

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, JUNE 13, 2016, AT 6:30 P.M. AT THE **BURR RIDGE POLICE DEPARTMENT TRAINING ROOM, 7700 COUNTY LINE ROAD, BURR RIDGE, DUPAGE COUNTY, ILLINOIS**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
 - a. Waive Reading of Minutes (APPROVE)
 - b. Minutes - Regular Board Meeting - May 23, 2016 (APPROVE)
 - c. Warrants - \$436,010.78 (APPROVE)
 - d. Monthly Financial Report - May 31, 2016 (APPROVE)
 - e. Ordinance - Annual Appropriation Ordinance, Village of Willowbrook, DuPage County, Illinois, for the Fiscal Year Beginning May 1, 2016 and Ending April 30, 2017 (PASS)
 - f. Plan Commission Recommendation - Zoning Hearing Case 16-06: Petition for a Special Use Permit and other Relief as may be Required to Allow a 1,504 Square Foot Restaurant to Operate in Unit Number 858 in the Willowbrook Plaza Shopping Center located at 858 75th Street, Willowbrook - Taste of Sham (RECEIVE - Also to be considered later on this agenda, see Item No. 7)
 - g. Plan Commission Recommendation - Zoning Hearing Case 16-08: Petition for Parking Setback Variations, a Landscape Variation, and other Relief as may be Required in order to allow Building Alterations in an M-1 Zoning District - 7510 S. Madison Street - Morgan Harbour Construction, LLC (RECEIVE - Also to be considered later on this agenda, see Item No. 8)

NEW BUSINESS

6. ORDINANCE - AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, INCLUDING APPROVAL OF PRELIMINARY PLAT OF PUD, GRANTING CERTAIN WAIVERS FROM THE ZONING ORDINANCE, GRANTING CERTAIN VARIATIONS FROM THE SUBDIVISION REGULATIONS, GRANTING APPROVAL OF A PRELIMINARY PLAT OF SUBDIVISION, AND RELATED MATTERS - PC 16-04: 6256 CLARENDON HILLS ROAD - CARRINGTON CLUB BY PULTE (REDEVELOPMENT OF THE ARABIAN KNIGHTS HORSE FARM PROPERTY)
7. ORDINANCE - AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A 1,504 SQUARE FOOT RESTAURANT, 858 75TH STREET (WILLOWBROOK PLAZA SHOPPING CENTER) - TASTE OF SHAM
8. ORDINANCE - AN ORDINANCE GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - 7510 S. MADISON STREET - MORGAN HARBOUR CONSTRUCTION HEADQUARTERS

PRIOR BUSINESS

9. COMMITTEE REPORTS
10. ATTORNEY'S REPORT
11. CLERK'S REPORT
12. ADMINISTRATOR'S REPORT
13. MAYOR'S REPORT
14. CLOSED SESSION:
 - a) Consideration of the Discipline, Performance, or Dismissal of Specific Employees of the Public Body, Including Hearing Testimony on a Complaint Lodged Against an Employee of the Public Body for the Public Body to Determine its Validity Pursuant to Chapter 5 ILCS 120/1(C)(1)
15. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, MAY 23, 2016 AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, VILLAGE OF BURR RIDGE, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Attorney Thomas Bastian, Village Administrator Timothy Halik, Director of Finance Carrie Dittman, Chief Mark Shelton, Planning Consultant Anna Franco, Assistant to the Village Administrator Garrett Hummel, Deputy Clerk Cindy Stuchl, and Administrative Intern Tiffany Kolodziej.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Planning Consultant Franco to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None presented.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - May 9, 2016 (APPROVE)
- c. Warrants - \$326,911.09 (APPROVE)
- d. Monthly Financial Report - April 30, 2016 (APPROVE)
- e. Ordinance - An Ordinance Amending Title 3, Chapter 12, Section 3-12-5(L) of the Village Code - "Classifications, Class L License" - Ordinance No. 16-O-18 (PASS)
- f. Ordinance - An Ordinance Amending the Village Code of the Village of Willowbrook, Title 4, Chapter 2, Section 4-2-24 Entitled "Plumbing Codes Adopted:" - Ordinance No. 16-O-19 (PASS)

- g. Ordinance - An Ordinance Providing for the Declaration of the General Prevailing Rate of Hourly Wages for the Year 2016 to be Paid to Laborers, Mechanics and Other Workers Performing Construction of Public Works within the Village of Willowbrook, DuPage County, Illinois - Ordinance No. 16-O-20 (PASS)
- h. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Execute an Agreement for the Rehabilitation of the Existing Above-Grade Water Storage Structure Located at 710 Willowbrook Centre Parkway - AmCoat Painting, Inc. and Ratifying and Confirming the Village Administrator's Prior Execution of Said Agreement - Resolution No. 16-R-38 (ADOPT)
- i. Plan Commission Recommendation - Zoning Hearing Case 16-04: Pulte Home Corporation - 6526 Clarendon Hills Road - Approval of a Special Use for a Planned Unit Development (PUD) and Approval of a Preliminary Plat of PUD, Preliminary Plat of Subdivision, and Including any Exceptions and Variations Necessary to Redevelop the Existing 8.32 Acre Property Known as the Arabian Knights Horse Farm with 29 Detached Single Family Cluster Homes (RECEIVE)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda.

MOTION: Made by Trustee Davi and seconded by Trustee Mistele to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

6. DELINQUENT WATER BILLS

Administrator Halik advised that there were two (2) delinquent water bills. Staff requested authorization to proceed in accordance with past practices, which was granted.

7. ORDINANCE - AN ORDINANCE GRANTING A VARIATION TO REDUCE A REAR YARD SETBACK IN AN R-2 ZONING DISTRICT FOR A SUNROOM ADDITION - PC 16-02: 7806 CLARENDON HILLS ROAD

Administrator Halik related that this ordinance would allow a reduction in the required rear setback. The property has dual frontage on both Clarendon Hills Road and Sugarbush Lane. The owner wishes to construct a sunroom on the rear of the residence towards Sugarbush. The rear yard setback would need to be reduced from the required 30' distance to 23'.

A Public Hearing was held on May 4th. The only comments made were in reference to the general maintenance condition of the rear yard and not in opposition to the addition. The Plan Commission unanimously voted for the approval of the variation.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to pass Ordinance 16-0-21 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRIOR BUSINESS

8. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele had no report.

Trustee Berglund had no report.

Trustee Davi had no report.

Trustee Oggerino had no report.

9. ATTORNEY'S REPORT

Attorney Bastian had no report.

10. CLERK'S REPORT

Clerk Hansen had no report.

11. ADMINISTRATOR'S REPORT

Administrator Halik turned the floor over to Chief Shelton. Chief Shelton advised that on Friday, May 20th, the police department held its annual "Cop on Top" fundraiser in conjunction with the Burr Ridge Police Department. The event was held at Dunkin Donuts. This year collected a record amount of donations totaling over \$1,730. Proceeds benefit the Special Olympics.

12. MAYOR'S REPORT

Mayor Trilla had no report.

13. EXECUTIVE SESSION

- a. Consideration of the Discipline, Performance, or Dismissal of Specific Employees of the Public Body, Including Hearing Testimony on a complaint Lodge Against an Employee of the Public Body for the Public Body to Determine its Validity Pursuant to Chapter 5 ILCS 120/1(C)(1)

RECESS INTO CLOSED SESSION

MOTION: Made by Trustee Kelly and seconded by Trustee Neal to recess into Closed Session at the hour of 6:36 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

The Board reconvened the Regular Meeting at the hour of 7:47 p.m.

14. ADJOURNMENT

MOTION: Made by Trustee Neal and seconded by Trustee Mistele, to adjourn the Regular Meeting at the hour of 7:48 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

June 13, 2016.

Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

WARRANTS

June 13, 2016

GENERAL CORPORATE FUND	-----	\$222,164.63
WATER FUND	-----	21,734.33
HOTEL/MOTEL TAX FUND	-----	294.00
SSA BOND FUND	-----	89,742.50
DEBT SERVICE FUND	-----	61,258.00
L.A.F.E.R FUND		40,817.32
TOTAL WARRANTS	-----	\$436,010.78



Carrie Dittman, Director of Finance

APPROVED:

Frank A. Trilla, Mayor

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
06/14/2016	APCHK	17(E)*#	JUNE 2016	INTERGOVERNMENTAL PERSONNEL	EMP DED PAY- INSURANCE	210-204	00	10,462.85
			JUNE 2016		LIFE INS BENEFIT -APPOINTED/ELECTE	410-141	05	78.21
			JUNE 2016		LIFE INS BENEFIT -APPOINTED/ELECTE	435-148	07	29.20
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	455-141	10	570.75
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	510-141	15	695.48
			JUNE 2016		PLAN COMMISSION COMPENSATION	510-340	15	58.39
			JUNE 2016		LIFE INS BENEFIT -APPOINTED/ELECTE	550-148	20	84.10
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	610-141	25	1,965.19
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	630-141	30	24,305.71
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	710-141	35	967.95
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	810-141	40	2,110.43
				CHECK APCHK 17(E) TOTAL FOR				41,328.26
05/27/2016	APCHK	88784	VEST-VANDERJACK	VILLAGE OF RICHTON PARK	UNIFORMS	630-345	30	804.50
06/07/2016	APCHK	88785	ADVANCE 6/16/16	DEBBIE HAHN	OPERATING EQUIPMENT	630-401	30	200.00
06/14/2016	APCHK	88786	318347	4 ALL PROMOS	PUBLIC RELATIONS	475-365	10	204.69
06/14/2016	APCHK	88787#	4662268	4IMPRINT INC	PUBLIC RELATIONS	475-365	10	347.93
			4659091		OPERATING EQUIPMENT	630-401	30	398.36
				CHECK APCHK 88787 TOTAL FOR				746.29
06/14/2016	APCHK	88789	250280 SMR 2016	AMERICAN LITHO	PRINTING & PUBLISHING	550-302	20	3,475.96
06/14/2016	APCHK	88790	16847880	ARAMARK UNIFORMS SERVICES	UNIFORMS	710-345	35	31.99
06/14/2016	APCHK	88793	12032/JUN 16	AZAVAR AUDIT SOLUTIONS INC	UTILITY TAX	310-205	00	311.47
06/14/2016	APCHK	88794	BK00607098	BKD, LLP	AUDIT SERVICES	620-251	25	3,800.00
06/14/2016	APCHK	88795	3093	BLACKMAGIC SEALCOATING INC	CONTRACTED MAINTENANCE	570-281	20	363.00
			3094		CONTRACTED MAINTENANCE	570-281	20	3,496.00
				CHECK APCHK 88795 TOTAL FOR				3,859.00
06/14/2016	APCHK	88796	97920032	BSN SPORTS	MAINTENANCE SUPPLIES	570-331	20	56.08
06/14/2016	APCHK	88797	1001677	CDS OFFICE TECHNOLOGIES	DRUG FORFEITURE EXP - FEDERAL	650-349	30	7,360.00
06/14/2016	APCHK	88798	5/1/16 RACE	CHILDRENS ORGAN TRANSPLANT A	FAMILY SPECIAL EVENT - RACE	585-154	20	2,500.00
06/14/2016	APCHK	88799*#	129102	CHRISTOPHER B. BURKE	PLAN REVIEW - ENGINEERING - REIMB.	520-254	15	1,481.75
			129101		PLAN REVIEW - ENGINEERING - REIMB.	520-254	15	660.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			129107		PLAN REVIEW - ENGINEERING - REIMB.	520-254	15	910.52
			129108		PLAN REVIEW - ENGINEERING	520-254	15	550.00
			129098		PLAN REVIEW - PLANNER	520-257	15	10,911.70
			129097		FEES - ENGINEERING	720-245	35	3,558.19
			129100		FEES - ENGINEERING	720-245	35	440.00
			129110		FEES - ENGINEERING	720-245	35	2,486.18
			129105		FEES - ENGINEERING -REIMB.	820-245	40	110.00
			129106		PLAN REVIEW - ENGINEER - REIM.	820-254	40	144.50
			129104		PLAN REVIEW - DRAINAGE ENGINEER -	820-259	40	571.80
			129111		PLAN REVIEW - DRAINAGE ENGINEER -	820-259	40	199.50
				CHECK APCHK 88799 TOTAL FOR				22,024.14
06/14/2016	APCHK	88800#	1290099	CHRISTOPHER B. BURKE	FEES - ENGINEERING	720-245	35	5,320.64
			129112		PLAN REVIEW - DRAINAGE ENGINEER -	820-259	40	187.05
			129113		PLAN REVIEW - DRAINAGE ENGINEER -	820-259	40	110.00
				CHECK APCHK 88800 TOTAL FOR				5,617.69
06/14/2016	APCHK	88801	2177 MAY 16	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	1,095.00
06/14/2016	APCHK	88802	7136	COLLEGE OF DUPAGE	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	485.00
06/14/2016	APCHK	88803#	VH JUN 16	COMCAST CABLE	EDP SOFTWARE	460-212	10	129.85
			PW JUN 16		EQUIPMENT MAINTENANCE	715-263	35	104.85
				CHECK APCHK 88803 TOTAL FOR				234.70
06/14/2016	APCHK	88804*#	1844110006 MAY16	COMMONWEALTH EDISON	ENERGY - STREET LIGHTS	745-207	35	674.66
06/14/2016	APCHK	88805#	7957	COMPASS PLUMBING LLC	MAINTENANCE - BUILDING	466-228	10	279.00
			7958		MAINTENANCE - PW BUILDING	725-418	35	469.00
				CHECK APCHK 88805 TOTAL FOR				748.00
06/14/2016	APCHK	88806	6/8/16 MTG	CYNTHIA STUHL	SCHOOLS/CONFERENCES/TRAVEL	455-304	10	38.04
			BANNER		PUBLIC RELATIONS	475-365	10	193.00
				CHECK APCHK 88806 TOTAL FOR				231.04
06/14/2016	APCHK	88807	5/23/16 CLASS	DANIEL POLFLIET	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	27.50
06/14/2016	APCHK	88808	MAY-61245	DATAAMATION IMAGING SERVICES	EDP EQUIPMENT	485-641	10	400.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			MAY-61238		EDP EQUIPMENT	485-641	10	1,875.00
				CHECK APCHK 88808	TOTAL FOR			2,275.00
06/14/2016	APCHK	88809	BINGO PRIZES	DEBBIE HAHN	OPERATING EQUIPMENT	630-401	30	113.10
06/14/2016	APCHK	88810	SUPPORT 2016/17	DECISION SYSTEMS COMPANY	EDP SOFTWARE	615-212	25	3,500.00
06/14/2016	APCHK	88811**	JUNE 2016	DELTA DENTAL PLAN OF ILLINOI	EMP DED PAY- INSURANCE	210-204	00	1,078.17
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	455-141	10	271.09
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	510-141	15	57.16
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	610-141	25	156.77
			JUNE 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	630-141	30	2,155.69
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	710-141	35	156.77
			JUNE 2016		EMPLOYEE BENEFITS - MEDICAL INSURA	810-141	40	174.48
				CHECK APCHK 88811	TOTAL FOR			4,047.13
06/14/2016	APCHK	88812*	MAY 2016	DISCOVERY BENEFITS SIMPLIFY	EMP DED PAY - FSA FEE	210-221	00	39.60
			MAY 2016		EMPLOYEE BENEFIT - MEDICAL INSURAN	455-141	10	10.40
				CHECK APCHK 88812	TOTAL FOR			50.00
06/14/2016	APCHK	88813#	JAN 16 - MAR 16	DUPAGE COUNTY PUBLIC WORKS	SANITARY (7760 QUINCY)	466-250	10	26.84
			JAN-MAR 2016		SANITARY (835 MIDWAY)	466-251	10	18.61
			JAN - MAR 16		SANITARY (825 MIDWAY)	466-252	10	21.69
			JAN - MAR 2016		SANITARY USER CHARGE	725-417	35	15.09
				CHECK APCHK 88813	TOTAL FOR			82.23
06/14/2016	APCHK	88814	20160520008	DUPAGE COUNTY RECORDER	FEES/DUES/SUBSCRIPTIONS	510-307	15	11.00
06/14/2016	APCHK	88815#	3316 #1	FALCO'S LANDSCAPING INC	CONTRACTED MAINTENANCE	570-281	20	4,562.37
			3317		TREE MAINTENANCE	750-338	35	1,665.00
			3316 #1		ROUTE 83 BEAUTIFICATION	755-281	35	4,100.12
				CHECK APCHK 88815	TOTAL FOR			10,327.49
06/14/2016	APCHK	88816	5-427-9593	FEDERAL EXPRESS CORP.	POSTAGE & METER RENT	455-311	10	72.26
06/14/2016	APCHK	88817	1ST PYMNT 16/17	GATEWAY SRA	SPECIAL RECREATION ASSOC PROGRAM D	590-518	20	18,522.19
06/14/2016	APCHK	88818	5142.900-1	GEWALT HAMILTON ASSOCIATES I	PLAN REVIEW - TRAFFIC CONSULTANT -	520-258	15	224.10
06/14/2016	APCHK	88819	4/26/16 RACE	GOWER FOUNDATION	FAMILY SPECIAL EVENT - RACE	585-154	20	1,351.48

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK
 CHECK DATE FROM 05/25/2016 - 06/14/2016

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
06/14/2016	APCHK	88820	5/1/16 RACE	GOWER PTO	FAMILY SPECIAL EVENT - RACE	585-154	20	2,500.00
06/14/2016	APCHK	88822	F543098	HD SUPPLY WATERWORKS, LTD	OPERATING EQUIPMENT	755-401	35	140.99
06/14/2016	APCHK	88823	1532077	HINDSALE NURSERIES, INC.	TREE MAINTENANCE	750-338	35	1,569.00
06/14/2016	APCHK	88824*	9032411	HOME DEPOT CREDIT SERVICES	MAINTENANCE SUPPLIES	570-331	20	51.18
			2026112		MAINTENANCE SUPPLIES	570-331	20	166.97
			2032629		MAINTENANCE SUPPLIES	570-331	20	8.34
			6032484		STREET & ROW MAINTENANCE	750-328	35	130.35
			3023474		OPERATING EQUIPMENT	755-401	35	57.73
				CHECK APCHK 88824 TOTAL FOR				<u>414.57</u>
06/14/2016	APCHK	88825	MAY 2016	I.R.M.A.	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	81.00
			MAY 2016		SELF INSURANCE - DEDUCTIBLE	645-273	30	153.08
				CHECK APCHK 88825 TOTAL FOR				<u>234.08</u>
06/14/2016	APCHK	88826	2141	IL PUBLIC WORKS MUTUAL AID N	FEES/DUES/SUBSCRIPTIONS	710-307	35	100.00
06/14/2016	APCHK	88827	WL077488P	KAREN MINTON	FALSE ALARM RECEIVABLE	130-109	00	25.00
06/14/2016	APCHK	88828	2016 PERMIT 15	KASHYAP SHAH	PARK PERMIT FEES	310-814	00	300.00
06/14/2016	APCHK	88829#	002467148	KONICA MINOLTA BUSINESS SOLU	COPY SERVICE	455-315	10	288.51
			002467148		COPY SERVICE	630-315	30	259.44
				CHECK APCHK 88829 TOTAL FOR				<u>547.95</u>
06/14/2016	APCHK	88830	28028	LIBERTY SALES	UNIFORMS	710-345	35	179.62
06/14/2016	APCHK	88832	2016 PERMIT	MARY ESKANDER	PARK PERMIT FEES	310-814	00	200.00
06/14/2016	APCHK	88834	12965	METRO REPORTING SERVICE LTD.	FEES - COURT REPORTER	520-246	15	727.43
06/14/2016	APCHK	88835	2016 SMR SMR	MUNICIPAL CLERKS OF ILLINOIS	SCHOOLS/CONFERENCES/TRAVEL	455-304	10	65.00
06/14/2016	APCHK	88836	TEMP OCCPANCY	NASIB & RAMINDER NATT	COMM. DEV. BOND & DEPOSITS PAYABLE	210-109	00	5,000.00
			ROW BOND		COMM. DEV. BOND & DEPOSITS PAYABLE	210-109	00	2,000.00
				CHECK APCHK 88836 TOTAL FOR				<u>7,000.00</u>
06/14/2016	APCHK	88837	N5941705	NEOPOST LEASING	POSTAGE & METER RENT	630-311	30	476.97
06/14/2016	APCHK	88838#	95-47-61-1000 2	NICOR GAS	NICOR GAS (7760 QUINCY)	466-235	10	141.12

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
			20-62-43-1511 3		NICOR GAS (835 MIDWAY)	466-236	10	8.03
			68-45-52-3761 7 C		NICOR GAS (825 MIDWAY)	466-237	10	62.42
			92-55-34-3079 A		NICOR GAS (825 MIDWAY)	466-237	10	4.17
			63-40-68-4540 2 B		NICOR GAS (825 MIDWAY)	466-237	10	(16.25)
			39-30-32-2930 4		NICOR GAS	725-415	35	35.47
				CHECK APCHK 88838 TOTAL FOR				234.96
06/14/2016	APCHK	88839	2194	NJ RYAN TREE & LANDSCAPE LLC	TREE MAINTENANCE	750-338	35	1,804.00
			2195		TREE MAINTENANCE	750-338	35	27,463.00
			2192		TREE MAINTENANCE	750-338	35	6,300.00
			2193		TREE MAINTENANCE	750-338	35	4,250.00
			2198		TREE MAINTENANCE	750-338	35	8,200.00
			2196		TREE MAINTENANCE	750-338	35	1,575.00
				CHECK APCHK 88839 TOTAL FOR				49,592.00
06/14/2016	APCHK	88840#	1009480945	OCCUPATIONAL HEALTH CENTERS	EXAMS - PHYSICAL	440-543	07	106.00
			1009480945		WELLNESS	480-276	10	106.00
				CHECK APCHK 88840 TOTAL FOR				212.00
06/14/2016	APCHK	88841	JUNE 2016	ORKIN EXTERMINATING	MAINTENANCE - BUILDING	466-228	10	89.86
06/14/2016	APCHK	88842	I2673986	PCS INDUSTRIES	BUILDING MAINTENANCE SUPPLIES	466-351	10	341.28
06/14/2016	APCHK	88843	137875	PCS INTERNATIONAL	OFFICE SUPPLIES	630-301	30	30.00
06/14/2016	APCHK	88846	BUS EXP AD 2016	ROCK VALLEY PUBLISHING LLC	PRINTING & PUBLISHING	550-302	20	396.00
06/14/2016	APCHK	88847#	7863-46428	SATELLITE PHONE STORE	PHONE - TELEPHONES	455-201	10	63.76
			7863-46428		PHONE - TELEPHONES	630-201	30	63.76
				CHECK APCHK 88847 TOTAL FOR				127.52
06/14/2016	APCHK	88848	5-27-16 REIMB.,	SCOTT EISENBEIS	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	16.50
06/14/2016	APCHK	88850	SN195-50406	SIGNS NOW	OFFICE SUPPLIES	510-301	15	42.90
06/14/2016	APCHK	88851	257615 P/R AUDIT	SIKICH LLP	FINANCIAL SERVICES	620-252	25	2,500.00
06/14/2016	APCHK	88852#	8039431240	STAPLES	OFFICE SUPPLIES	455-301	10	362.92
			8039339323		OPERATING SUPPLIES	615-331	25	73.17
			8039431240		OFFICE SUPPLIES	810-301	40	132.01
				CHECK APCHK 88852 TOTAL FOR				568.10

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK
 CHECK DATE FROM 05/25/2016 - 06/14/2016

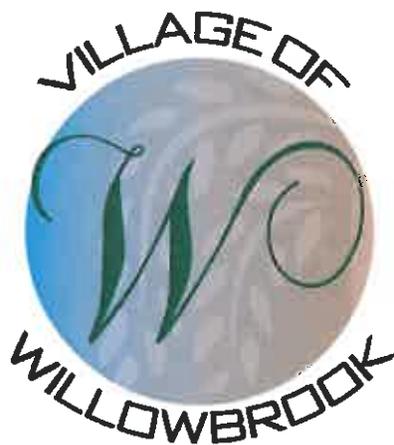
Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
06/14/2016	APCHK	88853	IN474860	SUBURBAN DOOR CHECK & LOCK S	BUILDING MAINTENANCE SUPPLIES	466-351	10	54.20
06/14/2016	APCHK	88854	10074604 16-08	SUBURBAN LIFE PUBLICATIONS	PRINTING & PUBLISHING	510-302	15	170.76
06/14/2016	APCHK	88856	201605 MAY 16	T.P.I.	PLAN REVIEW - BUILDING CODE - REIMB	820-258	40	2,918.83
			201605 MAY 16		PART TIME - INSPECTOR	830-109	40	2,877.00
			201605 MAY 16		PLUMBING INSPECTION - REIMB	830-115	40	675.00
				CHECK APCHK 88856 TOTAL FOR				<u>6,470.83</u>
06/14/2016	APCHK	88857*	TG5 MAY 16	TAMELING GRADING	LANDSCAPE MAINTENANCE SERVICES	565-342	20	725.00
			TG5 MAY 16		STREET & ROW MAINTENANCE	750-328	35	2,325.50
			TG5 MAY 16		OPERATING SUPPLIES	755-331	35	860.00
				CHECK APCHK 88857 TOTAL FOR				<u>3,910.50</u>
06/14/2016	APCHK	88858#	009525	TAMELING INDUSTRIES	PARK LANDSCAPE SUPPLIES	565-341	20	134.40
			109351		PARK LANDSCAPE SUPPLIES	565-341	20	126.00
			009525		STREET & ROW MAINTENANCE	750-328	35	216.00
			109351		STORM WATER IMPROVEMENTS MAINTENAN	750-381	35	270.72
				CHECK APCHK 88858 TOTAL FOR				<u>747.12</u>
06/14/2016	APCHK	88859	\$1439222	TASER INTERNATIONAL	FEES/DUES/SUBSCRIPTIONS	630-307	30	740.00
06/14/2016	APCHK	88860	116434	THE UNDERGROUND OASIS IRRIGA	LANDSCAPE - VILLAGE HALL	466-293	10	165.96
06/14/2016	APCHK	88862#	0610976263	UNIFIRST	MAINTENANCE - BUILDING	466-228	10	216.90
			CM 962855		MAINTENANCE - BUILDING	466-228	10	(216.90)
			0610962903		MAINTENANCE - PW BUILDING	725-418	35	68.35
				CHECK APCHK 88862 TOTAL FOR				<u>68.35</u>
06/14/2016	APCHK	88864	3086192-0	WAREHOUSE DIRECT	OFFICE SUPPLIES	630-301	30	95.85
06/14/2016	APCHK	88865	8336	WEST CENTRAL MUNICIPAL CONF.	SCHOOLS/CONFERENCES/TRAVEL	410-304	05	800.00
06/14/2016	APCHK	88866#	414237	WESTFIELD FORD	MAINTENANCE - VEHICLES	735-409	35	49.80
			414297		MAINTENANCE - VEHICLES	735-409	35	73.75
			414655		MAINTENANCE - VEHICLES	810-409	40	2,182.35
				CHECK APCHK 88866 TOTAL FOR				<u>2,305.90</u>
06/14/2016	APCHK	88868#	2016 EXPO	WLBK BURR RIDGE CHAMBER OF C	SCHOOLS/CONFERENCES/TRAVEL	410-304	05	80.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
06/14/2016	APCHK	88869	2016 MEETINGS 2016 EXPO		SCHOOLS/CONFERENCES/TRAVEL SCHOOLS/CONFERENCES/TRAVEL	410-304 435-304	05 07	120.00 60.00
CHECK APCHK 88868 TOTAL FOR								
06/14/2016	APCHK	88869	4/26/15 RACE	WLBK BURR RIDGE KIWANIS	FAMILY SPECIAL EVENT - RACE	585-154	20	1,351.48
Fund: 02 WATER FUND								
06/14/2016	APCHK	17(E)*#	JUNE 2016	INTERGOVERNMENTAL PERSONNEL	EMPLOYEE BENEFITS - MEDICAL INSURA	401-141	50	1,023.28
05/25/2016	APCHK	88783*#	WLB5 - JUNE 2016	UMB BANK N.A.	INTEREST EXPENSE	449-102	50	5,017.00
06/14/2016	APCHK	88788	94594 JUN-AUG 16 92825 JUN - AUG16 94593 JUN - AUG 16	ALARM DETECTION SYSTEMS INC	REPAIRS & MAINTENANCE-STANDPIPE/PU REPAIRS & MAINTENANCE-STANDPIPE/PU REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485 425-485 425-485	50 50 50	199.53 232.89 232.89
CHECK APCHK 88788 TOTAL FOR								
06/14/2016	APCHK	88791	27394	ASSOCIATED TECHNICAL SERV. L	LEAK SURVEYS	430-276	50	642.00
06/14/2016	APCHK	88792	82693070 MAY 16	AT & T MOBILITY	PHONE - TELEPHONES	401-201	50	60.61
06/14/2016	APCHK	88804*#	5071072051 APR/MAY 5071072051 MAY 16	COMMONWEALTH EDISON	ENERGY - ELECTRIC PUMP ENERGY - ELECTRIC PUMP	420-206 420-206	50 50	800.00 642.22
CHECK APCHK 88804 TOTAL FOR								
06/14/2016	APCHK	88811*#	JUNE 2016	DELTA DENTAL PLAN OF ILLINOI	EMPLOYEE BENEFITS - MEDICAL INSURA	401-141	50	156.77
06/14/2016	APCHK	88821	16-457 14-462	H-B-K WATER METER SERVICE	NEW METERING EQUIPMENT NEW METERING EQUIPMENT	435-461 435-461	50 50	2,167.90 1,130.80
CHECK APCHK 88821 TOTAL FOR								
06/14/2016	APCHK	88831	06/09/2016	MAO, BEN	CUSTOMER OVERPAYMENT	280-135	00	100.02
06/14/2016	APCHK	88844	06/09/2016	QUIGLEY, COLLEEN	CUSTOMER OVERPAYMENT	280-135	00	220.73
06/14/2016	APCHK	88845*#	1185	ROBERT WHITE CONSTRUCTION	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	3,600.00
06/14/2016	APCHK	88855	2016-144	SUNSET SEWER & WATER	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	4,164.45
06/14/2016	APCHK	88857*#	TG5 MAY 16	TAMELING GRADING	WATER DISTRIBUTION REPAIRS/MAINTEN	430-277	50	480.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND								
06/14/2016	APCHK	88861	14986	UNDERGROUND PIPE & VALVE, CO	MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	788.16
06/14/2016	APCHK	88863	9765683636	VERIZON WIRELESS	PHONE - TELEPHONES	401-201	50	75.08
Fund: 03 HOTEL/MOTEL TAX FUND								
Total for fund 02 WATER FUND 21,734.33								
06/14/2016	APCHK	88799*#	129109	CHRISTOPHER B. BURKE	TRANSPORTATION	435-320	53	294.00
Fund: 06 SSA ONE BOND & INTEREST FUND								
Total for fund 03 HOTEL/MOTEL TAX FUND 294.00								
06/14/2016	APCHK	88833	2007 SSA BONDS	MB FINANCIAL BANK	BOND INTEREST EXPENSE	550-402	60	89,742.50
Fund: 11 DEBT SERVICE FUND								
Total for fund 06 SSA ONE BOND & INTEREST FUND 89,742.50								
05/25/2016	APCHK	88783*#	WLB5 - JUNE 2016	UMB BANK N.A.	BOND INTEREST EXPENSE	550-402	70	61,258.00
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
Total for fund 11 DEBT SERVICE FUND 61,258.00								
06/14/2016	APCHK	88799*#	129103	CHRISTOPHER B. BURKE	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	17,441.89
06/14/2016	APCHK	88824*#	5020580	HOME DEPOT CREDIT SERVICES	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	56.08
06/14/2016	APCHK	88845*#	1186	ROBERT WHITE CONSTRUCTION	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	2,400.00
			1187	CHECK APCHK 88845 TOTAL FOR	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	2,000.00
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
06/14/2016	APCHK	88849	P610662	SENTINEL TECHNOLOGIES INC	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	2,900.00
06/14/2016	APCHK	88867	0017070	WILLIAMS ARCHITECTS	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	15,988.41
			0017083	CHECK APCHK 88867 TOTAL FOR	CRC REMODEL (825 MIDWAY DR)	930-412	75	30.94
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
Total for fund 14 LAND ACQUISITION, FACILITY, EXPANSION & 16,019.35								
TOTAL - ALL FUNDS 40,817.32								
**--INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND 436,010.78								
#--INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT								

Payroll Liability Check Register
For Check Dates 05/01/2016 to 05/31/2016

Check Number	Vendor Name	Check Date	Check Amount
52475	COMMUNITY BANK OF WILLOWBROOK	05/13/2016	604.15
52476	I C M A RETIREMENT TRUST - 457	05/13/2016	725.00
52477	ILLINOIS STATE DISBURSEMENT UNIT	05/13/2016	1,848.93
52478	ILLINOIS FRATERNAL	05/13/2016	430.00
52479	NATIONWIDE RETIREMENT SOLUTIONS	05/13/2016	2,816.13
52480	VILLAGE OF WILLOWBROOK	05/13/2016	40,255.11
52490	AFLAC	05/27/2016	1,957.06
52491	COMMUNITY BANK OF WILLOWBROOK	05/27/2016	604.15
52492	I C M A RETIREMENT TRUST - 457	05/27/2016	725.00
52493	ILLINOIS STATE DISBURSEMENT UNIT	05/27/2016	1,848.93
52494	ILLINOIS FRATERNAL	05/27/2016	430.00
52495	NATIONWIDE RETIREMENT SOLUTIONS	05/27/2016	2,818.19
52496	VILLAGE OF WILLOWBROOK	05/27/2016	38,457.52
EFT21	EFTPS	05/13/2016	42,268.97
EFT22	I.M.R.F. PENSION FUND	05/13/2016	11,064.69
EFT23	ILLINOIS DEPT. OF REVENUE	05/13/2016	6,266.76
EFT24	EFTPS	05/27/2016	45,071.50
EFT25	I.M.R.F. PENSION FUND	05/27/2016	10,506.19
EFT26	ILLINOIS DEPT. OF REVENUE	05/27/2016	5,052.96
Total Checks: 19		Total Paid:	\$213,751.24



MONTHLY FINANCIAL REPORT

MAY 2016

RESPECTFULLY SUBMITTED BY:

Frank A. Trilla, Mayor

Carrie Dittman

Carrie Dittman, Director of Finance

VILLAGE OF WILLOWBROOK
MONTHLY CASH AND INVESTMENT BALANCE BY FUND
FOR THE MONTH ENDED 05/31/2016

ACCOUNT	BALANCE
Fund 01 GENERAL FUND	
CHECKING - 0283	0.00
COMMUNITY BANK OF WB - 0275	323,015.12
IL FUNDS - 5435	3,896,995.97
COMMUNITY BANK OF WB MM - 1771	301,894.15
COMMUNITY BANK RD LGHT - 0724	684.74
COMMUNITY BANK OF WB FSA - 3804	11,672.92
U.S. BANK RED LIGHT - 4216	17,304.00
COMMUNITY BANK DRUG ACCT - 4171	114,111.15
COMMUNITY BANK WB CADETS - 10620387	173.72
PETTY CASH REVLVING	950.00
IMET - GENERAL	28.69
Total For Fund 01:	4,666,830.46
Fund 02 WATER FUND	
IL FUNDS WATER - 5914	448,222.25
COMMUNITY BANK OF WB WTR - 4163	666,659.78
COMMUNITY BANK OF WB - 0275	0.00
Total For Fund 02:	1,114,882.03
Fund 03 HOTEL/MOTEL TAX FUND	
IL FUNDS HOTEL/MOTEL - 5948	69,451.79
COMMUNITY BANK OF WB - 0275	68,995.06
Total For Fund 03:	138,446.85
Fund 04 MOTOR FUEL TAX FUND	
IL FUNDS MFT - 5443	441,765.32
Total For Fund 04:	441,765.32
Fund 06 SSA ONE BOND & INTEREST FUND	
IL FUNDS SSA BOND - 4621	5,097.75
Total For Fund 06:	5,097.75
Fund 07 POLICE PENSION FUND	
COMMUNITY BANK OF WB PP - 4155	82,830.57
COMMUNITY BANK OF WB - 0275	0.00
MONEY MARKET - MB FINANCIAL BANK	364,700.92
US TREASURIES	61,606.41
US AGENCIES	3,180,945.07
MUNICIPAL BONDS	710,071.15
CORPORATE BONDS	3,505,496.00
EQUITIES	4,314,452.19
MUTUAL FUNDS	5,670,738.13
MARKET VALUE CONTRA	1,036,078.75
Total For Fund 07:	18,926,919.19
Fund 09 WATER CAPITAL IMPROVEMENTS FUND	
IL FUNDS WTR CAP - 1206	380,035.20
Total For Fund 09:	380,035.20
Fund 10 CAPITAL PROJECT FUND	
IL FUNDS CAP PROJECTS - 3133	96,818.22
Total For Fund 10:	96,818.22
Fund 11 DEBT SERVICE FUND	
IL FUNDS BOND PROCEEDS DS - 2756	50,435.07
Total For Fund 11:	50,435.07
Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &	
IL FUNDS BOND PROCEEDS LAFER - 2772	3,010,945.69
Total For Fund 14:	3,010,945.69
TOTAL CASH & INVESTMENTS:	28,832,175.78

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016
CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 05/31/2016
Fund 01 - GENERAL FUND		
MONEY MARKET		
01-00-110-322	IL FUNDS - 5435	3,896,995.97
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	301,894.15
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	684.74
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	114,111.15
01-00-120-155	IMET - GENERAL	28.69
	MONEY MARKET	4,313,714.70
PETTY CASH		
01-00-110-911	PETTY CASH REVLVING	950.00
	PETTY CASH	950.00
SAVINGS		
01-00-110-257	COMMUNITY BANK OF WB - 0275	323,015.12
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,672.92
01-00-110-335	U.S. BANK RED LIGHT - 4216	17,304.00
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	173.72
	SAVINGS	352,165.76
Fund 02 - WATER FUND		
MONEY MARKET		
02-00-110-113	IL FUNDS WATER - 5914	448,222.25
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	666,659.78
	MONEY MARKET	1,114,882.03
Fund 03 - HOTEL/MOTEL TAX FUND		
MONEY MARKET		
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	69,451.79
	MONEY MARKET	69,451.79
SAVINGS		
03-00-110-257	COMMUNITY BANK OF WB - 0275	68,995.06
	SAVINGS	68,995.06
Fund 04 - MOTOR FUEL TAX FUND		
MONEY MARKET		
04-00-110-116	IL FUNDS MFT - 5443	441,765.32
	MONEY MARKET	441,765.32
Fund 06 - SSA ONE BOND & INTEREST FUND		
MONEY MARKET		
06-00-110-117	IL FUNDS SSA BOND - 4621	5,097.75
	MONEY MARKET	5,097.75
Fund 07 - POLICE PENSION FUND		
MONEY MARKET		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	82,830.57
	MONEY MARKET	82,830.57
SAVINGS		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	364,700.92
	SAVINGS	364,700.92
AGENCY CERTIFICATES		
07-00-120-260	US AGENCIES	3,180,945.07
	AGENCY CERTIFICATES	3,180,945.07
CORPORATE BONDS		
07-00-120-288	CORPORATE BONDS	3,505,496.00
	CORPORATE BONDS	3,505,496.00
EQUITIES		
07-00-120-289	EQUITIES	4,314,452.19
	EQUITIES	4,314,452.19

