

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, FEBRUARY 22, 2017 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - January 11, 2017
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-01: (Northeast corner of Route 83 Frontage Road and 79th Street, Willowbrook, Illinois - Chicago Gun Club LLC, 4825 Lee Avenue, Downers Grove, Illinois) Petition requesting approval to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, approval of a Special Use Permit for an "Indoor Firing Range", approval of a Plat of Subdivision, and approval of associated variations on the property.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission Date:	February 22, 2017		
Prepared By:	Anna Franco, Planning Consultant		
Case Title:	The Chicago Gun Club		
Petitioner:	The Chicago Gun Club LLC (and TCGC Property LLC as property owner) 4825 Lee Avenue, Downers Grove, IL 60515		
Action Requested:	Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a “Firing Range, Indoor”, a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
Purpose:	To develop a 31,000 gun club facility that includes a 32 bay firing range, firearm and jeep retail, classroom space, lounge (including bar), and other accessory uses related to the operation of the facility.		
Location:	Northeast corner of Frontage and 79th, just south of Willowbrook Inn.		
PINs:	09-26-402-029 and 09-26-402-018		
Existing Zoning:	B-3 General Business District		
Proposed Zoning:	B-4 Highway and Service Business District		
Existing Land Use:	Vacant		
Property Size:	3.42 Acres		
Surrounding Land Use:		Use	Zoning
	North	B-4	Willowbrook Inn
	South	B-4	La Quinta Hotel
	East	B-4	Willowbrook Inn and EconoLodge
	West	Kingery Highway and R-2	Single Family across Kingery Hwy
Documents Attached:	Attachment 1: Development Executive Summary, no date (6 Sheets) Attachment 2: Engineering, Architectural, Landscaping, Elevation & Signage, dated 12/30/16 (20 Sheets) Attachment 3: Preliminary Plat of Subdivision, dated 5/18/16 (1 Sheet) Attachment 4: Findings of Fact for Special Use & Variance (from Staff), 2/22/17 (5 Sheets) Attachment 5: Applicants Responses to Special Use Standards, no date (4 Sheets)		
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and continue public hearing in order to provide staff with direction regarding outstanding items.		



Site Description

The property is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge. The property is currently located in the B-3 General Business Zoning District, but is adjacent on all sides by property located in the B-4 Highway and Service District. The 3.4-acre property consists of Lot 2 and Lot 4 in the Anvans Subdivision and is trapezoidal in shape. The property has never been developed and is currently vacant.

Exhibit 1 Aerial of the Subject Property



Exhibit 2 Google 3D View of the Property (Looking Northeast)





Development Proposal

The subject property has been vacant and on the market for a long time. The petitioner, The Chicago Gun Club, has recently purchased the property and wishes to rezone the property from B-3 to B-4 and obtain special use approval for an indoor firing range to develop a 31,000 square foot "guntry club". The facility would include 32 tactical shooting bays (that will accommodate two people per bay), as well training/educational classrooms, retail sales (including customized Jeeps), membership lounges (including a bar), and office uses.

The business team anticipates a top of the line facility at this location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club will function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. The architect has been selected for the work they did for facility in Ann Arbor Michigan call "Ann Arbor Arms". They are also looking to emulate the "club like" atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club. Images of both of these facilities can be found online. A project narrative from the petitioner can be found in **Attachment 1** "Development Executive Summary".

The gun club is proposed to operate from 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday. The gun club will have a maximum of 15 employees, including management, on site at any one time with approximately 10 employees on site during normal weekday hours. An average of 250 members are anticipated to visit the gun club during a typical day.

Summary of Zoning Requests

To establish the proposed gun club facility on the subject property, Staff has identified the following zoning requests:

1. Rezoning of the property from B-3 General Business to B-4 Highway & Service Business, which permits a "Firearms store, except when located adjoining I-55 or Route 83".
2. A Special Use Permit for an "Firing Range, Indoor" in the B-4 Zoning District.
3. Approval of a Preliminary Plat of Subdivision.
4. Approval of a Final Plat of Subdivision (to be submitted prior to second Plan Commission meeting).
5. A variation to reduce the minimum parking interior side & rear yard setback from 10' (required) to 5.17' (proposed), per Section 9-10-5G of the Village Code.
6. A variance to reduce the minimum parking exterior side & front yard setback from 15' (required) to 9.29' (proposed), per Section 9-10-5G of the Village Code.
7. Variance to allow metal siding as an architectural accent, which is prohibited by Section 9-6-1(E)2 of the Village Code.



Staff Analysis

Comprehensive Plan

The Comprehensive Plan designates the subject property as "Highway Commercial", which is intended to serve both the traveling public on the community's most traveled routes, as well as meet some local community retail and service needs. This planned designation extends from I-55 all the way up to 75th Street. Zoning along this same section of Route 83 includes B-2, B-3 and B-4 zones, with B-4 zones on the Willowbrook Ford and hotel properties. There are no specific references in the Comprehensive Plan to this vacant site, but staff has summarized certain relevant commercial policies from the Comprehensive Plan for the Plan Commission's consideration. These relevant policies and how they relate to the proposed gun club facility are summarized in the table below:

Exhibit 3 Relevant Comprehensive Plan Goals & Policies

Relevant Comprehensive Plan Goals & Policies		
Item #	Plan Text	Relation to The Chicago Gun Club
1	Consolidate lots when possible and provide coordinated/planned access to individual uses	The petitioner has submitted a Plat of Subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision.
2	Development should occur in locations served by transportation facilities capable of handling the traffic to be generated.	A completed traffic impact study indicates that existing infrastructure will continue to operate at acceptable levels of services. No left turn lane for the development is required. However, the entry intersection will need to be stop sign controlled.
3	Do not allow uses where traffic exceeds street capacities, or where significant problems in access or compatibility with adjacent uses is anticipated.	Please see above.
4	Provide adequate and attractively landscaped off-street parking and loading facilities.	The Landscape Plan provides both adequate and attractive landscaping of off-street parking and loading facilities.
5	Incorporate high standards of design and construction.	The facility design is both attractive and modern.
6	Preserve natural features as possible and promote pedestrian use.	The petitioner has conducted a tree survey and will be preserving trees along the perimeter of the property. The petitioner has NOT included plans for a sidewalk along the frontage of their property. This will be a required addition in their revised plans.
7	Rezoning requests for new commercial developments must be carefully evaluated. If sufficient need cannot be determined or if commercial development policies cannot be met, then the rezoning requests should not be approved.	The proposed zoning of B-4 Highway Commercial is consistent with the zoning of adjacent properties in this area of the Village.
8	Provide a "sense of arrival in Willowbrook." Intent is for Route 83 to be landscaped as a "parkway" not a highway.	The petitioner is proposing 9 new street trees along Frontage Road and will be installing one attractive monument sign along Frontage Road.
9	Special gateway landscaping should be created at major interchanges and intersections.	The monument sign, referenced above, will be attractively landscaped.
10	The I-55 frontage road should be improved to industrial collector street standards between Midway Drive and Joliet Road. Street lights should be provided in conjunction with this improvement.	The petitioner has NOT included curb and gutter of street lighting in their plans . The addition of these elements will be a requirement in their revised plans.
11	Signalization of the Midway/Frontage Road intersection should be evaluated or considered.	The Traffic Impact Study has indicated that signalization is not necessary to handle the traffic generated by this development.



Appropriateness of Use

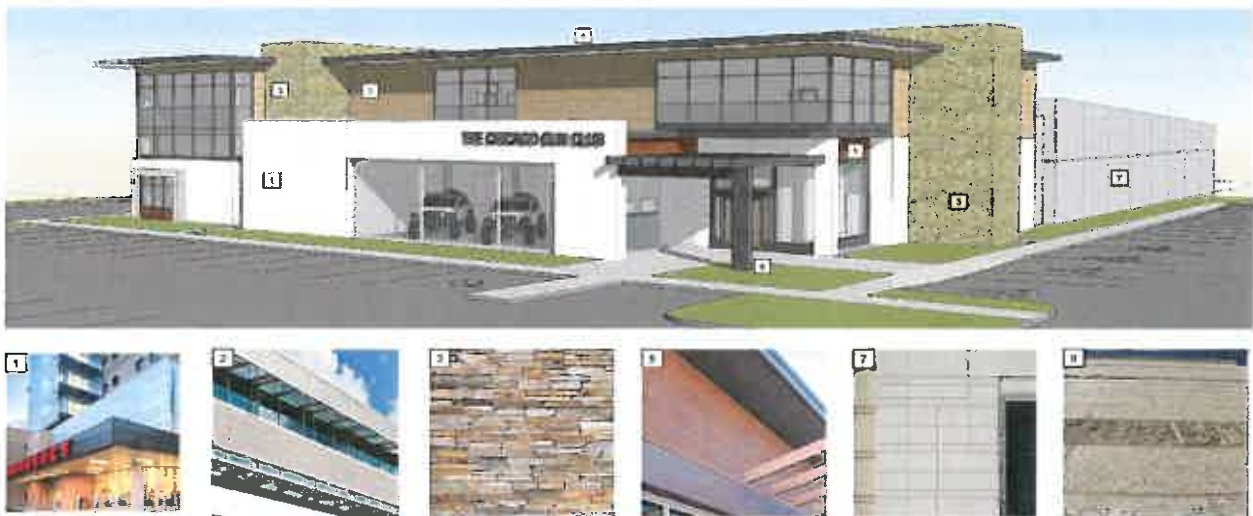
The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. As indicated in the applicant's materials, these types of uses are relatively new and can come with actual or perceived impacts on the community. This is the Plan Commission's opportunity to get answers to as many questions as you have about hours, staffing, lighting, security, whether food and/or liquor is involved, etc.

The new facility that just opened in Bolingbrook called the Range at 355 opened recently as a members only club, and all memberships were sold out in a very short period of time, indicating a strong demand for this use. The proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. If any possible negative impacts associated with the use are mitigated, the site is appropriate for the proposed use.

Building Elevations

The petitioner has submitted colored building elevations for the proposed gun club facility, shown below and shown more extensively in **Attachment 2 "Engineering, Architectural, Landscaping, Elevation & Signage"**. The proposed building features an impressive modern façade on the west side of the building, which includes the building's main entrance (covered by a steel pergola), the proposed Jeep retail display, and large windows on the second floor of the building. Building materials at the front of the building will include a combination of stone veneer, painted aluminum, cedar plank siding, ground face block, fiber cement siding, and pre-cast concrete panels. The gun range portion, at the "back" of the building will be constructed of mainly pre-cast concrete panels. The petitioner will be requesting a variance to allow metal as an architectural accent for the building, which is prohibited by Section 9-6-1(E)2 of the Village Code.

Exhibit 4 Building Elevation Rendering & Proposed Materials





Building Use Breakdown

The proposed gun club will be a two-story, approximately 31,000 gross square foot facility, located entirely on the northern Lot 2 portion of the property. The first floor will be a total of approximately 25,000 square feet and will consist of mainly the 32-gun range bays at the back of the building, which is almost 50% of the building's square footage. The front of the first floor will consist of a retail floor, Jeep retail, a member's lounge, locker rooms, a rental station, and the gun smith. The second floor will be a total of approximately 6,000 square feet and will include the gun club's VIP Lounge area, classroom space, offices, and an outdoor skydeck. A color coded breakdown of the facilities' floor plans are shown below in **Exhibit 5** and **Exhibit 6**.

Exhibit 5 Building Use Breakdown Table and Diagram

Color Code	Building Use	Square Footage	Percentage of Total Building S.F.
Yellow	Indoor Firing Range	14,824 S.F.	48%
Pink	Retail	4,370 S.F.	14%
Green	Lounge (assembly)	3,907 S.F.	13%
Blue	Accessory Commercial	2,837 S.F.	9%
Grey	Warehouse/Storage	1,620 S.F.	5%
Orange	Jeep Retail	1,260 S.F.	4%
Purple	Office	1,212 S.F.	4%
Dark Blue	Classroom	864 S.F.	3%
	Total Square Footage	30,893 S.F.	100%





Zoning Bulk Requirements

The petitioner is requesting to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District. A detailed discussion of important bulk exceptions and variations for the B-4 Zoning District is provided below and summarized in **Exhibit 7 "B-4 Zoning District Compliance Table"** on the following page.

Lot Dimensions: The subject property is in compliance with the minimum lot depth requirement of the B-4 Zoning District. Staff is waiting on the addition of a lot width dimension in future revised plans to determine the lot width. As an existing platted lot, however, a variance would not be required if the distance is less than the minimum requirement. The subject property is also in compliance with the B-4 Zoning District minimum lot area, with a lot area of approximately 148,848 square feet, or 3.4 acres. The subject property is considered Lot 2 and Lot 4 of the Anvans Subdivision.

Setbacks: The required and proposed minimum setbacks are shown in **Exhibit 7** on the following page. The proposed minimum front yard setback is in compliance with the Village Zoning Ordinance. The petitioner did not include setback dimensions for the interior side and rear yard setbacks. Although Staff has requested that these dimensions be labeled in future revisions to the plans, it appears that these setbacks are also in compliance.

Building Height: The maximum height of a building in the B-4 Zoning District is 35'. The proposed building height for the badminton facility is 30.67' and is in compliance with the Zoning Ordinance.

Density and Coverage: The maximum lot coverage (building coverage) in the B-4 Zoning District is 50%. The proposed gun club facility has a building footprint of approximately 24,811 square feet; so on a 3.4 acre lot, the building coverage is approximately 16.6% and is well below the maximum 50% threshold. As a two-story building, the floor area ratio (FAR) is approximately 0.21, which is above the minimum required 0.3 FAR.



Exhibit 7 B-4 Zoning District Compliance Table

B-4 Zoning District				
Item	Code Section	Code Requirement	Proposed	Departure
Minimum Lot Area	9-6D-3A	87,120 sf (2 acres)	148,971 sf	none
Minimum Lot Width	9-6D-3B	300'	Need dimension	None?
Minimum Lot Depth	9-6D-3C	250'	375.13	none
Minimum Front Yard Setback	9-6D-3D1	100'	100	none
Minimum Interior Side Yard Setback	9-6D-3D2	40'	Need dimension	None?
Minimum Exterior Side Yard Setback	9-6D-3D3	60'	n/a	n/a
Minimum Rear Yard Setback	9-6D-3D4	40'	Need dimension	None?
Minimum Transition Yard	9-6D-3D5	100'	n/a	n/a
Maximum Height	9-6D-3E	35'	30.67'	none
Maximum Floor Area Ratio	9-6D-3F	0.3	0.21 (0.208)	none
Maximum Lot Coverage	9-6D-3G	50%	16.65%	none

Parking & Loading

Required Parking: The petitioner's site plan proposes a total of 129 parking spaces (including 5 handicap spaces) located along the north, west, and south sides of the building. No parking is proposed on the east side of the building.

Required parking was calculated by using the parking formulas outlined in Title 9, Chapter 10, Section 5K of the Village Code. Numerous parking formulas were used to calculate parking, so for ease, parking requirements are outlined in **Exhibit 8 "Required Parking"**, below. As you can see, the zoning code requires that the proposed use provide exactly 129 parking spaces. If any future use changes are made to the proposed floor plans, required parking will need to be closely monitored.

Exhibit 8 Required Parking

Required Parking Calculation						
Use	Square Footage	Seats/Lanes/Employ	Code Section	Code Requirement	Req. Spaces	Proposed Spaces
Indoor Firing Range	14,824.00	32 lanes	9-10-5K3	2 spaces per firing lane	64.00	64
Retail	4,280.00	assuming 4,280	9-10-5K4	1 space per 250 sf	17.12	20
Jeep Retail	1,260.00	n/a	9-10-5K4	1 per 400 sf	3.15	3
Assembly (Lounge)	3,906.55	n/a	9-10-5K4	1 space per 250 sf	15.63	21
Warehouse/Storage	1,620.00	3 employees	9-10-5K4	1 space per 1.5 workers	2.00	2
Office	1,212.00	n/a	9-10-5K4	1 per 225 sf	5.39	8
Classroom	864.00	32 seats	9-10-5K3	1 space for every 3 seats	10.67	10
Accessory Commercial	2,836.50	n/a	9-10-5K4	1 space per 250 sf	11.35	none
Total	30,803.05				129.30	129

**** 5 accessible spaces required per Code Section 9-10-5(N)**



Pavement Setbacks: Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The petitioner is requesting two variances from the required pavement setbacks: (1) to reduce the minimum parking interior side setback from 10' to 5.17'; and (2) to reduce the minimum parking front rear setback from 15' to 9.29'. Staff recommends approval of these variations as neither should have significant impact, if any, on neighboring properties.

Loading Facility: The petitioner provides one loading berth at the north side of the building, which is recessed into the building. The berth is 12' width and 55' length, and just meets the Village's requirements. The minimum loading berth clearance, however, is only 8', and the Village's requirement is a minimum of 14'. Instead of applying for a variation for the minimum clearance height, Staff would like the petitioner to explore options for increasing the clearance to 14'.

