

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, FEBRUARY 22, 2017 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - January 11, 2017
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-01: (Northeast corner of Route 83 Frontage Road and 79th Street, Willowbrook, Illinois - Chicago Gun Club LLC, 4825 Lee Avenue, Downers Grove, Illinois) Petition requesting approval to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, approval of a Special Use Permit for an "Indoor Firing Range", approval of a Plat of Subdivision, and approval of associated variations on the property.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
5. VISITOR'S BUSINESS
6. COMMUNICATIONS
7. ADJOURNMENT



Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission Date:	February 22, 2017		
Prepared By:	Anna Franco, Planning Consultant		
Case Title:	The Chicago Gun Club		
Petitioner:	The Chicago Gun Club LLC (and TCGC Property LLC as property owner) 4825 Lee Avenue, Downers Grove, IL 60515		
Action Requested:	Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.		
Purpose:	To develop a 31,000 gun club facility that includes a 32 bay firing range, firearm and jeep retail, classroom space, lounge (including bar), and other accessory uses related to the operation of the facility.		
Location:	Northeast corner of Frontage and 79th, just south of Willowbrook Inn.		
PINs:	09-26-402-029 and 09-26-402-018		
Existing Zoning:	B-3 General Business District		
Proposed Zoning:	B-4 Highway and Service Business District		
Existing Land Use:	Vacant		
Property Size:	3.42 Acres		
Surrounding Land Use:	Use	Zoning	
	North	B-4	Willowbrook Inn
	South	B-4	La Quinta Hotel
	East	B-4	Willowbrook Inn and EconoLodge
	West	Kingery Highway and R-2	Single Family across Kingery Hwy
Documents Attached:	Attachment 1: Development Executive Summary, no date (6 Sheets) Attachment 2: Engineering, Architectural, Landscaping, Elevation & Signage, dated 12/30/16 (20 Sheets) Attachment 3: Preliminary Plat of Subdivision, dated 5/18/16 (1 Sheet) Attachment 4: Findings of Fact for Special Use & Variance (from Staff), 2/22/17 (5 Sheets) Attachment 5: Applicants Reponses to Special Use Standards, no date (4 Sheets)		
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and continue public hearing in order to provide staff with direction regarding outstanding items.		



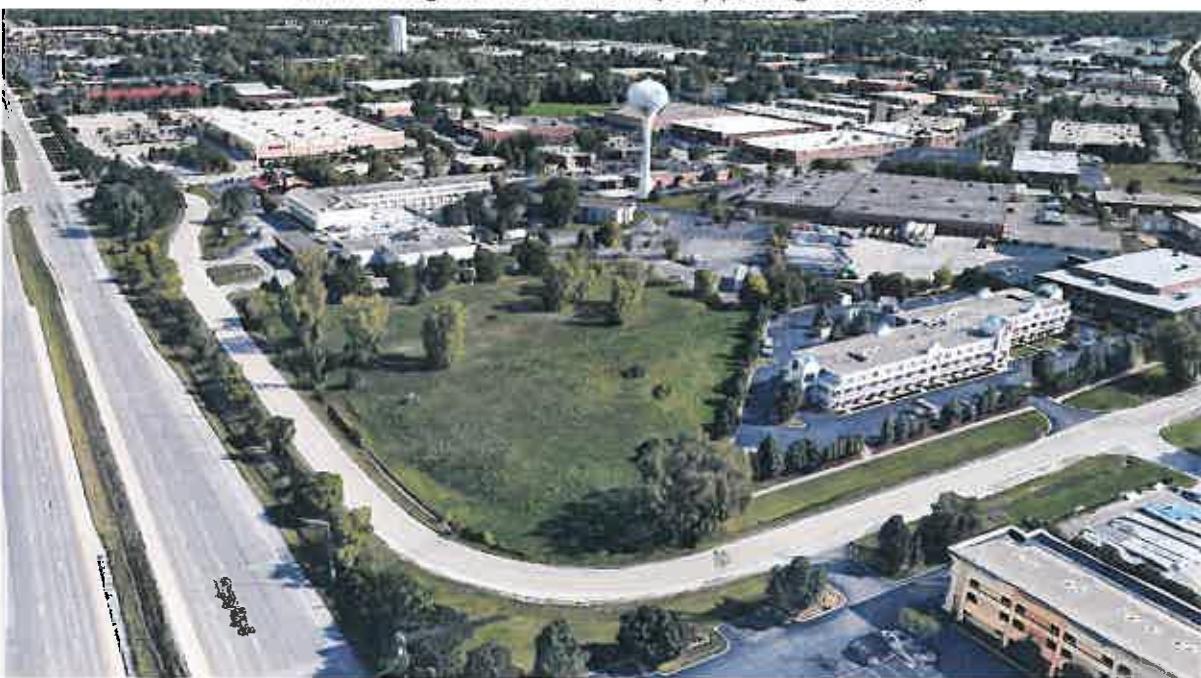
Site Description

The property is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge. The property is currently located in the B-3 General Business Zoning District, but is adjacent on all sides by property located in the B-4 Highway and Service District. The 3.4-acre property consists of Lot 2 and Lot 4 in the Anvans Subdivision and is trapezoidal in shape. The property has never been developed and is currently vacant.

Exhibit 1 Aerial of the Subject Property



Exhibit 2 Google 3D View of the Property (Looking Northeast)





Development Proposal

The subject property has been vacant and on the market for a long time. The petitioner, The Chicago Gun Club, has recently purchased the property and wishes to rezone the property from B-3 to B-4 and obtain special use approval for an indoor firing range to develop a 31,000 square foot "guntry club". The facility would include 32 tactical shooting bays (that will accommodate two people per bay), as well training/educational classrooms, retail sales (including customized Jeeps), membership lounges (including a bar), and office uses.

The business team anticipates a top of the line facility at this location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club will function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. The architect has been selected for the work they did for facility in Ann Arbor Michigan call "Ann Arbor Arms". They are also looking to emulate the "club like" atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club. Images of both of these facilities can be found online. A project narrative from the petitioner can be found in **Attachment 1** "Development Executive Summary".

The gun club is proposed to operate from 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday. The gun club will have a maximum of 15 employees, including management, on site at any one time with approximately 10 employees on site during normal weekday hours. An average of 250 members are anticipated to visit the gun club during a typical day.

Summary of Zoning Requests

To establish the proposed gun club facility on the subject property, Staff has identified the following zoning requests:

1. Rezoning of the property from B-3 General Business to B-4 Highway & Service Business, which permits a "Firearms store, except when located adjoining I-55 or Route 83".
2. A Special Use Permit for an "Firing Range, Indoor" in the B-4 Zoning District.
3. Approval of a Preliminary Plat of Subdivision.
4. Approval of a Final Plat of Subdivision (to be submitted prior to second Plan Commission meeting).
5. A variation to reduce the minimum parking interior side & rear yard setback from 10' (required) to 5.17' (proposed), per Section 9-10-5G of the Village Code.
6. A variance to reduce the minimum parking exterior side & front yard setback from 15' (required) to 9.29' (proposed), per Section 9-10-5G of the Village Code.
7. Variance to allow metal siding as an architectural accent, which is prohibited by Section 9-6-1(E)2 of the Village Code.



Staff Analysis

Comprehensive Plan

The Comprehensive Plan designates the subject property as "Highway Commercial", which is intended to serve both the traveling public on the community's most traveled routes, as well as meet some local community retail and service needs. This planned designation extends from I-55 all the way up to 75th Street. Zoning along this same section of Route 83 includes B-2, B-3 and B-4 zones, with B-4 zones on the Willowbrook Ford and hotel properties. There are no specific references in the Comprehensive Plan to this vacant site, but staff has summarized certain relevant commercial policies from the Comprehensive Plan for the Plan Commission's consideration. These relevant policies and how they relate to the proposed gun club facility are summarized in the table below:

Exhibit 3 Relevant Comprehensive Plan Goals & Policies

Relevant Comprehensive Plan Goals & Policies		
Item #	Plan Text	Relation to The Chicago Gun Club
1	Consolidate lots when possible and provide coordinated/planned access to individual uses	The petitioner has submitted a Plat of Subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision.
2	Development should occur in locations served by transportation facilities capable of handling the traffic to be generated.	A completed traffic impact study indicates that existing infrastructure will continue to operate at acceptable levels of services. No left turn lane for the development is required. However, the entry intersection will need to be stop sign controlled.
3	Do not allow uses where traffic exceeds street capacities, or where significant problems in access or compatibility with adjacent uses is anticipated.	Please see above.
4	Provide adequate and attractively landscaped off-street parking and loading facilities.	The Landscape Plan provides both adequate and attractive landscaping of off-street parking and loading facilities.
5	Incorporate high standards of design and construction.	The facility design is both attractive and modern.
6	Preserve natural features as possible and promote pedestrian use.	The petitioner has conducted a tree survey and will be preserving trees along the perimeter of the property. The petitioner has NOT included plans for a sidewalk along the frontage of their property. This will be a required addition in their revised plans.
7	Rezoning requests for new commercial developments must be carefully evaluated. If sufficient need cannot be determined or if commercial development policies cannot be met, then the rezoning requests should not be approved.	The proposed zoning of B-4 Highway Commercial is consistent with the zoning of adjacent properties in this area of the Village.
8	Provide a "sense of arrival in Willowbrook." Intent is for Route 83 to be landscaped as a "parkway" not a highway.	The petitioner is proposing 9 new street trees along Frontage Road and will be installing one attractive monument sign along Frontage Road.
9	Special gateway landscaping should be created at major interchanges and intersections.	The monument sign, referenced above, will be attractively landscaped.
10	The I-55 frontage road should be improved to industrial collector street standards between Midway Drive and Joliet Road. Street lights should be provided in conjunction with this improvement.	The petitioner has NOT included curb and gutter of street lighting in their plans. The addition of these elements will be a requirement in their revised plans.
11	Signalization of the Midway/Frontage Road intersection should be evaluated or considered.	The Traffic Impact Study has indicated that signalization is not necessary to handle the traffic generated by this development.



Appropriateness of Use

The appropriateness of use is something that is considered with each special use. It evaluates the impacts of the use as it pertains to site improvements, but also whether there should be any operational considerations. As indicated in the applicant's materials, these types of uses are relatively new and can come with actual or perceived impacts on the community. This is the Plan Commission's opportunity to get answers to as many questions as you have about hours, staffing, lighting, security, whether food and/or liquor is involved, etc.

The new facility that just opened in Bolingbrook called the Range at 355 opened recently as a members only club, and all memberships were sold out in a very short period of time, indicating a strong demand for this use. The proposed location is readily accessible to both residents and the traveling public without being too close to residential uses to cause negative impacts. As we have learned in the last couple of years, the Executive Plaza Business Park is becoming a recreational/entertainment destination, which is having a positive impact on the Village's retail uses and restaurants further north on Illinois Route 83. If any possible negative impacts associated with the use are mitigated, the site is appropriate for the proposed use.

Building Elevations

The petitioner has submitted colored building elevations for the proposed gun club facility, shown below and shown more extensively in **Attachment 2** "Engineering, Architectural, Landscaping, Elevation & Signage". The proposed building features an impressive modern façade on the west side of the building, which includes the building's main entrance (covered by a steel pergola), the proposed Jeep retail display, and large windows on the second floor of the building. Building materials at the front of the building will include a combination of stone veneer, painted aluminum, cedar plank siding, ground face block, fiber cement siding, and pre-cast concrete panels. The gun range portion, at the "back" of the building will be constructed of mainly pre-cast concrete panels. The petitioner will be requesting a variance to allow metal as an architectural accent for the building, which is prohibited by Section 9-6-1(E)2 of the Village Code.

Exhibit 4 Building Elevation Rendering & Proposed Materials





Building Use Breakdown

The proposed gun club will be a two-story, approximately 31,000 gross square foot facility, located entirely on the northern Lot 2 portion of the property. The first floor will be a total of approximately 25,000 square feet and will consist of mainly the 32-gun range bays at the back of the building, which is almost 50% of the building's square footage. The front of the first floor will consist of a retail floor, Jeep retail, a member's lounge, locker rooms, a rental station, and the gun smith. The second floor will be a total of approximately 6,000 square feet and will include the gun club's VIP Lounge area, classroom space, offices, and an outdoor skydeck. A color coded breakdown of the facilities' floor plans are shown below in **Exhibit 5** and **Exhibit 6**.

Exhibit 5 Building Use Breakdown Table and Diagram

Color Code	Building Use	Square Footage	Percentage of Total Building S.F.
Yellow	Indoor Firing Range	14,824 S.F.	48%
Pink	Retail	4,370 S.F.	14%
Green	Lounge (assembly)	3,907 S.F.	13%
Blue	Accessory Commercial	2,837 S.F.	9%
Grey	Warehouse/Storage	1,620 S.F.	5%
Orange	Jeep Retail	1,260 S.F.	4%
Purple	Office	1,212 S.F.	4%
Dark Blue	Classroom	864 S.F.	3%
	Total Square Footage	30,893 S.F.	100%





Zoning Bulk Requirements

The petitioner is requesting to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District. A detailed discussion of important bulk exceptions and variations for the B-4 Zoning District is provided below and summarized in **Exhibit 7** “B-4 Zoning District Compliance Table” on the following page.

Lot Dimensions: The subject property is in compliance with the minimum lot depth requirement of the B-4 Zoning District. Staff is waiting on the addition of a lot width dimension in future revised plans to determine the lot width. As an existing platted lot, however, a variance would not be required if the distance is less than the minimum requirement. The subject property is also in compliance with the B-4 Zoning District minimum lot area, with a lot area of approximately 148,848 square feet, or 3.4 acres. The subject property is considered Lot 2 and Lot 4 of the Anvans Subdivision.

Setbacks: The required and proposed minimum setbacks are shown in **Exhibit 7** on the following page. The proposed minimum front yard setback is in compliance with the Village Zoning Ordinance. The petitioner did not include setback dimensions for the interior side and rear yard setbacks. Although Staff has requested that these dimensions be labeled in future revisions to the plans, it appears that these setbacks are also in compliance.

Building Height: The maximum height of a building in the B-4 Zoning District is 35'. The proposed building height for the badminton facility is 30.67' and is in compliance with the Zoning Ordinance.

Density and Coverage: The maximum lot coverage (building coverage) in the B-4 Zoning District is 50%. The proposed gun club facility has a building footprint of approximately 24,811 square feet; so on a 3.4 acre lot, the building coverage is approximately 16.6% and is well below the maximum 50% threshold. As a two-story building, the floor area ratio (FAR) is approximately 0.21, which is above the minimum required 0.3 FAR.



Exhibit 7 B-4 Zoning District Compliance Table

B-4 Zoning District				
Item	Code Section	Code Requirement	Proposed	Departure
Minimum Lot Area	9-6D-3A	87,120 sf (2 acres)	148,971 sf	none
Minimum Lot Width	9-6D-3B	300'	Need dimension	None?
Minimum Lot Depth	9-6D-3C	250'	375.13	none
Minimum Front Yard Setback	9-6D-3D1	100'	100	none
Minimum Interior Side Yard Setback	9-6D-3D2	40'	Need dimension	None?
Minimum Exterior Side Yard Setback	9-6D-3D3	60'	n/a	n/a
Minimum Rear Yard Setback	9-6D-3D4	40'	Need dimension	None?
Minimum Transition Yard	9-6D-3D5	100'	n/a	n/a
Maximum Height	9-6D-3E	35'	30.67'	none
Maximum Floor Area Ratio	9-6D-3F	0.3	0.21 (0.208)	none
Maximum Lot Coverage	9-6D-3G	50%	16.65%	none

Parking & Loading

Required Parking: The petitioner's site plan proposes a total of 129 parking spaces (including 5 handicap spaces) located along the north, west, and south sides of the building. No parking is proposed on the east side of the building.

Required parking was calculated by using the parking formulas outlined in Title 9, Chapter 10, Section 5K of the Village Code. Numerous parking formulas were used to calculate parking, so for ease, parking requirements are outlined in **Exhibit 8 "Required Parking"**, below. As you can see, the zoning code requires that the proposed use provide exactly 129 parking spaces. If any future use changes are made to the proposed floor plans, required parking will need to be closely monitored.