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 05/31/2016
Fund 07 - POLICE PENSION FUND		
MUNICIPAL BONDS		
07-00-120-270	MUNICIPAL BONDS	710,071.15
	MUNICIPAL BONDS	710,071.15
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	5,670,738.13
	MUTUAL FUNDS	5,670,738.13
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	1,036,078.75
	MARKET VALUE	1,036,078.75
TREASURY NOTES		
07-00-120-250	US TREASURIES	61,606.41
	TREASURY NOTES	61,606.41
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		
09-00-110-324	IL FUNDS WTR CAP - 1206	380,035.20
	MONEY MARKET	380,035.20
Fund 10 - CAPITAL PROJECT FUND		
MONEY MARKET		
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	96,818.22
	MONEY MARKET	96,818.22
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	50,435.07
	MONEY MARKET	50,435.07
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	3,010,945.69
	MONEY MARKET	3,010,945.69

ACCOUNT BALANCE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016
 CASH & INVESTMENTS BY INSTITUTION

GL NUMBER	DESCRIPTION	END BALANCE 05/31/2016
COMMUNITY BANK OF WB		
01-00-110-257	COMMUNITY BANK OF WB - 0275	323,015.12
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	301,894.15
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	684.74
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	11,672.92
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	114,111.15
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	173.72
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	666,659.78
03-00-110-257	COMMUNITY BANK OF WB - 0275	68,995.06
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	82,830.57
	COMMUNITY BANK OF WB	1,570,037.21
ILLINOIS FUNDS		
01-00-110-322	IL FUNDS - 5435	3,896,995.97
02-00-110-113	IL FUNDS WATER - 5914	448,222.25
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	69,451.79
04-00-110-116	IL FUNDS MFT - 5443	441,765.32
06-00-110-117	IL FUNDS SSA BOND - 4621	5,097.75
09-00-110-324	IL FUNDS WTR CAP - 1206	380,035.20
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	96,818.22
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	50,435.07
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	3,010,945.69
	ILLINOIS FUNDS	8,399,767.26
IMET		
01-00-120-155	IMET - GENERAL	28.69
	IMET	28.69
MARKET VALUE CONTRA		
07-00-120-900	MARKET VALUE CONTRA	1,036,078.75
	MARKET VALUE CONTRA	1,036,078.75
MBFINANCIAL BANK		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	364,700.92
07-00-120-250	US TREASURIES	61,606.41
07-00-120-260	US AGENCIES	3,180,945.07
07-00-120-270	MUNICIPAL BONDS	710,071.15
07-00-120-288	CORPORATE BONDS	3,505,496.00
07-00-120-289	EQUITIES	4,314,452.19
07-00-120-290	MUTUAL FUNDS	5,670,738.13
	MBFINANCIAL BANK	17,808,009.87
U.S. BANK		
01-00-110-335	U.S. BANK RED LIGHT - 4216	17,304.00
	U.S. BANK	17,304.00
VILLAGE OF WILLOWBROOK		
01-00-110-911	PETTY CASH REVLVING	950.00
	VILLAGE OF WILLOWBROOK	950.00
Total - All Funds:		28,832,175.78

INTERFUND ACTIVITY REPORT FOR WILLOWBROOK
 Period Ending 05/31/2016
 Due To/From Other Funds

GL Number	Description	Balance
Fund 01: GENERAL FUND		
Due From Other Funds		
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	88,131.36
01-00-140-114	DUE TO/FROM LAND ACQUISITION/FAC EXP/REN	1,522.28
	Total Due From Other Funds	89,653.64
Fund 07: POLICE PENSION FUND		
Due From Other Funds		
07-00-140-101	DUE TO/FROM GENERAL FUND	(88,131.36)
	Total Due From Other Funds	(88,131.36)
Fund 14: LAND ACQUISITION, FACILITY, EXPANSION &		
Due From Other Funds		
14-00-140-101	DUE TO/FROM GENERAL FUND	(1,522.28)
	Total Due From Other Funds	(1,522.28)

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
PROPERTY TAX						
01-00-310-101	PROPERTY TAX LEVY - SRA	0.00	0.00	74,620.00	0.00	74,620.00
01-00-310-102	PROPERTY TAX LEVY - ROAD & BRIDGE	127.87	127.87	106,201.00	0.12	106,073.13
	PROPERTY TAX	127.87	127.87	180,821.00	0.07	180,693.13
OTHER TAXES						
01-00-310-201	MUNICIPAL SALES TAX	267,881.50	267,881.50	3,600,000.00	7.44	3,332,118.50
01-00-310-202	ILLINOIS INCOME TAX	53,410.84	53,410.84	740,418.00	7.21	687,007.16
01-00-310-203	AMUSEMENT TAX	11,116.95	11,116.95	74,790.00	14.86	63,673.05
01-00-310-204	REPLACEMENT TAX	237.79	237.79	1,220.00	19.49	982.21
01-00-310-205	UTILITY TAX	76,429.49	76,429.49	1,000,000.00	7.64	923,570.51
01-00-310-208	PLACES OF EATING TAX	41,442.15	41,442.15	475,000.00	8.72	433,557.85
01-00-310-209	WATER TAX	13,205.95	13,205.95	177,000.00	7.46	163,794.05
01-00-310-210	WATER TAX - CLARENDON WATER CO	0.00	0.00	1,000.00	0.00	1,000.00
	OTHER TAXES	463,724.67	463,724.67	6,069,428.00	7.64	5,605,703.33
LICENSES						
01-00-310-302	LIQUOR LICENSES	2,500.00	2,500.00	80,000.00	3.13	77,500.00
01-00-310-303	BUSINESS LICENSES	272.50	272.50	82,000.00	0.33	81,727.50
01-00-310-305	VENDING MACHINE	0.00	0.00	2,000.00	0.00	2,000.00
01-00-310-306	SCAVENGER LICENSES	0.00	0.00	8,000.00	0.00	8,000.00
	LICENSES	2,772.50	2,772.50	172,000.00	1.61	169,227.50
PERMITS						
01-00-310-401	BUILDING PERMITS	28,379.31	28,379.31	225,000.00	12.61	196,620.69
01-00-310-402	SIGN PERMITS	580.77	580.77	5,000.00	11.62	4,419.23
01-00-310-403	OTHER PERMITS	30.00	30.00	500.00	6.00	470.00
01-00-310-404	COUNTY BMP FEE	0.00	0.00	2,000.00	0.00	2,000.00
	PERMITS	28,990.08	28,990.08	232,500.00	12.47	203,509.92
FINES						
01-00-310-501	CIRCUIT COURT FINES	7,380.01	7,380.01	105,000.00	7.03	97,619.99
01-00-310-502	TRAFFIC FINES	3,610.00	3,610.00	25,000.00	14.44	21,390.00
01-00-310-503	RED LIGHT FINES	60,454.00	60,454.00	525,000.00	11.52	464,546.00
	FINES	71,444.01	71,444.01	655,000.00	10.91	583,555.99
OVERHEAD REIMBURSEMENT						
01-00-310-601	ADMINISTRATIVE SUPPORT REIMB - WATE	43,582.58	43,582.58	522,991.00	8.33	479,408.42
	OVERHEAD REIMBURSEMENT	43,582.58	43,582.58	522,991.00	8.33	479,408.42
CHARGES & FEES						
01-00-310-700	PLANNING APPLICATION FEES	0.00	0.00	10,000.00	0.00	10,000.00
01-00-310-701	PUBLIC HEARING FEES	0.00	0.00	2,550.00	0.00	2,550.00
01-00-310-702	PLANNING REVIEW FEES	0.00	0.00	6,000.00	0.00	6,000.00
01-00-310-704	ACCIDENT REPORT COPIES	91.00	91.00	2,000.00	4.55	1,909.00
01-00-310-705	VIDEO GAMING FEES	2,958.37	2,958.37	20,000.00	14.79	17,041.63
01-00-310-706	COPIES-ORDINANCES & MAPS	10.00	10.00	50.00	20.00	40.00

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 01 - GENERAL FUND						
01-00-310-723	ELEVATOR INSPECTION FEES	450.00	450.00	5,000.00	9.00	4,550.00
01-00-310-724	BURGLAR ALARM FEES	130.00	130.00	15,000.00	0.87	14,870.00
	CHARGES & FEES	3,639.37	3,639.37	60,600.00	6.01	56,960.63
PARK & RECREATION CHARGES						
01-00-310-813	PARK & REC CONTRIBUTION	115.00	115.00	2,250.00	5.11	2,135.00
01-00-310-814	PARK PERMIT FEES	1,380.00	1,380.00	3,000.00	46.00	1,620.00
01-00-310-815	SUMMER RECREATION FEES	0.00	0.00	840.00	0.00	840.00
01-00-310-816	WINTER RECREATION FEES	0.00	0.00	8,485.00	0.00	8,485.00
01-00-310-817	SPECIAL EVENTS	1,507.87	1,507.87	2,600.00	58.00	1,092.13
01-00-310-818	FALL RECREATION FEES	0.00	0.00	6,718.00	0.00	6,718.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL R	0.00	0.00	6,500.00	0.00	6,500.00
01-00-310-820	HOLIDAY CONTRIBUTION	0.00	0.00	1,300.00	0.00	1,300.00
01-00-310-822	BRWB BASEBALL REIMB FACILITY	0.00	0.00	6,600.00	0.00	6,600.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	765.00	0.00	765.00
	PARK & RECREATION CHARGES	3,002.87	3,002.87	39,058.00	7.69	36,055.13
OTHER REVENUE						
01-00-310-901	REIMBURSEMENTS - IRMA	0.00	0.00	5,000.00	0.00	5,000.00
01-00-310-904	REIMB - ETSB CAPITAL (DUCOMM)	0.00	0.00	72,000.00	0.00	72,000.00
01-00-310-909	SALE - FIXED ASSETS	0.00	0.00	7,500.00	0.00	7,500.00
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	150.00	150.00	500.00	30.00	350.00
01-00-310-911	OTHER REIMBURSEMENTS-REFUNDS	136.06	136.06	8,000.00	1.70	7,863.94
01-00-310-912	REIMBURSEMENTS-BRUSH PICK-UP	0.00	0.00	11,600.00	0.00	11,600.00
01-00-310-913	OTHER RECEIPTS	1,728.80	1,728.80	500.00	345.76	(1,228.80)
01-00-310-914	REIMB - PARK & REC MEMORIAL PROGRAM	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DET	0.00	0.00	4,000.00	0.00	4,000.00
01-00-310-917	REIMBURSEMENTS - PUBLIC WORKS OTHE	1,967.48	1,967.48	16,500.00	11.92	14,532.52
01-00-310-919	REIMBURSEMENTS - CD ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-920	FEDERAL/STATE GRANTS	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-925	NICOR GAS ANNUAL PAYMENT	0.00	0.00	456,189.00	0.00	456,189.00
01-00-310-926	CABLE FRANCHISE FEES	0.00	0.00	17,472.00	0.00	17,472.00
01-00-310-930	DRUG FORFEITURES - DEA	0.00	0.00	208,000.00	0.00	208,000.00
	OTHER REVENUE	3,982.34	3,982.34	850,261.00	0.47	846,278.66
NON-OPERATING						
01-00-320-108	INTEREST INCOME	1,129.18	1,129.18	1,750.00	64.52	620.82
	NON-OPERATING	1,129.18	1,129.18	1,750.00	64.52	620.82
Fund 01 - GENERAL FUND:						
	TOTAL REVENUES	622,395.47	622,395.47	8,784,409.00	7.09	8,162,013.53
Fund 02 - WATER FUND						

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 02 - WATER FUND						
CHARGES & FEES						
02-00-310-712	WATER SALES	262,520.21	262,520.21	3,545,000.00	7.41	3,282,479.79
02-00-310-713	WATER PENALTIES	932.47	932.47	0.00	100.00	(932.47)
02-00-310-718	SHUTOFF/NSF FEE	765.00	765.00	0.00	100.00	(765.00)
CHARGES & FEES						
		264,217.68	264,217.68	3,545,000.00	7.45	3,280,782.32
OTHER REVENUE						
02-00-310-714	WATER METER SALES	365.71	365.71	2,600.00	14.07	2,234.29
02-00-310-716	WATER METER READ SALES	0.00	0.00	6,000.00	0.00	6,000.00
02-00-310-717	OTHER REVENUE	0.00	0.00	1,000.00	0.00	1,000.00
OTHER REVENUE						
		365.71	365.71	9,600.00	3.81	9,234.29
NON-OPERATING						
02-00-320-108	INTEREST INCOME	275.07	275.07	1,000.00	27.51	724.93
02-00-320-713	WATER CONNECTION FEES	0.00	0.00	3,000.00	0.00	3,000.00
NON-OPERATING						
		275.07	275.07	4,000.00	6.88	3,724.93
Fund 02 - WATER FUND:						
TOTAL REVENUES		264,858.46	264,858.46	3,558,600.00	7.44	3,293,741.54
Fund 03 - HOTEL/MOTEL TAX FUND						
OTHER TAXES						
03-00-310-205	HOTEL/MOTEL TAX	18,523.42	18,523.42	243,000.00	7.62	224,476.58
OTHER TAXES						
		18,523.42	18,523.42	243,000.00	7.62	224,476.58
NON-OPERATING						
03-00-320-108	INTEREST INCOME	17.69	17.69	30.00	58.97	12.31
NON-OPERATING						
		17.69	17.69	30.00	58.97	12.31
Fund 03 - HOTEL/MOTEL TAX FUND:						
TOTAL REVENUES		18,541.11	18,541.11	243,030.00	7.63	224,488.89
Fund 04 - MOTOR FUEL TAX FUND						
OTHER TAXES						
04-00-310-216	MFT RECEIPTS	19,435.44	19,435.44	221,186.00	8.79	201,750.56
OTHER TAXES						
		19,435.44	19,435.44	221,186.00	8.79	201,750.56
NON-OPERATING						
04-00-320-108	INTEREST INCOME	111.63	111.63	150.00	74.42	38.37

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 04 - MOTOR FUEL TAX FUND						
NON-OPERATING		111.63	111.63	150.00	74.42	38.37
Fund 04 - MOTOR FUEL TAX FUND:						
TOTAL REVENUES		19,547.07	19,547.07	221,336.00	8.83	201,788.93
Fund 06 - SSA ONE BOND & INTEREST FUND						
PROPERTY TAX		0.00	0.00	319,485.00	0.00	319,485.00
06-00-310-101	PROPERTY TAX RECEIPTS	0.00	0.00	319,485.00	0.00	319,485.00
PROPERTY TAX						
NON-OPERATING		1.27	1.27	35.00	3.63	33.73
06-00-320-108	INTEREST INCOME	1.27	1.27	35.00	3.63	33.73
NON-OPERATING		1.27	1.27	35.00	3.63	33.73
Fund 06 - SSA ONE BOND & INTEREST FUND:						
TOTAL REVENUES		1.27	1.27	319,520.00	0.00	319,518.73
Fund 07 - POLICE PENSION FUND						
OTHER REVENUE		61,985.38	61,985.38	805,810.00	7.69	743,824.62
07-00-310-607	VILLAGE CONTRIBUTION	16,727.25	16,727.25	202,140.00	8.28	185,412.75
07-00-310-906	POLICE CONTRIBUTIONS	78,712.63	78,712.63	1,007,950.00	7.81	929,237.37
OTHER REVENUE						
NON-OPERATING		2.92	2.92	500,000.00	0.00	499,997.08
07-00-320-108	INTEREST INCOME	2.92	2.92	500,000.00	0.00	499,997.08
NON-OPERATING		2.92	2.92	500,000.00	0.00	499,997.08
Fund 07 - POLICE PENSION FUND:						
TOTAL REVENUES		78,715.55	78,715.55	1,507,950.00	5.22	1,429,234.45
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
NON-OPERATING		0.00	0.00	931,460.00	0.00	931,460.00
09-00-320-105	IEPA LOAN PROCEEDS	96.71	96.71	50.00	193.42	(46.71)
09-00-320-108	INTEREST INCOME	96.71	96.71	931,510.00	0.01	931,413.29
NON-OPERATING		96.71	96.71	931,510.00	0.01	931,413.29

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND						
TRANSFERS IN						
09-00-330-102	TRANSFER FROM WATER	0.00	0.00	100,000.00	0.00	100,000.00
TRANSFERS IN		0.00	0.00	100,000.00	0.00	100,000.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:						
TOTAL REVENUES		96.71	96.71	1,031,510.00	0.01	1,031,413.29
Fund 10 - CAPITAL PROJECT FUND						
NON-OPERATING						
10-00-320-108	INTEREST INCOME	24.65	24.65	0.00	100.00	(24.65)
NON-OPERATING		24.65	24.65	0.00	100.00	(24.65)
Fund 10 - CAPITAL PROJECT FUND:						
TOTAL REVENUES		24.65	24.65	0.00	100.00	(24.65)
Fund 11 - DEBT SERVICE FUND						
NON-OPERATING						
11-00-320-108	INTEREST INCOME	0.46	0.46	0.00	100.00	(0.46)
NON-OPERATING		0.46	0.46	0.00	100.00	(0.46)
TRANSFERS IN						
11-00-330-101	TRANSFER FROM GENERAL FUND	105,897.50	105,897.50	278,979.00	37.96	173,081.50
11-00-330-102	TRANSFER FROM WATER	7,717.50	7,717.50	47,051.00	16.40	39,333.50
TRANSFERS IN		113,615.00	113,615.00	326,030.00	34.85	212,415.00
Fund 11 - DEBT SERVICE FUND:						
TOTAL REVENUES		113,615.46	113,615.46	326,030.00	34.85	212,414.54
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &						
NON-OPERATING						
14-00-320-108	INTEREST INCOME	772.55	772.55	500.00	154.51	(272.55)
NON-OPERATING		772.55	772.55	500.00	154.51	(272.55)
TRANSFERS IN						
14-00-330-101	TRANSFER FROM GENERAL FUND	0.00	0.00	25,000.00	0.00	25,000.00

REVENUE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/2016	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
	Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & TRANSFERS IN	0.00	0.00	25,000.00	0.00	25,000.00

Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & :

TOTAL REVENUES		772.55	772.55	25,500.00	3.03	24,727.45
TOTAL REVENUES - ALL FUNDS		1,118,568.30	1,118,568.30	16,017,885.00	100.00	14,899,316.70

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
		MONTH 05/31/16	2016-17						
Fund 01 - GENERAL FUND									
Dept 05-VILLAGE BOARD & CLERK									
GENERAL MANAGEMENT									
01-05-400-147	EMPLOYEE BENEFITS - MEDICA	58.68	687.00	58.68	687.00	8.54	628.32	1,374.00	1,315.32
01-05-400-161	SOCIAL SECURITY/FICA	250.97	2,939.00	250.97	2,939.00	8.54	2,688.03	5,878.00	5,627.03
01-05-410-101	SALARIES PRESIDENT & VILLAG	3,100.00	40,200.00	3,100.00	40,200.00	7.71	37,100.00	80,400.00	77,300.00
01-05-410-125	SALARY - VILLAG CLERK	600.00	7,200.00	600.00	7,200.00	8.33	6,600.00	14,400.00	13,800.00
01-05-410-141	LIFE INS BENEFIT -APPOINTED/	78.21	1,300.00	78.21	1,300.00	6.02	1,221.79	2,600.00	2,521.79
01-05-410-201	PHONE - TELEPHONES	0.00	720.00	0.00	720.00	0.00	720.00	1,440.00	1,440.00
01-05-410-301	OFFICE SUPPLIES	0.00	750.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-05-410-303	FUEL/MILEAGE/WASH	0.00	100.00	0.00	100.00	0.00	100.00	200.00	200.00
01-05-410-304	SCHOOLS/CONFERENCES/TRA	0.00	5,310.00	0.00	5,310.00	0.00	5,310.00	10,620.00	10,620.00
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	285.00	2,008.00	285.00	2,008.00	14.19	1,723.00	4,016.00	3,731.00
01-05-410-308	WELLNESS	0.00	600.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00
GENERAL MANAGEMENT									
		4,372.86	61,814.00	4,372.86	61,814.00	7.07	57,441.14	123,628.00	119,255.14
COMMUNITY RELATIONS									
01-05-420-365	PUBLIC RELATIONS	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
COMMUNITY RELATIONS									
		0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
Total Dept 05-VILLAGE BOARD & CLERK									
		4,372.86	62,314.00	4,372.86	62,314.00	7.02	57,941.14	124,628.00	120,255.14
Dept 07-BOARD OF POLICE COMMISSIONERS									
ADMINISTRATION									
01-07-435-104	PART TIME - CLERICAL	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-07-435-148	LIFE INS BENEFIT -APPOINTED/	29.20	565.00	29.20	565.00	5.17	535.80	1,130.00	1,100.80
01-07-435-239	FEES - BOPC ATTORNEY	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-07-435-301	OFFICE SUPPLIES	0.00	100.00	0.00	100.00	0.00	100.00	200.00	200.00
01-07-435-302	PRINTING & PUBLISHING	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-07-435-311	POSTAGE & METER RENT	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
ADMINISTRATION									
		29.20	9,165.00	29.20	9,165.00	0.32	9,135.80	18,330.00	18,300.80
OTHER									
01-07-440-542	EXAMS - WRITTEN	0.00	8,000.00	0.00	8,000.00	0.00	8,000.00	16,000.00	16,000.00
01-07-440-543	EXAMS - PHYSICAL	106.00	700.00	106.00	700.00	15.14	594.00	1,400.00	1,294.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	0.00	3,500.00	0.00	3,500.00	0.00	3,500.00	7,000.00	7,000.00
01-07-440-545	EXAMS - POLYGRAPH	500.00	1,000.00	500.00	1,000.00	50.00	500.00	2,000.00	1,500.00
OTHER									
		606.00	13,200.00	606.00	13,200.00	4.59	12,594.00	26,400.00	25,794.00
Total Dept 07-BOARD OF POLICE COMMISSIONERS									
		635.20	22,365.00	635.20	22,365.00	2.84	21,729.80	44,730.00	44,094.80
Dept 10-ADMINISTRATION									
GENERAL MANAGEMENT									
01-10-400-147	EMPLOYEE BENEFITS - MEDICA	295.20	3,426.00	295.20	3,426.00	8.62	3,130.80	6,852.00	6,556.80
01-10-400-151	IMRF	3,423.87	40,107.00	3,423.87	40,107.00	8.54	36,683.13	80,214.00	76,790.13

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/16		ORIGINAL BUDGET	BUDGET				
Fund 01 - GENERAL FUND										
01-10-400-161	SOCIAL SECURITY/FICA	1,262.15	1,262.15	11,715.00	10.77	23,430.00	22,167.85			
01-10-455-101	SALARIES - MANAGEMENT STA	7,973.87	7,973.87	82,929.00	9.62	165,858.00	157,884.13			
01-10-455-102	OVERTIME	748.08	748.08	5,000.00	14.96	4,251.92	9,251.92			
01-10-455-106	ASST TO VILLAGE ADMINISTRA	5,033.92	5,033.92	65,439.00	7.69	130,878.00	125,844.08			
01-10-455-107	ADMINISTRATIVE INTERN	966.30	966.30	10,234.00	9.44	20,468.00	19,501.70			
01-10-455-126	SALARIES - CLERICAL	5,592.64	5,592.64	72,704.00	7.69	145,408.00	139,815.36			
01-10-455-131	PERSONNEL RECRUITMENT	0.00	0.00	550.00	0.00	1,100.00	1,100.00			
01-10-455-141	EMPLOYEE BENEFIT - MEDICAL	1,114.32	1,114.32	29,219.00	3.81	58,438.00	57,323.68			
01-10-455-144	EMPLOYEE BENEFIT - UNEMPL	0.00	0.00	213.00	0.00	426.00	426.00			
01-10-455-201	PHONE - TELEPHONES	1,032.33	1,032.33	13,260.00	7.79	26,520.00	25,487.67			
01-10-455-266	CODIFY ORDINANCES	0.00	0.00	3,000.00	0.00	6,000.00	6,000.00			
01-10-455-301	OFFICE SUPPLIES	223.49	223.49	10,000.00	2.23	20,000.00	19,776.51			
01-10-455-302	PRINTING & PUBLISHING	0.00	0.00	3,000.00	0.00	6,000.00	6,000.00			
01-10-455-303	FUEL/MILEAGE/WASH	25.51	25.51	2,800.00	0.91	5,600.00	5,574.49			
01-10-455-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	5,116.00	0.00	10,232.00	10,232.00			
01-10-455-305	STRATEGIC PLANNING	0.00	0.00	2,000.00	0.00	4,000.00	4,000.00			
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	38.00	38.00	15,010.00	0.25	30,020.00	29,982.00			
01-10-455-311	POSTAGE & METER RENT	(8.35)	(8.35)	6,955.00	(0.12)	13,910.00	13,918.35			
01-10-455-315	COPY SERVICE	172.90	172.90	4,000.00	4.32	8,000.00	7,827.10			
01-10-455-355	COMMISSARY PROVISION	0.00	0.00	1,500.00	0.00	3,000.00	3,000.00			
01-10-455-409	MAINTENANCE - VEHICLES	0.00	0.00	1,000.00	0.00	2,000.00	2,000.00			
01-10-455-411	MAINTENANCE - EQUIPMENT	0.00	0.00	750.00	0.00	1,500.00	1,500.00			
GENERAL MANAGEMENT		27,894.23	27,894.23	389,927.00	7.15	779,854.00	751,959.77			
COMMUNITY RELATIONS										
01-10-475-365	PUBLIC RELATIONS	0.00	0.00	10,000.00	0.00	20,000.00	20,000.00			
01-10-475-366	NEWSLETTER	0.00	0.00	2,000.00	0.00	4,000.00	4,000.00			
01-10-475-370	MEALS-ON-WHEELS	0.00	0.00	2,000.00	0.00	4,000.00	4,000.00			
01-10-475-372	SENIOR CITIZEN TAXI PROGRA	0.00	0.00	1,200.00	0.00	2,400.00	2,400.00			
COMMUNITY RELATIONS		0.00	0.00	15,200.00	0.00	30,400.00	30,400.00			
CAPITAL IMPROVEMENTS										
01-10-485-602	BUILDING IMPROVEMENTS	0.00	0.00	52,500.00	0.00	105,000.00	105,000.00			
01-10-485-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	2,500.00	0.00	5,000.00	5,000.00			
01-10-485-641	EDP EQUIPMENT	2,504.95	2,504.95	16,399.00	15.28	32,798.00	30,293.05			
01-10-485-642	PEG CHANNEL EQUIPMENT	0.00	0.00	8,000.00	0.00	16,000.00	16,000.00			
01-10-485-643	9/11 ARTIFACT	0.00	0.00	20,000.00	0.00	40,000.00	40,000.00			
CAPITAL IMPROVEMENTS		2,504.95	2,504.95	99,399.00	2.52	198,798.00	196,293.05			
DATA PROCESSING										
01-10-460-212	EDP SOFTWARE	949.81	949.81	3,784.00	25.10	7,568.00	6,618.19			
01-10-460-305	PERSONNEL TRAINING	0.00	0.00	250.00	0.00	500.00	500.00			
01-10-460-331	OPERATING SUPPLIES	0.00	0.00	500.00	0.00	1,000.00	1,000.00			
DATA PROCESSING		949.81	949.81	4,534.00	20.95	9,068.00	8,118.19			
BUILDINGS										
01-10-466-228	MAINTENANCE - BUILDING	3,067.88	3,067.88	58,773.00	5.22	117,546.00	114,478.12			
01-10-466-235	NICOR GAS (7760 QUINCY)	0.00	0.00	5,250.00	0.00	10,500.00	10,500.00			

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 01 - GENERAL FUND							
01-10-466-236	NICOR GAS (835 MIDWAY)	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00
01-10-466-237	NICOR GAS (825 MIDWAY)	0.00	0.00	1,250.00	0.00	1,250.00	2,500.00
01-10-466-240	ENERGY/COMED (835 MIDWAY)	337.99	337.99	3,000.00	11.27	2,662.01	6,000.00
01-10-466-241	ENERGY/COMED (825 MIDWAY)	0.00	0.00	500.00	0.00	500.00	1,000.00
01-10-466-250	SANITARY (7760 QUINCY)	0.00	0.00	300.00	0.00	300.00	600.00
01-10-466-251	SANITARY (835 MIDWAY)	0.00	0.00	400.00	0.00	400.00	800.00
01-10-466-252	SANITARY (825 MIDWAY)	0.00	0.00	200.00	0.00	200.00	400.00
01-10-466-293	LANDSCAPE - VILLAGE HALL	16.45	16.45	5,500.00	0.30	5,483.55	11,000.00
01-10-466-351	BUILDING MAINTENANCE SUPP	107.30	107.30	8,000.00	1.34	7,892.70	16,000.00
01-10-466-385	SANITARY USER CHARGE	0.00	0.00	200.00	0.00	200.00	400.00
BUILDINGS		3,529.62	3,529.62	87,373.00	4.04	83,843.38	174,746.00
LEGAL		7,939.70	7,939.70	75,000.00	10.59	67,060.30	142,060.30
01-10-470-239	FEES - VILLAGE ATTORNEY	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00
01-10-470-242	FEES - LABOR COUNSEL	0.00	0.00	88,000.00	9.02	80,060.30	168,060.30
LEGAL		7,939.70	7,939.70	88,000.00	9.02	80,060.30	168,060.30
RISK MANAGEMENT		0.00	0.00	244,034.00	0.00	244,034.00	488,068.00
01-10-480-272	INSURANCE - IRMA	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00
01-10-480-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	12,220.00	1.66	12,017.50	24,440.00
01-10-480-276	WELLNESS	202.50	202.50	258,754.00	0.08	258,551.50	517,508.00
RISK MANAGEMENT		202.50	202.50	258,754.00	0.08	258,551.50	517,508.00
TRANSFERS TO OTHER FUNDS		0.00	0.00	67,184.00	0.00	67,184.00	134,368.00
01-10-900-111	TRANSFER TO DEBT SERVICE	105,897.50	105,897.50	211,795.00	50.00	105,897.50	423,590.00
01-10-900-112	TRANSFER TO DEBT SERVICE -	0.00	0.00	25,000.00	0.00	25,000.00	50,000.00
01-10-900-114	TRANSFER TO LAFER	0.00	0.00	303,979.00	34.84	198,081.50	607,958.00
TRANSFERS TO OTHER FUNDS		105,897.50	105,897.50	303,979.00	34.84	198,081.50	502,060.50
Total Dept 10-ADMINISTRATION		148,918.31	148,918.31	1,247,166.00	11.94	1,098,247.69	2,494,332.00
Dept 15-PLANNING & ECONOMIC DEVELOPMENT		35.47	35.47	424.00	8.37	388.53	812.53
GENERAL MANAGEMENT		445.04	445.04	5,194.00	8.57	4,748.96	9,942.96
01-15-400-147	EMPLOYEE BENEFITS - MEDICA	151.68	151.68	1,815.00	8.36	1,663.32	3,630.00
01-15-400-151	IMRF	336.95	336.95	500.00	67.39	163.05	1,000.00
01-15-400-161	SOCIAL SECURITY/FICA	2,213.35	2,213.35	28,775.00	7.69	26,561.65	57,550.00
01-15-510-102	OVERTIME	752.64	752.64	9,313.00	8.08	8,560.36	17,873.36
01-15-510-126	SALARIES - CLERICAL	0.00	0.00	36.00	0.00	36.00	72.00
01-15-510-141	EMPLOYEE BENEFITS - MEDICA	0.00	0.00	31,500.00	0.00	31,500.00	63,000.00
01-15-510-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	200.00	0.00	200.00	400.00
01-15-510-232	CONSULTANTS - DESIGN & OTH	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00
01-15-510-301	OFFICE SUPPLIES	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00
01-15-510-302	PRINTING & PUBLISHING	0.00	0.00	800.00	0.00	617.00	1,600.00
01-15-510-304	SCHOOLS/CONFERENCES/TRA	183.00	183.00	800.00	22.88	617.00	1,417.00
01-15-510-307	FEES/DUES/SUBSCRIPTIONS						

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
01-15-510-311	POSTAGE & METER RENT	0.00	0.00	750.00	0.00	750.00	1,500.00	1,500.00
01-15-510-340	PLAN COMMISSION COMPENSA	58.39	58.39	650.00	8.98	591.61	1,300.00	1,241.61
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
	GENERAL MANAGEMENT	4,176.52	4,176.52	85,957.00	4.86	81,780.48	171,914.00	167,737.48
CAPITAL IMPROVEMENTS								
01-15-540-641	EDP NEW EQUIPMENT	1,004.98	1,004.98	2,400.00	41.87	1,395.02	4,800.00	3,795.02
	CAPITAL IMPROVEMENTS	1,004.98	1,004.98	2,400.00	41.87	1,395.02	4,800.00	3,795.02
DATA PROCESSING								
01-15-515-212	EDP SOFTWARE	307.49	307.49	450.00	68.33	142.51	900.00	592.51
01-15-515-305	EDP PERSONNEL TRAINING	0.00	0.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
01-15-515-306	CONSULTING SERVICES	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
	DATA PROCESSING	307.49	307.49	3,300.00	9.32	2,992.51	6,600.00	6,292.51
ENGINEERING								
01-15-520-229	RENT - MEETING ROOM	0.00	0.00	250.00	0.00	250.00	500.00	500.00
01-15-520-245	FEES - ENGINEERING	85.00	85.00	3,000.00	2.83	2,915.00	6,000.00	5,915.00
01-15-520-246	FEES - COURT REPORTER	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-15-520-254	PLAN REVIEW - ENGINEERING	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
01-15-520-257	PLAN REVIEW - PLANNER	0.00	0.00	75,000.00	0.00	75,000.00	150,000.00	150,000.00
01-15-520-258	PLAN REVIEW - TRAFFIC CONS	0.00	0.00	7,200.00	0.00	7,200.00	14,400.00	14,400.00
	ENGINEERING	85.00	85.00	97,450.00	0.09	97,365.00	194,900.00	194,815.00
RISK MANAGEMENT								
01-15-535-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
	RISK MANAGEMENT	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
Total Dept 15-PLANNING & ECONOMIC DEVELOPMEN								
		5,573.99	5,573.99	191,607.00	2.91	186,033.01	383,214.00	377,640.01
Dept 20-PARKS & RECREATION								
CAPITAL IMPROVEMENTS								
01-20-595-641	EDP EQUIPMENT	704.98	704.98	1,600.00	44.06	895.02	3,200.00	2,495.02
01-20-595-695	PARK IMPROVEMENTS - NEIGH	0.00	0.00	856,189.00	0.00	856,189.00	1,712,378.00	1,712,378.00
01-20-595-696	COMMUNITY PARK DEVELOPME	0.00	0.00	4,210.00	0.00	4,210.00	8,420.00	8,420.00
	CAPITAL IMPROVEMENTS	704.98	704.98	861,999.00	0.08	861,294.02	1,723,998.00	1,723,293.02
ADMINISTRATION								
01-20-400-147	EMPLOYEE BENEFITS - MEDICA	83.25	83.25	411.00	20.26	327.75	822.00	738.75
01-20-400-151	IMRF	882.69	882.69	4,190.00	21.07	3,307.31	8,380.00	7,497.31
01-20-400-161	SOCIAL SECURITY/FICA	355.92	355.92	1,759.00	20.23	1,403.08	3,518.00	3,162.08
01-20-550-101	SALARIES - PERMANENT EMPL	3,105.30	3,105.30	27,025.00	11.49	23,919.70	54,050.00	50,944.70
01-20-550-103	PART TIME - PROGRAM SUPER	0.00	0.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
01-20-550-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	97.00	0.00	97.00	194.00	194.00
01-20-550-148	LIFE INS BENEFIT -APPOINTED/	84.10	84.10	1,056.00	7.96	971.90	2,112.00	2,027.90