Exhibit 9 Parking & Loading Compliance Table

Parking & Loading				
Item	Code Section	Code Requirement	Proposed	Departure
Loading Berth Screening	9-10-4A	screening wall (6'-8') or evergreen landscaping (6')	Loading area is setback into the building	none
Minimum Loading Berth Size	9-10-4B	12' width, 55' length	12' width, 55' length	none
Minimum Loading Berth Clearance	9-10-4B	14'	8'	Yes (need to change)
Minimum Required Berths	9-10-4H	5,001 to 50,000 square feet = 1 required	1 berth	1
Minimum Parking Interior Side & Rear Yard Setback	9-10-5G	10'	5.17' interior, 11.02' rear	Yes (authorized)
Minimum Parking Exterior Side & Front Yard Setback	9-10-5G	15'	9.29'	Yes (authorized)
Minimum End Parking Islands	9-10-5G3	9' width	Need dimension	none
Minimum Intermediate Parking Islands	9-10-5G3	6', between every 20 spaces	Need dimension	none
Minimum Dividing Parking Islands	9-10-5G3	10' width between 3 parking bays	Need dimension	none
Minimum Width of Driveway	9-10-5L2A	24'	28'	none
Minimum Radius Connecting Street Pavement Edge & Driveway Edge	9-10-5L2B	25'	Need dimension	none
Minimum Angle at Intersection of Driveway & Street	9-10-5L2C	60 degrees	90 degrees	none
Minimum Distance of Driveway from nearest lot line	9-10-5L2D	70'	Need dimension	none
Minimum Spacing between separate driveway entrances	9-10-5L2F	400' or 500'	n/a	n/a
Parking Required (Motor Vehicle Sales)	9-10-5K	129 spaces (see parking table)	129	none
Accessible spaces required	9-10-5N	5 spaces	5 spaces	none



Landscaping

The petitioner is proposing abundant landscaping for the gun club property that includes a variety of deciduous, conifer, and ornamental trees and shrubs. The proposed landscaping should effectively frame the property with deciduous and evergreen trees, establish nine (9) new street trees along the property's frontage, and add greenery to the gun club facility's parking areas.

The proposed landscaping is largely in conformance with the Village Zoning Ordinance with the exception of a few items that should be revised on resubmitted plans. Mainly, Staff would like landscape plantings proposed for the south side of the parking lot, near the southern stormwater management facility. These plantings should be at least 4' in height as required by Section 9-10-5(G)(1) of the Village Zoning Ordinance.

Stormwater Management

The petitioner is proposing two naturalized detention areas; one just east of the building, and a second larger detention area at the south end of the proposed parking area. The perimeter of the detention basins will be planted with short grass prairie seed mix and interior of the detention basins will be planted with sedge meadow seed mix.

The petitioner's plans show that underdrains and low flow pipes are provided through the detention basins. The Village's engineering consultant would, however, like the underdrains and low flow pipes eliminated since the purpose of naturalized detention basins is to filter pollutants from stormwater as it flows through the native vegetation.

The petitioner has not yet submitted a stormwater submittal following the Du Page County format for review. ***This must be submitted and review prior to a second Plan Commission meeting.***

Signage

Building Wall Signage

The petitioner is proposing one wall sign on the west side of the building. The wall sign, show below on the "Partial West Elevation", will include the name of the facility, "THE CHICAGO GUN CLUB" in all caps. The lettering in the sign will be finished with an "Old Copper" color and will be illuminated from behind with a white LED light. The wall sign conforms with Village Zoning Ordinance requirements, with the exception of sign depth, which still needs to be verified by the petitioner.



Sample installation

Exhibit 10 Proposed Building Wall Sign



Partial West Elevation



Monument Signage

The petitioner is proposing one monument sign to be located on the south side of the proposed driveway. The sign, shown below, will be approximately 11.5' tall and 14' wide. The petitioner needs to verify the materials used for the sign in their revised plans, however, the sign generally seems to be constructed of a smooth cedar plank for the sign face and some sort of masonry stone for the base.

The sign itself meets the requirements of the zoning code, however, the sign must be located at least 5' from the nearest lot line and shall not be located in a public easement, which it may be located in. The petitioner should submit revised plans to verify the sign is at least 5' away from the west property line and not located in a public utility easement.

Exhibit 11 Proposed Monument Sign



Subdivision Regulation Requirements

As noted in the Staff Report for the Plan Commission meeting on April 13, 2016, as well as in an email sent to the petitioner on June 1, 2016, Staff specified that the petitioner will need to install a public walkway, curb and gutter, and street lighting as required by Section 10-7-2C, Section 10-7-4A and B, and Section 10-7-4D of the Village Zoning Ordinance. A public walkway, curb and gutter, and street lighting were not included in the first set of submitted plans, but will be expected to be included in the revised set of submitted plans. Please note, that the proposed sidewalk should span the entire length of the property's frontage so that it connects with the sidewalk along the EconoLodge property frontage.

Frontage Road/79th Street is under Illinois Department of Transportation (IDOT) jurisdiction and an IDOT permit will be required for work within the right-of-way. The petitioner shall provide a copy of IDOT's review of the gun club's plans (which include the subdivision improvements mentioned above) to Village Staff before final zoning approval.

Trash Enclosure

The petitioner is proposing a 7' precast concrete trash enclosure on the north side of the building, just north of the loading area for the building. The trash enclosure must be constructed to look like masonry and shall appear to the color and style of the building. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

Additionally, the trash enclosure will be screened on the west, north, and south by low evergreen and deciduous shrubs, and by one existing, mature honey locust tree. Staff feels this should be adequate screening for the Willowbrook Inn parking area to the north.



Gun Club Filtration & Bullet Trap Specifications

The petitioner has provided specifications regarding the bullet trap and ventilation system in **Attachment 5**. Please see an excerpt of that language below:

“Air quality will be maintained through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from exiting designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.”

Gun Club HVAC Screening

Staff would like the petitioner to provide additional information regarding the location of the HVAC ventilation system. The location of the HVAC system should be noted on revised plans and screening should be provided via a screening wall or landscaping, depending on the location of this equipment.

Utilities

All existing and proposed utilities can be found on “The Site & Utilities” plan in **Attachment 2** of this report. The property is serviced by existing watermain along the frontage of the property, however, only the portion of the watermain on Lot 4 is located within a utility easement. The Village’s Engineering Consultant has advised the petitioner that the portion of the watermain on Lot 2 will also need to be located within a utility easement. A permit from DuPage County Public Works will be required for the proposed sewer connection.

Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, which was specifically requested by Staff and the Plan Commission at the Plan Commission meeting on May 18, 2016. The purpose of the Traffic Impact Study is to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

This Traffic Study has been reviewed by our traffic consultant from Gewalt Hamilton Associates (GHA) who has confirmed that the following are true:

- The proposed gun club is projected to generate a low volume of traffic during the critical weekday evening peak hours.
- Access to the proposed gun club is to be provided via one full access drive on the east side of Frontage Road, approximately 375’ south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.
- No left-turn lane will be required to accommodate site access on Frontage Road.
- Intersections near the proposed development currently operate at acceptable levels of service and will continue to do so with the proposed gun club.



Preliminary & Final Plat of Subdivision

The petitioner has submitted a preliminary plat of subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision. The petitioner will also need to submit a final plat of subdivision to be reviewed BEFORE the second Plan Commission meeting for this case, in order to receive a Plan Commission recommendation to the Village Board.

Lighting

The petitioner has submitted a photometric plan for the proposed gun club facility. The photometric plan has been reviewed by the Village's engineering consultant, and with the exception of street lighting, which was not included in the plans (but will be required in future revised plans), the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance.

Liquor License

Alcohol would be served on the premises in specific member only lounge areas. A strict enforcement policy, patterned after national "best practices" would physically prevent and prohibit any member who has been served alcohol from accessing the range facilities and/or firearms for the remainder of that particular day. If alcohol is permitted, Staff recommends that the Plan Commission include a condition in their future motion restricting the sale and consumption of alcohol to the member only lounge areas.

Jeep Retail

A 20' x 60' Jeep retail space will be provided near the front entrance of the proposed gun club facility. It is unclear if these vehicles will be available for test driving. The petitioner should clarify this at a Plan Commission meeting for his case.

Tri-State Fire District Review

The Tri-State Fire District Fire Marshall provided preliminary comments to the petitioner in January 2017. The Fire Marshall had the following comments related to zoning review of the proposed facility:

1. **Tri-State Comment:** The proposed building has one access way in and out. This access way must be wide enough for two of our vehicles to enter or exit this property at one time (our widest).

Staff Comment: The petitioner shall revise the fire truck turning radius exhibit to illustrate that two of the widest Tri-State vehicles will be able to enter and exit the property.

2. **Tri-State Comment:** We would like to see two fire hydrants on site (1) within 50 feet from the sprinkler connection and (1) near the southwest parking island.

Staff Comment: The petitioner shall submit revised plans siting a fire hydrant within 50' of the sprinkler connection and a fire hydrant near the southwest parking island. Please note that all fire hydrants must be located at least 15' from a parking area, per State code.

3. **Tri-State Comment:** The Fire departments vehicles must be able to make a turn and turn around in this parking lot.

Staff Comment: The petitioner has submitted a fire truck turning radius exhibit proving that Tri-State fire truck vehicles will be able to maneuver on site. This exhibit should be resubmitted with the addition referenced above.

4. **Tri-State Comment:** The proposed building must be fire sprinkled and fully fire alarmed.



Staff Comment: None.

Findings of Fact

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved. The applicant has also drafted responses to these standards, which are attached as **Attachment 5**.

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Recommended Conditions

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a future motion for this case.

1. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
2. The sale and consumption of alcohol on the premises shall be restricted to the proposed member only lounge areas, as designated on the Architectural Plans.
3. The proposed metal material shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
4. Any smoking conducted on the premises must be conducted outside of the building.
5. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.
6. The petitioner shall obtain all necessary permits from IDOT prior to performing any work within the Frontage Road/79th Street right-of-way.
7. The proposed building must be fire sprinkled and fully fire alarmed.
8. There shall be no outdoor storage of materials or vehicles of any kind.
9. The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans submitted by the petitioner.
10. The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
11. The special use shall become null and void if the gun club facility ceases to operate for any 90 day period.

Once the Plan Commission and Staff have more information regarding the HVAC units, a condition may be necessary regarding screening of the HVAC units.



Summary

The Plan Commission first saw concepts for this project back in May of 2016 and were generally supportive of the proposed use. The proposed use will establish a unique business in the Village of Willowbrook, bring new people to town, and support existing hotels, surrounding restaurants and retail uses. Staff has reviewed the preliminary plans, submitted in January 2017, and finds them generally in compliance with the concept plans presented to the Plan Commission back in May of 2016.

Minor changes, as well as additional submittal materials will still be required from the petitioner prior to forwarding to the Village Board a formal consideration. Chief among those revisions include the addition of curb and gutter, sidewalk, and street lighting to the plans, as well as submitting a stormwater submittal for the Village's Engineering Consultant to review.

Other question or concerns may come out of the public hearing process and can also be incorporated into any final direction to the petitioner when finalizing their plans for a formal vote at a future Plan Commission meeting. Any motion to continue the hearing should include the date and location of the continued meeting.

Development Concept Executive Summary

Who:	<p>Private local investor group including Joe Neveril, an Illinois attorney since 1996;</p> <p>Management and Advisory team would include current and former police, certified firearm safety trainers, ex-military, legal / accounting / regulatory expertise, and a franchised new car dealer with over 30 years of experience in the local market.</p> <p>Architectural Firm: Damian Farrell Design Group, PLLC Specialized Equipment Vendor: Action Target</p>
What:	<p>Develop the Chicagoland Area's first <u>state-of-the-art, luxury</u> indoor shooting range with emphasis on SAFETY, EDUCATION & PREPAREDNESS.</p> <p>Revenue would be generated from the following sources:</p> <ul style="list-style-type: none"> • Member initiation fees and monthly dues; • Sale of merchandise: <ul style="list-style-type: none"> ◦ Firearms and ammunition; ◦ Firearms accessories (optics, holsters, kits, etc.); ◦ Emergency / Survival / Outdoor gear; • Rentals (Lanes and Firearms) / Potential municipal police contracts; • Firearm safety / training classes (e.g, CCL, "Know Your Surroundings", Self-Defense, etc.); • Limited food and drink; • Sale of customized 4x4s to survivalist/outdoor/hunting market.
When:	Commence construction in Fall of 2016, if permitted.
Where:	3.42 vacant acres located at 79 th Street and Frontage Rd., Willowbrook.
Why:	The opportunity for lawful gun owners to properly train in a luxurious, comfortable, clean, and safe environment simply does not exist in this area.
How:	<p>Build a world class training facility with a luxury resort/private club "look and feel":</p> <ul style="list-style-type: none"> • 29,000 sq. ft. brand new structure; • Luxurious appointments and high-end finishes throughout; • Highest grade HVAC system / bullet traps / lighting / airflow quality; • 32 total shooting lanes, Tactical Bay with computerized targeting systems; • 4,000 - 7,000 sq. ft. retail area; • Multiple categories of membership with varying amenities and benefits; • Member-exclusive access to dedicated luxury areas (fireplaces, flat screen TVs, leather seating, outdoor cigar lounge); • High-tech classroom area(s) dedicated to education & safety training.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

I. Safety First: Firearm Education & Training Opportunities Lag Firearm Proliferation

On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public.⁽ⁱ⁾ The new “concealed carry” law went effective January 1, 2014. Nine thousand (9,000) concealed carry licenses (CCLs) were issued to DuPage County residents from January 1, 2014, through December 31, 2015; Forty thousand were issued to neighboring Cook County residents over that same two-year period.⁽ⁱⁱ⁾

Nearly ten thousand people within DuPage County are allowed to generally go about their daily lives carrying a concealed firearm. They could be at a restaurant, at a department store, almost anywhere. Do they know how to handle their weapon safely? Do they know how to check if it is loaded, cocked, ready to go off, etc.? To obtain a CCL, Illinois law requires applicants to have successfully passed a 16 hour training course taught by a certified CCL instructor. How many CCL permit holders have forgotten the lessons taught in the program? Most importantly, where do they go to review and practice to ensure basic proficiency and adherence to safety protocols?

Simply stated, there is a void in the local marketplace. Given the barriers to approval, permitting, and construction, indoor gun ranges—places where one can go to train regardless of the weather—have failed to keep pace with the increase in firearm demand. Consequently, indoor facilities “have never been busier.”⁽ⁱⁱⁱ⁾ The Illinois State Rifle Association estimates that concealed carry will generate \$1 billion of added economic activity over its first three years.^(iv)

Despite the surge in popularity, gun ranges are noticeably absent in affluent DuPage County, especially within the I-88 E-W and I-55 N-S band:



In the diagram above, each blue dot represents a location of shooting range, shooting facility or preserve per the National Shooting Sports Foundation (NSSF) database within 5, 10 and 15 miles from our proposed site. Only two (2) of the indicated locations are actual indoor ranges open to the public (all the others are archery only, outdoor only, golf clubs with outdoor shooting areas, and other non-comparables).

Historically, the two nearest indoor range options for residents of the affluent Willowbrook, Hinsdale, Burr Ridge, Oak Brook, Clarendon Hills and Darien area have been Midwest Guns in Lyons and Article II in Lombard. On February 15th of this year, “The Range at 355” opened in Bolingbrook. And although each of these indoor ranges may be doing well financially, none of these facilities offer the luxury, upscale “guntry club” amenities that are becoming increasingly popular across the United States. We discuss the emergence of this new indoor range business model in detail in the next section.

II. The “Guntry Club” Concept: A State-of-the-Art Shooting Facility with Member Amenities

With the opening of the Scottsdale Gun Club in 2004, the up-scale, luxury indoor shooting range concept—“the guntry club”—was born.^(vi) The term has emerged as way to describe posh indoor shooting ranges that have been designed to appeal more to women and families than traditional ranges.”^(vi) Lounges with leather chairs, flat-screen TVs and “members only” access are typical. In the most successful projects, private memberships are “pre-sold” prior to construction.

Consumer demand, as well as investor interest, has been steadily growing for such indoor facilities. According to the New York Times,

“...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls.”^(vii)

An article in the Washington Post describes the evolution towards upscale facilities:

The high-end ranges come as the \$15 billion gun industry’s sales have more than doubled since 2005. ... The average age of new target shooters is 33, while 47 percent live in urban or suburban areas, and 37 percent are female ... Shooters spend \$10 billion a year on target shooting, including the cost of firearms, ammunition and range fees.

Those demographics and economics are attracting investors without firearms industry backgrounds; they see ranges as a new place to employ their cash. Elite Shooting Sports, a nearly \$14 million project, has investors from the electronics industry. real estate, finance, hotel and auto industry executives have backed other new ranges.

“A lot of savvy investors have seen the surge in sales within the firearms industry, see that it’s a quality industry to invest in and are smartly doing so,” said Zach Snow, a range expert

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

at the sports foundation. “These ranges are trying to project a comfortable image to the largest contingent of people possible.”

Gone are the folding chairs, stale coffee and drab settings of the old mom-and-pop gun ranges. The idea now is to compete for entertainment dollars with golf and country clubs, nightclubs and movie theaters, which have also gone high-end with leather chairs and mixed drinks. Miami’s Lock & Load, which offers themed machine gun packages, including one with Israeli special forces weapons, is the No. 1-ranked activity in the city on TripAdvisor. Ranges are even becoming a new place to take clients for lunch — and squeeze off a few rounds.”
(viii)

In short, the industry is going up-scale (like what Top Golf is doing to driving ranges) and our proposed site—with as favorable demographics as anywhere in the country—is an ideal location.

III. The Potential Financial Engine

In terms of revenue, and by way of example, a well-known luxury gun club, with 32 shooting lanes and 4,000 sq. ft. of retail space, generated sales of \$1.628 million (and a gross profit of \$727,636) during a 3-month period (May-June, 2005) in its first year of operation. Two years later, in 2007, that same 3-month period (May-June, 2007) generated sales of \$2.905 million (and a gross profit of \$1,035,076).^(ix) Annualizing these figures suggests that potential taxable revenue could exceed \$6.5 million in the first year, and be well over \$11.5 million by the third. The revenue ceiling, however, may actually be much higher: a new luxury indoor facility located in Oklahoma City reportedly generated \$26 million in revenue in 2013.^(x)

In addition, none of these historical reference points included vehicle sales in their respective business models. Our concept also includes selling customized 4X4s (with 2 models on site at any given time) tailored to outdoor survivalists. Each customized vehicle will retail in the \$45,000 – \$60,000 range, depending on options. We anticipate selling between 2 and 5 such vehicles each month, which could account for an additional \$1 to \$3 million in annual taxable receipts.



Continuing with the preparedness / survivalist theme, we also intend on offering a wide range of merchandise tailored to this growing market segment. One product example is the “Bug-Out Bag” – a pre-packed bag that includes items that can keep a person or family alive in the harshest of conditions for a certain period of time. For many people, confidence in knowing that one’s family has a real and tangible survival plan in place provides peace of mind and improved overall quality of life.