Exhibit 8 Required Parking

Required Parking Calculation						
Use	Square Footage	Seats/Lanes/Employ	Code Section	Code Requirement	Req. Spaces	Proposed Spaces
Indoor Firing Range	14,824.00	32 lanes	9-10-5K3	2 spaces per firing lane	64.00	64
Retail	4,280.00	assuming 4,280	9-10-5K4	1 space per 250 sf	17.12	20
Jeep Retail	1,260.00	n/a	9-10-5K4	1 per 400 sf	3.15	3
Assembly (Lounge)	3,906.55	n/a	9-10-5K4	1 space per 250 sf	15.63	21
Warehouse/Storage	1,620.00	3 employees	9-10-5K4	1 space per 1.5 workers	2.00	2
Office	1,212.00	n/a	9-10-5K4	1 per 225 sf	5.39	8
Classroom	864.00	32 seats	9-10-5K3	1 space for every 3 seats	10.67	10
Accessory Commercial	2,836.50	n/a	9-10-5K4	1 space per 250 sf	11.35	none
Total	30,803.05				129.30	129

*** 5 accessible spaces required per Code Section 9-10-5(N)*



Pavement Setbacks: Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The petitioner is requesting two variances from the required pavement setbacks: (1) to reduce the minimum parking interior side setback from 10' to 5.17'; and (2) to reduce the minimum parking front rear setback from 15' to 9.29'. Staff recommends approval of these variations as neither should have significant impact, if any, on neighboring properties.

Loading Facility: The petitioner provides one loading berth at the north side of the building, which is recessed into the building. The berth is 12' width and 55' length, and just meets the Village's requirements. The minimum loading berth clearance, however, is only 8', and the Village's requirement is a minimum of 14'. Instead of applying for a variation for the minimum clearance height, Staff would like the petitioner to explore options for increasing the clearance to 14'.

Exhibit 9 Parking & Loading Compliance Table

Parking & Loading				
Item	Code Section	Code Requirement	Proposed	Departure
Loading Berth Screening	9-10-4A	screening wall (6'-8') or evergreen landscaping (6')	Loading area is setback into the building	none
Minimum Loading Berth Size	9-10-4B	12' width, 55' length	12' width, 55' length	none
Minimum Loading Berth Clearance	9-10-4B	14'	8'	Yes (need to change)
Minimum Required Berths	9-10-4H	5,001 to 50,000 square feet = 1 required	1 berth	1
Minimum Parking Interior Side & Rear Yard Setback	9-10-5G	10'	5.17' interior, 11.02' rear	Yes (authorized)
Minimum Parking Exterior Side & Front Yard Setback	9-10-5G	15'	9.29'	Yes (authorized)
Minimum End Parking Islands	9-10-5G3	9' width	Need dimension	none
Minimum Intermediate Parking Islands	9-10-5G3	6', between every 20 spaces	Need dimension	none
Minimum Dividing Parking Islands	9-10-5G3	10' width between 3 parking bays	Need dimension	none
Minimum Width of Driveway	9-10-5L2A	24'	28'	none
Minimum Radius Connecting Street Pavement Edge & Driveway Edge	9-10-5L2B	25'	Need dimension	none
Minimum Angle at Intersection of Driveway & Street	9-10-5L2C	60 degrees	90 degrees	none
Minimum Distance of Driveway from nearest lot line	9-10-5L2D	70'	Need dimension	none
Minimum Spacing between separate driveway entrances	9-10-5L2F	400' or 500'	n/a	n/a
Parking Required (Motor Vehicle Sales)	9-10-5K	129 spaces (see parking table)	129	none
Accessible spaces required	9-10-5N	5 spaces	5 spaces	none



Landscaping

The petitioner is proposing abundant landscaping for the gun club property that includes a variety of deciduous, conifer, and ornamental trees and shrubs. The proposed landscaping should effectively frame the property with deciduous and evergreen trees, establish nine (9) new street trees along the property's frontage, and add greenery to the gun club facility's parking areas.

The proposed landscaping is largely in conformance with the Village Zoning Ordinance with the exception of a few items that should be revised on resubmitted plans. Mainly, Staff would like landscape plantings proposed for the south side of the parking lot, near the southern stormwater management facility. These plantings should be at least 4' in height as required by Section 9-10-5(G)(1) of the Village Zoning Ordinance.

Stormwater Management

The petitioner is proposing two naturalized detention areas; one just east of the building, and a second larger detention area at the south end of the proposed parking area. The perimeter of the detention basins will be planted with short grass prairie seed mix and interior of the detention basins will be planted with sedge meadow seed mix.

The petitioner's plans show that underdrains and low flow pipes are provided through the detention basins. The Village's engineering consultant would, however, like the underdrains and low flow pipes eliminated since the purpose of naturalized detention basins is to filter pollutants from stormwater as it flows through the native vegetation.

The petitioner has not yet submitted a stormwater submittal following the Du Page County format for review. ***This must be submitted and review prior to a second Plan Commission meeting.***

Signage

Building Wall Signage

The petitioner is proposing one wall sign on the west side of the building. The wall sign, shown below on the "Partial West Elevation", will include the name of the facility, "THE CHICAGO GUN CLUB" in all caps. The lettering in the sign will be finished with an "Old Copper" color and will be illuminated from behind with a white LED light. The wall sign conforms with Village Zoning Ordinance requirements, with the exception of sign depth, which still needs to be verified by the petitioner.



Sample installation

Exhibit 10 Proposed Building Wall Sign



Partial West Elevation



Monument Signage

The petitioner is proposing one monument sign to be located on the south side of the proposed driveway. The sign, shown below, will be approximately 11.5' tall and 14' wide. The petitioner needs to verify the materials used for the sign in their revised plans, however, the sign generally seems to be constructed of a smooth cedar plank for the sign face and some sort of masonry stone for the base.

The sign itself meets the requirements of the zoning code, however, the sign must be located at least 5' from the nearest lot line and shall not be located in a public easement, which it may be located in. The petitioner should submit revised plans to verify the sign is at least 5' away from the west property line and not located in a public utility easement.

Exhibit 11 Proposed Monument Sign



Subdivision Regulation Requirements

As noted in the Staff Report for the Plan Commission meeting on April 13, 2016, as well as in an email sent to the petitioner on June 1, 2016, Staff specified that the petitioner will need to install a public walkway, curb and gutter, and street lighting as required by Section 10-7-2C, Section 10-7-4A and B, and Section 10-7-4D of the Village Zoning Ordinance. A public walkway, curb and gutter, and street lighting were not included in the first set of submitted plans, but will be expected to be included in the revised set of submitted plans. Please note, that the proposed sidewalk should span the entire length of the property's frontage so that it connects with the sidewalk along the EconoLodge property frontage.

Frontage Road/79th Street is under Illinois Department of Transportation (IDOT) jurisdiction and an IDOT permit will be required for work within the right-of-way. The petitioner shall provide a copy of IDOT's review of the gun club's plans (which include the subdivision improvements mentioned above) to Village Staff before final zoning approval.

Trash Enclosure

The petitioner is proposing a 7' precast concrete trash enclosure on the north side of the building, just north of the loading area for the building. The trash enclosure must be constructed to look like masonry and shall appear to the color and style of the building. Staff recommends that this be included as a condition for the Plan Commission's future recommendation to the Village Board.

Additionally, the trash enclosure will be screened on the west, north, and south by low evergreen and deciduous shrubs, and by one existing, mature honey locust tree. Staff feels this should be adequate screening for the Willowbrook Inn parking area to the north.



Gun Club Filtration & Bullet Trap Specifications

The petitioner has provided specifications regarding the bullet trap and ventilation system in **Attachment 5**. Please see an excerpt of that language below:

"Air quality will be maintained through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from exiting designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels."

Gun Club HVAC Screening

Staff would like the petitioner to provide additional information regarding the location of the HVAC ventilation system. The location of the HVAC system should be noted on revised plans and screening should be provided via a screening wall or landscaping, depending on the location of this equipment.

Utilities

All existing and proposed utilities can be found on "The Site & Utilities" plan in **Attachment 2** of this report. The property is serviced by existing watermain along the frontage of the property, however, only the portion of the watermain on Lot 4 is located within a utility easement. The Village's Engineering Consultant has advised the petitioner that the portion of the watermain on Lot 2 will also need to be located within a utility easement. A permit from DuPage County Public Works will be required for the proposed sewer connection.

Traffic Impact Study

The petitioner has submitted a Traffic Impact Study, prepared by KLOA, which was specifically requested by Staff and the Plan Commission at the Plan Commission meeting on May 18, 2016. The purpose of the Traffic Impact Study is to examine background traffic conditions in the proposed development area, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

This Traffic Study has been reviewed by our traffic consultant from Gewalt Hamilton Associates (GHA) who has confirmed that the following are true:

- The proposed gun club is projected to generate a low volume of traffic during the critical weekday evening peak hours.
- Access to the proposed gun club is to be provided via one full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.
- No left-turn lane will be required to accommodate site access on Frontage Road.
- Intersections near the proposed development currently operate at acceptable levels of service and will continue to do so with the proposed gun club.



Preliminary & Final Plat of Subdivision

The petitioner has submitted a preliminary plat of subdivision to consolidate Lot 2 and Lot 4 of the Anvans Subdivision. The petitioner will also need to submit a final plat of subdivision to be reviewed BEFORE the second Plan Commission meeting for this case, in order to receive a Plan Commission recommendation to the Village Board.

Lighting

The petitioner has submitted a photometric plan for the proposed gun club facility. The photometric plan has been reviewed by the Village's engineering consultant, and with the exception of street lighting, which was not included in the plans (but will be required in future revised plans), the plan appears to be in general compliance with the requirements of the Village Zoning Ordinance.

Liquor License

Alcohol would be served on the premises in specific member only lounge areas. A strict enforcement policy, patterned after national "best practices" would physically prevent and prohibit any member who has been served alcohol from accessing the range facilities and/or firearms for the remainder of that particular day. If alcohol is permitted, Staff recommends that that the Plan Commission include a condition in their future motion restricting the sale and consumption of alcohol to the member only lounge areas.

Jeep Retail

A 20' x 60' Jeep retail space will be provided near the front entrance of the proposed gun club facility. It is unclear if these vehicles will be available for test driving. The petitioner should clarify this at a Plan Commission meeting for his case.

Tri-State Fire District Review

The Tri-State Fire District Fire Marshall provided preliminary comments to the petitioner in January 2017. The Fire Marshall had the following comments related to zoning review of the proposed facility:

1. **Tri-State Comment:** The proposed building has one access way in and out. This access way must be wide enough for two of our vehicles to enter or exit this property at one time (our widest).

Staff Comment: The petitioner shall revise the fire truck turning radius exhibit to illustrate that two of the widest Tri-State vehicles will be able to enter and exit the property.

2. **Tri-State Comment:** We would like to see two fire hydrants on site (1) within 50 feet from the sprinkler connection and (1) near the southwest parking island.

Staff Comment: The petitioner shall submit revised plans siting a fire hydrant within 50' of the sprinkler connection and a fire hydrant near the southwest parking island. Please note that all fire hydrants must be located at least 15' from a parking area, per State code.

3. **Tri-State Comment:** The Fire departments vehicles must be able to make a turn and turn around in this parking lot.

Staff Comment: The petitioner has submitted a fire truck turning radius exhibit proving that Tri-State fire truck vehicles will be able to maneuver on site. This exhibit should be resubmitted with the addition referenced above.

4. **Tri-State Comment:** The proposed building must be fire sprinkled and fully fire alarmed.



Staff Comment: None.

Findings of Fact

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved. The applicant has also drafted responses to these standards, which are attached as **Attachment 5**.

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided in **Attachment 4**, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

Recommended Conditions

Based on plans submitted by the petitioner, Staff recommends the following conditions to be included in a future motion for this case.

1. The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
2. The sale and consumption of alcohol on the premises shall be restricted to the proposed member only lounge areas, as designated on the Architectural Plans.
3. The proposed metal material shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
4. Any smoking conducted on the premises must be conducted outside of the building.
5. The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.
6. The petitioner shall obtain all necessary permits from IDOT prior to performing any work within the Frontage Road/79th Street right-of-way.
7. The proposed building must be fire sprinkled and fully fire alarmed.
8. There shall be no outdoor storage of materials or vehicles of any kind.
9. The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans submitted by the petitioner.
10. The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
11. The special use shall become null and void if the gun club facility ceases to operate for any 90 day period.

Once the Plan Commission and Staff have more information regarding the HVAC units, a condition may be necessary regarding screening of the HVAC units.



Summary

The Plan Commission first saw concepts for this project back in May of 2016 and were generally supportive of the proposed use. The proposed use will establish a unique business in the Village of Willowbrook, bring new people to town, and support existing hotels, surrounding restaurants and retail uses. Staff has reviewed the preliminary plans, submitted in January 2017, and finds them generally in compliance with the concept plans presented to the Plan Commission back in May of 2016.

Minor changes, as well as additional submittal materials will still be required from the petitioner prior to forwarding to the Village Board a formal consideration. Chief among those revisions include the addition of curb and gutter, sidewalk, and street lighting to the plans, as well as submitting a stormwater submittal for the Village's Engineering Consultant to review.

Other question or concerns may come out of the public hearing process and can also be incorporated into any final direction to the petitioner when finalizing their plans for a formal vote at a future Plan Commission meeting. Any motion to continue the hearing should include the date and location of the continued meeting.

Development Concept Executive Summary

Who:	<p>Private local investor group including Joe Neveril, an Illinois attorney since 1996; Management and Advisory team would include current and former police, certified firearm safety trainers, ex-military, legal / accounting / regulatory expertise, and a franchised new car dealer with over 30 years of experience in the local market.</p> <p>Architectural Firm: Damian Farrell Design Group, PLLC Specialized Equipment Vendor: Action Target</p>
What:	<p>Develop the Chicagoland Area's first <u>state-of-the-art, luxury</u> indoor shooting range with emphasis on SAFETY, EDUCATION & PREPAREDNESS.</p> <p>Revenue would be generated from the following sources:</p> <ul style="list-style-type: none"> • Member initiation fees and monthly dues; • Sale of merchandise: <ul style="list-style-type: none"> ◦ Firearms and ammunition; ◦ Firearms accessories (optics, holsters, kits, etc.); ◦ Emergency / Survival / Outdoor gear; • Rentals (Lanes and Firearms) / Potential municipal police contracts; • Firearm safety / training classes (e.g, CCL, "Know Your Surroundings", Self-Defense, etc.); • Limited food and drink; • Sale of customized 4x4s to survivalist/outdoor/hunting market.
When:	Commence construction in Fall of 2016, if permitted.
Where:	3.42 vacant acres located at 79 th Street and Frontage Rd., Willowbrook.
Why:	The opportunity for lawful gun owners to properly train in a luxurious, comfortable, clean, and safe environment simply does not exist in this area.
How:	<p>Build a world class training facility with a luxury resort/private club "look and feel":</p> <ul style="list-style-type: none"> • 29,000 sq. ft. brand new structure; • Luxurious appointments and high-end finishes throughout; • Highest grade HVAC system / bullet traps / lighting / airflow quality; • 32 total shooting lanes, Tactical Bay with computerized targeting systems; • 4,000 - 7,000 sq. ft. retail area; • Multiple categories of membership with varying amenities and benefits; • Member-exclusive access to dedicated luxury areas (fireplaces, flat screen TVs, leather seating, outdoor cigar lounge); • High-tech classroom area(s) dedicated to education & safety training.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