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 05/31/16	05/31/16						
Fund 01 - GENERAL FUND									
01-20-550-201	EMERGENCY TELEPHONE LINE	0.00	0.00	0.00	100.00	0.00	100.00	200.00	200.00
01-20-550-301	OFFICE SUPPLIES	32.37	32.37	32.37	200.00	16.19	167.63	400.00	367.63
01-20-550-302	PRINTING & PUBLISHING	0.00	0.00	0.00	2,360.00	0.00	2,360.00	4,720.00	4,720.00
01-20-550-303	FUEL/MILEAGE/WASH	0.00	0.00	0.00	266.00	0.00	266.00	532.00	532.00
01-20-550-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	0.00	325.00	0.00	325.00	650.00	650.00
01-20-550-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	0.00	275.00	0.00	275.00	550.00	550.00
01-20-550-311	POSTAGE & METER RENT	0.00	0.00	0.00	5,969.00	0.00	5,969.00	11,938.00	11,938.00
	ADMINISTRATION	4,543.63	4,543.63	4,543.63	45,383.00	10.01	40,839.37	90,766.00	86,222.37
DATA PROCESSING									
01-20-555-212	EDP SOFTWARE	204.99	204.99	204.99	300.00	68.33	95.01	600.00	395.01
01-20-555-306	CONSULTING SERVICES	0.00	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00	30,000.00
	DATA PROCESSING	204.99	204.99	204.99	15,300.00	1.34	15,095.01	30,600.00	30,395.01
RISK MANAGEMENT									
01-20-560-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
	RISK MANAGEMENT	0.00	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
LANDSCAPING									
01-20-565-245	FEES - ENGINEERING	0.00	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-20-565-341	PARK LANDSCAPE SUPPLIES	0.00	0.00	0.00	15,500.00	0.00	15,500.00	31,000.00	31,000.00
01-20-565-342	LANDSCAPE MAINTENANCE SE	5,993.41	5,993.41	5,993.41	62,983.00	9.52	56,989.59	125,966.00	119,972.59
01-20-565-352	REIMB EXPENSES - MEMORIAL	0.00	0.00	0.00	3,500.00	0.00	3,500.00	7,000.00	7,000.00
	LANDSCAPING	5,993.41	5,993.41	5,993.41	82,983.00	7.22	76,989.59	165,966.00	159,972.59
MAINTENANCE									
01-20-570-102	OVERTIME	2,294.05	2,294.05	2,294.05	7,000.00	32.77	4,705.95	14,000.00	11,705.95
01-20-570-103	PART TIME - LABOR	369.25	369.25	369.25	10,080.00	3.66	9,710.75	20,160.00	19,790.75
01-20-570-234	RENT - EQUIPMENT	262.00	262.00	262.00	907.00	28.89	645.00	1,814.00	1,552.00
01-20-570-279	TRASH REMOVAL	0.00	0.00	0.00	155.00	0.00	155.00	310.00	310.00
01-20-570-281	CONTRACTED MAINTENANCE	0.00	0.00	0.00	25,550.00	0.00	25,550.00	51,100.00	51,100.00
01-20-570-331	MAINTENANCE SUPPLIES	0.00	0.00	0.00	11,350.00	0.00	11,350.00	22,700.00	22,700.00
01-20-570-345	UNIFORMS	0.00	0.00	0.00	200.00	0.00	200.00	400.00	400.00
	MAINTENANCE	2,925.30	2,925.30	2,925.30	55,242.00	5.30	52,316.70	110,484.00	107,558.70
SUMMER PROGRAM									
01-20-575-111	RECREATION INSTRUCTORS	0.00	0.00	0.00	2,253.00	0.00	2,253.00	4,506.00	4,506.00
01-20-575-119	SUMMER PROGRAM MATERIAL	906.61	906.61	906.61	7,244.00	12.52	6,337.39	14,488.00	13,581.39
01-20-575-517	SENIORS PROGRAM	0.00	0.00	0.00	4,667.00	0.00	4,667.00	9,334.00	9,334.00
	SUMMER PROGRAM	906.61	906.61	906.61	14,164.00	6.40	13,257.39	28,328.00	27,421.39
FALL PROGRAM									
01-20-580-111	RECREATION INSTRUCTORS	0.00	0.00	0.00	442.00	0.00	442.00	884.00	884.00
01-20-580-118	FALL PROGRAM MATERIALS & S	0.00	0.00	0.00	54.00	0.00	54.00	108.00	108.00
01-20-580-517	SENIORS PROGRAM	0.00	0.00	0.00	4,667.00	0.00	4,667.00	9,334.00	9,334.00
	FALL PROGRAM	0.00	0.00	0.00	5,163.00	0.00	5,163.00	10,326.00	10,326.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 05/31/16	2016-17						
Fund 01 - GENERAL FUND									
WINTER PROGRAM									
01-20-585-112	RECREATION INSTRUCTORS	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-20-585-121	WINTER PROGRAM MATERIALS	0.00	6,429.00	0.00	6,429.00	0.00	6,429.00	12,858.00	12,858.00
01-20-585-150	CHILDRENS SPECIAL EVENTS -	0.00	2,597.00	0.00	2,597.00	0.00	2,597.00	5,194.00	5,194.00
01-20-585-151	FAMILY SPECIAL EVENT - MOVI	753.00	1,361.00	753.00	1,361.00	55.33	608.00	2,722.00	1,969.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE	0.00	7,500.00	0.00	7,500.00	0.00	7,500.00	15,000.00	15,000.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	3,184.00	0.00	3,184.00	0.00	3,184.00	6,368.00	6,368.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	5,205.87	21,000.00	5,205.87	21,000.00	24.79	15,794.13	42,000.00	36,794.13
01-20-585-232	RENT - FACILITY	0.00	300.00	0.00	300.00	0.00	300.00	600.00	600.00
01-20-585-517	SENIORS PROGRAM	0.00	4,667.00	0.00	4,667.00	0.00	4,667.00	9,334.00	9,334.00
WINTER PROGRAM									
		5,958.87	47,538.00	5,958.87	47,538.00	12.53	41,579.13	95,076.00	89,117.13
SPRING PROGRAM									
01-20-586-112	RECREATION INSTRUCTORS - S	0.00	289.00	0.00	289.00	0.00	289.00	578.00	578.00
01-20-586-121	SPRING PROGRAM MATERIALS	0.00	170.00	0.00	170.00	0.00	170.00	340.00	340.00
SPRING PROGRAM									
		0.00	459.00	0.00	459.00	0.00	459.00	918.00	918.00
SPECIAL RECREATION									
01-20-590-518	SPECIAL RECREATION ASSOC	0.00	37,045.00	0.00	37,045.00	0.00	37,045.00	74,090.00	74,090.00
01-20-590-520	ADA RECREATION ACCOMMOD	0.00	11,175.00	0.00	11,175.00	0.00	11,175.00	22,350.00	22,350.00
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	66,492.00	0.00	66,492.00	0.00	66,492.00	132,984.00	132,984.00
SPECIAL RECREATION									
		0.00	114,712.00	0.00	114,712.00	0.00	114,712.00	229,424.00	229,424.00
Total Dept 20-PARKS & RECREATION		21,237.79	1,245,443.00	21,237.79	1,245,443.00	1.71	1,224,205.21	2,490,886.00	2,469,648.21
Dept 25-FINANCE DEPARTMENT									
GENERAL MANAGEMENT									
01-25-400-147	EMPLOYEE BENEFITS - MEDICA	249.13	3,253.00	249.13	3,253.00	7.66	3,003.87	6,506.00	6,256.87
01-25-400-151	IMRF	2,749.33	33,171.00	2,749.33	33,171.00	8.29	30,421.67	66,342.00	63,592.67
01-25-400-161	SOCIAL SECURITY/FICA	1,065.29	13,505.00	1,065.29	13,505.00	7.89	12,439.71	27,010.00	25,944.71
01-25-610-101	SALARIES	9,619.36	125,050.00	9,619.36	125,050.00	7.69	115,430.64	250,100.00	240,480.64
01-25-610-102	OVERTIME	451.16	1,500.00	451.16	1,500.00	30.08	1,048.84	3,000.00	2,548.84
01-25-610-104	PART TIME - CLERICAL	1,896.65	23,911.00	1,896.65	23,911.00	7.93	22,014.35	47,822.00	45,925.35
01-25-610-126	SALARIES - CLERICAL	5,684.96	73,904.00	5,684.96	73,904.00	7.69	68,219.04	147,808.00	142,123.04
01-25-610-141	EMPLOYEE BENEFIT - MEDICAL	2,121.96	26,074.00	2,121.96	26,074.00	8.14	23,952.04	52,148.00	50,026.04
01-25-610-144	EMPLOYEE BENEFIT - UNEMPL	0.00	274.00	0.00	274.00	0.00	274.00	548.00	548.00
01-25-610-301	OFFICE SUPPLIES	714.80	3,730.00	714.80	3,730.00	19.16	3,015.20	7,460.00	6,745.20
01-25-610-302	PRINTING & PUBLISHING	0.00	1,150.00	0.00	1,150.00	0.00	1,150.00	2,300.00	2,300.00
01-25-610-303	FUEL/MILEAGE/WASH	0.00	200.00	0.00	200.00	0.00	200.00	400.00	400.00
01-25-610-304	SCHOOLS/CONFERENCES/TRA	0.00	4,225.00	0.00	4,225.00	0.00	4,225.00	8,450.00	8,450.00
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	156.00	2,015.00	156.00	2,015.00	7.74	1,859.00	4,030.00	3,874.00
01-25-610-311	POSTAGE & METER RENT	0.00	600.00	0.00	600.00	0.00	600.00	1,200.00	1,200.00
GENERAL MANAGEMENT									
		24,708.64	312,562.00	24,708.64	312,562.00	7.91	287,853.36	625,124.00	600,415.36
CAPITAL IMPROVEMENTS									
01-25-625-641	EDP EQUIPMENT	1,904.96	4,800.00	1,904.96	4,800.00	39.69	2,895.04	9,600.00	7,695.04

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/16						
Fund 01 - GENERAL FUND									
CAPITAL IMPROVEMENTS									
1,904.96		1,904.96	1,904.96	4,800.00	39.69	2,895.04	9,600.00	7,695.04	
DATA PROCESSING									
01-25-615-212	EDP SOFTWARE	844.97	844.97	37,505.00	2.25	36,660.03	75,010.00	74,165.03	
01-25-615-213	VILLAGE-WIDE IT SOFTWARE/LI	0.00	0.00	6,711.00	0.00	6,711.00	13,422.00	13,422.00	
01-25-615-263	MAINTENANCE - OFFICE MACHI	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00	
01-25-615-305	PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00	
01-25-615-306	IT - CONSULTING SERVICES	12,500.00	12,500.00	25,000.00	50.00	12,500.00	50,000.00	37,500.00	
01-25-615-331	OPERATING SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00	
DATA PROCESSING									
13,344.97		13,344.97	13,344.97	70,716.00	18.87	57,371.03	141,432.00	128,087.03	
FINANCIAL AUDIT									
01-25-620-251	AUDIT SERVICES	0.00	0.00	25,031.00	0.00	25,031.00	50,062.00	50,062.00	
01-25-620-252	FINANCIAL SERVICES	0.00	0.00	4,840.00	0.00	4,840.00	9,680.00	9,680.00	
FINANCIAL AUDIT									
0.00		0.00	0.00	29,871.00	0.00	29,871.00	59,742.00	59,742.00	
Total Dept 25-FINANCE DEPARTMENT									
39,958.57		39,958.57	39,958.57	417,949.00	9.56	377,990.43	835,898.00	795,939.43	
Dept 30-POLICE DEPARTMENTS									
CAPITAL IMPROVEMENTS									
01-30-680-611	FURNITURE & OFFICE EQUIPME	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00	
01-30-680-625	NEW VEHICLES	88,290.00	88,290.00	130,000.00	67.92	41,710.00	260,000.00	171,710.00	
01-30-680-641	EDP NEW EQUIPMENT	11,954.71	11,954.71	20,797.00	57.48	8,842.29	41,594.00	29,639.29	
CAPITAL IMPROVEMENTS									
100,244.71		100,244.71	100,244.71	155,797.00	64.34	55,552.29	311,594.00	211,349.29	
ADMINISTRATION									
01-30-400-147	EMPLOYEE BENEFITS - MEDICA	3,519.68	3,519.68	38,004.00	9.26	34,484.32	76,008.00	72,488.32	
01-30-400-151	IMRF	2,375.76	2,375.76	30,848.00	7.70	28,472.24	61,696.00	59,320.24	
01-30-400-161	SOCIAL SECURITY/FICA	951.12	951.12	12,343.00	7.71	11,391.88	24,686.00	23,734.88	
01-30-630-101	SALARIES - PERMANENT EMPL	203,418.75	203,418.75	2,156,912.00	9.43	1,953,493.25	4,110,824.00	4,110,405.25	
01-30-630-102	OVERTIME	31,321.45	31,321.45	285,000.00	10.99	253,678.55	570,000.00	538,678.55	
01-30-630-103	OVERTIME - SPECIAL DETAIL &	0.00	0.00	23,000.00	0.00	23,000.00	46,000.00	46,000.00	
01-30-630-104	PART TIME - CLERICAL	1,731.76	1,731.76	25,202.00	6.87	23,470.24	50,404.00	48,672.24	
01-30-630-106	ACCREDITATION MANAGER	0.00	0.00	12,245.00	0.00	12,245.00	24,490.00	24,490.00	
01-30-630-126	SALARIES - CLERICAL	12,760.15	12,760.15	165,880.00	7.69	153,119.85	331,760.00	318,999.85	
01-30-630-127	OVERTIME - CLERICAL	582.04	582.04	8,000.00	7.28	7,417.96	16,000.00	15,417.96	
01-30-630-141	EMPLOYEE BENEFIT - MEDICAL	28,483.08	28,483.08	318,338.00	8.95	289,854.92	636,676.00	608,192.92	
01-30-630-144	EMPLOYEE BENEFIT - UNEMPL	0.00	0.00	1,985.00	0.00	1,985.00	3,970.00	3,970.00	
01-30-630-155	POLICE PENSION	61,985.38	61,985.38	805,810.00	7.69	743,824.62	1,611,620.00	1,549,634.62	
01-30-630-201	PHONE - TELEPHONES	933.46	933.46	28,000.00	3.33	27,066.54	56,000.00	55,066.54	
01-30-630-202	ACCREDITATION	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00	
01-30-630-238	FIAT	3,500.00	3,500.00	3,500.00	100.00	0.00	7,000.00	3,500.00	
01-30-630-241	FEES - FIELD COURT ATTORNE	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00	24,000.00	
01-30-630-242	DUPAGE CHILDREN'S CENTER	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00	
01-30-630-245	FIRING RANGE	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00	
01-30-630-246	RED LIGHT - ADJUDICATOR	0.00	0.00	7,000.00	0.00	7,000.00	14,000.00	14,000.00	
01-30-630-247	RED LIGHT - CAMERA FEES	0.00	0.00	269,700.00	0.00	269,700.00	539,400.00	539,400.00	

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/16		ORIGINAL BUDGET	BUDGET				
Fund 01 - GENERAL FUND										
01-30-630-248	RED LIGHT - COM ED	112.64	112.64	0.00	2,400.00	2,400.00	4.69	2,287.36	4,800.00	4,687.36
01-30-630-249	RED LIGHT - MISC FEE	114.99	114.99	0.00	14,000.00	14,000.00	0.82	13,885.01	28,000.00	27,885.01
01-30-630-301	OFFICE SUPPLIES	349.34	349.34	0.00	6,600.00	6,600.00	5.29	6,250.66	13,200.00	12,850.66
01-30-630-302	PRINTING & PUBLISHING	669.56	669.56	0.00	5,450.00	5,450.00	12.29	4,780.44	10,900.00	10,230.44
01-30-630-303	FUEL/MILEAGE/WASH	348.81	348.81	0.00	92,300.00	92,300.00	0.38	91,951.19	184,600.00	184,251.19
01-30-630-304	SCHOOLS/CONFERENCES/TRA	16.81	16.81	0.00	25,000.00	25,000.00	0.07	24,983.19	50,000.00	49,983.19
01-30-630-305	ADMISSION	0.00	0.00	0.00	3,000.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	4,120.90	4,120.90	0.00	12,500.00	12,500.00	32.97	8,379.10	25,000.00	20,879.10
01-30-630-308	CADET PROGRAM	287.50	287.50	0.00	4,000.00	4,000.00	7.19	3,712.50	8,000.00	7,712.50
01-30-630-311	POSTAGE & METER RENT	0.00	0.00	0.00	4,000.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
01-30-630-315	COPY SERVICE	0.00	0.00	0.00	4,000.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
01-30-630-331	OPERATING SUPPLIES	0.00	0.00	0.00	2,000.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
01-30-630-345	UNIFORMS	1,303.80	1,303.80	0.00	29,000.00	29,000.00	4.50	27,696.20	58,000.00	56,696.20
01-30-630-346	AMMUNITION	0.00	0.00	0.00	12,000.00	12,000.00	0.00	12,000.00	24,000.00	24,000.00
01-30-630-401	OPERATING EQUIPMENT	2,082.86	2,082.86	0.00	23,000.00	23,000.00	9.06	20,917.14	46,000.00	43,917.14
01-30-630-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	0.00	500.00	500.00	0.00	500.00	1,000.00	1,000.00
01-30-630-409	MAINTENANCE - VEHICLES	157.90	157.90	0.00	72,000.00	72,000.00	0.22	71,842.10	144,000.00	143,842.10
01-30-630-421	MAINTENANCE - RADIO EQUIPM	0.00	0.00	0.00	6,300.00	6,300.00	0.00	6,300.00	12,600.00	12,600.00
ADMINISTRATION		361,127.74	361,127.74	0.00	4,531,817.00	4,531,817.00	7.97	4,170,689.26	9,063,634.00	8,702,506.26
DATA PROCESSING										
RISK MANAGEMENT										
RISK MANAGEMENT										
01-30-640-212	EDP SOFTWARE	3,484.83	3,484.83	0.00	10,500.00	10,500.00	33.19	7,015.17	21,000.00	17,515.17
01-30-640-263	EDP EQUIPMENT MAINTENANC	0.00	0.00	0.00	11,000.00	11,000.00	0.00	11,000.00	22,000.00	22,000.00
01-30-640-306	CONSULTING SERVICES	0.00	0.00	0.00	1,500.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
DATA PROCESSING		3,484.83	3,484.83	0.00	23,000.00	23,000.00	15.15	19,515.17	46,000.00	42,515.17
RISK MANAGEMENT										
01-30-645-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	0.00	12,500.00	12,500.00	0.00	12,500.00	25,000.00	25,000.00
RISK MANAGEMENT		0.00	0.00	0.00	12,500.00	12,500.00	0.00	12,500.00	25,000.00	25,000.00
PATROL										
01-30-650-268	ANIMAL CONTROL	0.00	0.00	0.00	800.00	800.00	0.00	800.00	1,600.00	1,600.00
01-30-650-343	JAIL SUPPLIES	0.00	0.00	0.00	1,000.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
01-30-650-349	DRUG FORFEITURE EXP - FEDE	0.00	0.00	0.00	40,000.00	40,000.00	0.00	40,000.00	80,000.00	80,000.00
PATROL		0.00	0.00	0.00	41,800.00	41,800.00	0.00	41,800.00	83,600.00	83,600.00
INVESTIGATIVE										
INVESTIGATIVE										
01-30-655-335	CAMERA SUPPLIES	0.00	0.00	0.00	400.00	400.00	0.00	400.00	800.00	800.00
01-30-655-339	CONFIDENTIAL FUNDS	0.00	0.00	0.00	1,000.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
INVESTIGATIVE		0.00	0.00	0.00	1,400.00	1,400.00	0.00	1,400.00	2,800.00	2,800.00
TRAFFIC SAFETY										
01-30-660-105	PART TIME - CROSSING GUARD	561.43	561.43	0.00	5,049.00	5,049.00	11.12	4,487.57	10,098.00	9,536.57
TRAFFIC SAFETY		561.43	561.43	0.00	5,049.00	5,049.00	11.12	4,487.57	10,098.00	9,536.57
ESDA COORDINATOR										
01-30-665-263	SIREN MAINTENANCE	0.00	0.00	0.00	500.00	500.00	0.00	500.00	1,000.00	1,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	ORIGINAL BUDGET 2016-17	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 01 - GENERAL FUND							
ESDA COORDINATOR		0.00	0.00	500.00	0.00	500.00	1,000.00
CRIME PREVENTION							
01-30-670-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00
01-30-670-331	COMMODITIES	0.00	0.00	4,500.00	0.00	4,500.00	9,000.00
CRIME PREVENTION		0.00	0.00	5,500.00	0.00	5,500.00	11,000.00
TELECOMMUNICATIONS							
01-30-675-235	RADIO DISPATCHING	59,841.50	59,841.50	311,366.00	19.22	251,524.50	622,732.00
TELECOMMUNICATIONS		59,841.50	59,841.50	311,366.00	19.22	251,524.50	622,732.00
Total Dept 30-POLICE DEPARTMENT							
		525,260.21	525,260.21	5,088,729.00	10.32	4,563,468.79	10,177,458.00
Dept 35-PUBLIC WORKS DEPARTMENT							
CAPITAL IMPROVEMENTS							
01-35-765-641	EDP NEW EQUIPMENT	1,357.47	1,357.47	2,400.00	56.56	1,042.53	4,800.00
01-35-765-685	STREET IMPROVEMENTS	0.00	0.00	272,306.00	0.00	272,306.00	544,612.00
CAPITAL IMPROVEMENTS		1,357.47	1,357.47	274,706.00	0.49	273,348.53	549,412.00
ADMINISTRATION							
01-35-400-147	EMPLOYEE BENEFITS - MEDICA	253.73	253.73	3,125.00	8.12	2,871.27	6,250.00
01-35-400-151	IMRF	2,603.82	2,603.82	36,003.00	7.23	33,399.18	72,006.00
01-35-400-161	SOCIAL SECURITY/FICA	1,084.88	1,084.88	12,484.00	8.69	11,399.12	24,968.00
01-35-710-101	SALARIES - PERMANENT EMPL	11,445.39	11,445.39	151,562.00	7.55	140,116.61	303,124.00
01-35-710-102	OVERTIME	1,512.65	1,512.65	18,620.00	8.12	17,107.35	37,240.00
01-35-710-103	PART TIME - LABOR	2,688.27	2,688.27	21,560.00	12.47	18,871.73	43,120.00
01-35-710-126	SALARIES - CLERICAL	1,827.35	1,827.35	23,754.00	7.69	21,926.65	47,508.00
01-35-710-141	EMPLOYEE BENEFITS - MEDICA	1,261.01	1,261.01	27,629.00	4.56	26,367.99	55,258.00
01-35-710-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	178.00	0.00	178.00	356.00
01-35-710-201	TELEPHONES	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00
01-35-710-301	OFFICE SUPPLIES	0.00	0.00	500.00	0.00	500.00	1,000.00
01-35-710-302	PRINTING & PUBLISHING	0.00	0.00	1,250.00	0.00	1,250.00	2,500.00
01-35-710-303	FUEL/MILEAGE/WASH	0.00	0.00	12,500.00	0.00	12,500.00	25,000.00
01-35-710-304	SCHOOLS/CONFERENCES/TRA	42.00	42.00	3,000.00	1.40	2,958.00	6,000.00
01-35-710-306	REIMB PERSONAL EXPENSE	0.00	0.00	300.00	0.00	300.00	600.00
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	350.00	0.00	350.00	700.00
01-35-710-311	POSTAGE & METER RENT	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00
01-35-710-345	UNIFORMS	0.00	0.00	4,500.00	0.00	4,500.00	9,000.00
01-35-710-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	500.00	0.00	500.00	1,000.00
ADMINISTRATION		22,719.10	22,719.10	321,815.00	7.06	299,095.90	643,630.00
DATA PROCESSING							
01-35-715-212	EDP SOFTWARE	409.98	409.98	450.00	91.11	40.02	900.00
01-35-715-263	EQUIPMENT MAINTENANCE	104.85	104.85	0.00	100.00	(104.85)	(104.85)
01-35-715-401	OPERATING SUPPLIES & EQUIP	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00
DATA PROCESSING		514.83	514.83	5,450.00	9.45	4,935.17	10,900.00
							10,385.17

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
				ORIGINAL BUDGET	BUDGET			
Fund 01 - GENERAL FUND								
ENGINEERING								
01-35-720-245	FEES - ENGINEERING	0.00	0.00	164,623.00	0.00	0.00	164,623.00	329,246.00
01-35-720-254	PLAN REVIEW - ENGINEER	0.00	0.00	1,500.00	0.00	0.00	1,500.00	3,000.00
	ENGINEERING	0.00	0.00	166,123.00	0.00	0.00	166,123.00	332,246.00
BUILDINGS								
01-35-725-412	MAINTENANCE - GAS TANKS AN	0.00	0.00	8,400.00	0.00	0.00	8,400.00	16,800.00
01-35-725-413	MAINTENANCE - GARAGE	0.00	0.00	3,000.00	0.00	0.00	3,000.00	6,000.00
01-35-725-414	MAINTENANCE - SALT BINS	0.00	0.00	500.00	0.00	0.00	500.00	1,000.00
01-35-725-415	NICOR GAS	0.00	0.00	4,000.00	0.00	0.00	4,000.00	8,000.00
01-35-725-417	SANITARY USER CHARGE	0.00	0.00	200.00	0.00	0.00	200.00	400.00
01-35-725-418	MAINTENANCE - PW BUILDING	1,413.42	1,413.42	8,500.00	16.63	16.63	7,086.58	17,000.00
	BUILDINGS	1,413.42	1,413.42	24,600.00	5.75	5.75	23,186.58	49,200.00
EQUIPMENT REPAIR								
01-35-735-409	MAINTENANCE - VEHICLES	0.00	0.00	20,000.00	0.00	0.00	20,000.00	40,000.00
01-35-735-411	MAINTENANCE - EQUIPMENT	0.00	0.00	4,000.00	0.00	0.00	4,000.00	8,000.00
	EQUIPMENT REPAIR	0.00	0.00	24,000.00	0.00	0.00	24,000.00	48,000.00
SNOW REMOVAL								
01-35-740-287	SNOW REMOVAL CONTRACT	0.00	0.00	60,000.00	0.00	0.00	60,000.00	120,000.00
01-35-740-306	REIMB PERSONAL EXPENSES	0.00	0.00	200.00	0.00	0.00	200.00	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	0.00	0.00	6,000.00	0.00	0.00	6,000.00	12,000.00
	SNOW REMOVAL	0.00	0.00	66,200.00	0.00	0.00	66,200.00	132,400.00
STREET LIGHTING								
01-35-745-207	ENERGY - STREET LIGHTS	952.15	952.15	16,640.00	5.72	5.72	15,687.85	32,327.85
01-35-745-223	MAINTENANCE - STREET LIGHT	930.00	930.00	15,000.00	6.20	6.20	14,070.00	29,070.00
01-35-745-224	MAINTENANCE - TRAFFIC SIGN	0.00	0.00	7,000.00	0.00	0.00	7,000.00	14,000.00
	STREET LIGHTING	1,882.15	1,882.15	38,640.00	4.87	4.87	36,757.85	77,280.00
STORM WATER IMPROVEMENTS								
01-35-750-286	JET CLEANING CULVERT	0.00	0.00	20,000.00	0.00	0.00	20,000.00	40,000.00
01-35-750-289	SITE IMPROVEMENTS	0.00	0.00	20,000.00	0.00	0.00	20,000.00	40,000.00
01-35-750-290	EQUIPMENT RENTAL	66.41	66.41	5,000.00	1.33	1.33	4,933.59	9,933.59
01-35-750-328	STREET & ROW MAINTENANCE	13,719.71	13,719.71	90,000.00	15.24	15.24	76,280.29	166,280.29
01-35-750-329	MAINTENANCE - SAW MILL CRE	0.00	0.00	1,500.00	0.00	0.00	1,500.00	3,000.00
01-35-750-338	TREE MAINTENANCE	0.00	0.00	256,640.00	0.00	0.00	256,640.00	513,280.00
01-35-750-381	STORM WATER IMPROVEMENT	0.00	0.00	40,000.00	0.00	0.00	40,000.00	80,000.00
	STORM WATER IMPROVEMENTS	13,786.12	13,786.12	433,140.00	3.18	3.18	419,353.88	866,280.00
STREET MAINTENANCE								
01-35-755-279	TRASH REMOVAL	0.00	0.00	1,250.00	0.00	0.00	1,250.00	2,500.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	1,463.06	1,463.06	49,000.00	2.99	2.99	47,536.94	96,536.94
01-35-755-282	REIMB EXP - CONSTRUCTION	0.00	0.00	500.00	0.00	0.00	500.00	1,000.00
01-35-755-283	REIMB EXP - OTHER	0.00	0.00	1,500.00	0.00	0.00	1,500.00	3,000.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	0.00	0.00	20,000.00	0.00	0.00	20,000.00	40,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
		MONTH 05/31/16	2016-17					
Fund 01 - GENERAL FUND								
01-35-755-290	EQUIPMENT RENTAL	0.00	750.00	0.00	750.00	0.00	750.00	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE	0.00	20,000.00	0.00	20,000.00	0.00	20,000.00	40,000.00
01-35-755-331	OPERATING SUPPLIES	0.00	60,000.00	0.00	60,000.00	0.00	60,000.00	120,000.00
01-35-755-332	J.U.L.I.E.	0.00	2,387.00	0.00	2,387.00	0.00	2,387.00	4,774.00
01-35-755-333	ROAD SIGNS	0.00	9,000.00	0.00	9,000.00	0.00	9,000.00	18,000.00
01-35-755-401	OPERATING EQUIPMENT	0.00	2,500.00	0.00	2,500.00	0.00	2,500.00	5,000.00
	STREET MAINTENANCE	1,463.06	166,887.00	1,463.06	166,887.00	0.88	165,423.94	333,774.00
NUISANCE CONTROL								
01-35-760-258	PEST CONTROL	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00	2,000.00
01-35-760-259	MOSQUITO ABATEMENT	12,850.00	32,100.00	12,850.00	32,100.00	40.03	19,250.00	64,200.00
	NUISANCE CONTROL	12,850.00	33,100.00	12,850.00	33,100.00	38.82	20,250.00	66,200.00
	Total Dept 35-PUBLIC WORKS DEPARTMENT	55,986.15	1,554,661.00	55,986.15	1,554,661.00	3.60	1,498,674.85	3,109,322.00
Dept 40-BUILDING & ZONING DEPARTMENT								
GENERAL MANAGEMENT								
01-40-400-147	EMPLOYEE BENEFITS - MEDICA	165.54	1,707.00	165.54	1,707.00	9.70	1,541.46	3,414.00
01-40-400-151	IMRF	2,053.77	20,882.00	2,053.77	20,882.00	9.84	18,828.23	41,764.00
01-40-400-161	SOCIAL SECURITY/FICA	707.82	7,298.00	707.82	7,298.00	9.70	6,590.18	14,596.00
01-40-810-101	SALARIES - PERMANENT EMPL	5,655.20	73,517.00	5,655.20	73,517.00	7.69	67,861.80	147,034.00
01-40-810-102	OVERTIME	3,900.86	15,413.00	3,900.86	15,413.00	25.31	11,512.14	30,826.00
01-40-810-126	SALARIES - CLERICAL	2,213.53	28,775.00	2,213.53	28,775.00	7.69	26,561.47	57,550.00
01-40-810-141	EMPLOYEE BENEFITS - MEDICA	2,281.91	27,975.00	2,281.91	27,975.00	8.16	25,693.09	55,950.00
01-40-810-144	EMPLOYEE BENEFITS - UNEMP	0.00	107.00	0.00	107.00	0.00	107.00	214.00
01-40-810-201	TELEPHONES	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00	2,000.00
01-40-810-301	OFFICE SUPPLIES	0.00	750.00	0.00	750.00	0.00	750.00	1,500.00
01-40-810-302	PRINTING & PUBLISHING	0.00	750.00	0.00	750.00	0.00	750.00	1,500.00
01-40-810-303	FUEL/MILEAGE/WASH	0.00	1,250.00	0.00	1,250.00	0.00	1,250.00	2,500.00
01-40-810-304	SCHOOLS/CONFERENCES/TRA	20.00	1,000.00	20.00	1,000.00	2.00	980.00	2,000.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00
01-40-810-311	POSTAGE & METER RENT	0.00	400.00	0.00	400.00	0.00	400.00	800.00
01-40-810-401	OPERATING EQUIPMENT	0.00	200.00	0.00	200.00	0.00	200.00	400.00
01-40-810-409	MAINTENANCE - VEHICLES	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00	2,000.00
	GENERAL MANAGEMENT	16,998.63	182,524.00	16,998.63	182,524.00	9.31	165,525.37	365,048.00
	Total Dept 40-BUILDING & ZONING DEPARTMENT	16,998.63	182,524.00	16,998.63	182,524.00	9.31	165,525.37	348,049.37
DATA PROCESSING								
01-40-815-212	EDP SOFTWARE	307.49	450.00	307.49	450.00	68.33	142.51	900.00
01-40-815-305	EDP PERSONNEL TRAINING	0.00	1,350.00	0.00	1,350.00	0.00	1,350.00	2,700.00
01-40-815-306	CONSULTING SERVICES	0.00	750.00	0.00	750.00	0.00	750.00	1,500.00
01-40-815-345	UNIFORMS	0.00	400.00	0.00	400.00	0.00	400.00	800.00
01-40-815-401	EDP OPERATING EQUIPMENT	1,033.32	2,400.00	1,033.32	2,400.00	43.06	1,366.68	4,800.00
	DATA PROCESSING	1,340.81	5,350.00	1,340.81	5,350.00	25.06	4,009.19	10,700.00
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	0.00	4,000.00	0.00	4,000.00	0.00	4,000.00	8,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 05/31/16	2016-17						
Fund 01 - GENERAL FUND									
01-40-820-246	FEES - DRAINAGE ENGINEER	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-40-820-247	REIMB EXP - ENGINEERING	0.00	500.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-40-820-254	PLAN REVIEW - ENGINEER	0.00	5,000.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-40-820-255	PLAN REVIEW - STRUCTURAL	0.00	5,000.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	0.00	30,000.00	0.00	30,000.00	0.00	30,000.00	60,000.00	60,000.00
01-40-820-259	PLAN REVIEW - DRAINAGE ENGI	0.00	12,500.00	0.00	12,500.00	0.00	12,500.00	25,000.00	25,000.00
ENGINEERING		0.00	63,000.00	0.00	63,000.00	0.00	63,000.00	126,000.00	126,000.00
INSPECTION									
01-40-830-109	PART TIME - INSPECTOR	0.00	30,000.00	0.00	30,000.00	0.00	30,000.00	60,000.00	60,000.00
01-40-830-115	PLUMBING INSPECTION	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
01-40-830-117	ELEVATOR INSPECTION	0.00	7,000.00	0.00	7,000.00	0.00	7,000.00	14,000.00	14,000.00
01-40-830-119	CODE ENFORCEMENT INSPECT	0.00	4,000.00	0.00	4,000.00	0.00	4,000.00	8,000.00	8,000.00
INSPECTION		0.00	47,000.00	0.00	47,000.00	0.00	47,000.00	94,000.00	94,000.00
Total Dept 40-BUILDING & ZONING DEPARTMENT		18,339.44	297,874.00	18,339.44	297,874.00	6.16	279,534.56	595,748.00	577,408.56
Fund 01 - GENERAL FUND:									
TOTAL EXPENDITURES		820,282.52	10,128,108.00	820,282.52	10,128,108.00	8.10	9,307,825.48	20,256,216.00	19,435,933.48

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/2016		ORIGINAL BUDGET	BUDGET				
Fund 02 - WATER FUND										
Dept 50-WATER DEPARTMENTS										
CAPITAL IMPROVEMENTS										
02-50-440-694	DISTRIBUTION SYSTEM REPLA	0.00	0.00	0.00	10,000.00	10,000.00	0.00	10,000.00	20,000.00	20,000.00
02-50-440-695	EDP	0.00	0.00	0.00	23,276.00	23,276.00	0.00	23,276.00	46,552.00	46,552.00
	CAPITAL IMPROVEMENTS	0.00	0.00	0.00	33,276.00	33,276.00	0.00	33,276.00	66,552.00	66,552.00
ADMINISTRATION										
02-50-400-147	EMPLOYEE BENEFITS - MEDICA	230.66	230.66	230.66	3,177.00	3,177.00	7.26	2,946.34	6,354.00	6,123.34
02-50-400-151	IMRF	2,614.30	2,614.30	2,614.30	36,035.00	36,035.00	7.25	33,420.70	72,070.00	69,455.70
02-50-400-161	SOCIAL SECURITY/FICA	986.46	986.46	986.46	13,585.00	13,585.00	7.26	12,598.54	27,170.00	26,183.54
02-50-401-101	SALARIES - PERMANENT EMPL	10,266.50	10,266.50	10,266.50	137,419.00	137,419.00	7.47	127,152.50	274,838.00	264,571.50
02-50-401-102	OVERTIME	2,751.73	2,751.73	2,751.73	32,944.00	32,944.00	8.35	30,192.27	65,888.00	63,136.27
02-50-401-103	PART TIME - LABOR	1,049.52	1,049.52	1,049.52	25,000.00	25,000.00	4.20	23,950.48	50,000.00	48,950.48
02-50-401-126	SALARIES - CLERICAL	1,827.21	1,827.21	1,827.21	23,754.00	23,754.00	7.69	21,926.79	47,508.00	45,680.79
02-50-401-141	EMPLOYEE BENEFITS - MEDICA	1,316.24	1,316.24	1,316.24	28,347.00	28,347.00	4.64	27,030.76	56,694.00	55,377.76
02-50-401-144	EMPLOYEE BENEFITS - UNEMP	0.00	0.00	0.00	178.00	178.00	0.00	178.00	356.00	356.00
02-50-401-201	PHONE - TELEPHONES	699.53	699.53	699.53	9,600.00	9,600.00	7.29	8,900.47	18,500.47	18,500.47
02-50-401-239	FEES - VILLAGE ATTORNEY	0.00	0.00	0.00	1,000.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-401-301	OFFICE SUPPLIES	31.88	31.88	31.88	1,500.00	1,500.00	2.13	1,468.12	3,000.00	2,968.12
02-50-401-302	PRINTING & PUBLISHING	0.00	0.00	0.00	6,000.00	6,000.00	0.00	6,000.00	12,000.00	12,000.00
02-50-401-303	FUEL/MILEAGE/WASH	0.00	0.00	0.00	3,500.00	3,500.00	0.00	3,500.00	7,000.00	7,000.00
02-50-401-304	SCHOOLS/CONFERENCES/TRA	0.00	0.00	0.00	2,000.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
02-50-401-306	REIMBURSE PERSONAL EXPEN	0.00	0.00	0.00	150.00	150.00	0.00	150.00	300.00	300.00
02-50-401-307	FEES/DUES/SUBSCRIPTIONS	330.00	330.00	330.00	550.00	550.00	60.00	220.00	1,100.00	770.00
02-50-401-311	POSTAGE & METER RENT	0.00	0.00	0.00	6,500.00	6,500.00	0.00	6,500.00	13,000.00	13,000.00
02-50-401-405	FURNITURE & OFFICE EQUIPME	0.00	0.00	0.00	500.00	500.00	0.00	500.00	1,000.00	1,000.00
	ADMINISTRATION	22,104.03	22,104.03	22,104.03	331,739.00	331,739.00	6.66	309,634.97	663,478.00	641,373.97
OTHER										
02-50-449-102	INTEREST EXPENSE	5,017.00	5,017.00	5,017.00	10,034.00	10,034.00	50.00	5,017.00	20,068.00	15,051.00
02-50-449-104	BOND PRINCIPAL EXPENSE	0.00	0.00	0.00	10,286.00	10,286.00	0.00	10,286.00	20,572.00	20,572.00
02-50-449-105	INTEREST EXPENSE - IEPA LOA	0.00	0.00	0.00	17,145.00	17,145.00	0.00	17,145.00	34,290.00	34,290.00
02-50-449-106	PRINCIPAL EXPENSE - IEPA LO	0.00	0.00	0.00	38,840.00	38,840.00	0.00	38,840.00	77,680.00	77,680.00
	OTHER	5,017.00	5,017.00	5,017.00	76,305.00	76,305.00	6.57	71,288.00	152,610.00	147,593.00
DATA PROCESSING										
02-50-417-212	EDP SOFTWARE	409.95	409.95	409.95	750.00	750.00	54.66	340.05	1,500.00	1,090.05
02-50-417-305	EDP PERSONNEL TRAINING	0.00	0.00	0.00	1,350.00	1,350.00	0.00	1,350.00	2,700.00	2,700.00
02-50-417-401	EDP OPERATING EQUIPMENT	1,957.46	1,957.46	1,957.46	4,000.00	4,000.00	48.94	2,042.54	8,000.00	6,042.54
	DATA PROCESSING	2,367.41	2,367.41	2,367.41	6,100.00	6,100.00	38.81	3,732.59	12,200.00	9,832.59
ENGINEERING										
02-50-405-245	FEES - ENGINEERING	0.00	0.00	0.00	2,000.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
	ENGINEERING	0.00	0.00	0.00	2,000.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
TRANSFERS TO OTHER FUNDS										
02-50-410-501	REIMBURSE OVERHEAD GENER	43,582.58	43,582.58	43,582.58	522,991.00	522,991.00	8.33	479,408.42	1,045,982.00	1,002,399.42
02-50-900-109	TRANSFER TO WATER CAPITAL	0.00	0.00	0.00	100,000.00	100,000.00	0.00	100,000.00	200,000.00	200,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/16		ORIGINAL BUDGET	BUDGET				
Fund 02 - WATER FUND										
02-50-900-111	TRANSFER TO DEBT SERVICE	0.00	0.00	0.00	31,616.00	0.00	0.00	63,232.00	63,232.00	63,232.00
02-50-900-112	TRANSFER TO DEBT SERVICE -	7,717.50	7,717.50	7,717.50	15,435.00	50.00	50.00	30,870.00	30,870.00	23,152.50
	TRANSFERS TO OTHER FUNDS	51,300.08	51,300.08	51,300.08	670,042.00	7.66	7.66	1,340,084.00	1,340,084.00	1,288,783.92
WATER PRODUCTION										
02-50-420-206	ENERGY - ELECTRIC PUMP	700.25	700.25	700.25	12,000.00	5.84	5.84	24,000.00	24,000.00	23,299.75
02-50-420-294	LANDSCAPING - WELLS 1 & 3	0.00	0.00	0.00	500.00	0.00	0.00	1,000.00	1,000.00	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE	0.00	0.00	0.00	1,000.00	0.00	0.00	2,000.00	2,000.00	2,000.00
02-50-420-361	CHEMICALS	0.00	0.00	0.00	1,750.00	0.00	0.00	3,500.00	3,500.00	3,500.00
02-50-420-362	SAMPLING ANALYSIS	0.00	0.00	0.00	2,678.00	0.00	0.00	5,356.00	5,356.00	5,356.00
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	0.00	0.00	500.00	0.00	0.00	1,000.00	1,000.00	1,000.00
02-50-420-491	PUMP INSPECTION REPAIR MAI	0.00	0.00	0.00	500.00	0.00	0.00	1,000.00	1,000.00	1,000.00
02-50-420-575	PURCHASE OF WATER	0.00	0.00	0.00	1,624,000.00	0.00	0.00	3,248,000.00	3,248,000.00	3,248,000.00
	WATER PRODUCTION	700.25	700.25	700.25	1,642,928.00	0.04	0.04	1,642,227.75	1,642,227.75	3,285,856.00
WATER STORAGE										
02-50-425-473	WELLHOUSE REPAIRS & MAINT	0.00	0.00	0.00	1,500.00	0.00	0.00	3,000.00	3,000.00	3,000.00
02-50-425-474	WELLHOUSE REPAIRS & MAIN -	0.00	0.00	0.00	1,000.00	0.00	0.00	2,000.00	2,000.00	2,000.00
02-50-425-475	MATERIALS & SUPPLIES- STAN	0.00	0.00	0.00	1,000.00	0.00	0.00	2,000.00	2,000.00	2,000.00
02-50-425-485	REPAIRS & MAINTENANCE-STA	1,104.37	1,104.37	1,104.37	5,985.00	18.45	18.45	11,970.00	11,970.00	10,865.63
	WATER STORAGE	1,104.37	1,104.37	1,104.37	9,485.00	11.64	11.64	8,380.63	18,970.00	17,865.63
TRANSPORTATION/DISTRIBUTION										
02-50-430-276	LEAK SURVEYS	0.00	0.00	0.00	10,000.00	0.00	0.00	20,000.00	20,000.00	20,000.00
02-50-430-277	WATER DISTRIBUTION REPAIRS	2,821.15	2,821.15	2,821.15	95,000.00	2.97	2.97	190,000.00	190,000.00	187,178.85
02-50-430-299	LANDSCAPING - OTHER	184.88	184.88	184.88	4,000.00	4.62	4.62	8,000.00	8,000.00	7,815.12
02-50-430-401	OPERATING EQUIPMENT	0.00	0.00	0.00	1,000.00	0.00	0.00	2,000.00	2,000.00	2,000.00
02-50-430-425	J. U. L. I. E. MAINTENANCE & SU	0.00	0.00	0.00	750.00	0.00	0.00	1,500.00	1,500.00	1,500.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRI	1,906.56	1,906.56	1,906.56	12,500.00	15.25	15.25	25,000.00	25,000.00	23,093.44
	TRANSPORTATION/DISTRIBUTION	4,912.59	4,912.59	4,912.59	123,250.00	3.99	3.99	118,337.41	246,500.00	241,587.41
METERS & BILLING										
02-50-435-278	METERS FLOW TESTING	0.00	0.00	0.00	2,000.00	0.00	0.00	4,000.00	4,000.00	4,000.00
02-50-435-461	NEW METERING EQUIPMENT	0.00	0.00	0.00	7,500.00	0.00	0.00	15,000.00	15,000.00	15,000.00
02-50-435-462	METER REPLACEMENT	0.00	0.00	0.00	500.00	0.00	0.00	1,000.00	1,000.00	1,000.00
02-50-435-463	MAINTENANCE - METER EQUIP	0.00	0.00	0.00	5,000.00	0.00	0.00	10,000.00	10,000.00	10,000.00
	METERS & BILLING	0.00	0.00	0.00	15,000.00	0.00	0.00	30,000.00	30,000.00	30,000.00
Total Dept 50-WATER DEPARTMENT		87,505.73	87,505.73	87,505.73	2,910,125.00	3.01	3.01	2,822,619.27	5,820,250.00	5,732,744.27
Fund 02 - WATER FUND:										
TOTAL EXPENDITURES		87,505.73	87,505.73	87,505.73	2,910,125.00	3.01	3.01	2,822,619.27	5,820,250.00	5,732,744.27

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

2016-17
 ORIGINAL BUDGET % BDGT USED AVAILABLE BALANCE
 APPROP. AVAIL.