IV. Conclusion

Guns are not going away. In fact, quite the opposite. And with each terrible event—whether it be terrorism or just some deranged person—gun purchases actually spike across the U.S. The weekend after the Paris attacks set records for gun purchases. The Chicagoland area is no exception.

Law abiding citizens are purchasing guns in record numbers, and many are obtaining CCLs, but the number of clean and comfortable locations in which to maintain adequate proficiency and to receive critical firearm safety training have not kept pace. This puts our families and children at risk of unintended injury.

Two years ago, the Willowbrook Zoning Board discussed the indoor gun range business model in detail, and then took the proactive steps to introduce a text amendment to the B-4 designation. As part of that process, Willowbrook re-zoned four nearby lots as B-4, and thus, identified location(s) potentially eligible for this type of use.

The (practically) adjacent subject property shares these very same characteristics and would be an ideal location for this business.

We welcome your thoughts, concerns and feedback on our development concept.

End Notes:

(i) Illinois Bar Journal, December 2013, Volume 101, Number 12, Page 620.

(ii) See “Concealed carry permit applications drop across Illinois”, By – Associated Press, State Journal-Register, February 1, 2016.

(iii) See “Illinois gun ranges busy, trying to meet demand” By - Associated Press - Sunday, March 23, 2014, Information attributed to The Daily Herald. See also: “Sign-ups soar for shooting classes; Jan. 5 first day for online concealed carry registration”, The Telegraph, by Sanford J. Schmidt, December 27, 2013; and “Demand for concealed carry keeps growing in suburbs”, The Daily Herald, January 16, 2014.

(iv) “Gun law fires up training for concealed-carry”, Illinois Business Journal, Written by Terry Hillig; December 2013.

(v) See Candace Carlisle, “Guns are the new range: Taking clients to the range”, Dallas Business Journal, September 27, 2013.

(vi) Arthur Hirsch, “Entrepreneurs plan posh 'guntry club' in Beltsville”, The Baltimore Sun, January 30, 2015.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

- (vii) Julie Turkowitz, “Ready, Aim, Fire, Then Relax in the Lounge”, The New York Times, November 28, 2014.
- (viii) Michael S. Rosenwald, “Guntry clubs target a new breed of shooter: younger, more affluent and female.” The Washington Post, January 13, 2015.
- (ix) Note: the gross profit figure does not include operating expenses –that is, no advertising, administrative, personnel expense or facility expense are included.
- (x) Arthur Hirsch, “Entrepreneurs plan posh 'guntry club' in Beltsville”, The Baltimore Sun, January 30, 2015.

PROJECT NUMBER 161107_05_02
DATE 12.30.2016

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527



VICINITY MAP



PROJECT DIRECTORY

LAND OWNER
TCGC PROPERTY, LLC
321 CENTER STREET
HILLSDALE, ILLINOIS 60162

PETITIONERS
TCGC PROPERTY, LLC
321 CENTER STREET
HILLSDALE, ILLINOIS 60162
- AND -
THE CHICAGO GUN CLUB, LLC
4825 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515

ARCHITECT
DAMIAN FARRELL DESIGN GROUP PLLC
359 METTIE DRIVE, SUITE 4A
ANN ARBOR, MICHIGAN 48103
PH. 743.698.1331

CIVIL ENGINEER
MORRIS ENGINEERING, INC.
515 WARRENVILLE ROAD
LIBLE, ILLINOIS 60532
PH. 630.271.0770

SURVEYOR
ROAKE AND ASSOCIATES, INC.
1884 QUINCY AVENUE, SUITE 100A
NAPERVILLE, ILLINOIS 60540
PH. 630.355.4400 x 210

LANDSCAPE ARCHITECT
DAVID R. McALLUM ASSOCIATES, INC.
350 NORTH MILWAUKEE AVENUE
LIBERTYVILLE, ILLINOIS 60048
PH. 847.282.0209

TRAFFIC CONSULTANT
KENIS, LINDGREN, O'HARA, ARDONA, INC.
6575 WEST HIGGINS ROAD, SUITE 400
ROSEMONT, ILLINOIS 60018
PH. 847.518.9900

LIGHTING CONSULTANT
KSA LIGHTING AND CONTROLS
1220 CENTRAL AVENUE
HANOVER PARK, ILLINOIS 60133

GENERAL CONTRACTOR
TBD

PROJECT SUMMARY

PROJECT DESCRIPTION
THE PROPOSED PROJECT IS A TWO-STORY, 31,000 sq. ft. MIXED USE FACILITY WHICH INCLUDES:
- INDOOR FIRING RANGE (18,820 sq. ft.)
- RETAIL (5,380 sq. ft.)
- ASSEMBLY (4,820 sq. ft.)
- WAREHOUSE (2,760 sq. ft.)
- OFFICES (1,685 sq. ft.)
- CLASSROOM (900 sq. ft.)

THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 120 CARS (INCLUDING 5 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

SITE DATA

PARCEL I.D.	08-26-402-029 08-26-402-018			
ZONING DISTRICT	EXISTING: B-3, GENERAL BUSINESS PROPOSED: B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT			
SITE AREA	EXISTING: 3.4 acres (148,848 sq. ft.) REQ'D (for B-4): 2.0 acres min. (87,120 sq. ft.)			
REQUIRED SETBACKS	FRONT YARD: 100 ft. INT. SIDE YD: 40 ft. EXT. SIDE YD: 60 ft. REAR YARD: 40 ft. MAX ALLOW. HEIGHT: 35 ft. MAX LOT COVERAGE: 50%	PROPOSED SETBACKS PROPOSED HEIGHT: 34 ft. PROPOSED LOT COVERAGE: 17%	FRONT YARD: 100 ft. INT. SIDE YD: 67.6 ft. EXT. SIDE YD: 79 ft. REAR YARD: 68 ft.	
SITE SIGNAGE REQUIREMENTS	MIN. SETBACK: 5 ft. MAX. HEIGHT: 24 ft. MAX SIGN SURFACE: 400 sq. ft.	PROPOSED SITE SIGNAGE SIGN SETBACK: 5 ft. PROP. HEIGHT: 12 ft. PROPOSED SIGN SURFACE: 224 sq. ft. (total of both sides)		
PARKING CALCULATION	SPACE INDOOR FIRING RANGE RETAIL JEEP RETAIL ASSEMBLY (LOUNGE) WAREHOUSE OFFICES CLASSROOM	QTY. 32 lanes 4,280 sq. ft. 1,100 sq. ft. 4,820 sq. ft. 2,760 sq. ft. 1,685 sq. ft. 30 seats	REQUIREMENT 2 spaces per lane 4 spaces per 1,000 sq. ft. 1 space per 400 sq. ft. 1 space per 226 sq. ft. 1 space per 1.5 workers 1 space per 225 sq. ft. 1 per 3 seats TOTAL PARKING REQ'D: 128 SPACES (5 BARRIER-FREE)	NO. OF SPACES 64 spaces 20 spaces 3 spaces 21 spaces 2 spaces 8 spaces 10 spaces TOTAL PARKING PROPOSED: 120 SPACES (5 BARRIER-FREE)

SHEET INDEX

00-GENERAL	T1.0 TITLE SHEET, MAP + SHEET INDEX
01-ARCH	A1.0 BUILDING PLANS A2.0 ELEVATIONS A2.1 SIGNAGE A3.0 PERSPECTIVES AND MATERIAL NOTES
02-SURVEY	C1.0 SURVEY
03-CIVIL	1 COVER SHEET 2 GENERAL NOTES & SPECIFICATIONS 3 EXISTING CONDITIONS & DEMOLITION PLAN 4 GRADING PLAN 5 SWPP & EROSION CONTROL PLAN 7 DETAILS 8 DETAILS 9 DETAILS
04-LANDSCAPE	L1.0 LANDSCAPE PLAN L2.0 TREE INVENTORY
05-PHOTOMETRIC	E1.0 PHOTOMETRIC SITE PLAN E1.1 SIGN ELEVATION E1.2 CUT SHEETS

DESIGN Designer
DRAWN Author
PROJECT NUMBER 161107_05_02

TITLE SHEET, MAP +
SHEET INDEX

T1.0

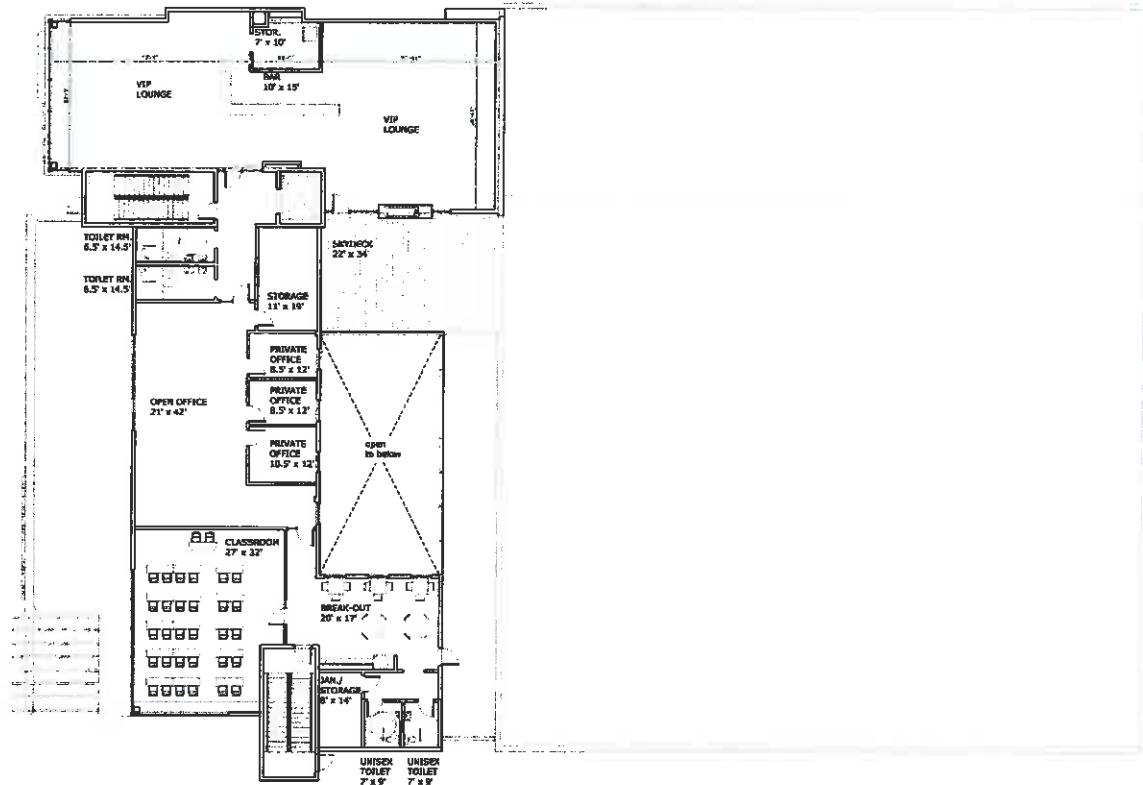
SITE PLAN REVIEW

THE CHICAGO GUN CLUB
79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527

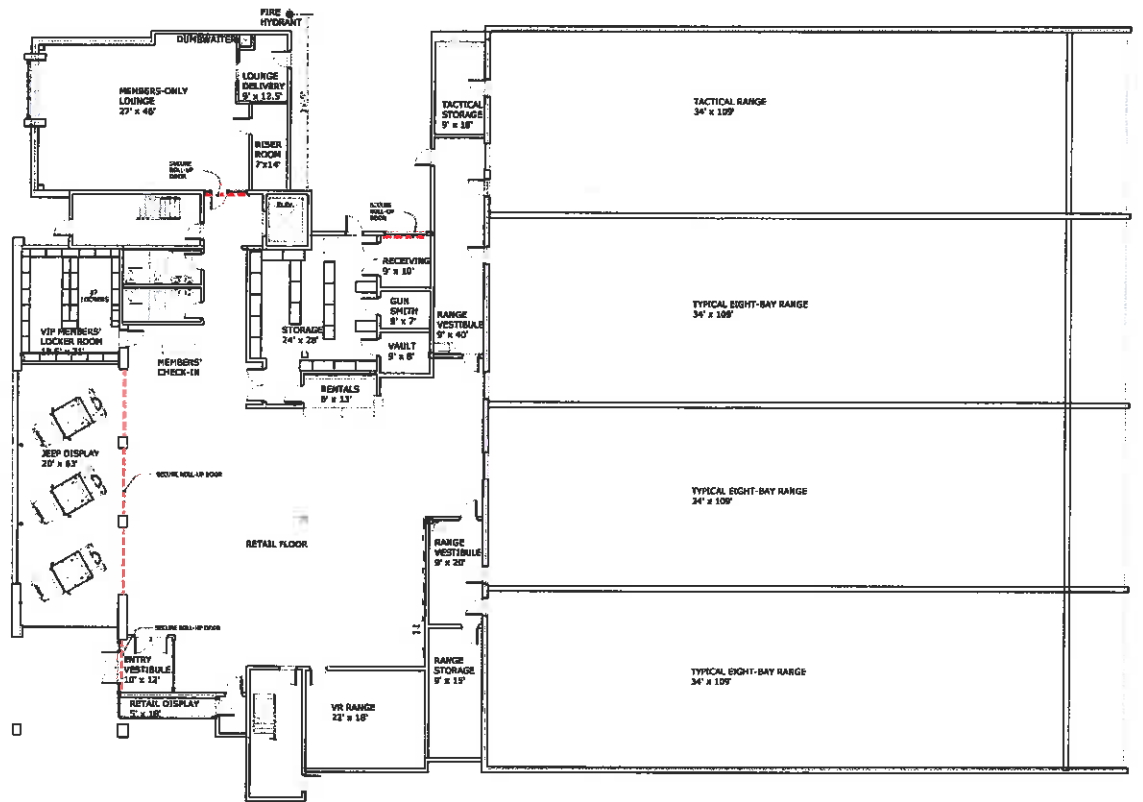
DATE DESCRIPTION

Damian Farrell Design Group PLLC
359 METTIE DRIVE, SUITE 4A
ANN ARBOR, MI 48103
PH. 743.698.1331
MA. 743.611.1333

LANDSCAPE ARCHITECT OF RECORD
CIVIL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD



② Second Floor Plan
1/16" = 1'-0"



① First Floor Plan
1/16" = 1'-0"

SITE PLAN REVIEW

DESIGN
DRAWN
PROJECT NUMBER

BUILDING PLANS

A1.0

Damian Farrell Design Group PLLC

359 BETTY DRIVE, SUITE 4A
WILLOWBROOK, ILLINOIS 60091
TEL: 708.431.1301
FAX: 708.431.2953

THE CHICAGO GUN CLUB

78TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60027

DATE

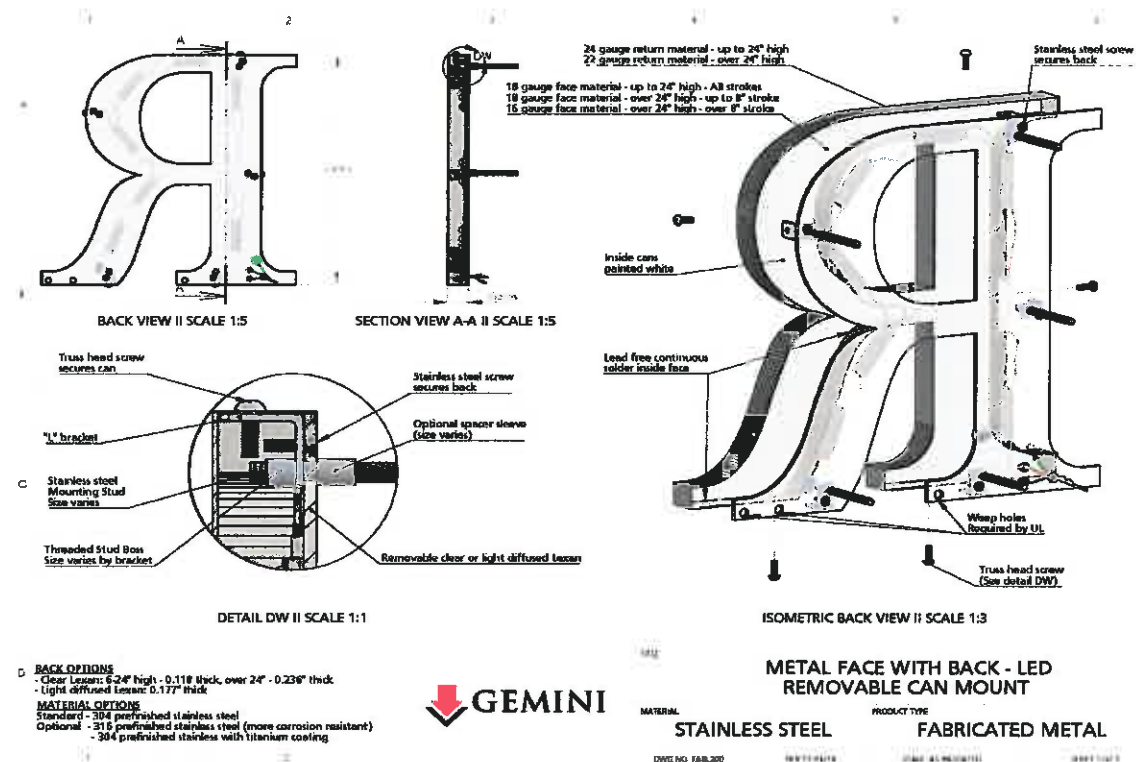
DESCRIPTION

Designer

Author

161107_05_02

S:\Data\PROJECTS\20161107_05_02_TGCG - Phase II\Revit\161231_SPA\161219_SPA SUBMITTAL.rvt