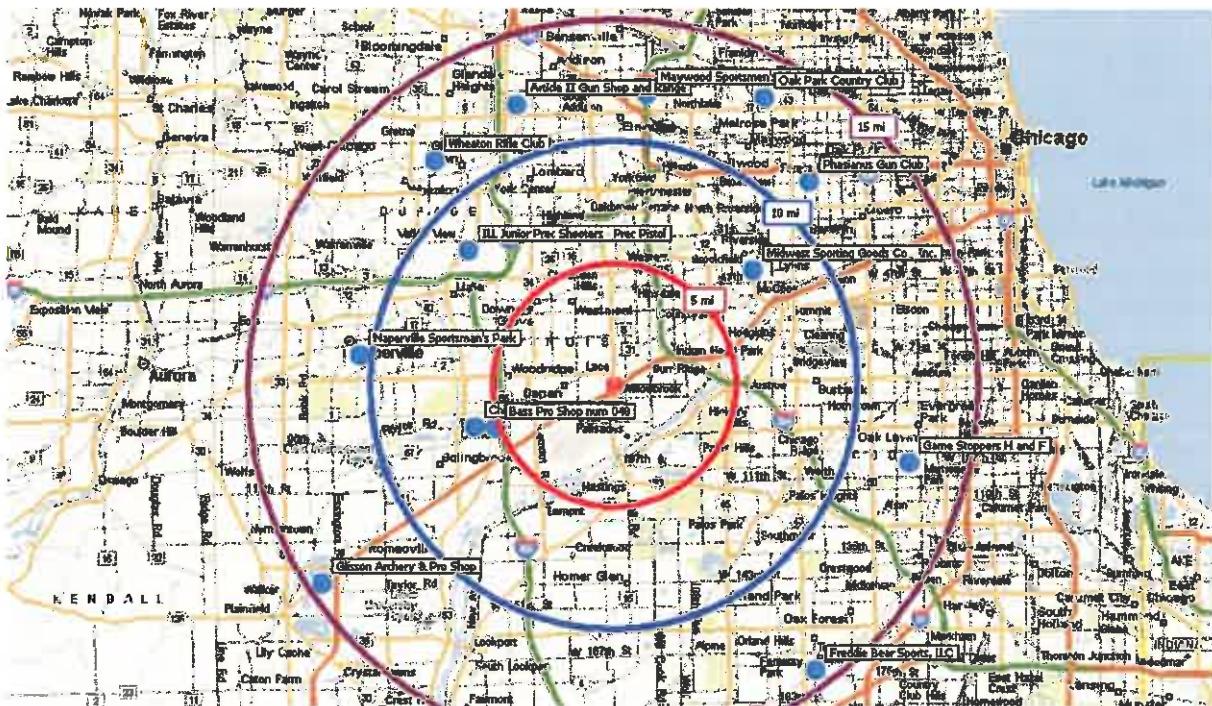
I. Safety First: Firearm Education & Training Opportunities Lag Firearm Proliferation

On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public.⁽ⁱ⁾ The new “concealed carry” law went effective January 1, 2014. Nine thousand (9,000) concealed carry licenses (CCLs) were issued to DuPage County residents from January 1, 2014, through December 31, 2015; Forty thousand were issued to neighboring Cook County residents over that same two-year period.⁽ⁱⁱ⁾

Nearly ten thousand people within DuPage County are allowed to generally go about their daily lives carrying a concealed firearm. They could be at a restaurant, at a department store, almost anywhere. Do they know how to handle their weapon safely? Do they know how to check if it is loaded, cocked, ready to go off, etc.? To obtain a CCL, Illinois law requires applicants to have successfully passed a 16 hour training course taught by a certified CCL instructor. How many CCL permit holders have forgotten the lessons taught in the program? Most importantly, where do they go to review and practice to ensure basic proficiency and adherence to safety protocols?

Simply stated, there is a void in the local marketplace. Given the barriers to approval, permitting, and construction, indoor gun ranges—places where one can go to train regardless of the weather—have failed to keep pace with the increase in firearm demand. Consequently, indoor facilities “have never been busier.”⁽ⁱⁱⁱ⁾ The Illinois State Rifle Association estimates that concealed carry will generate \$1 billion of added economic activity over its first three years.^(iv)

Despite the surge in popularity, gun ranges are noticeably absent in affluent DuPage County, especially within the I-88 E-W and I-55 N-S band:



In the diagram above, each blue dot represents a location of shooting range, shooting facility or preserve per the National Shooting Sports Foundation (NSSF) database within 5, 10 and 15 miles from our proposed site. Only two (2) of the indicated locations are actual indoor ranges open to the public (all the others are archery only, outdoor only, golf clubs with outdoor shooting areas, and other non-comparables).

Historically, the two nearest indoor range options for residents of the affluent Willowbrook, Hinsdale, Burr Ridge, Oak Brook, Clarendon Hills and Darien area have been Midwest Guns in Lyons and Article II in Lombard. On February 15th of this year, "The Range at 355" opened in Bolingbrook. And although each of these indoor ranges may be doing well financially, none of these facilities offer the luxury, upscale "guntry club" amenities that are becoming increasingly popular across the United States. We discuss the emergence of this new indoor range business model in detail in the next section.

II. The "Gunny Club" Concept: A State-of-the-Art Shooting Facility with Member Amenities

With the opening of the Scottsdale Gun Club in 2004, the up-scale, luxury indoor shooting range concept—"the guntry club"—was born.^(v) The term has emerged as way to describe posh indoor shooting ranges that have been designed to appeal more to women and families than traditional ranges.^(vi) Lounges with leather chairs, flat-screen TVs and "members only" access are typical. In the most successful projects, private memberships are "pre-sold" prior to construction.

Consumer demand, as well as investor interest, has been steadily growing for such indoor facilities. According to the New York Times,

"...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls."^(vii)

An article in the Washington Post describes the evolution towards upscale facilities:

The high-end ranges come as the \$15 billion gun industry's sales have more than doubled since 2005. ... The average age of new target shooters is 33, while 47 percent live in urban or suburban areas, and 37 percent are female ... Shooters spend \$10 billion a year on target shooting, including the cost of firearms, ammunition and range fees.

Those demographics and economics are attracting investors without firearms industry backgrounds; they see ranges as a new place to employ their cash. Elite Shooting Sports, a nearly \$14 million project, has investors from the electronics industry, real estate, finance, hotel and auto industry executives have backed other new ranges.

"A lot of savvy investors have seen the surge in sales within the firearms industry, see that it's a quality industry to invest in and are smartly doing so," said Zach Snow, a range expert

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

at the sports foundation. “These ranges are trying to project a comfortable image to the largest contingent of people possible.”

Gone are the folding chairs, stale coffee and drab settings of the old mom-and-pop gun ranges. The idea now is to compete for entertainment dollars with golf and country clubs, nightclubs and movie theaters, which have also gone high-end with leather chairs and mixed drinks. Miami’s Lock & Load, which offers themed machine gun packages, including one with Israeli special forces weapons, is the No. 1-ranked activity in the city on TripAdvisor. Ranges are even becoming a new place to take clients for lunch — and squeeze off a few rounds.”
(viii)

In short, the industry is going up-scale (like what Top Golf is doing to driving ranges) and our proposed site—with as favorable demographics as anywhere in the country—is an ideal location.

III. The Potential Financial Engine

In terms of revenue, and by way of example, a well-known luxury gun club, with 32 shooting lanes and 4,000 sq. ft. of retail space, generated sales of \$1.628 million (and a gross profit of \$727,636) during a 3-month period (May-June, 2005) in its first year of operation. Two years later, in 2007, that same 3-month period (May-June, 2007) generated sales of \$2.905 million (and a gross profit of \$1,035,076).^(ix) Annualizing these figures suggests that potential taxable revenue could exceed \$6.5 million in the first year, and be well over \$11.5 million by the third. The revenue ceiling, however, may actually be much higher: a new luxury indoor facility located in Oklahoma City reportedly generated \$26 million in revenue in 2013.^(x)

In addition, none of these historical reference points included vehicle sales in their respective business models. Our concept also includes selling customized 4X4s (with 2 models on site at any given time) tailored to outdoor survivalists. Each customized vehicle will retail in the \$45,000 – \$60,000 range, depending on options. We anticipate selling between 2 and 5 such vehicles each month, which could account for an additional \$1 to \$3 million in annual taxable receipts.



Continuing with the preparedness / survivalist theme, we also intend on offering a wide range of merchandise tailored to this growing market segment. One product example is the “Bug-Out Bag” – a pre-packed bag that includes items that can keep a person or family alive in the harshest of conditions for a certain period of time. For many people, confidence in knowing that one’s family has a real and tangible survival plan in place provides peace of mind and improved overall quality of life.

IV. Conclusion

Guns are not going away. In fact, quite the opposite. And with each terrible event—whether it be terrorism or just some deranged person—gun purchases actually spike across the U.S. The weekend after the Paris attacks set records for gun purchases. The Chicagoland area is no exception.

Law abiding citizens are purchasing guns in record numbers, and many are obtaining CCLs, but the number of clean and comfortable locations in which to maintain adequate proficiency and to receive critical firearm safety training have not kept pace. This puts our families and children at risk of unintended injury.

Two years ago, the Willowbrook Zoning Board discussed the indoor gun range business model in detail, and then took the proactive steps to introduce a text amendment to the B-4 designation. As part of that process, Willowbrook re-zoned four nearby lots as B-4, and thus, identified location(s) potentially eligible for this type of use.

The (practically) adjacent subject property shares these very same characteristics and would be an ideal location for this business.

We welcome your thoughts, concerns and feedback on our development concept.

End Notes:

⁽ⁱ⁾ Illinois Bar Journal, December 2013, Volume 101, Number 12, Page 620.

⁽ⁱⁱ⁾ See “Concealed carry permit applications drop across Illinois”, By – Associated Press, State Journal-Register, February 1, 2016.

⁽ⁱⁱⁱ⁾ See “Illinois gun ranges busy, trying to meet demand” By - Associated Press - Sunday, March 23, 2014, Information attributed to The Daily Herald. See also: “Sign-ups soar for shooting classes; Jan. 5 first day for online concealed carry registration”, The Telegraph, by Sanford J. Schmidt, December 27, 2013; and “Demand for concealed carry keeps growing in suburbs”, The Daily Herald, January 16, 2014.

^(iv) “Gun law fires up training for concealed-carry”, Illinois Business Journal, Written by Terry Hillig; December 2013.

^(v) See Candace Carlisle, “Guns are the new range: Taking clients to the range”, Dallas Business Journal, September 27, 2013.

^(vi) Arthur Hirsch, “Entrepreneurs plan posh 'guntry club' in Beltsville”, The Baltimore Sun, January 30, 2015.

Proposed Development Concept – Luxury Indoor Firearm Training Facility and Gun Club

^(vii) Julie Turkowitz, “Ready, Aim, Fire, Then Relax in the Lounge”, The New York Times, November 28, 2014.

^(viii) Michael S. Rosenwald, “Gunny clubs target a new breed of shooter: younger, more affluent and female.” The Washington Post, January 13, 2015.

^(ix) Note: the gross profit figure does not include operating expenses –that is, no advertising, administrative, personnel expense or facility expense are included.

^(x) Arthur Hirsch, “Entrepreneurs plan posh ‘guntry club’ in Beltsville”, The Baltimore Sun, January 30, 2015.

PROJECT NUMBER 161107_05_02

DATE 12.30.2016

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527



BB
FDG

PLC

359 METTLE DRIVE, SUITE 4A
ANN ARBOR, MI 48103
TEL: 734.598.1331
FAX: 734.213.2953

LANDSCAPE ENGINEER OF RECORD
DRAFTER, ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD

MEP ENGINEER OF RECORD

ARCHITECT OF RECORD

SITE PLAN REVIEW

THE CHICAGO GUN CLUB
79TH STREET AND FRONTAGE ROAD
WILLOWBROOK, ILLINOIS 60527

DATE

DESCRIPTION

DESIGN

DRAWN

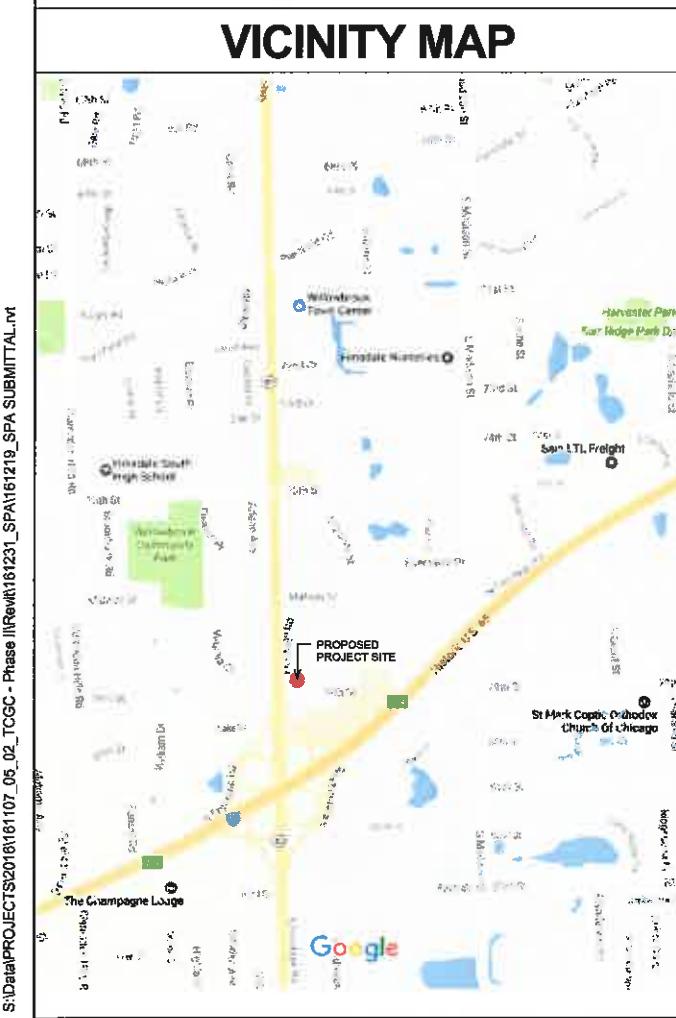
Author

PROJECT NUMBER

161107_05_02

TITLE SHEET, MAP +
SHEET INDEX

T1.0



PROJECT DIRECTORY

LAND OWNER
TCGC PROPERTY, LLC
321 CENTER STREET
HILLCIDE, ILLINOIS 60162

PETITIONERS
TCGC PROPERTY, LLC
321 CENTER STREET
HILLCIDE, ILLINOIS 60162
- AND -
THE CHICAGO GUN CLUB, LLC
4625 LEE AVENUE
DOWNERS GROVE, ILLINOIS 60515

ARCHITECT
DAMIAN FARRELL DESIGN GROUP PLLC
359 METTLE DRIVE, SUITE 4A
ANN ARBOR, MICHIGAN 48103
PH: 734.598.1331

CIVIL ENGINEER
MORNINGSTAR ENGINEERING, INC.
1000 GREENVILLE ROAD
LISLE, ILLINOIS 60532
PH: 630.271.0770

SURVEYOR
ROAKE AND ASSOCIATES, INC.
1684 QUINCY AVENUE, SUITE 100A
NAPERVILLE, ILLINOIS 60540
PH: 630.385.4460 x 210

LANDSCAPE ARCHITECT
DAVID R. McCALLUM ASSOCIATES, INC.
350 NORTH MILWAUKEE AVENUE
LIBERTYVILLE, ILLINOIS 60048
PH: 847.382.0209

TRAFFIC CONSULTANT
KENIG, LINDGREN, CHARA, ABDONA, INC.
9575 WEST HIGGINS ROAD, SUITE 400
ROSEMONT, ILLINOIS 60018
PH: 847.518.8999

LIGHTING CONSULTANT
KSA LIGHTING AND CONTROLS
1220 CENTRAL AVENUE
HANOVER PARK, ILLINOIS 60133

GENERAL CONTRACTOR
TBD

PROJECT SUMMARY

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A TWO-STORY, 31,000 sq.ft. MIXED USE FACILITY WHICH INCLUDES:
- INDOOR FIRING RANGE (18,600 sq.ft.)
- RETAIL (5,380 sq.ft.)
- ASSEMBLY (4,820 sq.ft.)
- WAREHOUSE (7,700 sq.ft.)
- OFFICES (1,685 sq.ft.)
- CLASSROOM (900 sq.ft.)

THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 128 CARS (INCLUDING 5 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

SITE DATA

PARCEL I.D.

09-26-402-029

09-26-402-018

ZONING DISTRICT

EXISTING: B-3, GENERAL BUSINESS

PROPOSED: B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT

SITE AREA

EXISTING: 3.4 acres (148,648 sq.ft.)

RE-ZO'D (For B-4): 2.0 acres min. (87,120 sq.ft.)

REQUIRED SETBACKS

FRONT YARD: 100 ft.

INT. SIDE YD: 40 ft.

EXT. SIDE YD: 60 ft.

REAR YARD: 40 ft.

PROPOSED SETBACKS

FRONT YARD: 100 ft.

INT. SIDE YD: 57.6 ft.

EXT. SIDE YD: 79 ft.