ACTIVITY FOR
 MONTH YTD BALANCE
 05/31/16 05/31/2016

GL NUMBER DESCRIPTION

05/31/16

YTD BALANCE
 05/31/2016

2016-17
 ORIGINAL BUDGET

% BDGT
 USED

AVAILABLE
 BALANCE

APPROP. AVAIL.

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR		YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
		MONTH 05/31/16	MONTH 05/31/16						
Fund 03 - HOTEL/MOTEL TAX FUND									
Dept 53-HOTEL/MOTEL									
COMMUNITY RELATIONS									
03-53-435-303	WILLOWBROOK MOBILE PHONE	0.00	0.00	1,024.00	1,024.00	0.00	1,024.00	2,048.00	2,048.00
03-53-435-308	GRANT PILOT PROGRAM	0.00	0.00	5,000.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
03-53-435-316	LANDSCAPE BEAUTIFICATION	1,620.80	1,620.80	3,000.00	3,000.00	54.03	1,379.20	6,000.00	4,379.20
03-53-435-317	ADVERTISING	0.00	0.00	100,000.00	100,000.00	0.00	100,000.00	200,000.00	200,000.00
03-53-435-319	CHAMBER DIRECTORY	0.00	0.00	3,000.00	3,000.00	0.00	3,000.00	6,000.00	6,000.00
03-53-435-320	TRANSPORTATION	0.00	0.00	60,000.00	60,000.00	0.00	60,000.00	120,000.00	120,000.00
	COMMUNITY RELATIONS	1,620.80	1,620.80	172,024.00	172,024.00	0.94	170,403.20	344,048.00	342,427.20
ADMINISTRATION									
03-53-401-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	12,150.00	12,150.00	0.00	12,150.00	24,300.00	24,300.00
03-53-401-311	POSTAGE & METER RENT	0.00	0.00	125.00	125.00	0.00	125.00	250.00	250.00
	ADMINISTRATION	0.00	0.00	12,275.00	12,275.00	0.00	12,275.00	24,550.00	24,550.00
SPECIAL EVENTS									
03-53-436-378	WINE & DINE INTELLIGENTLY	0.00	0.00	2,000.00	2,000.00	0.00	2,000.00	4,000.00	4,000.00
03-53-436-379	SPECIAL PROMOTIONAL EVENT	0.00	0.00	2,500.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
	SPECIAL EVENTS	0.00	0.00	4,500.00	4,500.00	0.00	4,500.00	9,000.00	9,000.00
	Total Dept 53-HOTEL/MOTEL	1,620.80	1,620.80	188,799.00	188,799.00	0.86	187,178.20	377,598.00	375,977.20
Fund 03 - HOTEL/MOTEL TAX FUND:									
	TOTAL EXPENDITURES	1,620.80	1,620.80	188,799.00	188,799.00	0.86	187,178.20	377,598.00	375,977.20

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
				ORIGINAL BUDGET	BUDGET			
Fund 04 - MOTOR FUEL TAX FUND								
Dept 56-MOTOR FUEL TAX								
CAPITAL IMPROVEMENTS								
04-56-430-684	STREET MAINTENANCE CONTR	0.00	0.00	248,392.00	0.00	0.00	248,392.00	496,784.00
04-56-430-685	LAFO PROJECT	0.00	0.00	163,762.00	0.00	0.00	163,762.00	327,524.00
	CAPITAL IMPROVEMENTS	0.00	0.00	412,154.00	0.00	0.00	412,154.00	824,308.00
Total Dept 56-MOTOR FUEL TAX								
		0.00	0.00	412,154.00	0.00	0.00	412,154.00	824,308.00
Fund 04 - MOTOR FUEL TAX FUND:								
TOTAL EXPENDITURES								
		0.00	0.00	412,154.00	0.00	0.00	412,154.00	824,308.00

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
				ORIGINAL BUDGET	BUDGET			
Fund 06 - SSA ONE BOND & INTEREST FUND								
Dept 60-SSA BOND								
OTHER								
06-60-550-401	BOND PRINCIPAL EXPENSE	0.00	0.00	140,000.00	140,000.00	0.00	140,000.00	280,000.00
06-60-550-402	BOND INTEREST EXPENSE	0.00	0.00	179,485.00	179,485.00	0.00	179,485.00	358,970.00
OTHER		0.00	0.00	319,485.00	319,485.00	0.00	319,485.00	638,970.00
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Total Dept 60-SSA BOND		0.00	0.00	319,485.00	319,485.00	0.00	319,485.00	638,970.00
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Fund 06 - SSA ONE BOND & INTEREST FUND:								
TOTAL EXPENDITURES		0.00	0.00	319,485.00	319,485.00	0.00	319,485.00	638,970.00

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 07 - POLICE PENSION FUND							
Dept 62							
ADMINISTRATION							
07-62-401-242	LEGAL FEES	0.00	0.00	2,000.00	0.00	2,000.00	4,000.00
07-62-401-251	AUDIT FEES	0.00	0.00	3,869.00	0.00	3,869.00	7,738.00
07-62-401-252	ACTUARY SERVICES	0.00	0.00	4,400.00	0.00	4,400.00	8,800.00
07-62-401-253	FINANCIAL ADVISORY FEES	0.00	0.00	33,917.00	0.00	33,917.00	67,834.00
07-62-401-254	FIDUCIARY INSURANCE	0.00	0.00	3,098.00	0.00	3,098.00	6,196.00
07-62-401-304	SCHOOL/CONFERENCES/TRAV	0.00	0.00	3,237.00	0.00	3,237.00	6,474.00
07-62-401-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	819.00	0.00	819.00	1,638.00
07-62-401-531	FILING FEE - IL DEPT OF INSUR	3,862.74	3,862.74	3,863.00	99.99	0.26	7,726.00
	ADMINISTRATION	3,862.74	3,862.74	55,203.00	7.00	51,340.26	110,406.00
							106,543.26
PENSION BENEFITS							
07-62-401-581	PENSION BENEFITS	76,566.34	76,566.34	844,957.00	9.06	768,390.66	1,689,914.00
07-62-401-582	WIDOW'S PENSION	3,209.37	3,209.37	38,512.00	8.33	35,302.63	77,024.00
07-62-401-583	DISABILITY BENEFITS	4,492.91	4,492.91	58,770.00	7.64	54,277.09	117,540.00
	PENSION BENEFITS	84,268.62	84,268.62	942,239.00	8.94	857,970.38	1,884,478.00
	Total Dept 62	88,131.36	88,131.36	997,442.00	8.84	909,310.64	1,994,884.00
Fund 07 - POLICE PENSION FUND:							
	TOTAL EXPENDITURES	88,131.36	88,131.36	997,442.00	8.84	909,310.64	1,906,752.64

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND							
Dept 65-WATER CAPITAL IMPROVEMENTS							
CAPITAL IMPROVEMENTS							
09-65-440-600	WATER SYSTEM IMPROVEMEN	0.00	0.00	20,765.00	0.00	20,765.00	41,530.00
09-65-440-603	VALVE INSERTION PROGRAM	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00
09-65-440-604	WATER TANK REPAIRS	0.00	0.00	981,760.00	0.00	981,760.00	1,963,520.00
CAPITAL IMPROVEMENTS		0.00	0.00	1,008,525.00	0.00	1,008,525.00	2,017,050.00
Total Dept 65-WATER CAPITAL IMPROVEMENTS		0.00	0.00	1,008,525.00	0.00	1,008,525.00	2,017,050.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:							
TOTAL EXPENDITURES		0.00	0.00	1,008,525.00	0.00	1,008,525.00	2,017,050.00

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
Fund 10 - CAPITAL PROJECT FUND							
Dept 68-CAPITAL PROJECTS							
CAPITAL IMPROVEMENTS							
10-68-540-423	TRAFFIC IMPROVEMENTS	0.00	0.00	85,500.00	0.00	85,500.00	171,000.00
	CAPITAL IMPROVEMENTS	0.00	0.00	85,500.00	0.00	85,500.00	171,000.00
Total Dept 68-CAPITAL PROJECTS		0.00	0.00	85,500.00	0.00	85,500.00	171,000.00
Fund 10 - CAPITAL PROJECT FUND:							
TOTAL EXPENDITURES		0.00	0.00	85,500.00	0.00	85,500.00	171,000.00

EXPENDITURE REPORT FOR WILLOWBROOK
 PERIOD ENDING 05/31/2016

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 05/31/16	YTD BALANCE 05/31/2016	2016-17		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
				ORIGINAL BUDGET	BUDGET			
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & Dept 75								
CAPITAL IMPROVEMENTS								
14-75-930-411	POLICE DEPT REMODEL (7760	0.00	0.00	3,060,000.00	0.00	0.00	3,060,000.00	6,120,000.00
14-75-930-412	CRC REMODEL (825 MIDWAY D	0.00	0.00	25,000.00	0.00	0.00	25,000.00	50,000.00
	CAPITAL IMPROVEMENTS	0.00	0.00	3,085,000.00	0.00	0.00	3,085,000.00	6,170,000.00
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Total Dept 75		0.00	0.00	3,085,000.00	0.00	0.00	3,085,000.00	6,170,000.00
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Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION								
TOTAL EXPENDITURES								
		0.00	0.00	3,085,000.00	0.00	0.00	3,085,000.00	6,170,000.00
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TOTAL EXPENDITURES - ALL FUNDS		1,060,698.41	1,060,698.41	19,462,018.00	5.45	18,401,319.59	50,000.00	50,000.00

VILLAGE OF WILLOWBROOK

BOARD MEETING

AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:**AGENDA NO.****5e**

ANNUAL APPROPRIATION ORDINANCE, VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, FOR THE FISCAL YEAR BEGINNING MAY 1, 2016 AND ENDING APRIL 30, 2017

AGENDA DATE: 6/13/2016**STAFF REVIEW:** Carrie Dittman, Director of Finance**SIGNATURE:** Carrie Dittman**LEGAL REVIEW:** Thomas Bastian, Village Attorney**SIGNATURE:** THOMAS BASTIAN TH.**RECOMMENDED BY:** Tim Halik, Village Administrator**SIGNATURE:** Tim Halik**REVIEWED & APPROVED BY COMMITTEE:** YES NO N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

Submitted for your adoption is the Annual Appropriation Ordinance for the fiscal year commencing on May 1, 2016 and ending April 30, 2017, of the Village of Willowbrook, DuPage County, Illinois. The Village is under the Illinois Appropriation Act and each year is required to adopt an appropriation ordinance within the first quarter of the fiscal year.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The ordinance presented for your approval provides expenditure/expense amounts by fund that the Village cannot exceed in the fiscal year 2016-17. The ordinance does not replace the previously adopted Administrative Budget that serves as the management tool to monitor expenditures/expenses against approved budgeted line items.

Also attached is the Certificate of Estimated Revenues.

ACTION PROPOSED:

Pass the ordinance.

ORDINANCE NO. 16-O-_____

ANNUAL APPROPRIATION ORDINANCE
VILLAGE OF WILLOWBROOK
DUPAGE COUNTY, ILLINOIS
FOR THE FISCAL YEAR BEGINNING
MAY 1, 2016 AND ENDING APRIL 30, 2017

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the following sums, or so much thereof as hereby may be authorized by law, be and the same are hereby appropriated to pay all necessary expenses and liabilities of the Village of Willowbrook, DuPage County, Illinois, for the fiscal year beginning May 1, 2016 and ending April 30, 2017, for a General Corporate Fund, a Water Fund, a Hotel/Motel Tax Fund, a Motor Fuel Tax Fund, a Special Service Area Bond and Interest Fund, a Water Capital Improvements Fund, a Capital Projects Fund, a Debt Service Fund, a Land Acquisition, Facility Expansion and Renovation Fund and a Police Pension Fund, such appropriations are hereby made for the following objects and purposes:

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 01 - GENERAL FUND		
Dept 05-VILLAGE BOARD & CLERK		
GENERAL MANAGEMENT		
01-05-400-147	EMPLOYEE BENEFITS - MEDICARE	1,374.00
01-05-400-161	SOCIAL SECURITY/FICA	5,878.00
01-05-410-101	SALARIES PRESIDENT & VILLAGE BOARD	80,400.00
01-05-410-125	SALARY - VILLAGE CLERK	14,400.00
01-05-410-141	LIFE INS BENEFIT -APPOINTED/ELECTED	2,600.00
01-05-410-201	PHONE - TELEPHONES	1,440.00
01-05-410-301	OFFICE SUPPLIES	1,500.00
01-05-410-303	FUEL/MILEAGE/WASH	200.00
01-05-410-304	SCHOOLS/CONFERENCES/TRAVEL	10,620.00
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	4,016.00
01-05-410-308	WELLNESS	1,200.00
GENERAL MANAGEMENT		123,628.00
COMMUNITY RELATIONS		
01-05-420-365	PUBLIC RELATIONS	1,000.00
COMMUNITY RELATIONS		1,000.00
Total Dept 05-VILLAGE BOARD & CLERK		124,628.00
Dept 07-BOARD OF POLICE COMMISSIONERS		
ADMINISTRATION		
01-07-435-104	PART TIME - CLERICAL	1,000.00
01-07-435-148	LIFE INS BENEFIT -APPOINTED/ELECTED	1,130.00
01-07-435-239	FEES - BOPC ATTORNEY	12,000.00
01-07-435-301	OFFICE SUPPLIES	200.00
01-07-435-302	PRINTING & PUBLISHING	2,000.00
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	1,000.00
01-07-435-311	POSTAGE & METER RENT	1,000.00
ADMINISTRATION		18,330.00
OTHER		
01-07-440-542	EXAMS - WRITTEN	16,000.00
01-07-440-543	EXAMS - PHYSICAL	1,400.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	7,000.00
01-07-440-545	EXAMS - POLYGRAPH	2,000.00
OTHER		26,400.00
Total Dept 07-BOARD OF POLICE COMMISSIONERS		44,730.00
Dept 10-ADMINISTRATION		

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
GENERAL MANAGEMENT		
01-10-400-147	EMPLOYEE BENEFITS - MEDICARE	6,852.00
01-10-400-151	IMRF	80,214.00
01-10-400-161	SOCIAL SECURITY/FICA	23,430.00
01-10-455-101	SALARIES - MANAGEMENT STAFF	165,858.00
01-10-455-102	OVERTIME	10,000.00
01-10-455-106	ASST TO VILLAGE ADMINISTRATOR	130,878.00
01-10-455-107	ADMINISTRATIVE INTERN	20,468.00
01-10-455-126	SALARIES - CLERICAL	145,408.00
01-10-455-131	PERSONNEL RECRUITMENT	1,100.00
01-10-455-141	EMPLOYEE BENEFIT - MEDICAL INSURANCE	58,438.00
01-10-455-144	EMPLOYEE BENEFIT - UNEMPLOYMENT INS	426.00
01-10-455-201	PHONE - TELEPHONES	26,520.00
01-10-455-266	CODIFY ORDINANCES	6,000.00
01-10-455-301	OFFICE SUPPLIES	20,000.00
01-10-455-302	PRINTING & PUBLISHING	6,000.00
01-10-455-303	FUEL/MILEAGE/WASH	5,600.00
01-10-455-304	SCHOOLS/CONFERENCES/TRAVEL	10,232.00
01-10-455-305	STRATEGIC PLANNING	4,000.00
01-10-455-307	FEES/DUES/SUBSCRIPTIONS	30,020.00
01-10-455-311	POSTAGE & METER RENT	13,910.00
01-10-455-315	COPY SERVICE	8,000.00
01-10-455-355	COMMISSARY PROVISION	3,000.00
01-10-455-409	MAINTENANCE - VEHICLES	2,000.00
01-10-455-411	MAINTENANCE - EQUIPMENT	1,500.00
GENERAL MANAGEMENT		779,854.00
COMMUNITY RELATIONS		
01-10-475-365	PUBLIC RELATIONS	20,000.00
01-10-475-366	NEWSLETTER	4,000.00
01-10-475-370	MEALS-ON-WHEELS	4,000.00
01-10-475-372	SENIOR CITIZEN TAXI PROGRAM	2,400.00
COMMUNITY RELATIONS		30,400.00
CAPITAL IMPROVEMENTS		
01-10-485-602	BUILDING IMPROVEMENTS	105,000.00
01-10-485-611	FURNITURE & OFFICE EQUIPMENT	5,000.00
01-10-485-641	EDP EQUIPMENT	32,798.00
01-10-485-642	PEG CHANNEL EQUIPMENT	16,000.00
01-10-485-643	9/11 ARTIFACT	40,000.00
CAPITAL IMPROVEMENTS		198,798.00
DATA PROCESSING		
01-10-460-212	EDP SOFTWARE	7,568.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-10-460-305	PERSONNEL TRAINING	500.00
01-10-460-331	OPERATING SUPPLIES	1,000.00
DATA PROCESSING		9,068.00
BUILDINGS		
01-10-466-228	MAINTENANCE - BUILDING	117,546.00
01-10-466-235	NICOR GAS (7760 QUINCY)	10,500.00
01-10-466-236	NICOR GAS (835 MIDWAY)	8,000.00
01-10-466-237	NICOR GAS (825 MIDWAY)	2,500.00
01-10-466-240	ENERGY/COMED (835 MIDWAY)	6,000.00
01-10-466-241	ENERGY/COMED (825 MIDWAY)	1,000.00
01-10-466-250	SANITARY (7760 QUINCY)	600.00
01-10-466-251	SANITARY (835 MIDWAY)	800.00
01-10-466-252	SANITARY (825 MIDWAY)	400.00
01-10-466-293	LANDSCAPE - VILLAGE HALL	11,000.00
01-10-466-351	BUILDING MAINTENANCE SUPPLIES	16,000.00
01-10-466-385	SANITARY USER CHARGE	400.00
BUILDINGS		174,746.00
LEGAL		
01-10-470-239	FEES - VILLAGE ATTORNEY	150,000.00
01-10-470-241	FEES - SPECIAL ATTORNEY	6,000.00
01-10-470-242	FEES - LABOR COUNSEL	20,000.00
LEGAL		176,000.00
RISK MANAGEMENT		
01-10-480-272	INSURANCE - IRMA	488,068.00
01-10-480-273	SELF INSURANCE - DEDUCTIBLE	5,000.00
01-10-480-276	WELLNESS	24,440.00
RISK MANAGEMENT		517,508.00
TRANSFERS TO OTHER FUNDS		
01-10-900-111	TRANSFER TO DEBT SERVICE	134,368.00
01-10-900-112	TRANSFER TO DEBT SERVICE - 2015	423,590.00
01-10-900-114	TRANSFER TO LAFER	50,000.00
TRANSFERS TO OTHER FUNDS		607,958.00
Total Dept 10-ADMINISTRATION		2,494,332.00
Dept 15-PLANNING & ECONOMIC DEVELOPMENT		
GENERAL MANAGEMENT		
01-15-400-147	EMPLOYEE BENEFITS - MEDICARE	848.00
01-15-400-151	IMRF	10,388.00
01-15-400-161	SOCIAL SECURITY/FICA	3,630.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-15-510-102	OVERTIME	1,000.00
01-15-510-126	SALARIES - CLERICAL	57,550.00
01-15-510-141	EMPLOYEE BENEFITS - MEDICAL INSURANCE	18,626.00
01-15-510-144	EMPLOYEE BENEFITS - UNEMPLOYMENT INS	72.00
01-15-510-232	CONSULTANTS - DESIGN & OTHER	63,000.00
01-15-510-301	OFFICE SUPPLIES	400.00
01-15-510-302	PRINTING & PUBLISHING	6,000.00
01-15-510-304	SCHOOLS/CONFERENCES/TRAVEL	5,000.00
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	1,600.00
01-15-510-311	POSTAGE & METER RENT	1,500.00
01-15-510-340	PLAN COMMISSION COMPENSATION	1,300.00
01-15-510-401	OPERATING EQUIPMENT	1,000.00
GENERAL MANAGEMENT		171,914.00
CAPITAL IMPROVEMENTS		
01-15-540-641	EDP NEW EQUIPMENT	4,800.00
CAPITAL IMPROVEMENTS		4,800.00
DATA PROCESSING		
01-15-515-212	EDP SOFTWARE	900.00
01-15-515-305	EDP PERSONNEL TRAINING	2,700.00
01-15-515-306	CONSULTING SERVICES	3,000.00
DATA PROCESSING		6,600.00
ENGINEERING		
01-15-520-229	RENT - MEETING ROOM	500.00
01-15-520-245	FEES - ENGINEERING	6,000.00
01-15-520-246	FEES - COURT REPORTER	4,000.00
01-15-520-254	PLAN REVIEW - ENGINEERING	20,000.00
01-15-520-257	PLAN REVIEW - PLANNER	150,000.00
01-15-520-258	PLAN REVIEW - TRAFFIC CONSULTANT	14,400.00
ENGINEERING		194,900.00
RISK MANAGEMENT		
01-15-535-273	SELF INSURANCE - DEDUCTIBLE	5,000.00
RISK MANAGEMENT		5,000.00
Total Dept 15-PLANNING & ECONOMIC DEVELOPMENT		383,214.00
Dept 20-PARKS & RECREATION		
CAPITAL IMPROVEMENTS		
01-20-595-641	EDP EQUIPMENT	3,200.00
01-20-595-695	PARK IMPROVEMENTS - NEIGHBORHOOD PARK	1,712,378.00
01-20-595-696	COMMUNITY PARK DEVELOPMENT	8,420.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
CAPITAL IMPROVEMENTS		1,723,998.00
ADMINISTRATION		
01-20-400-147	EMPLOYEE BENEFITS - MEDICARE	822.00
01-20-400-151	IMRF	8,380.00
01-20-400-161	SOCIAL SECURITY/FICA	3,518.00
01-20-550-101	SALARIES - PERMANENT EMPLOYEES	54,050.00
01-20-550-103	PART TIME - PROGRAM SUPERVISOR	2,700.00
01-20-550-144	EMPLOYEE BENEFITS - UNEMPLOYMENT INS	194.00
01-20-550-148	LIFE INS BENEFIT -APPOINTED/ELECTED	2,112.00
01-20-550-201	EMERGENCY TELEPHONE LINE	200.00
01-20-550-301	OFFICE SUPPLIES	400.00
01-20-550-302	PRINTING & PUBLISHING	4,720.00
01-20-550-303	FUEL/MILEAGE/WASH	532.00
01-20-550-304	SCHOOLS/CONFERENCES/TRAVEL	650.00
01-20-550-307	FEES/DUES/SUBSCRIPTIONS	550.00
01-20-550-311	POSTAGE & METER RENT	11,938.00
ADMINISTRATION		90,766.00
DATA PROCESSING		
01-20-555-212	EDP SOFTWARE	600.00
01-20-555-306	CONSULTING SERVICES	30,000.00
DATA PROCESSING		30,600.00
RISK MANAGEMENT		
01-20-560-273	SELF INSURANCE - DEDUCTIBLE	5,000.00
RISK MANAGEMENT		5,000.00
LANDSCAPING		
01-20-565-245	FEES - ENGINEERING	2,000.00
01-20-565-341	PARK LANDSCAPE SUPPLIES	31,000.00
01-20-565-342	LANDSCAPE MAINTENANCE SERVICES	125,966.00
01-20-565-352	REIMB EXPENSES - MEMORIAL PROGRAM	7,000.00
LANDSCAPING		165,966.00
MAINTENANCE		
01-20-570-102	OVERTIME	14,000.00
01-20-570-103	PART TIME - LABOR	20,160.00
01-20-570-234	RENT - EQUIPMENT	1,814.00
01-20-570-279	TRASH REMOVAL	310.00
01-20-570-281	CONTRACTED MAINTENANCE	51,100.00
01-20-570-331	MAINTENANCE SUPPLIES	22,700.00
01-20-570-345	UNIFORMS	400.00
MAINTENANCE		110,484.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
SUMMER PROGRAM		
01-20-575-111	RECREATION INSTRUCTORS	4,506.00
01-20-575-119	SUMMER PROGRAM MATERIALS & SERVICES	14,488.00
01-20-575-517	SENIORS PROGRAM	9,334.00
SUMMER PROGRAM		28,328.00
FALL PROGRAM		
01-20-580-111	RECREATION INSTRUCTORS	884.00
01-20-580-118	FALL PROGRAM MATERIALS & SERVICES	108.00
01-20-580-517	SENIORS PROGRAM	9,334.00
FALL PROGRAM		10,326.00
WINTER PROGRAM		
01-20-585-112	RECREATION INSTRUCTORS	1,000.00
01-20-585-121	WINTER PROGRAM MATERIALS & SERVICES	12,858.00
01-20-585-150	CHILDRENS SPECIAL EVENTS - OTHER	5,194.00
01-20-585-151	FAMILY SPECIAL EVENT - MOVIE NIGHT	2,722.00
01-20-585-152	FAMILY SPECIAL EVENT - TREE LIGHTING	15,000.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK TO SCHOOL	6,368.00
01-20-585-154	FAMILY SPECIAL EVENT - RACE	42,000.00
01-20-585-232	RENT - FACILITY	600.00
01-20-585-517	SENIORS PROGRAM	9,334.00
WINTER PROGRAM		95,076.00
SPRING PROGRAM		
01-20-586-112	RECREATION INSTRUCTORS - SPRING	578.00
01-20-586-121	SPRING PROGRAM MATERIALS & SERVICES	340.00
SPRING PROGRAM		918.00
SPECIAL RECREATION		
01-20-590-518	SPECIAL RECREATION ASSOC PROGRAM DUES	74,090.00
01-20-590-520	ADA RECREATION ACCOMMODATIONS	22,350.00
01-20-590-521	ADA PARK IMPROVEMENTS	132,984.00
SPECIAL RECREATION		229,424.00
Total Dept 20-PARKS & RECREATION		2,490,886.00
Dept 25-FINANCE DEPARTMENT		
GENERAL MANAGEMENT		
01-25-400-147	EMPLOYEE BENEFITS - MEDICARE	6,506.00
01-25-400-151	IMRF	66,342.00
01-25-400-161	SOCIAL SECURITY/FICA	27,010.00
01-25-610-101	SALARIES	250,100.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-25-610-102	OVERTIME	3,000.00
01-25-610-104	PART TIME - CLERICAL	47,822.00
01-25-610-126	SALARIES - CLERICAL	147,808.00
01-25-610-141	EMPLOYEE BENEFIT - MEDICAL INSURANCE	52,148.00
01-25-610-144	EMPLOYEE BENEFIT - UNEMPLOYMENT INS	548.00
01-25-610-301	OFFICE SUPPLIES	7,460.00
01-25-610-302	PRINTING & PUBLISHING	2,300.00
01-25-610-303	FUEL/MILEAGE/WASH	400.00
01-25-610-304	SCHOOLS/CONFERENCES/TRAVEL	8,450.00
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	4,030.00
01-25-610-311	POSTAGE & METER RENT	1,200.00
GENERAL MANAGEMENT		625,124.00
CAPITAL IMPROVEMENTS		
01-25-625-641	EDP EQUIPMENT	9,600.00
CAPITAL IMPROVEMENTS		9,600.00
DATA PROCESSING		
01-25-615-212	EDP SOFTWARE	75,010.00
01-25-615-213	VILLAGE-WIDE IT SOFTWARE/LICENSES	13,422.00
01-25-615-263	MAINTENANCE - OFFICE MACHINES	1,000.00
01-25-615-305	PERSONNEL TRAINING	1,000.00
01-25-615-306	IT - CONSULTING SERVICES	50,000.00
01-25-615-331	OPERATING SUPPLIES	1,000.00
DATA PROCESSING		141,432.00
FINANCIAL AUDIT		
01-25-620-251	AUDIT SERVICES	50,062.00
01-25-620-252	FINANCIAL SERVICES	9,680.00
FINANCIAL AUDIT		59,742.00
Total Dept 25-FINANCE DEPARTMENT		835,898.00
Dept 30-POLICE DEPARTMENT		
CAPITAL IMPROVEMENTS		
01-30-680-611	FURNITURE & OFFICE EQUIPMENT	10,000.00
01-30-680-625	NEW VEHICLES	260,000.00
01-30-680-641	EDP NEW EQUIPMENT	41,594.00
CAPITAL IMPROVEMENTS		311,594.00
ADMINISTRATION		
01-30-400-147	EMPLOYEE BENEFITS - MEDICARE	76,008.00
01-30-400-151	IMRF	61,696.00
01-30-400-161	SOCIAL SECURITY/FICA	24,686.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-30-630-101	SALARIES - PERMANENT EMPLOYEES	4,313,824.00
01-30-630-102	OVERTIME	570,000.00
01-30-630-103	OVERTIME - SPECIAL DETAIL & GRANTS	46,000.00
01-30-630-104	PART TIME - CLERICAL	50,404.00
01-30-630-106	ACCREDITATION MANAGER	24,490.00
01-30-630-126	SALARIES - CLERICAL	331,760.00
01-30-630-127	OVERTIME - CLERICAL	16,000.00
01-30-630-141	EMPLOYEE BENEFIT - MEDICAL INSURANCE	636,676.00
01-30-630-144	EMPLOYEE BENEFIT - UNEMPLOYMENT INS	3,970.00
01-30-630-155	POLICE PENSION	1,611,620.00
01-30-630-201	PHONE - TELEPHONES	56,000.00
01-30-630-202	ACCREDITATION	10,000.00
01-30-630-238	FIAT	7,000.00
01-30-630-241	FEES - FIELD COURT ATTORNEY	24,000.00
01-30-630-242	DUPAGE CHILDREN'S CENTER	6,000.00
01-30-630-245	FIRING RANGE	4,000.00
01-30-630-246	RED LIGHT - ADJUDICATOR	14,000.00
01-30-630-247	RED LIGHT - CAMERA FEES	539,400.00
01-30-630-248	RED LIGHT - COM ED	4,800.00
01-30-630-249	RED LIGHT - MISC FEE	28,000.00
01-30-630-301	OFFICE SUPPLIES	13,200.00
01-30-630-302	PRINTING & PUBLISHING	10,900.00
01-30-630-303	FUEL/MILEAGE/WASH	184,600.00
01-30-630-304	SCHOOLS/CONFERENCES/TRAVEL	50,000.00
01-30-630-305	TUITION REIMBURSEMENT	6,000.00
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	25,000.00
01-30-630-308	CADET PROGRAM	8,000.00
01-30-630-311	POSTAGE & METER RENT	8,000.00
01-30-630-315	COPY SERVICE	8,000.00
01-30-630-331	OPERATING SUPPLIES	4,000.00
01-30-630-345	UNIFORMS	58,000.00
01-30-630-346	AMMUNITION	24,000.00
01-30-630-401	OPERATING EQUIPMENT	46,000.00
01-30-630-405	FURNITURE & OFFICE EQUIPMENT	1,000.00
01-30-630-409	MAINTENANCE - VEHICLES	144,000.00
01-30-630-421	MAINTENANCE - RADIO EQUIPMENT	12,600.00
ADMINISTRATION		9,063,634.00
DATA PROCESSING		
01-30-640-212	EDP SOFTWARE	21,000.00
01-30-640-263	EDP EQUIPMENT MAINTENANCE	22,000.00
01-30-640-306	CONSULTING SERVICES	3,000.00
DATA PROCESSING		46,000.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
RISK MANAGEMENT		
01-30-645-273	SELF INSURANCE - DEDUCTIBLE	25,000.00
RISK MANAGEMENT		<u>25,000.00</u>
PATROL		
01-30-650-268	ANIMAL CONTROL	1,600.00
01-30-650-343	JAIL SUPPLIES	2,000.00
01-30-650-349	DRUG FORFEITURE EXP - FEDERAL	80,000.00
PATROL		<u>83,600.00</u>
INVESTIGATIVE		
01-30-655-335	CAMERA SUPPLIES	800.00
01-30-655-339	CONFIDENTIAL FUNDS	2,000.00
INVESTIGATIVE		<u>2,800.00</u>
TRAFFIC SAFETY		
01-30-660-105	PART TIME - CROSSING GUARD	10,098.00
TRAFFIC SAFETY		<u>10,098.00</u>
ESDA COORDINATOR		
01-30-665-263	SIREN MAINTENANCE	1,000.00
ESDA COORDINATOR		<u>1,000.00</u>
CRIME PREVENTION		
01-30-670-302	PRINTING & PUBLISHING	2,000.00
01-30-670-331	COMMODITIES	9,000.00
CRIME PREVENTION		<u>11,000.00</u>
TELECOMMUNICATIONS		
01-30-675-235	RADIO DISPATCHING	622,732.00
TELECOMMUNICATIONS		<u>622,732.00</u>
Total Dept 30-POLICE DEPARTMENT		<u>10,177,458.00</u>
Dept 35-PUBLIC WORKS DEPARTMENT		
CAPITAL IMPROVEMENTS		
01-35-765-641	EDP NEW EQUIPMENT	4,800.00
01-35-765-685	STREET IMPROVEMENTS	544,612.00
CAPITAL IMPROVEMENTS		<u>549,412.00</u>
ADMINISTRATION		
01-35-400-147	EMPLOYEE BENEFITS - MEDICARE	6,250.00
01-35-400-151	IMRF	72,006.00
01-35-400-161	SOCIAL SECURITY/FICA	24,968.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-35-710-101	SALARIES - PERMANENT EMPLOYEES	303,124.00
01-35-710-102	OVERTIME	37,240.00
01-35-710-103	PART TIME - LABOR	43,120.00
01-35-710-126	SALARIES - CLERICAL	47,508.00
01-35-710-141	EMPLOYEE BENEFITS - MEDICAL INSURANCE	55,258.00
01-35-710-144	EMPLOYEE BENEFITS - UNEMPLOYMENT INS	356.00
01-35-710-201	TELEPHONES	5,000.00
01-35-710-301	OFFICE SUPPLIES	1,000.00
01-35-710-302	PRINTING & PUBLISHING	2,500.00
01-35-710-303	FUEL/MILEAGE/WASH	25,000.00
01-35-710-304	SCHOOLS/CONFERENCES/TRAVEL	6,000.00
01-35-710-306	REIMB PERSONAL EXPENSE	600.00
01-35-710-307	FEES/DUES/SUBSCRIPTIONS	700.00
01-35-710-311	POSTAGE & METER RENT	3,000.00
01-35-710-345	UNIFORMS	9,000.00
01-35-710-405	FURNITURE & OFFICE EQUIPMENT	1,000.00
ADMINISTRATION		643,630.00
DATA PROCESSING		
01-35-715-212	EDP SOFTWARE	900.00
01-35-715-263	EQUIPMENT MAINTENANCE	0.00
01-35-715-401	OPERATING SUPPLIES & EQUIPMENT	10,000.00
DATA PROCESSING		10,900.00
ENGINEERING		
01-35-720-245	FEES - ENGINEERING	329,246.00
01-35-720-254	PLAN REVIEW - ENGINEER	3,000.00
ENGINEERING		332,246.00
BUILDINGS		
01-35-725-412	MAINTENANCE - GAS TANKS AND PUMPS	16,800.00
01-35-725-413	MAINTENANCE - GARAGE	6,000.00
01-35-725-414	MAINTENANCE - SALT BINS	1,000.00
01-35-725-415	NICOR GAS	8,000.00
01-35-725-417	SANITARY USER CHARGE	400.00
01-35-725-418	MAINTENANCE - PW BUILDING	17,000.00
BUILDINGS		49,200.00
EQUIPMENT REPAIR		
01-35-735-409	MAINTENANCE - VEHICLES	40,000.00
01-35-735-411	MAINTENANCE - EQUIPMENT	8,000.00
EQUIPMENT REPAIR		48,000.00
SNOW REMOVAL		