METAL FACE WITH BACK - LED
REMOVABLE CAN MOUNT

Typical Signage Construction

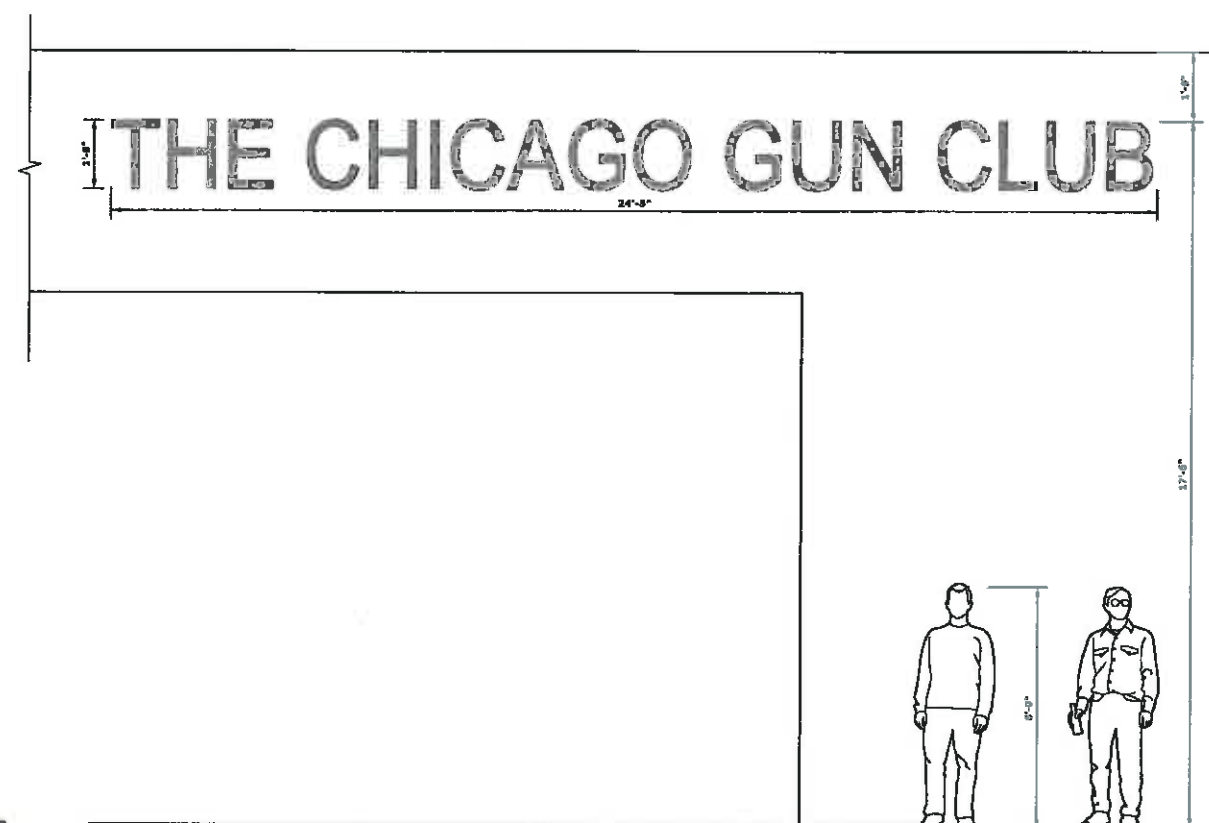
Illumination to be
White LED with light
diffused Lexan back
option



Sample installation



Finish Color:
"Old Copper"



Partial West Elevation
1/8" = 1'-0"

SITE PLAN REVIEW

DATE	DESCRIPTION
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_06_02

SIGNAGE

A2.1



Damian Farrell Design Group PLLC
539 METTYS DRIVE, SUITE 4A
ANN ARBOR, MI 48106
734.764.1313
FAX 734.764.1315

LANDSCAPE ARCHITECT OF RECORD
STRUCTURAL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD
MEP ENGINEER OF RECORD
ARCHITECT OF RECORD
THE CHICAGO GUN CLUB
78TH STREET AND FRONTAGE ROAD WILLOWBROOK, ILLINOIS 60027

IA/NSPS LAND TITLE SURVEY
OF
PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF
THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

LEGAL DESCRIPTION

PARCEL 2:

GROSS BOUNDARY AREA
BOUNDARY AREA = 148,971 S.F. OR 3.420 ACRES

000.00" M	MEASURED DATA
000.00" C	COMPUTED DATA
000.00" R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PN	PERMANENT INDEX NUMBER

000.00" M	MEASURED DATA
000.00" C	COMPUTED DATA
000.00" R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PN	PERMANENT INDEX NUMBER

LINETYPE LEGEND

BOUNDARY LINE
ADJOINER LOT LINE
CENTER LINE
RIGHT-OF-WAY
EASEMENT LINE
BUILDING LINE
SECTION LINE
UNDERLYING LOT LINE

**ROBERT KINGERY HIGHWAY
STATE ROUTE 83**

- EAST LINE OF ROUTE 83

2. BASIS OF READING: THE READING SHOWS ON THE PLAT

3. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GAPS OR OVERLAPS.

6. THE UNDERSIGNED DID NOT OBSERVE EVIDENCE OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING COLLAPSE.

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THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND TESTED DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT SUCH UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AND DEPTH AS INDICATED. IT IS POSSIBLE THAT THEY ARE LOCATED AT AN INACCURATE LOCATION FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

10. AN EASEMENT WAS RESERVED AND GRANTED TO ILLINOIS BELL TELEPHONE COMPANY WITHIN THE AREA SHOWN AS

PREPARED FOR:

CHICAGO GUN CLUB LLC
4825 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515
TEL (630) 670-5412

11. AN EASEMENT WAS RESERVED AND GRANTED TO THE VILLAGE OF WESTMONT WITHIN THE AREA SHOWN AS PARCEL A (ALSO KNOWN AS LOT 1) PER DOCUMENT R77-94180, AND ALSO PARCEL B (ALSO KNOWN AS LOT 1) PER DOCUMENT AND ALSO PARCEL C (ALSO KNOWN AS LOT 16) PER DOCUMENT R75-027108.

2. AN EASEMENT WAS RESERVED AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY WITHIN THE AREA SHOWN AS PARCEL A (ALSO KNOWN AS LOT 1) PER DOCUMENT R77-84180, AND ALSO PARCEL B (ALSO KNOWN AS LOT 1) PER DOCUMENT AND ALSO PARCEL C (ALSO KNOWN AS LOT 1B)

13. APPROXIMATE LOCATION OF EXISTING 10 FOOT NICOR EASEMENT PER DOC. R76-056518.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

- MARC IOZZO'S CHILDREN'S TRUST AND JOE NEVERIL
- DOWNERS GROVE NATIONAL BANK, AS TRUSTEE
MAY 27, 2003 AND KNOWN AS TRUST NUMBER
- CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD AND REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 8, 11, 13, 14, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 9, 2016.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED.

DATED THIS ____ DAY OF _____ A.D., 2016.

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2992
LICENSE VALID THROUGH NOVEMBER 30, 2016

ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS

ALTA/NSPS LAND TITLE SURVEY

DRAW./CVD. BY: SSB/DRM	FILE: 8341ALTA	FLD. BK./PG.: 284/75-77	SHEET NO. 1 OF 1
SCALE: 1"=30'	DATE: 5/18/16	JOB NO.: 834.001	

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

LEGEND

EXISTING	PROPOSED

	DECIDUOUS TREE
	EVERGREEN TREE
	OVERLAND FLOOD ROUTE
	DRAINAGE ROUTE
	DOWNSPOUT
	SILT FENCE LINE
	DEPRESSED CURB
	SOIL EROSION GEOTEXTILE PROTECTION
	CONCRETE
	BRICK
	ASPHALT
	BUILDING
	GRAVEL
	STONE

PROJECT LOCATION



PROJECT LOCATION MAP

PREPARED FOR

CHICAGO GUN CLUB, LLC.
WILLOWBROOK, ILLINOIS

NOTICE TO CONTRACTORS

EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)

ENGINEER'S CERTIFICATION

STATE OF ILLINOIS
SS.
COUNTY OF DUPAGE

I, ALGIS J. RUGIENIUS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, LISLE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONDING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS 11/07/2018 DAY OF NOVEMBER, A.D. 2018

ALGIS J. RUGIENIUS
ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 062-047342
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2017

INDEX OF SHEETS

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2. GENERAL NOTES & SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
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9. DETAILS

SHEET TITLE

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering & Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-2770
Fax: (630) 271-0774
Website: www.edrill.com



FIELD CHECK	GB
DRAWN BY	CS
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APPROVED BY	AR
DATE	11/07/2018
SCALE	HORIZ. 1"=40'
	VERT. 1"=10'
SHEET	1
OF 9 SHEETS	
PROJ # 16-PR-2003	

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

1. THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.
2. THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
4. THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.

1. ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, PCC CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
2. EARTHWORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:
 - A. REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE
 - B. PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING
 - C. STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL BE MADE.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.
5. EXISTING SEWER AND WATERMAIN TRENCHES UNDER DRIVEWAYS IN PARKWAYS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTED TRENCH BACKFILL.
6. EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

1. ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
3. SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS' PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
4. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
6. THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
7. THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTY-TWO (72) HOURS NOTICE BEFORE STARTING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
8. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 8.1. TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
8.2. VILLAGE OF WILLOWBROOK PUBLIC WORKS - (630) 920-2238
9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
10. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
13. THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES, AND ANY PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
14. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF SITE WATER. TILES THAT CONVEY OFF SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILL WITH C&G COMPACTED IN EIGHT (8) INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SPLIT TRENCHING.
15. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIVE HURDANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MAN-HOLES, CATCH BASINS, INLETS AND VALVE VAULTS AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
16. ALL MAN-HOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
17. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOOT FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
18. THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
19. THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
20. THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
21. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
22. ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

23. THE CONTRACTOR SHALL CONTACT J.U.I.E. (1-800-892-0123) PRIOR TO ANY WORK IN THE RIGHT OF WAY OR EASEMENTS TO LOCATE UTILITIES, AND CONTACT THE OWNER'S REPRESENTATIVE SHOULD PUBLIC UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
24. ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE MUNICIPALITY, AND ALL PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE SPECIFICATIONS.
25. ALL NEW CURB THAT MEETS EXISTING CURB WILL HAVE THREE DRILLED AND GROUDED L5 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5/8" DIAMETER FOR EACH NEW CURB ADJACENT TO EXISTING CURB.
26. FOR STRUCTURE ADJUSTMENT - MINIMUM OF 6" (2 U 3") ADJUSTING RISERS (10" MAX) CONCRETE RINGS WILL BE 3" MINIMUM. RUBBER CAN BE 1" - 3" AND MUST BE USED FOR TOP ADJUSTING RING IN PAVED AREAS. "EJIW INTRA-RISER RUBBER COMPOSITE ADJUSTMENT RISERS" OR APPROVED EQUAL.
27. ADD AN INTERNAL/EXTERNAL ADAPTOR SEAL ON THE ADJUSTED SANITARY MANHOLE. THE "IE A" SEAL STOPS INFLOW BETWEEN THE MANHOLE FRAME AND THE TOP ADJUSTING RING AND IT ALSO SEALS THE MANHOLE CHIMNEY FROM THE FRAME TO THE CORREL. ONE VENDOR OF THIS SEAL IS ADAPTOR INC,

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GENERAL NOTES AND SPECIFICATIONS

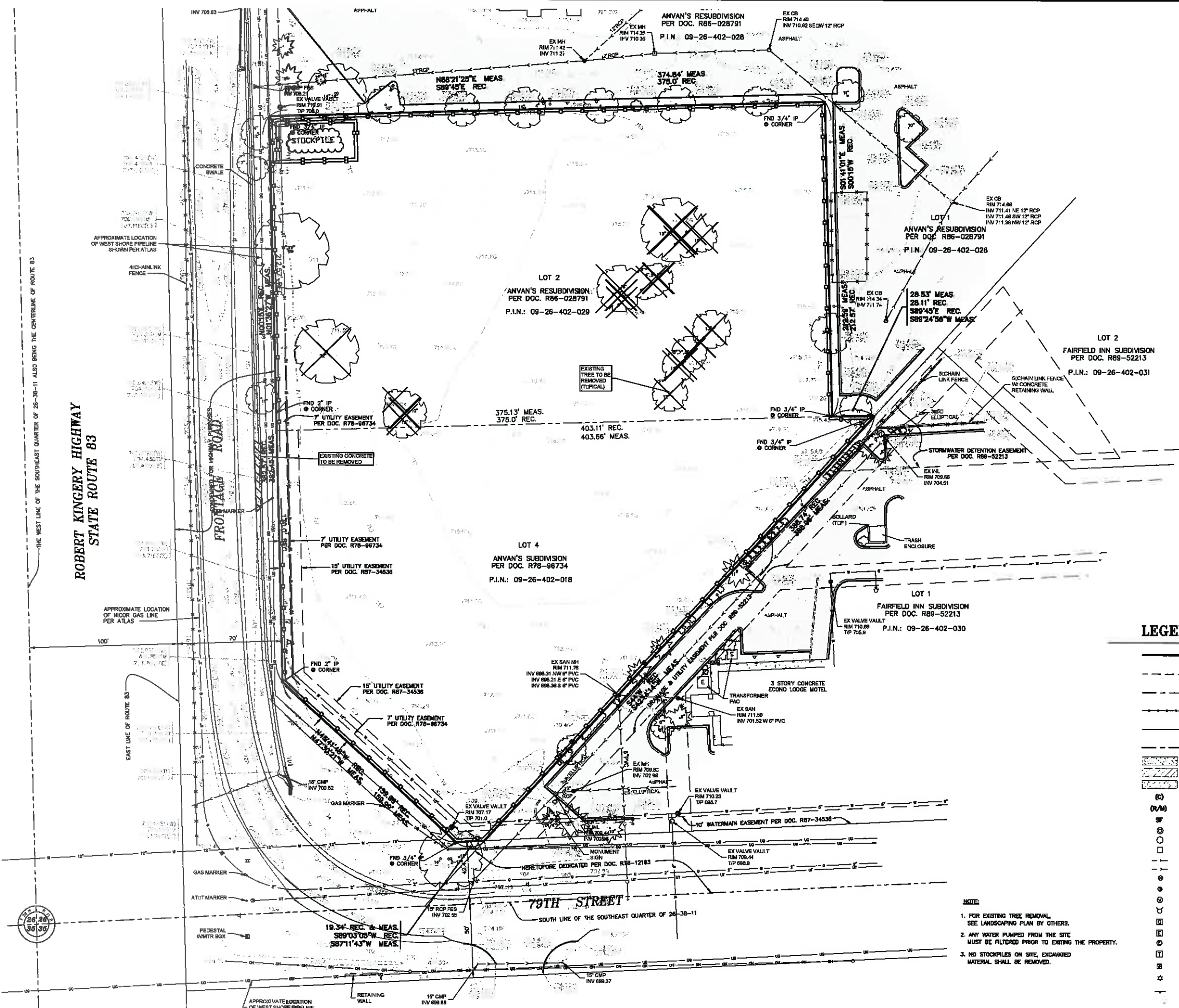
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.ecivil.com



FIELD OFFICER: GB
DRAWN BY: CJS
CHECKED BY: AS
APPROVED BY: AR
DATE: 11/07/2016
SCALE: HORIZ NONE
VERT NONE

SHEET
2
9 SHEETS
J# 16-PR-2003



LEGEND

- EXISTING BOUNDARY
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING FENCE
- EXISTING BUILDING
- CENTER LINE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- (C) CALCULATED
- (R/M) RECORD/MEASURED
- SF SQUARE FEET
- EXIST. MANHOLE
- EXIST. CATCH BASIN
- EXIST. CURB INLET
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- BUFFALO BOX (B-BOX)
- WATER VALVE & VAULT
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- ELECTRIC PEDESTAL
- PHONE PEDESTAL
- CABLE TV PEDESTAL
- LIGHT POST
- STREET SIGN
- DOWNSPOUT

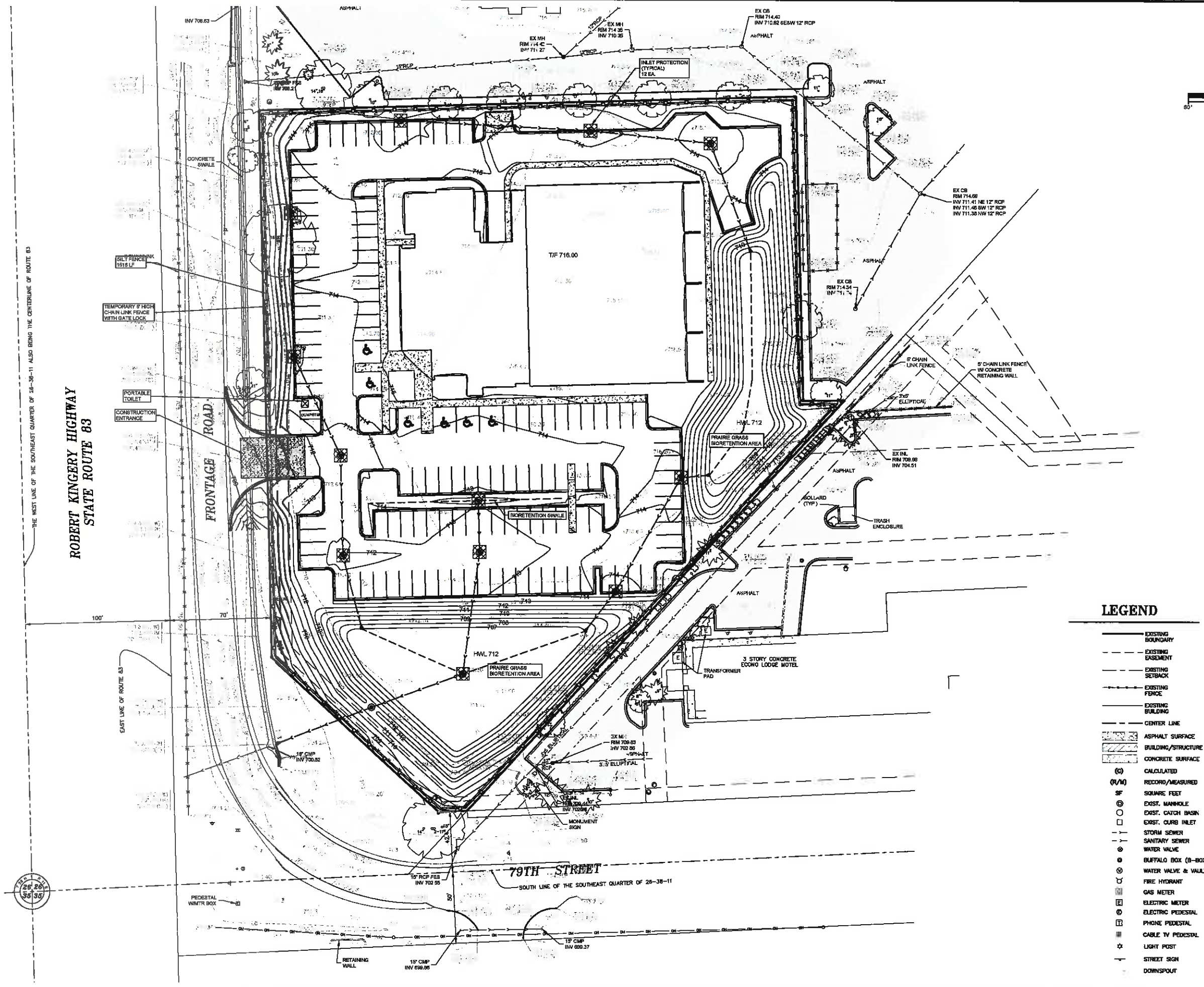
NOTE:
1. FOR EXISTING TREE REMOVAL, SEE LANDSCAPING PLAN BY OTHERS.
2. ANY WATER PUMPED FROM THE SITE MUST BE FILTERED PRIOR TO EXITING THE PROPERTY.
3. NO STOCKPILES ON SITE, EXCAVATED MATERIAL SHALL BE REMOVED.