REAR YARD: 68 ft.

SITE SIGNAGE REQUIREMENTS

MIN. SETBACK: 6 ft.

MAX. HEIGHT: 24 ft.

MAX SIGN SURFACE: 400 sq. ft.

PARKING CALCULATION

SPACE

INDOOR FIRING RANGE

RETAIL

ASSEMBLY

WAREHOUSE

OFFICES

CLASSROOM

QTY.

32 lanes

4,280 sq. ft.

1,100 sq. ft.

4,820 sq. ft.

2,620 sq. ft.

1,685 sq. ft.

30 seats

REQUIREMENT

2 spaces per lane

4 spaces per 1,000 sq. ft.

1 spaces per 400 sq. ft.

1 spaces per 225 sq. ft.

2 spaces per 2 workers

1 spaces per 220 sq. ft.

1 per 3 seats

NO. OF SPACES

64 spaces

20 spaces

3 spaces

21 spaces

2 spaces

8 spaces

10 spaces

2 spaces per lane

4 spaces per 1,000 sq. ft.

1 spaces per 400 sq. ft.

1 spaces per 225 sq. ft.

2 spaces per 2 workers

1 spaces per 220 sq. ft.

1 per 3 seats

128 SPACES

(5 BARRIER-FREE)

TOTAL PARKING REQ'D:

128 SPACES

(5 BARRIER-FREE)

TOTAL PARKING PROPOSED:

128 SPACES

(5 BARRIER-FREE)

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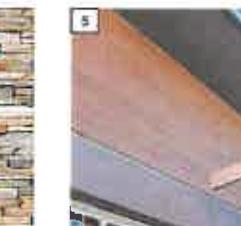
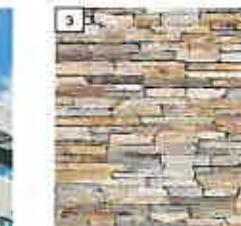
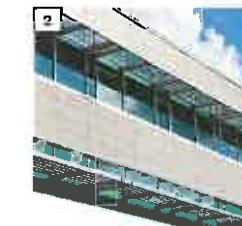
SITE PLAN REVIEW

ELEVATIONS
A2.0

DATE	DESCRIPTION
	THE CHICAGO GUN CLUB
	NEW STREET AND TRADE ROAD WALL CONSTRUCTION, 10' HIGH WALL
	DESIGNER DRAWN BY PROJECT NUMBER 161107_05_02



S:\Data\PROJECTS\2016\161107_05_02_TCGC - Phase II\Rewritten161231_SPA SUBMITTAL.MT



Material Key Notes

- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System. White.
- 2 Fiber-cement siding, like Nichiha "Architectural Block" series, Mocha.
- 3 Stone veneer.
- 4 Aluminum fascia, dark bronze anodized.
- 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.
- 6 Steel pergola structure, painted dark bronze.
- 7 Pre-cast concrete panel.
- 8 Ground-face block.
- 9 Fiber-cement soffit panels.

PERSPECTIVES AND MATERIAL NOTES

A3.0



Damian Farrell Design Group PLLC

400A 17TH STREET, SUITE 100

NEW YORK, NY 10011

TEL: 212.986.1222

ITEM	DESCRIPTION
1	SITE PLAN REVIEW
2	THE CHICAGO GUN CLUB
3	ARCHITECTURE
4	STRUCTURAL ENGINEERING
5	MECHANICAL SYSTEMS
6	ELECTRICAL SYSTEMS
7	LANDSCAPE ARCHITECTURE
8	INTEGRATED SYSTEMS
9	WILDERNESS DESIGN
10	WILDERNESS ROAD
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ALTA/NSPS LAND TITLE SURVEY

OF

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

PARCEL 1:

LOT 4 IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R#86-86734, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2, AND 3 IN ANVAN'S FIRST ADDITION, BEING A SUBDIVISION OF ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVAN'S SUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R#86-203791, IN DUPAGE COUNTY, ILLINOIS.

PARCEL AREA = 148.971 SF. OR 3.420 ACRES

APPROPRIATE LOCATION PER ATLAS

15' CMP W/ 12" PVC RESTRICTOR

ASPHALT

15' TOP

ASPHALT

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

LEGEND

EXISTING	PROPOSED
MANHOLE	DECIDUOUS TREE
CATCH BASIN	EVERGREEN TREE
INLET	OVERLAND FLOOD ROUTE
CLEANOUT	DRAINAGE ROUTE
FLARED END SECTION	DOWNSPOUT
WATER VALVE BOX	SILT FENCE LINE
BUFFALO BOX (B.BOX)	DEPRESSED CURB
WATER VALVE U V A U L T	SOIL EROSION GEOTEXTILE PROTECTION
FIRE HYDRANT	CONCRETE
WELL	BRICK
GAS VALVE	ASPHALT
GAS METER	BUILDING
COMMUNICATION CANISTER	GRAVEL
COMMUNICATION HANHOLE	STONE
COMMUNICATION MANHOLE	
ELECTRIC CANISTER	
ELECTRIC HANHOLE	
ELECTRIC MANHOLE	
ELECTRIC METER	
TRAFFIC SIGNAL	
TRAFFIC HANHOLE	
TRAFFIC CONTROL BOX	
UTILITY POLE	
UTILITY POLE W/LIGHT	
STREET LIGHT	
STREET SIGN	
BORING LOCATION	
MAILBOX	
SPOT ELEVATIONS	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
RIGHT OF WAY LINE	
STORM SEWER LINE	
SANITARY SEWER LINE	
WATERMAIN LINE	
UNDERGROUND GAS LINE	
UNDERGROUND COMM. LINE	
UNDERGROUND ELECTRIC	
OVERHEAD UTILITY	
FENCE LINE	
GUARDRAIL LINE	
CONTOUR LINE	

PROJECT LOCATION



PROJECT LOCATION MAP

INDEX OF SHEETS

1. COVER SHEET
2. GENERAL NOTES & SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
4. GRADING PLAN
5. SWPPP & EROSION CONTROL PLAN
6. SITE PLAN
7. DETAILS
8. DETAILS
9. DETAILS

SHEET TITLE	
CHICAGO GUN CLUB	WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-1370
Survey: (630) 271-0598
Fax: (630) 271-0774
Website: www.moril.com



FIELD CREW	GB
DRIVEN BY	CJS
CHECKED BY	
APPROVED BY	AR
DATE	11/07/2016
SCALE	HORZ. scale
	VERT. scale
SHEET	
1	OF 9 SHEETS
PROJ #	16-PR-2003

SOURCE BENCHMARK
VILLAGE OF GLENVIEW, ILLINOIS
MONUMENT (GRS)
BENCHMARK STATION NO. 25
NORTHING: 197501.0218
EASTING: 1133758.307
COUNTY: COOK
DESCRIPTION: A GPS MONUMENT IN THE WEST PARKWALL OF
WINDSOR ROAD, JUST SOUTH OF GOLFVIEW ROAD.
VILLAGE DATUM ELEVATION: 637.13

SITE BENCHMARK #1
ARROW BOLT ON FIRE HYDRANT APPROXIMATELY 27 FEET
NORTH OF SOUTHWEST PROPERTY CORNER.
ELEVATION 6708.95

SITE BENCHMARK #2
ARROW BOLT ON FIRE HYDRANT APPROXIMATELY 17 FEET
NORTH OF THE NORTHEAST PROPERTY CORNER.
ELEVATION 6712.98



NOTICE TO CONTRACTORS

EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SIGNIFICANCE OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)

ENGINEER'S CERTIFICATION

STATE OF ILLINOIS
SS.
COUNTY OF DuPAGE

I, ALFIS J. RUGENHUS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, LILLE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONDING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS 11TH DAY OF NOVEMBER, 2016 A.D. 2016

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 062-047342
REGISTRATION EXPIRES ON NOVEMBER 30, 2017



PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

1. ALL ON-SITE AND OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "VILLAGE OF WILLOWBROOK" U
2. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION U
3. ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED IN CONFORMANCE WITH THE MOST RECENT VILLAGE STANDARD U
4. EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE EITHER INTEGRATED INTO THE SITE DRAINAGE SYSTEM, REMOVED OR PLUGGED IN A MANNER DEEMED APPROPRIATE BY THE VILLAGE ENGINEER U
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF WILLOWBROOK U
6. THE VILLAGE MUST HAVE FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES U
7. THE TESTING AND STERILIZATION OF ALL NEW WATER DISTRIBUTION FACILITIES SHALL BE COMPLETED PRIOR TO MAKING WATER SERVICE TAPS BY AN OUTSIDE TESTING SERVICE U

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.

THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.

THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.

THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.

STABILIZE AND PROTECT DISTURBED AREAS. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. MECHANICAL, STRUCTURAL, AND/OR VEGETATIVE CONTROL METHODS SHALL BE USED IN ORDER TO RETARD SOIL EROSION IF DIRECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.

KEEP RUN-OFF VELOCITIES LOW WITH SHORT SLOPES AND LOW GRADIENTS. THE INSTALLATION OF NATURAL VEGETATIVE COVER HELPS TO KEEP STORM WATER VELOCITIES LOW, AND THUS LIMIT SOIL EROSION EFFECTS.

PROTECT DISTURBED AREAS FROM STORM WATER RUN-OFF. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE. PROTECTIVE MEASURES SHALL BE UTILIZED TO DIVERT RUN-OFF FROM DISTURBED AREAS.

RETAIN SEDIMENT WITHIN THE SITE AREA - SEDIMENT BASINS SHALL BE CONSTRUCTED IN ORDER TO DETAIN SEDIMENT LADEN RUN-OFF SO THAT THE SOIL PARTICLES SETTLE OUT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.

NATURAL PLANT COVER SHALL BE MAINTAINED AND PROTECTED AND ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION.

PROTECTION OF EXISTING FACILITIES AND UTILITIES - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY FACILITIES FOR THE PROTECTION OF ALL EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT. ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, FILTERED, OR OTHERWISE TREATED TO REMOVE SEDIMENT. FURTHERMORE, ANY DAMAGE DONE BY HIM, HIS AGENTS, OR ASSIGNS SHALL BE REPAIRED AT NO ADDITIONAL COMPENSATION.

DIRT ON PAVEMENT - WHERE A CONTRACTOR'S EQUIPMENT IS OPERATED UPON AN EXISTING PAVEMENT USED BY TRAFFIC THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS IMMEDIATELY AND AT OTHER TIMES AS DIRECTED BY THE OWNER, THE ENGINEER, OR THE GOVERNING MUNICIPALITY. THE CLEANING WORK SHALL BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE COST OF THE CONTRACTOR'S CONTRACT FOR THE WORK TO BE PERFORMED.

DUST CONTROL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EXCESSIVE DUST BY WATERING DURING THE CONSTRUCTION PERIOD UNTIL THE ROAD PAVEMENT IS INSTALLED BY THE PAVING CONTRACTOR. THE REQUIREMENT FOR DUST CONTROL SHALL BE AS DIRECTED BY THE LOCAL APPROVING AUTHORITIES OR THE ENGINEER, AND SUCH DUST CONTROL (IF REQUIRED) SHALL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED.

THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR VILLAGE OF WILLOWBROOK.

WHEN A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE (3) DAYS, SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED.

THE CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE USE OF HEAVY EQUIPMENT WITHIN THE DESIGNATED DRAINAGE FACILITIES.

NO STOCKPILING WITHIN DRIP LINE OF TREES. MAINTAIN TWENTY-FIVE (25) FEET MINIMUM DISTANCE BETWEEN STOCKPILES AND DRAINAGE WALL, AND SILT FENCE OR VEGETATIVE COVER ON DOWNSHILL SIDE.

EROSION CONTROL MEASURES INSPECTION SHALL BE CONDUCTED WEEKLY OR AFTER EVERY 1/2 INCH OF RAIN.

TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE DEFICIENCIES FOUND AND NOTED ON INSPECTION REPORT. DEFICIENCIES SHALL BE CORRECTED WITHIN 24 HOURS.

A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING CONSTRUCTION OF THE BIO-RETENTION SWALE TO VERIFY THAT THE UNDERLYING SOILS WILL ALLOW INFILTRATION.

EXCAVATION

ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, PCC CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.

EARTHWORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:

- A. REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE.
- B. PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING.
- C. STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL BE MADE.

THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.

EXISTING SEWER AND WATERMAIN TRENCHES UNDER DRIVEWALS IN PARKWALS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTED TRENCH BACKFILL.

EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

GENERAL NOTES

1. ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHY WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
3. SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
4. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITIES COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
6. THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
7. THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTEEN-TWO (72) HOURS NOTICE FOR ANY STAKING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
8. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - 8.1. TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
 - 8.2. VILLAGE OF WILLOWBROOK PUBLIC WORKS - (630) 920-2238
9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
10. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
13. THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES, AND PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
14. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF SITE WATER. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILLED WITH CA-6 COMPACTED IN EIGHT INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SLIT TRENCHING.
15. THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIRE HYDRANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MANHOLES, CATCH BASINS, INLETS AND VALVE VAVES AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
16. ALL MANHOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
17. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
18. THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
19. THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
20. THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
21. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
22. ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

GENERAL NOTES AND SPECIFICATIONS

CHICAGO GUN CLUB
MILLWOOD BROOK, ILLINOIS

CHICAGO GUN CLUB
MILLOWBROOK, ILLINOIS

Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
15 Wanenmiller Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0769
FAX: (630) 271-0774



WRI
INFRASTRUCTURE

FILED CHECK: GB
 DRAWN BY: CJS
 CHECKED BY: AS
 PREPARED BY: AR
 DATE: 11/07/2016
 SCALE: HORIZ. NONE
VERT. NONE
 SHEET 2
 OF 9 SHEETS

ROBERT KINGERY HIGHWAY
STATE ROUTE 83

—THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

A compass rose with cardinal directions (N, S, E, W) and a 24-hour scale (00, 12, 24) around the perimeter.

