rezoning of the property from B-3 General Business to B-4 Highway & Service Business, which permits a "Firearms store, except when located adjoining I-55 or Route 83".
2. A Special Use Permit for an "Firing Range, Indoor" in the B-4 Zoning District.
3. Approval of a Preliminary Plat of Subdivision.
4. Approval of a Final Plat of Subdivision (to be submitted prior to second Plan Commission meeting).
5. A variation to reduce the minimum front yard building setback from 100' (required) to 96.93' (proposed), per Section 9-6D-3D of the Village Code. (**New from February 22nd Staff Report**)
6. A variation to reduce the minimum parking interior side & rear yard setback from 10' (required) to 5.17' (proposed), per Section 9-10-5G of the Village Code.
7. A variance to reduce the minimum parking exterior side & front yard setback from 15' (required) to 9.29' (proposed), per Section 9-10-5G of the Village Code.
8. Variance to allow metal siding as an architectural accent, which is prohibited by Section 9-6-1(E)2 of the Village Code.
9. Variance to eliminate the requirement that the applicant construct curbs and gutters for the required street improvements along IL Route 83 Frontage Road and 79th Street. (**New from February 22nd Staff Report**)



Conditions for Approval

1. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
2. The owner shall install one (1) streetlight at the intersection of 79th Street and Frontage Road once the specific location has been provided by the Village Engineer.
3. The owner shall install or pay fee in lieu for the installation of the sidewalk gap near the intersection of Joliet Road and South Quincy Street, as determined by Village Staff.
4. The proposed metal material shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
5. Any smoking conducted on the premises must be conducted outside of the building.
6. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.
7. The owner shall obtain all necessary permits from IDOT prior to performing any work within the Frontage Road/79th Street right-of-way.
8. The proposed building must be fire sprinkled and fully fire alarmed.
9. There shall be no outdoor storage of materials or vehicles of any kind.
10. The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans submitted by the petitioner.
11. The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
12. All sales of vehicles at the subject property shall be consummated and completed on the subject property.
13. There will be no testing driving of vehicles for sale on the subject property.
14. The owner shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
15. The gun club facility shall at all times conform with all applicable noise standards pursuant to Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
16. The gun club facility shall only operate with the hours of 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday.
17. All mechanical equipment located on the roof that is not screened by a parapet extension or is taller than the parapet extension in that area shall be screened as approved by the Village Administrator. Furthermore, noise from the rooftop mechanicals must conform with the Village's noise standards outlined in Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
18. All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the subject realty, or such earlier time as is reasonably practical.
19. A permit is required from DuPage County Public Works for the sanitary sewer connection prior to the Village issuing a building permit.
20. Prior to the issuance of any final certificate of occupancy, the owner shall complete the improvements to the IL Route 83 Frontage Road along the frontage of the subject realty as shown in the engineering plans.
21. A separate sign permit shall be obtained for the monument signage near the entry driveway for the property and for the proposed building signage, pursuant to the Village Code.
22. The sale and consumption of alcohol on the premises shall be restricted to the proposed member only lounge areas, as designated on the Architectural Plans.
23. The sale of alcohol at the facility shall not constitute more than 50% of total sales.
24. The petitioner shall revise their plans so that all parking aisle widths are at least 24' wide.
25. All outstanding comments from the Village Engineer must be addressed prior to final zoning approval from the Village Board.



Staff Recommendation

In 2014, as a result of an increase in requests to consider firearm related uses based on changes in concealed carry gun laws, the Village decided to consider a pro-active approach to accommodating and regulating these businesses by initiating text amendments and re-zonings that would accommodate these businesses within the community. In March 2014, the Village determined that it would be appropriate to allow Firearm Stores as a permitted use in the B-4 District and allow Firing Ranges as a special use.

Staff supports the petition to rezone the subject property from the B-3 zoning district to B-4 zoning district, which allows the approved firearms related uses. The proposed business and zoning district is consistent with the Comprehensive Plan's "Highway Commercial" designation of the property as well as the zoning of adjacent B-4 properties.

Furthermore, Staff supports the special use petition as the proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts.

Lastly, Staff believes that the proposed business would be a successful addition to the Village's retail tax base, which the Village heavily relies upon since the Village does not levy a property tax for its residents. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. The proposed gun club facility would establish a unique business in this area of the Village and may have the same positive impact as other recreational/entertainment uses have had in the Village. The facility would also be subject to an amusement tax of 6% of gross sales.

Sample Motion

Based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations as listed as in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

Attachment 1

February 22, 2017 Staff Report (15 Sheets)



Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission Date:	February 22, 2017		
Prepared By:	Anna Franco, Planning Consultant		
Case Title:	The Chicago Gun Club		
Petitioner:	The Chicago Gun Club LLC (and TCGC Property LLC as property owner) 4825 Lee Avenue, Downers Grove, IL 60515		
Action Requested:	Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
Purpose:	To develop a 31,000 gun club facility that includes a 32 bay firing range, firearm and jeep retail, classroom space, lounge (including bar), and other accessory uses related to the operation of the facility.		
Location:	Northeast corner of Frontage and 79th, just south of Willowbrook Inn.		
PINs:	09-26-402-029 and 09-26-402-018		
Existing Zoning:	B-3 General Business District		
Proposed Zoning:	B-4 Highway and Service Business District		
Existing Land Use:	Vacant		
Property Size:	3.42 Acres		
Surrounding Land Use:	Use	Zoning	
	North	B-4	Willowbrook Inn
	South	B-4	La Quinta Hotel
	East	B-4	Willowbrook Inn and EconoLodge
	West	Kingery Highway and R-2	Single Family across Kingery Hwy
Documents Attached:	Attachment 1: Development Executive Summary, no date (6 Sheets) Attachment 2: Engineering, Architectural, Landscaping, Elevation & Signage, dated 12/30/16 (20 Sheets) Attachment 3: Preliminary Plat of Subdivision, dated 5/18/16 (1 Sheet) Attachment 4: Findings of Fact for Special Use & Variance (from Staff), 2/22/17 (5 Sheets) Attachment 5: Applicants Reponses to Special Use Standards, no date (4 Sheets)		
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and continue public hearing in order to provide staff with direction regarding outstanding items.		



Site Description

The property is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge. The property is currently located in the B-3 General Business Zoning District, but is adjacent on all sides by property located in the B-4 Highway and Service District. The 3.4-acre property consists of Lot 2 and Lot 4 in the Anvans Subdivision and is trapezoidal in shape. The property has never been developed and is currently vacant.

Exhibit 1 Aerial of the Subject Property



Exhibit 2 Google 3D View of the Property (Looking Northeast)





Development Proposal

The subject property has been vacant and on the market for a long time. The petitioner, The Chicago Gun Club, has recently purchased the property and wishes to rezone the property from B-3 to B-4 and obtain special use approval for an indoor firing range to develop a 31,000 square foot "guntry club". The facility would include 32 tactical shooting bays (that will accommodate two people per bay), as well training/educational classrooms, retail sales (including customized Jeeps), membership lounges (including a bar), and office uses.

The business team anticipates a top of the line facility at this location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club will function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. The architect has been selected for the work they did for facility in Ann Arbor Michigan call "Ann Arbor Arms". They are also looking to emulate the "club like" atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club. Images of both of these facilities can be found online. A project narrative from the petitioner can be found in **Attachment 1** "Development Executive Summary".

The gun club is proposed to operate from 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday. The gun club will have a maximum of 15 employees, including management, on site at any one time with approximately 10 employees on site during normal weekday hours. An average of 250 members are anticipated to visit the gun club during a typical day.

Summary of Zoning Requests

To establish the proposed gun club facility on the subject property, Staff has identified the following zoning requests:

1. Rezoning of the property from B-3 General Business to B-4 Highway & Service Business, which permits a "Firearms store, except when located adjoining I-55 or Route 83".
2. A Special Use Permit for an "Firing Range, Indoor" in the B-4 Zoning District.
3. Approval of a Preliminary Plat of Subdivision.
4. Approval of a Final Plat of Subdivision (to be submitted prior to second Plan Commission meeting).
5. A variation to reduce the minimum parking interior side & rear yard setback from 10' (required) to 5.17' (proposed), per Section 9-10-5G of the Village Code.
6. A variance to reduce the minimum parking exterior side & front yard setback from 15' (required) to 9.29' (proposed), per Section 9-10-5G of the Village Code.
7. Variance to allow metal siding as an architectural accent, which is prohibited by Section 9-6-1(E)2 of the Village Code.



Staff Analysis

Comprehensive Plan

The Comprehensive Plan designates the subject property as "Highway Commercial", which is intended to serve both the traveling public on the community's most traveled routes, as well as meet some local community retail and service needs. This planned designation extends from I-55 all the way up to 75th Street. Zoning along this same section of Route 83 includes B-2, B-3 and B-4 zones, with B-4 zones on the Willowbrook Ford and hotel properties. There are no specific references in the Comprehensive Plan to this vacant site, but staff has summarized certain relevant commercial policies from the Comprehensive Plan for the Plan Commission's consideration. These relevant policies and how they relate to the proposed gun club facility are summarized in the table below:

Exhibit 3 Relevant Comprehensive Plan Goals & Policies

Relevant Comprehensive Plan Goals & Policies		
Item #	Plan Text	Relation to The Chicago Gun Club
1	Consolidate lots when possible and provide coordinated/planned access to individual uses	The petitioner has submitted a Plat of Subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision.
2	Development should occur in locations served by transportation facilities capable of handling the traffic to be generated.	A completed traffic impact study indicates that existing infrastructure will continue to operate at acceptable levels of services. No left turn lane for the development is required. However, the entry intersection will need to be stop sign controlled.
3	Do not allow uses where traffic exceeds street capacities, or where significant problems in access or compatibility with adjacent uses is anticipated.	Please see above.
4	Provide adequate and attractively landscaped off-street parking and loading facilities.	The Landscape Plan provides both adequate and attractive landscaping of off-street parking and loading facilities.
5	Incorporate high standards of design and construction.	The facility design is both attractive and modern.
6	Preserve natural features as possible and promote pedestrian use.	The petitioner has conducted a tree survey and will be preserving trees along the perimeter of the property. The petitioner has NOT included plans for a sidewalk along the frontage of their property. This will be a required addition in their revised plans.
7	Rezoning requests for new commercial developments must be carefully evaluated. If sufficient need cannot be determined or if commercial development policies cannot be met, then the rezoning requests should not be approved.	The proposed zoning of B-4 Highway Commercial is consistent with the zoning of adjacent properties in this area of the Village.
8	Provide a "sense of arrival in Willowbrook." Intent is for Route 83 to be landscaped as a "parkway" not a highway.	The petitioner is proposing 9 new street trees along Frontage Road and will be installing one attractive monument sign along Frontage Road.
9	Special gateway landscaping should be created at major interchanges and intersections.	The monument sign, referenced above, will be attractively landscaped.
10	The I-55 frontage road should be improved to industrial collector street standards between Midway Drive and Joliet Road. Street lights should be provided in conjunction with this improvement.	The petitioner has NOT included curb and gutter of street lighting in their plans. The addition of these elements will be a requirement in their revised plans.
11	Signalization of the Midway/Frontage Road intersection should be evaluated or considered.	The Traffic Impact Study has indicated that signalization is not necessary to handle the traffic generated by this development.



Appropriateness of Use

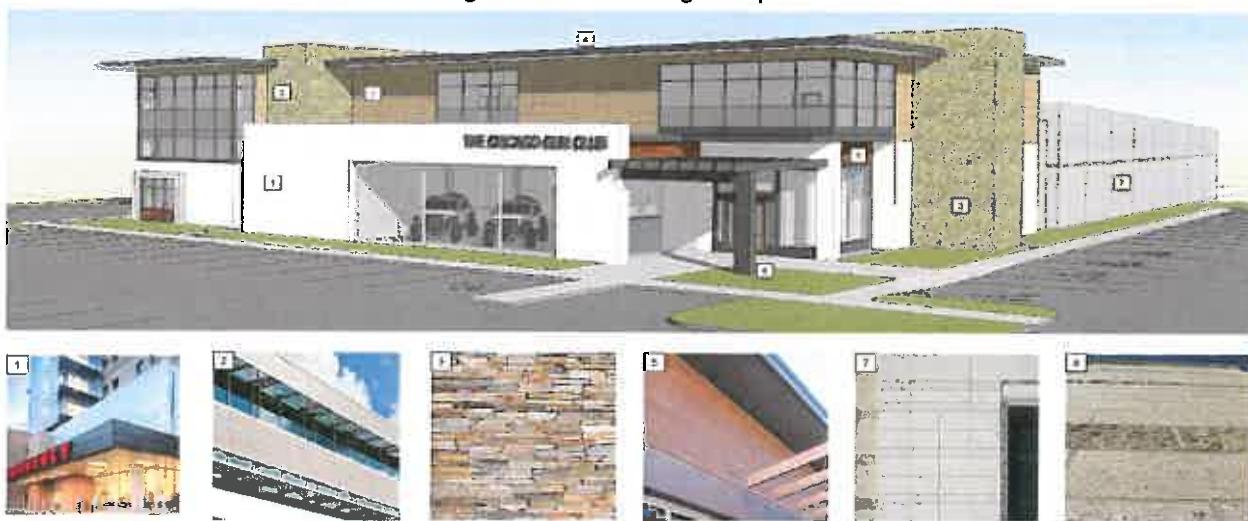
The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. As indicated in the applicant's materials, these types of uses are relatively new and can come with actual or perceived impacts on the community. This is the Plan Commission's opportunity to get answers to as many questions as you have about hours, staffing, lighting, security, whether food and/or liquor is involved, etc.

The new facility that just opened in Bolingbrook called the Range at 355 opened recently as a members only club, and all memberships were sold out in a very short period of time, indicating a strong demand for this use. The proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. If any possible negative impacts associated with the use are mitigated, the site is appropriate for the proposed use.

Building Elevations

The petitioner has submitted colored building elevations for the proposed gun club facility, shown below and shown more extensively in **Attachment 2** "Engineering, Architectural, Landscaping, Elevation & Signage". The proposed building features an impressive modern façade on the west side of the building, which includes the building's main entrance (covered by a steel pergola), the proposed Jeep retail display, and large windows on the second floor of the building. Building materials at the front of the building will include a combination of stone veneer, painted aluminum, cedar plank siding, ground face block, fiber cement siding, and pre-cast concrete panels. The gun range portion, at the "back" of the building will be constructed of mainly pre-cast concrete panels. The petitioner will be requesting a variance to allow metal as an architectural accent for the building, which is prohibited by Section 9-6-1(E)2 of the Village Code.

Exhibit 4 Building Elevation Rendering & Proposed Materials





Building Use Breakdown

The proposed gun club will be a two-story, approximately 31,000 gross square foot facility, located entirely on the northern Lot 2 portion of the property. The first floor will be a total of approximately 25,000 square feet and will consist of mainly the 32-gun range bays at the back of the building, which is almost 50% of the building's square footage. The front of the first floor will consist of a retail floor, Jeep retail, a member's lounge, locker rooms, a rental station, and the gun smith. The second floor will be a total of approximately 6,000 square feet and will include the gun club's VIP Lounge area, classroom space, offices, and an outdoor skydeck. A color coded breakdown of the facilities' floor plans are shown below in **Exhibit 5** and **Exhibit 6**.

Exhibit 5 Building Use Breakdown Table and Diagram

Color Code	Building Use	Square Footage	Percentage of Total Building S.F.
Yellow	Indoor Firing Range	14,824 S.F.	48%
Pink	Retail	4,370 S.F.	14%
Green	Lounge (assembly)	3,907 S.F.	13%
Blue	Accessory Commercial	2,837 S.F.	9%
Grey	Warehouse/Storage	1,620 S.F.	5%
Orange	Jeep Retail	1,260 S.F.	4%
Purple	Office	1,212 S.F.	4%
Dark Blue	Classroom	864 S.F.	3%
	Total Square Footage	30,893 S.F.	100%





Zoning Bulk Requirements

The petitioner is requesting to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District. A detailed discussion of important bulk exceptions and variations for the B-4 Zoning District is provided below and summarized in **Exhibit 7** "B-4 Zoning District Compliance Table" on the following page.

Lot Dimensions: The subject property is in compliance with the minimum lot depth requirement of the B-4 Zoning District. Staff is waiting on the addition of a lot width dimension in future revised plans to determine the lot width. As an existing platted lot, however, a variance would not be required if the distance is less than the minimum requirement. The subject property is also in compliance with the B-4 Zoning District minimum lot area, with a lot area of approximately 148,848 square feet, or 3.4 acres. The subject property is considered Lot 2 and Lot 4 of the Anvans Subdivision.

Setbacks: The required and proposed minimum setbacks are shown in **Exhibit 7** on the following page. The proposed minimum front yard setback is in compliance with the Village Zoning Ordinance. The petitioner did not include setback dimensions for the interior side and rear yard setbacks. Although Staff has requested that these dimensions be labeled in future revisions to the plans, it appears that these setbacks are also in compliance.

Building Height: The maximum height of a building in the B-4 Zoning District is 35'. The proposed building height for the badminton facility is 30.67' and is in compliance with the Zoning Ordinance.

Density and Coverage: The maximum lot coverage (building coverage) in the B-4 Zoning District is 50%. The proposed gun club facility has a building footprint of approximately 24,811 square feet; so on a 3.4 acre lot, the building coverage is approximately 16.6% and is well below the maximum 50% threshold. As a two-story building, the floor area ratio (FAR) is approximately 0.21, which is above the minimum required 0.3 FAR.



Exhibit 7 B-4 Zoning District Compliance Table

B-4 Zoning District				
Item	Code Section	Code Requirement	Proposed	Departure
Minimum Lot Area	9-6D-3A	87,120 sf (2 acres)	148,971 sf	none
Minimum Lot Width	9-6D-3B	300'	Need dimension	None?
Minimum Lot Depth	9-6D-3C	250'	375.13	none
Minimum Front Yard Setback	9-6D-3D1	100'	100	none
Minimum Interior Side Yard Setback	9-6D-3D2	40'	Need dimension	None?
Minimum Exterior Side Yard Setback	9-6D-3D3	60'	n/a	n/a
Minimum Rear Yard Setback	9-6D-3D4	40'	Need dimension	None?
Minimum Transition Yard	9-6D-3D5	100'	n/a	n/a
Maximum Height	9-6D-3E	35'	30.67'	none
Maximum Floor Area Ratio	9-6D-3F	0.3	0.21 (0.208)	none
Maximum Lot Coverage	9-6D-3G	50%	16.65%	none

Parking & Loading

Required Parking: The petitioner's site plan proposes a total of 129 parking spaces (including 5 handicap spaces) located along the north, west, and south sides of the building. No parking is proposed on the east side of the building.

Required parking was calculated by using the parking formulas outlined in Title 9, Chapter 10, Section 5K of the Village Code. Numerous parking formulas were used to calculate parking, so for ease, parking requirements are outlined in **Exhibit 8 "Required Parking"**, below. As you can see, the zoning code requires that the proposed use provide exactly 129 parking spaces. If any future use changes are made to the proposed floor plans, required parking will need to be closely monitored.

Exhibit 8 Required Parking

Required Parking Calculation						
Use	Square Footage	Seats/Lanes/Employ	Code Section	Code Requirement	Req. Spaces	Proposed Spaces
Indoor Firing Range	14,824.00	32 lanes	9-10-5K3	2 spaces per firing lane	64.00	64
Retail	4,280.00	assuming 4,280	9-10-5K4	1 space per 250 sf	17.12	20
Jeep Retail	1,260.00	n/a	9-10-5K4	1 per 400 sf	3.15	3
Assembly (Lounge)	3,906.55	n/a	9-10-5K4	1 space per 250 sf	15.63	21
Warehouse/Storage	1,620.00	3 employees	9-10-5K4	1 space per 1.5 workers	2.00	2
Office	1,212.00	n/a	9-10-5K4	1 per 225 sf	5.39	8
Classroom	864.00	32 seats	9-10-5K3	1 space for every 3 seats	10.67	10
Accessory Commercial	2,836.50	n/a	9-10-5K4	1 space per 250 sf	11.35	none
Total	30,803.05				129.30	129

*** 5 accessible spaces required per Code Section 9-10-5(N)*



Pavement Setbacks: Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The petitioner is requesting two variances from the required pavement setbacks: (1) to reduce the minimum parking interior side setback from 10' to 5.17'; and (2) to reduce the minimum parking front rear setback from 15' to 9.29'. Staff recommends approval of these variations as neither should have significant impact, if any, on neighboring properties.

Loading Facility: The petitioner provides one loading berth at the north side of the building, which is recessed into the building. The berth is 12' width and 55' length, and just meets the Village's requirements. The minimum loading berth clearance, however, is only 8', and the Village's requirement is a minimum of 14'. Instead of applying for a variation for the minimum clearance height, Staff would like the petitioner to explore options for increasing the clearance to 14'.

Exhibit 9 Parking & Loading Compliance Table

Parking & Loading				
Item	Code Section	Code Requirement	Proposed	Departure
Loading Berth Screening	9-10-4A	screening wall (6'-8') or evergreen landscaping (6')	Loading area is setback into the building	none
Minimum Loading Berth Size	9-10-4B	12' width, 55' length	12' width, 55' length	none
Minimum Loading Berth Clearance	9-10-4B	14'	8'	Yes (need to change)
Minimum Required Berths	9-10-4H	5,001 to 50,000 square feet = 1 required	1 berth	1
Minimum Parking Interior Side & Rear Yard Setback	9-10-5G	10'	5.17' interior, 11.02' rear	Yes (authorized)
Minimum Parking Exterior Side & Front Yard Setback	9-10-5G	15'	9.29'	Yes (authorized)
Minimum End Parking Islands	9-10-5G3	9' width	Need dimension	none
Minimum Intermediate Parking Islands	9-10-5G3	6', between every 20 spaces	Need dimension	none
Minimum Dividing Parking Islands	9-10-5G3	10' width between 3 parking bays	Need dimension	none
Minimum Width of Driveway	9-10-5L2A	24'	28'	none
Minimum Radius Connecting Street Pavement Edge & Driveway Edge	9-10-5L2B	25'	Need dimension	none
Minimum Angle at Intersection of Driveway & Street	9-10-5L2C	60 degrees	90 degrees	none
Minimum Distance of Driveway from nearest lot line	9-10-5L2D	70'	Need dimension	none
Minimum Spacing between separate driveway entrances	9-10-5L2F	400' or 500'	n/a	n/a
Parking Required (Motor Vehicle Sales)	9-10-5K	129 spaces (see parking table)	129	none
Accessible spaces required	9-10-5N	5 spaces	5 spaces	none



Landscaping

The petitioner is proposing abundant landscaping for the gun club property that includes a variety of deciduous, conifer, and ornamental trees and shrubs. The proposed landscaping should effectively frame the property with deciduous and evergreen trees, establish nine (9) new street trees along the property's frontage, and add greenery to the gun club facility's parking areas.

The proposed landscaping is largely in conformance with the Village Zoning Ordinance with the exception of a few items that should be revised on resubmitted plans. Mainly, Staff would like landscape plantings proposed for the south side of the parking lot, near the southern stormwater management facility. These plantings should be at least 4' in height as required by Section 9-10-5(G)(1) of the Village Zoning Ordinance.

Stormwater Management

The petitioner is proposing two naturalized detention areas; one just east of the building, and a second larger detention area at the south end of the proposed parking area. The perimeter of the detention basins will be planted with short grass prairie seed mix and interior of the detention basins will be planted with sedge meadow seed mix.

The petitioner's plans show that underdrains and low flow pipes are provided through the detention basins. The Village's engineering consultant would, however, like the underdrains and low flow pipes eliminated since the purpose of naturalized detention basins is to filter pollutants from stormwater as it flows through the native vegetation.

The petitioner has not yet submitted a stormwater submittal following the Du Page County format for review. ***This must be submitted and review prior to a second Plan Commission meeting.***

Signage

Building Wall Signage

The petitioner is proposing one wall sign on the west side of the building. The wall sign, shown below on the "Partial West Elevation", will include the name of the facility, "THE CHICAGO GUN CLUB" in all caps. The lettering in the sign will be finished with an "Old Copper" color and will be illuminated from behind with a white LED light. The wall sign conforms with Village Zoning Ordinance requirements, with the exception of sign depth, which still needs to be verified by the petitioner.



Sample installation

Exhibit 10 Proposed Building Wall Sign



Partial West Elevation



Monument Signage

The petitioner is proposing one monument sign to be located on the south side of the proposed driveway. The sign, shown below, will be approximately 11.5' tall and 14' wide. The petitioner needs to verify the materials used for the sign in their revised plans, however, the sign generally seems to be constructed of a smooth cedar plank for the sign face and some sort of masonry stone for the base.

The sign itself meets the requirements of the zoning code, however, the sign must be located at least 5' from the nearest lot line and shall not be located in a public easement, which it may be located in. The petitioner should submit revised plans to verify the sign is at least 5' away from the west property line and not located in a public utility easement.

Exhibit 11 Proposed Monument Sign



Subdivision Regulation Requirements

As noted in the Staff Report for the Plan Commission meeting on April 13, 2016, as well as in an email sent to the petitioner on June 1, 2016, Staff specified that the petitioner will need to install a public walkway, curb and gutter, and street lighting as required by Section 10-7-2C, Section 10-7-4A and B, and Section 10-7-4D of the Village Zoning Ordinance. A public walkway, curb and gutter, and street lighting were not included in the first set of submitted plans, but will be expected to be included in the revised set of submitted plans. Please note, that the proposed sidewalk should span the entire length of the property's frontage so that it connects with the sidewalk along the EconoLodge property frontage.

Frontage Road/79th Street is under Illinois Department of Transportation (IDOT) jurisdiction and an IDOT permit will be required for work within the right-of-way. The petitioner shall provide a copy of IDOT's review of the gun club's plans (which include the subdivision improvements mentioned above) to Village Staff before final zoning approval.

Trash Enclosure

The petitioner is proposing a 7' precast concrete trash enclosure on the north side of the building, just north of the loading area for the building. The trash enclosure must be constructed to look like masonry and shall appear to the color and style of the building. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

Additionally, the trash enclosure will be screened on the west, north, and south by low evergreen and deciduous shrubs, and by one existing, mature honey locust tree. Staff feels this should be adequate screening for the Willowbrook Inn parking area to the north.



Gun Club Filtration & Bullet Trap Specifications

The petitioner has provided specifications regarding the bullet trap and ventilation system in **Attachment 5**. Please see an excerpt of that language below:

"Air quality will be maintained through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from exiting designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels."

Gun Club HVAC Screening

Staff would like the petitioner to provide additional information regarding the location of the HVAC ventilation system. The location of the HVAC system should be noted on revised plans and screening should be provided via a screening wall or landscaping, depending on the location of this equipment.

Utilities

All existing and proposed utilities can be found on "The Site & Utilities" plan in **Attachment 2** of this report. The property is serviced by existing watermain along the frontage of the property, however, only the portion of the watermain on Lot 4 is located within a utility easement. The Village's Engineering Consultant has advised the petitioner that the portion of the watermain on Lot 2 will also need to be located within a utility easement. A permit from DuPage County Public Works will be required for the proposed sewer connection.

Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, which was specifically requested by Staff and the Plan Commission at the Plan Commission meeting on May 18, 2016. The purpose of the Traffic Impact Study is to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

This Traffic Study has been reviewed by our traffic consultant from Gewalt Hamilton Associates (GHA) who has confirmed that the following are true:

- The proposed gun club is projected to generate a low volume of traffic during the critical weekday evening peak hours.
- Access to the proposed gun club is to be provided via one full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.
- No left-turn lane will be required to accommodate site access on Frontage Road.
- Intersections near the proposed development currently operate at acceptable levels of service and will continue to do so with the proposed gun club.



Preliminary & Final Plat of Subdivision

The petitioner has submitted a preliminary plat of subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision. The petitioner will also need to submit a final plat of subdivision to be reviewed BEFORE the second Plan Commission meeting for this case, in order to receive a Plan Commission recommendation to the Village Board.

Lighting

The petitioner has submitted a photometric plan for the proposed gun club facility. The photometric plan has been reviewed by the Village's engineering consultant, and with the exception of street lighting, which was not included in the plans (but will be required in future revised plans), the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance.

Liquor License

Alcohol would be served on the premises in specific member only lounge areas. A strict enforcement policy, patterned after national "best practices" would physically prevent and prohibit any member who has been served alcohol from accessing the range facilities and/or firearms for the remainder of that particular day. If alcohol is permitted, Staff recommends that that the Plan Commission include a condition in their future motion restricting the sale and consumption of alcohol to the member only lounge areas.

Jeep Retail

A 20' x 60' Jeep retail space will be provided near the front entrance of the proposed gun club facility. It is unclear if these vehicles will be available for test driving. The petitioner should clarify this at a Plan Commission meeting for his case.

Tri-State Fire District Review

The Tri-State Fire District Fire Marshall provided preliminary comments to the petitioner in January 2017. The Fire Marshall had the following comments related to zoning review of the proposed facility:

1. **Tri-State Comment:** The proposed building has one access way in and out. This access way must be wide enough for two of our vehicles to enter or exit this property at one time (our widest).

Staff Comment: The petitioner shall revise the fire truck turning radius exhibit to illustrate that two of the widest Tri-State vehicles will be able to enter and exit the property.

2. **Tri-State Comment:** We would like to see two fire hydrants on site (1) within 50 feet from the sprinkler connection and (1) near the southwest parking island.

Staff Comment: The petitioner shall submit revised plans siting a fire hydrant within 50' of the sprinkler connection and a fire hydrant near the southwest parking island. Please note that all fire hydrants must be located at least 15' from a parking area, per State code.

3. **Tri-State Comment:** The Fire departments vehicles must be able to make a turn and turn around in this parking lot.

Staff Comment: The petitioner has submitted a fire truck turning radius exhibit proving that Tri-State fire truck vehicles will be able to maneuver on site. This exhibit should be resubmitted with the addition referenced above.

4. **Tri-State Comment:** The proposed building must be fire sprinkled and fully fire alarmed.



Staff Comment: None.