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-35-740-287	SNOW REMOVAL CONTRACT	120,000.00
01-35-740-306	REIMB PERSONAL EXPENSES	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	12,000.00
SNOW REMOVAL		132,400.00
STREET LIGHTING		
01-35-745-207	ENERGY - STREET LIGHTS	33,280.00
01-35-745-223	MAINTENANCE - STREET LIGHTS	30,000.00
01-35-745-224	MAINTENANCE - TRAFFIC SIGNALS	14,000.00
STREET LIGHTING		77,280.00
STORM WATER IMPROVEMENTS		
01-35-750-286	JET CLEANING CULVERT	40,000.00
01-35-750-289	SITE IMPROVEMENTS	40,000.00
01-35-750-290	EQUIPMENT RENTAL	10,000.00
01-35-750-328	STREET & ROW MAINTENANCE	180,000.00
01-35-750-329	MAINTENANCE - SAW MILL CREEK	3,000.00
01-35-750-338	TREE MAINTENANCE	513,280.00
01-35-750-381	STORM WATER IMPROVEMENTS MAINTENANCE	80,000.00
STORM WATER IMPROVEMENTS		866,280.00
STREET MAINTENANCE		
01-35-755-279	TRASH REMOVAL	2,500.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	98,000.00
01-35-755-282	REIMB EXP - CONSTRUCTION	1,000.00
01-35-755-283	REIMB EXP - OTHER	3,000.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	40,000.00
01-35-755-290	EQUIPMENT RENTAL	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE OTHER	40,000.00
01-35-755-331	OPERATING SUPPLIES	120,000.00
01-35-755-332	J.U.L.I.E.	4,774.00
01-35-755-333	ROAD SIGNS	18,000.00
01-35-755-401	OPERATING EQUIPMENT	5,000.00
STREET MAINTENANCE		333,774.00
NUISANCE CONTROL		
01-35-760-258	PEST CONTROL	2,000.00
01-35-760-259	MOSQUITO ABATEMENT	64,200.00
NUISANCE CONTROL		66,200.00
Total Dept 35-PUBLIC WORKS DEPARTMENT		3,109,322.00
Dept 40-BUILDING & ZONING DEPARTMENT		
GENERAL MANAGEMENT		

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
01-40-400-147	EMPLOYEE BENEFITS - MEDICARE	3,414.00
01-40-400-151	IMRF	41,764.00
01-40-400-161	SOCIAL SECURITY/FICA	14,596.00
01-40-810-101	SALARIES - PERMANENT EMPLOYEES	147,034.00
01-40-810-102	OVERTIME	30,826.00
01-40-810-126	SALARIES - CLERICAL	57,550.00
01-40-810-141	EMPLOYEE BENEFITS - MEDICAL INSURANCE	55,950.00
01-40-810-144	EMPLOYEE BENEFITS - UNEMPLOYMENT INS	214.00
01-40-810-201	TELEPHONES	2,000.00
01-40-810-301	OFFICE SUPPLIES	1,500.00
01-40-810-302	PRINTING & PUBLISHING	1,500.00
01-40-810-303	FUEL/MILEAGE/WASH	2,500.00
01-40-810-304	SCHOOLS/CONFERENCES/TRAVEL	2,000.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	1,000.00
01-40-810-311	POSTAGE & METER RENT	800.00
01-40-810-401	OPERATING EQUIPMENT	400.00
01-40-810-409	MAINTENANCE - VEHICLES	2,000.00
GENERAL MANAGEMENT		365,048.00
DATA PROCESSING		
01-40-815-212	EDP SOFTWARE	900.00
01-40-815-305	EDP PERSONNEL TRAINING	2,700.00
01-40-815-306	CONSULTING SERVICES	1,500.00
01-40-815-345	UNIFORMS	800.00
01-40-815-401	EDP OPERATING EQUIPMENT	4,800.00
DATA PROCESSING		10,700.00
ENGINEERING		
01-40-820-245	FEES - ENGINEERING	8,000.00
01-40-820-246	FEES - DRAINAGE ENGINEER	12,000.00
01-40-820-247	REIMB EXP - ENGINEERING	1,000.00
01-40-820-254	PLAN REVIEW - ENGINEER	10,000.00
01-40-820-255	PLAN REVIEW - STRUCTURAL	10,000.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	60,000.00
01-40-820-259	PLAN REVIEW - DRAINAGE ENGINEER	25,000.00
ENGINEERING		126,000.00
INSPECTION		
01-40-830-109	PART TIME - INSPECTOR	60,000.00
01-40-830-115	PLUMBING INSPECTION	12,000.00
01-40-830-117	ELEVATOR INSPECTION	14,000.00
01-40-830-119	CODE ENFORCEMENT INSPECTION	8,000.00
INSPECTION		94,000.00

VILLAGE OF WILLOWBROOK
APPROPRIATIONS
FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Total Dept 40-BUILDING & ZONING DEPARTMENT		595,748.00
Fund 01 - GENERAL FUND:		-----
TOTAL EXPENDITURES		20,256,216.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 02 - WATER FUND		
Dept 50-WATER DEPARTMENT		
CAPITAL IMPROVEMENTS		
02-50-440-694	DISTRIBUTION SYSTEM REPLACEMENT	20,000.00
02-50-440-695	EDP	46,552.00
CAPITAL IMPROVEMENTS		66,552.00
ADMINISTRATION		
02-50-400-147	EMPLOYEE BENEFITS - MEDICARE	6,354.00
02-50-400-151	IMRF	72,070.00
02-50-400-161	SOCIAL SECURITY/FICA	27,170.00
02-50-401-101	SALARIES - PERMANENT EMPLOYEES	274,838.00
02-50-401-102	OVERTIME	65,888.00
02-50-401-103	PART TIME - LABOR	50,000.00
02-50-401-126	SALARIES - CLERICAL	47,508.00
02-50-401-141	EMPLOYEE BENEFITS - MEDICAL INSURANCE	56,694.00
02-50-401-144	EMPLOYEE BENEFITS - UNEMPLOYMENT INS	356.00
02-50-401-201	PHONE - TELEPHONES	19,200.00
02-50-401-239	FEES - VILLAGE ATTORNEY	2,000.00
02-50-401-301	OFFICE SUPPLIES	3,000.00
02-50-401-302	PRINTING & PUBLISHING	12,000.00
02-50-401-303	FUEL/MILEAGE/WASH	7,000.00
02-50-401-304	SCHOOLS/CONFERENCES/TRAVEL	4,000.00
02-50-401-306	REIMBURSE PERSONAL EXPENSES	300.00
02-50-401-307	FEES/DUES/SUBSCRIPTIONS	1,100.00
02-50-401-311	POSTAGE & METER RENT	13,000.00
02-50-401-405	FURNITURE & OFFICE EQUIPMENT	1,000.00
ADMINISTRATION		663,478.00
OTHER		
02-50-449-102	INTEREST EXPENSE	20,068.00
02-50-449-104	BOND PRINCIPAL EXPENSE	20,572.00
02-50-449-105	INTEREST EXPENSE - IEPA LOAN	34,290.00
02-50-449-106	PRINCIPAL EXPENSE - IEPA LOAN	77,680.00
OTHER		152,610.00
DATA PROCESSING		
02-50-417-212	EDP SOFTWARE	1,500.00
02-50-417-305	EDP PERSONNEL TRAINING	2,700.00
02-50-417-401	EDP OPERATING EQUIPMENT	8,000.00
DATA PROCESSING		12,200.00
ENGINEERING		

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
02-50-405-245	FEES - ENGINEERING	4,000.00
ENGINEERING		4,000.00
TRANSFERS TO OTHER FUNDS		
02-50-410-501	REIMBURSE OVERHEAD GENERAL FUND	1,045,982.00
02-50-900-109	TRANSFER TO WATER CAPITAL IMPROVEMENT	200,000.00
02-50-900-111	TRANSFER TO DEBT SERVICE	63,232.00
02-50-900-112	TRANSFER TO DEBT SERVICE - 2015	30,870.00
TRANSFERS TO OTHER FUNDS		1,340,084.00
WATER PRODUCTION		
02-50-420-206	ENERGY - ELECTRIC PUMP	24,000.00
02-50-420-294	LANDSCAPING - WELLS 1 & 3	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE	2,000.00
02-50-420-361	CHEMICALS	3,500.00
02-50-420-362	SAMPLING ANALYSIS	5,356.00
02-50-420-488	MAINTENANCE - PUMPS & WELL 3	1,000.00
02-50-420-491	PUMP INSPECTION REPAIR MAINTAIN STA	1,000.00
02-50-420-575	PURCHASE OF WATER	3,248,000.00
WATER PRODUCTION		3,285,856.00
WATER STORAGE		
02-50-425-473	WELLHOUSE REPAIRS & MAINTENANCE - L.H.V.	3,000.00
02-50-425-474	WELLHOUSE REPAIRS & MAIN - WB EXEC PLAZA	2,000.00
02-50-425-475	MATERIALS & SUPPLIES- STANDPIPE/PUMPHOUS	2,000.00
02-50-425-485	REPAIRS & MAINTENANCE-STANDPIPE/PUMPHOUS	11,970.00
WATER STORAGE		18,970.00
TRANSPORTATION/DISTRIBUTION		
02-50-430-276	LEAK SURVEYS	20,000.00
02-50-430-277	WATER DISTRIBUTION REPAIRS/MAINTENANCE	190,000.00
02-50-430-299	LANDSCAPING - OTHER	8,000.00
02-50-430-401	OPERATING EQUIPMENT	2,000.00
02-50-430-425	J. U. L. I. E. MAINTENANCE & SUPPLY	1,500.00
02-50-430-476	MATERIAL & SUPPLIES - DISTRIBUTION	25,000.00
TRANSPORTATION/DISTRIBUTION		246,500.00
METERS & BILLING		
02-50-435-278	METERS FLOW TESTING	4,000.00
02-50-435-461	NEW METERING EQUIPMENT	15,000.00
02-50-435-462	METER REPLACEMENT	1,000.00
02-50-435-463	MAINTENANCE - METER EQUIPMENT	10,000.00
METERS & BILLING		30,000.00

VILLAGE OF WILLOWBROOK
APPROPRIATIONS
FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Total Dept 50-WATER DEPARTMENT		5,820,250.00
Fund 02 - WATER FUND:		-----
TOTAL EXPENDITURES		5,820,250.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 03 - HOTEL/MOTEL TAX FUND		
Dept 53-HOTEL/MOTEL		
COMMUNITY RELATIONS		
03-53-435-303	WILLOWBROOK MOBILE PHONE APP	2,048.00
03-53-435-308	GRANT PILOT PROGRAM	10,000.00
03-53-435-316	LANDSCAPE BEAUTIFICATION	6,000.00
03-53-435-317	ADVERTISING	200,000.00
03-53-435-319	CHAMBER DIRECTORY	6,000.00
03-53-435-320	TRANSPORTATION	120,000.00
COMMUNITY RELATIONS		<u>344,048.00</u>
ADMINISTRATION		
03-53-401-307	FEES/DUES/SUBSCRIPTIONS	24,300.00
03-53-401-311	POSTAGE & METER RENT	250.00
ADMINISTRATION		<u>24,550.00</u>
SPECIAL EVENTS		
03-53-436-378	WINE & DINE INTELLIGENTLY	4,000.00
03-53-436-379	SPECIAL PROMOTIONAL EVENTS	5,000.00
SPECIAL EVENTS		<u>9,000.00</u>
Total Dept 53-HOTEL/MOTEL		<u>377,598.00</u>
Fund 03 - HOTEL/MOTEL TAX FUND:		
TOTAL EXPENDITURES		<u>377,598.00</u>

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 04 - MOTOR FUEL TAX FUND		
Dept 56-MOTOR FUEL TAX		
CAPITAL IMPROVEMENTS		
04-56-430-684	STREET MAINTENANCE CONTRACT	496,784.00
04-56-430-685	LAFO PROJECT	327,524.00
CAPITAL IMPROVEMENTS		824,308.00
Total Dept 56-MOTOR FUEL TAX		824,308.00
Fund 04 - MOTOR FUEL TAX FUND:		
TOTAL EXPENDITURES		824,308.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 06 - SSA ONE BOND & INTEREST FUND		
Dept 60-SSA BOND		
OTHER		
06-60-550-401	BOND PRINCIPAL EXPENSE	280,000.00
06-60-550-402	BOND INTEREST EXPENSE	358,970.00
OTHER		638,970.00
Total Dept 60-SSA BOND		638,970.00
Fund 06 - SSA ONE BOND & INTEREST FUND:		
TOTAL EXPENDITURES		638,970.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 07 - POLICE PENSION FUND		
Dept 62		
ADMINISTRATION		
07-62-401-242	LEGAL FEES	4,000.00
07-62-401-251	AUDIT FEES	7,738.00
07-62-401-252	ACTUARY SERVICES	8,800.00
07-62-401-253	FINANCIAL ADVISORY FEES	67,834.00
07-62-401-254	FIDUCIARY INSURANCE	6,196.00
07-62-401-304	SCHOOL/CONFERENCES/TRAVEL	6,474.00
07-62-401-307	FEES/DUES/SUBSCRIPTIONS	1,638.00
07-62-401-531	FILING FEE - IL DEPT OF INSURANCE	7,726.00
ADMINISTRATION		110,406.00
PENSION BENEFITS		
07-62-401-581	PENSION BENEFITS	1,689,914.00
07-62-401-582	WIDOW'S PENSION	77,024.00
07-62-401-583	DISABILITY BENEFITS	117,540.00
PENSION BENEFITS		1,884,478.00
Total Dept 62		1,994,884.00
Fund 07 - POLICE PENSION FUND:		
TOTAL EXPENDITURES		1,994,884.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
Dept 65-WATER CAPITAL IMPROVEMENTS		
CAPITAL IMPROVEMENTS		
09-65-440-600	WATER SYSTEM IMPROVEMENTS	41,530.00
09-65-440-603	VALVE INSERTION PROGRAM	12,000.00
09-65-440-604	WATER TANK REPAIRS	1,963,520.00
CAPITAL IMPROVEMENTS		2,017,050.00
Total Dept 65-WATER CAPITAL IMPROVEMENTS		2,017,050.00
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:		
TOTAL EXPENDITURES		2,017,050.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 10 - CAPITAL PROJECT FUND		
Dept 68-CAPITAL PROJECTS		
CAPITAL IMPROVEMENTS		
10-68-540-423	TRAFFIC IMPROVEMENTS	171,000.00
CAPITAL IMPROVEMENTS		171,000.00
Total Dept 68-CAPITAL PROJECTS		171,000.00
Fund 10 - CAPITAL PROJECT FUND:		
TOTAL EXPENDITURES		171,000.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 11 - DEBT SERVICE FUND		
Dept 70-DEBT SERVICE FUND		
OTHER		
11-70-550-401	BOND PRINCIPAL EXPENSE	399,428.00
11-70-550-402	BOND INTEREST EXPENSE	252,632.00
11-70-550-404	BOND ISSUANCE COSTS	1,700.00
OTHER		653,760.00
Total Dept 70-DEBT SERVICE FUND		653,760.00
Fund 11 - DEBT SERVICE FUND:		
TOTAL EXPENDITURES		653,760.00

VILLAGE OF WILLOWBROOK
 APPROPRIATIONS
 FISCAL YEAR MAY 1, 2016 - APRIL 30, 2017

GL NUMBER	DESCRIPTION	APPROPRIATION
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & RENOVATION FUND		
Dept 75		
CAPITAL IMPROVEMENTS		
14-75-930-411	POLICE DEPT REMODEL (7760 QUINCY)	6,120,000.00
14-75-930-412	CRC REMODEL (825 MIDWAY DR)	50,000.00
CAPITAL IMPROVEMENTS		----- 6,170,000.00
Total Dept 75		----- 6,170,000.00
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & RENOVATION FUND:		
TOTAL EXPENDITURES		----- 6,170,000.00
TOTAL EXPENDITURES - ALL FUNDS		38,924,036

SECTION TWO: Any sums of money heretofore appropriated and not heretofore expended, and now in the Village Treasury of the Village of Willowbrook is and are hereby appropriated by this Ordinance.

SECTION THREE: All ordinances or resolutions or parts thereof in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FOUR: This Ordinance shall be in force and effect after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 13th day of June, 2016.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE: AYES: _____
 NAYS: _____
 ABSENT: _____
 ABSTENTIONS: _____

CHIEF FISCAL OFFICER'S CERTIFICATE OF ESTIMATED REVENUES

For Village of Willowbrook, DuPage County, Illinois

I, Carrie Dittman, DO HEREBY CERTIFY AS FOLLOWS:

1. I am the Chief Fiscal Officer for the Village of Willowbrook, DuPage County, Illinois
2. I estimate the revenue by source, of said Village of Willowbrook, for the fiscal year beginning May 1, 2016 and ending April 30, 2017, to be as follows:

GENERAL CORPORATE FUND

Property Taxes	\$	180,821
Sales Taxes		3,600,000
Other Taxes		2,469,428
Licenses		172,000
Permits		232,500
Fines		655,000
Charges & Fees		60,600
Park & Recreation		39,058
Interest Income		1,750
Other		1,373,252
Total General Corporate Fund	\$	<u>8,784,409</u>

WATER FUND

Water Sales		3,545,000
Other Revenue		9,600
Interest Income		1,000
Water Connection Fees		3,000
Total Water Fund	\$	<u>3,558,600</u>

HOTEL/MOTEL TAX FUND

Hotel/Motel Tax		243,000
Interest Income		30
Total Hotel/Motel Tax Fund	\$	<u>243,030</u>

MOTOR FUEL TAX FUND

Motor Fuel Tax		221,186
Interest Income		150
Total Motor Fuel Tax Fund	\$	<u>221,336</u>

SSA BOND AND INTEREST FUND

Property Taxes		319,485
Interest Income		35
Total SSA Bond and Interest Fund	\$	<u>319,520</u>

POLICE PENSION FUND

Village Contributions		805,810
Employee Contributions		202,140
Interest Income		500,000
Total Police Pension Fund	\$	<u>1,507,950</u>

WATER CAPITAL IMPROVEMENTS FUND

IEPA Loan Proceeds		931,460
Transfers In From Other Funds		100,000
Interest Income		50
Total Water Capital Improvements Fund	\$	<u>1,031,510</u>

CAPITAL PROJECTS FUND

None		-
Total Capital Projects Fund	\$	<u>-</u>

DEBT SERVICE FUND

Transfer From General Fund	278,979
Transfer From Water Fund	47,051
Total Debt Service Fund	<u>\$ 326,030</u>

LAND ACQUISITION, FACILITY EXPANSION AND RENOVATION FUND

Transfer From General Fund	25,000
Interest Income	500
Total Land Acquisition, Facility Expansion and Renovation Fund	<u>\$ 25,500</u>

TOTAL ALL FUNDS \$ 16,017,885

Carrie Dittman
Carrie Dittman
Director of Finance

6/13/2016
Date

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE: Receive Plan Commission Recommendation regarding a special use for a 1,504 sqft restaurant ("Taste of Sham") in tenant space 858 in the Willowbrook Plaza Shopping Center (Previously Wingren Plaza)	ORDINANCE NO. 5f AGENDA DATE: 6/13/16
--	--

STAFF REVIEW: Tiffany Kolodziej, Administrative Intern	SIGNATURE: 
LEGAL REVIEW: Tom Bastian	SIGNATURE: 
RECOMMENDED BY VILLAGE ADMIN.:	SIGNATURE: 

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The subject 3.6 acre shopping center is located on the northeast corner of Route 83 and 75th Street. The center contains 51,350 square feet of gross leasable area, of which the proposed Taste of Sham fast-casual restaurant will occupy 1,504 square feet. The use would be located in the shopping center with access to the parking lot off of 75th Street. Restaurants are special uses in the B-2 zoning district; and since the previous use for lot 858 accomodated food preparation, the newly proposed Taste of Sham will fill the vacancy appropriately.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The shopping center has experienced a nearly 30 percent vacancy in recent years, so the collective parking requirement for individual uses within the shopping center is well below the number of parking spaces on the site. This shopping center is somewhat unique in that it has two frontages. The main retail frontage is visible to both Route 83 and 75th Street. There are approximately 207 parking spaces, with 166 spaces in the west parking lot and 41 spaces in the east parking lot. This combination of space and parking is sufficient for a mix of retailers that require between 4 and 5 parking spaces per 1,000 square feet. Current users in the center require a total of 138 parking spaces, while Taste of Sham will require an additional 15 parking spaces. The total parking requirement of 153 spaces for existing users is accommodated by the 207 parking spaces in the center.

The proposed use brings traffic to a shopping center that has struggled to achieve full occupancy. Furthermore, this type of resteraunt use is well-suited to the shopping center, and will provide unique food alternatives that will not infringe on pre-exisiting dining options within the Village. A condition of the approval for the Taste of Sham requires the Applicant to submit plans for occupancy to the Willowbrook Building Department.

As outlined in the attached memo dated May 18, 2016 from Plan Commission Chair Dan Kopp, the Plan Commission recommended approval of the requested relief.

ACTION PROPOSED:
Receive Plan Commission recommendation.



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: May 18, 2016

SUBJECT: Zoning Hearing Case 16-06: (Omar Dweydari, 830 Clynderven Road, Burr Ridge IL) Petition for a special use permit and other relief as may be required to allow a 1,504 square foot restaurant to operate in Unit Number 858 in the Willowbrook Plaza Shopping Center located at 858 75th Street, Willowbrook IL.

At the regular meeting of the Plan Commission held on May 18, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Remkus, seconded by Commissioner Soukup that based on the submitted petition and testimony presented, the special use for a 1,504 square foot restaurant in space 858 in the Willowbrook Plaza Shopping Center for the prospective Taste of Sham meets the standards for a special use as outlined in the Staff report prepared for the May 18th Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval to PC 16-06 subject to the following conditions:

1. The special use granted herein only applies to the 1,504 square feet space in Unit 858.
2. The special use be approved only if the applicant agrees to submit Plans for Occupancy to the Willowbrook Building Department.
3. The special use shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval; of the special use by the Village Board.

ROLL CALL: AYES: Commissioners Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp; NAYS: None. ABSENT: Commissioner Lacayo.

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

Village Administrator

Tim Halik

Chief of Police

Mark Shelton

Director of Finance

Carrie Dittman



Proud Member of the
Illinois Route 66 Scenic Byway

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

Board Meeting Date: 06/13/2016
Prepared By: Tiffany Kolodziej, Administrative Intern
Case Number and Title: PC 16-06:/Taste of Sham (*expected name, subject to change)

Petitioner: Omar Dweydari

Action Requested: Special use for a restaurant

Location: Willowbrook Plaza Shopping Center (Formerly Wingren Plaza)
858 75th Street
Unit 858
Northeast corner of 75th Street and Kingery Hwy

PINs: 09-26-202-014

Existing Zoning: B-2

Existing Land Use: Mixed Use Retail/Office Space

Property Size: Approximately 3.6 acres

Surrounding Land Use:	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Bakers Square	B-4
<i>South</i>	Gas Station & Multi-Tenant Industrial	B-2 & M-1
<i>East</i>	Vacant	M-1
<i>West</i>	Patio Retail Center	B-2

Documents Attached:
EXHIBIT 1 "Willowbrook Plaza Plat"
EXHIBIT 2 "Example Pictures"
EXHIBIT 3 "Parking Analysis"

Necessary Action by Village Board: Receive Plan Commission recommendation.

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

Site Description: The Willowbrook Plaza shopping center is located on the northeast corner of 75th and Route 83 on property containing about 3.6 acres. There is 51,350 square feet of gross leasable space within the shopping center building; the site contains approximately 207 parking spaces, with 166 spaces in the west parking lot and 41 spaces along the east parking lot.



History and Proposal: The applicant, with the property owner's permission, is requesting approval of a special use to allow a 1,504 square foot fast-casual food restaurant (expected name: Taste of Sham) to operate in tenant space 858 in the Willowbrook Plaza Shopping Center. **SEE EXHIBIT 1.** This unit is one of the vacant spaces on the west end of the property, with a front entrance facing 75th street.

Prospective owners Omar Dweydari and Feras Nassif have had over 23 years of experience as chefs in various restaurants including Mr. Dweydari's previous ownership of the Pita Kabbab House in Norridge, IL. The owners' plan is to create a "carry out" restaurant as well as a dine-in establishment that will most resemble "fast-casual"; their business model is expected to be similar to Chipotle restaurants.

The fast-casual restaurant is expected to serve Mediterranean foodstuffs, with menu items influenced by the region between Syria and Lebanon. Menu items would include customizable meals of falafel, hummus, shawarma, etc. Customers are presented with a mixture of pre-made and ready-to-order items in which they will select to place on their

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

plate. Similar restaurants to this proposed establishment include: Damascus Falafel (S of I-55, Rt. 83), I Dream of Falafel (N of 22nd St, Oakbrook), and even the Chipotle Restaurant Chain in terms of their food-ordering system. **SEE EXHIBIT 2.**

**Note that in EXHIBIT 2:*

1. The picture at the top left of the page is unit 858 in its current condition. *Picture dated: 5/12/16.*
2. While the applicant states that no demolition work is expected, no interior layout plans have been submitted by the applicant; **the Plan Commission should require that the applicant submit Plans for Occupancy to the Willowbrook Building Department prior to making a recommendation to the Village Board.**
3. Other included pictures show comparable foodstuffs that the proposed business plans to sell, as well as comparable interior layouts.

Expected hours of operation will be Monday through Sunday, 11AM-9PM. The owners expect to employ a total of 2 full-time staff members as well as 2 part-time staff members. The owners expect that only 2 employees will be present at any given time (1 full-time member and 1 part-time staff member).

Staff Analysis:

Parking

The West side shopping center along 75th street and Kingery Hwy has a reported total of 166 total parking spaces. Currently, the occupied tenant spaces utilize a sizeable portion of the parking lot for their customers/clients. **SEE EXHIBIT 3.**

**Note that in EXHIBIT 3:*

1. Items in the parking analysis that may cause concern are marked in bold.
2. Included picture shows expected parking lot usage during normal operating hours. *Picture taken at 10:45am on 5/12/16.*

Willowbrook off-street parking requirements calculate the minimum available parking for a restaurant use as such: one (1) available parking space per every one hundred (100) square feet of restaurant floor space. Therefore, the proposed 1,504 square foot business will require 15 parking spaces. Adding to the current requirement of parking spaces for all of Willowbrook Plaza's currently occupied units, the proposed business will raise the current required number of spaces to 138.

In terms of the vacant tenant spaces, depending on if the Plaza reaches full occupancy in the coming future, required parking will max-out beyond the plaza's capacity. **SEE EXHIBIT 3: "Total Parking Vacant & Occupied."**

To further concerns, if unit 900 (the old bank) were to become a restaurant as past interests have incurred, that establishment alone would require 63 parking spaces instead of its current 13 spaces as a bank. Nevertheless, these parking requirements are merely hypothetical at this stage. As Willowbrook Plaza stands today, it does not have full occupancy and the bank does not have current plans to be converted into a restaurant. Therefore, the proposed restaurant use for unit 858 is not expected to be detrimental to the overall parking situation as it stands today.

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

Appropriateness of Use:

The shopping center is zoned B-2, Community Shopping District. While this zoning district includes sixty-two (62) listed "Permitted Uses", only ten (10) of them are for non-retail types of uses. In other words, the B-2 District is intended primarily to provide retail shopping opportunities for the community. With the exception of Papa John's and Men's Warehouse, this center has become a service oriented commercial center. While these uses do not help support the local sales tax which Willowbrook relies on, it may be unrealistic at this point to assume that most retailers would find the space suitable. This location in particular, as a unique restaurant whose store front will face both 75th street and Kingery Hwy will generate a places of eating tax revenue for Willowbrook. 11-8-2 of the Willowbrook Village Code signifies that the Village will generate 1% of a restaurant's gross receipts. The proposed restaurant does not intend to sell alcohol.

Utilities:

The proposed use will not alter the approved utility service plan.

Landscaping:

The proposed use will not alter the approved landscape plan, however it is noted that the center is not currently in compliance with its previously approved landscape plan. Staff will work with the management company to correct this situation as the center continues to be leased out. This includes shrubbery in the center islands of the West lot.

Wetland/Stormwater Management: The proposed use will not alter the approved storm water management plan.

Standards:

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use. A list of the special use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: A 1,504 square foot restaurant in space number 858 will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare if approved with recommended conditions.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The location will fill a vacancy in the shopping center that will increase property values. It plans to sell foodstuffs that is unique to the area and will promote greater variety in Willowbrook's places of eating.

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

(C) That the establishment of the restaurant will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed restaurant will not impede on the normality of the development. It is suspected to add to it.

(D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The shopping center is already provided with existing utilities, access roads, drainage and other facilities.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: No extraneous measures related to this prospective restaurant should be needed to improve traffic congestion within the area.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use itself conforms to all other applicable regulations of the district in which it is located.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Finding: This applicant has not requested approval in the past to locate in this shopping center.

Plan Commission Public Hearing:

The Plan Commission conducted a public hearing for this petition at their regular May 18th, 2016 meeting. The following Plan Commission members were in attendance at that meeting:

Chairman Kopp, Vice Chairman Wagner, and members Soukup, Kaucky, Ruffolo, and Remkus.

The petitioner provided an overview of the project.

There was no one from the public that wished to comment on this petition.

The Plan Commission commented that the use would be a welcome addition to the center.

The following motion by Remkus was seconded by Soukup unanimously approved by a roll call vote of the members present:

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE VILLAGE BOARD

Based on the submitted petition and testimony presented, the special use for a 1,504 square foot commercial school in space 858 in the Willowbrook Plaza Shopping Center for Taste of Sham meets the standards for a special use as outlined in the staff report prepared for the May 18th, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-06 subject to the following conditions:

1. The special use granted herein only applies to the 1,504 square foot space in Unit 858.
2. The special use be approved only if the applicant agrees to submit Plans for Occupancy to the Willowbrook Building Department.
3. The special use shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval of the special use by the Village Board.

Staff Recommendation:

The proposed restaurant use in this location will help fill a vacancy and bring additional life to the shopping center. Additionally, it will not generate any negative impacts on the center due to its irregularity with other services within immediate vicinity. Staff supports the requested use and recommends the Village Board approve the Plan Commission recommendation.



Property Solutions Group

Brokerage | Management | Development

EXHIBIT 1

Willowbrook Plaza

NEC 75th and Kingery Hwy
Willowbrook, IL 60521

312-262-1400

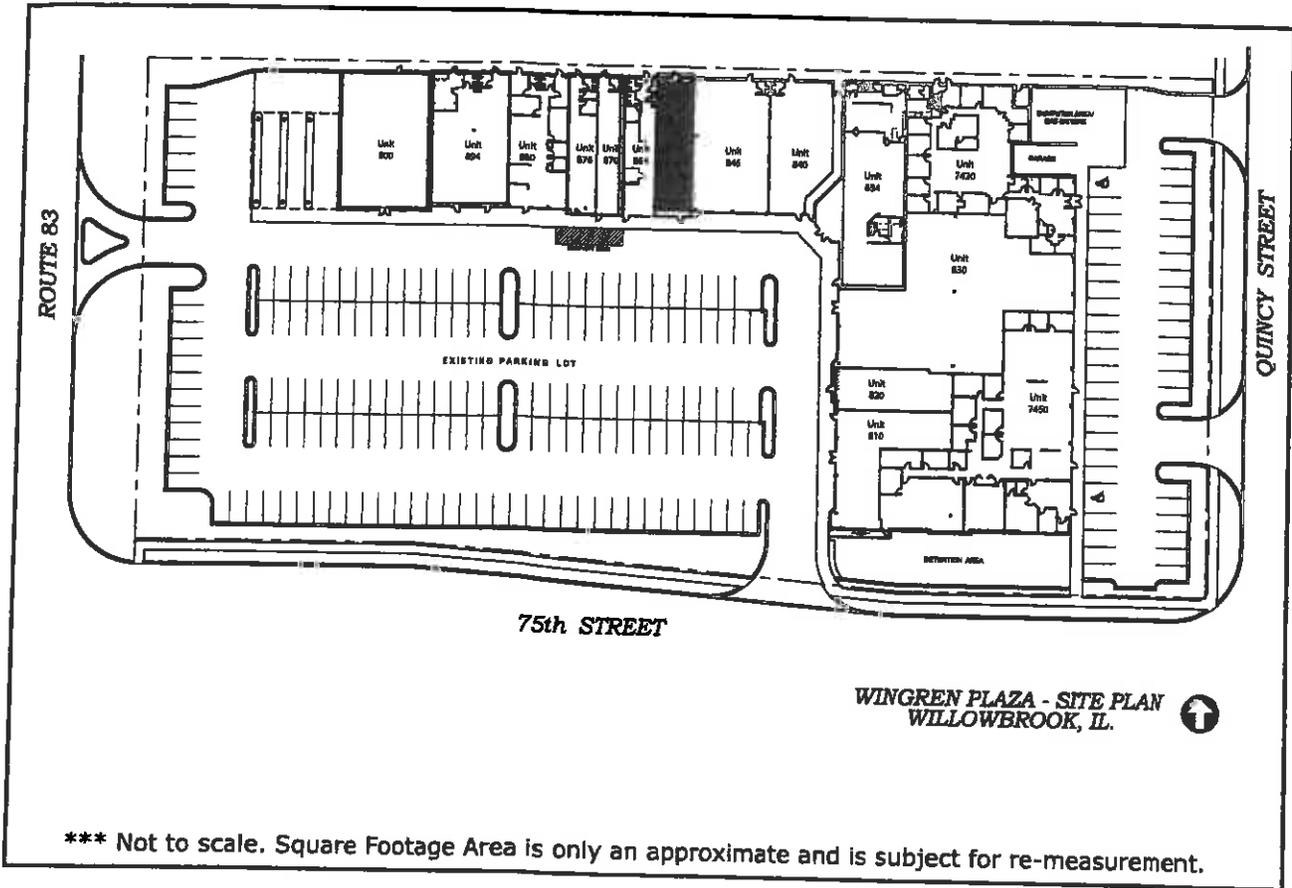


Table 1

UNIT	TENANT	SIZE
900	Bank Buildout Available Drive Thru Area Available	3,943 2,320
894	Orange Theory	3,063
880	Chiropractor	2,274
876	Tutoring Center	1,110
870	Available	1,125
864	Papa John's Pizza	1,300
846	Salon Suites	3,101

UNIT	TENANT	SIZE
840	Pilates Studio	2,235
834	Nail and Day Spa	4,600
830	FEDEX Kinko's	7,260
7420	Available	5,061
820	Men's Warehouse	1,260
810	ATT	2,904
7450	Available	8,290
TOTAL SQUARE FEET		51,350

Property Solutions Group LLC is a licensed Illinois Real Estate Company with Roxanne Gardner as the Managing Broker. Property Solutions Group LLC fully supports the principles of the Fair Housing Act (Title VIII of the Civil Rights Act of 1968) and Article 3 of the Illinois Human Rights Act, as amended, which generally prohibits discrimination against protected classes of people in the sale, rental, and financing of real estate. To the best of our knowledge, the information contained in this Marketing Brochure is accurate; however, we make no guarantee, warranty or representation regarding the accuracy of its contents. It is your responsibility to independently confirm its accuracy and completeness. Any projections, opinions, assumptions, or estimates used are for example only and do not represent the current or future performance of the property. The value of this transaction to you depends on tax and other factors which should be evaluated by your tax, financial, and legal advisors. You and your advisors should conduct a careful, independent investigation of the property to determine to your satisfaction the suitability of the property for your needs. Not to scale. Document Dated November 17, 2015



EXHIBIT 2



EXHIBIT 3

Willowbrook Plaza- 75th and Kingery	
<u>WEST LOT:</u>	166 spaces
<u>EAST LOT:</u>	41 spaces
<u>TOTAL:</u>	207 spaces



TENANT	UNIT	SQUARE FEET	PARKING CALC.	REQUIRED PARKING
Vacant	900	3943	<u>Bank:</u> 1 per every 300ft2	13
Orange Theory	894	3063	<u>Other:</u> 1 per every 250ft2	12
Chiropractor	880	2274	<u>Other:</u> 1 per every 250ft2	9
Tutoring Center	876	1110	<u>Other:</u> 1 per every 250ft2	4
Vacant	870	1125	<u>Other:</u> 1 per every 250ft2	5
Papa Johns	864	1300	<u>Restaurant:</u> 1 per every 100ft2	13
SUBJECT UNIT	858	1504	<u>Restaurant:</u> 1 per every 100ft2	15
Salon Sites	846	3101	<u>Other:</u> 1 per every 250ft2	12
Pilates Studio	840	2235	<u>Other:</u> 1 per every 250ft2	9
Nail Heaven Day Spa	834	4600	<u>Other:</u> 1 per every 250ft2	18
Fedex	830	7260	<u>Other:</u> 1 per every 250ft2	29
Mens Wearhouse	820	1260	<u>Other:</u> 1 per every 250ft2	5
ATT	810	2904	<u>Other:</u> 1 per every 250ft2	12
Vacant	7450	8290	<u>Other:</u> 1 per every 250ft2	33
Vacant	7420	5061	<u>Other:</u> 1 per every 250ft2	20
			Total Parking Vacant & Occupied:	209
			Total Parking Occupied only:	138

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE: RECEIVE PLAN COMMISSION RECOMMENDATION: PC 16-08: 7510 S. MADISON – MORGAN HARBOUR HEADQUARTERS VARIATIONS	AGENDA NO. 5g AGENDA DATE: 06/13/16
--	--

STAFF REVIEW: Anna Franco, Planning Consultant	SIGNATURE: 
LEGAL REVIEW: Tom Bastian	SIGNATURE: 
RECOMMENDED BY VILLAGE ADMIN.:	SIGNATURE: 
REVIEWED & APPROVED BY COMMITTEE:	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A <input type="checkbox"/>

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The site is currently improved with a single story 22,102 square foot brick office & warehouse building on a 0.897 acre site. A 22 space parking lot is located on the north side of the building, and a 25' wide loading dock area is located on the east side of the building, both with access from South Madison Street. Medco, a tool and equipment wholesaler, currently occupies the space. Morgan Harbour Construction, a full-service design/build general contractor and construction manager, proposes to locate their headquarters at the property, pending approval by the Village of improvements, so that the property may meet Morgan Harbour's business needs.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

In an effort to modify the existing property to fit their needs, the applicant wishes to make building alterations and site improvements to the property located at 7510 S. Madison Street. The modifications would include removing 3,555 square feet of the existing building in order to provide an additional 12 parking spaces on property, creating a total of thirty-four (34) spaces on the subject property. The proposed building area would be +/- 18,550 square feet, with a floor area ratio (FAR) of 0.47 for the property. Approximately 9,000 square feet of the building would be dedicated to office related uses and approximately 9,550 dedicated to warehouse related uses. Loading for the building would be provided by two (2) dock doors located in the existing loading area and one (1) drive-in door located on the north side of the building.

Other improvements include making minor entrance and ADA improvements to the front of the existing building, making necessary access improvements, pavement repairs and resurfacing to the existing parking lot, and adding storm sewer.

The Plan Commission recommended approval of the requested relief and staff recommends approval of the attached ordinance.

ACTION PROPOSED:
Receive Plan Commission Recommendation



EST. 1960

Willowbrook

835 Midway Drive
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

Mayor

Frank A. Trilla

Village Clerk

Leroy R. Hansen

Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Misteale

Gayle Neal

Paul Oggerino

Village Administrator

Tim Halik

Chief of Police

Mark Shelton

Director of Finance

Carrie Dittman

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Daniel Kopp, Chairman, Plan Commission

DATE: June 8, 2016

SUBJECT: Zoning Hearing Case 16-08: 7510 S. Madison Street, Morgan Harbour Construction, LLC. Consideration of a petition for variations from Title 9 of the Village Code to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking on Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza in the M-1 Zoning District.

At the special meeting of the Plan Commission held on June 8, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Kaucky seconded by Ruffolo that based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.