12/28/2016 2:34:51 PM
H:\164\PR2003 - Chicago Sun Club

**ROBERT KINGERY HIGHWAY
STATE ROUTE 83**

THE WEST LINE OF THE SOUTHEAST QUARTER OF 26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

INV 705.63

ASPHALT

EX MH
RIM 711.42
INV 711.27

EX MH
RIM 711.35
INV 710.35

ANVAN'S RESUBDIVISION
PER DOC. R86-028791
PIN 09-26-402-028

EX CB
RIM 714.40
INV 710.82 SECW 12' RCP

ASPHALT

N88°12'25"E MEAS
S89°45'5" REC
RIM 710.91
TIP 708.0

374.84' MEAS
375.0' REC

FND 3/4" IP
@ CORNER

CONCRETE SWALE

APPROXIMATE LOCATION
OF WEST SHORE PIPELINE
SHOWN PER ATLAS

4' CHAINLINK
FENCE

EX VALVE VACUUM
RIM 711.21
TIP 708.0

FND 3/4" IP
@ CORNER
STOCKPILE

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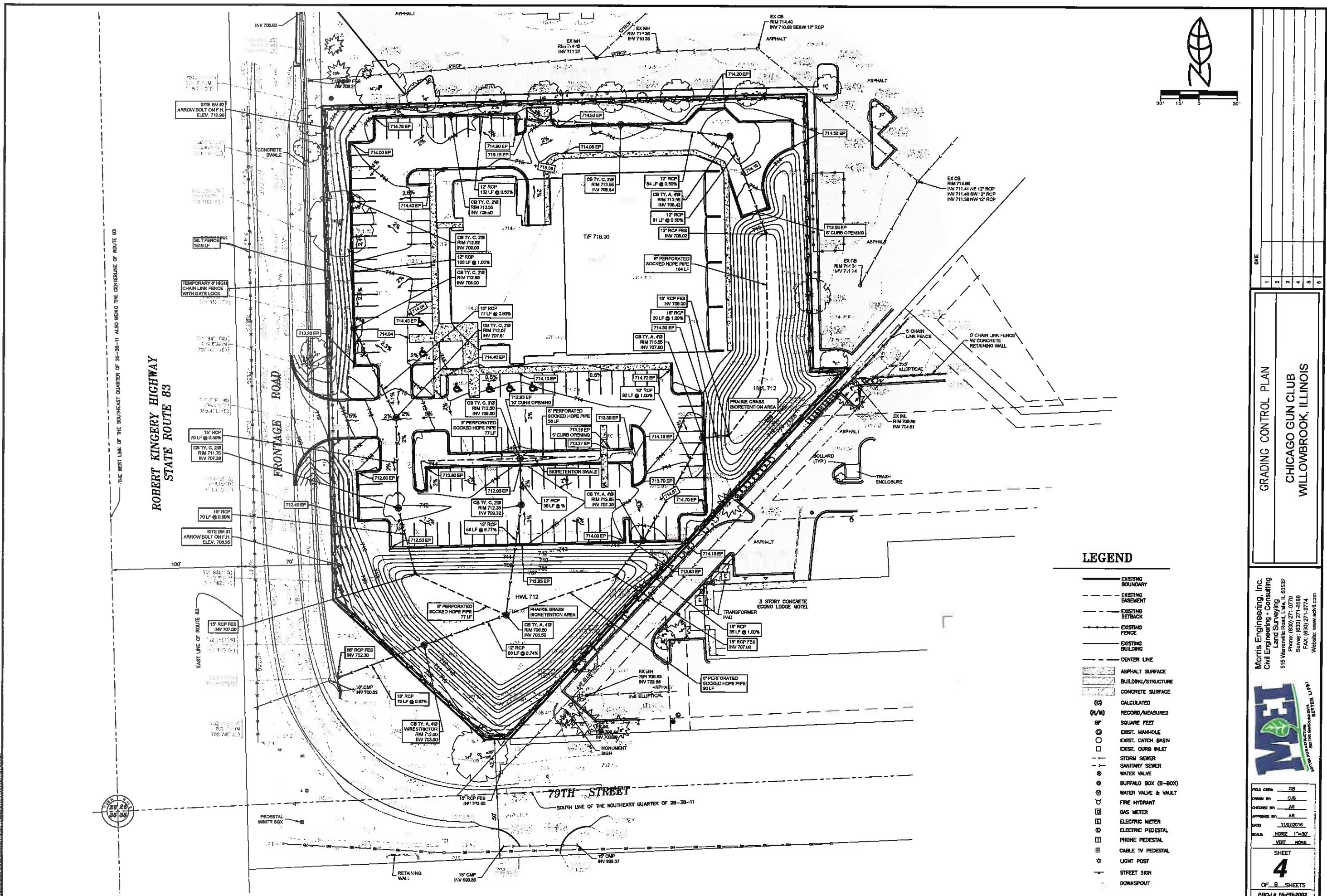
1. FOR EXISTING TREE REMOVAL,
SEE LANDSCAPING PLAN BY OTHERS.
2. ANY WATER PUMPED FROM THE SITE
MUST BE FILTERED PRIOR TO EXITING THE PROPERTY.
3. NO STOCKPILES ON SITE, EXCAVATED
MATERIAL SHALL BE REMOVED.

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Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
115 Warrenville Road, Suite 100
Warrenville, IL 60552
Phone: (630) 271-0770
Fax: (630) 271-0774
Website: www.morris.com

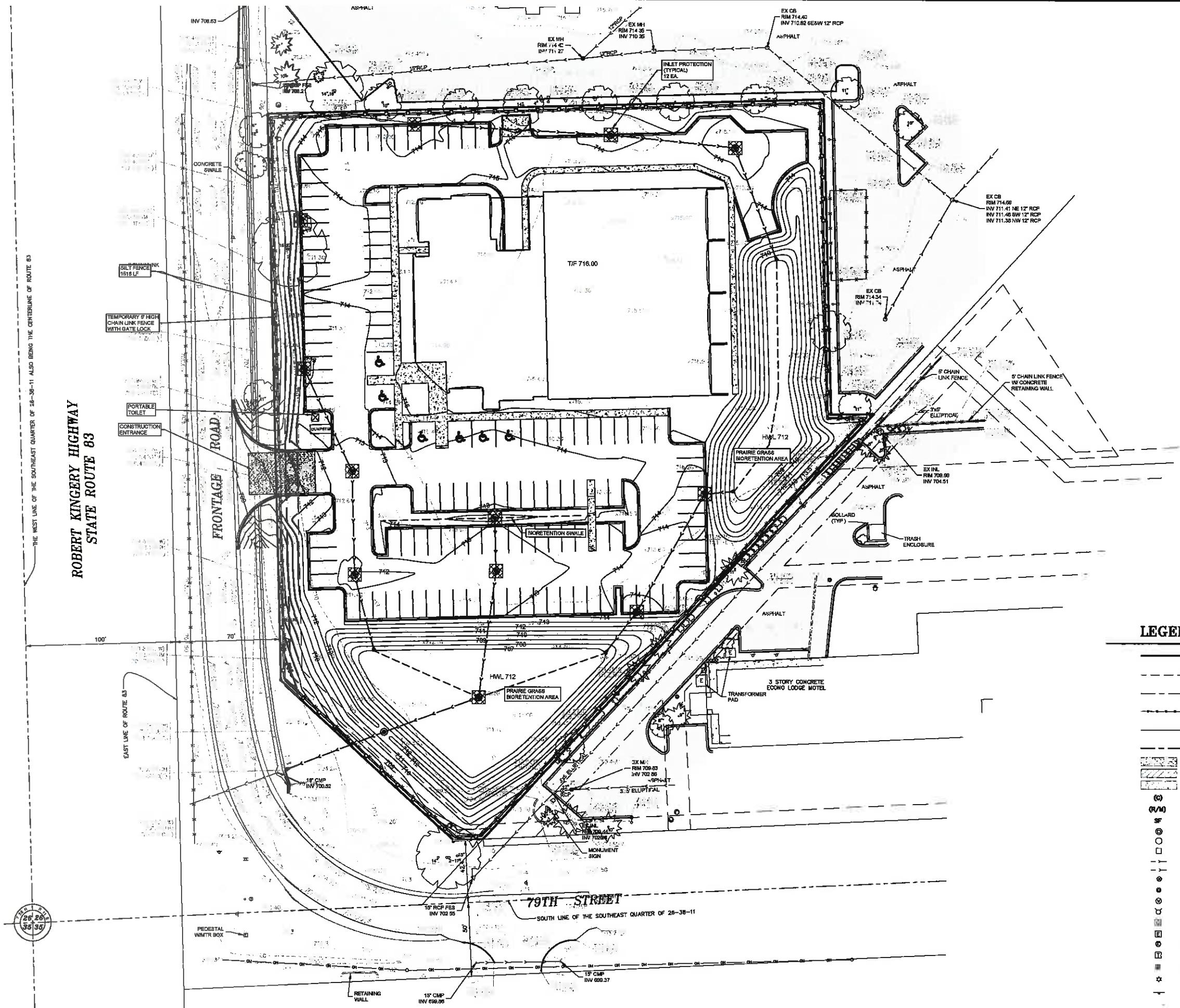


EXISTING CONDITIONS AND DEMOLITION PLAN	1
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CHICAGO GUN CLUB WILLOWBROOK, ILLINOIS	



ROBERT KINGERY HIGHWAY
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THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

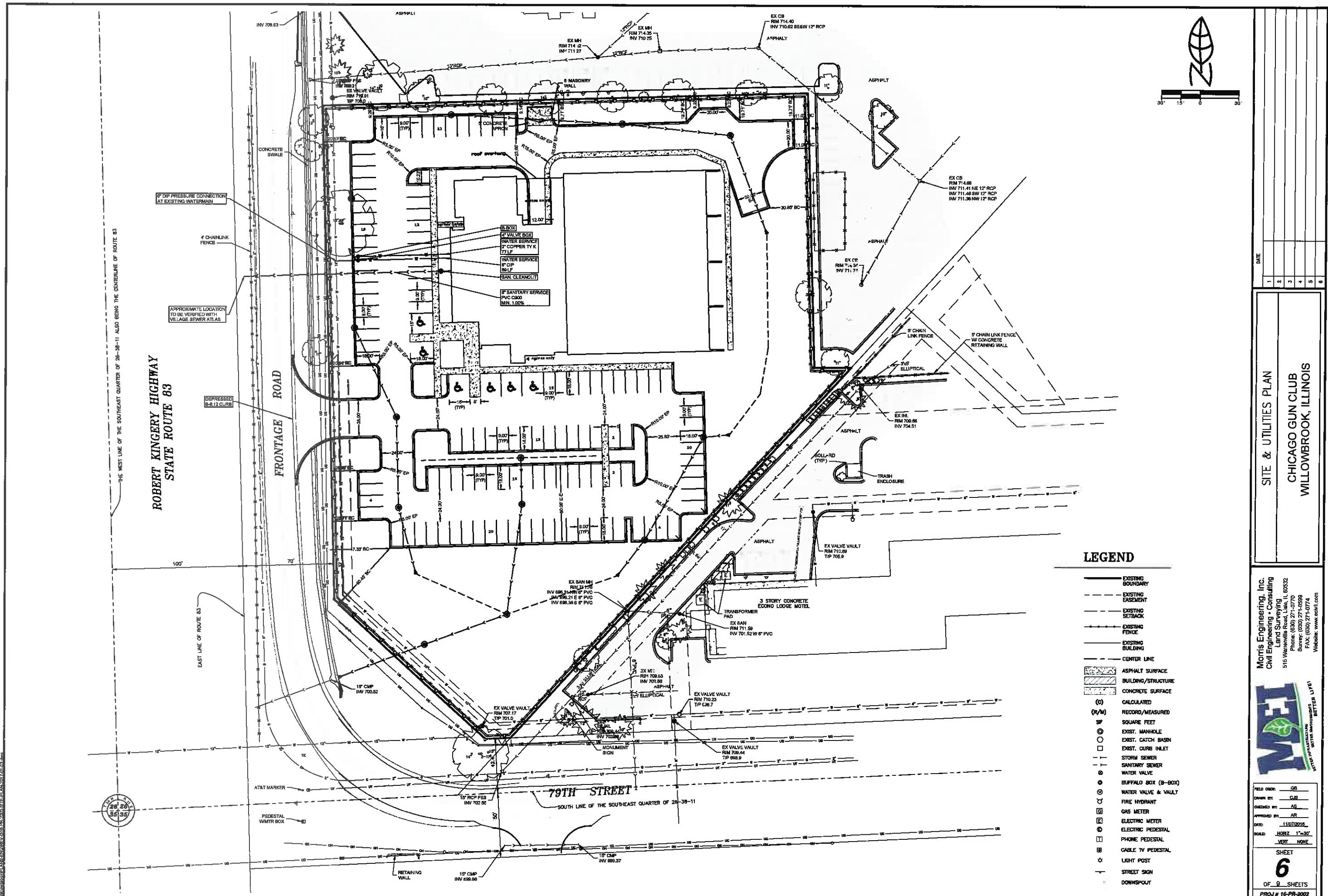


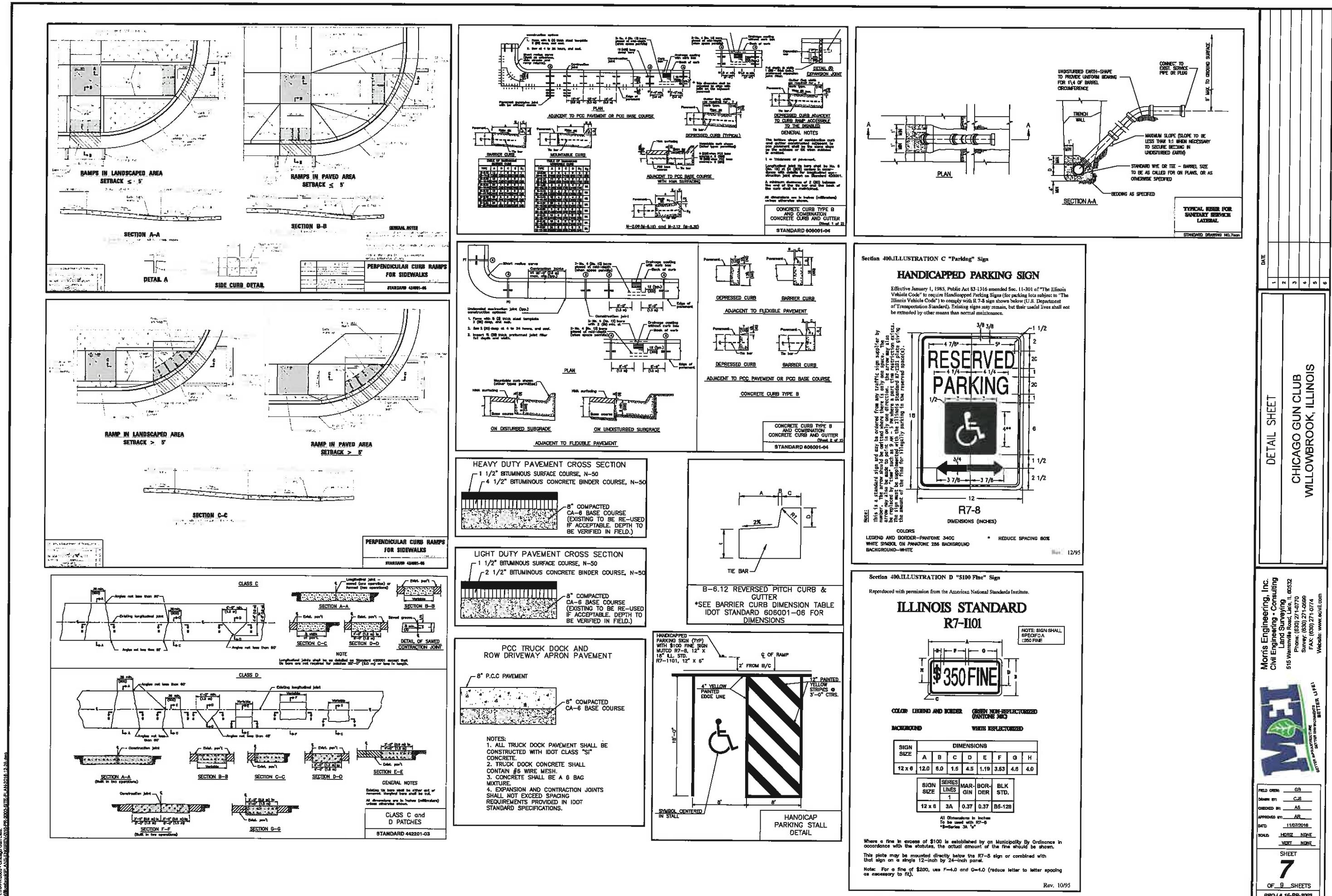
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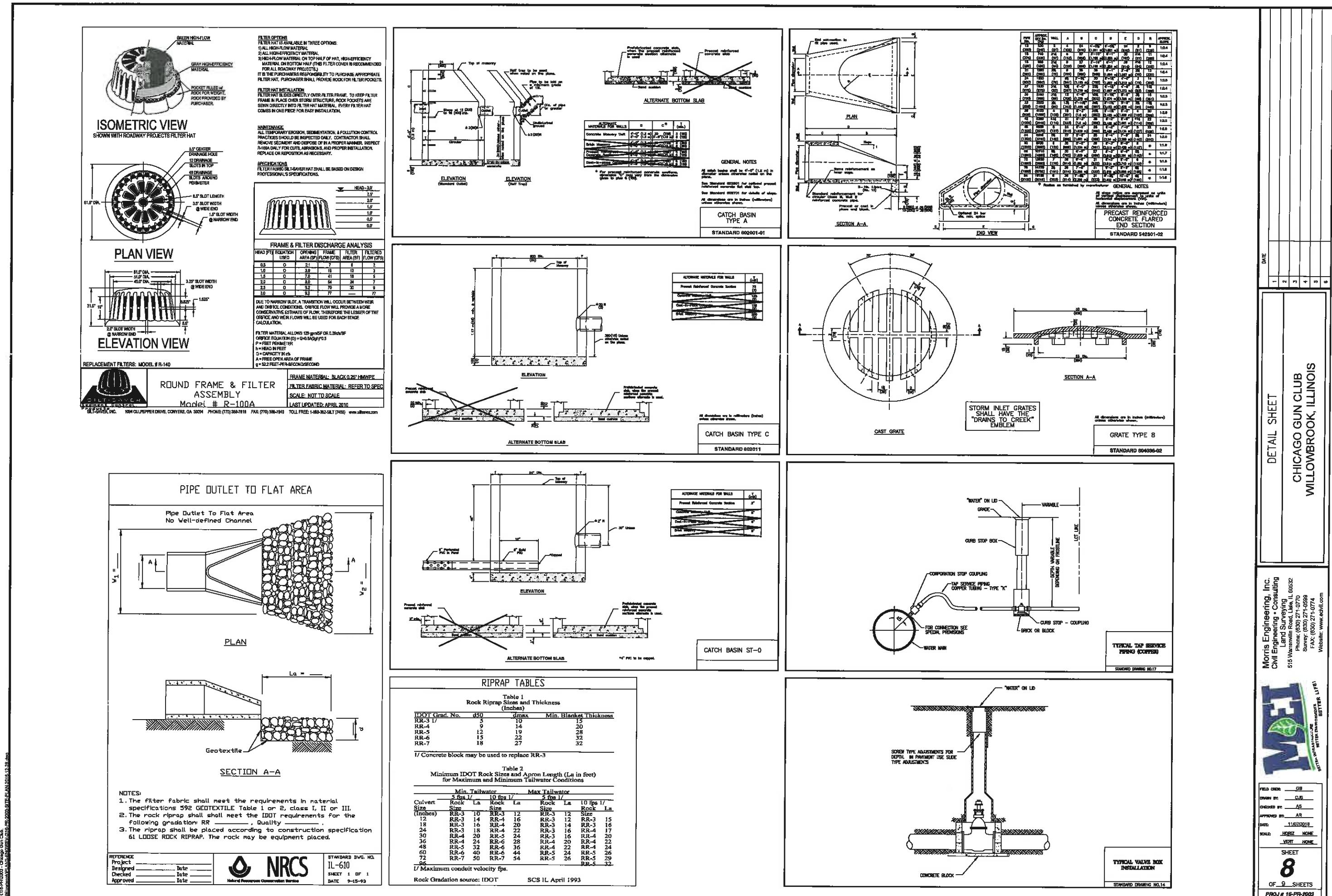
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 	ASPHALT SURFACE
 	BUILDING/STRUCTURE
 	CONCRETE SURFACE
(C)	CALCULATED
(R/M)	RECORD/MEASURED
SF	SQUARE FEET
④	EXIST. MANHOLE
○	EXIST. CATCH BASIN
□	EXIST. CURB INLET
— —	STORM SEWER
— —	SANITARY SEWER
⊗	WATER VALVE
⊗	BUFFALO BOX (B-BOX)
⊗	WATER VALVE & VAULT
⊗	FIRE HYDRANT
⊗	GAS METER
□	ELECTRIC METER
⊗	ELECTRIC PEDESTAL
□	PHONE PEDESTAL
⊗	CABLE TV PEDESTAL
⊗	LIGHT POST
—	STREET SIGN
—	DOWNSPOUT