EXISTING CONDITIONS AND DEMOLITION PLAN
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering & Consulting
Land Surveying
515 Waukegan Road, Suite 100
Phone: (847) 271-0770
Fax: (847) 271-0774
Website: www.edm.com



FIELD NO.	CS
DRAWN BY	CBS
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DATE	11/07/2018
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SHEET	3
OF 9 SHEETS	
PROJ #	16-PR-2003



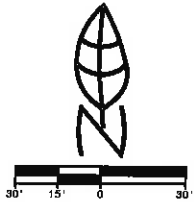
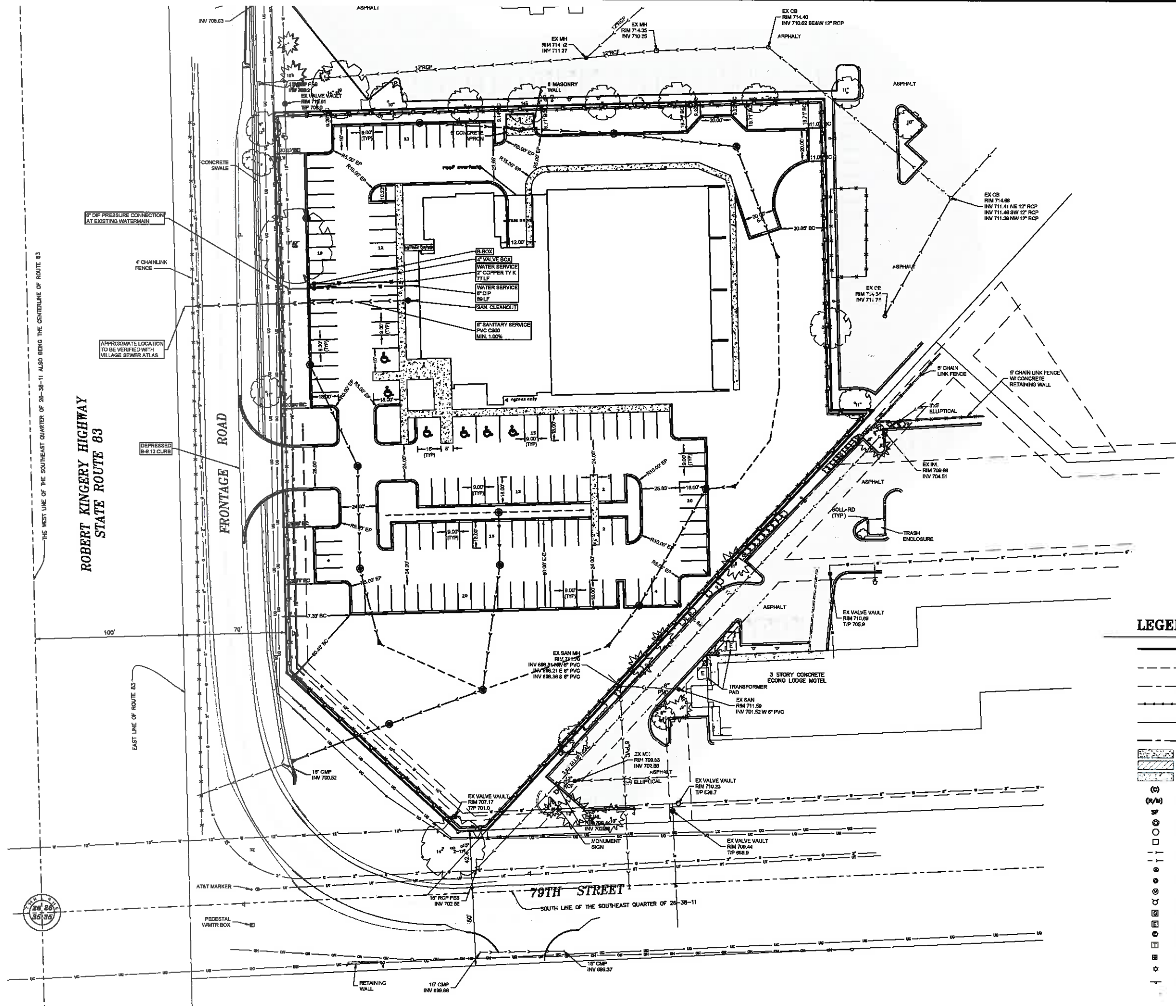
SWPPP & EROSION CONTROL PLAN

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering - Consulting
Land Surveying - Consulting
515 W. Main St., Suite 100
Willowbrook, IL 60522
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.morriseng.com



FIELD OFFICER:	CS
DRAWN BY:	CJS
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APPROVED BY:	AR
DATE:	11/07/2016
SCALE:	HORIZ. 1"=50'
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OF 9 SHEETS	
PROJ # 16-PR-2003	



LEGEND

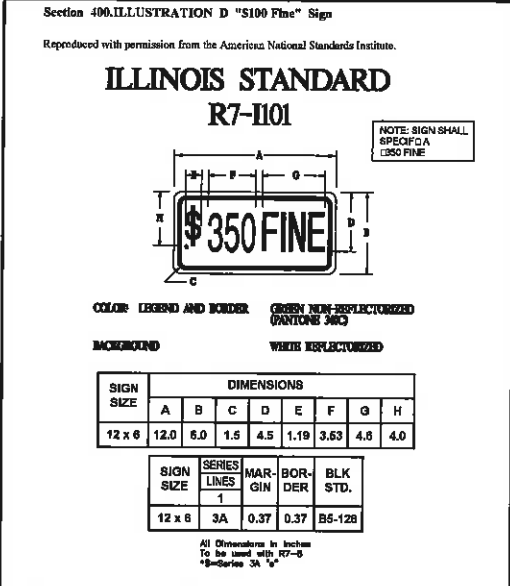
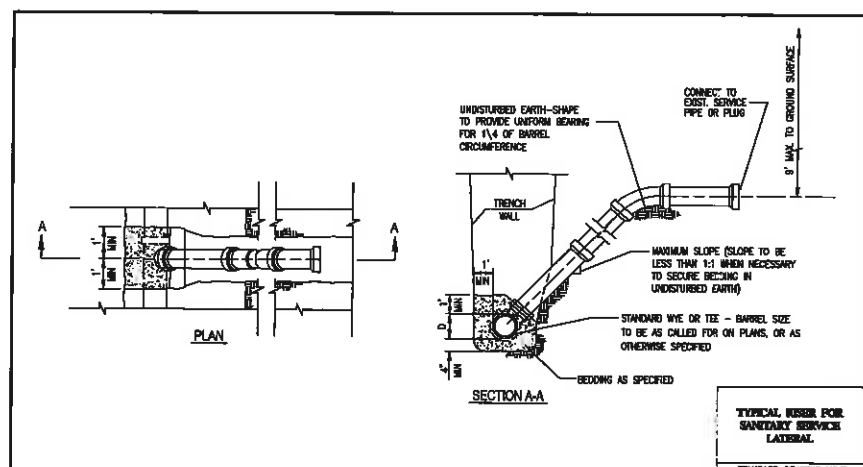
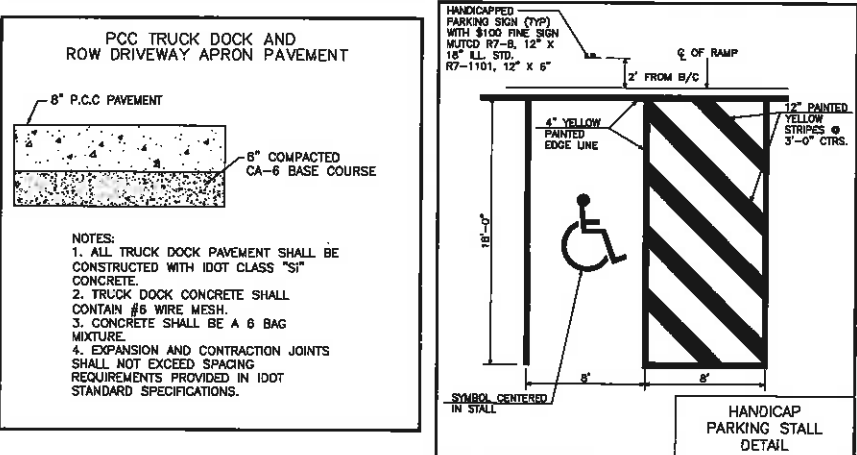
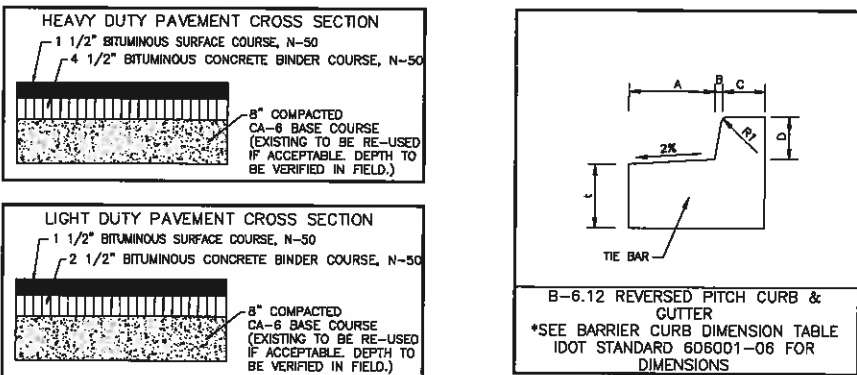
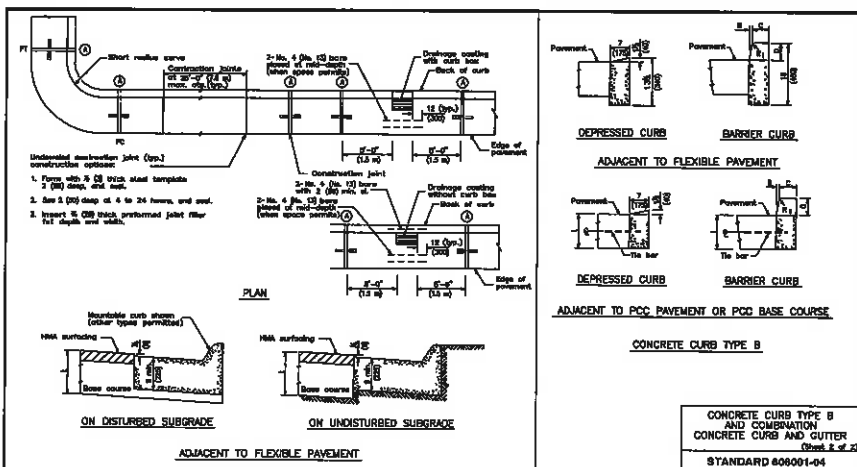
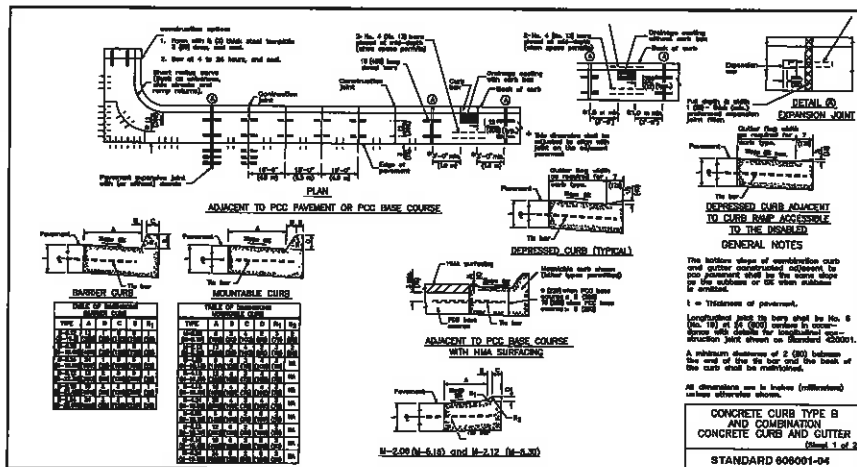
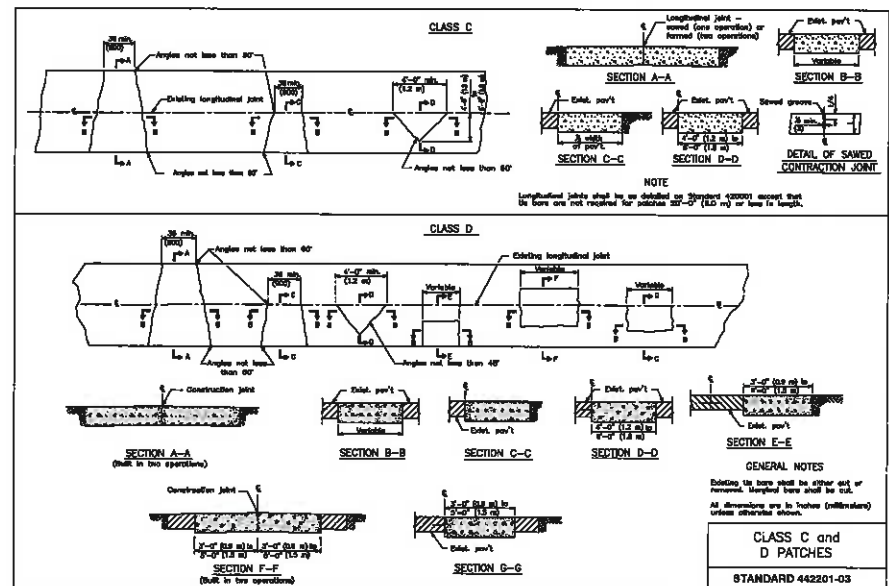
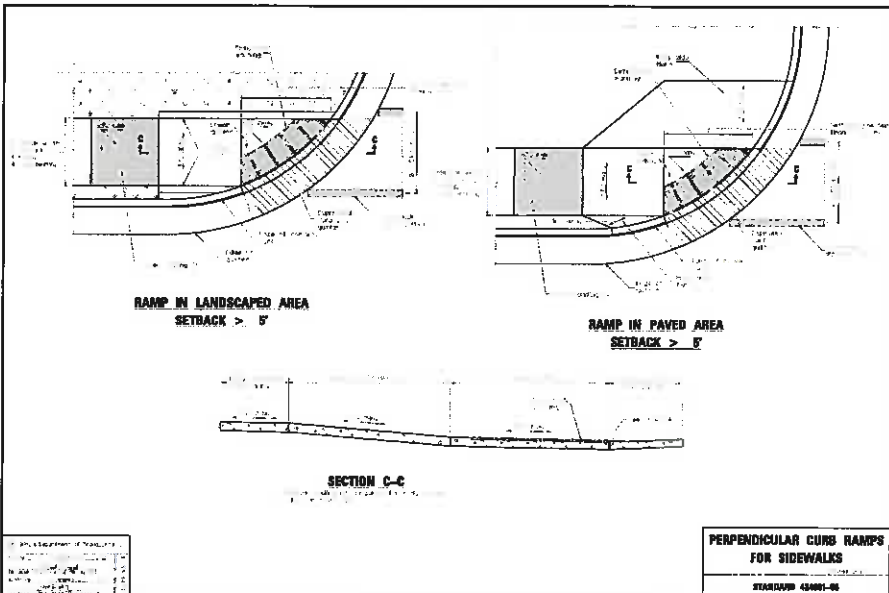
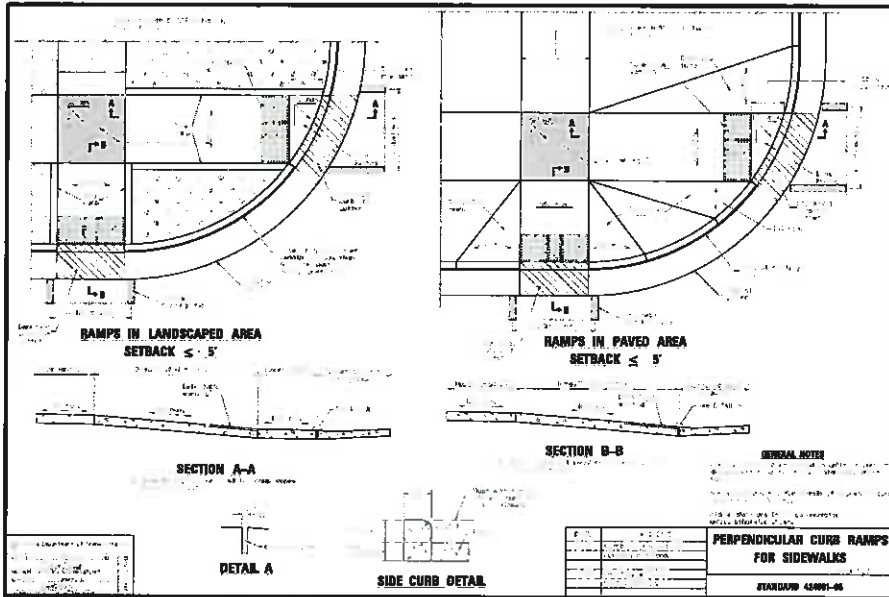
- EXISTING BOUNDARY
- EXISTING EASEMENT
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- STORM SEWER
- SANITARY SEWER
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- BUFFALO BOX (B-BOX)
- WATER VALVE & VAULT
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- ELECTRIC PEDESTAL
- PHONE PEDESTAL
- CABLE TV PEDESTAL
- LIGHT POST
- STREET SIGN
- DOWNSPOUT

SITE & UTILITIES PLAN
CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering & Consulting
Land Surveying
516 Westmoreland Road, Suite L, 60532
Phone: (630) 271-1770
Survey: (630) 271-0598
Fax: (630) 271-0774
Website: www.morris-eng.com



FIELD BOOK:	CS
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APPROVED BY:	AR
DATE:	11/07/2016
SCALE:	HORIZ 1"=30'
VERT:	NONE
SHEET	6
OF 8 SHEETS	
PROJ # 16-PR-003	



DETAIL SHEET

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.