Proud Member of the
Illinois Route 66 Scenic Byway

ROLL CALL: AYES: Commissioners Lacayo, Kaucky, Ruffolo, and Chairman Kopp; NAYS: None. ABSENT: Commissioner Remkus, Soukup and Vice-Chairman Wagner.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp



Village of Willowbrook Staff Report to the Village Board

Village Board:

Receive & Remand June 13, 2016
Ordinance Consideration June 13, 2016

Plan Commission Hearing Date: June 8, 2016
Plan Commission Meeting Date: June 8, 2016

Prepared By: Anna Franco, Planning Consultant

Case Title: 16-08: Morgan Harbour Construction, LLC Headquarters, 7510 S. Madison Street

Petitioner: Morgan Harbour Construction, LLC, 10204 Werch Drive, Suite 301, Woodridge, Illinois 60517

Action Requested by Applicant: Approval of variations from Title 9 of the Village Code to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking on Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza in the M-1 Zoning District.

Location: West side of Madison Street between Tameling Landscape Supply and Marquardt Printing Co.

PIN: West

Existing Zoning: M-1 Light Manufacturing

Existing Land Use: Office and Warehouse

Property Size: 0.897 Acres

Surrounding Land Use:	Use	Zoning
North	Tameling Landscape Supply	M-1 Light Manufacturing
South	Marquardt Printing Co.	M-1 Light Manufacturing
East	S. Madison Street	S. Madison Street
West	Hygieneering	OR Office Research

Necessary Action by Plan Commission: June 13, 2016: Receive Plan Commission recommendation AND consideration of attached Ordinance.



Summary of Variances Requested

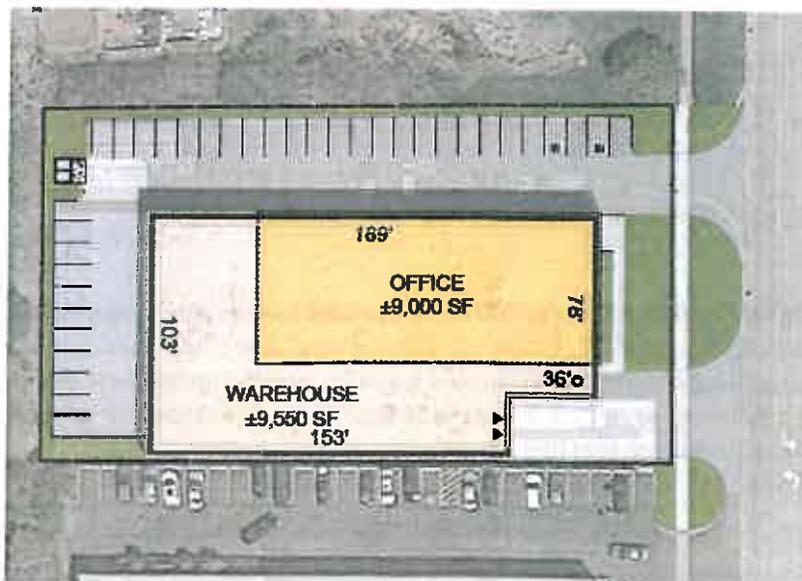
The purpose of this public hearing is to consider a petition requesting approval of variations to allow a building alteration to the existing principal structure to reduce the size of the building and increase parking. The variations are as follows:

1. Variation from section 9-16-2 to authorize an alteration to a non-conforming building to reduce the building in order to provide more parking, while maintaining setbacks from the south and east property line.
2. Variance from section 9-10-5(G) to reduce the required minimum pavement setback from the west (rear) and north (interior side) property lines from ten feet (10') to 4.55 and 4.97' respectively.
3. Variance from section 9-10-5(G) to reduce the required minimum intermediate parking island south of the dumpster enclosure from nine feet (9') to 6.83'.
4. Variance from section 9-14-2.23 (3)d to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').
5. Variance from section 9-10-5(K) to reduce the number of required parking stalls from forty-seven (47) to thirty-four (34) spaces.
6. Variance from section 9-10-5(G) to reduce the height of peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans.

Staff Analysis

Building Use Breakdown

The applicant wishes to modify the existing building at 7510 S. Madison Street to allow for additional parking on the subject site. The modification would include removing 3,555 square feet of existing building in order to provide 11 parking spaces on the west side of the property. The proposed building area would be +/- 18,550 square feet, with a floor area ratio (FAR) of 0.47. Approximately 9,000 square feet of the building would be dedicated to office related uses and approximately 9,550 dedicated to warehouse related uses. Loading for the building would be provided by two (2) dock doors located in the existing loading area and one (1) drive-in door located on the north side of the building.



Building Alterations

The existing building currently does not conform to the required M-1 zoning district front and interior side yard setbacks. Rather than require a variance to reduce the front and interior side yard setbacks, staff recommends that a variation to 9-16-2 to authorize an alteration to a non-conforming building be requested. This will contain the variance to this application and will not modify the yard setbacks for future development proposals on the subject property.



Bulk Requirements

The property is zoned M-1. A detailed discussion of important bulk exceptions and variations is provided below.

1. **Height.** The maximum height of a building in the M-1 district is 40'. As a one story building, there are no concerns that the height will comply with this standard. The building height will remain unchanged after building alterations.
2. **Building Setbacks.** The required and proposed minimum setbacks are shown in *Table 1* below. The existing building is currently not in conformance with the Village's required M-1 District front, interior side, and rear yard setback requirements. Alteration to the building's footprint will allow the building to be in compliance with the M-1 rear yard requirement. Relief from the front and south property lines are being requested.

Table 1

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance
Front	From Madison Street	Min. 40'	Min. 29.60	none (2)
Interior Side	From Marquardt Printing Co.	Min. 20'	Min. 1.25'	none (2)
Interior Side	From Tameling Landscape Supply	Min. 20'	Min. 43.61'	none
Rear	From Hygieneering	Min. 20'	Min. 44.57	none

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.
 (2) Addressed as an existing non-conforming building.

3. **Pavement Setbacks.** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The required and proposed minimum setbacks are shown in *Table 2* below.

Table 2

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance	Description
Front	From Madison Street	Min. 15	Min. 17.13	no	n/a
Interior Side	From Marquardt Printing Co.	Min. 10	Min. 10	no	n/a
Interior Side	From Tameling Landscape Supply	Min. 10	Min. 4.97	yes	For parking north of the building
Rear	From Hygieneering	Min. 10	Min. 4.55	yes	For parking west of the building

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.

4. **Foundation Setbacks.** The Zoning Ordinance requires a minimum foundation landscape area of seven feet (7') per section 9-14-2.23 (3)d. Staff is applying this standard to the west side of the building since it is the only portion of the building being altered. Due to limited space for parking on the west side of the property, a variance is being requested to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').



Parking

The property currently provides twenty-two (22) existing parking spaces. The proposed building alterations and site improvements would allow for thirty-four (34) parking spaces, two (2) of which would be accessible spaces. According to the code, forty-seven (47) parking spaces are required on the site. The applicant is requesting a variance to reduce the required parking to 34 parking spaces. Staff believes the applicant will provide testimony based on employment levels to support this parking variation. Please see the parking breakdown below in *Table 3*:

Table 3

Use	Square Footage	Code Requirement	Required	Proposed	Variance
Office	+/- 9,000 sf	1 space for each 225 sf of floor area	40 spaces		
Warehouse	+/- 9,550 sf	4 spaces plus 1 space for each 1,500 sf of floor area over 4,500 sf	7 spaces	34 spaces	yes

Landscaping

The applicant has requested a variance to decrease the rear pavement setback to 4.55' to allow for parking on the west side of the principal building. While the applicant has supplied landscaping in this rear setback, the landscaping height does not meet the five foot (5') peripheral planting screening height required per section 9-10-5 (G) 2 of the Village Zoning Code. A variance is required to decrease the planting peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans. Staff supports the requested variance as the subject property faces existing vegetation and grass on the property adjacent to the west. Staff sees no reason to screen from these existing features.

Utilities

The property is served by an existing water main located along the north and east property lines and sanitary that is along the Madison Street right-of-way. Existing storm sewer is located just south of the site on the Marquardt Printing Co. property and along the eastern side of the subject property. Please see page five (5) of *Attachment (1)*, Engineering Improvement Plans, for additional detail. The applicant proposes to extend the existing stormwater and add an inlet for drainage on the west side of the lot where new parking is located. Staff supports the proposed storm sewer improvements.

Elevations & Façade Improvements

Color elevation drawings are provided for the principal building on the property (*Attachment (4)* Architectural Elevations). A color rendering is provided illustrating the proposed building improvements from Madison Street as well as color elevations of the north and east sides of the building. The applicant is maintaining the existing brick exterior but adding the following to the building façade:

- Storefront glazing system and lintel for exterior windows
- A canopy above the building main entrance
- A red vertical identification fin just south of the main entrance
- A backlit metal sign (discussed below) above the main entrance
- A storefront entry/door
- New glass overhead door on the north side of the building
- New overhead door on the north side of the building



Signage

*Attachment (4), Architectural Elevations, and Attachment (5), Sign Details, provide detail on the placement of the wall sign on the enhanced façade. While the applicant will be complying with the wall sign square footage requirement of the Zoning Ordinance (One (1) square foot for each one (1) foot of frontage up to a maximum of a hundred (100) square feet), the exhibits indicate where on the façade the signage will be located and what materials, colors, and illumination style will be used. Please note that halo illumination will be used for the proposed sign. An example a halo sign is provided in *Exhibit 1* below. Staff supports the signage as requested.*

Exhibit 2 (Crate & Barrel in Geneva, IL)



Photometrics

The photometric plans submitted for review by the engineering are complete and in compliance with the Village code.

Wetland/Stormwater Management

The Village engineering requested that the applicant provide evidence that the subject property and propose disturbances are below the threshold to trigger a stormwater permit (per the requirements of the DuPage County Stormwater Ordinance). In response, the applicant provided the following:

With respect to this development, this development does not require a permit based on the requirements below:

- a) 15-30.A.1 On a Development Site that does not include Flood Plain, Wetlands or Buffers;
Response: No Floodplain, wetlands, or buffers are located onsite. The DuPage
- b) 15-30.A.2 The Development does not add 2,500 square feet or more of Net New Impervious Area compared to the pre-Development conditions.
Response: The development includes 624 square feet of net new impervious area.
- c) 15-30.A.3 Does not include 5,000 square feet or more of land disturbing activities.
Response: The development includes 930 square feet of disturbed area.



Standards

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provide in *Attachment (6)*. A list of the variance standards is provided below, along with the proposed findings to be incorporate in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The subject property is currently non-conforming with regards to the building and parking setbacks. The proposed variances will allow the rear building setback to be improved and will provide ample off-street parking for the intended use. Currently, the property does not provide the parking count that users in the marketplace desire or need.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed improvements will increase the amount of off-street parking and increase the rear building setback. The rear parking setback variance will be required, but will be an improvement from the current non-conforming building layout. These improvements are needed to attract a long term owner-occupied user.

In addition, the western portion of the building that is proposed to be removed will eliminate one (1) structural bay. In order to meet the current setback requirements, an additional entire bay would need to be removed back to the next structural column line thus making the building area too small to be feasible for our use.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The applicant has no current proprietary interest in the property.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The improvements will increase open air space along the rear property line and enhance landscaping.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed improvements will increase supply of natural light and air to the adjacent property by pulling the building back from the property line.



(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variation is in keeping with the essential character of the locality by maintaining the original masonry aesthetics and enhancing landscaping.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variation allows a less than ideal property to be marketed to a long term owner-occupied user and will not negatively impact the neighboring properties.

Staff Recommendation

Staff supports the relief to allow the proposed building alterations and site improvements. The site meets the intended use of the M-1 district and encourages business development in the Village of Willowbrook.

Motion

The following sample motion was provided in the staff report for the Plan Commission.

Based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

The following motion made by Kaucky was seconded by Ruffolo and approved unanimous 4-0 roll call vote of the members present:

Based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

The attached ordinance is consistent with the Plan Commission's recommendation.



Village of Willowbrook Staff Report to the Village Board

Village Board:

Receive & Remand June 13, 2016
Ordinance Consideration June 13, 2016

Plan Commission Hearing Date: June 8, 2016

Plan Commission Meeting Date: June 8, 2016

Prepared By: Anna Franco, Planning Consultant

Case Title: 16-08: Morgan Harbour Construction, LLC Headquarters, 7510 S. Madison Street

Petitioner: Morgan Harbour Construction, LLC, 10204 Werch Drive, Suite 301, Woodridge, Illinois 60517

Action Requested by Applicant: Approval of variations from Title 9 of the Village Code to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking on Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza in the M-1 Zoning District.

Location: West side of Madison Street between Tameling Landscape Supply and Marquardt Printing Co.

PIN: West

Existing Zoning: M-1 Light Manufacturing

Existing Land Use: Office and Warehouse

Property Size: 0.897 Acres

Surrounding Land Use:	Use	Zoning
North	Tameling Landscape Supply	M-1 Light Manufacturing
South	Marquardt Printing Co.	M-1 Light Manufacturing
East	S. Madison Street	S. Madison Street
West	Hygieneering	OR Office Research

Necessary Action by Plan Commission: June 13, 2016: Receive Plan Commission recommendation AND consideration of attached Ordinance.



Site Description:

The property is located on the west side of Madison Street, and is bordered by Tameling Landscape Supply to the north, Hygieneering to the west, and Marquardt Printing Co to the south. The site is a total 0.897 acres and contains an existing building currently used for office and manufacturing, with a loading area, and twenty-two (22) existing parking spaces. The property has a lot depth of 263 feet, with 150 feet of frontage along Madison Street. The existing building has an existing footprint of +/- 22,106 square feet.

Exhibit 1 (Site Location)



Development Proposal

The applicant wishes to make building alterations and site improvements to the property located at 7510 S. Madison Street. This would include making minor entrance and ADA improvements to the front of the existing building, removing part of the rear of the building to accommodate additional parking, making necessary access improvements, pavement repairs and resurfacing to existing parking lot, and adding storm sewer.

The building would be used as the headquarters for the applicant, Morgan Harbour Construction, LLC. Morgan Harbour Construction, LLC is a full-service design/build general contractor and construction manager originally focused on tenant improvements and ground-up construction. Their portfolio includes an impressive list of projects including LEED certified properties, office, healthcare, distribution/warehousing, manufacturing, aviation and sports entertainment, mainly located in the Chicago area and Northwest Indiana.



Summary of Variances Requested

The purpose of this public hearing is to consider a petition requesting approval of variations to allow a building alteration to the existing principal structure to reduce the size of the building and increase parking. The variations are as follows:

1. Variation from section 9-16-2 to authorize an alteration to a non-conforming building to reduce the building in order to provide more parking, while maintaining setbacks from the south and east property line.
2. Variance from section 9-10-5(G) to reduce the required minimum pavement setback from the west (rear) and north (interior side) property lines from ten feet (10') to 4.55 and 4.97' respectively.
3. Variance from section 9-10-5(G) to reduce the required minimum intermediate parking island south of the dumpster enclosure from nine feet (9') to 6.83'.
4. Variance from section 9-14-2.23 (3)d to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').
5. Variance from section 9-10-5(K) to reduce the number of required parking stalls from forty-seven (47) to thirty-four (34) spaces.
6. Variance from section 9-10-5(G) to reduce the height of peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans.

Staff Analysis

Building Use Breakdown

The applicant wishes to modify the existing building at 7510 S. Madison Street to allow for additional parking on the subject site. The modification would include removing 3,555 square feet of existing building in order to provide 11 parking spaces on the west side of the property. The proposed building area would be +/- 18,550 square feet, with a floor area ratio (FAR) of 0.47. Approximately 9,000 square feet of the building would be dedicated to office related uses and approximately 9,550 dedicated to warehouse related uses. Loading for the building would be provided by two (2) dock doors located in the existing loading area and one (1) drive-in door located on the north side of the building.



Building Alterations

The existing building currently does not conform to the required M-1 zoning district front and interior side yard setbacks. Rather than require a variance to reduce the front and interior side yard setbacks, staff recommends that a variation to 9-16-2 to authorize an alteration to a non-conforming building be requested. This will contain the variance to this application and will not modify the yard setbacks for future development proposals on the subject property.



Bulk Requirements

The property is zoned M-1. A detailed discussion of important bulk exceptions and variations is provided below.

1. **Height.** The maximum height of a building in the M-1 district is 40'. As a one story building, there are no concerns that the height will comply with this standard. The building height will remain unchanged after building alterations.
2. **Building Setbacks.** The required and proposed minimum setbacks are shown in *Table 1* below. The existing building is currently not in conformance with the Village's required M-1 District front, interior side, and rear yard setback requirements. Alteration to the building's footprint will allow the building to be in compliance with the M-1 rear yard requirement. Relief from the front and south property lines are being requested.

Table 1

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance
Front	From Madison Street	Min. 40'	Min. 29.60	none (2)
Interior Side	From Marquardt Printing Co.	Min. 20'	Min. 1.25'	none (2)
Interior Side	From Tameling Landscape Supply	Min. 20'	Min. 43.61'	none
Rear	From Hygieneering	Min. 20'	Min. 44.57	none

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.
 (2) Addressed as an existing non-conforming building.

3. **Pavement Setbacks.** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The required and proposed minimum setbacks are shown in *Table 2* below.

Table 2

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance	Description
Front	From Madison Street	Min. 15	Min. 17.13	no	n/a
Interior Side	From Marquardt Printing Co.	Min. 10	Min. 10	no	n/a
Interior Side	From Tameling Landscape Supply	Min. 10	Min. 4.97	yes	For parking north of the building
Rear	From Hygieneering	Min. 10	Min. 4.55	yes	For parking west of the building

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.

4. **Foundation Setbacks.** The Zoning Ordinance requires a minimum foundation landscape area of seven feet (7') per section 9-14-2.23 (3)d. Staff is applying this standard to the west side of the building since it is the only portion of the building being altered. Due to limited space for parking on the west side of the property, a variance is being requested to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').



Parking

The property currently provides twenty-two (22) existing parking spaces. The proposed building alterations and site improvements would allow for thirty-four (34) parking spaces, two (2) of which would be accessible spaces. According to the code, forty-seven (47) parking spaces are required on the site. The applicant is requesting a variance to reduce the required parking to 34 parking spaces. Staff believes the applicant will provide testimony based on employment levels to support this parking variation. Please see the parking breakdown below in *Table 3*:

Table 3

Use	Square Footage	Code Requirement	Required	Proposed	Variance
Office	+/- 9,000 sf	1 space for each 225 sf of floor area	40 spaces		
Warehouse	+/- 9,550 sf	4 spaces plus 1 space for each 1,500 sf of floor area over 4,500 sf	7 spaces	34 spaces	yes

Landscaping

The applicant has requested a variance to decrease the rear pavement setback to 4.55' to allow for parking on the west side of the principal building. While the applicant has supplied landscaping in this rear setback, the landscaping height does not meet the five foot (5') peripheral planting screening height required per section 9-10-5 (G) 2 of the Village Zoning Code. A variance is required to decrease the planting peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans. Staff supports the requested variance as the subject property faces existing vegetation and grass on the property adjacent to the west. Staff sees no reason to screen from these existing features.

Utilities

The property is served by an existing water main located along the north and east property lines and sanitary that is along the Madison Street right-of-way. Existing storm sewer is located just south of the site on the Marquardt Printing Co. property and along the eastern side of the subject property. Please see page five (5) of *Attachment (1)*, Engineering Improvement Plans, for additional detail. The applicant proposes to extend the existing stormwater and add an inlet for drainage on the west side of the lot where new parking is located. Staff supports the proposed storm sewer improvements.

Elevations & Façade Improvements

Color elevation drawings are provided for the principal building on the property (*Attachment (4)* Architectural Elevations). A color rendering is provided illustrating the proposed building improvements from Madison Street as well as color elevations of the north and east sides of the building. The applicant is maintaining the existing brick exterior but adding the following to the building façade:

- Storefront glazing system and lintel for exterior windows
- A canopy above the building main entrance
- A red vertical identification fin just south of the main entrance
- A backlit metal sign (discussed below) above the main entrance
- A storefront entry/door
- New glass overhead door on the north side of the building
- New overhead door on the north side of the building



Signage

Attachment (4), Architectural Elevations, and *Attachment (5)*, Sign Details, provide detail on the placement of the wall sign on the enhanced façade. While the applicant will be complying with the wall sign square footage requirement of the Zoning Ordinance (One (1) square foot for each one (1) foot of frontage up to a maximum of a hundred (100) square feet), the exhibits indicate where on the façade the signage will be located and what materials, colors, and illumination style will be used. Please note that halo illumination will be used for the proposed sign. An example a halo sign is provided in *Exhibit 1* below. Staff supports the signage as requested.

Exhibit 2 (Crate & Barrel in Geneva, IL)



Photometrics

The photometric plans submitted for review by the engineering are complete and in compliance with the Village code.

Wetland/Stormwater Management

The Village engineering requested that the applicant provide evidence that the subject property and propose disturbances are below the threshold to trigger a stormwater permit (per the requirements of the DuPage County Stormwater Ordinance). In response, the applicant provided the following:

With respect to this development, this development does not require a permit based on the requirements below:

- a) 15-30.A.1 On a Development Site that does not include Flood Plain, Wetlands or Buffers;
Response: No Floodplain, wetlands, or buffers are located onsite. The DuPage
- b) 15-30.A.2 The Development does not add 2,500 square feet or more of Net New Impervious Area compared to the pre-Development conditions.
Response: The development includes 624 square feet of net new impervious area.
- c) 15-30.A.3 Does not include 5,000 square feet or more of land disturbing activities.
Response: The development includes 930 square feet of disturbed area.



Standards

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provide in *Attachment (5)*. A list of the variance standards is provided below, along with the proposed findings to be incorporate in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The subject property is currently non-conforming with regards to the building and parking setbacks. The proposed variances will allow the rear building setback to be improved and will provide ample off-street parking for the intended use. Currently, the property does not provide the parking count that users in the marketplace desire or need.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed improvements will increase the amount of off-street parking and increase the rear building setback. The rear parking setback variance will be required, but will be an improvement from the current non-conforming building layout. These improvements are needed to attract a long term owner-occupied user.

In addition, the western portion of the building that is proposed to be removed will eliminate one (1) structural bay. In order to meet the current setback requirements, an additional entire bay would need to be removed back to the next structural column line thus making the building area too small to be feasible for our use.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The applicant has no current proprietary interest in the property.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The improvements will increase open air space along the rear property line and enhance landscaping.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed improvements will increase supply of natural light and air to the adjacent property by pulling the building back from the property line.



(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variation is in keeping with the essential character of the locality by maintaining the original masonry aesthetics and enhancing landscaping.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variation allows a less than ideal property to be marketed to a long term owner-occupied user and will not negatively impact the neighboring properties.

Staff Recommendation

Staff supports the relief to allow the proposed building alterations and site improvements. The site meets the intended use of the M-1 district and encourages business development in the Village of Willowbrook.

Motion

The following sample motion was provided in the staff report for the Plan Commission.

Based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

The following motion made by Kaucky was seconded by Ruffolo and approved unanimous 4-0 roll call vote of the members present:

Based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

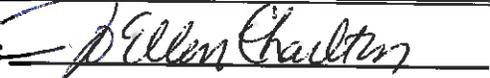
The attached ordinance is consistent with the Plan Commission's recommendation.

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE:

Ordinance Granting a Special Use for Planned Unit Development, including approval of Preliminary Plat of PUD, granting certain waivers from the Zoning Ordinance, granting certain variations from the Subdivision regulations, granting approval of a Preliminary Plat of Subdivision, and related matters.
Public Hearing 16-04: 6256 Clarendon Hills Road/Pulte on Arabian Knights Horse Farm

AGENDA NO.**6****AGENDA DATE:** 6-13-16**STAFF REVIEW:** Jo Ellen Charlton, Planning Consultant**SIGNATURE:****LEGAL REVIEW:** Tom Bastian, Village Attorney**SIGNATURE:****RECOMMENDED BY:** Tim Halik, Village Administrator**SIGNATURE:****REVIEWED & APPROVED BY COMMITTEE:**YES NO N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The Village Board received the Plan Commission's recommendation and full staff report at the regular May 23, 2016 meeting.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Unlike many PUDs approved by the Village, this project is moving forward with approval of only a Preliminary PUD and plat at this time. This approval grants the zoning approval, but requires the applicant to come back with final (more detailed) plans for review by the Plan Commission and approval by the Village Board. While these are public meetings where the public can comment, there is no "public hearing" required so residents do not receive notices about the meeting. This later review process requires the Village's approval of the plans if they are in "substantial compliance" with the approved preliminary plan, which is what the Board is voting on tonight. This makes it very important that the Board address everything deemed necessary to meet the required standards now because there may or may not be an opportunity to add conditions as part of the final approval.

The Village Engineer is satisfied that stormwater has been adequately addressed. Due to some confusion at the last public hearing about how stormwater exits the property to the east (as described in the Board's May 23rd packet), the applicant's engineer provided the attached memo dated May 18, 2016 to address some Board questions that were raised.

In addition to accepting staff recommendations, the Plan Commission's recommendation added an allowance for rear patios (not exceeding 100 sqft) to cross over the rear lot line of the zero lot line house and into the common area, required a rodent abatement process prior to demolition/mass grading. Issues not recommended by the Plan Commission but requested by the public include further restrictions on construction hours, further restrictions on requiring physical features that would ensure that there is no unauthorized access in and out of the emergency access road to Tennessee, requiring the sidewalk to be extended on the west side of the Tennessee Avenue cul-de-sac bubble, and adding "key elevation" requirements to more units, particularly those units visible from Tennessee.

ACTION PROPOSED:

May 23, 2016: Receive Plan Commission Recommendation.

June 13, 2016: Consideration of Attached Ordinance.



MEMORANDUM

DATE: May 18, 2016
TO: Dan Lynch, CBBEL
FROM: Bryan Rieger, V3 Companies
CC: Tim Halik, Village of Willowbrook
Jo Ellen Charlton, WBK Engineering
Rob Getz, Pulte Homes
RE: Carrington Club – Offsite Stormwater

During the public hearing portion of the May 4, 2016, Plan Commission meeting, stormwater management was discussed for the Carrington Club residential project located at the Arabian Knights Farm. One of the items discussed was how the detention facilities drain and where they drain to. Clarification is needed to better describe the drainage conditions. In order to do that, I will break the discussion into three sections: Existing Conditions, Proposed Conditions and Existing Downstream Storm Sewer.

Existing Conditions:

As part of the Nantucket townhome development to the east of Clarendon Hills Road, a 12" storm sewer was installed to and under Clarendon Hills Road approximately 335 feet south of Snug Harbor Drive. Two inlets are at the end of this line on the west side of Clarendon Hills Road. These inlets currently drain a portion of Clarendon Hills Road and a portion of the greenspace west of Clarendon Hills Road. During small rain events, these storm inlets pick up about 0.2 acres of tributary area. During large rain events, we anticipate that the southern and western portions of the Arabian Knights farm, as well as a portion of Tennessee Avenue will, be inundated and eventually drain to the above mentioned storm sewer. The total tributary area is just under 3 acres once the small existing pond on the south side of the Arabian Knights farm overtops.

Proposed Conditions:

The proposed Carrington Club development will include stormwater detention facilities along the east side of the property. These facilities, which will provide about 3.5 ac-feet of storage volume, will accept runoff from the entire development as well as portions of Tennessee Avenue and the property to the south. As mentioned above, much of this area currently can enter the existing storm sewer under Clarendon Hills Road basically unrestricted. The detention facilities will provide stormwater detention and will slow the release from the site to approximately 0.83 cubic feet per second. This will be achieved by use of a 3.5" – 4" restrictor. What was once unrestricted flow into the storm inlets along Clarendon Hills Road will be funneled through the detention facilities and controlled by a small restrictor, greatly reducing the runoff rate from the site.

Existing Downstream Storm Sewer:

The storm sewer that the proposed development will connect to runs through the Nantucket townhome development. The existing pipes drain underground and discharge into the Nantucket detention facilities and then drain to Lake Hinsdale and Route 83. The pipes do not go directly from Carrington Club to Lake Hinsdale, but are routed through the Nantucket development. The rate of flow into this system will be decreased as a result of the detention facilities proposed for the proposed Carrington Club development.

ORDINANCE NO. 16-O-_____

AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, INCLUDING APPROVAL OF PRELIMINARY PLAT OF PUD, GRANTING CERTAIN WAIVERS FROM THE ZONING ORDINANCE, GRANTING CERTAIN VARIATIONS FROM THE SUBDIVISION REGULATIONS, GRANTING APPROVAL OF A PRELIMINARY PLAT OF SUBDIVISION, AND RELATED MATTERS - PC 16-04: 6256 CLARENDON HILLS ROAD - CARRINGTON CLUB BY PULTE (REDEVELOPMENT OF ARABIAN KNIGHTS HORSE FARM)

WHEREAS, on or about January 21, 2016, Pulte Home Corporation, as applicant ("APPLICANT"), with permission from Willowbrook Real Estate Investment, LLC (Parcel 1) and North Star Trust Company (Parcel 2), as owners ("OWNER") through agents Michael and Elizabeth Vena, filed an application with the Village of Willowbrook with respect to the property legally described on Exhibit "A", attached hereto and incorporated herein by reference ("SUBJECT REALTY"). Said application requested that the Village grant a special use permit for a Planned Unit Development for the SUBJECT REALTY, grant certain waivers from the requirements of the Zoning Ordinance of the Village, grant certain variations from the requirements of the Subdivision Regulations of the Village, approve a preliminary plat of subdivision with respect to the SUBJECT REALTY, approve a preliminary plat of Planned Unit Development, and related matters; and,

WHEREAS, Notice of Public Hearing on said application was published on or about March 18, 2016, in a newspaper having general circulation within the Village, to-wit, The Suburban Life

newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about April 6, 2016, and continued said hearing to May 4, 2016, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearings, the applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendations, including its Findings of Fact, in a report dated May 6, 2016 to the Mayor and Board of Trustees on or about May 23, 2016, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY pursuant to Section 9-5A-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit a planned unit development.

SECTION TWO: That the Findings of Fact pursuant to 9-13-6, 9-13-7 and 9-14-5.2 of the Village Code of the Village of Willowbrook made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION THREE: That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted:

- A. That Section 9-5A-3(A)2 of the Village Code of the Village of Willowbrook, establishing a minimum lot area for detached single-family dwellings in the R-1 Residential District, be varied with respect to the SUBJECT REALTY by reducing same from 30,000 square feet to 3,300 square feet for Lots 1 through 3, 6, 7, 10 through, 15, 17 through 21, and 26 through 29.
- B. That Section 9-5A-3(A)2 of the Village Code of the Village of Willowbrook, establishing a minimum lot area for detached single family dwellings in the R-1 Residential District, be varied with respect to the SUBJECT REALTY by reducing same from 30,000 square feet to 3,424 square feet for Lots 4, 5, 8, 9, 16, and 22 through 25.
- C. That Section 9-5A-3(B)2 of the Village Code of The Village of Willowbrook, establishing a minimum lot width in the R-1 Residential District, be varied with respect to the SUBJECT REALTY by reducing same from 100' to 50'.
- D. That Section 9-5A-3(B)3 of the Village Code of the Village of Willowbrook, establishing a minimum corner lot width in the R-1 Residential District, be variety with respect to the SUBJECT REALTY by reducing same from 125' to 50'.
- E. That Section 9-5A-3(C) of the village Code of the Village of willowbrook, establishing a minimum lot depth in the R-1 Residential District, be varied with respect to the SUBJECT REALTY by reducing same from 150' to a minimum of 66'.

F. That Sections 9-5A-3(D)1, 9-5A-3(D)2, 9-5A-3(D)3, 9-5A-3(D)4, 9-5A-3(E), and 9-5A-3(G) of the Village Code of the Village of Willowbrook establishing minimum front, interior side, exterior side, and rear setbacks, lot coverage and FAR requirements be varied with respect to the SUBJECT REALTY to allow construction of all improvements associated with the homes in close proximity but located within the lot lines of Lots 1 through 29 (zero lot line construction), and that construction over the lot lines of Lots 1 through 29 and into the Common Area for the SUBJECT REALTY may occur only in the following instances:

1. Rear patios only, not exceeding 100 square feet, may be constructed over any rear lot line of Lots 1 through 29 and into the Common Area provided they are not constructed in any easement, do not affect approved grading, and are constructed at grade and utilize only concrete or other similar masonry products. Patio improvements shall not include any permanent vertical "built-in" fixtures such as walls, chimneys or similar improvements.
2. Front steps and unenclosed, non-inhabitable porches only, not extending more than thirty inches (30") from the front wall, nor greater than fifteen feet (15') in width across the front wall of a home, may be constructed over the front lot line and into the Common Area only on Lots 1 through 3; 6; 7; 10 through 15; 17 through 21; and 26 through 29.

G. That Section 9-13-6(E)1 of the Village Code of the Village of Willowbrook, establishing a minimum permitted space between buildings in planned unit development, be varied with respect to the SUBJECT REALTY by reducing same from thirty feet (30') to ten feet (10').

H. That Section 9-13-6(J) of the Village Code of the Village of Willowbrook prohibiting planned unit developments from deviating from the requirements of Title 10 of the Village Code in the absence of a variance, be varied with respect to the SUBJECT REALTY so as to permit the variations from said Title 10 detailed in SECTION 4.

SECTION FOUR: That pursuant to Section 10-8-6 of the Village Code, the following variations from the provision of the Subdivision Regulations be and the same are hereby granted:

- A. That Section 10-4-1(B)8(a) of the Village Code of the Village of Willowbrook, establishing a maximum cul-de-sac length for detached single-family residential uses be varied with respect to the SUBJECT REALTY by increasing same from 500' to 600'.
- B. That Section 10-7-2(B)7 of the Village Code of the Village of Willowbrook, establishing a minimum pavement width requirement for all residential cul-de-sac streets, be varied with respect to the private street constructed on the SUBJECT REALTY by reducing same from thirty feet (30') to a minimum of 28'.
- C. That Section 10-7-2(B)7 of the Village Code of the Village of Willowbrook, establishing a minimum pavement radius requirement for residential cul-de-sacs, be varied with respect to the private cul-de-sac construction on the SUBJECT REALTY by reducing same from fifty feet (50') to thirty two feet (32').
- D. That Section 10-7-2(B)7 of the Village Code of the Village of Willowbrook, establishing a minimum pavement radius requirement for residential cul-de-sac streets, be varied with respect to the improvements to the adjoining Tennessee Avenue right-of-way by reducing same from fifty feet (50') to forty-five feet (45').
- E. That Section 10-7-2(B)7 of the Village Code of the Village of Willowbrook, establishing a minimum pavement width requirement for all residential cul-de-sac streets, be varied with respect to the improvements to the adjoining Tennessee Avenue right-of-way by reducing same from thirty feet (30') to 25.1'.
- F. That Section 10-7-2(C) of the Village Code of the Village of Willowbrook, establishing a requirement for curb and gutter, be varied to eliminate the requirement that the applicant construct curbs and gutters for the required street improvements along Tennessee Avenue.
- G. That Section 10-7-4(A) of the Village Code of the Village of Willowbrook, establishing a requirement that sidewalks be provided on both sides of all streets, be varied with respect to the SUBJECT REALTY so as to not require sidewalks on the SUBJECT REALTY in front of Lots 10 through 15.
- H. That Section 10-7-4(A) of the Village Code of the Village of Willowbrook, establishing a requirement that sidewalks be provided on both sides of all streets, be varied with respect to the improvement along Tennessee Avenue so as to not require sidewalks on the west side of Tennessee Avenue.

SECTION FIVE: That passage of this Ordinance shall constitute approval of the Preliminary Plat of Subdivision, pursuant to the "Preliminary Plat of Subdivision of Carrington Club", as prepared by V3, consisting of one (1) sheet and latest revision dated March 16, 2016 and attached hereto as Exhibit "C".

SECTION SIX: That passage of this Ordinance shall constitute approval of the Preliminary Planned Unit Development, pursuant to the "Preliminary P.U.D. Plat of Carrington Club, as prepared by V3, consisting of one (1) sheet and latest revision dated March 16, 2016 and attached hereto as Exhibit "D"

SECTION SEVEN: That the relief granted in Sections One, Three, Four, Five and Six of this Ordinance is expressly conditioned upon satisfying the requirements for Final Planned Unit Development pursuant to the requirements of Chapter Three of Title 9 of the Village Code, and the requirements for Final Plat of Subdivision pursuant to Title Ten of the Village Code ("FINAL PLANS"), and that the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

A. The SUBJECT REALTY shall be in substantial accordance with the following plans and specifications ("APPROVED PRELIMINARY PLANS) attached hereto as Exhibit "E", except as modified herein or as part of Final Approval:

1. Preliminary Engineering Plans, prepared by V3, latest revision dated 3/16/16, consisting of Sheet C0.0, C1.0, C2.0, C3.0, and C4.0.

2. Preliminary Plat of Subdivision, prepared by V3, latest revision dated 3/16/16 (1 Sheet)
 3. Preliminary PUD Plat, prepared by V3, latest revision dated 3/16/16 (1 Sheet)
 4. Carrington Club Preliminary Landscape Development Plans, prepared by Signature Design Group, latest revision dated 3/16/16, consisting of Title Sheet, and sheets L101, L102, L103, L104, L105, L106, and TS 100. Sheet L100 has a latest revision date of 5/12/2016.
 5. Carrington Club Construction Schedule, prepared by V3, dated March 18, 2016 (1 Sheet).
 6. Draft Declaration of Covenants.
 7. Elevations.
- B. That prior to the issuance of any site grading, clearing or demolition permits, the Applicant shall contract with a licensed wildlife and pest control company to inventory and relocate and/or abate wildlife and pests that would otherwise become a nuisance to surrounding properties when displaced by construction. Applicant shall provide the Village with copies of paid receipts and all correspondence from selected wildlife and pest control company when work is concluded and prior to the issuance of any site grading, clearing or demolition permits.
- C. That the demolition and removal of all existing structures on the property in questions be performed in accordance with the regulations of the Village of Willowbrook. No demolition work shall be initiated until a demolition permit has been issued by the Village
- D. That the SUBJECT REALTY shall be subject to the restrictions and requirements in substantial compliance with the "Declaration of Covenants for Carrington Club" attached here to as Exhibit "F", with said document to be finalized and subject to final approval by the Village as part of the final PUD and Plat of Subdivision processes.
- E. That as part of the final approval by the Village as part of final PUD and Plat of Subdivision, the applicant shall enter into a Traffic Agreement with the Village of Willowbrook, in a form acceptable to the Village Attorney, said Agreement making adequate provisions for the following:
1. Maintaining clear and open fire lanes; and

2. Restricting use of the fire lane by unauthorized vehicles;
and
 3. Limiting parking on the SUBJECT REALTY to only those twelve (12) parking spaces designated on the private road in the Approved Preliminary Plans, the three (3) parking spaces located off the road and immediately west of Lot 26, and on private driveways in conformance with the Declaration of Covenants for Carrington Club to be finally approved as part of the final approval by the Village as part of the final PUD and Plat of Subdivision processes;
and
 4. Any other reasonable requirements related to assure the smooth flow of traffic consistent with vehicle and pedestrian safety and the Village's enforcement thereof.
- F. That the Applicant obtain all necessary permits from the authorities having jurisdiction prior to any work being initiated within the right-of-way of Clarendon Hills Road and Tennessee Avenue.
- G. That the applicant pay all required impact fees to the DuPage County Division of Transportation and submit verification of said payment to the Village of Willowbrook prior to the issuance of building permits by the Village.
- H. That all wells, if any, on the SUBJECT REALTY be capped and sealed pursuant to the regulations of the State of Illinois, the DuPage County Health Department and the Village prior to the issuance of building permits by the Village.
- I. That the design of the sanitary sewage system for the SUBJECT REALTY be specifically approved by DuPage County and a permit issued by the Illinois Environmental Protection Agency prior to the issuance of building permits by the Village.
- J. That the design of the water main system for the SUBJECT REALTY in question be in conformance with the Village Code, be specifically approved by the Village and a permit issued by the Illinois Environment Protection Agency prior to the installation of any water mains and prior to the issuance of building permits by the Community development Department.
- K. That Applicant shall provide 28, six foot (6') tall evergreen arborvitaes on the property located at 6481 Tennessee Avenue per the Approved Preliminary Plans, and shall provide a fully

executed and recorded temporary construction easement for this work prior to the issuance of any construction permits on the SUBJECT REALTY.