**Civil Engineering • Consulting
Land Surveying**
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0598
FAX: (630) 271-0774
Website: www.civil.com

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The Chicago
Gun Club

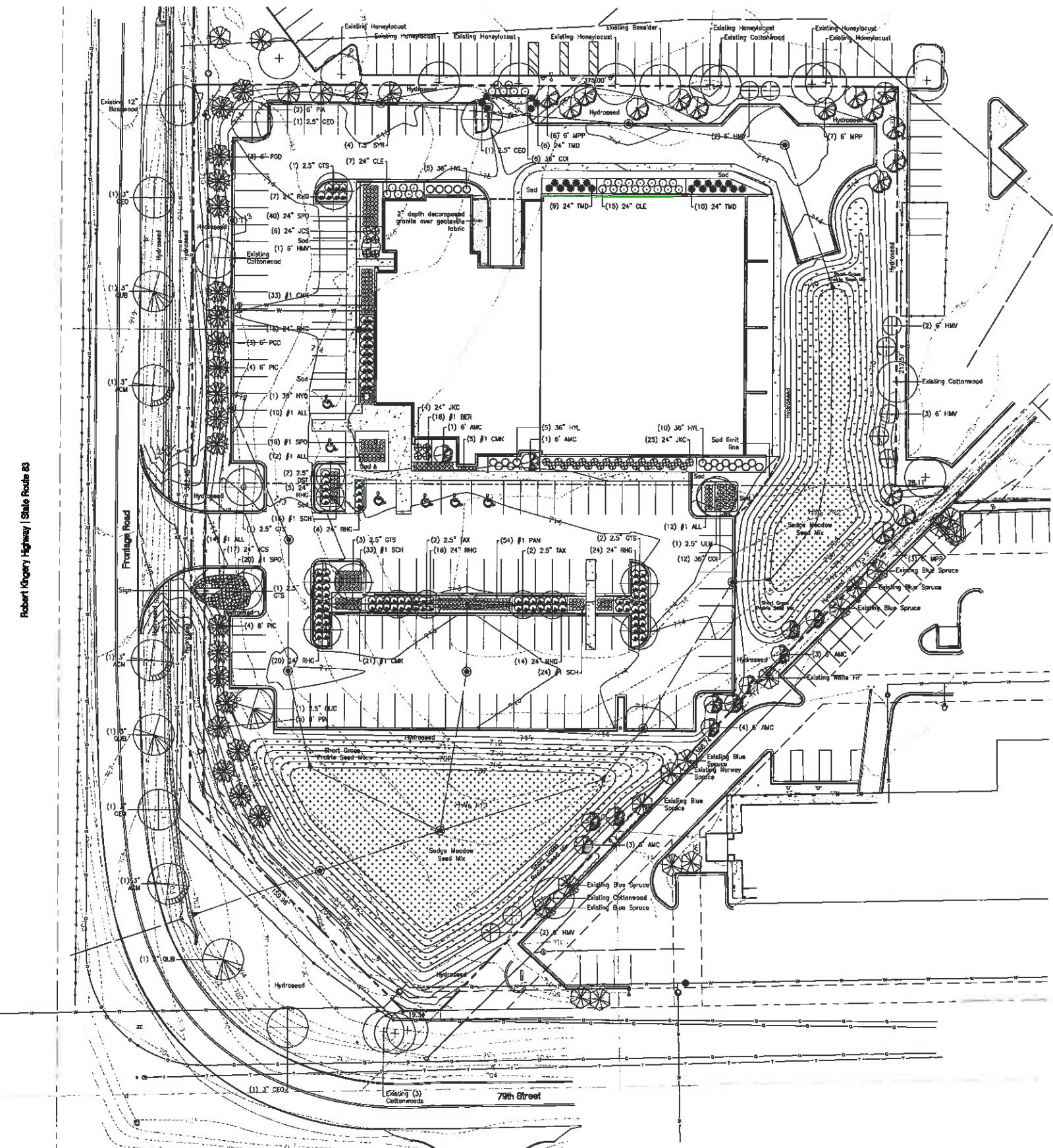
79th Street & Frontage Road
Willowbrook, Illinois

DAVID R. MC CALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

38 N. Milwaukee Avenue | Uptown, Chicago 60648
T 847.252.0200 | F 847.252.0204

MC CALLUM
ASSOCIATES

Landscape Plan



Robert Kuegley Highway | State Route 53

Sedge Meadow Seed Mix

Grasses, Sedges, and Rushes		Common Name	Oz./Acre	Total lbs./Acre
Botanical Name				
<i>Carex comans</i>		Bright Sedge	15	
<i>Carex vulpinoidea</i>		Brown Fox Sedge	18	
<i>Elymus virginicus</i>		Virginia Wild Rye	48	
<i>Panicum virgatum</i>		Switch Grass	128	
Total Grasses, Sedges, and Rushes:			208	13

Forbs

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
<i>Achillea millefolium</i>	Yarrow	8	
<i>Helenium autumnale</i>	Sneezeweed	5	
<i>Lobelia cardinalis</i>	Cardinal Flower	2	
<i>Lobelia siphilitica</i>	Great Blue Lobelia	1	
<i>Phlox pilosa</i>	PPink Phlox	5	
<i>Physostegia virginiana</i>	Fool's Beard Tongue	5	
<i>Physostegia virginiana</i>	Obcord Plant	3	
<i>Salpiglossis riddellii</i>	Riddell's Catchfly	8	
Total Forbs:		32	2

Total Grasses, Sedges, Rushes and Forbs:

240

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Temporary Cover Crop:

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
<i>Avena sativa</i>	Common Oats	320	20

Applied at the rate of 15 lbs. per acre. | Cover with NAC S75BN Erosion Control Blanket (biodegradable).

Short Grass Prairie Seed Mix

Grasses	Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
	<i>Andropogon scoparius</i>	LINs Bluestem	240	
	<i>Bouteloua curtipendula</i>	Side Oat Grama	58	
Total Grasses:	<i>Dynchosia corymbosa</i>	Canada Wild Rye	24	

Forbs

Forbs	Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
	<i>Achillea millefolium</i>	Butterfly Milkweed	18	
	<i>Coreopsis palmata</i>	Prarie Coreopsis	8	
	<i>Detaileda punctata</i>	Prairie Coneflower	5	
	<i>Echinacea pallida</i>	Pale Purple Coneflower	16	
	<i>Echinacea purpurea</i>	Purple Coneflower	16	
	<i>Hedysarum occidentale</i>	Purple Sweet Pea	4	
	<i>Physostegia virginiana</i>	Fool's Beard Tongue	4	
	<i>Rudbeckia hirta</i>	Black-Eyed Susan	3	
Total Forbs:	<i>Trifolium pratense</i>	Spiderwort	9	

Total Grasses and Forbs:

400

25

Temporary Cover Crop:

Botanical Name	Common Name	Oz./Acre	Total lbs./Acre
<i>Avena sativa</i>	Common Oats	320	20

Applied at the rate of 25 lbs. per acre. | Cover with NAC S75BN Erosion Control Blanket (biodegradable).

Plant List

Shade Trees	Key	Cty.	Size	Botanical Name	Common Name	Remarks
ACM	3	3"		<i>Acer negundo</i> 'Morton'	St. Steel Maple	BB
CEO	2	2.5"		<i>Celtis occidentalis</i> 'Prarie Pride'	Prairie Pride Common Hackberry	BB
GUB	3	3"		<i>Celtis occidentalis</i> 'Prarie Pride'	Prairie Pride Common Hackberry	BB
GUB	2	2.5"		<i>Clethra alnifolia</i> var. <i>inermis</i> 'Sieglin'	Summer Sweet Heath	BB
GUB	3	3"		<i>Ostrya virginiana</i>	Common Hornbeam	BB
GUB	3	3"		<i>Quercus bicolor</i>	Swamp White Oak	BB
GUB	2	2.5"		<i>Quercus macrocarpa</i>	Chinkapin Oak	BB
GUB	4	3"		<i>Quercus rubra</i>	Common Red Oak	BB
GUB	1	2.5"		<i>Quercus x 'Morton'</i>	Morton Oak	BB

Ornamental Trees	Key	Cty.	Size	Botanical Name	Common Name	Remarks
AMC	12	6"		<i>Amelanchier canadensis</i>	Shadblow Serviceberry	BB/Climb
HML	1	6"		<i>Malus 'Purple Prince'</i>	Witch Hazel	BB/Climb
MPP	16	6"		<i>Malus 'Purple Prince'</i>	Purple Prince Crabapple	BB/Climb
SYR	4	1.5"		<i>Syringa reticulata</i>	Japanese Tree Lilac	BB

Evergreen Trees

Key	Cty.	Size	Botanical Name	Common Name	Remarks
PPG	6	6"	<i>Picea abies</i> 'Densata'	Black Pine Spruce	BB
PPG	1	6"	<i>Picea abies</i>	Norway Spruce	BB
PPG	8	6"	<i>Picea pungens</i>	Colorado Green Spruce	BB

Shrubs

Key	Cty.	Size	Botanical Name	Common Name	Remarks
CLE	22	24"	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	BB
CLE	30	36"	<i>Clethra alnifolia</i>	Summersweet	BB
HYL	20	36"	<i>Comandra umbellata</i> 'Lamplight'	Lamplight Wintergreen	BB
HYL	1	36"	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	BB
JCS	23	24"	<i>Juniperus chinensis</i> var. <i>argentea</i>	Sargent Juniper	BB
JCS	20	24"	<i>Juniperus chinensis</i> 'Kleen's Compacta'	Kleen's Compact Juniper	BB
RHG	10	24"	<i>Rubus phoenicolasius</i> 'Ox-Lips'	Coral Fleece Rubus	BB
TMD	25	24"	<i>Texoma x media</i> 'Denseforma'	Dense Yew	BB

Perennials and Ornamental Grasses	Key	Cty.	Size	Botanical Name	Common Name	Remarks
ALL	48	#1		<i>Allium 'Summer Bouquet'</i>	Summer Bouquet Allium	Container
BRG	1			<i>Bryonia dioica</i> 'Winter Glow'	Winter Glow Bryonia	Container
CMK	59	#1		<i>Colomosia scutellata</i> 'Kurt Fosberg'	Feather Reed Crocus	Container
PAN	59	#1		<i>Panicum virgatum</i>	Switch Grass	Container
SCH	72	#1		<i>Schizachyrium scoparium</i>	Little Bluestem	Container
SFG	70	#1		<i>Spiraea heterophylla</i>	Prune Dropseed	Container

2 Site Plan Modification 010417
1 For Review 123018

Mark Description Date

Issuance

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1:30

File

Sheet L10

The Chicago
Gun Club

79th Street & Frontage Road
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
301 N. Milwaukee Avenue | Libertyville, Illinois 60040
T 847.292.2009 | F 847.292.2004

McCALLUM
ASSOCIATES



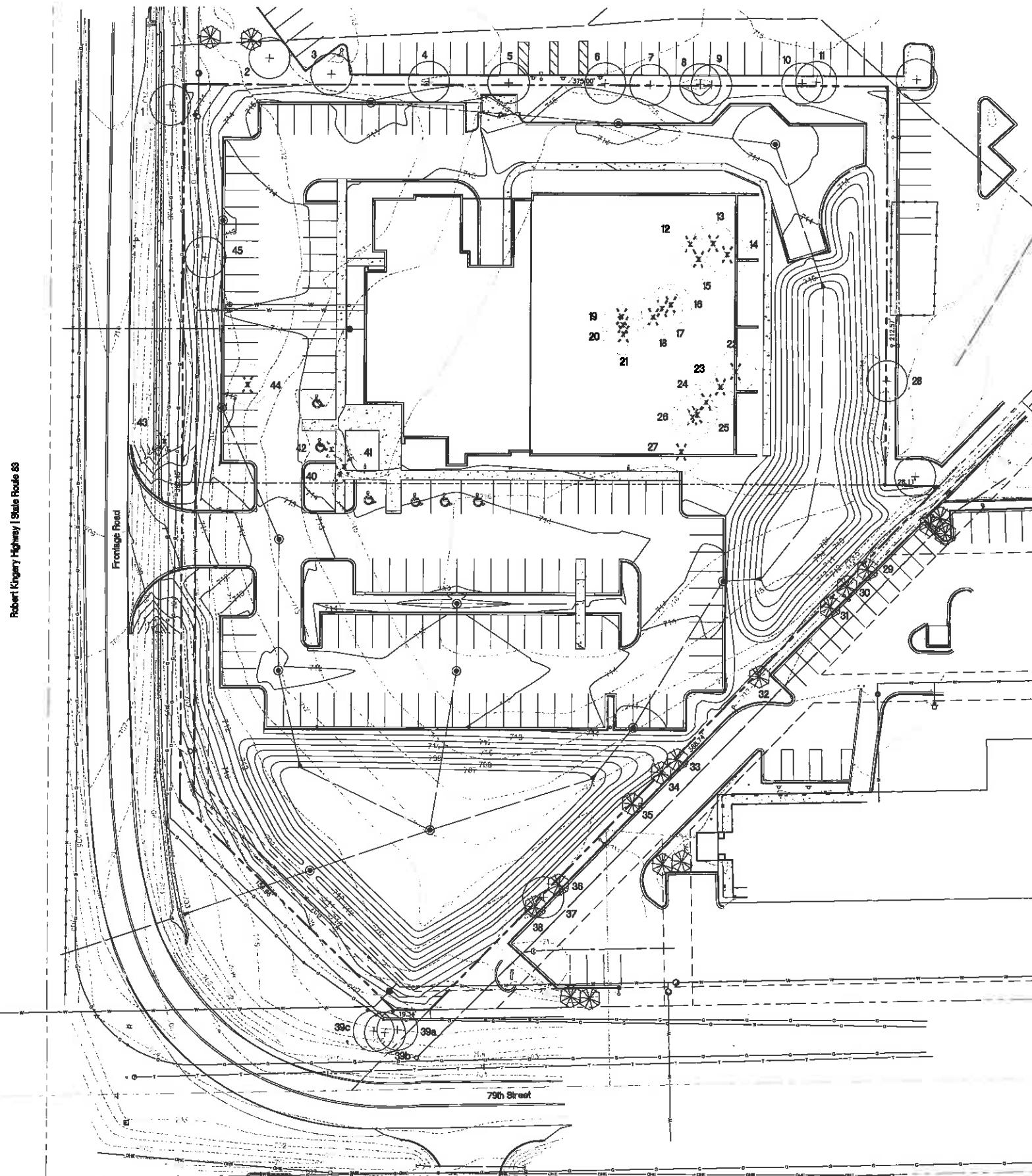
Tree Condition Rating

RATING	DESCRIPTION	GENERAL CRITERIA
1 Excellent	The tree is typical of the species, has less than 10% dieback in the crown that is attributable to normal causes, has no other observed problems, and required no remedial action.	
2 Good to Fair	The tree is typical of the species and/or has less than 20% dieback in the crown, only one or two minor problems that are easily corrected with normal care.	
3 Fair	The tree is typical of the species and/or has less than 30% dieback in the crown, or has one or two minor problems that are not evidently lethal to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.	
4 Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insects, disease or other problems that can be evidently lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.	
Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.	
6 Dead	Less than 10% of the tree shows signs of life.	