Civil Engineering - Consulting

515 N. Dearborn (830) 271-1450

Survey (830) 271-0686

FAX: (830) 271-0774

Website: www.morrisinc.com



FIELD CHECK: GR

DESIGN BY: CJS

CHECKED BY: AS

APPROVED BY: AR

DATE: 11/07/2016

NO. OF SHEETS: 10/12

VERY NONE

SHEET 7

OF 9 SHEETS

PROJ # 16-PP-2003

ISOMETRIC VIEW
SHOWN WITH ROADWAY PROJECTS FILTER HAT

PLAN VIEW

ELEVATION VIEW

REPLACEMENT FILTERS: MODEL # R-140

ROUND FRAME & FILTER ASSEMBLY
Model # R-100A

FRAME & FILTER DISCHARGE ANALYSIS

HEAD (FT)	EQUATION USED	OPENING AREA (SQ FT)	FRAME AREA (SQ FT)	FILTER AREA (SQ FT)	FILTERED FLOW (GPM)
0.5	O	2.1	1.0	1.1	2
1.0	O	3.0	1.0	2.0	3
1.5	O	3.9	1.0	2.9	4
2.0	O	4.8	1.0	3.8	5
2.5	O	5.7	1.0	4.7	6
3.0	O	6.6	1.0	5.6	7

GENERAL NOTES:

- 1) ALL HIGH-FLOW MATERIAL
- 2) ALL HIGH-EFFICIENCY MATERIAL
- 3) HIGH-FLOW MATERIAL ON TOP HALF OF HAT, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF (THIS FILTER COVER IS RECOMMENDED FOR ALL ROADWAY PROJECTS)

IT IS THE PURCHASER'S RESPONSIBILITY TO PURCHASE APPROPRIATE FILTER HAT. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCKETS.

INSTALLATION:
FILTER HAT SHALL BE PLACED DIRECTLY OVER FILTER FRAME. TO KEEP FILTER FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE SHOWN DIRECTLY INTO FILTER HAT MATERIAL. EVERY FILTER HAT COMES IN ONE PIECE FOR EASY INSTALLATION.

MAINTENANCE:
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT R400A DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.

SPECIFICATIONS:
FILTER FABRIC SALT-SAYER HAT SHALL BE BASED ON DESIGN PROFESSIONAL'S SPECIFICATIONS.

HEAD - 3/8"
2.2"
2.0"
1.8"
1.6"
1.4"
1.2"

FRAME MATERIAL: BLACK 0.25" HWY#2
FILTER FABRIC MATERIAL: REFER TO SPEC
SCALE: NOT TO SCALE
LAST UPDATED: APRIL 2010

ALTERNATE BOTTOM SLAB

ELEVATION (Standard Outside)

ELEVATION (Cut View)

GENERAL NOTES:

- 1) All catch basins shall be 4'-0" (1.2 m) in width unless otherwise noted on the plans.
- 2) See Standard 60201 for details of slope.
- 3) All dimensions are in inches (millimeters) unless otherwise shown.

CATCH BASIN TYPE A
STANDARD 60201-01

PLAN

SECTION A-A

END VIEW

GENERAL NOTES:

- 1) All catch basins shall be 4'-0" (1.2 m) in width unless otherwise noted on the plans.
- 2) See Standard 60201 for details of slope.
- 3) All dimensions are in inches (millimeters) unless otherwise shown.

PRECAST REINFORCED CONCRETE FLARED END SECTION
STANDARD 542301-02

ELEVATION

ALTERNATE BOTTOM SLAB

GENERAL NOTES:

- 1) All catch basins shall be 4'-0" (1.2 m) in width unless otherwise noted on the plans.
- 2) See Standard 60201 for details of slope.
- 3) All dimensions are in inches (millimeters) unless otherwise shown.

CATCH BASIN TYPE C
STANDARD 60201-01

CAST GRATE

SECTION A-A

GENERAL NOTES:

- 1) All catch basins shall be 4'-0" (1.2 m) in width unless otherwise noted on the plans.
- 2) See Standard 60201 for details of slope.
- 3) All dimensions are in inches (millimeters) unless otherwise shown.

STORM INLET GRATES SHALL HAVE THE "DRAINS TO CREEK" EMBLEM

GRATE TYPE B
STANDARD 604036-02

PIPE OUTLET TO FLAT AREA

PLAN

SECTION A-A

NOTES:

1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class I, II or III.
2. The rock riprap shall shall meet the IDOT requirements for the following gradation: RR-3, Quality 1.
3. The riprap shall be placed according to construction specification 61 LOOSE ROCK RIPRAP. The rock may be equipment placed.

REFERENCE:
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____

NRCS
Natural Resource Conservation Service

STANDARD DWG. NO. IL-610
SHEET 1 OF 1
DATE 9-15-93

ELEVATION

ALTERNATE BOTTOM SLAB

GENERAL NOTES:

- 1) All catch basins shall be 4'-0" (1.2 m) in width unless otherwise noted on the plans.
- 2) See Standard 60201 for details of slope.
- 3) All dimensions are in inches (millimeters) unless otherwise shown.

CATCH BASIN ST-0

RIPRAP TABLES

Table 1
Rock Riprap Sizes and Thickness (Inches)

IDOT Grad. No.	d50	dmax	Min. Blanket Thickness
RR-3 1/	5	10	15
RR-4	9	14	20
RR-5	12	19	28
RR-6	15	22	32
RR-7	18	27	32

1/ Concrete block may be used to replace RR-3

Table 2
Minimum IDOT Rock Sizes and Apron Length (La in feet) for Maximum and Minimum Tailwater Conditions

Culvert Size (Inches)	Min. Tailwater		Max. Tailwater	
	Rock Size	La	Rock Size	La
12	RR-3 10	12	RR-3 12	15
18	RR-3 14	16	RR-3 14	16
24	RR-3 16	20	RR-3 16	16
30	RR-3 18	22	RR-3 16	17
36	RR-4 20	24	RR-3 16	20
48	RR-4 24	28	RR-4 20	22
60	RR-6 36	32	RR-4 22	24
72	RR-6 40	44	RR-5 24	26
	RR-7 50	54	RR-5 26	29

1/ Maximum conduit velocity fps.

Rock Gradation source: IDOT SCS IL April 1993

TYPICAL TAP SERVICE PIPING CONNECTION

STANDARD DRAWING NO. 17

TYPICAL VALVE BOX INSTALLATION

STANDARD DRAWING NO. 14

DETAIL SHEET

CHICAGO GUN CLUB
WILLOWBROOK, ILLINOIS

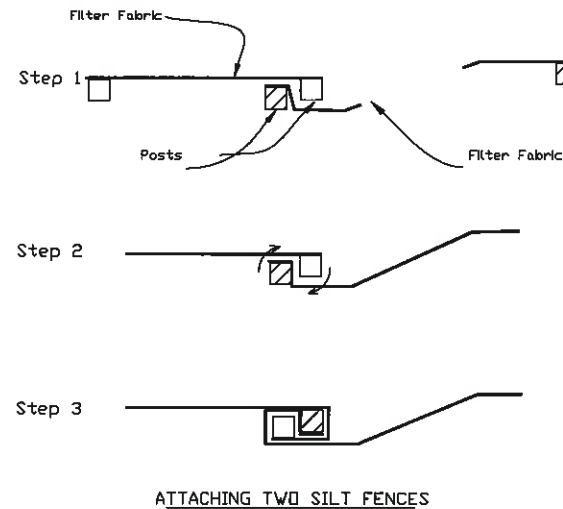
Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying • Consulting
515 Westmire Road, Suite 100, Willowbrook, IL 60522
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.morriseng.com

MEI
MORRIS ENGINEERING, INC.
BETTER. FASTER. CHEAPER.

FIELD NO: 09
OWN BY: CUS
DESIGNED BY: AS
APPROVED BY: AR
DATE: 11/02/2018
SCALE: HORIZ. NONE
VERT. NONE

SHEET 8
OF 9 SHEETS
PROJ # 16-PR-2003

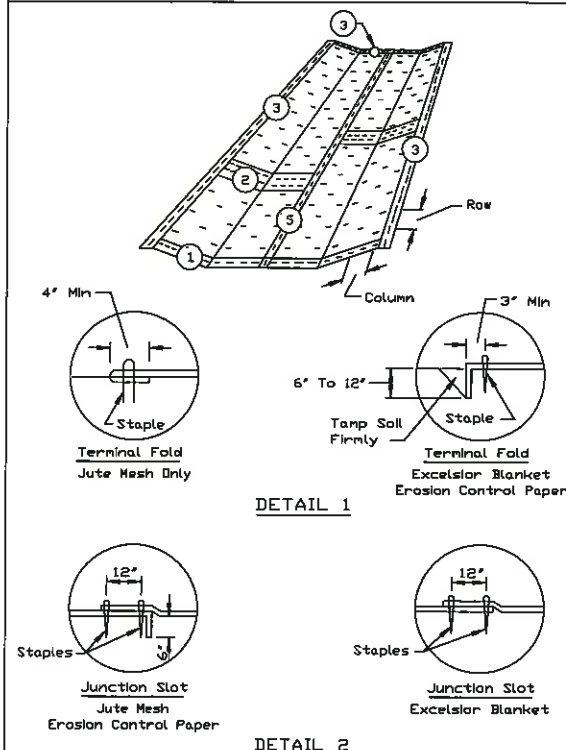
SILT FENCE



- NOTES:
- Place the end post of the second fence inside the end post of the first fence.
 - Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
 - Drive both posts a minimum of 18 inches into the ground and bury the flap.

REFERENCE	Project	Date	NRCS	STANDARD DWS NO.
Designed	_____	_____	IL-620(W)	
Checked	_____	_____	SHEET 2 OF 2	
Approved	_____	_____	DATE 1-29-99	

EROSION BLANKET PLAN



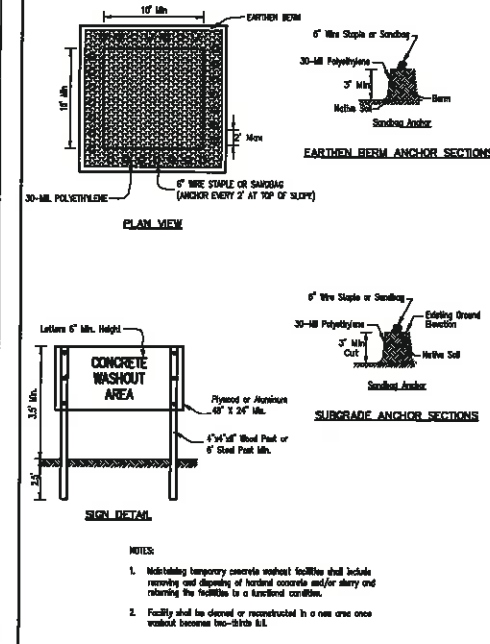
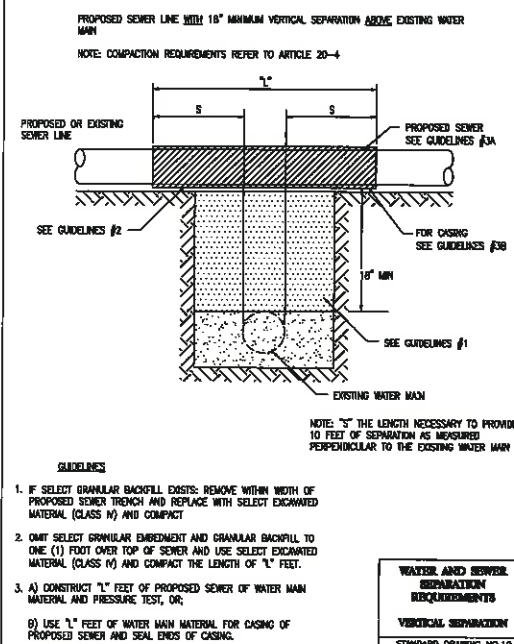
REFERENCE	Project	Date	NRCS	STANDARD DWS NO.
Designed	_____	_____	IL-530	
Checked	_____	_____	SHEET 1 OF 2	
Approved	_____	_____	DATE 3-24-94	

Wet to Mastic Prairie with Flowers Mix - to be planted within the Bioswale

Scientific Name	Common Name	Per Sq. Yd.
Andropogon gerardi	Big Bluestem Grass	1.500
Asclepias spp.	Milkweed	0.063
Aster laevis	Smooth Blue Aster	0.016
Aster novae-angliae	New England Aster	0.031
Aster praeclaus	Willow Aster	0.031
Calamagrostis canadensis	Blue Joint Grass	0.063
Carex stricta	Large Yellow Fox Sedge	0.125
Carex lasiocarpa	Black's Owl Sedge	0.125
Carex normalis	Spreading Owl Sedge	0.125
Carex vulpina	Brown Fox Sedge	0.500
Coma fasciculata	Partridge Pea	0.250
Dryas canadensis	Canada Kidney	1.000
Elymus canadensis	Common Wheat	0.015
Eupatorium perfoliatum	Great St. John's Wort	0.063
Hypericum pyramidatum	Blue Flag	0.125
Vi virginica	Prairie Burning Star	0.113
Urtica dioica	Marsh Burning Star	0.188
Lobelia spicata	Great Blue Lobelia	0.031
Lobelia siphilitica	Monarda	0.031
Monarda spicata	Wild Bergamot	0.063
Monarda fistulosa	Switch Grass	0.500
Panicum virgatum	Wild Oatgrass	0.125
Portulaca integrifolia	Purple Prairie Clover	0.250
Portulaca purpurea	Chickweed Plant	0.063
Physocarpus opulifolius	Common Mountain Mint	0.063
Pyrola asarifolia	Yellow Camellia	0.250
Rudbeckia hirta	Black-eyed Susan	0.250
Salix atrocinerea	Dark Green Rush	0.500
Silphium laciniatum	Compass Plant	0.188
Silphium perfoliatum	Cup Plant	0.250
Solidago rigida	Rudebeck's Goldenrod	0.063
Solidago rigida	Silphium	0.125
Sorghastrum nutans	Indian Grass	1.000
Spartina pectinata	Prairie Cord Grass	0.500
Veronica fasciculata	Common Ironweed	0.031
Veronica virginica	Culver's Root	0.063
Zizia aurea	Golden Alexander	0.031
Total		8.925

BIORETENTION SWALE

NOT TO SCALE



Sedge Meadow Seed Mix

Grasses, Sedges, and Rushes	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Carex comosa		Bristly Sedge	16	
Carex vulpinoidea		Brown Fox Sedge	18	
Elymus virginicus		Virginian Wild Rye	48	
Panicum virgatum		Switch Grass	120	
Total Grasses, Sedges, and Rushes:			208	13

Forbs	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Achillea millefolium		Swamp Milkweed	8	
Helenium autumnale		Snowflake	2	
Lobelia cardinalis		Cardinal Flower	1	
Lobelia spicata		Great Blue Lobelia	1	
Penstemon digitalis		Deadwort Beard Tongue	5	
Physostegia virginiana		Obedient Plant	3	
Solidago rigida		Rigid's Goldenrod	8	
Total Forbs:			32	2
Total Grasses, Sedges, Rushes and Forbs:			240	15

Temporary Cover Crop	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Avena sativa		Common Oats	320	20
Applied at the rate of 15 lbs. per acre. Cover with NAC S75BN Erosion Control Blanket (biodegradable).				