Findings of Fact

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved. The applicant has also drafted responses to these standards, which are attached as **Attachment 5**.

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Recommended Conditions

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a future motion for this case.

1. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
2. The sale and consumption of alcohol on the premises shall be restricted to the proposed member only lounge areas, as designated on the Architectural Plans.
3. The proposed metal material shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
4. Any smoking conducted on the premises must be conducted outside of the building.
5. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.
6. The petitioner shall obtain all necessary permits from IDOT prior to performing any work within the Frontage Road/79th Street right-of-way.
7. The proposed building must be fire sprinkled and fully fire alarmed.
8. There shall be no outdoor storage of materials or vehicles of any kind.
9. The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans submitted by the petitioner.
10. The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
11. The special use shall become null and void if the gun club facility ceases to operate for any 90 day period.

Once the Plan Commission and Staff have more information regarding the HVAC units, a condition may be necessary regarding screening of the HVAC units.



Summary

The Plan Commission first saw concepts for this project back in May of 2016 and were generally supportive of the proposed use. The proposed use will establish a unique business in the Village of Willowbrook, bring new people to town, and support existing hotels, surrounding restaurants and retail uses. Staff has reviewed the preliminary plans, submitted in January 2017, and finds them generally in compliance with the concept plans presented to the Plan Commission back in May of 2016.

Minor changes, as well as additional submittal materials will still be required from the petitioner prior to forwarding to the Village Board a formal consideration. Chief among those revisions include the addition of curb and gutter, sidewalk, and street lighting to the plans, as well as submitting a stormwater submittal for the Village's Engineering Consultant to review.

Other question or concerns may come out of the public hearing process and can also be incorporated into any final direction to the petitioner when finalizing their plans for a formal vote at a future Plan Commission meeting. Any motion to continue the hearing should include the date and location of the continued meeting.

THE CHICAGO GUN CLUB LLC

March 14, 2017

Ms. Anna Franco
Village Planner
Village of Willowbrook
835 Midway Drive
Willowbrook, IL 60527

RE: Responses to February 22nd Plan Commission Comments/Questions:

Dear Ms. Franco,

Please see the following responses to the Staff Comments provided in your letter dated February 27, 2017:

Staff Comment: 1. You had mentioned that vehicles in the proposed retail display will contain no fuel. Please explain how these vehicles will be moved in and out of the building.

Petitioner Response: Vehicles can either be physically pushed into the building after gasoline is removed or can be driven into the building and then have gasoline safely removed immediately after positioning. The goal is to have static display vehicles stored as safely as possible with all gasoline removed.

Proper ignition prevention protocols will be followed. For example, we will make sure the work area is well ventilated. All gasoline removal will take place outside of the building if possible. Appropriate safety placards will be posted and enforced, and no ignition source will be allowed within 20 feet or less of where the tank is being emptied. We will also keep multipurpose fire extinguishers available and near the work area.

Regarding specific fuel removal procedures, applicable OSHA regulations will be followed and an OSHA approved "gas caddy" will be utilized to completely drain the tank of fuel (see OSHA regulation 29 CFR 1910.106). All gasoline drained from the tank would only be stored in approved storage containers. Personnel will be prohibited from draining or storing fuel in an open container. Siphoning by mouth will be strictly prohibited.

Staff Comment: 2. How will the gun club address persons using the facility that already have alcohol in their system?

Petitioner Response: Personnel will be trained to spot symptoms of alcohol impairment. Any individuals exhibiting any evidence of impairment while in the shooting areas of the facility will be asked to leave the premises immediately.

Staff Comment: 3. How long will a member be denied access to the gun range after being flagged for alcohol use?

Petitioner Response: They will be denied access for the remainder of the day.

Staff Comment: 4. Please explain why you chose the name "The Chicago Gun Club". Please also explain why other names, such as "The Gunny Club", are not available for use.

Petitioner Response: We chose the name because we feel our club will have national recognition and ultimately, some degree of historical significance. The association with "Chicago" and "gun violence" may be temporary, while The Chicago Gun Club we hope will thrive for decades.

With respect to the name "The Gunny Club", there is an existing federal trademark application for use of the phrase "gunny club":

http://tsdr.uspto.gov/#caseNumber=87010132&caseType=SERIAL_NO&searchType=statusSearch

Staff Comment: 5. Noise was a notable concern during the public hearing. Please provide additional detail regarding the peak decibel range on the property. It may be beneficial to compare the proposed decibel range with decibel ratings of nearby uses.

Petitioner Response: Noise mitigation has been a focus area of our architectural team. Specifically, the building design now incorporates the following elements, each serving to reduce the anticipated decibel level readings measured outside of the building:

- The structure will be constructed of 10" insulated concrete panels and the roof will have 6-8" of Rigid foam insulation;
- The perimeter of each range bay will be sprayed with closed cell foam to seal the connection between the precast walls and the roof decking;
- All exterior doors will be ballistic and acoustic rated. In addition, the location of the single exterior range door is perpendicular to the projectile path which should substantially reduce noise levels registered along the east façade;
- All viewing windows will be custom ballistic and acoustic rated glass;
- Special noise insulation material, PEPP sound absorbing panels, will be placed inside the building surrounding the firing line to further reduce noise from the firing range; and
- The strategic use of vestibules will also serve to mitigate noise levels both inside and outside the structure. The vestibules will have 8" thick staggered stud walls to keep the sound attenuating insulation continuous. The vestibule ceiling will have 8" of insulation as well.

Together, these construction techniques and materials should serve to reduce the anticipated noise levels in and around the facility.

Although not a certified sound engineer, Ken Love recently recorded peak decibel level readings at The Frisco Gun Club in Frisco, Texas, for comparative purposes. The Frisco Gun Club is an upscale facility that is more similar to our design concept than other nearby ranges. The following summarizes the findings:

Frisco Gun Club Peak Noise Survey		
March 11th 2017 11:00 a.m. – 3:00 p.m.		
Location	Average db	Peak db
Range service door	79.1	88.2
Range service door @ 45'	75.5	80.5
Range service door @ 90' property line	73.6	76.0
Rifle range firing line	76.0	87.4
Rifle range firing line @ 25'	72.1	79.4
Rifle range firing line @ 50' property line	69.1	71.1
VIP range door	73.6	78.2
VIP range door @ 25'	69.9	72.4
VIP range door @ 50' property line	68.2	69.8
Front Entrance	72.2	73.2
Front Entrance @ 60'	75.6	81.2
Front Entrance @ 120' property line	80.9	92.2

Survey Notes :

1. FGC was constructed using 6" - 8" tilt wall concrete panels with no added insulation and a single layer of ISO board (3") insulation on the roof. All exterior range doors are insulated metal doors but not rated as sound absorbing or ballistic. TCGC is to be constructed of 10" insulated precast concrete panels and all exterior doors are to be ballistic and sound rated. The roof will have 6-8" of rigid foam insulation.
2. Survey was taken during peak operations, all 42 firing positions were occupied
3. At the front entrance of the building no gunshots could be heard and noise increased the closer readings were taken to Eldorado Parkway. Eldorado parkway has approximately 25,000 vehicles pass by the FGC on a daily basis with very little commercial traffic. Route 83 has approximately 50,000 vehicles per day pass the proposed site and a great deal of commercial traffic.
4. TCGC will also apply PEPP sound absorbing panels inside the building surrounding the firing line to further reduce noise from firing range. FGC did not use PEPP panels during construction.
5. The neighbor adjoining to the east of FGC is a storage facility with "live on site" management. The living quarters are approximately 400 feet from the rifle range firing line and 300 feet from the pistol range and no noise complaints have ever surfaced.

For additional context, the following are comparative typical noise readings:

Garbage disposal, dishwasher, average factory, freight train (at 15 meters). Car wash at 20 ft (89 dB); propeller plane flyover at 1000 ft (88 dB); diesel truck 40 mph at 50 ft (84 dB); diesel train at 45 mph at 100 ft (83 dB). Food blender (88 dB); milling machine (85 dB); garbage disposal (80 dB).	80	2 times as loud as 70 dB. Possible damage in 8 hour exposure.
Passenger car at 65 mph at 25 ft (77 dB); freeway at 50 ft from pavement edge 10 a.m. (76 dB). Living room music (76 dB); radio or TV-audio, vacuum cleaner (70 dB).	70	Arbitrary base of comparison. Upper 70s are annoyingly loud to some people.
Conversation in restaurant, office, background music, Air conditioning unit at 100 feet.	60	Half as loud as 70 dB. Fairly quiet.
Quiet suburb, conversation at home. Large electrical transformers at 100 feet.	50	One-fourth as loud as 70 dB.

Staff Comment: **6. Please describe in detail, the proposed security measures for the facility.**

Petitioner Response: Although our specific, detailed security policies and emergency response plans are not properly shared outside of law enforcement and the ATF, in general, we will be employing the following security measures:

During Business Hours:

- A control room with access to all security cameras, range ventilation control will be staffed during normal business hours with responsibility to monitor security cameras and notify range staff of any safety/security/customer service issues. They will also monitor the range ventilation system to ensure optimum performance.
- The architectural design plans call for concrete balusters and rapidly deploying drop down security doors to be positioned at strategic locations in and around the facility.
- All employees will be equipped with two way radios to communicate with each other and receive notifications from the person in the control room monitoring the cameras.
- All range members must have a valid F.O.I.D. Card to be allowed access to company owned firearms.
- Access to all company owned firearms will be restricted by key lock to prevent access without employee interaction.

- A Range Safety Officer will always be present anytime the range is occupied.
- Regular firearms inventory procedures utilizing at least two employees to ensure accountability of company owned firearms.
- All employees will be trained to spot the symptoms of persons that may be under the influence of an intoxicant and how to appropriately respond to the situation.
- All customer owned firearms are required to be unloaded and secured in a case before entering facility (excluding lawful concealed carry firearms).

After Business Hours

- The facility will be equipped with a monitored fire/security system. The system will monitor all doors for forced entry, internal/external motion detection that will notify the monitoring company of any unauthorized activity or fire event so they may notify the facility management and/or the proper authorities.
- Given the proximate location of the Willowbrook Police Department, response times will be exceptional and therefore serve as a deterrent to illegal activity.
- All firearms on the premises will be either secured in place with high security display cases or moved to the vault room for overnight storage.

Staff Comment: 7. Lead pollution was a notable concern during the public hearing. Please provide additional detail regarding the lead filtration equipment for the facility and especially focus on the air quality emitted from the facility. Staff would like to know what levels of lead, if any, will be emitted and if the emissions meet Environmental' Protection Agency (EPA) lead air quality standards.

Petitioner Response: See attached brochure with details regarding the proposed ventilation system. Carey's is widely considered to be the very best in the field. Based on Carey's testing our annual output of lead into the air is less than the lead it would take to make one 9MM bullet.

We will also incorporate sticky mats at range entrances/exits to control lead on the bottom of shoes and hand washing stations in the range vestibules so employees and customers can clean their hands after leaving the range area.

Staff Comment: 8. The exposure of guns outside of the facility was a notable concern at the public hearing. Please provide information regarding State and federal legislation regarding exposure of guns on the property.

Petitioner Response: According to The Law Center to Prevent Gun Violence:

Illinois prohibits any person from knowingly carrying or possessing a firearm in any vehicle except on the person's own home, land, fixed place of business or on the land or in the legal dwelling of another person as an invitee with that person's permission. 720 Ill. Comp. Stat. 5/24-

1(a)(4). The statute does not apply, however, to the transportation of firearms that are: 1) broken down in a non-functioning state; 2) not immediately accessible; or 3) unloaded and enclosed in a case, firearm carrying box, shipping box, or other container by a person with a currently valid Firearm Owner's Identification card.

In *People v. Diggins*, 919 N.E.2d 327 (Ill. 2009), the Supreme Court of Illinois reviewed whether the center console of a vehicle was a "case" for the purposes of the lawful containment of a firearm in a vehicle, within the meaning of 720 Ill. Comp. Stat. 5/24-1.6(a)(1), which imposes an additional penalty for publicly carrying a firearm if it is uncased. The court found nothing in the overall statutory scheme to suggest that the legislature intended for the various types of receptacles to be firearm specific, and concluded that the center console of the vehicle fell within the ordinary definition of a "case."

Under Illinois' Concealed Firearm Carry Act, enacted in 2013, a person who is issued a valid concealed carry license is permitted to keep or carry a loaded or unloaded concealed firearm on or about his or her person within a vehicle. 430 Ill. Comp. Stat. 66/10(c)(2).

The parking lot will be under camera surveillance. Individuals in the parking lot of the facility that are in any way acting in a manner that violates the law will be immediately brought to the attention of the Willowbrook Police Department.

Staff Comment: 9. At the public meeting, your associate, Ken Love, mentioned that some tiers of membership may be allowed 24-hour access to the facility. This was cited as a major concern from Staff, the Plan Commission, and local residents. The Plan Commission will likely include a condition to restrict the hours of operation to 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday unless evidence is presented to appease stated concerns.

Petitioner Response: We are dropping this aspect of the operation; if in the future it becomes a high priority for the membership, we will go through the appropriate administrative process to see if we can gain approval.

Staff Comment: 10. A second means of egress from the second floor must be added to the architectural plans, per request by the Village Building Inspector and the Plan Commission. Please coordinate with Building Inspector Roy Giuntoli regarding this requirement. Roy Giuntoli can be reached at 630.920.2262 or at rgiuntoli@willowbrook.il.us.

Petitioner Response: An emergency "egress only" stairwell has been added to the NE corner of the 2nd floor in the revised architectural plans.

Staff Comment: 11. Please provide Staff with a copy of the Powerpoint presentation used at the February 22nd Plan Commission meeting.

Response: See attached/enclosed.

Staff Comment: Liquor License According to Section 5-3-19(A)8 of the Village of Willowbrook Municipal Code: "A person commits the offense of unlawful use of weapons when he knowingly: Carries or possesses any firearm, stun gun or laser or other deadly weapon in any place which is licensed to sell intoxicating beverages, or at any public gathering held pursuant to a license issued by any governmental body or any public gathering at which an admission is charged, excluding a place where a showing, demonstration or lecture involving the exhibition of unloaded firearms is conducted" Village Staff is looking into whether an amendment to this section or a variation from this section can be pursued to allow alcohol at your facility. At this time, however, alcohol is prohibited for the proposed facility.

Petitioner Response: We are currently relying on the email from Anna Franco received on February 27, 2017, indicating that per the Illinois Firearm Concealed Carry Act, alcohol is allowed to be sold on the property if the sale of alcohol is less than 50% of total sales, and consequently, that a condition to the Plan Commission's motion and the ordinance for the petition will likely contain a restriction such as "The sale of alcohol cannot constitute more than 50% of total sales," or similar language.

* * * * *

Once again, we would like to thank you and the Plan Commission for taking the time to consider our proposed development. It truly has been a pleasure working with you and others on the Village Staff.

As always, if you have any questions, please do not hesitate contacting me.

Respectfully,



Joe Neveril

Managing Partner
The Chicago Gun Club, LLC



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Expertise of Carey's Heating and Air Conditioning, Inc.

Carey's Small Arms Range Ventilation has been developing, designing and installing successful Indoor Range projects for almost two decades. They have specialized their designs in the control of contaminants created by indoor ranges and are currently known as a national leader in the field. They have worked with the United States Navy to develop the current range ventilation standards as described in the Unified Force Criteria. Carey's wrote the ventilation standards for the GSA, edited the standards for the United States Air Force as published in the ETL, and have been consultants for the Federal Law Enforcement Training Center (Department of Homeland Security) and FBI.

The design, installation and commissioning of the range ventilation system can be the difference between an unsafe range and a range that meets the IMC 2009, OSHA, EPA and NIOSH standards. The critical components are custom fabricated in Carey's facility and are the summation of the lessons learned in hundreds of past range ventilation projects completed.

Specifically, the radial air diffusers and plenums are custom built and have been tested to provide laminar air flow at the firing line after proper commissioning. "Laminar" flow is a steady, even airflow required to safely clear contaminates from the respiratory zone of the users of the range. These special diffusers are not available from a standard diffuser supplier.

Although the control system uses standard DDC Components from Johnson Control, the programming of the equipment is custom. The design, programming and assembly of the Carey's Direct Digital Control system is done by an experienced programmer who has worked on all of the ranges that Carey's has completed. This ensures that the control system installed and tested will automatically shut down if unsafe conditions are detected within the range. This will protect both the occupants of the range and the adjoining areas.

The supervision provided by Carey's Small Arms Range Ventilation is necessary to ensure guaranteed results in meeting these standards. If the project does not have the proper oversight, it can result in unsatisfactory results. Unlike a standard ventilation project where the system is installed and the air test and balancer sets the design air flow at each system outlet, a range ventilation system is designed for proper air flow at the firing line that is ten to fifteen feet from the distribution point. It must be the designer's responsibility to ensure proper airflow. An installing contractor can only install the project as shown on the drawings and control the air flow to the distribution device.

Due to the potential of over exposure to carbon monoxide, lead and other heavy metals on the range as well as the potential to contaminate adjoining areas with surface contaminates, the only way to guarantee performance is to have the system installation and design managed by someone with the experience to see potential problems with the installation. Carey's site reviews also look at the building construction to identify potential problems such as a breach in the range walls that could present problems for the end users.



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Carey's Small Arms Range Ventilation has completed over hundreds indoor range ventilation projects at facilities that have met all of the required standards, including projects for the US Navy, US Air Force, US Marshals, Police Departments and private ranges. In these projects they have similarly provided the design and build services. Each range has met the commissioning requirements of an average air flow of 75 feet per minute with no readings less than 50 feet per minute. All of the United States Navy Ranges have been tested by an independent industrial hygienist who has measured and returned results of less than detectable levels of lead in the respiratory zone. The ranges have further proven to all have a negative pressure that contains contaminates. Below is a sample of impressive and significant range projects completed by Carey's Small Arms Range Ventilation:

Commercial

5280 Armory, CO	Action Impact, MI
Alpha Range, IL	Al's Sporting Goods, UT
American Fire Arms School, MA	American Shooters Supply, NV
Athena, TX	Barracks 616, MI
Big Boy Guns, OK	Big Shots, NE
BluCore, CO	Blueline Tactical, NY
Bob's Little Sport Shop, NJ	Border Tactical, CA
Bow & Barrel, IL	Boyert Shooting Center, TX
Bristlecone, CO	Bud's Gun Range, TN
Calibers Culter Location, NM	Calibers Coors Location, NM
Carolina Sporting Arms, NC	Centennial Gun Club, CO
Citizens Rifle and Revolver Club, NJ	Eagle Gun Range, TX
Elite Shooting Sports, VA	Federal Way Indoor Range, WA
Fox Shooting Loft, OH	Frontier Justice, MO
G4S Cash Solutions, Canada	Get Some Guns, UT
Godfrey's Indoor Shooting Ranges, KS	Granite, NH
Gun Vault, UT	Gun World of South Florida
Guns N Gear, ID	Helen Boosalis Park, NE
High Caliber Training Center, IL	Hortst & McCann Firearms, MD
Laramie County Shooting Sports Complex, WY	Lotus Gun Works Jensen Beach, FL
Lotus Gun Works Naples, FL	Magnum, CO
Maine Military Supply, CO	Max Creek, WI
McCunn Specialty Firearms, IA	Melbourne, FL
Metro Shooting Supplies, MO	Montgomery Shooting Complex, AL
OMB Guns, KS	On Target, IL
Park City Gun Club, UT	Gun For Hire, NJ
Point Blank Range and Gun Shop, OH	Pro Shots, NC
Ready Line, OH	Red Dot Firearms, UT
Rich's Gun Shop, OR	RKA, IL
RTSP, NJ	S and D Indoor Gun Range, KY
Sharp Shooters, MO	Sheridan Arms, MI
Shoot Indoors, CO	Shooters Edge, TN
Shooters World, FL	Skagit Island, WA
Stone Hart's Gun Club, FL	Tactical Advantage, TN
Take Aim, FL	The Machine Gun Nest, MD
The Range at Ballantyne, SC	The Range at Richfield, WI
Three Sights, MT	Thunder Hollow, MS
Tiverton Rod & Gun Club, RI	Treasure Chest, KS
West Coast Armory, WA	Whistling Pines Gun Club, CO
Wilshire Gun Club, OK	Yakima, WA



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Military

Aviano Air Base, Italy	Bangor Naval Base
Colts Neck Naval Base	Coronado Naval Base
Dam Neck Seal Base	Eglin Air Force Base
Fort Bragg	Fort Campbell
Fort Drum	Fort Monmouth
Fort Story	Fort Worth
Groton Naval Base	Jacksonville Naval Air Station
Keesler Air Force Base	La Posta Mountain Warfare Training Facility
Little Creek Naval Base	Newark Naval Base
New Orleans Naval Air Station	Niagara Air Force Base
Patuxent River Naval Base	Quantico Marine Base
United States Air Force Reserves	

Law Enforcement

Appleton PD, WI	Bedford Park PD, IL
Bensenville PD, IL	Boulder PD, CO
Border Patrol Station Boulevard, CA	Border Patrol Station San Diego, CA
Buena Park PD, CA	Council Bluffs PD, IA
Davenport PD, IA	Davie PD, FL
Eagleton Courthouse, MO	Elk Grove Village PD, IL
Green Bay PD, WI	Greenfield PD, WI
Hoffman Estates PD, IL	Kansas City PD, KS
Lake Forest PD, IL	Lancaster PD, NY
Longmont PD, CO	Macon County Sheriffs Range, IL
Manassas Park PD, VA	Middletown PD, PA
Milwaukee County Sheriff Dept., WI	Montclair PD, CA
Montgomery County Sheriff Dept., PA	Naperville PD, IL
NACO Border Patrol Station	Oak Creek PD, WI
Ontario PD, CA	Orlando PD, FL
Pascua Yaqui, AZ	Pasadena PD, CA
Pelham PD, AL	Portland PD, OR
Scarsdale PD, NY	Seabrook Nuclear, NH
Skokie PD, IL	Sunrise PD, FL
Washington Metro Transit Authority, MD	Wheaton PD, IL

Educational / Manufacturing

Broward Community College, FL	Cuyahoga Community College, OH
Dayton T Brown, NY	Glock Manufacturing Facility, GA
I.W.I. US, PA	Indian River State College, FL
Los Alamos National Laboratory, NM	Miami College of Policing, FL
Michigan State University, MI	Palm Beach State College, FL
Proof Research, MT	Precision Ammo, FL
Remington Manufacturing Facility, KY	SchoolCraft College Public Safety Training, MI
Sig Sauer Manufacturing Facility, NH	



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Management

The management team assigned to this range project is key personnel at Carey's Small Arms Range Ventilation and will ensure that this project will be completed professionally within the parameters set. The Carey's team consists of the following:

Bill Provencher: President and CEO – oversees all aspects of project.

Pat Tovey: Secretary-Treasurer and CFO – responsible for all material acquisition, contracts and project coordination.

Brian Wright: Director of Sales – assists in range planning, pricing and project coordination

Sam Pappas: Project Manager – oversees all aspects of the project throughout construction – coordinating with owners, subcontractors, and general contractors to schedule equipment delivery, installation, and start-up.

Jim McKay: Control Manager – Designs, supervises the assembly and start up of the range control systems. Commissions the systems.

Kristofer Williams: Engineer – Designs equipment and distribution systems for the range ventilation.

The team of professionals that Carey's brings to this project is among the most knowledgeable and complete authorities in the range ventilation field.

Responsiveness and Support

Carey's is the only range ventilation supplier that has a 24 hour, seven day per week response center that can support and troubleshoot the range ventilation system through the direct digital control system. Their level of commitment to ensuring that our range is fully operational and functioning is extraordinary.

Experience of contractor personnel

Carey's personnel have over almost two decades of experience installing ranges. In addition to seasoned employees and industry leading partners, Carey's has extensive sub-contractor relationships with all the disciplines of range construction. Carey's success in hiring experienced, professional employees, partners and sub-contractors is evidenced by their track record in building some of the most advanced, complex, state-of-the-art firearms training facilities in the world.

Uniqueness

Carey's Small Arms Range Ventilation has been an innovative force in range ventilation design since 1995. Carey's has constructed a full scale model in-house to perform research and development in order to establish the best design for airflow in small arms ranges and shoot houses and also to develop Carey's custom radial diffuser plenum assembly that have been proven to provide even airflow in hundreds of indoor firing ranges.



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Range Ventilation Design

The mechanical systems for a small arms range should be designed to maintain a laminar or even air flow at the shooters respiratory zone throughout all firing lines. The design should provide this air flow with a lack of turbulence at all of the shooting positions. There are three primary considerations for the design of small arms ranges:

1. The primary purpose for the ventilation of an indoor firing range is to remove from the respiratory zone of the occupants harmful contaminates created during the firing of a weapon. Exploding primers containing lead styphnate and friction from the lead slug against the gun barrel create airborne lead. There is also carbon monoxide as well as other contaminates created during the firing of a weapon.
2. The second and equally important reason for the properly designed and installed ventilation and control system is to keep the range at a negative pressure to the surrounding base building space. Contaminates created on a small arms range need to be contained within the range space. This will prevent the ingestion of contaminates as well as keeping the surfaces free of contaminates in non-range spaces of the base building.
3. The final purpose is to remove the smoke from the range for properly seeing the targets.

The standards followed and required are summarized below:

NIOSH (National Institute of Occupational Safety and Health) has set the standard for range design. This suggested design criteria has been found to consistently produce conditions that keep exposure in the respiratory zone below the allowable limits for lead exposure.

The following is a summary of the IMC 2009, EPA, NIOSH and OSHA standards as they apply to small arms range ventilation:

IMC 2009 502.19 Indoor firing ranges. Ventilation shall be provided in an *approved* manner in areas utilized as indoor firing ranges. Ventilation shall be designed to protect employees and the public in accordance with OSHA 29 CFR 1910.1025 where applicable.

EPA:

TITLE 40--PROTECTION OF ENVIRONMENT CHAPTER I--ENVIRONMENTAL PROTECTION AGENCY PART 50--NATIONAL PRIMARY AND SECONDARY AMBIENT AIR QUALITY STANDARDS--Table of Contents Sec. 50.12 National primary and secondary ambient air quality standards for lead. National primary and secondary ambient air quality standards for lead and its compounds, measured as elemental lead by a reference method based on appendix G to this part, or by an equivalent



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method, are: 1.5 micrograms per cubic meter, maximum arithmetic mean averaged over a calendar quarter. (Secs. 109, 301(a) Clean Air Act as amended (42 U.S.C. 7409, 7601(a))) On November 12th, 2008, the EPA issued a final rule that revised the NAAQS for lead and associated ambient air lead monitoring requirements strengthening the requirement to 0.15 micrograms per cubic meter as total suspended particles measured as a three-month rolling average. (73 FR 66964, codified at 40 CFR part 58)

NIOSH and OSHA:

Established by NIOSH, the performance intent for firing range ventilation systems shall meet all the requirements outlined as recommendations and design considerations in HEW publication no. (NIOSH) 76-130, dated December, 1975, entitled "Lead Exposure Design Considerations for Indoor Firing Ranges". This design standard prefers an air flow velocity of 75 feet per minute average on the empty range. This design has consistently provided for the compliance within the established federal standards for airborne inorganic lead concentration limits.

When properly executed, lead concentrations are consistently maintained below the action level of 30 micrograms per cubic meter (30ug/m³) in an area where the limit shall not exceed 50 micrograms of lead per cubic meter (50ug/m³) of air over a time weighted average of eight hours as measured at the respiration zone of the shooters and the range officer when firing from the firing booths per OSHA 29 CFR. 1910.1025 and 1926.62.

Airflow

The air flow in the range is designed to maintain an average velocity of 75 feet per minute at the firing lines over the entire cross sectional areas. The safety of the occupants is the primary focus of the design for the range mechanical system. The exhaust airflow has been sized 10% greater than the supply airflow to maintain a negative pressure in the range of 0.05" of static pressure. This is measured between the range and the base building area. This will prevent contaminant created inside the range from spreading to the base building area.

Duct System

The distribution systems and radial diffuser plenum assemblies are designed to provide a laminar air flow over the cross sectional area. The distribution systems and radial diffusers provided by Carey's on this project have been used on over hundreds of ranges that have meet and exceeded the NIOSH, EPA, OSHA, United States Navy Unified Force Criteria (UFC), Engineering Technical Letter (ETL), and Government Service Administration (GSA) range design standards for small arms range ventilation.

Equipment

Recirculation system ventilation air-handling units consist of a commercial/industrial package make-up air unit and custom filtration air-handling unit. The package make-up air unit consists of an outside damper, outside air filters, DX cooling section, modulating hot gas reheat, gas heat exchanger, supply fan, unit processor control, and condenser section. The filtration air-handling unit consists of three stages of



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filtration, MERV-8 pre-filters, MERV-14 mid-filters, and 99.97% high efficiency particulate arrestor (HEPA) filters, variable frequency drive, recirculation fan, supply dampers and exhaust dampers.

Controls

The range ventilation DDC control system is comprised of Johnson Controls HVAC control components such as temperature sensors, pressure sensors, pressure transducers, unitary controllers, and a FX controller. The control system logs trends for the operating parameters such as filter differential pressure and exhaust command. The DDC control system will produce maintenance messages for changing filters, belts, and general maintenance on the equipment. The control system will also produce alarms and warning messages if doors are held open too long, if there is a problem or fault in the units, and the control system will automatically alarm and shutdown if the range conditions become unsafe.

Operation

Outside air is brought in through the make-up air unit where it is tempered and supplied to the range. The airflow is pushed through a graduated supply duct distribution system and balanced with heavy duty volume dampers to distribute evenly to custom supply radial diffuser plenums located on the rear wall behind the shooters. The airflow is balanced to provide an average of 75fpm at the firing line. Air is pushed/pulled down range to a graduated return duct system. Return air is filtered through 3 stages of filters including final 99.97% HEPA filters before being exhausted or recirculated. The return / exhaust fan is modulated through a variable frequency drive to maintain a range to base-building negative pressure of -0.05" WC.