Tree Inventory

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	17'-18'	Tilia americana	Basswood	3/3	To remain/Off-site
2	7'-16'	Populus deltoides	Cottonwood	3/3	To remain/Off-site
3	10"	Prunus pensylvanica	Amur Prune	3/3	To remain/Off-site
4	13"	Clethra alnifolia	Honeylocust	2/2	To remain/Off-site
5	14"	Clethra alnifolia	Honeylocust	2/2	To remain/Off-site
6	6"	Prunus pensylvanica	Amur Prune	2/2	To remain/Off-site
7	4"-5"	Acer negundo	Sugar Maple	3/3	To remain/Off-site
8	6"	Gliricidia sepium	Honeylocust	4/3	To remain/Off-site
9	6"	Populus deltoides	Cottonwood	4/3	To remain/Off-site
10	8"	Populus deltoides	Cottonwood	4/3	To remain/Off-site
11	8"	Clethra alnifolia	Honeylocust	4/3	To remain/Off-site
12	13"-15"	Populus deltoides	Cottonwood	3/3	Remove
13	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
14	6"	Populus deltoides	Cottonwood	3/3	Remove
15	6"-7"	Populus deltoides	Cottonwood	3/3	Remove
16	4"-7"	Populus deltoides	Cottonwood	3/3	Remove
17	5"	Populus deltoides	Cottonwood	3/3	Remove
18	6"	Populus deltoides	Cottonwood	3/3	Remove
19	6"	Populus deltoides	Cottonwood	3/3	Remove
20	6"-7"	Populus deltoides	Cottonwood	3/3	Remove
21	6"-10"	Populus deltoides	Cottonwood	3/3	Remove
22	6"	Populus deltoides	Cottonwood	3/3	Remove
23	13"	Populus deltoides	Cottonwood	3/3	Remove
24	8"-10"	Populus deltoides	Cottonwood	3/3	Remove
25	5"-7"	Populus deltoides	Cottonwood	3/3	Remove
26	5"-7"	Populus deltoides	Cottonwood	3/3	Remove
27	11"	Populus deltoides	Cottonwood	3/3	Remove
28	9"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
29	9"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
30	10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
31	11"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
32	10"	Abies balsamea	Fr. Balsam Fir	2/2	To remain/Off-site
33	8"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
34	9"	Picea abies	Norway Spruce	3/3	To remain/Off-site
35	10"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
36	10"	Populus deltoides	Cottonwood	2/2	To remain/Off-site
37	10"	Populus deltoides	Cottonwood	2/2	To remain/Off-site
38	8"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
39a	15"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39b	7"-7"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39c	14"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
40	13"	Populus deltoides	Cottonwood	3/3	Remove
41	7"-10"	Populus deltoides	Cottonwood	3/3	Remove
42	11"	Populus deltoides	Cottonwood	3/3	Remove
43	11"	Ulmus americana	American Elm	3/3	Remove/Off-site
44	22"	Populus deltoides	Cottonwood	3/3	Remove
45	16"-17"	Populus deltoides	Cottonwood	3/3	To remain

Robert Kuehne Highway | State Route 53

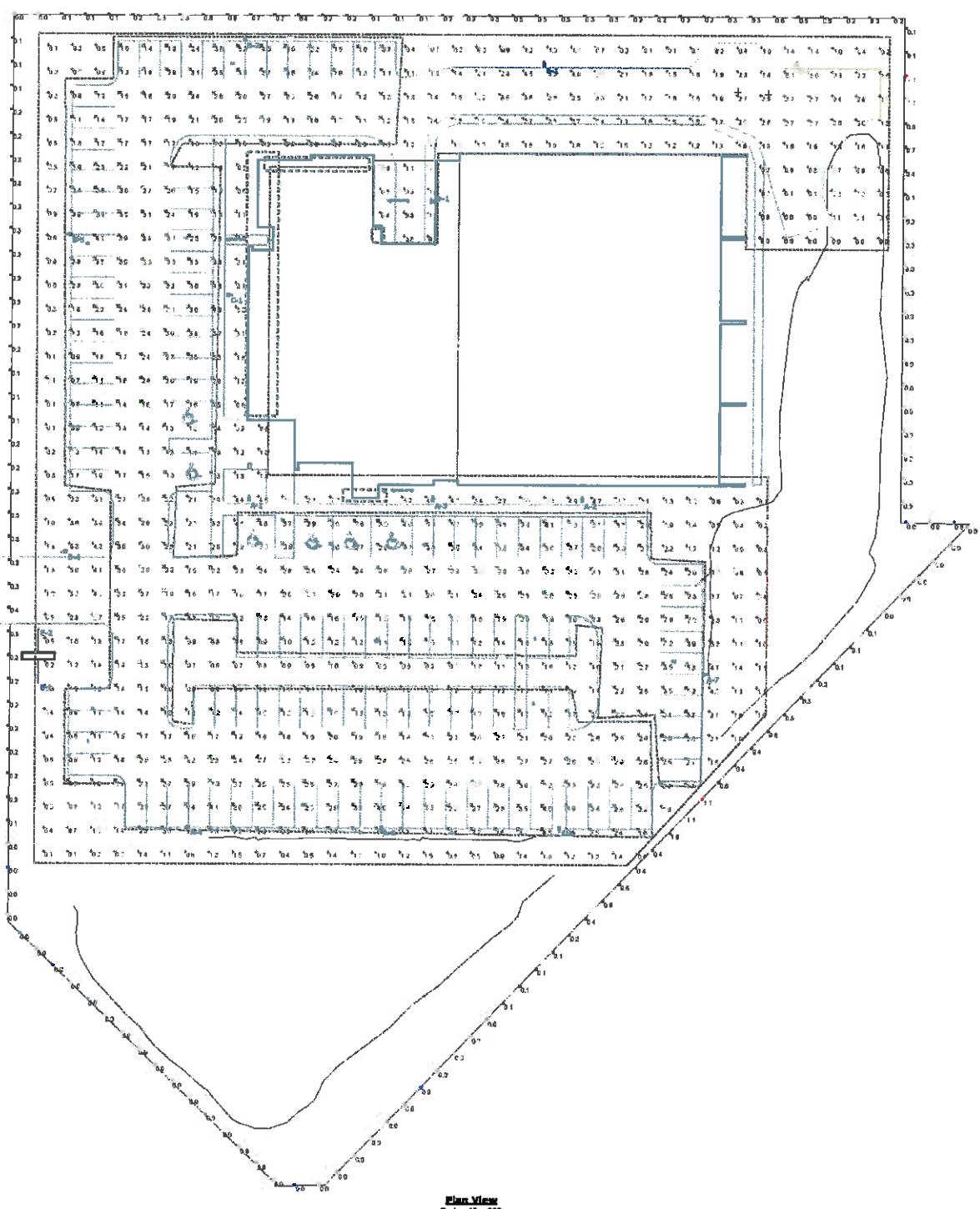


2	Site Plan Modification	010417
1	For Review	12/3/16
Mark	Description	Date
Issuance		
Number	45916	
Scale	1" = 30'	North
File	45916TPSA	
Sheet	L2.0	

Location	Part	Quantity	Manufacturer	Part Number	Color	Quantity	Manufacturer	Part Number	Color	Quantity	Manufacturer	Part Number	Color	Quantity
A	7	Lithonia Lighting	DSXL LED 60C 700 40K T4N HVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXL LED 60C 700 40K T4N HVOLT.les	12227	0.95	131				
B	5	Lithonia Lighting	DSXL LED 60C 700 40K T3M HVOLT HS	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSXL LED 60C 700 40K T3M HVOLT HS.les	12228	0.95	131				
C	1	Lithonia Lighting	DSXL LED 60C 700 40K T3M HVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSXL LED 60C 700 40K T3M HVOLT.les	12229	0.95	131				
D	1	Lithonia Lighting	DSW1 LED 10C 530 40K T3M HVOLT	DSW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, 530mA	LED	1	DSW1 LED 10C 530 40K T3M HVOLT.les	2199	0.95	19.1				
E	2	Lithonia Lighting	DSMP1 LED P2 30K HMF	DSMP1 LED P2 30K HMF	LED	1	DSMP1 LED P2 30K HMF.les	Absolute	0.95	42				

Cal Zone	Cal Zone	Cal Zone	Cal Zone	Cal Zone	Cal Zone
Cal Zone 1 (Zone Area)	+	0.00	0.00	N/A	N/A
Cal Zone 2 (Zone Area)	+	2.41	0.77	7.81	3.41
Cal Zone 3 (Zone Area)	+	0.23	1.16	0.00	N/A
Cal Zone 4 (Zone Area)	+	0.17	0.77	0.40	0.21

Luminance (Lx) Values						
1	A	-92.25	38.00	20.00	180.00	0.00
2	A	47.75	35.00	20.00	180.00	0.00
3	A	-15.25	36.00	20.00	180.00	0.00
4	A	-117.00	-103.00	20.00	0.00	0.00
5	A	39.00	-103.00	20.00	0.00	0.00
6	A	-36.00	-103.00	20.00	0.00	0.00
7	A	101.00	-36.50	20.00	220.00	0.00
1	B	30.59	221.75	20.00	180.00	0.00
2	B	-95.00	231.75	20.00	180.00	0.00
3	B	137.00	222.00	20.00	180.00	0.00
4	B	-171.00	14.25	20.00	90.00	0.00
5	B	-170.00	148.00	20.00	90.00	0.00
1	C	-100.00	122.75	20.00	270.00	0.00
1	D	-15.25	160.00	18.00	270.00	0.00
1	E	-180.60	-41.00	0.90	0.00	136.40
2	E	-180.60	-18.30	0.90	180.00	136.40



Plan View

Scale - 1" = 300'



D-Series Size 2
LED Flood Luminaire

Introduction
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Product Description
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Technical Data
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Dimensions
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Performance
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Mounting
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Warranty
The D-Series Size 2 LED Flood Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor flood lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

SSS
Same Surface Mount

Lithonia Lighting
Product Specifications

Product Description
The D-Series Size 1 LED Area Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor area lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Technical Data
The D-Series Size 1 LED Area Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor area lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Dimensions
The D-Series Size 1 LED Area Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor area lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

Performance
The D-Series Size 1 LED Area Luminaire is a high output, high intensity, high efficiency fixture designed for outdoor area lighting applications. The fixture is available in two sizes, 1 and 2, with a choice of three optics: Type 1, Type 2, and Type 3. The fixture is designed for easy installation and maintenance, with a simple mounting bracket and a durable housing.

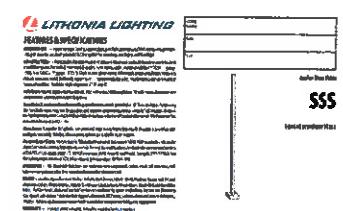
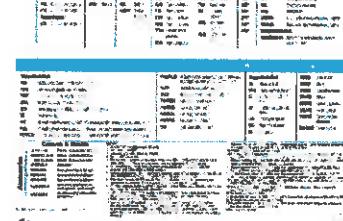
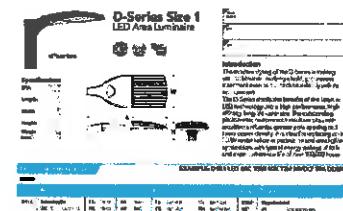
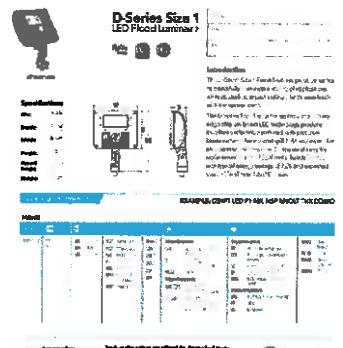
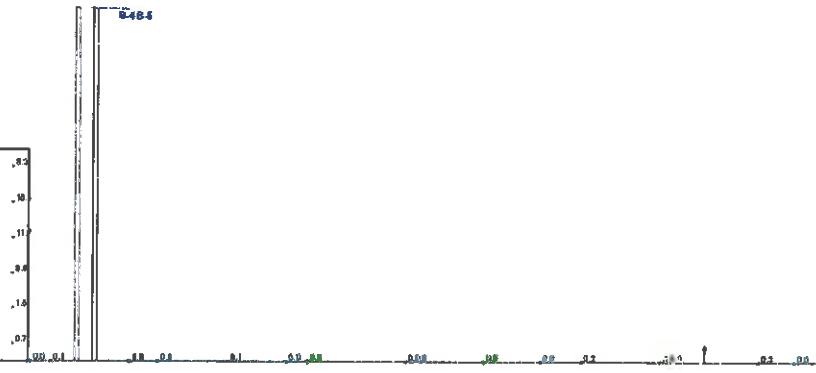
Mounting
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Part	Category	Quantity	Part Number	Description	Unit	Quantity	Part Number	Description	Unit
A	Lithonia Lighting	7	DSXL LED 60C 700 40K T4M MVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXL LED 60C_700_40K_T4M_MVOLT.lns	DSXL LED 60C_700_40K_T4M_MVOLT.lns	LED
B	Lithonia Lighting	5	DSXL LED 60C 700 40K T3M MVOLT HS	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSXL LED 60C_700_40K_T3M_MVOLT_HS.lns	DSXL LED 60C_700_40K_T3M_MVOLT_HS.lns	LED
C	Lithonia Lighting	1	DSXL LED 60C 700 40K T3M MVOLT	DSXL LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSXL LED 60C_700_40K_T3M_MVOLT.lns	DSXL LED 60C_700_40K_T3M_MVOLT.lns	LED
D	Lithonia Lighting	1	DSXW1 LED 10C 530 40K T3M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, 530mA	LED	1	DSXW1 LED 10C_530_40K_T3M_MVOLT.lns	DSXW1 LED 10C_530_40K_T3M_MVOLT.lns	LED
E	Lithonia Lighting	2	DSXPL LED P2_30K HMFL	DSXPL LED P2_30K HMFL	LED	1	DSXPL LED_P2_30K_HMFL.lns	DSXPL LED_P2_30K_HMFL.lns	Absolute

Calc Zone	Area	Area	Area	Area	Area
Calc Zone Inside Area	2.016	3.16	0.675	N/A	N/A
Calc Zone Parking Area only	2.472	3.26	0.775	7.64	3.41
Calc Zone Property Line	0.216	1.16	0.675	N/A	N/A
Calc Zone Total Perimeter	0.116	18.76	0.075	19.21	15.21