Short Grass Prairie Seed Mix

Grasses	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Andropogon scoparius		Little Bluestem	240	
Bouteloua curtipendula		Side Oats Grass	56	
Elymus canadensis		Canada Wild Rye	24	
Total Grasses:			320	20

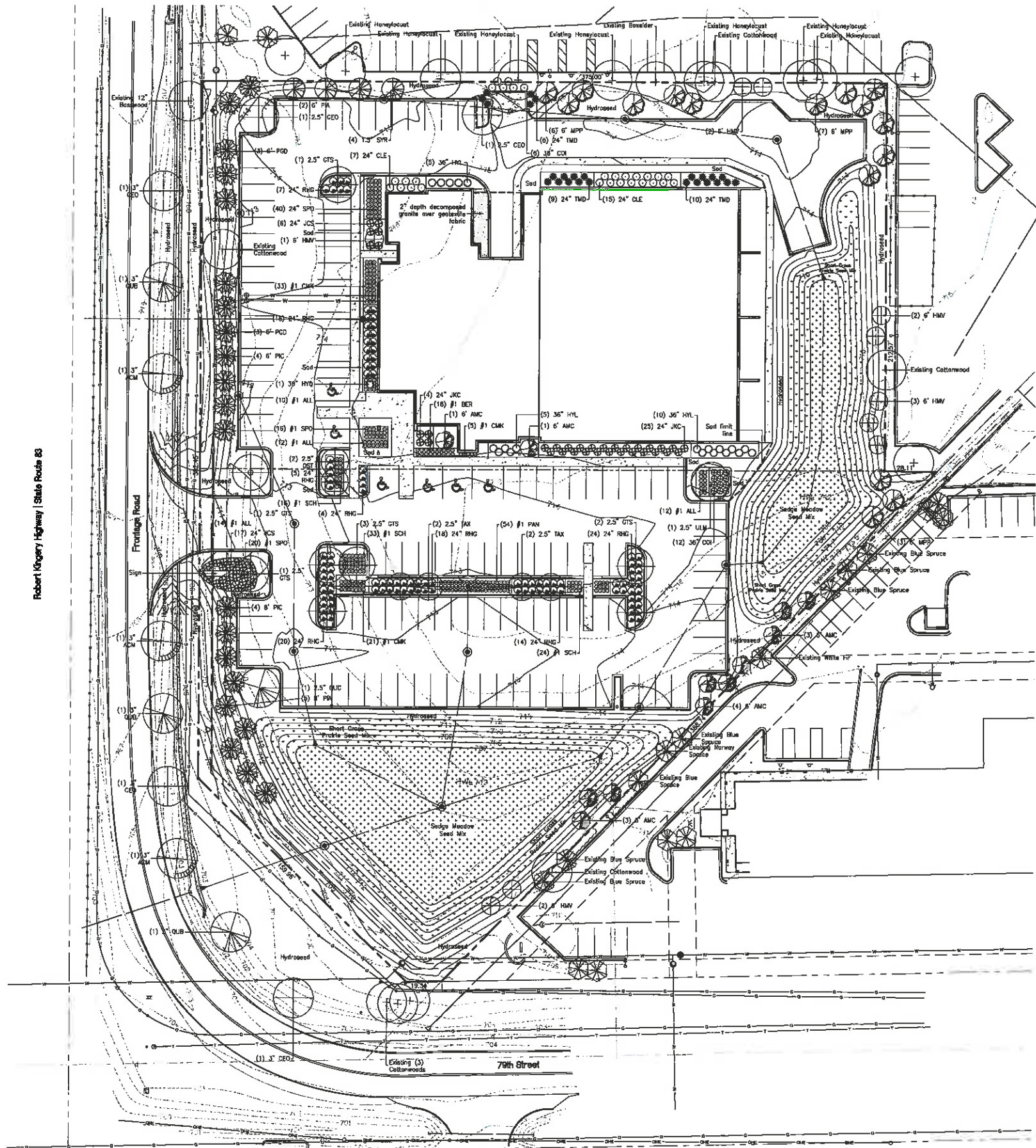
Forbs	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Achillea tuberosa		Butterfly Milkweed	18	
Carex pensilvanica		Prairie Carex	6	
Delos perfoliatus		Purple Prairie Clover	6	
Echinacea purpurea		Pale Purple Coneflower	16	
Penstemon digitalis		Purple Coneflower	4	
Physostegia virginiana		Forgive Me Beard Tongue	4	
Rudbeckia hirta		Obedient Plant	3	
Tridax asarifolia		Black-eyed Susan	8	
Total Forbs:			80	5
Total Grasses and Forbs:			400	25

Temporary Cover Crop	Botanical Name	Common Name	Oz./Acres	Total lbs./Acres
Avena sativa		Common Oats	320	20
Applied at the rate of 25 lbs. per acre. Cover with NAC S75BN Erosion Control Blanket (biodegradable).				

Plant List

Shade Trees				Botanical Name	Common Name	Remarks
Key	Qty.	Size				
ACM	3	3"	Acer rubrum 'Morton'	State Street Myrtle Maple	BB	
CEO	2	2.5"	Calla occidentalis 'Proline Pride'	Prairie Pride Common Hackberry	BB	
CEO	3	2.5"	Calla occidentalis 'Proline Pride'	Prairie Pride Common Hackberry	BB	
GTS	8	2.5"	Gleditsia triacanthos var. inermis 'Sigline'	Shiny Thornless Honeylocust	BB	
GST	2	2.5"	Gleditsia triacanthos var. inermis 'Sigline'	Shiny Thornless Honeylocust	BB	
QUB	3	3"	Quercus bicolor	Swamp White Oak	BB	
QUC	1	2.5"	Quercus muhlenbergii	Chinquapin Oak	BB	
TAX	4	2.5"	Taxodium distichum	Common Baldcypress	BB	
ULM	1	2.5"	Ulmus x 'Morton Gossy'	Triumph Elm	BB	
Ornamental Trees				Botanical Name	Common Name	Remarks
Key	Qty.	Size				
AMC	12	6"	Amelanchier canadensis	Shadblow Serviceberry	BB/Clump	
HMV	10	6"	Hamelia vera	Vermeil Witchazel	BB/Clump	
MPP	16	6"	Morus 'Purple Prince'	Purple Prince Crabapple	BB/Clump	
SYR	4	1.5"	Syringa reticulata	Japanese Tree Lilac	BB	
Evergreen Trees				Botanical Name	Common Name	Remarks
Key	Qty.	Size				
PGD	6	6"	Picea glauca 'Densata'	Black Hills Spruce	BB	
PIA	7	6"	Picea abies	Honey Spruce	BB	
PIG	6	6"	Picea pungens	Colorado Green Spruce	BB	
Shrubs				Botanical Name	Common Name	Remarks
Key	Qty.	Size				
CLE	22	24"	Celastrus scandens 'Hummingbird'	Hummingbird Summerweet	BB	
COI	18	38"	Cornus sericea 'Iscari'	Isanti Redosier Dogwood	BB	
HYL	20	38"	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	BB	
HYD	1	38"	Hydrangea quercifolia	Oakleaf Hydrangea	BB	
JCS	23	24"	Juniperus chinensis var. argentea	Sargent Juniper	BB	
JCC	29	24"	Juniperus chinensis 'Kotky's Compact'	Kotky's Compact Juniper	BB	
IRAG	110	24"	Thuja americana 'Gro-Low'	Gro-Low Fragrant Spruce	BB	
TMD	25	24"	Taxus x media 'Densiformis'	Dense Yew	BB	
Perennials and Ornamental Grasses				Botanical Name	Common Name	Remarks
Key	Qty.	Size				
ALL	48	#1	Allium 'Summer Beauty'	Summer Beauty Allium	Container	
BER	18	#1	Bergenia cordifolia 'Winter Glow'	Winter Glow Bergenia	Container	
CMK	59	#1	Colomatopsis acutiflora 'Karl Foerster'	Feather Reed Grass	Container	
PAN	54	#1	Panicum virgatum	Switch Grass	Container	
SCH	73	#1	Schizachyrium scoparium	Little Bluestem	Container	
SPO	76	#1	Sporobolus heterophyllus	Prairie Dropseed	Container	

Robert Ogden Highway / State Route 83



The Chicago Gun Club

79th Street & Frontage Road
Wilmette, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
390 N. Milwaukee Avenue | Uaukegan, Illinois 60080
T 847.322.0200 | F 847.322.0204



Landscape Plan

Mark	Description	Date
2	Site Plan Modification	01/04/17
1	For Review	12/30/16
1	Issuance	

Number	45291E
Scale	1" = 30'
File	45291F3A
Sheet	L10

The Chicago Gun Club

79th Street & Frontage Road
Wilmette, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
380 N. Milwaukee Avenue | Libertyville, Illinois 60089
T 847.362.0209 | F 847.362.0204



Tree Inventory

2	Site Plan Modification	01.04.17
1	For Review	12.30.16
Mark	Description	Date
Source		

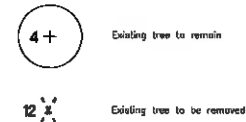
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Sheet
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Tree Key



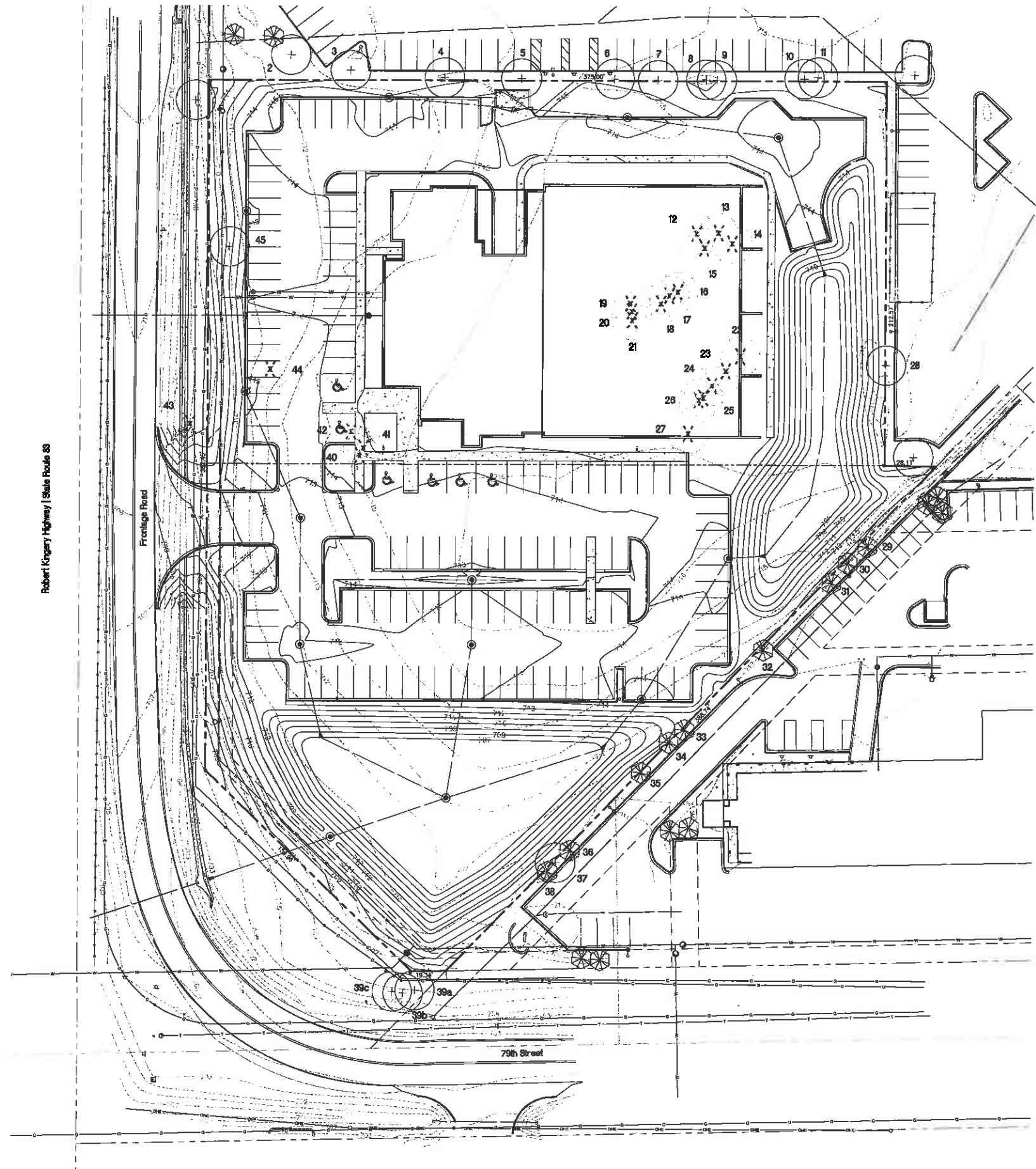
Tree Condition Rating

RATING	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not eminently lethal to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insects, diseases or other problems that can be eminently lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
5	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, diseases, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
6	Dead	Less than 10% of the tree shows signs of life.

Tree Inventory

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	12"	Tilia americana	Basswood	3/3	To remain/Off-site
2	14"/16"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
3	10"	Cedrela tomentosa	Honeylocust	3/3	To remain/Off-site
4	13"	Cedrela tomentosa	Honeylocust	2/2	To remain/Off-site
5	14"	Cedrela tomentosa	Honeylocust	2/2	To remain/Off-site
6	12"	Cedrela tomentosa	Honeylocust	2/2	To remain/Off-site
7	4"	Acer negundo	Boxelder	3/4	To remain/Off-site
8	15"	Cedrela tomentosa	Honeylocust	3/3	To remain/Off-site
9	6"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
10	12"	Cedrela tomentosa	Honeylocust	3/3	To remain/Off-site
11	8"	Cedrela tomentosa	Honeylocust	4/3	To remain/Off-site
12	13"/15"	Populus deltoides	Cottonwood	3/3	Remove
13	6"	Populus deltoides	Cottonwood	3/3	Remove
14	10"	Populus deltoides	Cottonwood	3/3	Remove
15	6"	Populus deltoides	Cottonwood	3/3	Remove
16	4"/7"/7"	Populus deltoides	Cottonwood	3/3	Remove
17	11"	Populus deltoides	Cottonwood	3/3	Remove
18	8"	Populus deltoides	Cottonwood	3/3	Remove
19	16"	Populus deltoides	Cottonwood	3/3	Remove
20	6"	Populus deltoides	Cottonwood	3/3	Remove
21	8"/10"	Populus deltoides	Cottonwood	3/3	Remove
22	6"	Populus deltoides	Cottonwood	3/3	Remove
23	13"	Populus deltoides	Cottonwood	3/3	Remove
24	4"	Populus deltoides	Cottonwood	3/3	Remove
25	8"/11"/6"	Populus deltoides	Cottonwood	3/3	Remove
26	5"	Populus deltoides	Cottonwood	3/3	Remove
27	11"	Populus deltoides	Cottonwood	3/3	Remove
28	12"	Populus deltoides	Cottonwood	3/3	Remove
29	9"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
30	10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
31	11"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
32	10"	Abies concolor	White Fir	2/2	To remain/Off-site
33	9"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
34	6"	Picea obov	Hurray Spruce	3/3	To remain/Off-site
35	10"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
36	8"	Populus deltoides	Cottonwood	2/2	To remain/Off-site
37	10"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38	8"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
39a	15"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39b	17"/17"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39c	14"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
40	13"	Populus deltoides	Cottonwood	3/3	Remove
41	10"/10"	Populus deltoides	Cottonwood	3/3	Remove
42	11"	Ulmus americana	American Elm	3/3	Remove/Off-site
43	22"	Populus deltoides	Cottonwood	3/3	Remove
44	16"/17"	Populus deltoides	Cottonwood	3/3	To remain

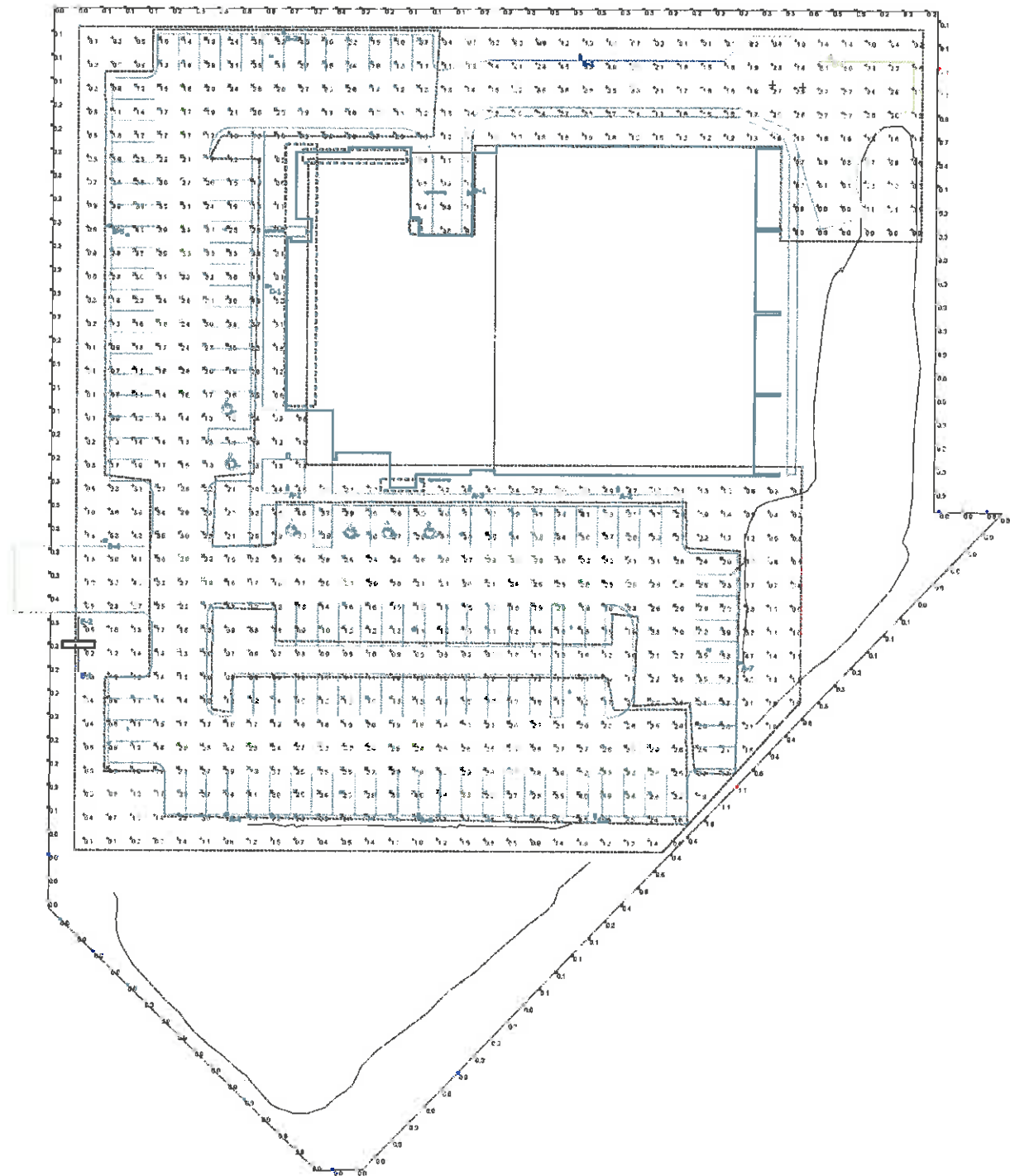
Robert Kiger Highway / State Route 88



Zone	Area	Perimeter	Volume	Height	Area	Volume	Area	Volume	Area	Volume
A	7	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00
B	5	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00
C	1	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00
D	1	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00
E	2	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00	176.00