Typical Re-Circulation System Layout





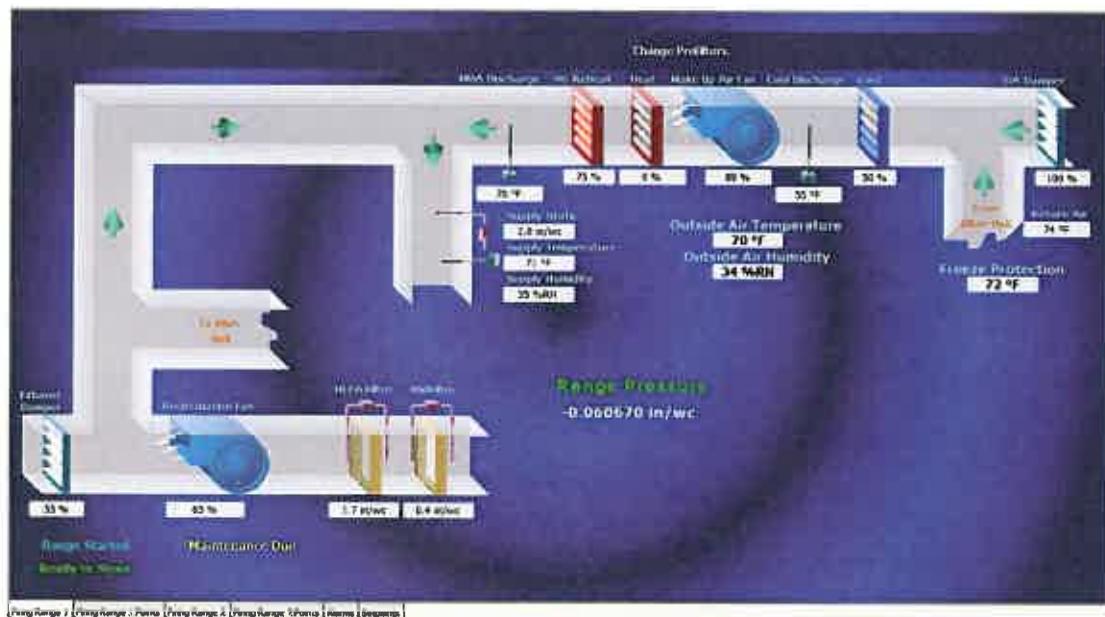
8201 W 183rd St; Suite B
Tinley Park, IL 60487
Phone: 708-532-2449
Fax: 708-429-2150
Website: careyscentral.com

Carey's Range Ventilation Control System

Carey's Range Ventilation Smart Direct Digital Control (DDC) system is programmed to automatically operate the range ventilation to provide safe conditions for users. The control system will warn users of any maintenance issues and will alarm if the range conditions were to become unsafe. In addition, the system will produce maintenance messages and warning messages of any faults that may occur.

Carey's control system interface will allow users with the proper login credentials to access and view the operation of the range ventilation system. Users can also view set points, check alarms, reset maintenance alarms, or simply view the overall system operation. This allows field personnel to quickly identify and resolve any and all issues. The system also allows Carey's Technical Support Staff to remotely view and provide support to field personnel. Carey's Technical Support Staff are available 24 hours a day / 7 days a week.

Below are screen shots of a typical re-circulation style system interface. (Note: not all components may be shown or that are shown may not be applicable to this project. The below graphics are for reference as an example of how the fans and system components will look on the DDC computer screen.)



Attachment 3

Development Executive Summary (6 sheets)

Development Concept Executive Summary

Who:	<p>Private local investor group including Joe Neveril, an Illinois attorney since 1996; Management and Advisory team would include current and former police, certified firearm safety trainers, ex-military, legal / accounting / regulatory expertise, and a franchised new car dealer with over 30 years of experience in the local market.</p> <p>Architectural Firm: Damian Farrell Design Group, PLLC Specialized Equipment Vendor: Action Target</p>
What:	<p>Develop the Chicagoland Area's first state-of-the-art, luxury indoor shooting range with emphasis on SAFETY, EDUCATION & PREPAREDNESS.</p> <p>Revenue would be generated from the following sources:</p> <ul style="list-style-type: none"> • Member initiation fees and monthly dues; • Sale of merchandise: <ul style="list-style-type: none"> ◦ Firearms and ammunition; ◦ Firearms accessories (optics, holsters, kits, etc.); ◦ Emergency / Survival / Outdoor gear; • Rentals (Lanes and Firearms) / Potential municipal police contracts; • Firearm safety / training classes (e.g, CCL, "Know Your Surroundings", Self-Defense, etc.); • Limited food and drink; • Sale of customized 4x4s to survivalist/outdoor/hunting market.
When:	Commence construction in Fall of 2016, if permitted.
Where:	3.42 vacant acres located at 79 th Street and Frontage Rd., Willowbrook.
Why:	The opportunity for lawful gun owners to properly train in a luxurious, comfortable, clean, and safe environment simply does not exist in this area.
How:	<p>Build a world class training facility with a luxury resort/private club "look and feel":</p> <ul style="list-style-type: none"> • 29,000 sq. ft. brand new structure; • Luxurious appointments and high-end finishes throughout; • Highest grade HVAC system / bullet traps / lighting / airflow quality; • 32 total shooting lanes, Tactical Bay with computerized targeting systems; • 4,000 - 7,000 sq. ft. retail area; • Multiple categories of membership with varying amenities and benefits; • Member-exclusive access to dedicated luxury areas (fireplaces, flat screen TVs, leather seating, outdoor cigar lounge); • High-tech classroom area(s) dedicated to education & safety training.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

I. Safety First: Firearm Education & Training Opportunities Lag Firearm Proliferation

On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public.⁽ⁱ⁾ The new “concealed carry” law went effective January 1, 2014. Nine thousand (9,000) concealed carry licenses (CCLs) were issued to DuPage County residents from January 1, 2014, through December 31, 2015; Forty thousand were issued to neighboring Cook County residents over that same two-year period.⁽ⁱⁱ⁾

Nearly ten thousand people within DuPage County are allowed to generally go about their daily lives carrying a concealed firearm. They could be at a restaurant, at a department store, almost anywhere. Do they know how to handle their weapon safely? Do they know how to check if it is loaded, cocked, ready to go off, etc.? To obtain a CCL, Illinois law requires applicants to have successfully passed a 16 hour training course taught by a certified CCL instructor. How many CCL permit holders have forgotten the lessons taught in the program? Most importantly, where do they go to review and practice to ensure basic proficiency and adherence to safety protocols?

Simply stated, there is a void in the local marketplace. Given the barriers to approval, permitting, and construction, indoor gun ranges—places where one can go to train regardless of the weather—have failed to keep pace with the increase in firearm demand. Consequently, indoor facilities “have never been busier.”⁽ⁱⁱⁱ⁾ The Illinois State Rifle Association estimates that concealed carry will generate \$1 billion of added economic activity over its first three years.^(iv)

Despite the surge in popularity, gun ranges are noticeably absent in affluent DuPage County, especially within the I-88 E-W and I-55 N-S band:



In the diagram above, each blue dot represents a location of shooting range, shooting facility or preserve per the National Shooting Sports Foundation (NSSF) database within 5, 10 and 15 miles from our proposed site. Only two (2) of the indicated locations are actual indoor ranges open to the public (all the others are archery only, outdoor only, golf clubs with outdoor shooting areas, and other non-comparables).

Historically, the two nearest indoor range options for residents of the affluent Willowbrook, Hinsdale, Burr Ridge, Oak Brook, Clarendon Hills and Darien area have been Midwest Guns in Lyons and Article II in Lombard. On February 15th of this year, "The Range at 355" opened in Bolingbrook. And although each of these indoor ranges may be doing well financially, none of these facilities offer the luxury, upscale "guntry club" amenities that are becoming increasingly popular across the United States. We discuss the emergence of this new indoor range business model in detail in the next section.

II. The "Gunny Club" Concept: A State-of-the-Art Shooting Facility with Member Amenities

With the opening of the Scottsdale Gun Club in 2004, the up-scale, luxury indoor shooting range concept—"the guntry club"—was born.^(v) The term has emerged as way to describe posh indoor shooting ranges that have been designed to appeal more to women and families than traditional ranges.^(vi) Lounges with leather chairs, flat-screen TVs and "members only" access are typical. In the most successful projects, private memberships are "pre-sold" prior to construction.

Consumer demand, as well as investor interest, has been steadily growing for such indoor facilities. According to the New York Times,

"...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls."^(vii)

An article in the Washington Post describes the evolution towards upscale facilities:

The high-end ranges come as the \$15 billion gun industry's sales have more than doubled since 2005. ... The average age of new target shooters is 33, while 47 percent live in urban or suburban areas, and 37 percent are female ... Shooters spend \$10 billion a year on target shooting, including the cost of firearms, ammunition and range fees.

Those demographics and economics are attracting investors without firearms industry backgrounds; they see ranges as a new place to employ their cash. Elite Shooting Sports, a nearly \$14 million project, has investors from the electronics industry, real estate, finance, hotel and auto industry executives have backed other new ranges.

"A lot of savvy investors have seen the surge in sales within the firearms industry, see that it's a quality industry to invest in and are smartly doing so," said Zach Snow, a range expert

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

at the sports foundation. “These ranges are trying to project a comfortable image to the largest contingent of people possible.”

Gone are the folding chairs, stale coffee and drab settings of the old mom-and-pop gun ranges. The idea now is to compete for entertainment dollars with golf and country clubs, nightclubs and movie theaters, which have also gone high-end with leather chairs and mixed drinks. Miami’s Lock & Load, which offers themed machine gun packages, including one with Israeli special forces weapons, is the No. 1-ranked activity in the city on TripAdvisor. Ranges are even becoming a new place to take clients for lunch — and squeeze off a few rounds.”
(viii)

In short, the industry is going up-scale (like what Top Golf is doing to driving ranges) and our proposed site—with as favorable demographics as anywhere in the country—is an ideal location.

III. The Potential Financial Engine

In terms of revenue, and by way of example, a well-known luxury gun club, with 32 shooting lanes and 4,000 sq. ft. of retail space, generated sales of \$1.628 million (and a gross profit of \$727,636) during a 3-month period (May-June, 2005) in its first year of operation. Two years later, in 2007, that same 3-month period (May-June, 2007) generated sales of \$2.905 million (and a gross profit of \$1,035,076).^(ix) Annualizing these figures suggests that potential taxable revenue could exceed \$6.5 million in the first year, and be well over \$11.5 million by the third. The revenue ceiling, however, may actually be much higher: a new luxury indoor facility located in Oklahoma City reportedly generated \$26 million in revenue in 2013.^(x)

In addition, none of these historical reference points included vehicle sales in their respective business models. Our concept also includes selling customized 4X4s (with 2 models on site at any given time) tailored to outdoor survivalists. Each customized vehicle will retail in the \$45,000 – \$60,000 range, depending on options. We anticipate selling between 2 and 5 such vehicles each month, which could account for an additional \$1 to \$3 million in annual taxable receipts.



Continuing with the preparedness / survivalist theme, we also intend on offering a wide range of merchandise tailored to this growing market segment. One product example is the “Bug-Out Bag” – a pre-packed bag that includes items that can keep a person or family alive in the harshest of conditions for a certain period of time. For many people, confidence in knowing that one’s family has a real and tangible survival plan in place provides peace of mind and improved overall quality of life.

IV. Conclusion

Guns are not going away. In fact, quite the opposite. And with each terrible event—whether it be terrorism or just some deranged person—gun purchases actually spike across the U.S. The weekend after the Paris attacks set records for gun purchases. The Chicagoland area is no exception.

Law abiding citizens are purchasing guns in record numbers, and many are obtaining CCLs, but the number of clean and comfortable locations in which to maintain adequate proficiency and to receive critical firearm safety training have not kept pace. This puts our families and children at risk of unintended injury.

Two years ago, the Willowbrook Zoning Board discussed the indoor gun range business model in detail, and then took the proactive steps to introduce a text amendment to the B-4 designation. As part of that process, Willowbrook re-zoned four nearby lots as B-4, and thus, identified location(s) potentially eligible for this type of use.

The (practically) adjacent subject property shares these very same characteristics and would be an ideal location for this business.

We welcome your thoughts, concerns and feedback on our development concept.

End Notes:

⁽ⁱ⁾ Illinois Bar Journal, December 2013, Volume 101, Number 12, Page 620.

⁽ⁱⁱ⁾ See “Concealed carry permit applications drop across Illinois”, By – Associated Press, State Journal-Register, February 1, 2016.

⁽ⁱⁱⁱ⁾ See “Illinois gun ranges busy, trying to meet demand” By - Associated Press - Sunday, March 23, 2014, Information attributed to The Daily Herald. See also: “Sign-ups soar for shooting classes; Jan. 5 first day for online concealed carry registration”, The Telegraph, by Sanford J. Schmidt, December 27, 2013; and “Demand for concealed carry keeps growing in suburbs”, The Daily Herald, January 16, 2014.

^(iv) “Gun law fires up training for concealed-carry”, Illinois Business Journal, Written by Terry Hillig; December 2013.

^(v) See Candace Carlisle, “Guns are the new range: Taking clients to the range”, Dallas Business Journal, September 27, 2013.

^(vi) Arthur Hirsch, “Entrepreneurs plan posh ‘guntry club’ in Beltsville”, The Baltimore Sun, January 30, 2015.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

^(vii) Julie Turkowitz, “Ready, Aim, Fire, Then Relax in the Lounge”, The New York Times, November 28, 2014.

^(viii) Michael S. Rosenwald, “Gunny clubs target a new breed of shooter: younger, more affluent and female.” The Washington Post, January 13, 2015.

^(ix) Note: the gross profit figure does not include operating expenses –that is, no advertising, administrative, personnel expense or facility expense are included.

^(x) Arthur Hirsch, “Entrepreneurs plan posh ‘guntry club’ in Beltsville”, The Baltimore Sun, January 30, 2015.

Attachment 4

Revised Engineering, Architectural, Elevation & Signage, Landscaping, Lighting (21 Sheets)

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

LEGEND

EXISTING	PROPOSED
MANHOLE	DECIDUOUS TREE
CATCH BASIN	EVERGREEN TREE
INLET	OVERLAND FLOOD ROUTE
CLEANOUT	DRAINAGE ROUTE
FLARED END SECTION	DOWNSPOUT
WATER VALVE BOX	SILT FENCE LINE
BUFFALO BOX (B.BOX)	DEPRESSED CURB
WATER VALVE & VAULT	SOIL EROSION GEOTEXTILE PROTECTION
FIRE HYDRANT	CONCRETE
WELL	BRICK
GAS VALVE	ASPHALT
GAS METER	BUILDING
COMMUNICATION CANISTER	GRAVEL
COMMUNICATION HANHOLE	STONE
ELECTRIC CANISTER	
ELECTRIC HANHOLE	
ELECTRIC MANHOLE	
ELECTRIC METER	
TRAFFIC SIGNAL	
TRAFFIC HANHOLE	
TRAFFIC CONTROL BOX	
UTILITY POLE	
UTILITY POLE W/ LIGHT	
STREET LIGHT	
STREET SIGN	
BORING LOCATION	
MAILBOX	
SPOT ELEVATIONS	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
RIGHT OF WAY LINE	
STORM SEWER LINE	
SANITARY SEWER LINE	
WATERMAIN LINE	
UNDERGROUND GAS LINE	
UNDERGROUND COMM. LINE	
UNDERGROUND ELECTRIC	
OVER-HEAD UTILITY	
FENCE LINE	
GUARDRAIL LINE	
CONTOUR LINE	

PROJECT LOCATION



PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

1. ALL ON-SITE AND OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "VILLAGE OF WILLOWSBROOK";
2. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION;
3. ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED IN CONFORMANCE WITH THE MOST RECENT VILLAGE STANDARD;
4. EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE EITHER INTEGRATED INTO THE SITE DRAINAGE SYSTEM, REMOVED OR PLUGGED IN A MANNER DEEMED APPROPRIATE BY THE VILLAGE ENGINEER;
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF WILLOWSBROOK;
6. THE VILLAGE MUST HAVE FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITY;
7. THE TESTING AND STERILIZATION OF ALL NEW WATER DISTRIBUTION FACILITIES SHALL BE COMPLETED PRIOR TO MAKING WATER SERVICE TAPS BY AN OUTSIDE TESTING SERVICE;
8. MATERIAL SPECIFICATIONS COMPLY WITH VILLAGE STANDARDS AND INCLUDE:
 - A. PAVING BASE MATERIALS
 - B. PAVING SURFACE MATERIALS
 - C. CONCRETE MATERIALS
 - D. PIPE MATERIALS.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE, SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.
2. THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
4. THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.
5. STABILIZE AND PROTECT DISTURBED AREAS. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. MECHANICAL, STRUCTURAL, AND/OR VEGETATIVE CONTROL METHODS SHALL BE USED IN ORDER TO RETARD SOIL EROSION IF DIRECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
6. KEEP RUN-OFF VELOCITIES LOW WITH SHORT SLOPES AND LOW GRADIENTS. THE INSTALLATION OF NATURAL VEGETATIVE COVER HELPS TO KEEP STORM WATER VELOCITIES LOW, AND THUS LIMIT SOIL EROSION EFFECTS.
7. PROTECT DISTURBED AREAS FROM STORM WATER RUN-OFF. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE. PROTECTIVE MEASURES SHALL BE UTILIZED TO DIVERT RUN-OFF FROM DISTURBED AREAS.
8. RETAIN SEDIMENT WITHIN THE SITE AREA - SEDIMENT BASINS SHALL BE CONSTRUCTED IN ORDER TO DETAIN SEDIMENT LADEN RUN-OFF SO THAT THE SOIL PARTICLES SETTLE OUT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
9. NATURAL PLANT COVER SHALL BE MAINTAINED AND PROTECTED AND ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION.
10. PROTECTION OF EXISTING FACILITIES AND UTILITIES - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY FACILITIES FOR THE PROTECTION OF ALL EXISTING UTILITIES OR ON ADJACENT TO THE PROJECT. ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, FILTERED, OR OTHERWISE TREATED TO REMOVE SEDIMENT. FURTHERMORE, ANY DAMAGE DONE BY HIM, HIS AGENTS, OR ASSIGNS SHALL BE REPAIRED AT NO ADDITIONAL COMPENSATION.
11. DIRT ON PAVEMENT - WHERE A CONTRACTOR'S EQUIPMENT IS OPERATED UPON AN EXISTING PAVEMENT USED BY TRAFFIC THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS IMMEDIATELY AND AT OTHER TIMES AS DIRECTED BY THE OWNER, THE ENGINEER, OR THE GOVERNING MUNICIPALITY. THE CLEANING WORK SHALL BE CONSIDERED AN INCIDENTAL AND INCLUDED IN THE COST OF THE CONTRACTOR'S CONTRACT FOR THE WORK TO BE PERFORMED.
12. DUST CONTROL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EXCESSIVE DUST BY WATERING DURING THE CONSTRUCTION PERIOD UNTIL THE ROAD PAVEMENT IS INSTALLED BY THE PAVING CONTRACTOR. THE REQUIREMENT FOR DUST CONTROL SHALL BE AS DIRECTED BY THE LOCAL APPROVING AUTHORITIES OR THE ENGINEER, AND SUCH DUST CONTROL (IF REQUIRED) SHALL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
13. NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED.
14. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR VILLAGE OF WILLOWSBROOK.
15. WHEN A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE (3) DAYS, SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED.
16. THE CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE USE OF HEAVY EQUIPMENT WITHIN THE DESIGNATED DRAINAGE FACILITIES.
17. NO STOCKPILING WITHIN DRIP LINE OF TREES. MAINTAIN TWENTYFIVE (25) FEET MINIMUM DISTANCE BETWEEN STOCKPILES AND DRAINAGE WAY, AND SILT FENCE OR VEGETATIVE COVER ON DOWNHILL SIDE.
18. EROSION CONTROL MEASURES INSPECTION SHALL BE CONDUCTED WEEKLY OR AFTER EVERY 1/2 INCH OF RAIN.
19. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE DEFICIENCIES FOUND AND NOTED ON INSPECTION REPORT. DEFICIENCIES SHALL BE CORRECTED WITHIN 24 HOURS.
20. A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING CONSTRUCTION OF THE BIO-RETENTION SWALE TO VERIFY THAT THE UNDERLYING SOILS WILL ALLOW INFILTRATION.

EXCAVATION

1. ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, PCC CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
2. EARTH-WORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:
 - A. REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE.
 - B. PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING.
 - C. STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL BE MADE.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.
5. EXISTING SEWER AND WATERMAIN TRENCHES UNDER DRIVEWAYS IN PARKWAYS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTION TRENCH BACKFILL.
6. EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

GENERAL NOTES

1. ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
3. SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS' PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
4. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
6. THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
7. THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
8. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWSBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - A. TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
 - B. VILLAGE OF WILLOWSBROOK PUBLIC WORKS - (630) 820-2238
9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
10. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
13. THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES, ANY PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
14. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF SITE WATER. TILES THAT CONVEY OFF SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILLED WITH CA-6 COMPACTED IN EIGHT INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SLIT TRENCHING.
15. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIRE HYDRANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
16. ALL MANHOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
17. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
18. THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
19. THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
20. THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
21. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
22. ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.schil.com



FIELD CHECK: GB
DRAWN BY: CJS
CHECKED BY: AS
APPROVED BY: AR
DATE: 11/07/2016
SCALE: HORIZ -
VERT -
SHEET 2
OF 9 SHEETS
PROJ # 16-PR-2003

DATE
1 3/4/2017
2
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5
6

GENERAL NOTES AND SPECIFICATIONS

GENERAL NOTES AND SPECIFICATIONS		
CHICAGO GUN CLUB WILLOWSBROOK, ILLINOIS		

ROBERT KINGERY HIGHWAY
STATE ROUTE 83

THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-3B-11 ALSO BEING THE CENTERLINE OF ROUTE 63

A circular dial with a black border. Inside, there are four numbers: '26' at the top, '35' at the bottom, '26' at the top-right, and '36' at the bottom-left. Around the perimeter of the dial are four letters: 'R' at the top-right, 'N' at the top, 'S' at the bottom-left, and 'E' at the bottom-right. The dial is mounted on a white background with a thin black frame.

1164-PR12003 - Chicago Gun Club,
15/2017 12:43:37 PM

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LEGEND

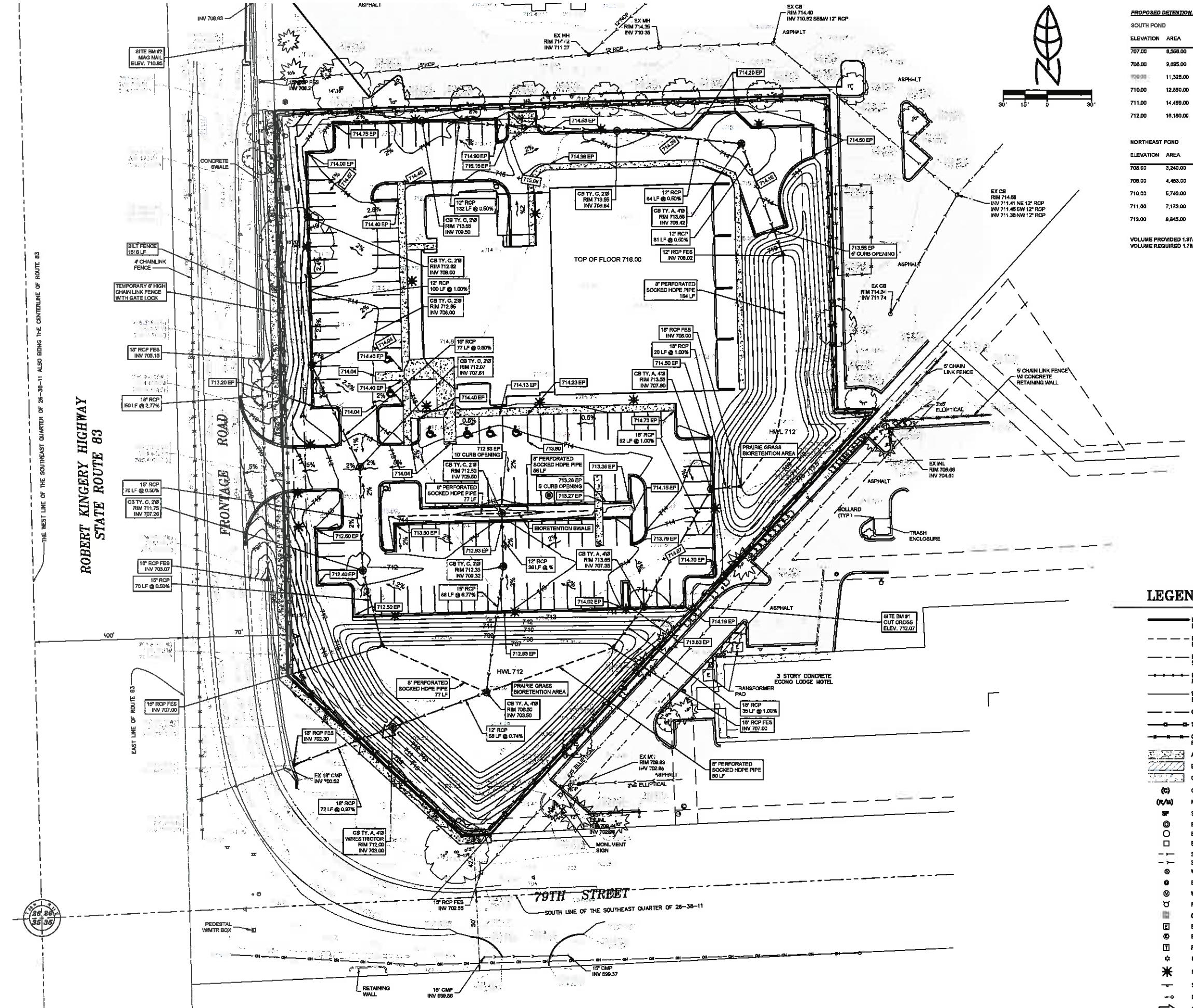
NOTE:

1. FOR EXISTING TREE REMOVAL,
SEE LANDSCAPING PLAN BY OTHERS.
2. ANY WATER PUMPED FROM THE SITE
MUST BE FILTERED PRIOR TO EXITING THE PROPERTY.