- L. As part of Final PUD approval, the Applicant shall provide additional details of all overhead and underground improvements on the west side of the Tennessee Avenue right-of-way, and shall comply with all Village directives with regard to necessary improvements including, but not limited to, the relocation of overhead wires, the replacement of 3" caliper parkway trees, and the removal and replacement of existing driveway improvements.
- M. That the Final Plans shall contain provisions for the perpetual maintenance of all stormwater management facilities, in a form acceptable to the Village Attorney, including, but not limited to, provisions that shall permit, but not obligate, the Village of Willowbrook to enter upon the SUBJECT REALTY and maintain any such facilities should the Applicant or future owners fail to do so, and in such event that the Village shall be entitled to a lien, against all of the parcels within the SUBJECT REALTY, for the costs associated with said work.
- N. That construction activities on the SUBJECT REALTY shall be accomplished by vehicles accessing the site only by way of Clarendon Hills Road, except for necessary improvements to or for making connection within the Tennessee Avenue right-of-way as provided in the Approved Preliminary Plans.
- O. That not more than 29 dwelling units shall be constructed on the SUBJECT REALTY.
- P. That as part of the Final Plans, Applicant shall submit to the Village of Willowbrook, an executed Improvement Agreement in substantially conformance with Exhibit G attached hereto as "Sample Improvement Agreement".
- Q. Final Landscaping Plans shall be submitted with the Final Plans and shall accommodate the following in addition to other requirements of a Final Landscape Plan:
 - 1. Sod may be required in lieu of seed in order to ensure adequate grass coverage over the winter.
 - 2. The plan shall clearly distinguish between plant materials that will be installed around the perimeter prior to the issuance of any building permits and a "typical" plan of

plant materials that will be installed around each home as part of each building permit. The Final Plans shall indicate that each building permit submitted for a home must include a separate landscape plan in substantial compliance with the typical plan, but modified to compliment the model being constructed on a lot.

3. The Final Landscape Plan is subject to final approval by the Village, and may require additional materials to achieve intended results of the Approved Preliminary Plans if changes are required due to interference with grading, utilities, or drainage patterns that were not presented on the Preliminary Landscape Plan included in the Approved Preliminary Plans.

SECTION EIGHT: The use of private streets on the SUBJECT REALTY is hereby approved by the Board of Trustees pursuant to Section 10-4-1(A)7 of the Village Code of the Village of Willowbrook.

SECTION NINE: That the Village Clerk is hereby authorized and directed to note the zoning grants made by this Ordinance upon the Official Zoning Map of the Village of Willowbrook.

SECTION TEN: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION ELEVEN: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 13TH day of June, 2016.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE: AYES: _____

 NAYS: _____

 ABSTENTIONS: _____

 ABSENT: _____

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

PARCEL 1: THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER (EXCEPT THE NORTH 145.0 FEET OF THE EAST 261.0 FEET) OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PINs: 09-22-207-003 and 09-22-207-001

ADDRESS: 6526 Clarendon Hills Road

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION AND FINDINGS OF FACT

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: May 6, 2016

SUBJECT: Zoning Hearing Case 16-04: (Pulte Home Corporation - 6526 Clarendon Hills Road) Approval of a special use for a Planned Unit Development and approval of a Preliminary Plat of PUD, preliminary plat if subdivision, and including any exceptions and variations necessary to redevelop the existing 8.32 acre property known as the Arabian Horse Farm with 29 detached single family cluster homes.

At the regular meeting of the Plan Commission held on May 4, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Ruffolo, seconded by Commissioner Remkus that based on the submitted petition and testimony presented, I recommend that the Plan Commission forward to the Village Board its findings with regard to the Special Use and PUD Standards and the required PUD Findings outlined in Exhibit 1 (provided herein below) of the staff report addendum prepared for the May 4, 2016 Plan Commission meeting, and further that the Plan Commission recommend approval of a Preliminary Plat of PUD and Preliminary Plat of Subdivision for Carrington Club, including necessary exceptions and variations, associated with PC 16-04, subject to approval by the Village Board being in substantial compliance with the "Plan Documents" outlined in Exhibit 2 of the staff report addendum prepared for the May 4, 2016 Plan Commission meeting, except as outlined in Exhibit 3 as modified by item 2 requiring the size not exceed 100

square feet and not encroach upon any drainage areas. Deleting item 3 and adding an item 9 that before demolition an effort will be made to trap and transport rodents/wildlife, Required Modifications/Conditions.

ROLL CALL: AYES: Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp; NAYS: None.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

Findings for Special Use Standards and Planned Unit Development Standards, and Findings for PUDs

Pulte Home Corporation is seeking a Special Use for a Planned Unit Development, which is listed as a Special Use in the R-1 zoning district, for the proposed Carrington Club development. The development includes 29 single family homes in a community with private streets. The following are the Special Use Standards and findings for consideration by the Plan Commission.

- A. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed Carrington Club development will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the community. The proposed development will add 29 single family homes on over 8 acres of property that will minimally impact to the surrounding roadways and the utilities downstream. The proposed use and density is consistent with the recommendations of the Village's current Comprehensive Plan. The roadways within the development will be privately owned and maintained and will not provide a burden on the Village.

- B. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The proposed Carrington Club development will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed development will add 29 detached single family homes which results in a density that is between the densities of the developments to the north and the south. This provides for a great transition between existing uses. Also, the development is replacing an existing facility that hosted large gatherings of people at times. The building materials will be high quality materials and will fit in with the surrounding areas. Additionally, significant perimeter setbacks between project improvements and surrounding properties are provided and include quality landscaping which will provide screening to the adjacent homeowners and to the new homeowners within the Carrington Club development. A homeowner's association will ensure proper and consistent maintenance of these perimeter landscape areas.

- C. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed Carrington Club development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The surrounding property to the north, west and south is currently developed as single family homes, with lower density to the north and west and higher density to the south. Areas to the north, east and south are relatively new and not likely to experience redevelopment. Some properties to the west may be subdivided and/or redeveloped, and the proposed development will include the widening of Tennessee Avenue and the construction of a cul-de-sac at the south end of Tennessee Avenue which will benefit these properties. Also, a left turn lane will be added to

northbound Clarendon Hills Road at the entrance to the development, which will provide safe traffic movements for residents and guests entering the development.

- D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Finding: Adequate utilities, access roads, drainage and/or other necessary facilities will be provided within this development. A watermain will be installed through the development to serve the proposed 29 single family and will connect the existing Village watermain along Clarendon Hills Road and Tennessee Avenue to the loop system, improving the redundancy of the water system in this area.

Sanitary Sewer service (under DuPage County Jurisdiction) is available at the southwest corner of the site and will be extended into the site to service the 29 single family homes.

Stormwater management facilities and storm sewer will be installed on-site to meet the DuPage County Countywide Stormwater and Flood Plain Ordinance as well as the amendments provided in Willowbrook's Municipal Code.

Access to the site will be provided from Clarendon Hills Road and a new left turn lane will be installed on northbound Clarendon Hills Road at the proposed entrance to the development.

Private streets will be provided within the limits of the proposed development. Additionally, an emergency access will be provided to Tennessee Avenue to allow for full ingress/egress of emergency vehicles.

- E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: Ingress and egress to the proposed Carrington Club development will be provided to and from Clarendon Hills Road. As part of this development a left turn lane will be added in Clarendon Hills Road at the proposed entrance to the

site. The left turn lane will provide safe turning movements for vehicles entering the proposed development. Additionally, as evidenced in the Traffic Summary Memorandum attached to the development application, this development will provide minimal impact to the surrounding roadways as it relates to trip generations, and it replaces an existing use that hosted larger gatherings of people.

- F. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The Carrington Club development is proposed to be a Planned Unit Development. There are certain zoning requirements that will be specified within the Planned Unit Development that do not conform to zoning district. Specifically, each home will be on a lot defined by the house's building envelope, meaning that the homeowner will own only the land under their home, but none of the surrounding property. Because of this, the requirements normally applied to R-1 lots will not apply to this condition. For this type of maintenance free community, the typical lot area is owned and maintained by the HOA. We feel that there is specific reason for the uniqueness of this development which provides sufficient merit to approve the Planned Unit Development.

- G. Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Finding: There have been no substantial changes in the surrounding area, nor has there been any denial by the Village Board of any prior application for a special use permit on the project site within the past year.

PLANNED UNIT DEVELOPMENT STANDARDS:

The planned unit development must meet the following standards:

(A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

Finding: The Comprehensive Plan recommends single family development with a density of between 1 and 4 units per acre. The proposed development has a density of 3.6 units per acre, which is less than the density of the Nantucket property across the street (6 dwelling units per acre), and the Eagles Nest property in Darien to the south (4.13 dwelling units per acre). The Comprehensive Plan also recommends the project be developed as a PUD and that street patterns are designed in a manner that limits access to Clarendon Hills Road. This project has one access to Clarendon Hills Road that aligns with the access to the Nantucket property across the street. Emergency only access is provided to Tennessee.

(B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

Finding: The proposed development is on a site that is over 8 acres in size

(C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Finding: The proposed development includes single family detached dwellings which is consistent with adjoining properties to the north and south and across Tennessee to the west. Higher density townhomes are located to the east across Clarendon Hills Road. Densities are lower to the north and west, but higher to the south and east. The proposed single family use and density meet the requirements of the Comprehensive Plan and provide an acceptable transition to the lower

densities to the north and west given the proposed bermed and landscaped setbacks.

(D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

Finding: The existing property provides little to no stormwater management. Stormwater along Tennessee (west of the development) can't pass through the development and floods that street. Stormwater on the property flows unrestricted overland to the lower spot and stays until absorbed or until it evaporates. The proposed development will accept stormwater that currently gets trapped on Tennessee into a series of inlets and storm structures that carry water to the detention ponds located on the east end of the project. The water will be stored here and released slowly before exiting the property and running to the east as it does today unrestricted.

(E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

Finding: Single family homes in this project include side yard setbacks no less than ten feet. Per 9-13-6(L), this standard may be varied.

(F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Finding: The following perimeter setbacks are provided to meet this requirement:

North: 50'
South: 35'
East: 104.2'

West: 50'

(G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Finding: Single family homes require 2 parking spaces per unit. Each unit provides 2 garage spaces and 2 driveway spaces. Additionally, there are 15 on- and off-street parking spaces provided within the project for additional guest spaces.

(H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: The project includes only one access from Clarendon Hills Road, which is aligned with the existing access to the Nantucket project to the east across Clarendon Hills Road. The entrance is being enhanced with the addition of a north bound left turn lane to allow the uninterrupted movement on Clarendon Hills Road. An emergency only access is provided to Tennessee.

(I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

Finding: Certain existing mature trees along the perimeter of the property will be protected and preserved as part of this project.

(J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

Finding: The project anticipated certain variations and exceptions from the Subdivision Regulations for certain improvements to both Tennessee and Clarendon Hills Road. These variations will accommodate a cul-de-sac that is small than required but capable of accommodating Tri-State emergency vehicles. Other variations with regard to construction standards to

allow a rural cross section instead of curb and gutter is also included, as well as deviations from sidewalk location standards to allow locations around existing trees. All subdivision variations and exceptions will be called out in the approving ordinance per the design included in the approved plans.

(K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

Finding: The proposed project only includes single family uses.

(L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare.

Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section. (Ord. 06-0-12, 5-8-2006)

Finding: The proposed Planned Development complies with the minimum standards set forth in subsection A, B, C, D, H, I and K of Section 9-13-6(L) and all exceptions to underlying requirements will be called out in the ordinance as needed to accommodate the approved plans.

PLANNED UNIT DEVELOPMENT FINDINGS:

The plan commission shall, after the public hearing, set forth to the board of trustees the reason for the recommendation, and said recommendation shall set forth with particularity what respects the proposal

would be in the public interest, including, but not limited to, findings of fact on the following:

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: As a PUD, the proposed development is consistent with the recommendation of the Comprehensive Plan, which specifically recommends this property be development as a PUD. This project allows for the provision of a more maintenance free single family product for residents that wish to "downsize." This will provide residents with an opportunity to remain in the community when very few opportunities currently exist. Setbacks, maintenance and design will all be regulated to minimize impacts on surrounding properties. Open areas for detention and recreational seating are provided in a coordinated manner.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

Finding: See above.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: Deviations included with this development are consistent with similar deviations allowed in other Planned Unit Developments. They allow for "cluster home" concepts that allow units within the development to be closer to each other, while maintaining larger perimeter setbacks than the ordinance would otherwise require. This allows for a development that meets the needs of the current owner and developer, while minimizing negative impacts on surrounding property owners.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: As outlined in the Standards for Special Use and Planned Unit Development, adequate provisions for water, sewer, stormwater, access, and open spaces are being provided. All open areas are being attractively landscaped to the benefit of both new owners as well as surrounding property owners.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)

Finding: Perimeter bermed and landscaped setbacks around the development provide an adequate buffer for properties in all directions. The proposed use is consistent with surrounding uses and the proposed density, while higher than the properties to the north and west, is lower than the properties to the east and south, making the project a nice transition from lower to higher densities.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

Finding: The proposed development will be attractively landscaped as viewed from all directions. A new fence and entry feature will highlight the main entrance from Clarendon Hills Road. As a community that does not benefit from property tax, there will be no direct economic impact to the Village, but the other taxing bodies (including the schools) will benefit from the increased tax base, especially given that the development does not target as many school aged children as more traditional single family developments.

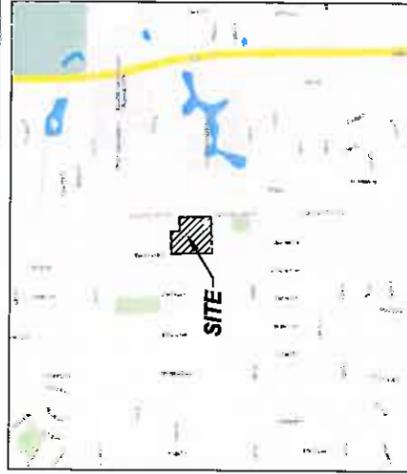
- (G) The conformity with the intent and spirit of the current planning objectives of the village.

Finding: See above.

EXHIBIT "C"
PLAT OF SUBDIVISION

PRELIMINARY PLAT OF SUBDIVISION OF CARRINGTON CLUB

P.I.N.: 09-22-207-001
09-22-207-003



LEGAL DESCRIPTION

PARCEL 1: THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

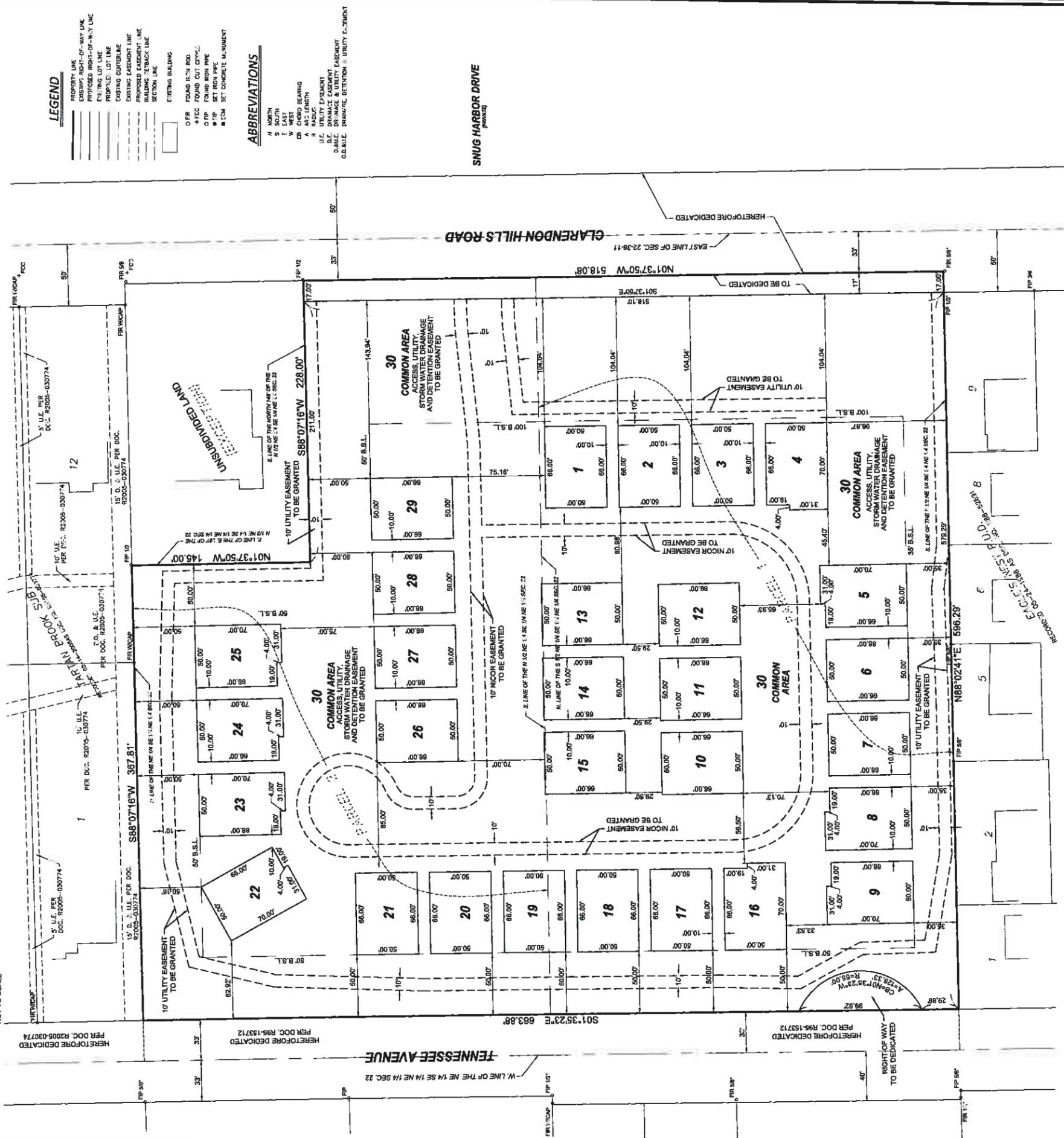
PARCEL 2: THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER EXCEPT THE NORTH 145.0 FEET OF THE EAST 280.0 FEET OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

BASIS OF BEARINGS

BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM (NAD 83) WITH SCALE FACTOR: 1.00043482



VICINITY MAP
NOT TO SCALE



LEGEND

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- SECTION LINE
- EXISTING BUILDING
- OTHER FOUND B.C.M. ROD
- + F.C. FOUND CUI CORNER
- T.P. FOUND IRON PIPE
- T.P. SET IRON PIPE
- C.M. SET CONCRETE MONUMENT

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- D.A.M.E. DRAINAGE & UTILITY EASEMENT
- C.D.M.E. DRAINAGE, DETENTION & UTILITY EASEMENT

SNUG HARBOR DRIVE
PRIMARR

AREA TABLE

LOT #	Sq. Ft.	Acres
1-3, 6, 7, 10-15, 17-21, 26-19	3,300	0.0758
4, 5, 8, 9, 16, 22-25	3,424	0.0786
1-25 (TOTAL)	66,818	2.2226
COMMON AREA	254,478	5.8420
DEDICATED R-O-W	11,105	0.2548
TOTAL	382,399	8.3195

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF DUPAGE COUNTY, ILLINOIS (COMMUNITY PANEL NO. 17043C0905H) EFFECTIVE DATE DECEMBER 16, 2004.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE } SS

THIS IS TO CERTIFY THAT THE MEMBERS OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, ILLINOIS HAVE REVIEWED AND APPROVED THIS PLAT.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS
THIS _____ DAY OF _____, A.D., 20__

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE } SS

I, ANTHONY J. STRICKLAND, AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE PLAT HEREON SHOWN WAS PREPARED AT AND UNDER MY DIRECTION. ALL DIMENSIONS DRAWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., 20__

NOTES

- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- SEE PROPOSED ENGINEERING PLANS PREPARED BY V3 COMPANIES FOR PROPOSED UTILITIES AND GRADING INFORMATION.
- OVERALL BLANKET EASEMENT WILL BE PROVIDED FOR THE PROPOSED UTILITIES.

CHAIRMAN: _____
SECRETARY: _____

BY: _____ PRESIDENT
VILLAGE CLERK: _____

BOARD OF TRUSTEES

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE } SS

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 20__

ANTHONY J. STRICKLAND
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437
1111 W. WASHINGTON ST., SUITE 100
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 16400002
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2017.

OWNER / DEVELOPER Pulte Home Corporation 1900 E Golf Rd - Suite 300 Schaumburg, IL 60173 847-230-5400		ENGINEER/SURVEYOR V3 Companies of Illinois, Ltd. 7325 Janes Avenue, Suite 100 Woodridge, Illinois 60517 630.724.9200	
PREPARED FOR: PULTE HOME CORPORATION 1900 E GOLF RD - SUITE 300 SCHAUMBURG, IL 60173 847-230-5400		PRELIMINARY PLAT OF SUBDIVISION CARRINGTON CLUB, WILLOWBROOK, ILLINOIS DRAWN BY: M.P. CHECKED BY: AJS SCALE: 1" = 40' PROJECT MANAGER: AJS DRAFTING COMPLETED: 01-22-16 FIELD WORK COMPLETED: NA	
Engineers Scientists Surveyors		Project No: 15230 Group No: VP04.1 SHEET NO. 1 of 1	

EXHIBIT "D"
PLAT OF PUD

EXHIBIT "E"
APPROVED PLANS

1. Preliminary Engineering Plans, prepared by V3, latest revision dated 3/16/16, consisting of Sheet C0.0, C1.0, C2.0, C3.0, and C4.0.
2. Preliminary Plat of Subdivision, prepared by V3, latest revision dated 3/16/16 (1 Sheet)
3. Preliminary PUD Plat, prepared by V3, latest revision dated 3/16/16 (1 Sheet)
4. Carrington Club Preliminary Landscape Development Plans, prepared by Signature Design Group, latest revision dated 3/16/16, consisting of Title Sheet, and sheets L101, L102, L103, L104, L105, L106, and TS 100. Sheet L100 has a latest revision date of 5/12/2016.
5. Carrington Club Construction Schedule, prepared by V3, dated March 18, 2016 (1 Sheet).
6. Draft Declaration of Covenants.
7. Elevations.

PRELIMINARY ENGINEERING PLANS
FOR
CARRINGTON CLUB
WILLOWBROOK, ILLINOIS

PROJECT TEAM

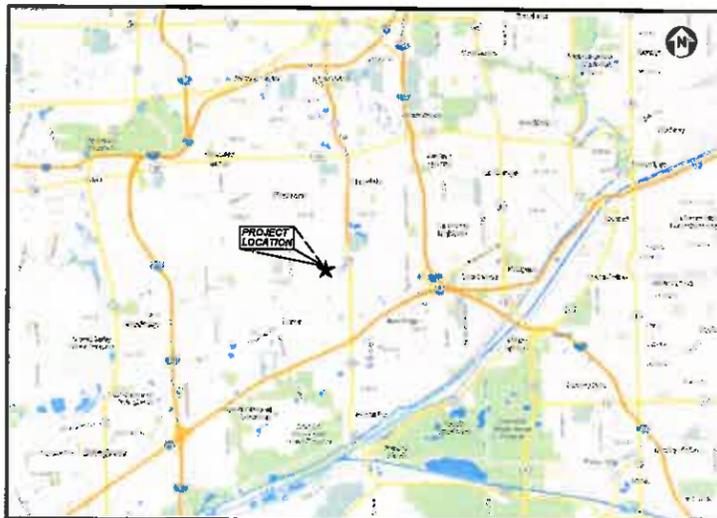
OWNER/DEVELOPER
Pulte Home Corporation
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173
847 230 5276
Contact: Rob Getz

ENGINEER
V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Bryan Rieger, P.E.
Project Engineer: Ethan Frisch

LANDSCAPE ARCHITECT
Signature Design Group
17 Court Place #1
Naperville, Illinois 60540
630 305 3980
Contact: Greg Sagen



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

- C0.0 TITLE SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com



Joint
Utility
Locating
Information
for
Excavators

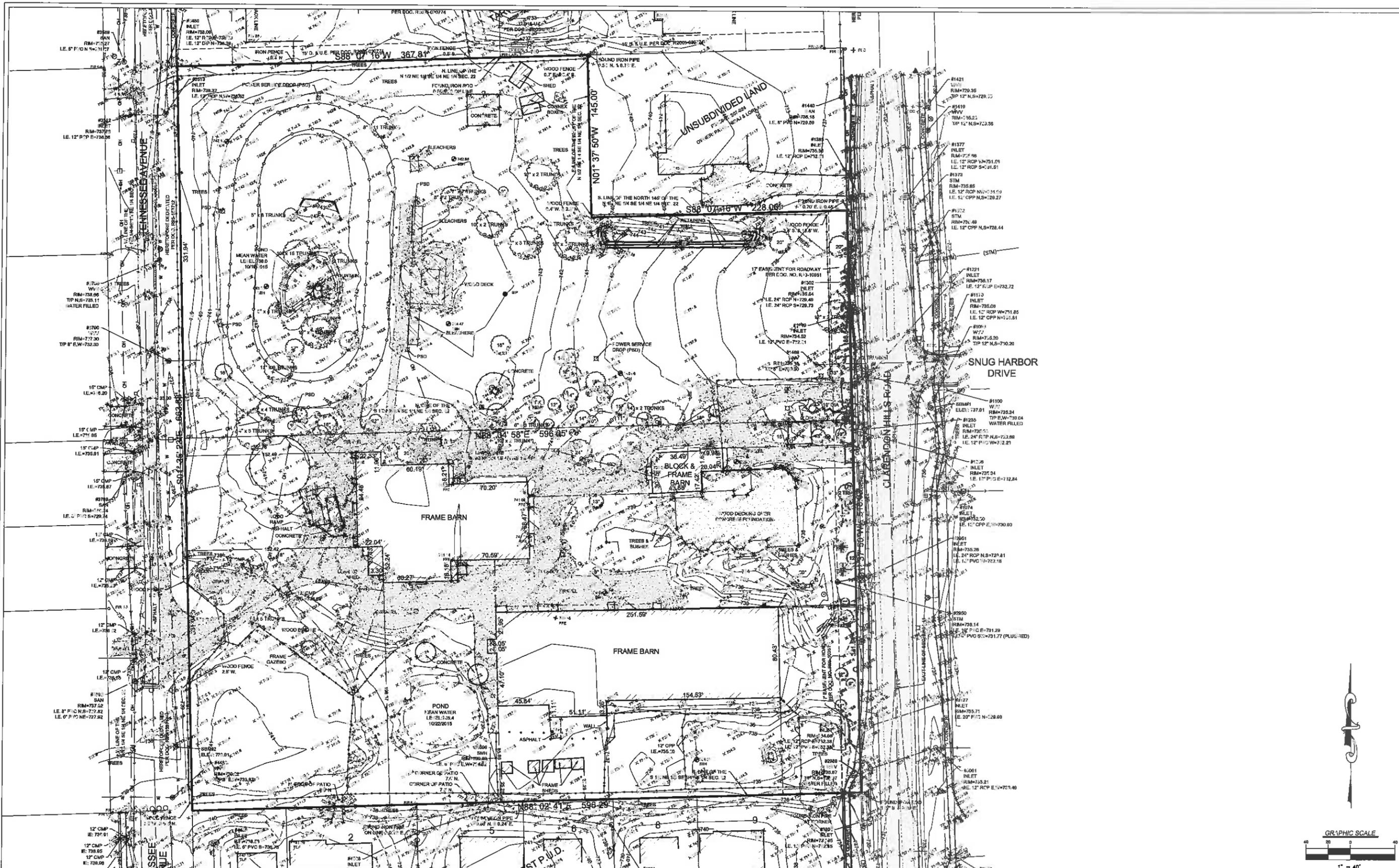
Call 800.892.0125 48 hours before you dig

REVISIONS				
NO.	DATE	DESCRIPTION	SHEETS REVISED	REV. BY
1	02.24.16	PER VILLAGE COMMENTS	ALL	EEF
2	03.16.16	PER VILLAGE COMMENTS		

ORIGINAL ISSUE DATE: JANUARY 22, 2016

BENCHMARKS	
STATION DESIGNATION: BSM#1	ESTABLISHED BY: DUPAGE COUNTY DATE: 1890 ELEVATION: 756.72 (PUBLISHED AND HELD) DATUM: NAVD83
DESCRIPTION: BRASS DISK SET IN CONCRETE AT THE SOUTHEAST SIDE OF A CONCRETE TRAFFIC SIGNAL BASE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF MAIN ST. AND 55TH ST., LOCATED 26.5' S. OF THE CENTERLINE OF 55TH ST., 51.0' W. OF THE CENTERLINE OF MAIN ST., 15.0' E. OF POWER POLE.	
SITE:	
STATION DESIGNATION: BSM#1	ESTABLISHED BY: V3 COMPANIES DATE: 10/16/2015 ELEVATION: 777.01 (MEASURED) DATUM: NGVD28, I.V. DBM, CDD
DESCRIPTION: NORTH EAST BOLT ON FIRE HYDRANT LOCATED AT THE SOUTHEAST CORNER OF SHAG HARBOR DRIVE AND CLARENDON HILLS ROAD.	
STATION DESIGNATION: BSM#2	ESTABLISHED BY: V3 COMPANIES DATE: 10/26/16 ELEVATION: 738.01 (MEASURED) DATUM: NGVD28, NAVD83, CDD
DESCRIPTION: NORTH EAST BOLT ON FIRE HYDRANT LOCATED ALONG THE EAST SIDE OF TENNESSEE AVENUE, 56.5' SOUTH OF THE END OF PAVEMENT.	

DRAWING NO.
C0.0



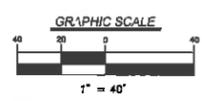
V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	02.24.16	PER VILLAGE COMMENTS			
2	03.16.16	PER VILLAGE COMMENTS			

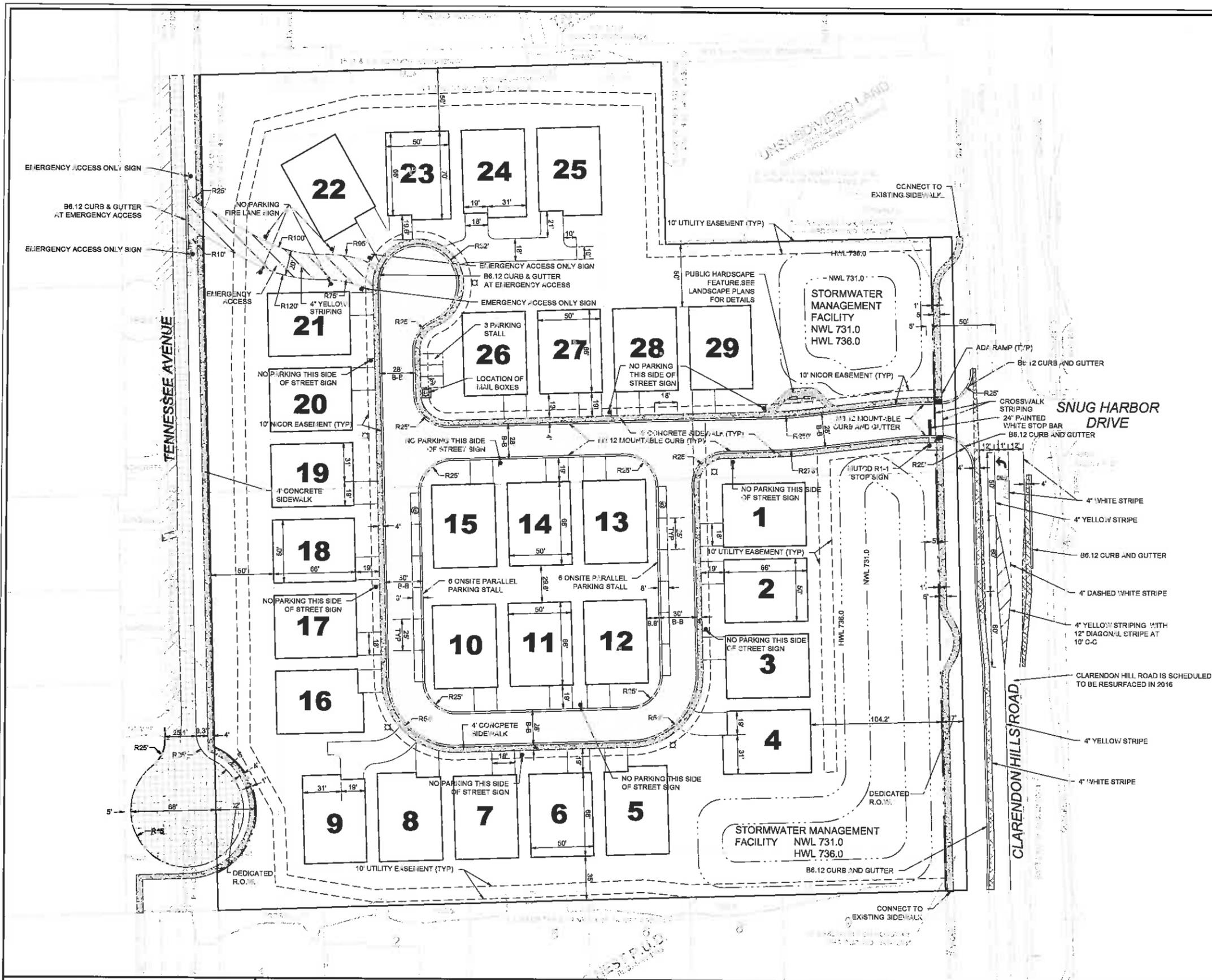
PROJECT NO.:	15230	DESIGNED BY:	EEF
FILE NAME:	C1.0 EXC15230.DWG	DRAWN BY:	BJD
ORIGINAL ISSUE DATE:	01-22-16	CHECKED BY:	BCR
SCALE:	1"=40'	PROJECT MANAGER:	BCR

CARRINGTON CLUB
 ILLINOIS
 WILLOWBROOK

EXISTING CONDITIONS PLAN
C1.0
 DRAWING NO.

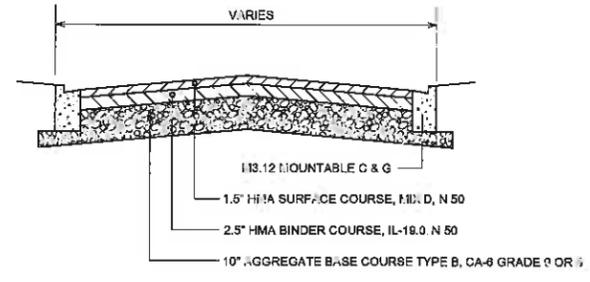


15230 - EXISTING CONDITIONS PLAN

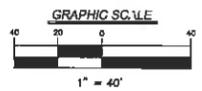


PAVING LEGEND

ONSITE HMA PAVEMENT	
	1.5" HMA SURFACE COURSE, MIX D, N 50 2.5" HMA BINDER COURSE, IL-19.0, N 50 10" AGGREGATE BASE COURSE TYPE B, CA-6 GRADE 9 OR 8
HMA PAVEMENT (TENNESSEE AVENUE)	
	1.5" HMA SURFACE COURSE, MIX D, N 50 3.5" HMA BINDER COURSE, IL-19.0, N 50 12" AGGREGATE BASE COURSE TYPE B, CA-6 GRADE 9 OR 8
HMA PAVEMENT (CLARENDON HILLS ROAD)	
	2" HMA SURFACE COURSE, MIX D, N 50 2.5" HMA BINDER COURSE, IL-19.0, N 50 4.5" BITUMINOUS AGGREGATE MATERIAL 8" AGGREGATE BASE COURSE TYPE B, CA-6 GRADE 9 OR 8
MILL AND RESURFACE	
	1.5" HMA SURFACE COURSE, MIX D, N 50
CONCRETE SIDEWALK	
	5" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE TYPE B, CA-6 GRADE 9 OR 8
DRIVEWAY PAVEMENT	
	2" HMA SURFACE COURSE, MIX D, N 50 8" AGGREGATE BASE COURSE TYPE B, CA-6 GRADE 9 OR 8



TYPICAL ON-SITE ROAD SECTION DETAIL



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	02.24.16	PER MILLAGE COMMENTS			
2	03.15.16	PER MILLAGE COMMENTS			

PROJECT NO.:	15230	DESIGNED BY:	EEF
FILE NAME:	C2.0 LAY15230.DWG	DRAWN BY:	BJD
CRITICAL ISSUE DATE:	01-22-16	CHECKED BY:	BCR
SCALE:	1"=40'	PROJECT MANAGER:	BCR

CARRINGTON CLUB

LAYOUT PLAN

C2.0

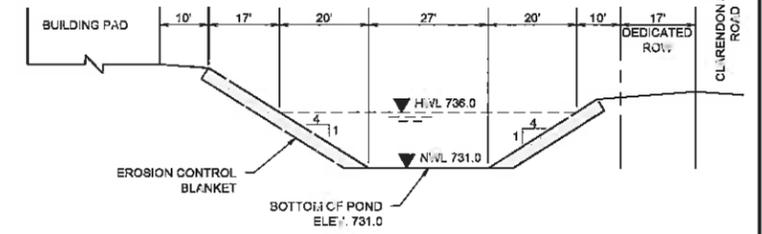
WILLOWBROOK

ILLINOIS

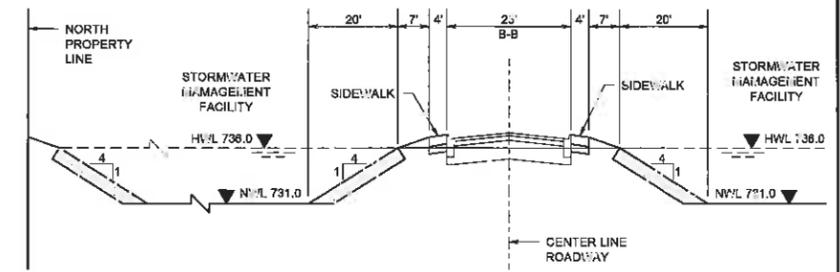
15230 - LAYOUT PLAN

NOTES:

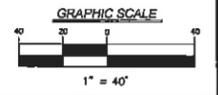
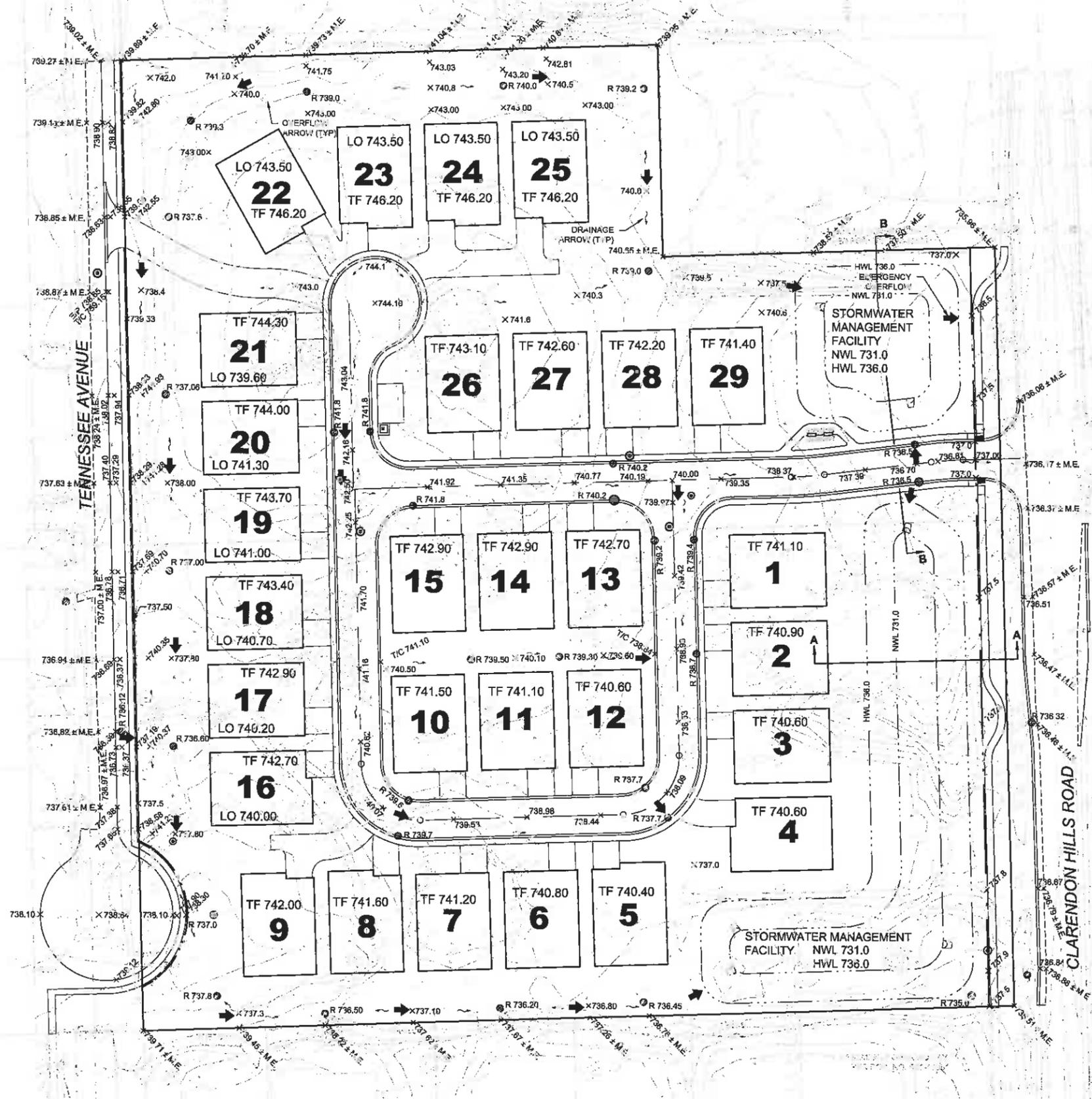
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURBS AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.75% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDE WALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED.
4. PROVIDE HEAVY DUTY SUMP PUMPS AND/OR FOUNDATION WATERPROOFING IF AS NECESSARY FOR HOUSES ADJACENT TO STORM WATER MANAGEMENT FACILITIES.
5. REAR YARD SWALES ARE DESIGNED TO BE 1% MINIMUM LONGITUDINAL SLOPE.