Calc Zone 1 Area	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Calc Zone 2 Area	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Calc Zone 3 Area	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Calc Zone 4 Area	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Calc Zone 5 Area	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

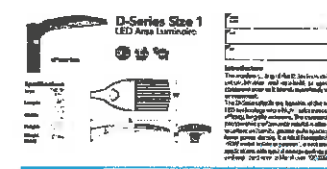
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3	A	-15.25	38.00	20.00	180.00	0.00
4	A	-117.00	-103.00	20.00	0.00	0.00
5	A	39.00	-103.00	20.00	0.00	0.00
6	A	-36.00	-103.00	20.00	0.00	0.00
7	A	101.00	-36.50	20.00	270.00	0.00
1	B	30.50	221.75	20.00	180.00	0.00
2	B	-45.00	221.75	20.00	180.00	0.00
3	B	127.00	222.00	20.00	180.00	0.00
4	B	-171.00	14.25	20.00	90.00	0.00
5	B	-170.00	148.00	20.00	90.00	0.00
1	C	-100.00	122.75	20.00	270.00	0.00
1	D	-15.25	160.00	18.00	270.00	0.00
1	E	-180.00	-41.00	0.00	0.00	136.40
2	E	-180.00	-18.30	0.00	180.00	136.40



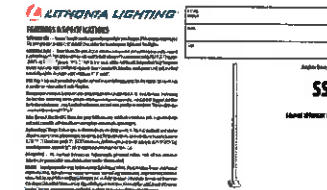
Plan View
Scale - 1" = 50'








Model	D-Series Size 1
Power	100W
Voltage	120V
Current	0.83A
Beam Angle	120°
Mounting	Flush Mount
Finish	Black
Weight	1.5 lbs
Dimensions	10.5" x 10.5" x 4.5"



Model	D-Series Size 1
Power	100W
Voltage	120V
Current	0.83A
Beam Angle	120°
Mounting	Flush Mount
Finish	Black
Weight	1.5 lbs
Dimensions	10.5" x 10.5" x 4.5"

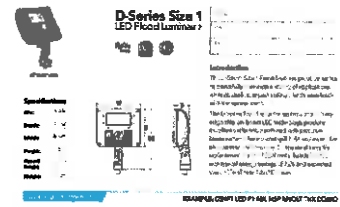
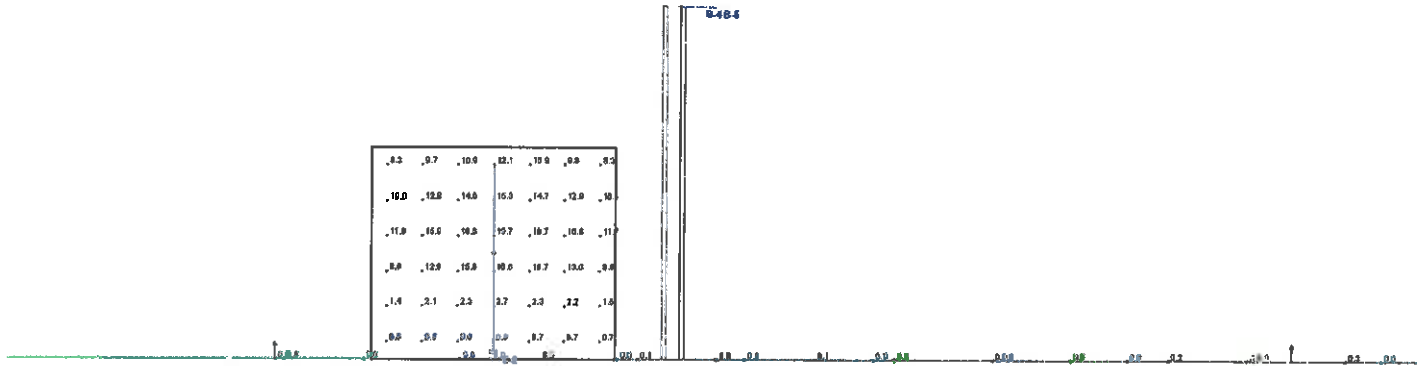


Model	D-Series Size 1
Power	100W
Voltage	120V
Current	0.83A
Beam Angle	120°
Mounting	Flush Mount
Finish	Black
Weight	1.5 lbs
Dimensions	10.5" x 10.5" x 4.5"

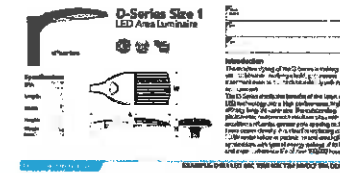
Part #		Qty	Manufacturer	Part #/Description	Notes	Power (W)	Power Factor	Life (hrs)	Notes
	A	7	Lithonia Lighting	DSXL LED 60C 700 40K T4M MVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXL_LED_60C_700_40K_T4M_MVOLT.lvs	10.37 0.95 131
	B	5	Lithonia Lighting	DSXL LED 60C 700 40K T3M MVOLT HS	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSXL_LED_60C_700_40K_T3M_MVOLT_HS.lvs	12.76 0.95 131
	C	1	Lithonia Lighting	DSXL LED 60C 700 40K T3M MVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSXL_LED_60C_700_40K_T3M_MVOLT.lvs	16.00 0.95 131
	D	1	Lithonia Lighting	DSXLW1 LED 10C 330 40K T3M MVOLT	DSXLW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE T3M OPTIC, 4000K, @ 330mA	LED	1	DSXLW1_LED_10C_330_40K_T3M_MVOLT.lvs	21.99 0.95 10.1
	E	2	Lithonia Lighting	DSXPL LED P2 30K MHF	DSXPL LED P2 30K MHF	LED	1	DSXPL_LED_P2_30K_MHF.lvs	Absolute 0.95 42

Calc Zone	Area	Perim	Vol	Area	Perim
Calc Zone Inside Area	2.0 ft	5.3 ft	10.0 ft	N/A	N/A
Calc Zone Parking Area only	2.4 ft	5.3 ft	0.7 ft	7.6 ft	3.4 ft
Calc Zone Property Line	0.2 ft	5.1 ft	0.8 ft	N/A	N/A
Calc Zone Total Area	0.1 ft	18.7 ft	1.5 ft	2.6 ft	15.2 ft

Item	Qty	Unit	Description	Manufacturer	Model	Notes	Power (W)	Power Factor	Life (hrs)
1	A	-92.25	38.00	20.00	180.00	0.00			
2	A	-97.75	38.00	20.00	180.00	0.00			
3	A	-15.25	38.00	20.00	180.00	0.00			
4	A	-117.00	-103.00	20.00	0.00	0.00			
5	A	39.00	-103.00	20.00	0.00	0.00			
6	A	-36.00	-103.00	20.00	0.00	0.00			
7	A	101.00	-36.50	20.00	270.00	0.00			
1	B	30.50	221.75	20.00	180.00	0.00			
2	B	-95.00	221.75	20.00	180.00	0.00			
3	B	137.00	222.00	20.00	180.00	0.00			
4	B	-171.00	14.25	20.00	80.00	0.00			
5	B	-170.00	148.00	20.00	90.00	0.00			
1	C	-100.00	122.75	20.00	270.00	0.00			
1	D	-15.25	148.00	15.00	270.00	0.00			
1	E	-180.00	-41.00	0.00	0.00	136.40			
2	B	-180.00	-18.30	0.00	180.00	136.40			

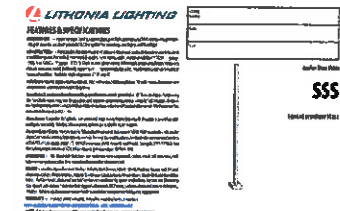


Item	Qty	Unit	Description	Manufacturer	Model	Notes	Power (W)	Power Factor	Life (hrs)
1	A	-92.25	38.00	20.00	180.00	0.00			
2	A	-97.75	38.00	20.00	180.00	0.00			
3	A	-15.25	38.00	20.00	180.00	0.00			
4	A	-117.00	-103.00	20.00	0.00	0.00			
5	A	39.00	-103.00	20.00	0.00	0.00			
6	A	-36.00	-103.00	20.00	0.00	0.00			
7	A	101.00	-36.50	20.00	270.00	0.00			
1	B	30.50	221.75	20.00	180.00	0.00			
2	B	-95.00	221.75	20.00	180.00	0.00			
3	B	137.00	222.00	20.00	180.00	0.00			
4	B	-171.00	14.25	20.00	80.00	0.00			
5	B	-170.00	148.00	20.00	90.00	0.00			
1	C	-100.00	122.75	20.00	270.00	0.00			
1	D	-15.25	148.00	15.00	270.00	0.00			
1	E	-180.00	-41.00	0.00	0.00	136.40			
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4	A	-117.00	-103.00	20.00	0.00	0.00			
5	A	39.00	-103.00	20.00	0.00	0.00			
6	A	-36.00	-103.00	20.00	0.00	0.00			
7	A	101.00	-36.50	20.00	270.00	0.00			
1	B	30.50	221.75	20.00	180.00	0.00			
2	B	-95.00	221.75	20.00	180.00	0.00			
3	B	137.00	222.00	20.00	180.00	0.00			
4	B	-171.00	14.25	20.00	80.00	0.00			
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1	D	-15.25	148.00	15.00	270.00	0.00			
1	E	-180.00	-41.00	0.00	0.00	136.40			
2	B	-180.00	-18.30	0.00	180.00	136.40			

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2	A	-97.75	38.00	20.00	180.00	0.00			
3	A	-15.25	38.00	20.00	180.00	0.00			
4	A	-117.00	-103.00	20.00	0.00	0.00			
5	A	39.00	-103.00	20.00	0.00	0.00			
6	A	-36.00	-103.00	20.00	0.00	0.00			
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1	E	-180.00	-41.00	0.00	0.00	136.40			
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2	A	-97.75	38.00	20.00	180.00	0.00			
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4	A	-117.00	-103.00	20.00	0.00	0.00			
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2	B	-180.00	-18.30	0.00	180.00	136.40			

Attachment 4

Findings of Fact for Special Use & Variance (from Staff)

Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The establishment, maintenance, or operation of the proposed shooting range will not be detrimental to or endanger the public health, safety, moral, and comfort or general welfare of the Village of Willowbrook.

The applicant will ensure EPA, NIOSH, and OSHA standard air quality through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large bioretention areas for the east and southern portion of the property that will serve the development's stormwater requirements. **The petitioner's stormwater submittal has not yet been review by the Village's engineering consultant, however, and therefore the detention facilities have not yet been proven to be adequate. Additionally, the petitioner has not submitted plans including curb and gutter, public sidewalk, and street lighting along Frontage Road. These elements will be required additions to their plans prior to zoning approval.**

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive

will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and **building materials**.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed special use has never been applied for (or denied) with respect to this specific location.

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The property cannot yield a reasonable return is the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed variation will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interiors side, and front yard parking setbacks are not supported. Additionally, the applicant will not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed variations to reduce parking setbacks and add metal siding will not impair an adequate supply of light and air to adjacent property.

The proposed variations to reduce parking setbacks and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variations will not alter the essential character of the locality. The parking setback reductions are not substantial and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed use. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

RESPONSES TO SPECIAL USE STANDARDS

9-14-5.2: Standards:

A. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The establishment, maintenance, or operation of an upscale, luxury indoor shooting range will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the Village of Willowbrook.

The public health will not be endangered. Our air will be clean, bullets will never exit the building, and we won't be loud. Proper air filtration is critical in maintaining an overall sense of health and wellbeing within the range and falls under strict EPA, NIOSH and OSHA standards. Operating in compliance with these regulations, the air quality will be maintained through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particulates from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles/bullets exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from exiting designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

Public safety will not be compromised. A comprehensive range safety and security plan will, among other topics, address and integrate: (1) opening and closing procedures; (2) employee training; (3) client/member/user requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet-proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarm system; (6) surveillance cameras and digital recordings; (7) key access/ control doors and codes; and (8) ammunition and firearm storage. The physical proximity of the Willowbrook police station should also be noted. In fact, in March of 2014, when the Village amended its zoning ordinance to allow for gun sales and indoor shooting range uses in the B-4 district, it specifically designated the four proximate properties immediately south of 79th Street as B-4 and eligible for this type of use. The meeting minutes indicate that security and police issues were considered, "We ran both of these topics through the police chief and he was fine with it. Actually, we decided to go to the Illinois Chief Association and did a survey approach and it came back fine." (See Meeting Minutes, Zoning Hearing Case No. 14-01, page 13, lines 2-5, March 5, 2014).

The establishment, maintenance and operation of the development will not be injurious to public morals. On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public. The new "concealed carry" law went effective January 1, 2014. Regardless of one's personal views of the new law or gun politics in general, it is difficult to refute or dispute the notion that untrained gun owners are far worse and detrimental to society than well-trained ones. Offering and providing extensive firearm training is a key element of our overall

business plan, and a 30-seat high-tech classroom is included in the architectural design. It is our goal to provide a safe, comfortable, and enjoyable environment for men, women and families to receive proper firearm training. The Planning Commission has previously acknowledged how firearm training is extending to a wider cross section of the public: "Typically, years ago you would look and it would be just men of any caliber. If you go in [today], I know probably 10 to 12 couples that you would look at and you would think they would never even own a gun and they are doing it as a husband and wife as entertainment and many of them are pursuing concealed carry, so it's changing a lot. A lot of women are getting into it from our experience." (See Meeting Minutes, Zoning Hearing Case No. 14-02, pages 13-14, March 5, 2014).

The proposed development will not be detrimental to the public comfort and general welfare. It should, in fact, have the opposite effect. With the opening of the Scottsdale Gun Club in 2004, the upscale, luxury indoor shooting range concept—"the guntry club"—was born. More recently, according to the New York Times, "...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls." (Julie Turkowitz, "Ready, Aim, Fire, Then Relax in the Lounge", The New York Times, November 28, 2014.) As planned, the proposed development will conform to this modern upscale, luxury concept with member lounge areas offering leather seating, flat screen televisions, and other comfortable amenities. Some of the new guntry clubs that have opened within the last five years allow for alcohol to be served in specific member only lounge areas. In the event alcohol is permitted to be served on our premises, a strict enforcement policy, patterned after national "best practices", would physically prevent and prohibit any member who has been served alcohol from accessing the range facilities and/or firearms for the remainder of that particular day.

B. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The Village contemplated the appropriateness of gun sales and range training facilities in the immediate vicinity when it proactively amended the B-4 zoning ordinance in March of 2014: "I did do quite a bit of research and learned quite a bit about firearm facilities and about training gun ranges. I think it was our goal, given that the retail sales are so heavily regulated by the State, that it made sense to permit those or include those as permitted uses in this district." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 3, lines 7-12, March 5, 2014). It should also be noted that the specific property in question was identified as potentially consistent with, or eligible for, a B-4 zoning in the context of a gun range specific use: "These could be appropriate locations for many of the reasons, the comp plan suggests it as being more of a destination type of trip or they can be rezoned, for example if somebody wanted to use either one of those properties south of the Holiday Inn property, they could rezone it because it is adjacent to it. So we have a number of options to consider." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 7-8, March 5, 2014).

C. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district because the area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan. In the aforementioned meeting in March of 2014, the Planning Commission described the surrounding area as follows: "We did take a look at the comprehensive plan that showed these properties and the area in general to be designated for a corridor commercial types of uses, so the B- 4 zoning is consistent with the recommendations of the comprehensive plan. So we felt pretty comfortable moving these properties in the direction of going ahead and recommending the rezoning to B-4." (See Meeting Minutes, Zoning Hearing Case No. 14-01, page 7, lines 10-17, March 5, 2014). "So—and one of the recommendations of the comprehensive plan is that B-4 is more corridor commercial, which tends to be more standalone commercial buildings as opposed to shopping centers. Gun sales is that use. It's a destination go-to use as opposed to the convenience items that you would go to at a shopping center." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 3, lines 16-22, March 5, 2014). Therefore, given its consistency with the Comprehensive Plan, the establishment of the requested special use in this particular location will not impede the normal and orderly development of the surrounding property.

D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

The proposed development has detailed civil engineering design plans that address the existing and proposed utilities, access roads, drainage, and other necessary facilities. All proposed improvements have been designed, and will be constructed, in accordance with all applicable state, county, and municipal standards. For example, two large bioretention areas are proposed for the east and southern portions of the property that will help serve the development's water drainage, retention and detention needs, while also serving to beautify the overall area with natural plantings as specified in the detailed landscape plan.

E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to the proposed development is to be provided via one full access drive on the east side of the IL 83 frontage road approximately 375 feet south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. The gun club will also provide a total of 129 parking spaces. The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required."

F. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

G. Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

The proposed special use has never been applied for (or denied) with respect to this specific location.