EXISTING CONDITIONS AND DEMOLITION PLAN		
CHICAGO GUN CLUB		
WILLOWBROOK, ILLINOIS		
1	5/1/2017	PER VILLAGE REVIEW
2		
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<p>WILLIAMS ENGINEERING, INC. Civil Engineering & Consulting Land Surveying 515 Warrenville Road, Lisle, IL 60532 Phone: (630) 271-0770 Survey: (630) 271-0599 Fax: (630) 271-0774 Website: www.ecirl.com</p>		
		
0	CREW	GB
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ROBERT KINGERY HIGHWAY
STATE ROUTE 83

THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

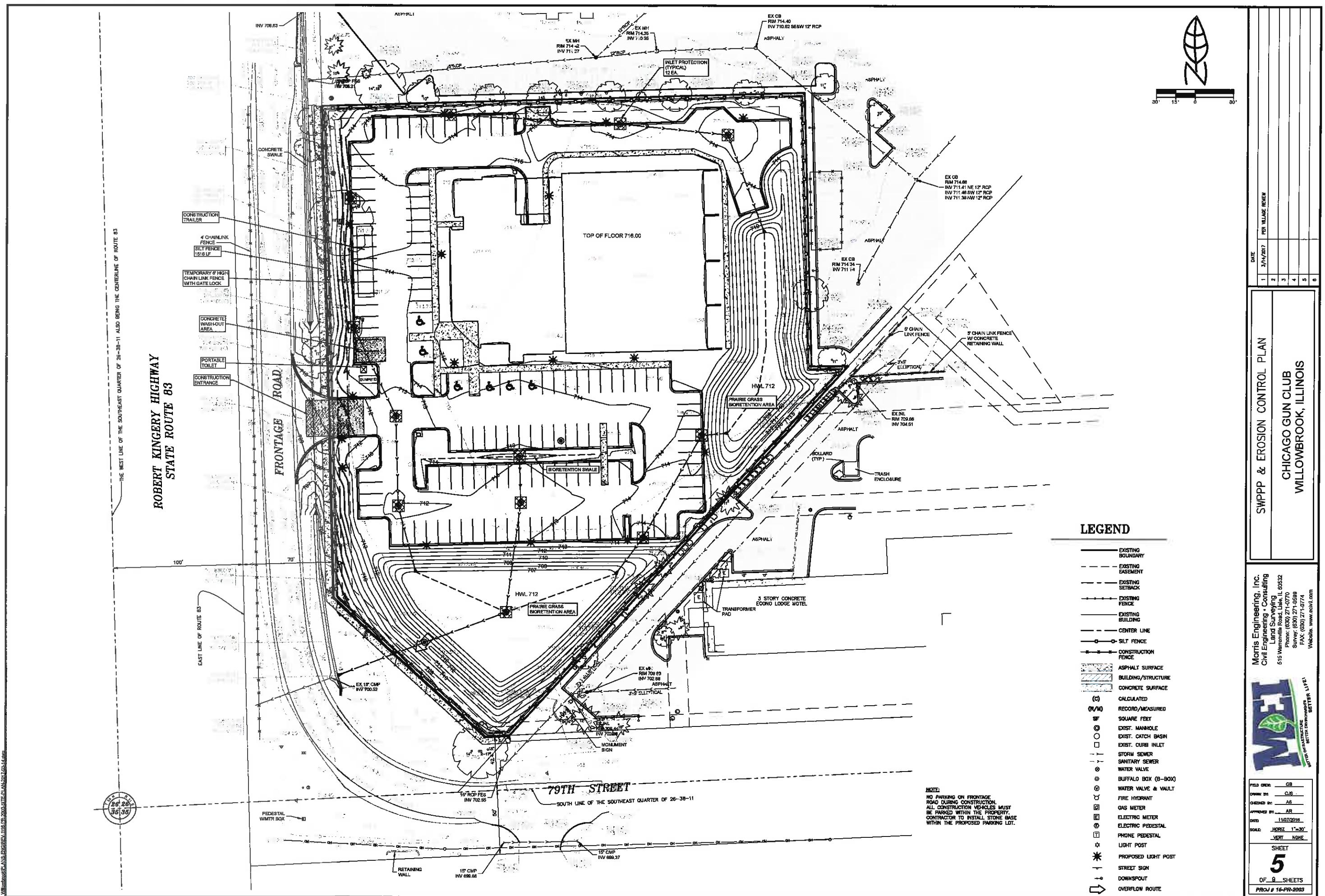


LEGEND

—	EXISTING BOUNDARY
- - -	EXISTING EASEMENT
— - -	EXISTING SETBACK
****	EXISTING FENCE
—	EXISTING BUILDING
— - -	CENTER LINE
— - -	SILT FENCE
— - -	CONSTRUCTION FENCE
	ASPHALT SURFACE
	BUILDING/STRUCTURE
	CONCRETE SURFACE
(c)	CALCULATED
(R/M)	RECORD/MEASURED
SF	SQUARE FEET
○	EXIST. MANHOLE
○	EXIST. CATCH BASIN
□	EXIST. CURB INLET
—	STORM SEWER
—	SANITARY SEWER
◎	WATER VALVE
◎	BUFFALO BOX (B-BOX)
◎	WATER VALVE & VAULT
◎	FIRE HYDRANT
	GAS METER
E	ELECTRIC METER
E	ELECTRIC PEDESTAL
I	PHONE PEDESTAL
◎	LIGHT POST
*	PROPOSED LIGHT POST
—	STREET SIGN
→○	DOWNSPOUT
	OVERFLOW ROUTE

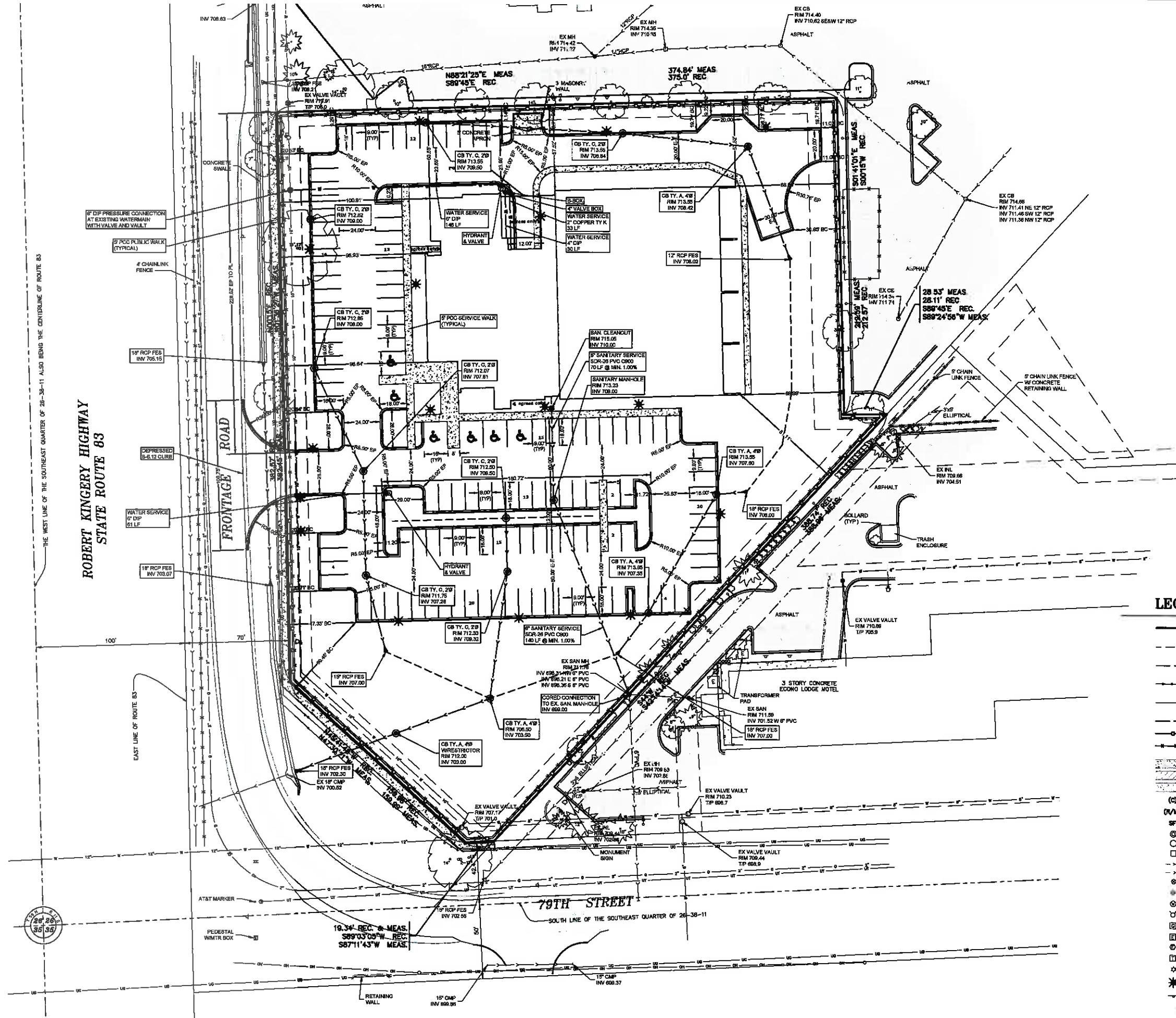
Engineering • Consulting
Land Surveying
Wareham, MA 02543
Phone: (508) 271-0770
Survey: (508) 271-4588
FAX: (508) 271-0774
Website: www.schil.com

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OF 9 SHEETS	
PROJ # 16-PR-2003	



ROBERT KINGERY HIGHWAY
STATE ROUTE 83

ROUTE 83 BEING THE CENTRE LINE OF ROUTE 83



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66-PR2003 - Chicago Gun Club

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Land Surveying
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Survey: (630) 271-0798
FAX: (630) 271-0774
Website: www.womsil.com



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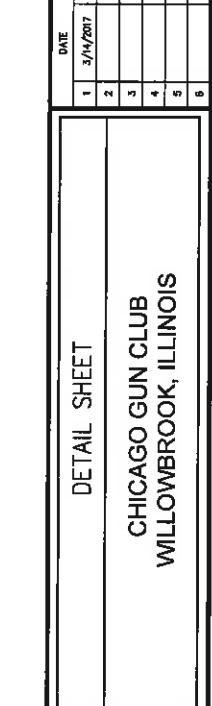
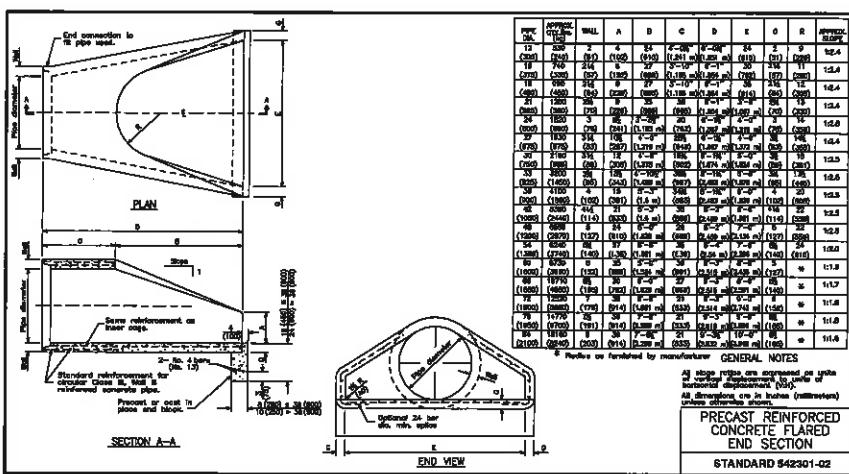
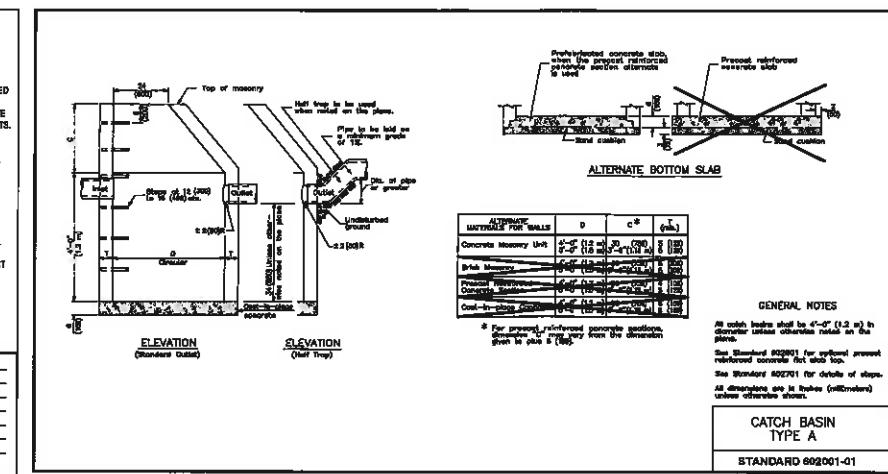
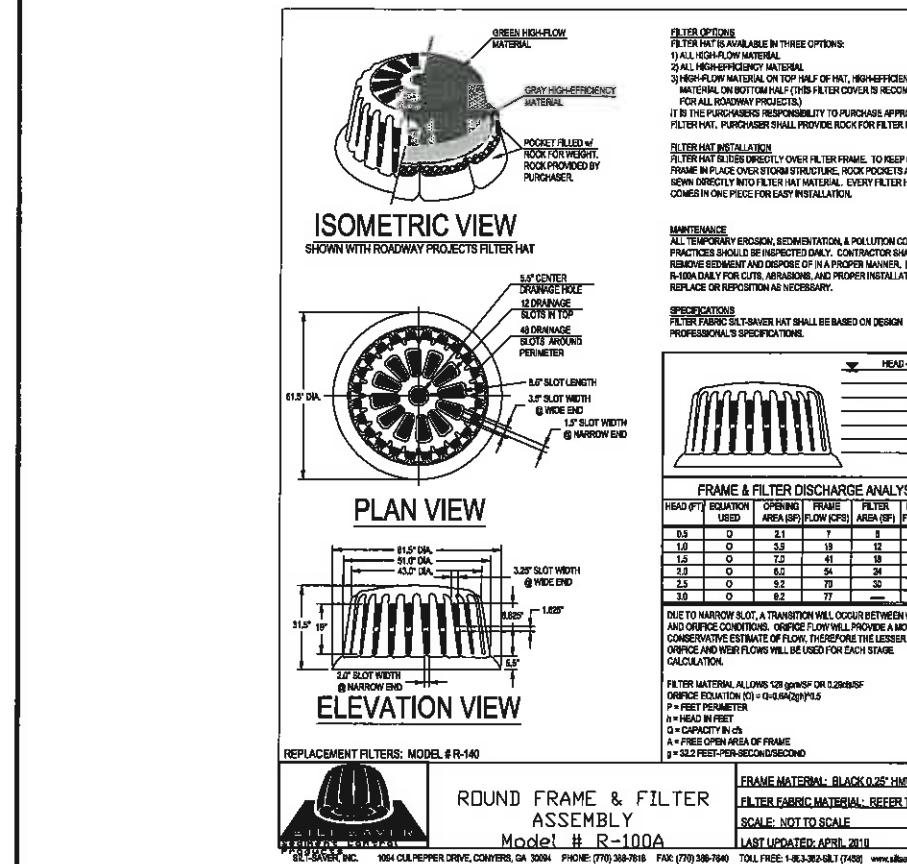
SITE & UTILITIES PLAN
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Worms Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
315 Waukegan Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0598
FAX: (630) 271-0774
Website: www.worms.com



WRI
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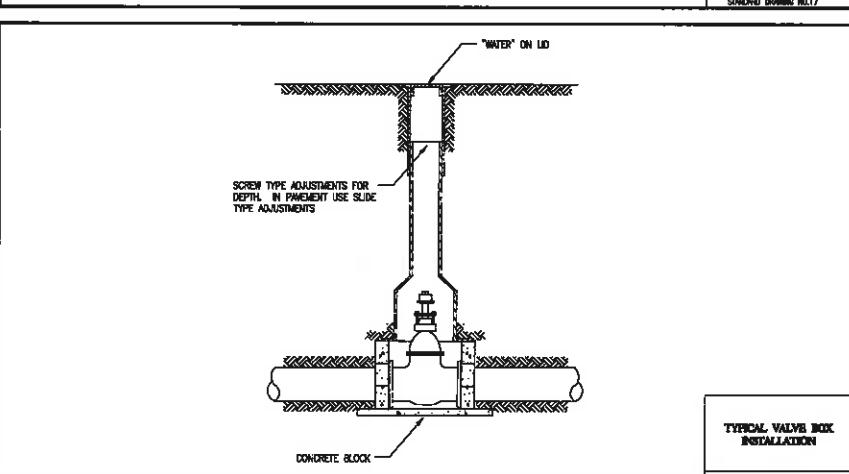
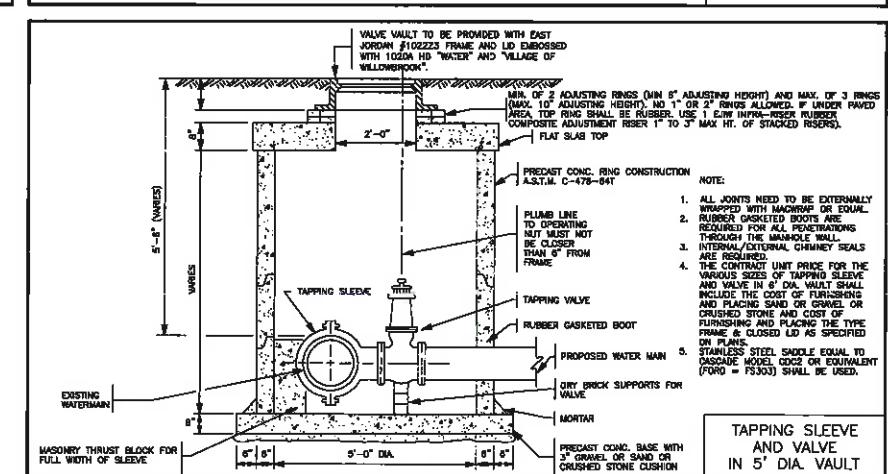
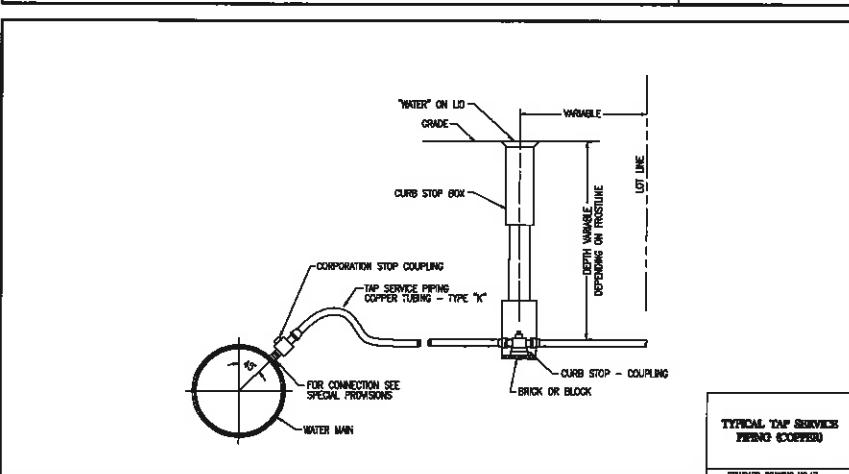
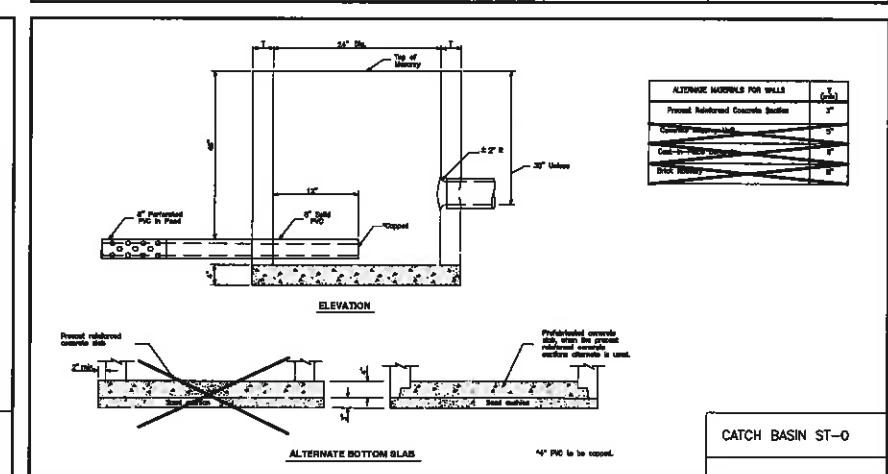
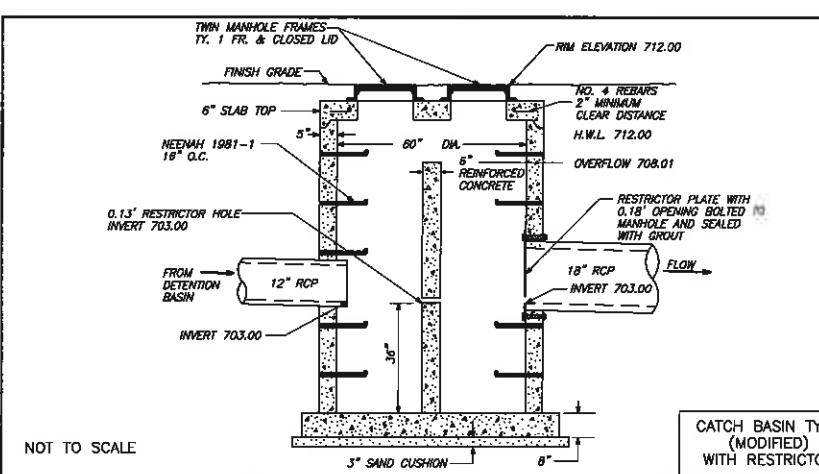
Morris Engineering, Inc.
Civil Engineering Consulting
Land and Surveying
615 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0570
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Website: www.morris.com

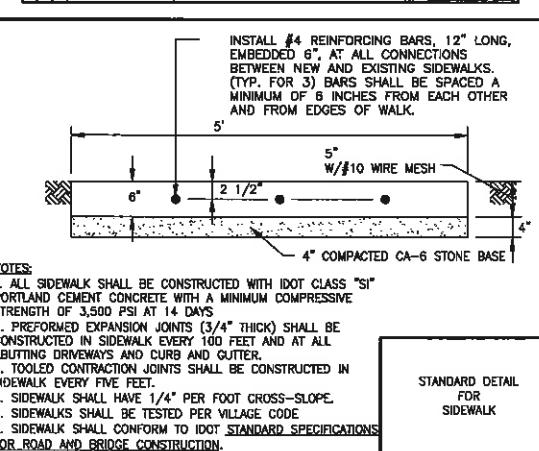
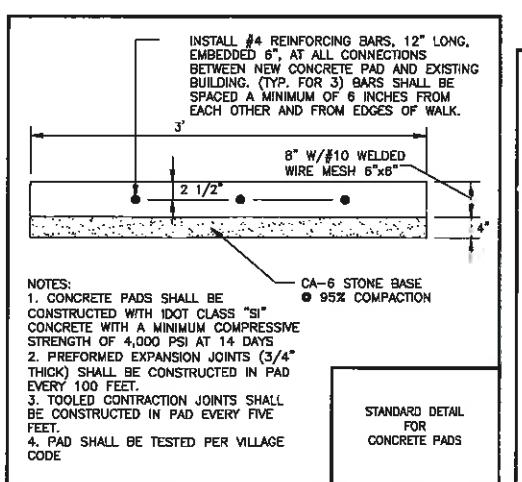
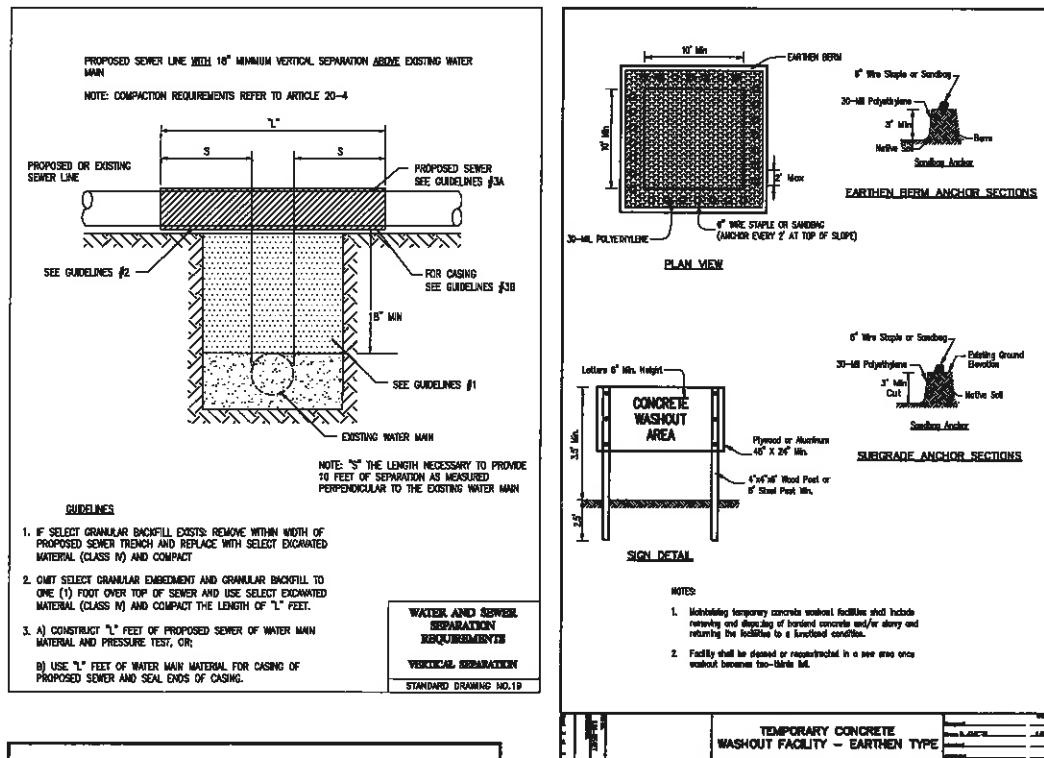
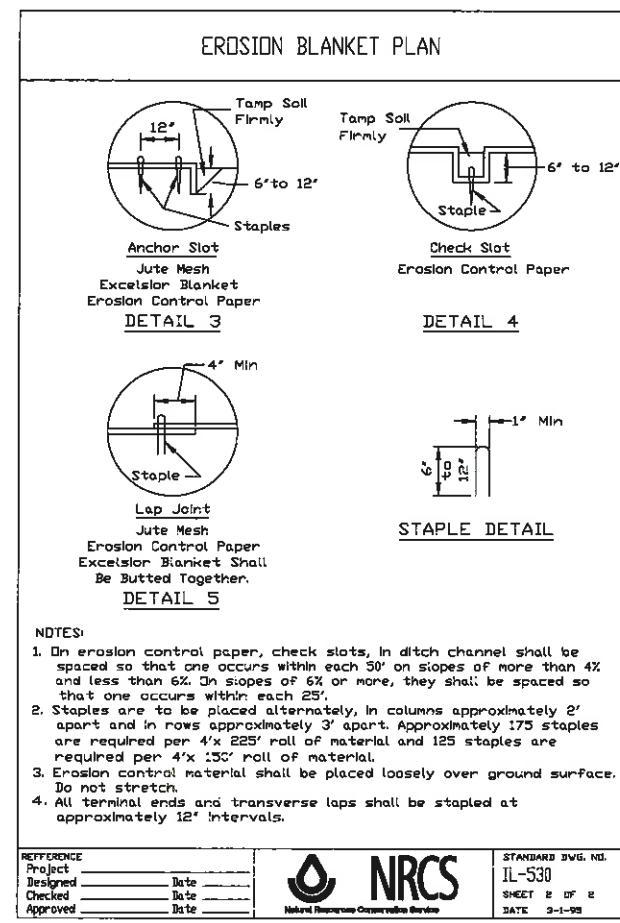
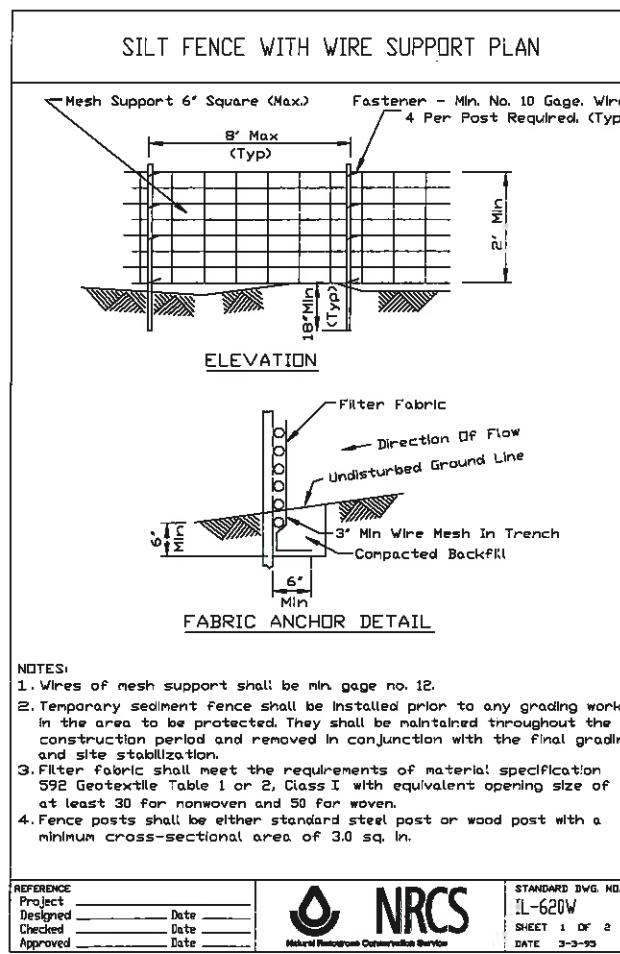
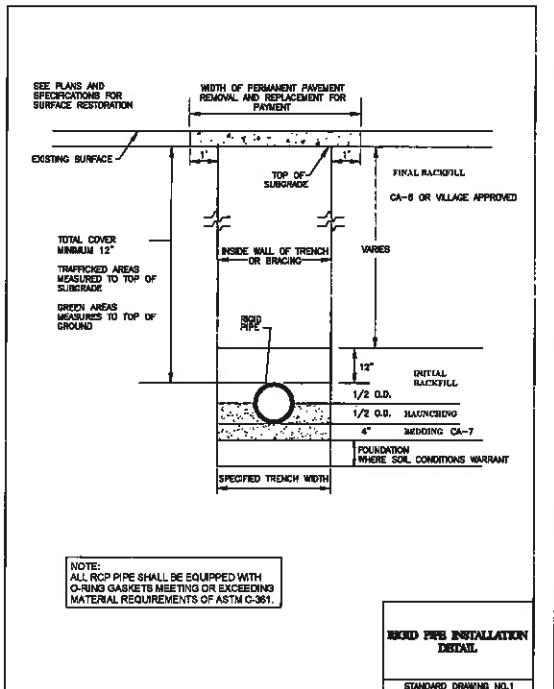
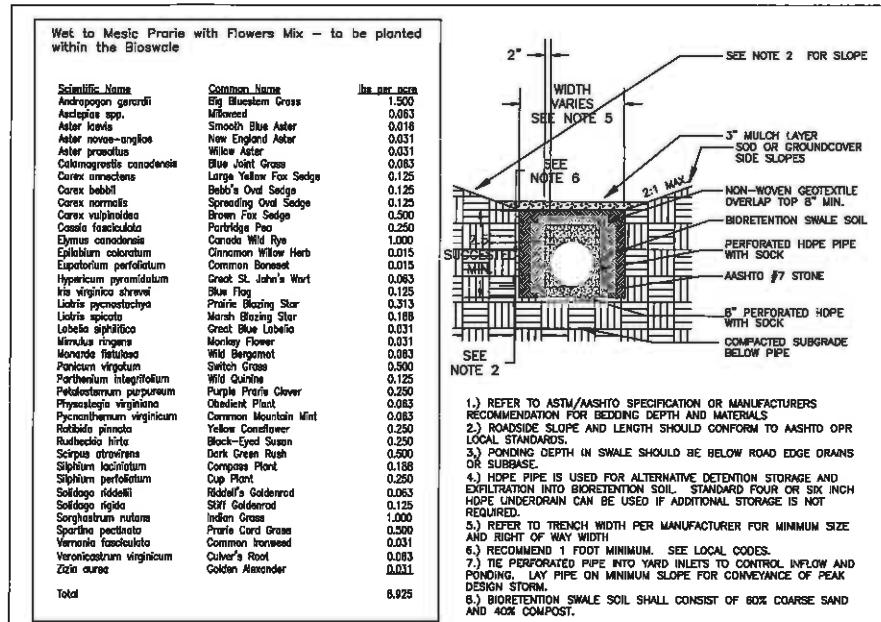
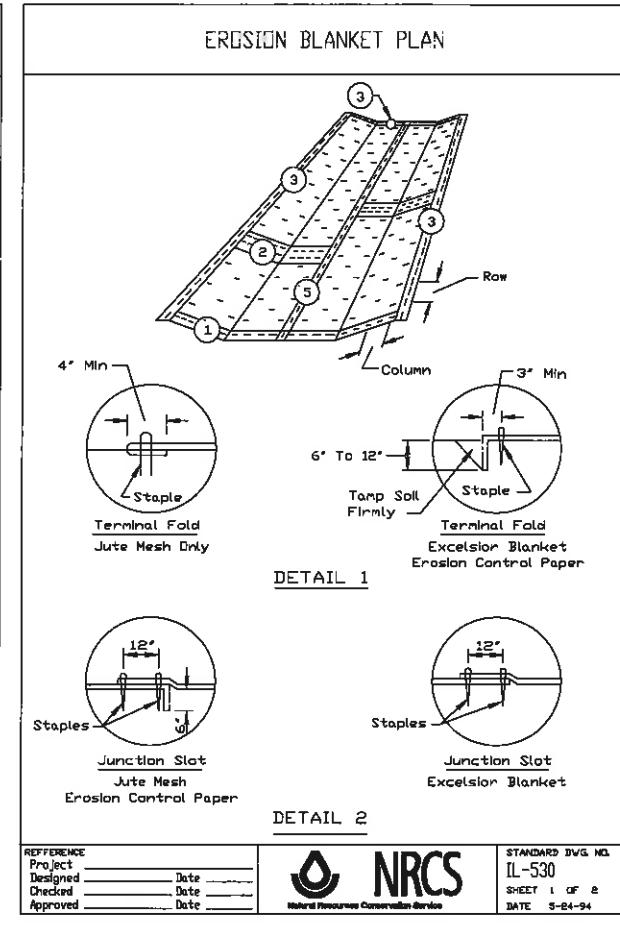
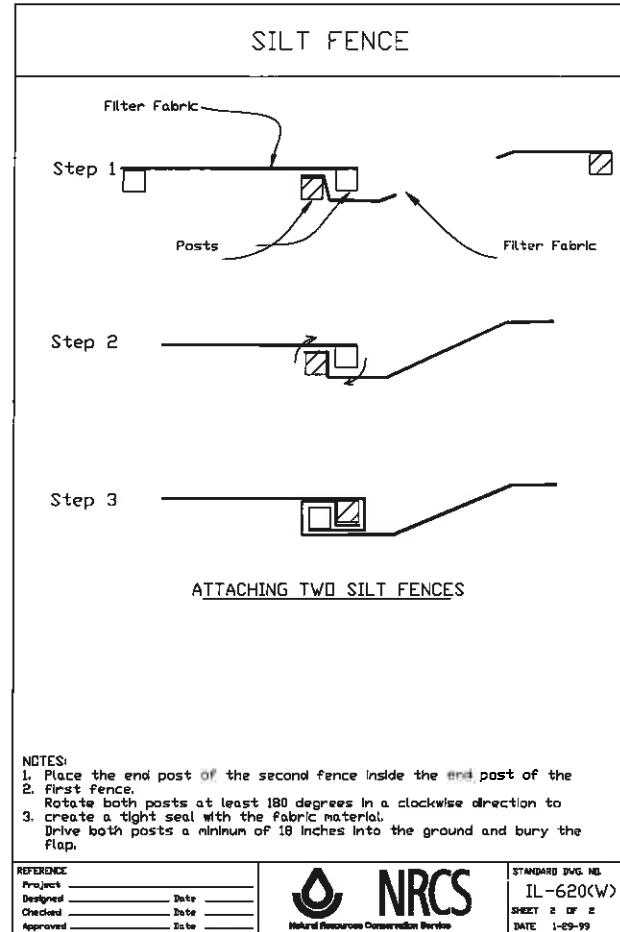