Coordinate Calculations					
X Y Z X Y Z					
1 A -92.25	38.00	20.00	180.00	0.00	
2 A 47.75	38.00	20.00	180.00	0.00	
3 A -15.25	38.00	20.00	180.00	0.00	
4 A -117.25	-103.00	20.00	0.00	0.00	
5 A 38.00	-103.00	20.00	0.00	0.00	
6 A -35.00	-103.00	20.00	0.00	0.00	
7 A 101.00	-38.89	20.00	270.00	0.00	
1 B 30.50	221.75	20.00	180.00	0.00	
2 B -95.00	231.75	20.00	180.00	0.00	
3 B 137.00	222.00	20.00	180.00	0.00	
4 B -171.00	14.25	20.00	0.00	0.00	
5 B -170.00	148.00	20.00	90.00	0.00	
1 C -100.00	122.75	20.00	270.00	0.00	
1 D -15.25	166.00	15.00	270.00	0.00	
1 E -180.40	-41.00	0.50	0.00	136.40	
2 E -180.60	-19.30	0.50	180.00	136.40	



Part No.	Model	Supplier	Product Description	Part No.	Supplier	Product Description	Part No.	Supplier	Product Description		
1	7	Lithonia Lighting	DSW1 LED 60C 700 40K TSM MVOLT	DSW1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSW1_LED_60C_700_40K_TSM_MVOLT	DSW1 LED, 60C, 700, 40K, TSM, MVOLT, LED	14287	0.99	121
2	5	Lithonia Lighting	DSW1 LED 60C 700 40K TSM MVOLT HS	DSW1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 9 MEDIUM OPTICS WITH HOUSING-SIDE SHIELD	LED	1	DSW1_LED_60C_700_40K_TSM_MVOLT_HS	DSW1 LED, 60C, 700, 40K, TSM, MVOLT, HS	12726	0.99	121
3	4	Lithonia Lighting	DSW1 LED 60C 700 40K TSM MVOLT	DSW1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSW1_LED_60C_700_40K_TSM_MVOLT	DSW1 LED, 60C, 700, 40K, TSM, MVOLT, LED	14020	0.99	121
4	2	Lithonia Lighting	DSW1 LED 100 330 40K TSM MVOLT	DSW1 LED with (3) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 4000K, @ 330mA	LED	1	DSW1_LED_100_330_40K_TSM_MVOLT	DSW1 LED, 100, 330, 40K, TSM, MVOLT	2159	0.99	121
5	2	Lithonia Lighting	DSWPL LED P2 30K HMF	DSWPL LED P2 30K HMF	LED	1	DSWPL_LED_P2_30K	DSWPL LED P2, 30K	Absolute	0.99	42



D-Series Size 1 LED Flood Luminaire



Specifications

IP65

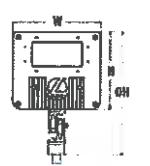
Depth

Width

Height

Overall Height

Weight



Introduction

The D Series Size 1 Flood features precision optics to beautifully illuminate a variety of applications while sealing, compact styling blends seamlessly with the environment.

The D Series Flood reflector systems and cutting edge chip-on-board LED technology provide excellent uniformity combined with precision beam patterns for control, spill lights and general photometric performance. It's the ideal long-life replacement for 20-150W metal halide floods, with typical energy savings of 72%, and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P1 40K MSP MVOLT THK DDBXD

XENON

DSX1nB	P1	40C	40K	50C	50K	60C	60K	70C	70K	80C	80K	90C	90K	100C	100K	110C	110K	120C	120K	130C	130K	140C	140K	150C	150K	160C	160K	170C	170K	180C	180K	190C	190K	200C	200K	210C	210K	220C	220K	230C	230K	240C	240K	250C	250K	260C	260K	270C	270K	280C	280K	290C	290K	300C	300K	310C	310K	320C	320K	330C	330K	340C	340K	350C	350K	360C	360K	370C	370K	380C	380K	390C	390K	400C	400K	410C	410K	420C	420K	430C	430K	440C	440K	450C	450K	460C	460K	470C	470K	480C	480K	490C	490K	500C	500K	510C	510K	520C	520K	530C	530K	540C	540K	550C	550K	560C	560K	570C	570K	580C	580K	590C	590K	600C	600K	610C	610K	620C	620K	630C	630K	640C	640K	650C	650K	660C	660K	670C	670K	680C	680K	690C	690K	700C	700K	710C	710K	720C	720K	730C	730K	740C	740K	750C	750K	760C	760K	770C	770K	780C	780K	790C	790K	800C	800K	810C	810K	820C	820K	830C	830K	840C	840K	850C	850K	860C	860K	870C	870K	880C	880K	890C	890K	900C	900K	910C	910K	920C	920K	930C	930K	940C	940K	950C	950K	960C	960K	970C	970K	980C	980K	990C	990K	1000C	1000K	1010C	1010K	1020C	1020K	1030C	1030K	1040C	1040K	1050C	1050K	1060C	1060K	1070C	1070K	1080C	1080K	1090C	1090K	1100C	1100K	1110C	1110K	1120C	1120K	1130C	1130K	1140C	1140K	1150C	1150K	1160C	1160K	1170C	1170K	1180C	1180K	1190C	1190K	1200C	1200K	1210C	1210K	1220C	1220K	1230C	1230K	1240C	1240K	1250C	1250K	1260C	1260K	1270C	1270K	1280C	1280K	1290C	1290K	1300C	1300K	1310C	1310K	1320C	1320K	1330C	1330K	1340C	1340K	1350C	1350K	1360C	1360K	1370C	1370K	1380C	1380K	1390C	1390K	1400C	1400K	1410C	1410K	1420C	1420K	1430C	1430K	1440C	1440K	1450C	1450K	1460C	1460K	1470C	1470K	1480C	1480K	1490C	1490K	1500C	1500K	1510C	1510K	1520C	1520K	1530C	1530K	1540C	1540K	1550C	1550K	1560C	1560K	1570C	1570K	1580C	1580K	1590C	1590K	1600C	1600K	1610C	1610K	1620C	1620K	1630C	1630K	1640C	1640K	1650C	1650K	1660C	1660K	1670C	1670K	1680C	1680K	1690C	1690K	1700C	1700K	1710C	1710K	1720C	1720K	1730C	1730K	1740C	1740K	1750C	1750K	1760C	1760K	1770C	1770K	1780C	1780K	1790C	1790K	1800C	1800K	1810C	1810K	1820C	1820K	1830C	1830K	1840C	1840K	1850C	1850K	1860C	1860K	1870C	1870K	1880C	1880K	1890C	1890K	1900C	1900K	1910C	1910K	1920C	1920K	1930C	1930K	1940C	1940K	1950C	1950K	1960C	1960K	1970C	1970K	1980C	1980K	1990C	1990K	2000C	2000K	2010C	2010K	2020C	2020K	2030C	2030K	2040C	2040K	2050C	2050K	2060C	2060K	2070C	2070K	2080C	2080K	2090C	2090K	2100C	2100K	2110C	2110K	2120C	2120K	2130C	2130K	2140C	2140K	2150C	2150K	2160C	2160K	2170C	2170K	2180C	2180K	2190C	2190K	2200C	2200K	2210C	2210K	2220C	2220K	2230C	2230K	2240C	2240K	2250C	2250K	2260C	2260K	2270C	2270K	2280C	2280K	2290C	2290K	2300C	2300K	2310C	2310K	2320C	2320K	2330C	2330K	2340C	2340K	2350C	2350K	2360C	2360K	2370C	2370K	2380C	2380K	2390C	2390K	2400C	2400K	2410C	2410K	2420C	2420K	2430C	2430K	2440C	2440K	2450C	2450K	2460C	2460K	2470C	2470K	2480C	2480K	2490C	2490K	2500C	2500K	2510C	2510K	2520C	2520K	2530C	2530K	2540C	2540K	2550C	2550K	2560C	2560K	2570C	2570K	2580C	2580K	2590C	2590K	2600C	2600K	2610C	2610K	2620C	2620K	2630C	2630K	2640C	2640K	2650C	2650K	2660C	2660K	2670C	2670K	2680C	2680K	2690C	2690K	2700C	2700K	2710C	2710K	2720C	2720K	2730C	2730K	2740C	2740K	2750C	2750K	2760C	2760K	2770C	2770K	2780C	2780K	2790C	2790K	2800C	2800K	2810C	2810K	2820C	2820K	2830C	2830K	2840C	2840K	2850C	2850K	2860C	2860K	2870C	2870K	2880C	2880K	2890C	2890K	2900C	2900K	2910C	2910K	2920C</

PRELIMINARY PLAT OF SUBDIVISION

FOR TCGC SUBDIVISION WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

SHORE BOUNDARY AREA
BOUNDRY AREA = 148,971 S.F. OR 3.420 ACRES

ABBREVIATIONS	
000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
A=	ARC LENGTH
PIN	PERMANENT INDEX NUMBER
LINETYPE LENGTH	BOUNDARY LINE
—	ADJACENT LOT LINE
—	CENTER LINE
—	RIGHT OF WAY
—	EASEMENT LINE
—	EASEMENT LINE
—	BUILDING LINE
—	SECTION LINE
—	UNDERLYING LOT LINE

LINETYPE LENGTH	
—	3/4" P
—	1/4" P
—	1/8" P
—	1/16" P
—	1/32" P
—	1/64" P
—	1/128" P
—	1/256" P
—	1/512" P
—	1/1024" P
—	1/2048" P
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Attachment 4

Findings of Fact for Special Use & Variance (from Staff)

Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The establishment, maintenance, or operation of the proposed shooting range will not be detrimental to or endanger the public health, safety, moral, and comfort or general welfare of the Village of Willowbrook.

The applicant will ensure EPA, NIOSH, and OSHA standard air quality thought the installation of a state-or-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, waring signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

(B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

(C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large biorentention areas for the east and southern portion of the property that will serve the development's stormwater requirements. **The petitioner's stormwater submittal has not yet been review by the Village's engineering consultant, however, and therefore the detention facilities have not yet been proven to be adequate. Additionally, the petitioner has not submitted plans including curb and gutter, public sidewalk, and street lighting along Frontage Road. These elements will be required additions to their plans prior to zoning approval.**

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive

will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and **building materials**.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed special use has never been applied for (or denied) with respect to this specific location.

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The property cannot yield a reasonable return if the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed variation will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interior side, and front yard parking setbacks are not supported. Additionally, the applicant will not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed variations to reduce parking setbacks and add metal siding will not impair an adequate supply of light and air to adjacent property.

The proposed variations to reduce parking setbacks and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variations will not alter the essential character of the locality. The parking setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed use. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

RESPONSES TO SPECIAL USE STANDARDS

9-14-5.2: Standards:

A. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The establishment, maintenance, or operation of an upscale, luxury indoor shooting range will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the Village of Willowbrook.

The public health will not be endangered. Our air will be clean, bullets will never exit the building, and we won't be loud. Proper air filtration is critical in maintaining an overall sense of health and wellbeing within the range and falls under strict EPA, NIOSH and OSHA standards. Operating in compliance with these regulations, the air quality will be maintained through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particulates from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles/bullets exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from exiting designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.

Public safety will not be compromised. A comprehensive range safety and security plan will, among other topics, address and integrate: (1) opening and closing procedures; (2) employee training; (3) client/member/user requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet-proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarm system; (6) surveillance cameras and digital recordings; (7) key access/ control doors and codes; and (8) ammunition and firearm storage. The physical proximity of the Willowbrook police station should also be noted. In fact, in March of 2014, when the Village amended its zoning ordinance to allow for gun sales and indoor shooting range uses in the B-4 district, it specifically designated the four proximate properties immediately south of 79th Street as B-4 and eligible for this type of use. The meeting minutes indicate that security and police issues were considered, "We ran both of these topics through the police chief and he was fine with it. Actually, we decided to go to the Illinois Chief Association and did a survey approach and it came back fine." (See Meeting Minutes, Zoning Hearing Case No. 14-01, page 13, lines 2-5, March 5, 2014).

The establishment, maintenance and operation of the development will not be injurious to public morals. On July 9, 2013, after much litigation and political wrangling, Illinois became the last state in the country to allow carrying firearms in public. The new "concealed carry" law went effective January 1, 2014. Regardless of one's personal views of the new law or gun politics in general, it is difficult to refute or dispute the notion that untrained gun owners are far worse and detrimental to society than well-trained ones. Offering and providing extensive firearm training is a key element of our overall

business plan, and a 30-seat high-tech classroom is included in the architectural design. It is our goal to provide a safe, comfortable, and enjoyable environment for men, women and families to receive proper firearm training. The Planning Commission has previously acknowledged how firearm training is extending to a wider cross section of the public: "Typically, years ago you would look and it would be just men of any caliber. If you go in [today], I know probably 10 to 12 couples that you would look at and you would think they would never even own a gun and they are doing it as a husband and wife as entertainment and many of them are pursuing concealed carry, so it's changing a lot. A lot of women are getting into it from our experience." (See Meeting Minutes, Zoning Hearing Case No. 14-02, pages 13-14, March 5, 2014).

The proposed development will not be detrimental to the public comfort and general welfare. It should, in fact, have the opposite effect. With the opening of the Scottsdale Gun Club in 2004, the upscale, luxury indoor shooting range concept—"the guntry club"—was born. More recently, according to the New York Times, "...a wave of luxury gun clubs [are] popping up in and around urban centers, modeled after country clubs. With shooting ranges instead of golf courses, these so-called guntry clubs are billed as oases of leisure in a market for shooting enthusiasts that is saturated with dingy, badly ventilated facilities nestled in uninspiring strip malls." (Julie Turkowitz, "Ready, Aim, Fire, Then Relax in the Lounge", The New York Times, November 28, 2014.) As planned, the proposed development will conform to this modern upscale, luxury concept with member lounge areas offering leather seating, flat screen televisions, and other comfortable amenities. Some of the new guntry clubs that have opened within the last five years allow for alcohol to be served in specific member only lounge areas. In the event alcohol is permitted to be served on our premises, a strict enforcement policy, patterned after national "best practices", would physically prevent and prohibit any member who has been served alcohol from accessing the range facilities and/or firearms for the remainder of that particular day.

B. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The Village contemplated the appropriateness of gun sales and range training facilities in the immediate vicinity when it proactively amended the B-4 zoning ordinance in March of 2014: "I did do quite a bit of research and learned quite a bit about firearm facilities and about training gun ranges. I think it was our goal, given that the retail sales are so heavily regulated by the State, that it made sense to permit those or include those as permitted uses in this district." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 3, lines 7-12, March 5, 2014). It should also be noted that the specific property in question was identified as potentially consistent with, or eligible for, a B-4 zoning in the context of a gun range specific use: "These could be appropriate locations for many of the reasons, the comp plan suggests it as being more of a destination type of trip or they can be rezoned, for example if somebody wanted to use either one of those properties south of the Holiday Inn property, they could rezone it because it is adjacent to it. So we have a number of options to consider." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 7-8, March 5, 2014).

C. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district because the area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan. In the aforementioned meeting in March of 2014, the Planning Commission described the surrounding area as follows: "We did take a look at the comprehensive plan that showed these properties and the area in general to be designated for a corridor commercial types of uses, so the B-4 zoning is consistent with the recommendations of the comprehensive plan. So we felt pretty comfortable moving these properties in the direction of going ahead and recommending the rezoning to B-4." (See Meeting Minutes, Zoning Hearing Case No. 14-01, page 7, lines 10-17, March 5, 2014). "So—and one of the recommendations of the comprehensive plan is that B-4 is more corridor commercial, which tends to be more standalone commercial buildings as opposed to shopping centers. Gun sales is that use. It's a destination go-to use as opposed to the convenience items that you would go to at a shopping center." (See Meeting Minutes, Zoning Hearing Case No. 14-02, page 3, lines 16-22, March 5, 2014). Therefore, given its consistency with the Comprehensive Plan, the establishment of the requested special use in this particular location will not impede the normal and orderly development of the surrounding property.

D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

The proposed development has detailed civil engineering design plans that address the existing and proposed utilities, access roads, drainage, and other necessary facilities. All proposed improvements have been designed, and will be constructed, in accordance with all applicable state, county, and municipal standards. For example, two large bioretention areas are proposed for the east and southern portions of the property that will help serve the development's water drainage, retention and detention needs, while also serving to beautify the overall area with natural plantings as specified in the detailed landscape plan.

E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to the proposed development is to be provided via one full access drive on the east side of the IL 83 frontage road approximately 375 feet south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. The gun club will also provide a total of 129 parking spaces. The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required."

F. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

G. Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

The proposed special use has never been applied for (or denied) with respect to this specific location.