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APPROVED BY: AR
DATE: 11/07/2016
SCALE: HORIZ. NONE
VERT. NONE

SHEET 8
OF 9 SHEETS

PROJ # 16-PR-2003





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Website: www.ewein.com



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SEARCHED BY:	AR
IB:	11/07/2018
NAME:	HORST, NORMA
NAME:	VERT, NONE
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9	
OF 9 SHEETS	
PROJ # 16-PR-2003	

Planning Commission

PROJECT NUMBER 161107_05_02

DATE 03.13.2017

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527



Damian Farrell Design Group PLLC
359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
TEL 734.958.1331
FAX 734.233.2953

STRUCTURAL ENGINEER OF RECORD
MECHANICAL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD

MEP ENGINEER OF RECORD
ARCHITECT OF RECORD

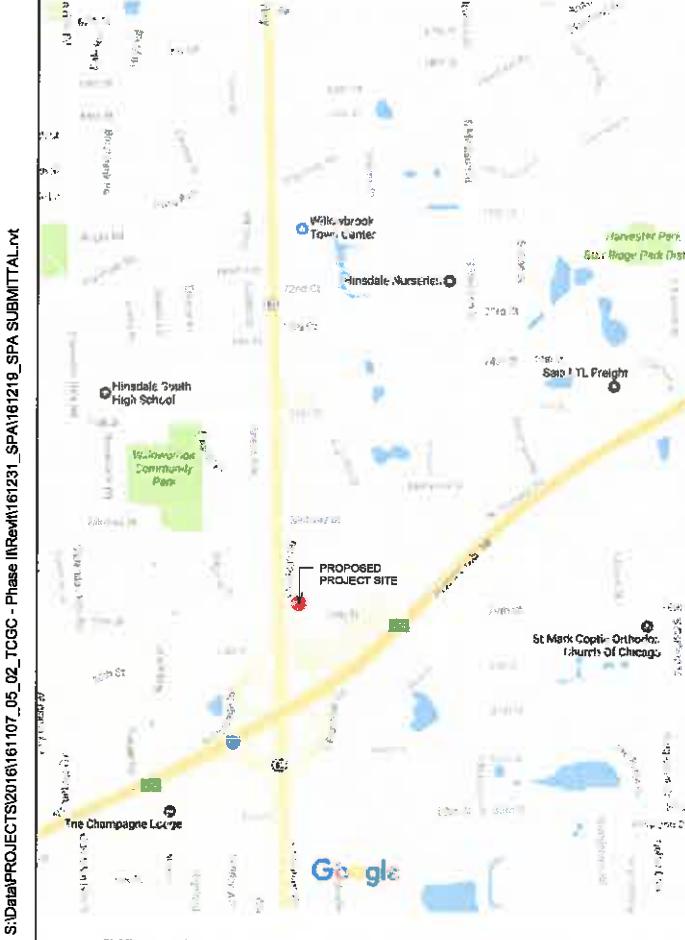
SITE PLAN REVIEW
THE CHICAGO GUN CLUB
79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527

DATE 04.05.17
DESCRIPTION Planning Commission

DESIGNER Designer
DRAWN Author
PROJECT NUMBER 161107_05_02

TITLE SHEET, MAP +
SHEET INDEX

T1.0



PROJECT DIRECTORY

LAND OWNER
TGGC PROPERTY, LLC
321 CENTER STREET
HILLSIDE, ILLINOIS 60162

PETITIONERS
TGGC PROPERTY, LLC
321 CENTER STREET
HILLSIDE, ILLINOIS 60162
- AND -
THE CHICAGO GUN CLUB, LLC
4025 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515

ARCHITECT
DAMIAN FARRELL DESIGN GROUP PLLC
359 METTY DRIVE, SUITE 4A
ANN ARBOR, MICHIGAN 48103
PH. 734.958.1331

CIVIL ENGINEER
MORRIS ENGINEERING, INC.
1000 N MILWAUKEE ROAD
LISLE, ILLINOIS 60532
PH. 630.271.0770

SURVEYOR
ROANE AND ASSOCIATES, INC.
1984 QUINCY AVENUE, SUITE 100A
NAPERVILLE, ILLINOIS 60540
PH. 830.355.4480 x 210

LANDSCAPE ARCHITECT
DAVID R. McCALLUM ASSOCIATES, INC.
350 NORTH MILWAUKEE AVENUE
LIBERTYVILLE, ILLINOIS 60048
PH. 847.362.0209

TRAFFIC CONSULTANT
KENIG, LINDGREN, O'THARA, ABOINA, INC.
9575 WEST HIGGINS ROAD, SUITE 400
ROSEMONT, ILLINOIS 60018
PH. 647.518.0690

LIGHTING CONSULTANT
KSA LIGHTING AND CONTROLS
1220 CENTRAL AVENUE
HANOVER PARK, ILLINOIS 60133

GENERAL CONTRACTOR
TBD

PROJECT SUMMARY

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A TWO-STORY, 31,000 sq.ft. MIXED USE FACILITY WHICH INCLUDES:

- INDOOR FIRING RANGE (16,000 sq.ft.)
- RETAIL (5,380 sq.ft.)
- ASSEMBLY (4,820 sq.ft.)
- WAREHOUSE (2,760 sq.ft.)
- OFFICES (1,865 sq.ft.)
- CLASSROOM (900 sq.ft.)

THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 129 CARS (INCLUDING 8 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

SITE DATA

PARCEL I.D.

09-25-402-029
09-25-402-018

ZONING DISTRICT

EXISTING : B-3, GENERAL BUSINESS
B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT

SITE AREA

EXISTING: 3.4 acres (146,848 sq.ft.)

REQD (for B-4): 2.0 acres min. (87,120 sq.ft.)

REQUIRED SETBACKS

FRONT YARD: 100 ft.

INT. SIDE YD: 40 ft.

EXT. SIDE YD: 60 ft.

REAR YARD: 40 ft.

MAX ALLOW. HEIGHT: 36 ft.

PROPOSED HEIGHT: 34 ft.

MAX LOT COVERAGE: 50%

PROPOSED LOT COVERAGE: 17%

SITE SIGNAGE REQUIREMENTS

MIN. SETBACK: 5 ft.

MAX. HEIGHT: 24 ft.

MAX SIGN SURFACE: 400 sq. ft.

PROPOSED SITE SIGNAGE

SIGN SETBACK: 5 ft.

PROP. HEIGHT: 12 ft.

PROPOSED SIGN SURFACE: 224 sq. ft.

(total of both sides)

PARKING CALCULATION

SPACE

INDOOR FIRING RANGE

GTY 22 spaces

REQUIREMENT 2 spaces per 1,000 sq.ft.

RETAIL 4,100 sq.ft.

1 per 1,000 sq.ft.

1 per 400 sq.ft.

1 per 225 sq.ft.

1 per 1.5 workers

2.00 spaces

OFFICES 1,320 sq.ft.

1 per 225 sq.ft.

5.87 spaces

CLASSROOM 30 seats

1 per 3 seats

10.00 spaces

1 per 250 sq.ft.

11.20 spaces

TOTAL PARKING REQD: 129 SPACES
(8 BARRIER-FREE)

TOTAL PARKING PROPOSED: 129 SPACES
(5 BARRIER-FREE)

SHEET INDEX

00-GENERAL

T1.0 TITLE SHEET, MAP + SHEET INDEX

01-ARCH

A1.0 BUILDING PLANS

A2.0 ELEVATIONS

A2.1 SIGNAGE

A3.0 PERSPECTIVES AND MATERIAL NOTES

A3.1 MECH. SCREEN MATERIAL NOTES

02-SURVEY

C1.0 SURVEY

03-CIVIL

1 COVER SHEET

2 GENERAL NOTES & SPECIFICATIONS

3 EXISTING CONDITIONS & DEMOLITION PLAN

4 GRADING PLAN

5 SWPP & EROSION CONTROL PLAN

7 DETAILS

8 DETAILS

9 DETAILS

6 SITE PLAN

04-LANDSCAPE

L1.0 LANDSCAPE PLAN

L2.0 TREE INVENTORY

05-PHOTOMETRIC

E1.0 PHOTOMETRIC SITE PLAN

E1.1 SIGN ELEVATION

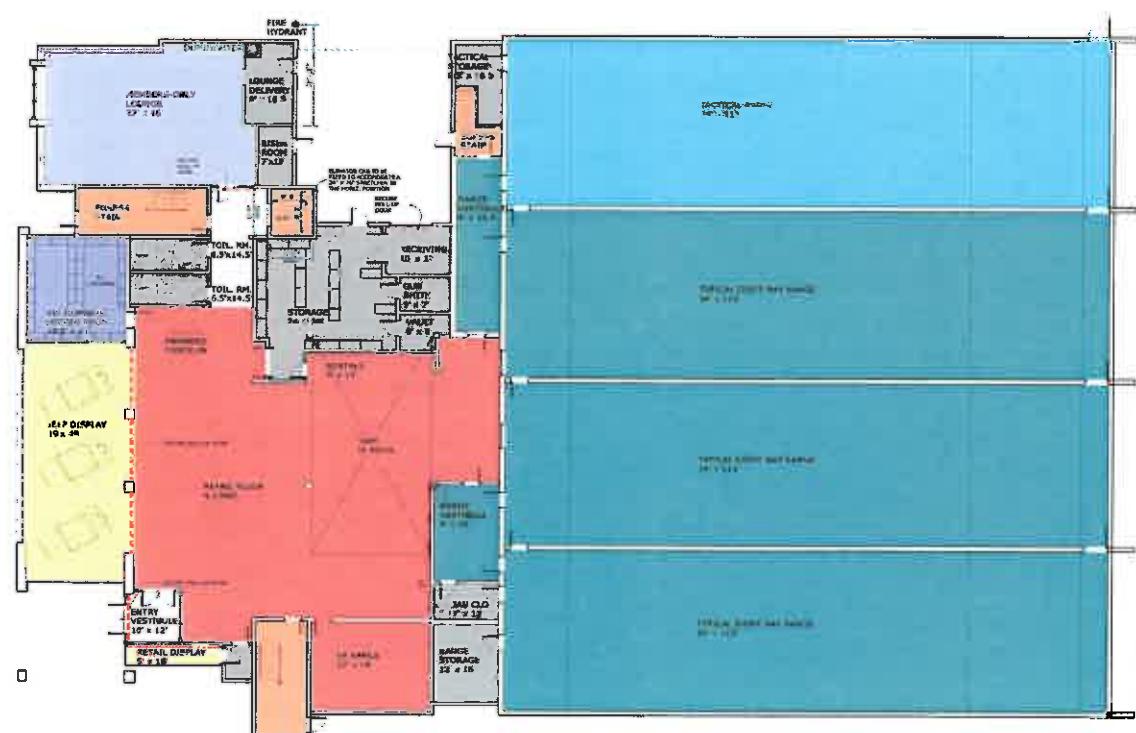
E1.2 CUT SHEETS

NOTE:
ENTIRE BUILDING TO BE SPRINKLED



② Second Floor Plan
1/16" = 1'-0"

NOTE:
ENTIRE BUILDING TO BE SPRINKLED



① First Floor Plan
1/16" = 1'-0"



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LANDSCAPE ARCHITECTURE OF RECORD
STRUCTURAL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD
MEP ENGINEER OF RECORD
ARCHITECT OF RECORD

SITE PLANS & REVIEW

THE CHICAGO GUN CLUB

79TH STREET AND FRANCIS ROAD
WILLCROFT, ILLINOIS 60227

DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN DRAWN	Designer Author
PROJECT NUMBER	161107_05_02

BUILDING PLANS

A1.0

**ELEVATIONS****A2.0**

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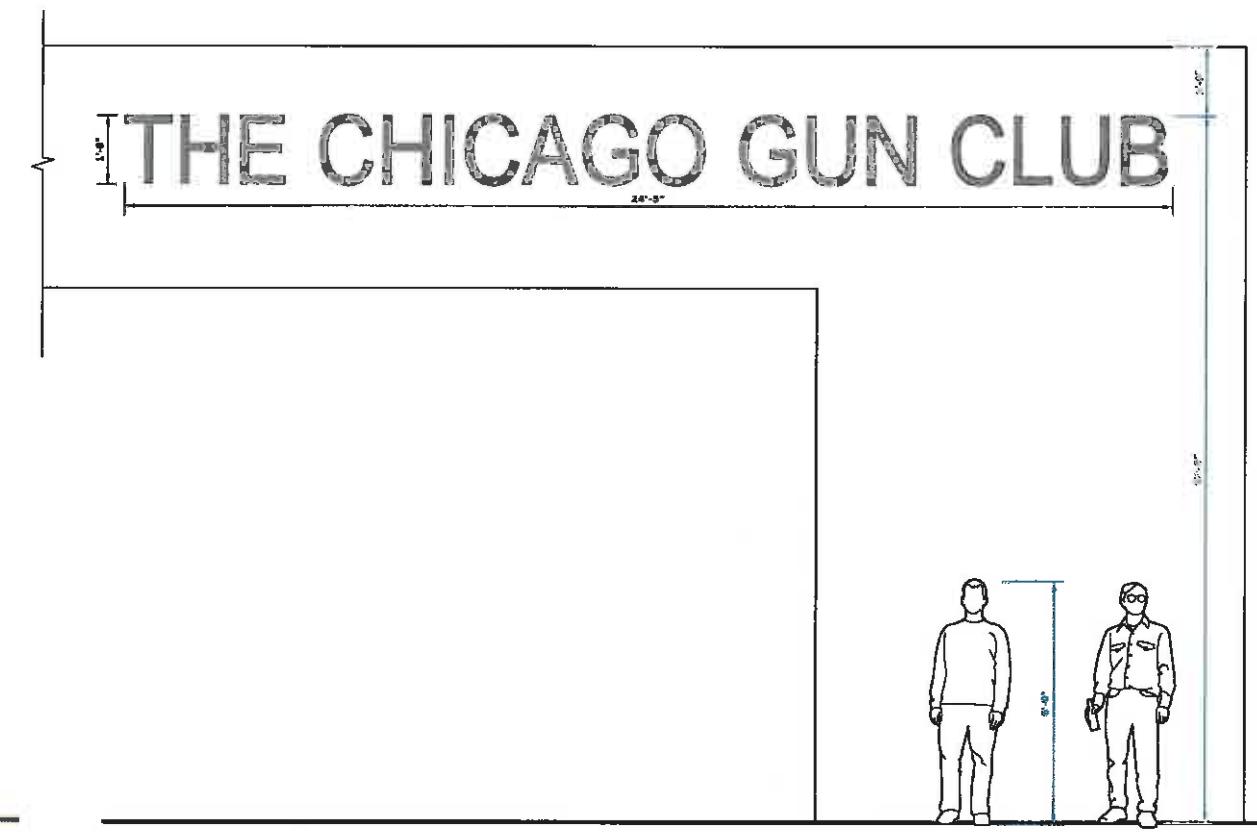
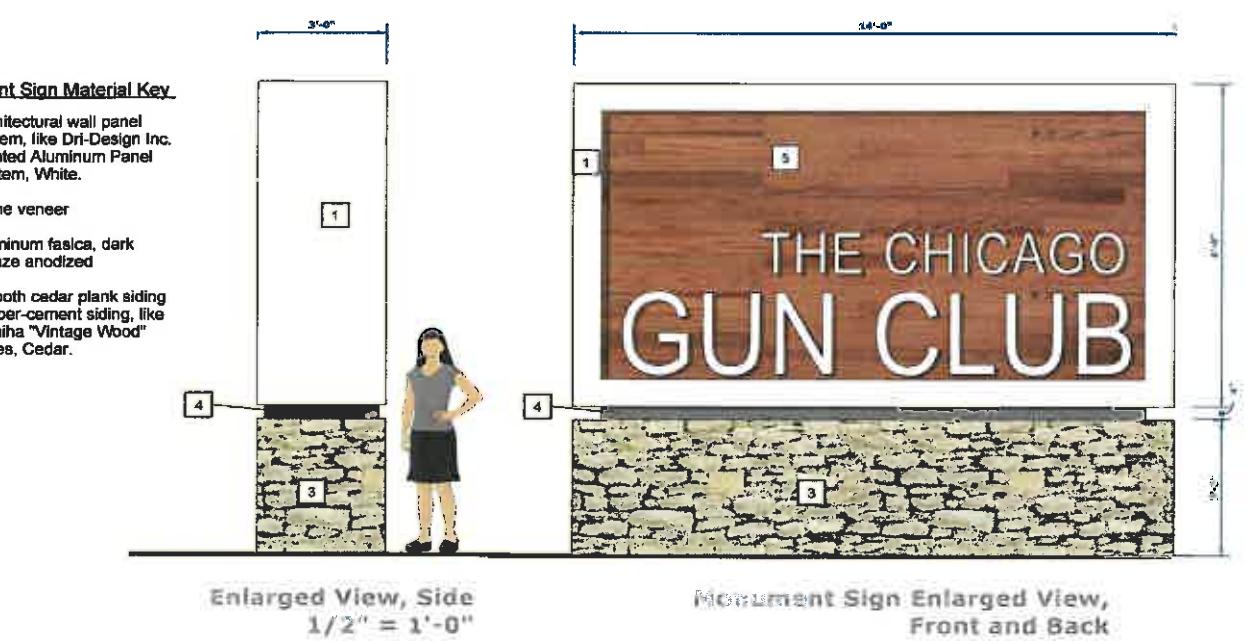
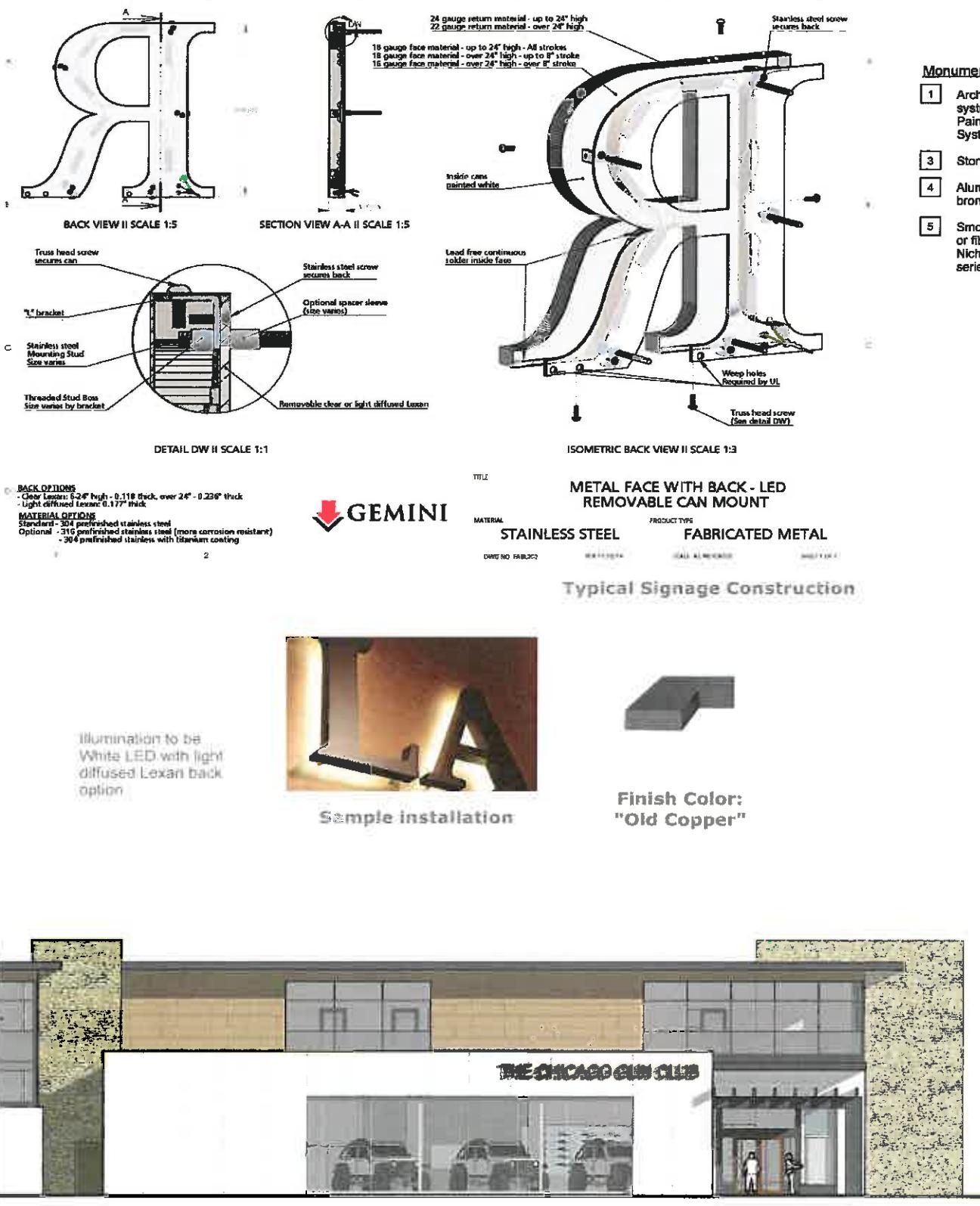
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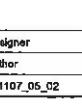


SIGNAGE

A2.1



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NEW YORK, NY 10029
TEL 718.213.1313
FAX 718.213.2858

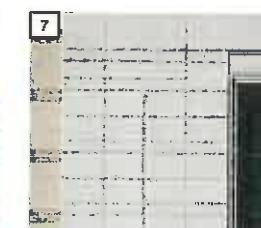
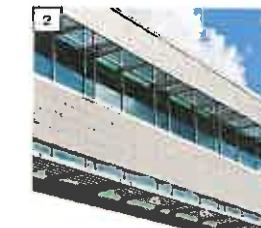


Designer

Author

PROJECT NUMBER

161107_05_02



Material Key Notes

- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System, White.
- 2 Fiber-cement siding, like Nichiha "Architectural Block" series, Mocha.
- 3 Stone veneer
- 4 Aluminum fasica, dark bronze anodized
- 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.
- 6 Steel pergola structure, painted dark bronze
- 7 Pre-cast concrete panel
- 8 Ground-face block
- 9 Fiber-cement soffit panels

PERSPECTIVES AND MATERIAL NOTES

A3-0



Damian Farrell Design Group PLLC

359 METRY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
TEL 734.313.2953

Fax 734.313.1331

www.dfdg.com

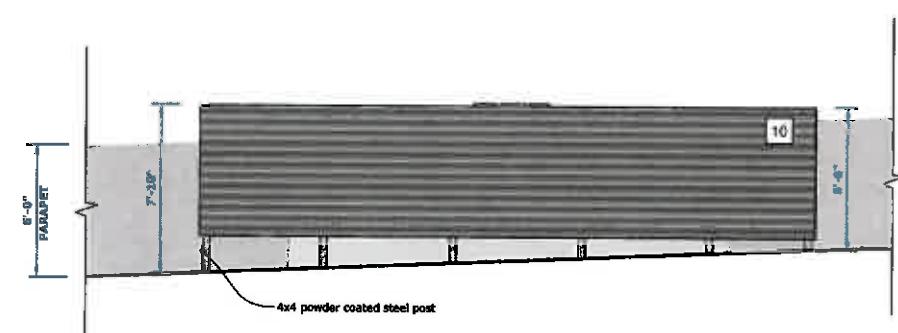
LANDSCAPE ARCHITECTURE	
STRUCTURAL ENGINEER OF RECORD	
CIVIL ENGINEER OF RECORD	
MEP ENGINEER OF RECORD	
ARCHITECT OF RECORD	
THE CHICAGO GUN CLUB	
DATE	04.05.17
DESCRIPTION	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02
70TH STREET AND FRONTAGE ROAD	WILLOWROCK, ILLINOIS 60527



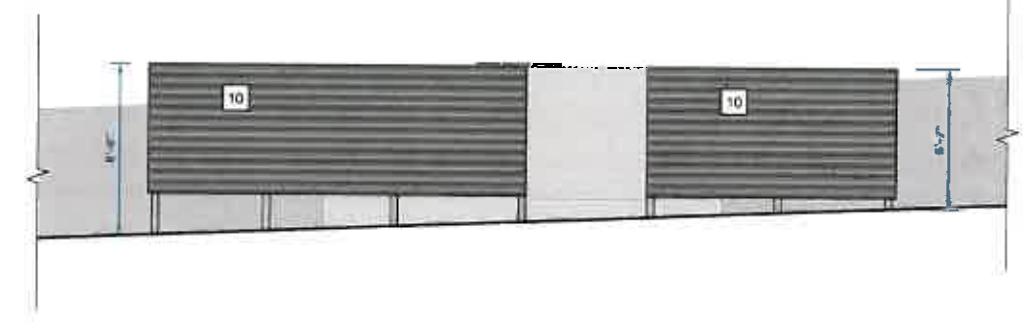
Material Key

10 Metal Louver Mechanical Screen. Finish color TBD.

NOTE:
PARAPET HEIGHT IS TYPICAL FOR ALL RANGES EXCEPT TACTICAL.
TACTICAL RANGE HEIGHT PARAPET IS 1'-6"



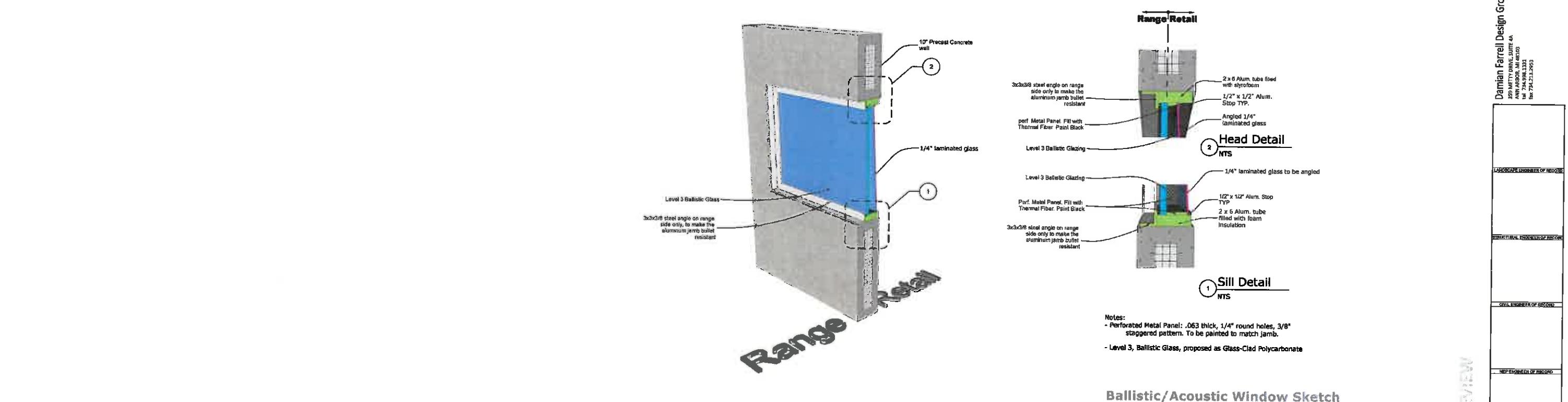
FAU Mechanical Unit Screen
1/4" = 1'-0"



MAU Mechanical Unit Screen
1/4" = 1'-0"

MECH. SCREEN MATERIAL NOTES

A3.1



Ballistic/Acoustic Window Sketch



Damian Farrell Design Group PLLC
329 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel 734.213.2953
fax 734.213.2953

STRUCTURAL ENGINEER OF RECORD
MEP ENGINEER OF RECORD
ARCHITECT OF RECORD
THE CHICAGO GUN CLUB
75TH STREET AND FRONTAGE ROAD WILLOWBROOK, ILLINOIS 60187

DATE	DESCRIPTION
04.05.17	Planning Commission

DESIGN DRAWN	Designer Author
	161107_05_02

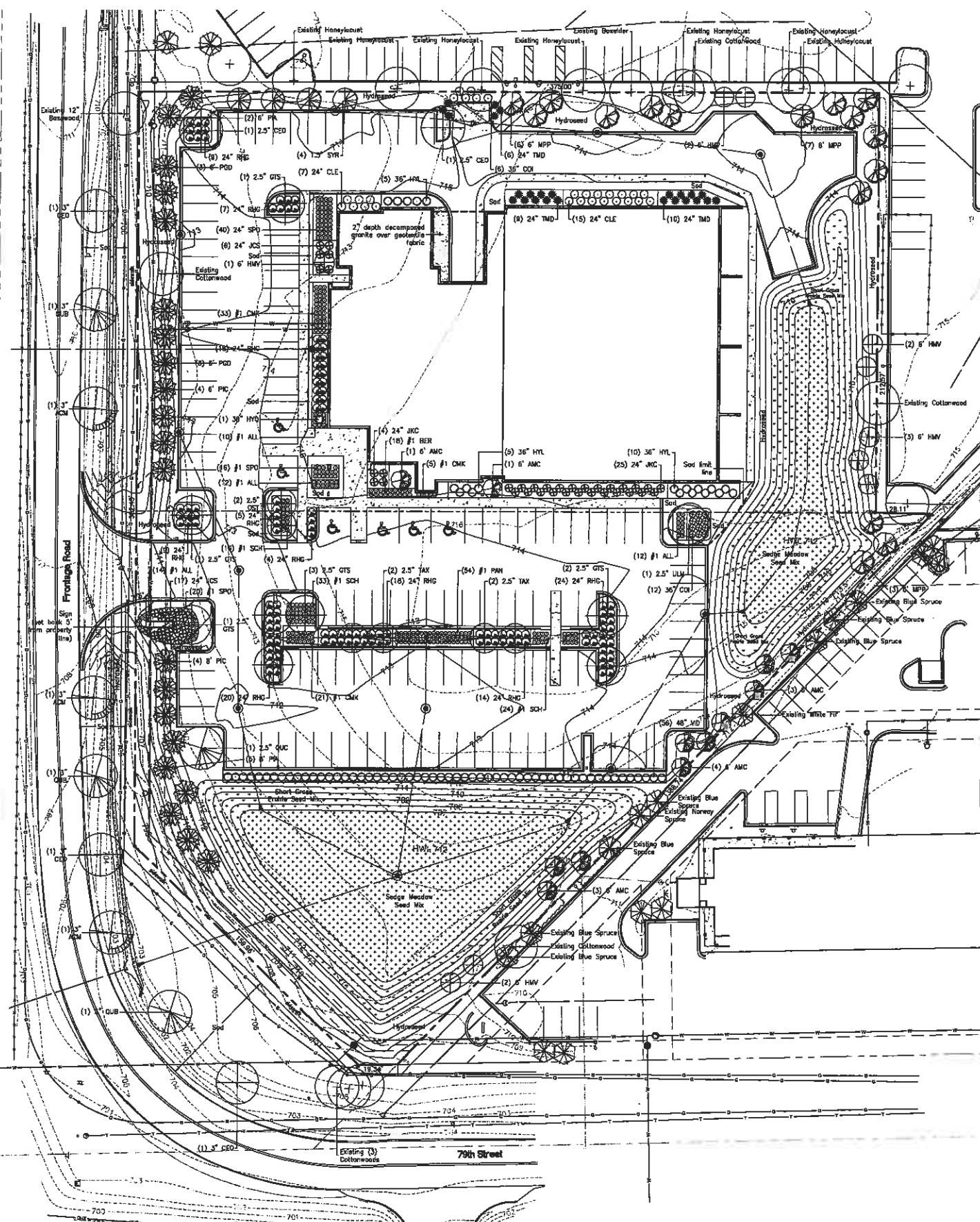
The Chicago
Gun Club

79th Street & Frontage Road
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

35 N. Milwaukee Avenue | Libertyville, Illinois 60040
T 847.222.0209 | F 847.222.0208

McCALLUM
ASSOCIATES



Landscape Plan

3	Village Review Comments	03/15/17
2	Site Plan Modification	01/04/17
1	For Review	12/01/16
	Mark Description	Date

Issuance

Number

458916

Scale

1" = 30'

North

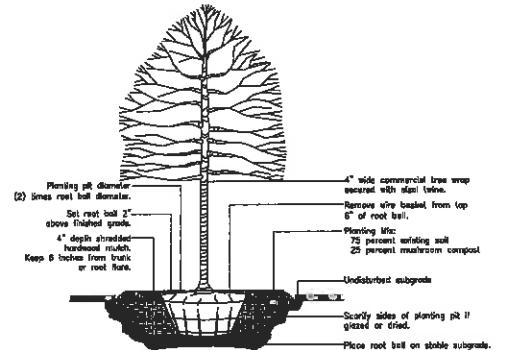


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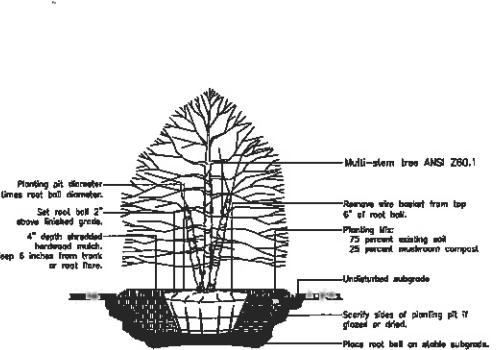
4589P4A

Sheet

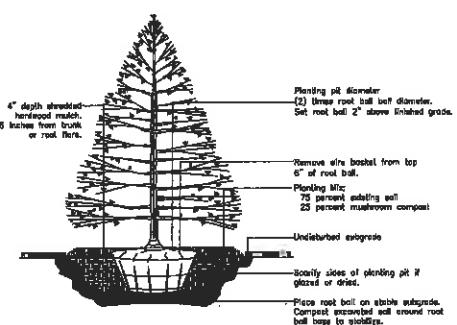
L10



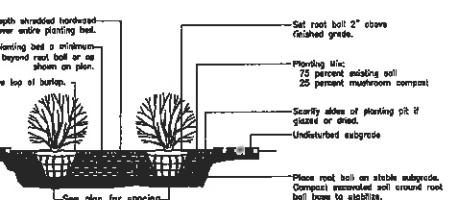
Detail
Deciduous Tree Planting



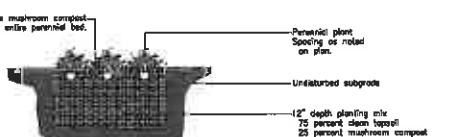
Detail
Deciduous Ornamental Tree Planting



Detail
Evergreen Tree Planting



Detail
Shrub Planting



Detail
Perennial Planting

Landscape Notes

General Notes

1. The Landscape Contractor shall verify locations of all underground utilities prior to digging and is required to contact J.I.L.L.E. (1.800.892.0123) and any other public or private agency necessary for utility location, 48 hours prior to construction.
2. The Landscape Contractor shall supply all materials and quantities as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction manager and the Village of Willowbrook, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction manager and/or Owner before any changes are executed.
3. The Contractor shall be charged or substituted without the approval of the Landscape Architect and the Village of Willowbrook.
4. All necessary site work permits and licenses shall be obtained and paid for by the Contractor prior to the commencement of work.

Planting Notes

1. Plant material sizing, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) of the American Association of Nurseriesman, Inc.
2. Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant label represent minimum requirements.
3. All plant material shall be inspected and approved by the Owner, or the Owner's representative prior to installation. Understated or substituted plant material will not be approved by the Village of Willowbrook.
4. All areas not shown as plantings shall be restored and seed or sown as noted.
5. Contractor shall lay grade all excavated areas to within 0.05' of final grade.
6. All trees and tree rings shall be spaced and aligned upon final placement of the trees.
7. Contractor shall remove all bales, tags or tape from all plant material before final completion of the work.
8. Contractor shall supply an initial watering of all plant material after placement in ground.

Permeable Tree Notes

1. Trees shall be planted to avoid utility conflicts in the parkway.
2. Trees shall not be back a minimum of ten feet (10') horizontally from utility structures, including, but not limited to, manholes, valve vaults, valve boxes, fire hydrants, transformers and switch cans. Approval by the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
3. Trees shall be planted to avoid conflicts with existing trees.
4. Per the Village of Willowbrook requirements, the owner shall irrigate the parkway (S.D.W.) along Frontage Road. Separately, an irrigation plan shall be submitted to the Village for review prior to approval of a project permit.

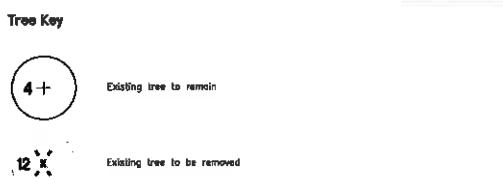
Note: Existing trees designated to remain are counted toward zoning requirements.

The Chicago
Gun Club

70th Street & Frontage Road
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
30 N Michigan Avenue | Chicago, Illinois 60604
T 312.222.0209 | F 312.222.0209

McCALLUM
ASSOCIATES



Tree Condition Rating

RATING	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and required no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not easily corrected with normal care, or no significant structural damage to the tree.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30%+ deadwood in the crown, major decay or structural damage to the tree, or no significant structural damage to the tree but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.
5	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
6	Dead	Less than 10% of the tree shows signs of life.

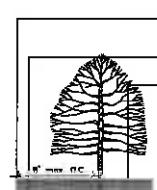
Tree Inventory

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	12"-16"	Tilia americana	Basswood	3/3	To remain/Off-site
2	14"-16"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
3	10"-12"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
4	14"-16"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
5	12"-14"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
6	12"-14"	Gleditsia triacanthos	Honeylocust	2/2	To remain/Off-site
7	4"-5"	Celtis occidentalis	Bur Oak	3/4	To remain/Off-site
8	9"-10"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
9	9"-10"	Populus deltoides	Cottonwood	4/3	To remain/Off-site
10	10"-12"	Gleditsia triacanthos	Honeylocust	3/3	To remain/Off-site
11	6"-8"	Gleditsia triacanthos	Honeylocust	4/3	To remain/Off-site
12	6"-8"	Populus deltoides	Cottonwood	3/3	Remove
13	6"-8"	Populus deltoides	Cottonwood	3/3	Remove
14	10"-12"	Populus deltoides	Cottonwood	3/3	Remove
15	6"-8"	Populus deltoides	Cottonwood	3/3	Remove
16	5"-7"	Populus deltoides	Cottonwood	3/3	Remove
17	11"-12"	Populus deltoides	Cottonwood	3/3	Remove
18	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
19	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
20	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
21	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
22	6"-8"	Populus deltoides	Cottonwood	3/3	Remove
23	4"-5"	Populus deltoides	Cottonwood	3/3	Remove
24	4"-5"	Populus deltoides	Cottonwood	3/3	Remove
25	5"-7"	Populus deltoides	Cottonwood	3/3	Remove
26	5"-7"	Populus deltoides	Cottonwood	3/3	Remove
27	11"-12"	Populus deltoides	Cottonwood	3/3	Remove
28	9"-10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
29	10"-12"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
30	10"-12"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
31	10"-12"	Abies concolor	White Fir	2/2	To remain/Off-site
32	10"-12"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
33	8"-10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
34	9"-10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
35	8"-10"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
36	8"-10"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
37	10"-12"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38	8"-10"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39a	5"-6"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39b	17"-17"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39c	14"-15"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
40	12"-13"	Populus deltoides	Cottonwood	3/3	Remove
41	10"-11"	Populus deltoides	Cottonwood	3/3	Remove
42	7"-8"	Populus deltoides	Cottonwood	3/3	Remove
43	11"-12"	Ulmus americana	American Elm	3/3	Remove/Off-site
44	2"-3"	Populus deltoides	Cottonwood	3/3	Remove
45	16"-17"	Populus deltoides	Cottonwood	3/3	To remain

Tree Inventory Date: November 1, 2016

Tree Preservation Notes

1. The owner or his/her designer shall be responsible for construction and maintenance of temporary fencing, or other tree protection measures, to be used during construction.
2. The Village of Willowbrook shall be notified of any failure to protect existing trees during construction or any trees which are considered to be a potential hazard during construction.
3. Grading and construction equipment shall be prohibited from encroaching within the drip line of a tree.
4. No construction activity, including, but not limited to, placement of equipment or materials or spills storage and/or treatment, within the official boundary of a tree or within 10' of any higher ground where damage to the tree could conceivably affect the health of the tree or expose soil, additional fill, liquids or construction debris shall be placed within the critical root zone of a protected tree.
5. No attachments, fences, wires, other than those approved for bracing, guying or wrapping, shall be attached to trees during the construction period.
6. Grade changes shall be allowed under the drip line of any trees designated for preservation only if tree trunks and branches are protected when construction must occur within the drip line area.

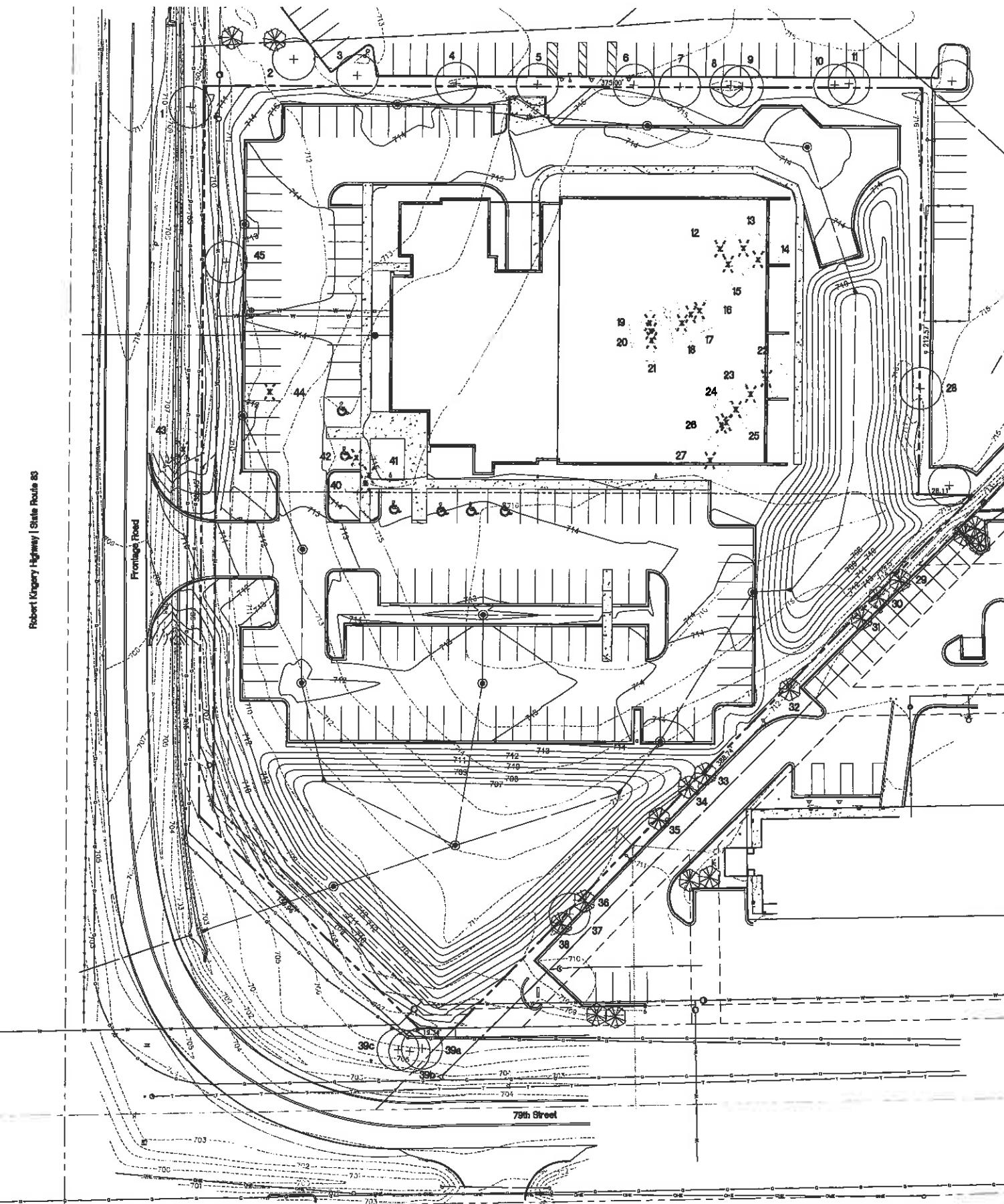


Tree Protection Fencing

NOTE:
All trees are safety fenced, nothing is to be moved out, cut, planted, stored, or disposed inside the fence.

Remove protective fence only after all construction work has been finished.

All tree protection fencing shall be installed prior to any site work.



3 Village Review Comments 03.15.17
2 Site Plan Modification 01.04.17
1 For Review 12.30.16
Mark Description Date
Issuance

Number 458916
Scale 1" = 30'

Re 4289TP4A

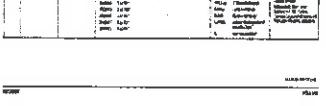
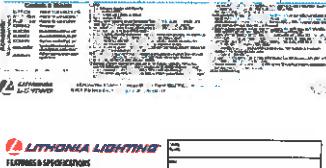
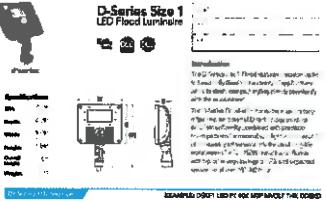
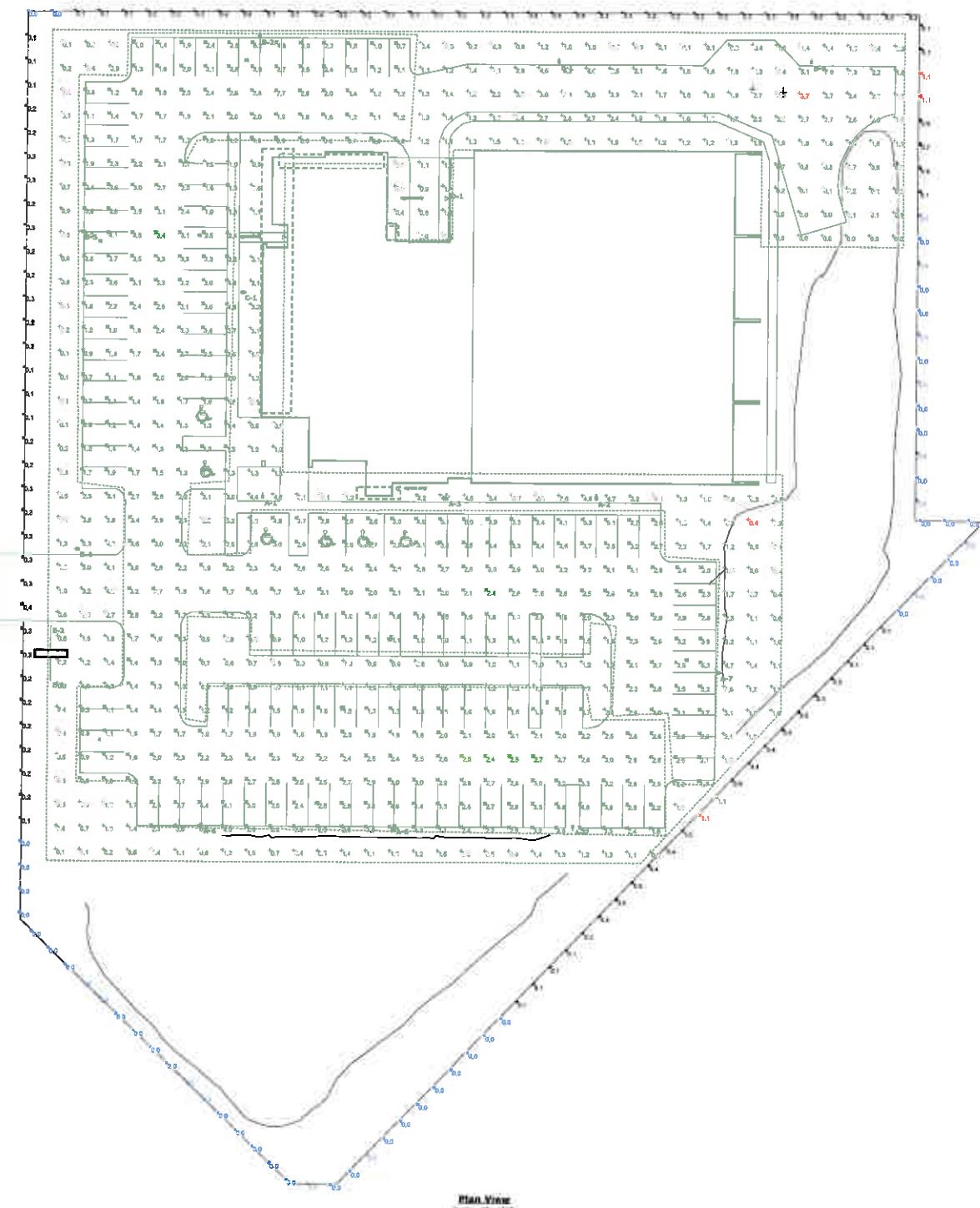
Sheet L20

Location	Category	Product	Description	Quantity	Part Number	Quantity Factor	Order Qty				
A	7	Lithonia Lighting	DSXL LED 80C 700 40K T4M NVOLT	1	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXL_LED_80C_700_40K_T4M_NVOLT.jpg	16237	0.95	151
B	3	Lithonia Lighting	DSXL LED 80C 700 40K T3M NVOLT HS	1	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSXL_LED_80C_700_40K_T3M_NVOLT_HS.jpg	12726	0.95	131
C	1	Lithonia Lighting	DSXL LED 80C 700 40K T3M NVOLT	1	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSXL_LED_80C_700_40K_T3M_NVOLT.jpg	18020	0.95	131
D	1	Lithonia Lighting	DSXL1 LED 10C 530 40K T3M NVOLT	1	DSXL1 LED with (1) 10 LED LIGHT ENGINE, TYPE T3M OPTIC, 4000K, @ 530mA	LED	1	DSXL1_LED_10C_530_40K_T3M_NVOLT.jpg	2159	0.95	191
E	2	Lithonia Lighting	DSXL1 LED P2 30K HMF	1	DSXL1 LED P2 30K HMF	LED	1	DSXL1_LED_P2_30K_HMF.jpg	Absolute	0.95	42

Location	Category	Product	Description	Quantity	Part Number
Call Zone Engine Area				2.0 ft	5.3 ft
Call Zone Parking Area Only				2.4 ft	5.3 ft
Call Zone Proprietary Area				0.2 ft	1.1 ft
Call Zone Free Pass				0.1 ft	10.7 ft

Luminaires Locations

Location	Category	Product	Description	Quantity	Part Number
1 A	-92.25	34.00	20.00	180.00	0.00
2 A	-47.75	34.00	20.00	180.00	0.00
3 A	-15.25	34.00	20.00	180.00	0.00
4 A	-117.00	-103.00	20.00	0.00	0.00
5 A	39.00	-105.00	20.00	0.00	0.00
6 A	-36.00	-105.00	20.00	0.00	0.00
7 A	101.00	-36.50	20.00	270.00	0.00
1 B	38.50	221.75	20.00	180.00	0.00
2 B	-95.00	221.75	20.00	180.00	0.00
3 B	127.00	223.00	20.00	180.00	0.00
4 B	-171.00	14.25	20.00	93.00	0.00
5 B	-170.00	144.00	20.00	93.00	0.00
6 C	-100.00	123.75	20.00	93.00	0.00
1 D	-15.25	166.00	15.00	270.00	0.00
1 E	-180.68	-41.00	0.50	0.00	136.40
2 E	-180.68	-16.30	0.50	180.00	136.40



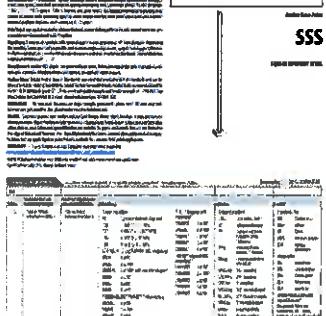
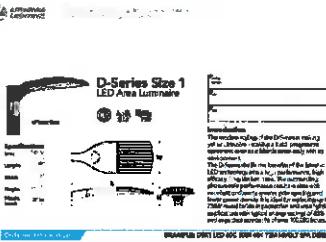
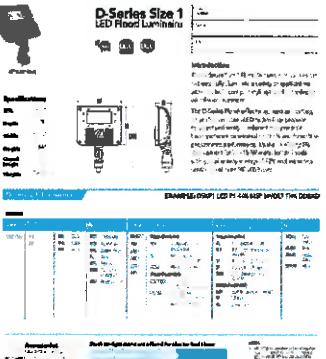
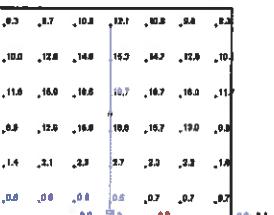
SSS

WILLOWBROOK, IL

Location	Supplier	Part Number	Description	Quantity	Unit	Notes
A	Uthorne Lighting	DSX1 LED 60C 700 40K T4M HVOLT	DSX1 LED WITH 40 LEDS @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	1	DSX1_LED_60C_700_40K_T4M_HVOLT.les	16237 0.95 131
B	Uthorne Lighting	DSX1 LED 60C 700 40K T3M HVOLT HS	DSX1 LED WITH 40 LEDS @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	1	DSX1_LED_60C_700_40K_T3M_HVOLT_HS.les	12726 0.95 131
C	Uthorne Lighting	DSX1 LED 60C 700 40K T3M HVOLT	DSX1 LED WITH 40 LEDS @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	1	DSX1_LED_60C_700_40K_T3M_HVOLT.les	16220 0.95 131
D	Uthorne Lighting	DSXW1 LED 10C 530 40K T3M HVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, 530mA	1	DSXW1_LED_10C_530_40K_T3M_HVOLT.les	2139 0.95 19.1
E	Uthorne Lighting	DSXP1 LED P2 30K HMF	DSXP1 LED P2 30K HMF	1	DSXP1_LED_P2_30K_HMF.les	Absolute 0.95 42

Calculation	Value	Value	Value	Value
Calc Zone Areas Area	2.41	2.37	2.21	N/A
Calc Zone Radii Area (sq)	2.44	2.33	2.17	2.41
Calc Zone Property Area	0.21	0.21	0.21	N/A
Calc Zone Edge Factor	0.10	0.10	0.10	15.21

Calculation	Value	Value	Value	Value
1 A -93.25 38.00 20.00 180.00 0.00				
2 A 47.25 38.00 20.00 180.00 0.00				
3 A -15.25 38.00 20.00 180.00 0.00				
4 A -117.00 -103.00 20.00 0.00 0.00				
5 A 38.00 -103.00 20.00 0.00 0.00				
6 A -26.00 -103.00 20.00 0.00 0.00				
7 A 101.00 -36.50 20.00 276.00 0.00				
1 B 30.50 221.75 20.00 180.00 0.00				
2 B -35.00 231.75 20.00 180.00 0.00				
3 B 137.00 322.00 20.00 180.00 0.00				
4 B -171.00 14.25 20.00 90.00 0.00				
5 B -120.00 149.00 20.00 90.00 0.00				
1 C -100.00 122.75 20.00 276.00 0.00				
1 D -15.25 166.00 15.00 270.00 0.00				
1 E -180.00 -41.00 0.50 0.00 136.40				
2 E -180.00 -18.30 0.50 180.00 136.40				



SSS

SOLIDWORKS 2014

3D CAD

Chicago Gun Club **FUSION** TARGETS



RANOR EQUIPMENT
FUSION TARGETS INC.
1167 S 140 W
Orem, Utah 84058

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete and
are released for interim review only and
are not intended for regulatory approval,
building, permit, or construction purposes.
Arch. Reg. No. _____
Date: 0000-00-00

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE

MAR. 10, 2017

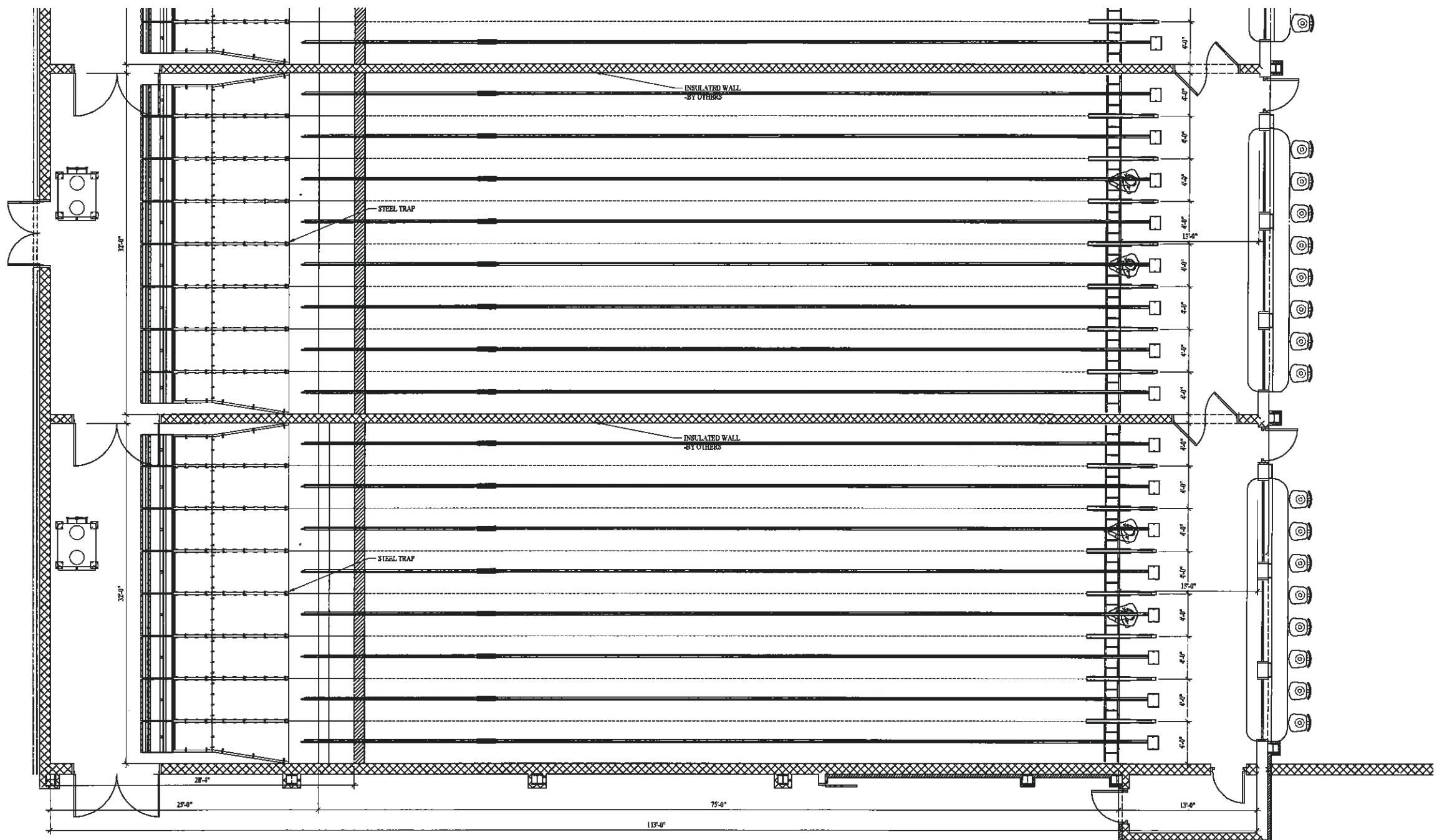
ISSUE

SHEET TITLE

RANGE PLAN

SHEET NO.

A1.01



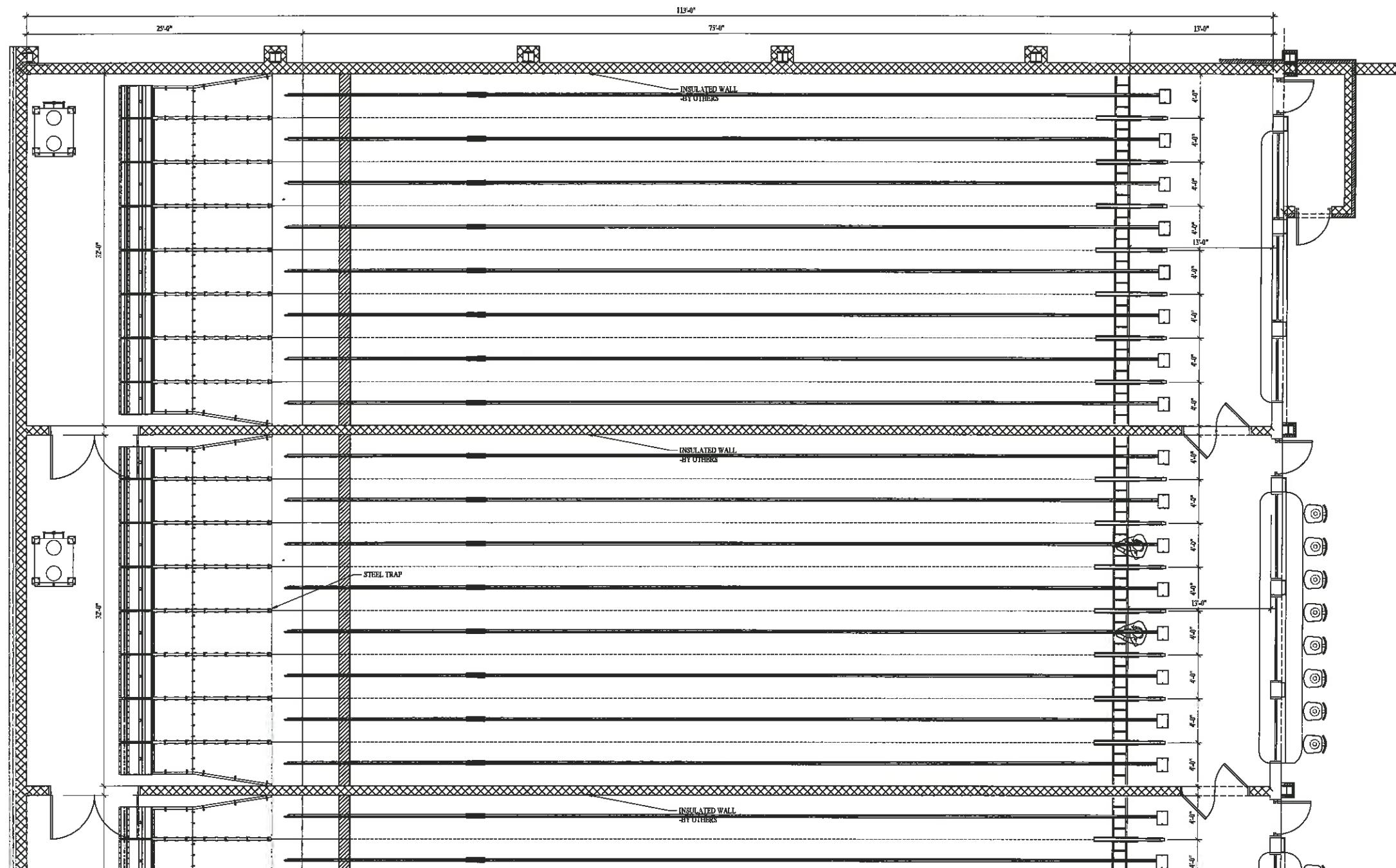
FUSION

TARGETS



RANGE EQUIPMENT
FUSION TARGETS INC.
1167 S 340 W
Orem, Utah 84059

Chicago Gun Club Shooting Range



OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

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are not intended for regulatory approval,
building permit, or construction purposes.
Arch. Name: _____
Arch. Reg. No.: _____
Date: 22-02-2017

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE

MAR. 10, 2017

ISSUE

SHEET TITLE

RANGE PLAN

SHEET NO.

A1.21

Chicago Gun Club **FUSION** TARGETS



RANGE EQUIPMENT
FUSION TARGETS INC.
1197 S 140 W
Orem, Utah 84058

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete, and
are released for interim review only and
are not intended for regulatory approval,
listing, permit, or construction purposes.
Architect: None
Arch. Reg. No. None
Date XX-XX-XX

KEY PLAN

RE-BID

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

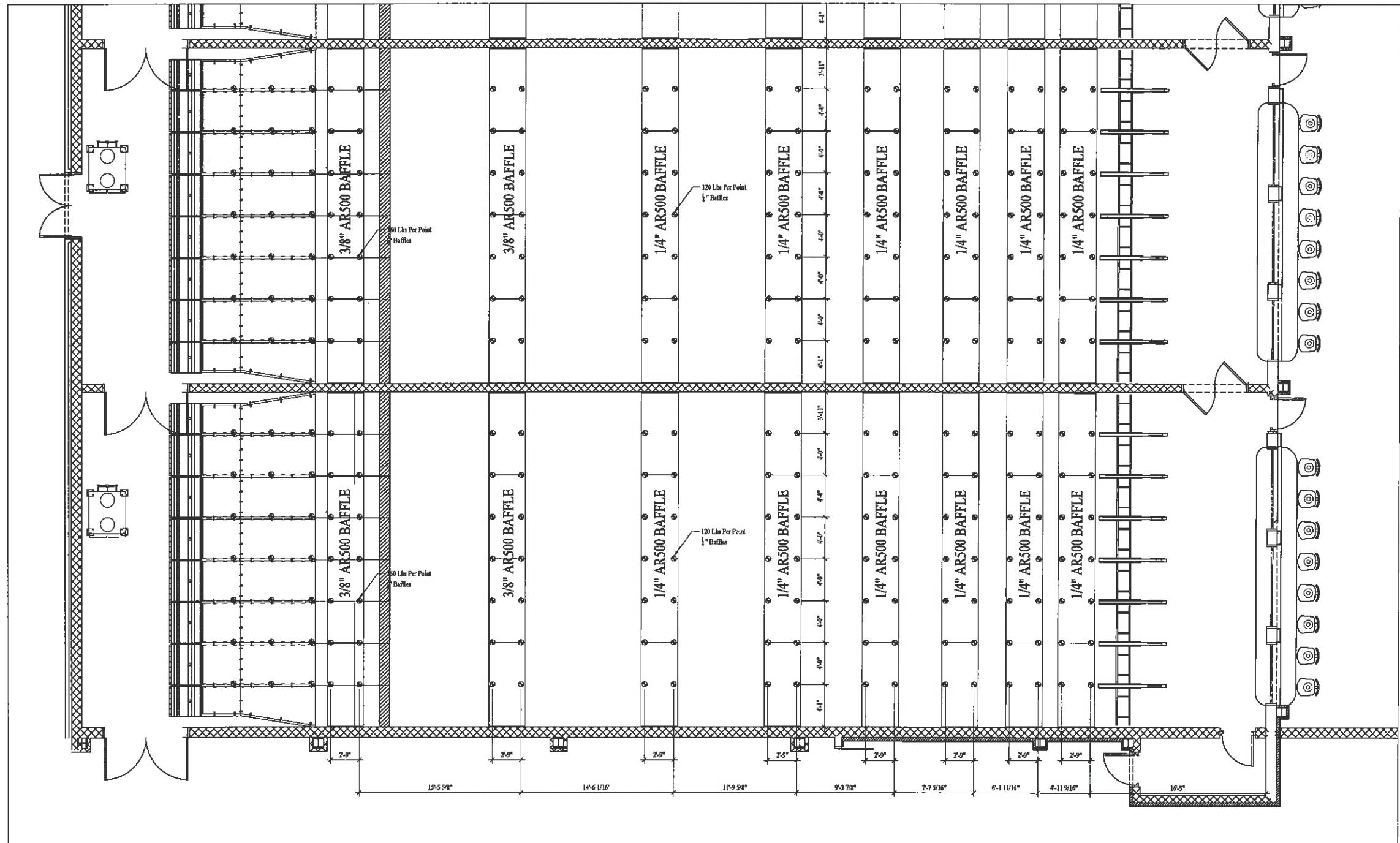
ISSUE

SHEET TITLE

RANGE PLAN

SHEET NO.

A1.02

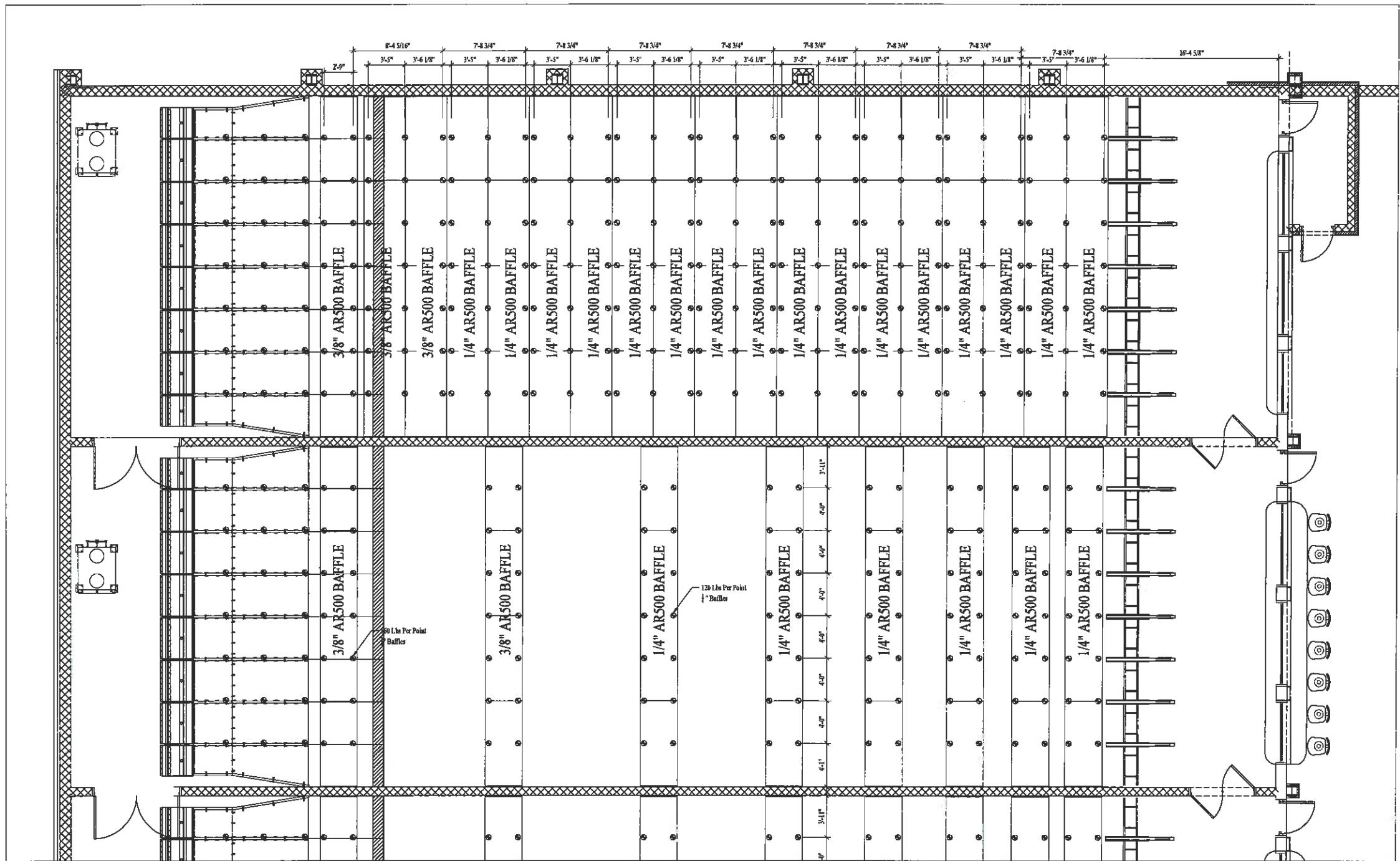


FUSION TARGETS



RANGE EQUIPMENT
FUSION TARGETS INC.
1167 S 40 W
Orem, Utah 84058

Chicago Gun Club Shooting Range



OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These dimensions are incomplete, and
are released for interim review only and
are not intended for regulatory approval,
building, permit, or construction purposes.
Architect: John Doe
Arch. Reg. No. 123456
Date: 05/05/2017

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

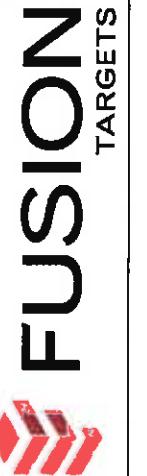
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SHEET TITLE

RANGE PLAN

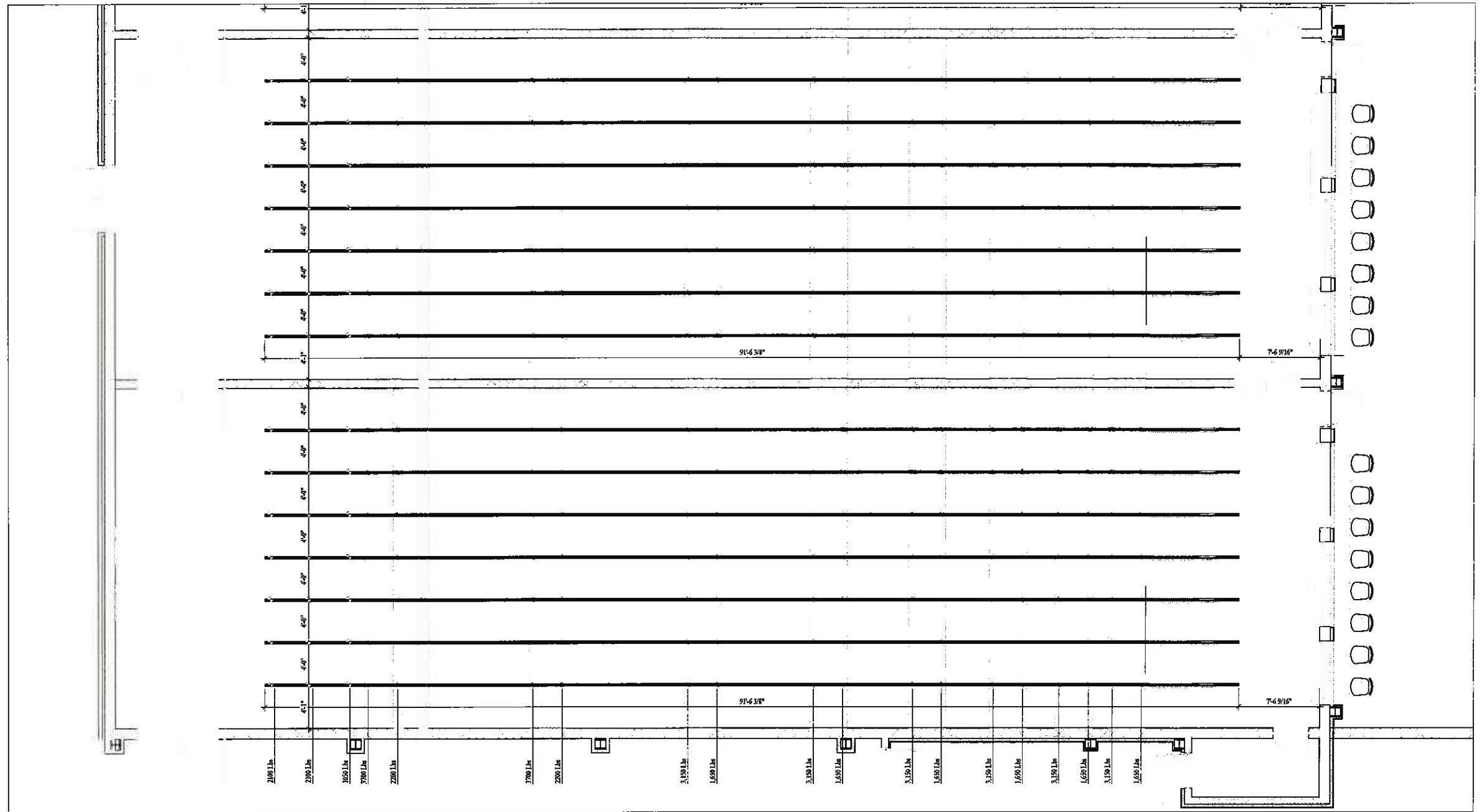
SHEET NO.

A1.22



Chicago Gun Club Shooting Range

OWNER'S CONSULTANT
INTERIM REVIEW ONLY
KEY PLAN
REVISION
FUSION TARGETS PROJECT NUMBER
1002
DATE
MAR. 10, 2017
ISSUE
SHEET TITLE
RANGE ANGLE PLAN



Chicago Gun Club FUSION TARGETS



RANOB EQUIPMENT
FUSION TARGETS INC
1187 S 140 W
Orem, Utah 84058

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete and
are intended for interim review only and
are not intended for regulatory approval,
building permit, or construction purposes.
Architect: _____
Arch. Reg. No.: _____
Date: 20-00-2016

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

1002

DATE
MAR. 10, 2017

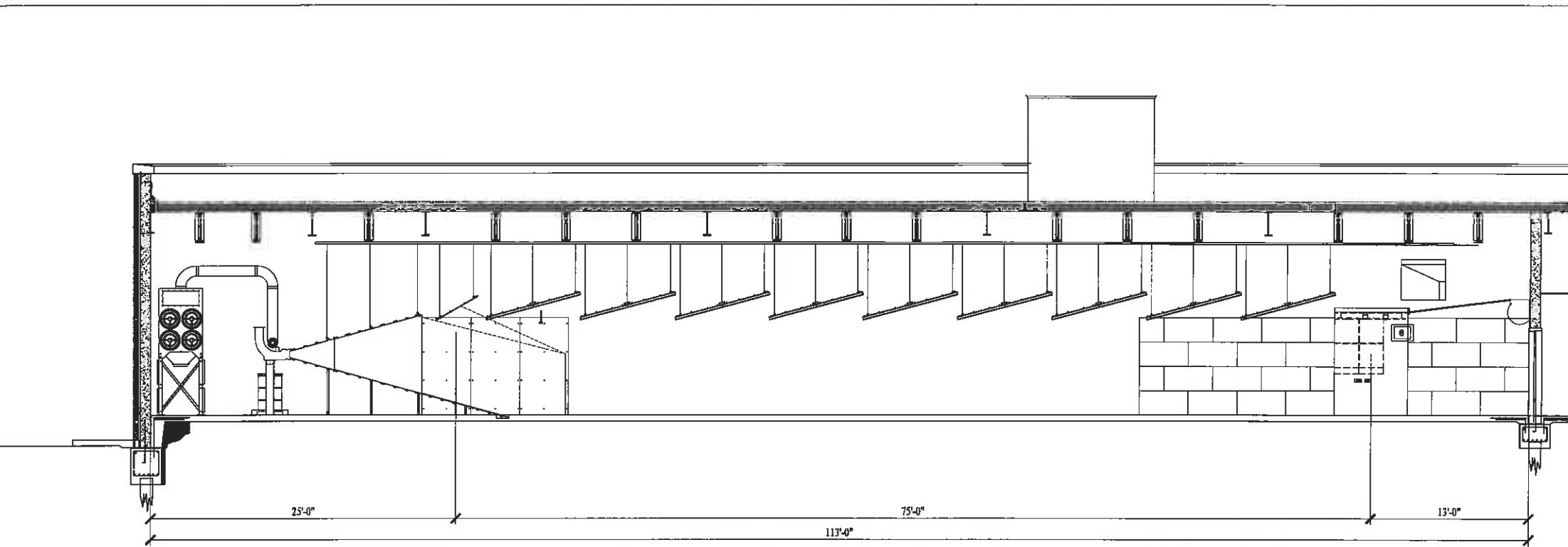
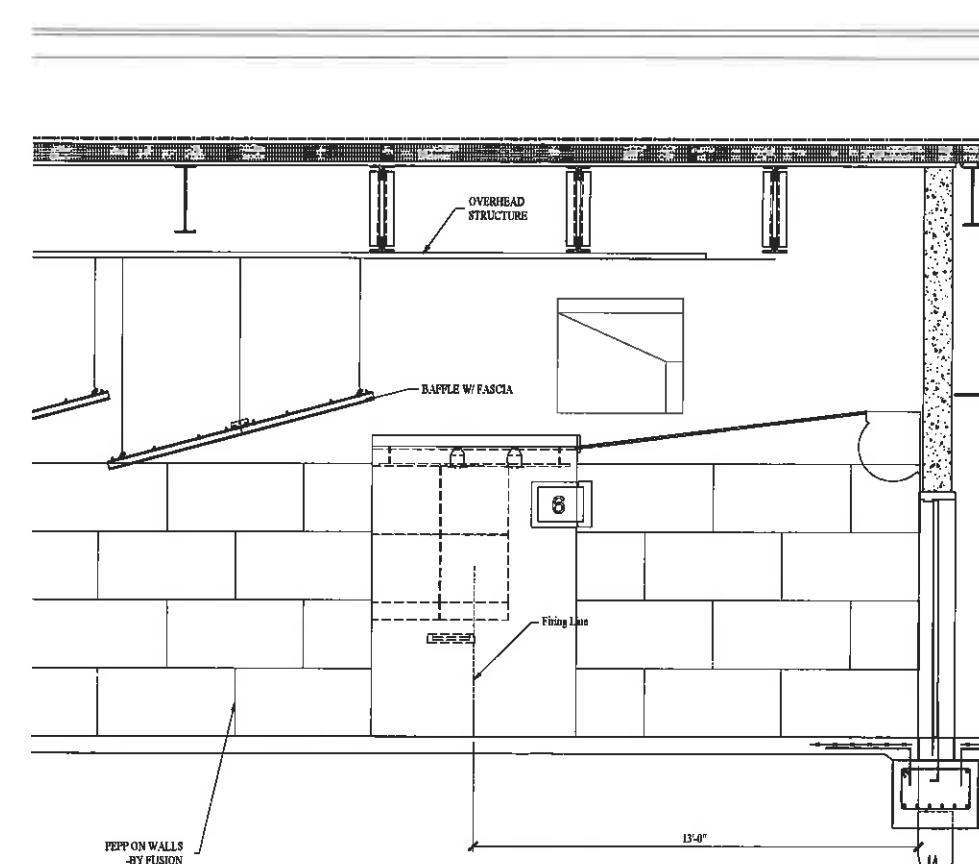
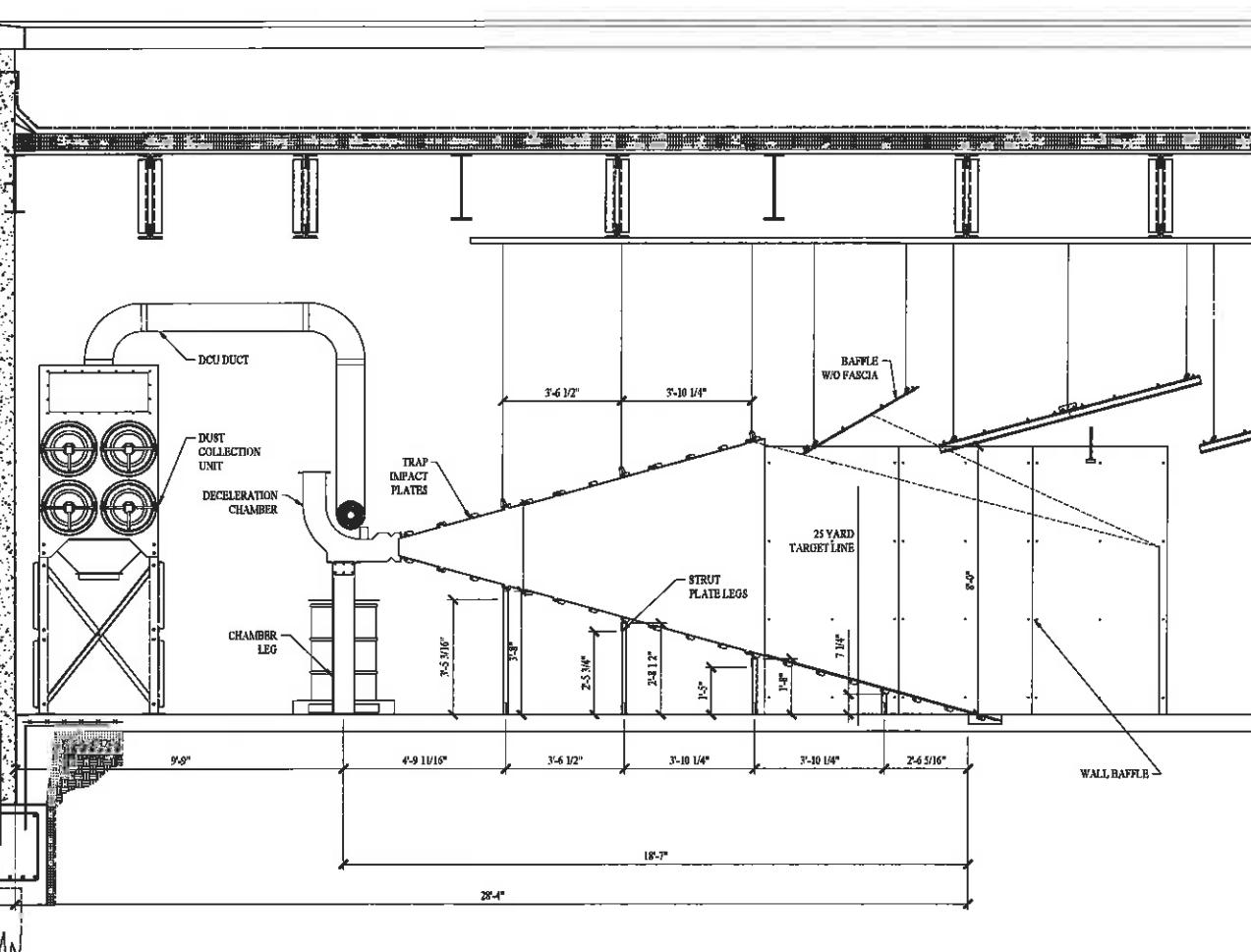
ISSUE

SHEET TITLE

RANGE SECTION

SHEET NO.

A2.21



FUSION TARGETS



RANGE EQUIPMENT
FUSION TARGETS INC.
1181 S 140 W
Orem, Utah 84056

Chicago Gun Club Shooting Range

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete, and
are released for interim review only and
are not intended for regulatory approval,
bidding, permit, or construction purposes.
Architect Name _____
Arch. Reg. No. _____
Date: 2020-03-06

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

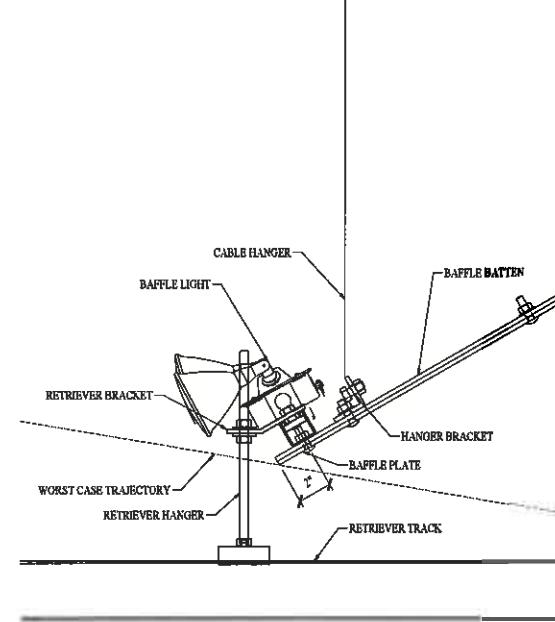
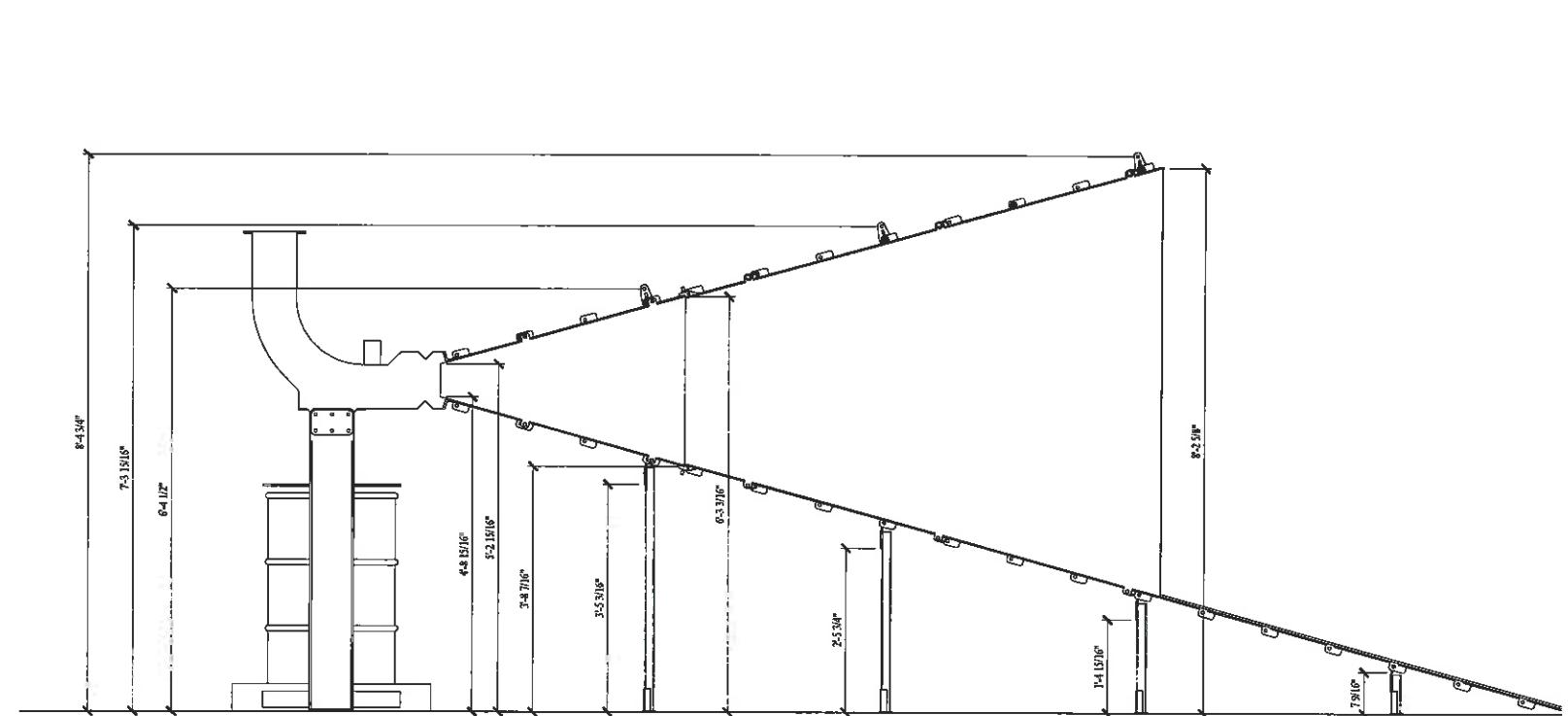
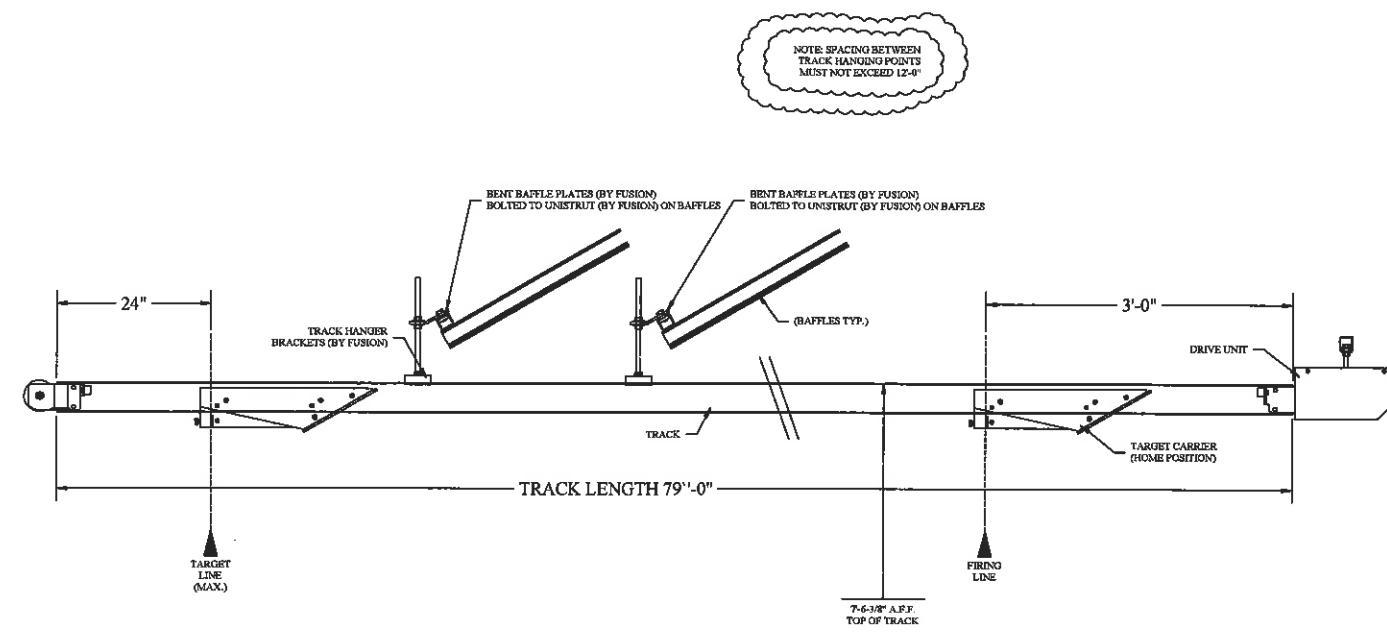
ISSUE

SHEET TITLE

RANGE DETAILS

SHEET NO.

A2.02



LEEDING FIELD SAFETY CONSULTANT INC.
PER NAME: DAVID C. SUE
RESPONSIBILITY: CHICAGO GUN CLUB PROJECT
TUES, 10 MAR 2017 10:16PM
LAST SAVED: 10 MAR 2017 10:16PM

01. OVERALL PLAN

Chicago Gun Club **FUSION** Shooting Range



RANGE EQUIPMENT
FUSION TARGETS INC.
1157 S 140 W
Orem, Utah 84059

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

OWNER'S CONSULTANT
CONSULTANT NAME
ADDRESS
CITY, STATE, ZIP

INTERIM REVIEW ONLY
These documents are incomplete and
are released by owner's owner only and
are not intended for regulatory approval,
building permit, or construction purposes.
Architect: John Doe
Permit: John Doe
Date: 05/05/2016

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER
1002

DATE
MAR. 10, 2017

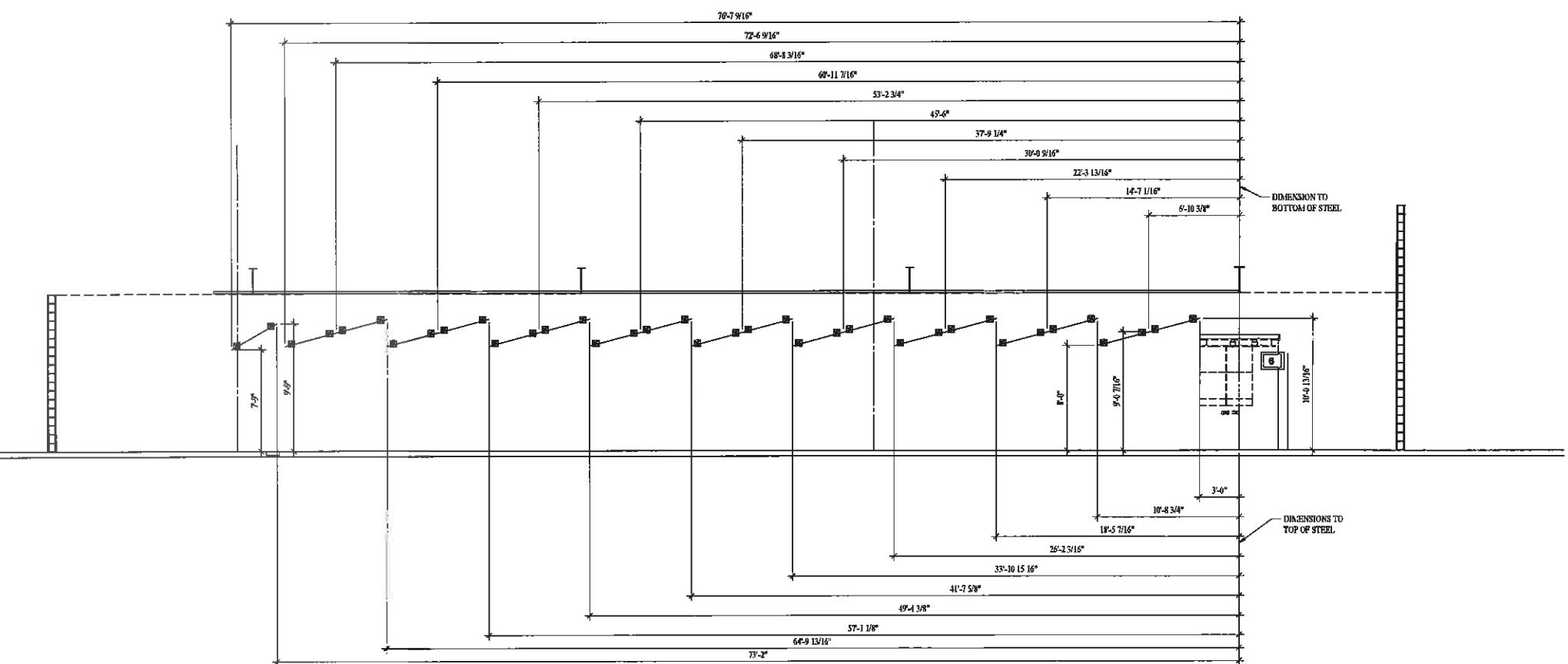
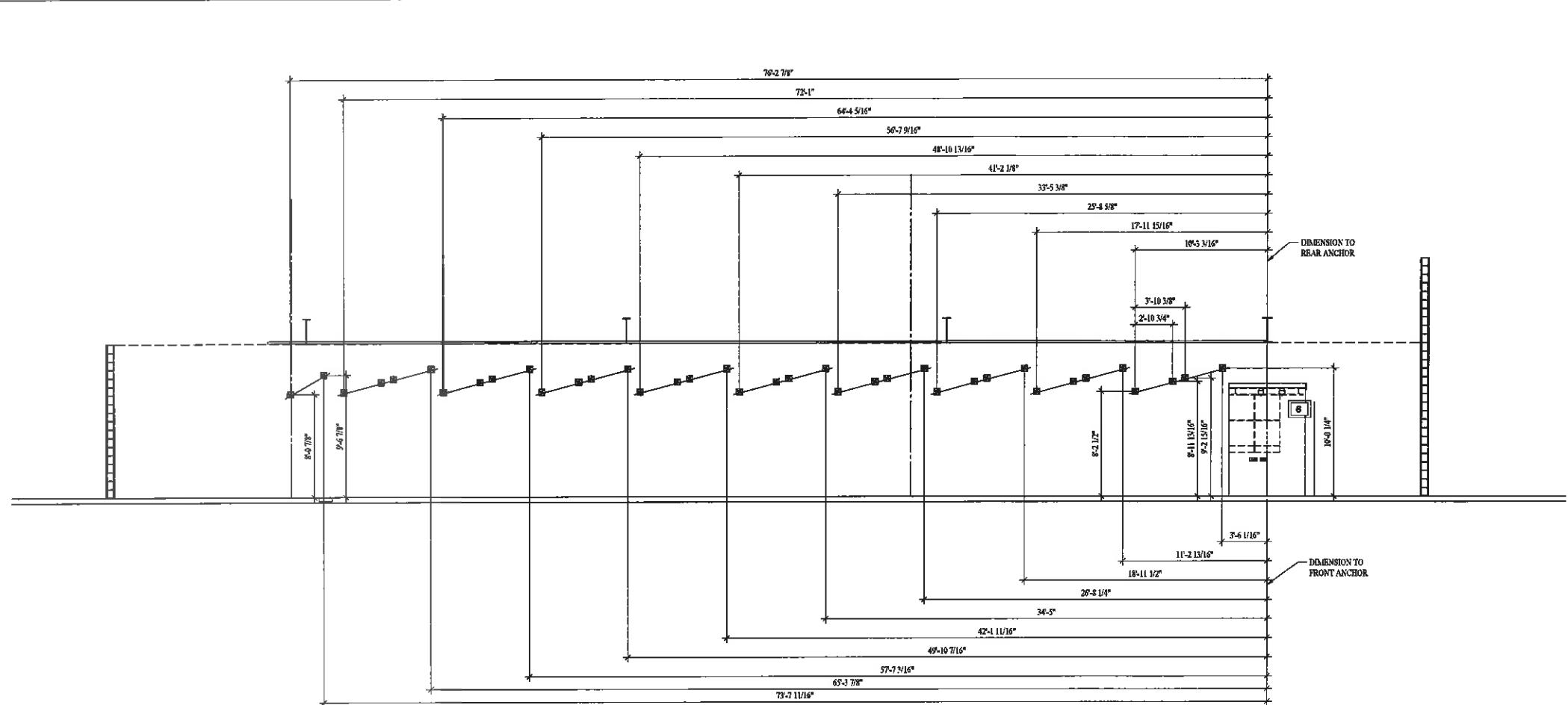
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SHEET TITLE

RANGE SECTION

SHEET NO.

A2.24



FUSION

TARGETS



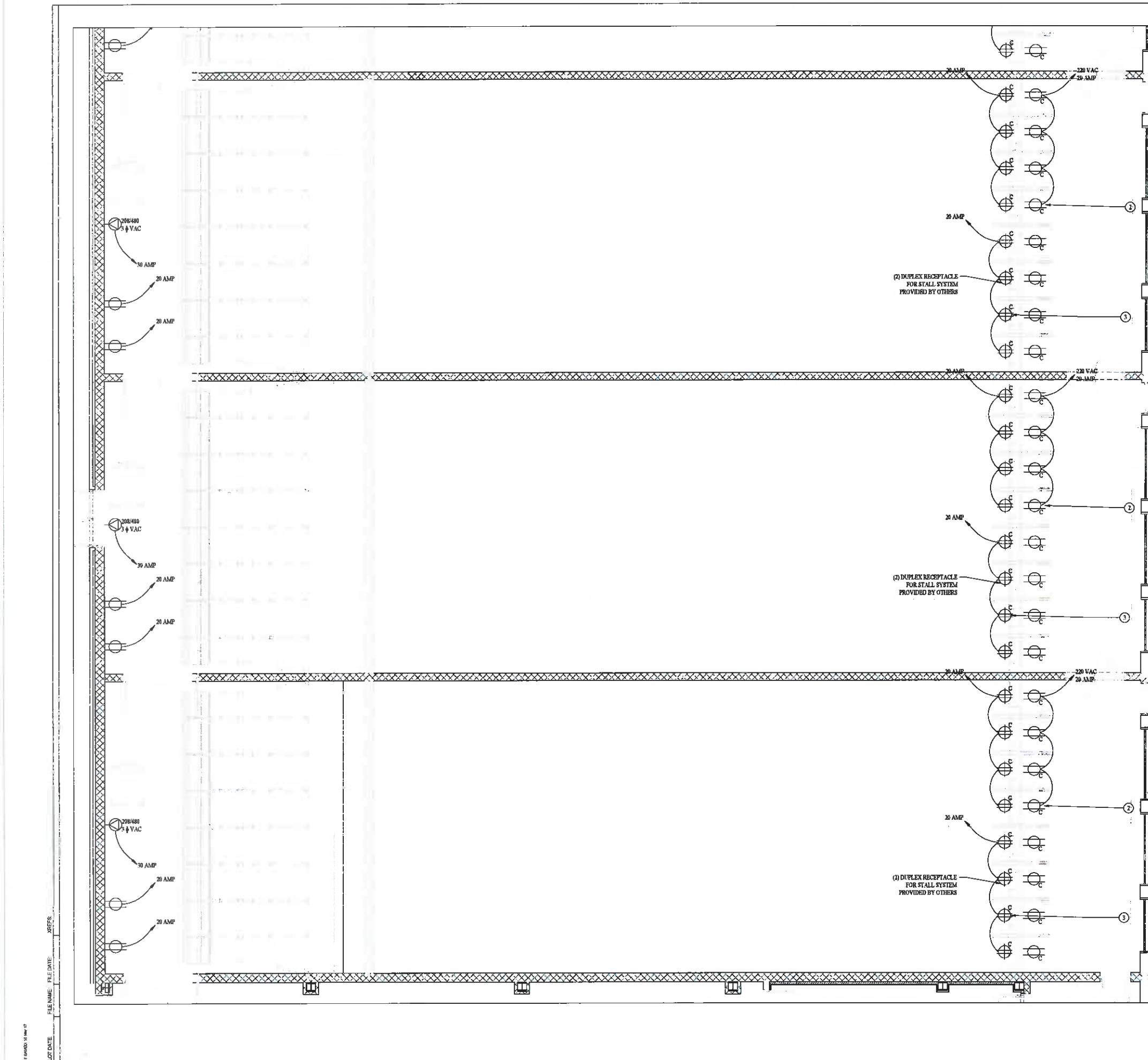
Chicago Gun Club Shooting Range



Chicago Gun Club Shooting Range

ELECTRICAL NOTES:

1. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL CIRCUITS AND RECEPTACLES NEEDED FOR THE RANGE EQUIPMENT. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH FUSION TARGET PERSONNEL FOR LOCATION AND TIMING.
2. SINGLE 220 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.
3. (2) DUPLEX 120 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.



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REVISION

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Attachment 5

Preliminary Plat of Subdivision (1 Sheet)

PRELIMINARY PLAT OF SUBDIVISION

FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

SHOWN BOUNDARY AREA = 148,971 S.F. OR 3.420 ACRES

ABBREVIATIONS	
000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PIN	PERMANENT INDEX NUMBER
LINE TYPE LEGEND	
—	BOUNDARY LINE
—	WADNER LOT LINE
—	CENTER LINE
—	RIGHT OF WAY
—	EASEMENT LINE
—	BUILDING LINE
—	SECTION LINE
—	UNDERLYING LOT LINE

LINE TYPE LEGEND

— BOUNDARY LINE

— WADNER LOT LINE

— CENTER LINE

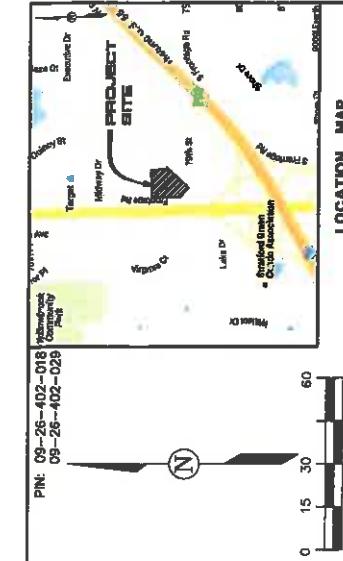
— RIGHT OF WAY

— EASEMENT LINE

— BUILDING LINE

— SECTION LINE

— UNDERLYING LOT LINE



LOT 1
ANVAN'S RESUBDIVISION
PER DOC. R86-028791
P.I.N.: 09-26-402-028

374.84' MEAS.
589.45' REC.

375.0' REC.

PROPOSED TO PUBLIC
UTILITY EASEMENT

FND 3/4" IP
@ CORNER

PROPOSED 15' PUBLIC
UTILITY EASEMENT

FND 3/4" IP
@ CORNER

PROPOSED 20' PUBLIC
UTILITY EASEMENT

FND 3/4" IP
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UTILITY EASEMENT

FND 3/4" IP
@ CORNER

PROPOSED 10' PUBLIC
UTILITY EASEMENT

Attachment 6

Final Plat of Subdivision (2 Sheets)

OWNER'S CERTIFICATE		SCHOOL DISTRICT BOUNDARY STATEMENT		SURFACE WATER STATEMENT																			
<p>STATE OF _____ } ss COUNTY OF _____ }</p> <p>THIS IS TO CERTIFY THAT THE _____ AN ILLINOIS CORPORATION, AS TRUSTEE UNDER A TRUST AGREEMENT DATED _____ AND KNOWN AS TRUST NO. _____ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND NOT INDIVIDUALLY BUT AS SUCH TRUSTEE, HAS CAUSED THE SAME TO BE SURVEYED AND PLATED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND THE SAID CORPORATION, NOT INDIVIDUALLY BUT AS TRUSTEE, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AS-PRESAID.</p> <p>DATED AT _____ CITY _____ ILLINOIS, THIS _____ DAY OF _____ MONTH _____ A.D. 20_____ AS TRUSTEE UNDER TRUST NO. _____ AND NOT INDIVIDUALLY.</p>		<p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:</p> <p>1. THAT _____ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HERIN BY REFERENCE; AND</p> <p>2. TO THE BEST OF THE OWNERS' KNOWLEDGE, THE SCHOOL DISTRICT LIES IS: PRAIRIE SCHOOL DISTRICT 204 495 N. COMMONS DRIVE AURORA, ILLINOIS 60540</p> <p>OWNERS': _____</p>		<p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, A REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJACENT PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.</p> <p>DATED THIS _____ DAY OF _____ 20_____ ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. _____ LICENSE VALID THROUGH NOVEMBER 30, 2017</p>																			
<p>NOTARY'S CERTIFICATE</p> <p>STATE OF _____ } ss COUNTY OF _____ }</p> <p>I, _____ PRINT NAME _____ A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____</p> <p>SAYD OWNER, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH _____ TITLE _____ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SAID VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.</p> <p>GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ MONTH _____ 20_____ NOTARY PUBLIC SIGNATURE _____</p>		<p>NOTARY'S CERTIFICATE</p> <p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>I, _____ VILLAGE COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN AFFORDED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.</p> <p>DATED AT NAPERVILLE, ILLINOIS, THIS _____ DAY OF _____ 20_____ VILLAGE COLLECTOR _____</p>		<p>NOTARY'S CERTIFICATE</p> <p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.</p> <p>I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.</p> <p>GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____ A.D. 20_____ COUNTY CLERK _____</p>																			
<p>ILLINOIS DEPARTMENT OF TRANSPORTATION STATEMENT</p> <p>THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO § 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS: AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENTS POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS." WILL BE REQUIRED BY THE DEPARTMENT.</p>		<p>DUPAGE COUNTY RECORDER'S CERTIFICATE</p> <p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE _____ DAY OF _____ 20_____ AT _____ O'CLOCK _____ M.</p>		<p>DUPAGE COUNTY RECORDER'S CERTIFICATE</p> <p>STATE OF ILLINOIS } ss COUNTY OF DUPAGE }</p> <p>THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE _____ DAY OF _____ 20_____ AT _____ O'CLOCK _____ M.</p>																			
<p>CHICAGO AND ASSOCIATES, INC.</p> <p>CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS 1864 QUINCY AVENUE, SUITE 100A • NAPERVILLE, ILLINOIS 60540 TEL (630) 850-8282 • FAX (630) 855-8287</p>		<p>CHICAGO GUN CLUB LLC</p> <p>4825 LEE AVENUE DOWNTOWN GROVE, ILLINOIS 60515 TEL (630) 670-5412</p>		<p>ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS</p> <table border="1"> <thead> <tr> <th>PREPARED FOR:</th> <th>REASONS</th> <th>REASONS</th> </tr> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>DRN/EXO. BY: _____</td> <td>DATE: _____</td> <td>REASONS: _____</td> </tr> <tr> <td>PRINT: _____</td> <td>DATE: _____</td> <td>REASONS: _____</td> </tr> <tr> <td>REGION ONE ENGINEER: _____</td> <td>DATE: _____</td> <td>REASONS: _____</td> </tr> </tbody> </table>		PREPARED FOR:	REASONS	REASONS	NO.	DATE	DESCRIPTION	DRN/EXO. BY: _____	DATE: _____	REASONS: _____	PRINT: _____	DATE: _____	REASONS: _____	REGION ONE ENGINEER: _____	DATE: _____	REASONS: _____			
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REGION ONE ENGINEER: _____	DATE: _____	REASONS: _____																					
<p>ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 036-0003982 SURVEY VALID THROUGH NOVEMBER 30, 2016 LICENSE VALID THROUGH NOVEMBER 30, 2016</p>		<p>ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 036-0003982 SURVEY VALID THROUGH NOVEMBER 30, 2016 LICENSE VALID THROUGH NOVEMBER 30, 2016</p>		<p>FINAL PLAT OF SUBDIVISION</p> <table border="1"> <thead> <tr> <th>DRN/EXO. BY: _____</th> <th>DATE: _____</th> <th>FILE: _____</th> <th>FLD. BY: _____</th> <th>FILE: _____</th> <th>SCALE: _____</th> </tr> <tr> <th>PRINT: _____</th> <th>DATE: _____</th> <th>FILE: _____</th> <th>FLD. BY: _____</th> <th>FILE: _____</th> <th>SCALE: _____</th> </tr> </thead> <tbody> <tr> <td>REGION ONE ENGINEER: _____</td> <td>DATE: _____</td> <td>FILE: _____</td> <td>FLD. BY: _____</td> <td>FILE: _____</td> <td>SCALE: 1"=30'</td> </tr> </tbody> </table>		DRN/EXO. BY: _____	DATE: _____	FILE: _____	FLD. BY: _____	FILE: _____	SCALE: _____	PRINT: _____	DATE: _____	FILE: _____	FLD. BY: _____	FILE: _____	SCALE: _____	REGION ONE ENGINEER: _____	DATE: _____	FILE: _____	FLD. BY: _____	FILE: _____	SCALE: 1"=30'
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PRINT: _____	DATE: _____	FILE: _____	FLD. BY: _____	FILE: _____	SCALE: _____																		
REGION ONE ENGINEER: _____	DATE: _____	FILE: _____	FLD. BY: _____	FILE: _____	SCALE: 1"=30'																		

Attachment 7

Findings of Fact (from Staff) (6 Sheets)

Findings of Fact

Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The establishment, maintenance, or operation of the proposed shooting range will not be detrimental to or endanger the public health, safety, moral, and comfort or general welfare of the Village of Willowbrook.

The applicant will ensure EPA, NIOSH, and OSHA standard air quality thought the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, waring signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significantly affect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large bioretention areas at the east and southern areas of the property that will meet the development's stormwater requirements. Additionally, the petitioner will be installing curb and gutter, public sidewalk, and street lighting along their frontage of IL Route 83 Frontage Road in accordance with Village standards that will promote increased stormwater control, pedestrian connectivity, and pedestrian and vehicular safety.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive

will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and building materials.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed special use has never been applied for (or denied) with respect to this specific location.

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The property cannot yield a reasonable return if the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed variations will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interior side, and front yard parking setbacks are not supported. Additionally, the applicant may not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported. The applicant may also not be able to provide proper landscaping at the front of the building if an approximate three foot (3') variation to the front yard building setback is not supported.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan. Additionally, a variance of approximately three feet (3') from the required one hundred foot (100') front yard building setback will not alter the intended character and will not be

materially detrimental to the public welfare of injurious to other property or improvements in the neighborhood.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed variations to reduce parking setbacks and add metal siding will not impair an adequate supply of light and air to adjacent property.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variations will not alter the essential character of the locality. The parking setback and front yard building setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed and the approximate three foot (3') relief from the required one hundred foot (100') building setback will not alter the intended character of the B-4 Zoning District. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

Standards for Variation from Subdivision Regulations

The board of trustees may authorize a variation from the subdivision regulations after review and recommendation by the plan commission when, in its opinion, undue hardship may result from strict compliance and provided the variation applies only to the requirements of this title. The board may take such action only upon receipt from the plan commission of a written recommendation specifying the manner in which the findings required in this section have or have not been met by the facts pertinent to the requested variation.

No variation shall be granted unless the board of trustees finds:

(A) That there are special circumstances or conditions affecting said property, such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

Finding: The current roadway system that comprises IL Route 83 Frontage Road (79th Street and Joliet Road) is currently a rural cross section for the vast majority of the roadway. The proposed variation to relieve the petitioner of the requirement to install curb and gutter will maintain the rural cross section and overall character of the roadway system.

(B) That the variation is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

Finding: The variation to relieve the petitioner of the requirement to install curb and gutter will allow the property owner to maintain the successful stormwater drainage ditch along the property Frontage.

(C) That the granting of the variation will not be detrimental to the public welfare or injurious to other property in the area in which said property is located.

Finding: The proposed variation to relieve the petitioner of the requirement to install curb and gutter will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The absence of curb and gutter along the property's frontage will maintain the status quo of a rural cross section for the 79th Street/Joliet Road/Route 83 Frontage Road.

(D) The alleged hardship has not been created by any person having a present proprietary interest in the property. (Ord. 79-O-43, 11-26-1979)

Finding: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.