TYPICAL POND SECTION A - A



TYPICAL POND SECTION B - B



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	02.24.16	PER VILLAGE COMMENTS	
2	03.16.16	PER VILLAGE COMMENTS	

PROJECT NO.	15230	DESIGNED BY:	EEF
FILE NAME:	C3.0 GRD15230.DWG	DRAWN BY:	BJD
ORIGIN & ISSUE DATE:	01-2-16	CHECKED BY:	BCR
SCALE:	1"=40'	PROJECT MANAGER:	BCR

CARRINGTON CLUB

GRADING PLAN

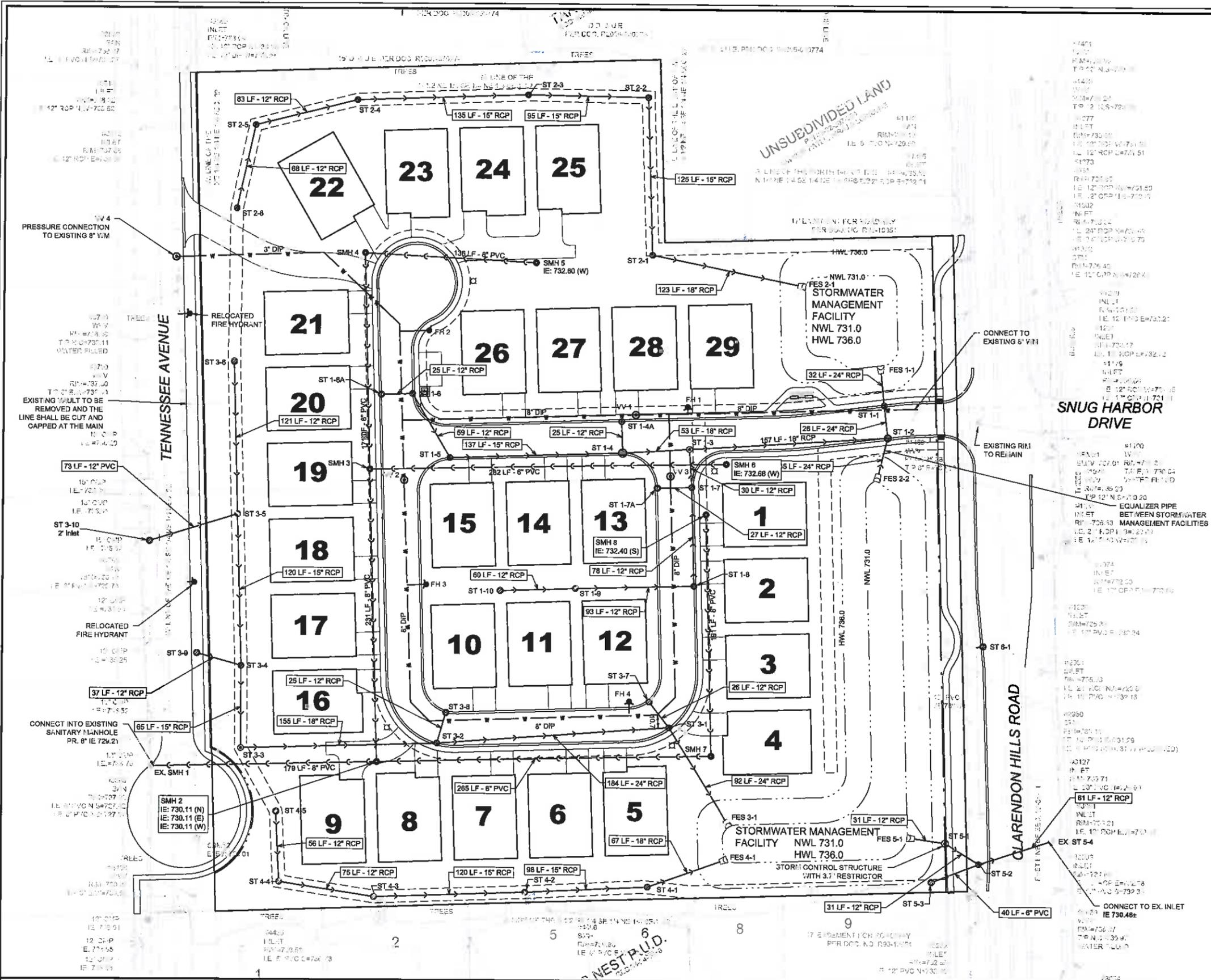
C3.0

WILLOWBROOK

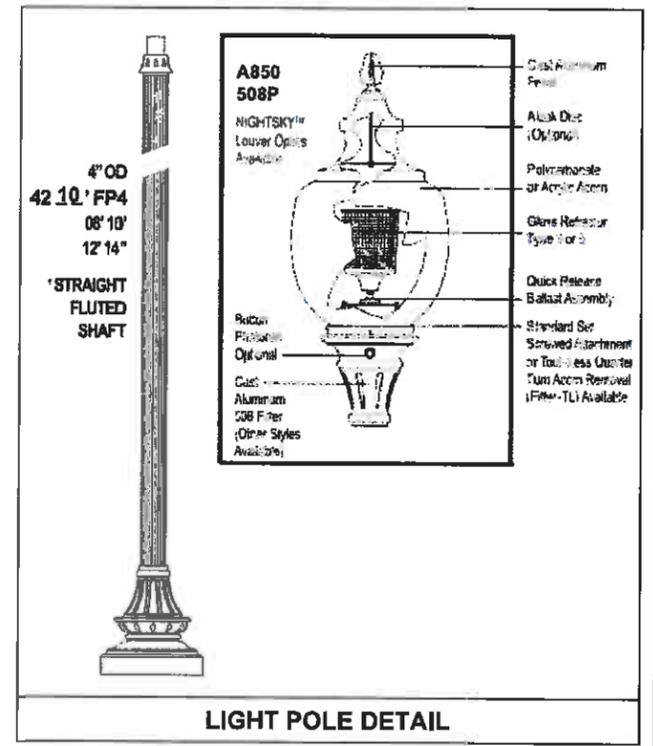
ILLINOIS

DRAWING NO.

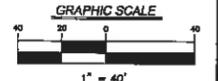
15230 - GRADING PLAN



- NOTES:**
- UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORAGE STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2602 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORAGE STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORAGE STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORAGE STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE.
 - LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.



LIGHT POLE DETAIL



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	02.24.16	PER VILLAGE COMMENTS	
2	03.16.16	PER VILLAGE COMMENTS	

PROJECT NO.:	15230	DESIGNED BY:	EEF
FILE NAME:	C4.0 UTL15230.DWG	DRAWN BY:	BJD
ORIGINAL ISSUE DATE:	01-22-16	CHECKED BY:	BCR
SCALE:	1"=40'	PROJECT MANAGER:	BCR

CARRINGTON CLUB

UTILITY PLAN

C4.0

WILLOWBROOK ILLINOIS

15230 - UTILITY PLAN

PRELIMINARY PLAT OF SUBDIVISION OF CARRINGTON CLUB

P.L.N.: 09-22-207-001
09-22-207-003



LEGAL DESCRIPTION

PARCEL 1: THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER EXCEPT THE NORTH 145.0 FEET OF THE EAST 261.0 FEET OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

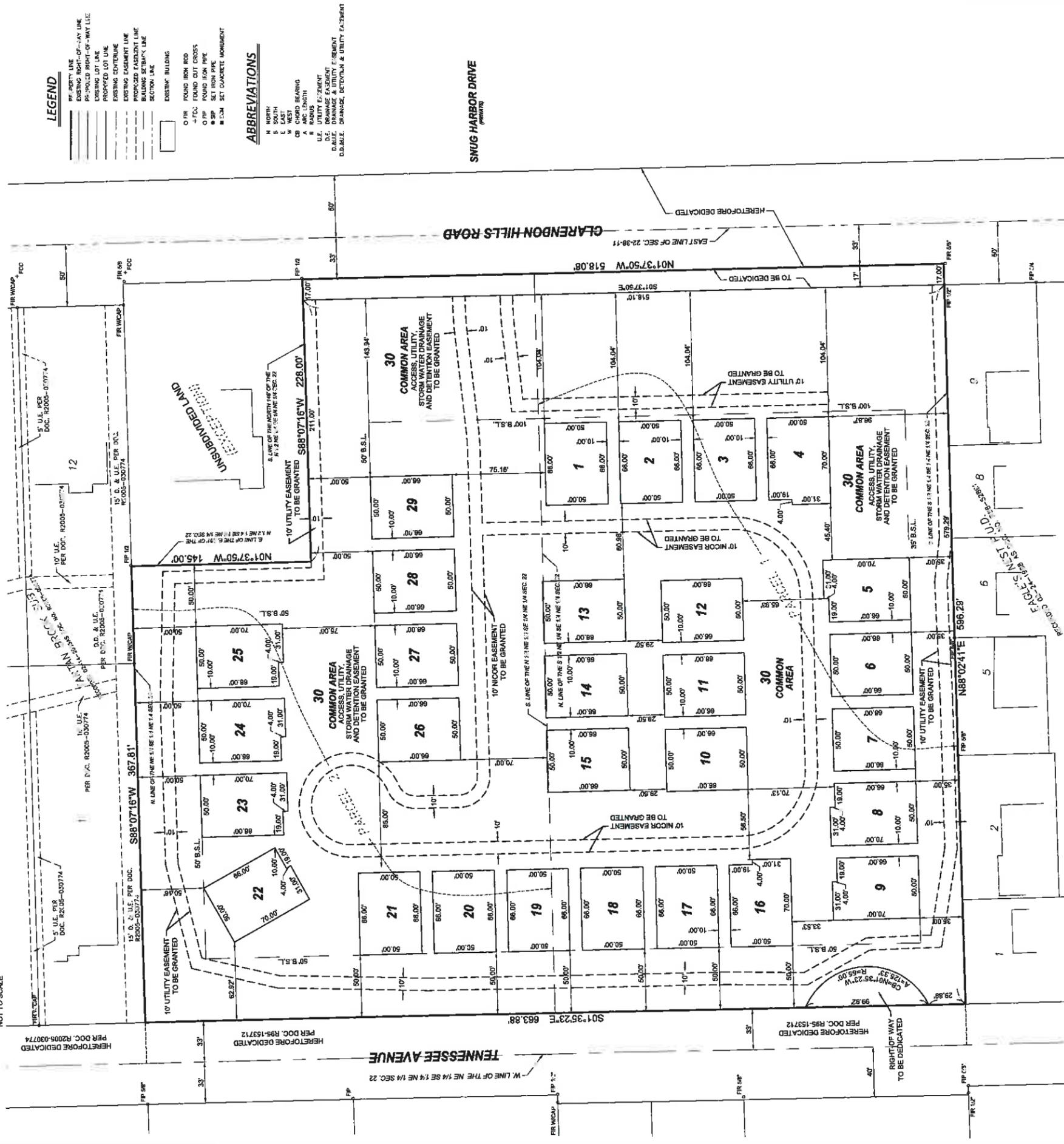
BASIS OF BEARINGS

BASIS OF BEARING IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE (1201)
SCALE FACTOR: 1.00036462

GRAPHIC SCALE



VICINITY MAP
NOT TO SCALE



LOT #	Sq. Ft.	Acres
1-3, 5, 7, 10-15, 17-21, 28-19	3,300	0.0758
4, 5, 6, 9, 16, 22-25	3,424	0.0786
(TOTAL)	66,816	2.2228
COMMON AREA	254,478	5.8420
DEDICATED R.O.W.	11,105	0.2549
TOTAL	362,399	8.3195

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OUTSIDE THE 0.5% ANNUAL CHANCE FLOODPLAIN (ZONE "A") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF DUPAGE COUNTY, ILLINOIS (COMMUNITY PANEL NO. 170437090594) EFFECTIVE DATE DECEMBER 16, 2004.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }
THIS IS TO CERTIFY THAT THE MEMBERS OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, ILLINOIS HAVE REVIEWED AND APPROVED THIS PLAT.
DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS
THIS _____ DAY OF _____ A.D., 20__

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }
ANTHONY J. STRICKLAND, AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE PLAT HEREON SUBMITTED WAS PREPARED UNDER MY DIRECTION. ALL DIMENSIONS SHOWN / ARE IN FEET AND DECIMAL PARTS THEREOF.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D., 20__

NOTES

- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- SEE PROPOSED ENGINEERING PLANS PREPARED BY V3 COMPANIES FOR PROPOSED UTILITIES AND GRADING INFORMATION.
- OVERALL BLANKET EASEMENT WILL BE PROVIDED FOR THE PROPOSED UTILITIES.

BOARD OF TRUSTEES

STATE OF ILLINOIS }
COUNTY OF DUPAGE }
APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____ A.D., 20__

CHAIRMAN: _____ PRESIDENT: _____
SECRETARY: _____ VILLAGE CLERK: _____

OWNER / DEVELOPER
Pulte Home Corporation
1900 E Golf Rd - Suite 300
Schaumburg, IL 60173
847-230-6400

ENGINEER/SURVEYOR
V3 Companies of Illinois, Ltd.
7325 James Avenue, Suite 100
Woodridge, Illinois 60517
630.724.9200



Engineers
Scientists
Surveyors
7325 James Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3.com

PREPARED FOR:
PULTE HOME CORPORATION
1900 E GOLF RD - SUITE 300
SCHAUMBURG, IL 60173
847-230-6400

NO. DATE DESCRIPTION
1 02-20-16 PER REVIEW LETTER DATED 02/10/16
2 02-16-16 REVISED PER VILLAGE COMMENTS

PRELIMINARY PLAT OF SUBDIVISION

CARRINGTON CLUB, WILLOWBROOK, ILLINOIS
DRAWN BY: M.L.P. PROJECT MANAGER: A.J.S.
CHECKED BY: A.S. SCALE: 1" = 40'
FIELD WORK COMPLETED: N/A

Project No: 15230
Group No: VP04.1
SHEET NO. 1 of 1

P.L.N.: 09-22-207-001
09-22-207-003

PRELIMINARY P.U.D. PLAT
OF
CARRINGTON CLUB

LEGAL DESCRIPTION

PARCEL 1: THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

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VICINITY MAP
NOT TO SCALE

BASIS OF BEARINGS

BASIS OF BEARING IS THE ILLINOIS STATE
PLANE MERIDIAN (2011)
SCALE FACTOR: 1.00000042



1" = 40'

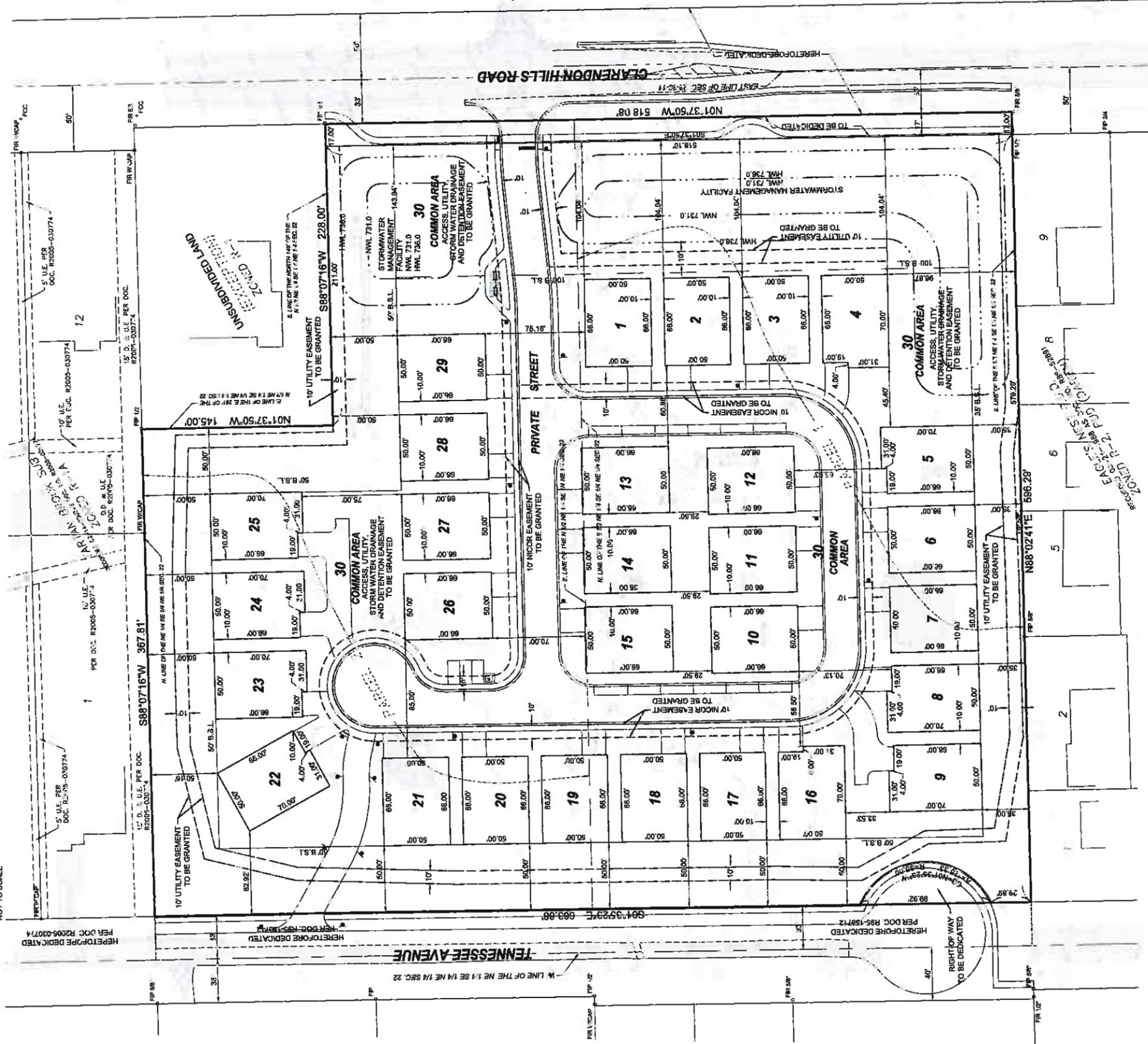
LEGEND

- PROPOSED LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING BUILDING

- O TR FOUND IRON ROD
- FCC FOUND CUT CL-CL
- O TP FOUND IRON PIPE
- SP SET IRON PIPE
- SCM SET CONCRETE MONUMENT

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CURVED BEARING
- R RADIUS
- U.C. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- D.M.E. DRAINAGE UTILITY EASEMENT
- D.R.W.E. DRAINAGE, RETENTION & UTILITY EASEMENT



LOT #	Sq. Ft.	Acres
1-3, 6, 7, 10-15, 17-21, 28-19	3,300	0.0758
4, 5, 8, 9, 16, 22-25	3,424	0.0786
(TOTAL)	66,816	2,2226
COMMON AREA	254,478	5.8420
DEDICATED R-O-W	11,105	0.2546
TOTAL	352,399	8.3165

OWNER / DEVELOPER

PULTE Home Corporation
1900 E Golf Rd - Suite 300
SCHAUMBURG, IL 60173
847-230-5400

ENGINEER/SURVEYOR

V3 Companies of Illinois, Ltd.
7325 Janes Avenue, Suite 100
Woodridge, Illinois 60517
630.724.9200

NOTES

- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- SEE PROPOSED ENGINEERING PLANS PREPARED BY V3 COMPANIES FOR PROPOSED UTILITIES AND GRADING INFORMATION.
- OVERALL BLANKET EASEMENT WILL BE PROVIDED FOR THE PROPOSED UTILITIES.

Carrington Club
Site Data Chart

ITEM	AREA/NUMBER	UNIT
PROJECT SITE SQUARE FOOTAGE	352,399	SF
LOTS 1-28	66,816	SF
LOT 30	254,478	SF
DEDICATED CLARENDON HILLS ROAD ROW	6,808	SF
DEDICATED TENNESSEE AVENUE ROW	5,207	SF
TOTAL PROJECT SITE SQUARE FOOTAGE	365,309	SF
ZONING INFORMATION		
CURRENT ZONING	R-1	
PROPOSED ZONING	R-1, PUD	
LOT FRONTAGE (CLARENDON HILLS ROAD)	618	LF
BACK YARD (CLARENDON HILLS ROAD)	100	LF
INTERIOR SIDE (NORTH PROPERTY LINE)	35	LF
INTERIOR SIDE (SOUTH PROPERTY LINE)	35	LF
REAR YARD (TENNESSEE AVENUE)	50	LF
TOTAL IMPERVIOUS SURFACE	4674	SF
LOT FOOTPRINT	0.28	
FLOOR AREA RATIO	0.26	
PARKING SUMMARY		
PARKING DEMAND PER MUNICIPAL CODE	59	SPACES
SINGLE-FAMILY DETACHED DWELLINGS (2 spaces per dwelling, not more than 4 (two dwelling units)	59	SPACES
SPACES PROVIDED	59	SPACES
ON-STREET PARKING	16	SPACES
ON-STREET PARKING	73	SPACES
TOTAL SPA'S PROVIDED	73	SPACES

Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PRELIMINARY P.U.D. PLAT

CARRINGTON CLUB, WILLOWBROOK, ILLINOIS

Project No: 15230

Group No: VP04.1

DRAFTING COMPLETED: 01-22-16 DRAWN BY: MLP PROJECT MANAGER: AUS

FIELD WORK COMPLETED: NA CHECKED BY: AUS SCALE: 1" = 40'

SHEET NO. 1 of 1

**Preliminary
Landscape Development Plans**



△ 2.24.2016 - Per Village Review
△ 3.16.2016 - Per Village Review

HINSBROOK CLUB

WILLOWBROOK, ILLINOIS



DEVELOPER :

1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173
(847) 230.5331 voice

ENGINEER :

V3 Companies
7325 Janes Avenue
Woodridge, Illinois 60517
(630) 724.9200 voice
Project Manager: Bryan Rieger, PE

LANDSCAPE ARCHITECT :

Signature Design Group, Inc.
132 N. Washington Street
Naperville, Illinois 60540
(630) 305.3980 Fax: (630) 305.3994
Project Manager: Greg G. Sagen, RLA



LOCATION MAP

INDEX OF DRAWINGS

- L.100 Overall Composite Plan
- L.101 Entrance Area Enlargement
- L.102 Plant List, Notes & Details
- L.103 Turf Exhibit
- L.104 Prototypical House Plans
- L.105 Preliminary Signage and Site Details
- △ L.106 Site Details

- TS.100 Existing Tree Survey

project:

Carrington Club

Willowbrook, Illinois

sheet description:

Preliminary Overall Landscape Plan

client:



north: scale: 1" = 40'0"

▲	5.12.2016	Per Arborist's Site Increase
▲	4.27.2016	Per Arborist's Adjustment
▲	4.22.2016	Per Homeowner Request
▲	3.18.2016	Per Village Review
▲	2.24.2016	Per Village Review

revisions:

original issue date: **25 January 2016**

drawn by:

checked by:

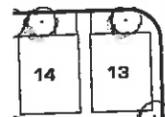
project no.: **25036**

sheet no.:

L100

PLANT MATERIAL LEGEND : (Sheets L100 Only)

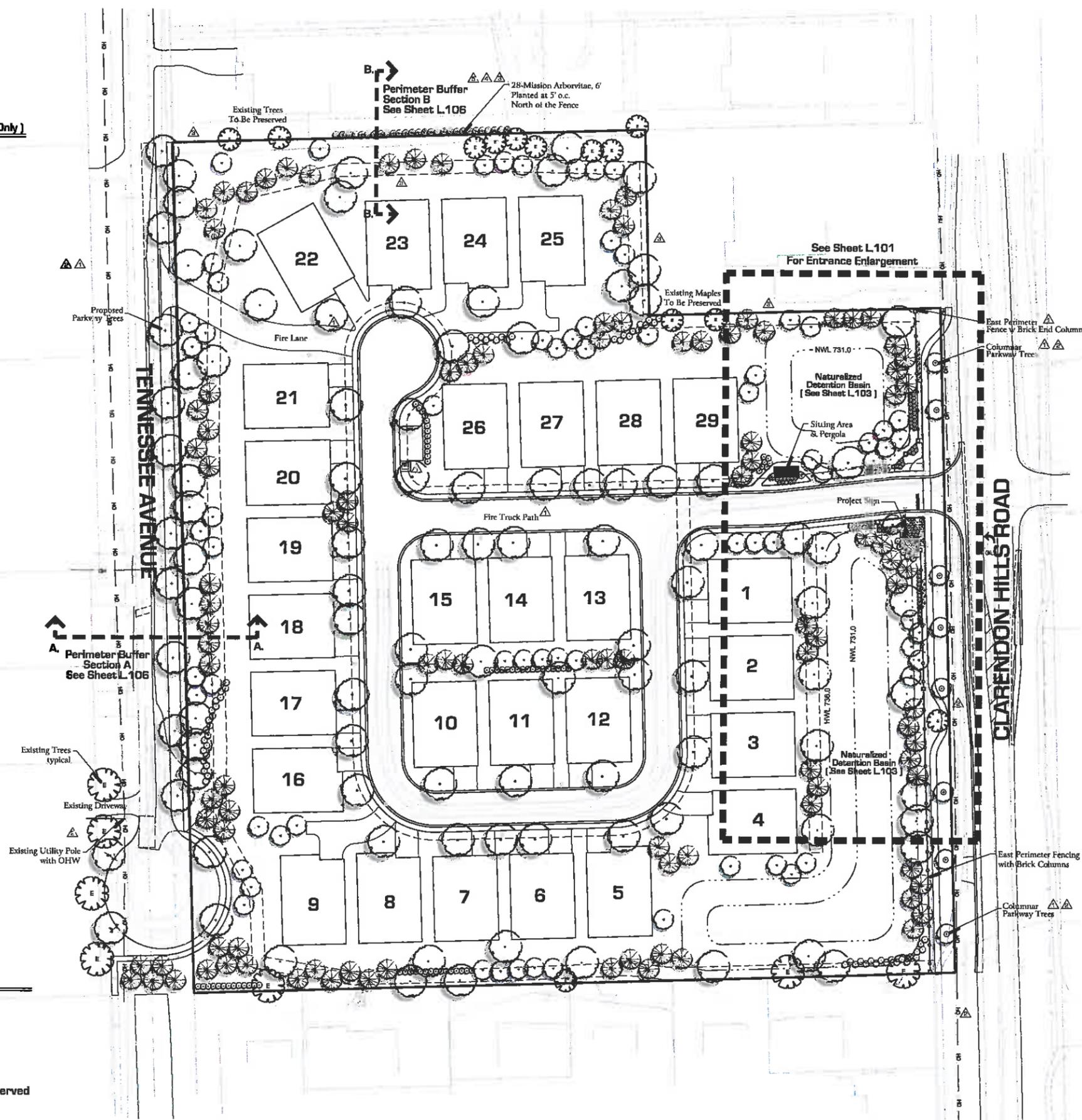
- Columnar Parkway Trees, 3" Caliper
- Parkway Trees, 3" Caliper
- Shade Trees, 3" - 4" Caliper
- Ornamental Trees, 6' - 10' m/s
- Evergreen Trees, 8' tall
- Evergreen Shrubs, 24" wide
- Deciduous Shrubs, 36" tall
Dwarf Varieties, 18" tall
- Perennials & Grasses, 1 Gal.
- Cluster Mailbox Location
- Existing Trees - To Be Preserved
see sheet TS.100



Typical Unit Foundation Plantings
- See Sheet L.104 for Detail -

Notes :

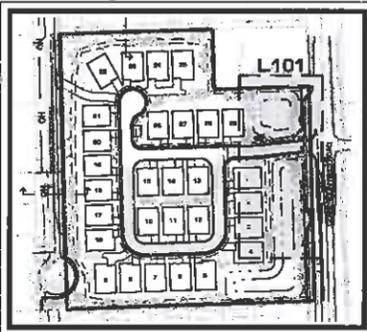
- See Sheet L.102 for a Preliminary Plant Material List
- See Sheet L.104 for Typical House Landscape Plans
- See Sheet L.102 for Planting Details and Construction Notes
- See Sheet L.103 for Turf Establishment Limits
- See Sheet TS.100 for an Inventory of Existing Trees to be Preserved



PLANT MATERIAL LEGEND : (Sheets L.101 Only)

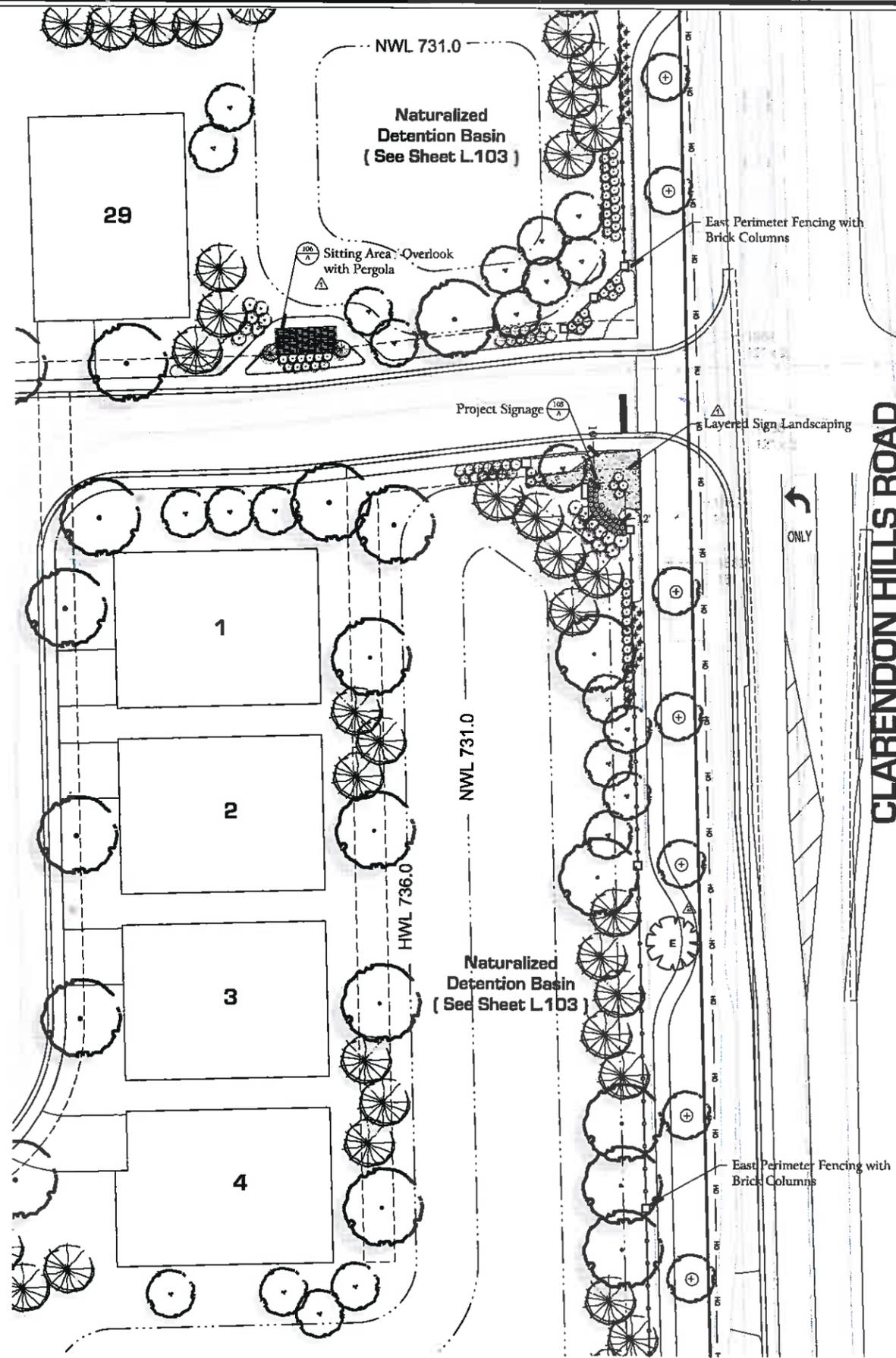
-  Columnar Parkway Trees, 3" Caliper
-  Parkway Trees, 3" Caliper
-  Shade Trees, 3" - 4" Caliper
-  Ornamental Trees, 6' - 10' m/s
-  Evergreen Trees, 8' tall
-  Evergreen Shrubs, 24" wide
-  Deciduous Shrubs, 36" tall
Dwarf Varieties, 18" tall
-  Perennials & Grasses, 1 Gal.
-  Cluster Mailbox Location
-  Existing Trees - To Be Preserved [△]
see sheet TS.100

Sheet Key :



Notes :

- See Sheet L.102 for a Preliminary Plant Material List
- See Sheet L.104 for Typical House Landscape Plans
- See Sheet L.102 for Planting Details and Construction Notes
- See Sheet L.103 for Turf Establishment Limits
- See Sheet TS.100 for an Inventory of Existing Trees to be Preserved



Land Planning
Landscape Architecture
Environmental Site Design

604 WASHINGTON ST. - NAPERVILLE, IL 60563 - 630.306.2180 FAX 630.306.3994

project:

Hinsbrook Club

Willowbrook, Illinois

sheet description:

Entrance Enlargement Plan

owner:



north: scale: 1" = 20'0"



revisions: [△] 3.16.2016 Per Village Review

[△] 2.24.2018 Per Village Review

original issue date: **25 January 2016**

drawn by:

checked by:

project no.: **25036**

sheet no.:

L.101

CONTRACT NO. ALL RIGHTS RESERVED. SIGNATURE DESIGN GROUP, INC.

Representative Plant Material : Δ

Code	Scientific Name	Common Name	Size	Qty	Remarks
SHADE TREES					
AAB	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0'		B&B
AAB.4	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	4.0'		B&B
AAMS	Acer spicatum 'Morton'	State Street Maple	3.0'		B&B
AMM	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3.0'		B&B
AMS	Acer rubrum 'Red Sunset'	Red Sunset Maple	3.0'		B&B
CC	Celtis occidentalis 'Chicopecan'	Chicopecan Hackberry	3.0'		B&B
GD	Gymnocladia dioica	Kentucky Coffeetree	3.0'		B&B
GBM	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	3.0'		B&B
GTB	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	4.0'		B&B
PAE	Platanus x acerifolia 'London Planetree'	London Planetree	3.0'		B&B
PC	Prunus coccinea 'Chanticleer'	Chanticleer Pear	3.0'		B&B
QB	Quercus bicolor	Sweet White Oak	3.0'		B&B
QM	Quercus macrocarpa	Bur Oak	3.0'		B&B
QMC	Quercus macrocarpa	Chickadee Oak	3.0'		B&B
QR	Quercus rubra	Red Oak	3.0'		B&B
TA	Tilia americana	American Linden	3.0'		B&B
TAR	Tilia americana 'Redmond'	Redmond American Linden	3.0'		B&B
TG	Tilia cordata 'Greenapple'	Greenapple Littleleaf Linden	3.0'		B&B
TG.10	Tilia cordata 'Greenapple'	Greenapple Littleleaf Linden	10'		B&B, Multi-Stem
TD	Taxodium distichum	Bald Cypress	3.0'		B&B
ORNAMENTAL TREES					
AG	Alexis glauca	Black Alder	6'		B&B, Multi-Stem
ASG	Amelanchier x grandiflora	Apple Serviceberry	6'		B&B, Multi-Stem
BNH	Betula nigra 'Heritage'	Heritage River Birch	10'		B&B, Multi-Stem
CC	Cornus ovata 'var. inermis'	Thornless Cockspur Hawthorn	7'		B&B, Multi-Stem
CMG	Cornus mas 'Golden Glory'	Golden Glory Cherry Dogwood	6'		B&B, Multi-Stem
CP	Cornus pauciflora	Washington Hawthorn	6'		B&B, Multi-Stem
CRB	Cercis canadensis	Eastern Redbud	6'		B&B, Multi-Stem
MF	Malus fluviatilis	Japanese Flowering Crab	2.5'		B&B
MPF	Malus 'Prairie Fire'	Prairie Fire Flowering Crab	2.5'		B&B
MSC	Malus 'Snowdrift'	Snowdrift Flowering Crab	6'		B&B, Multi-Stem
SFM	Syringa pekinensis 'Mortini'	China Snow White Lilac	2.5'		B&B
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	6'		B&B, Multi-Stem
EVERGREEN TREES					
FC	Juniperus chinensis 'Fairview'	Fairview Upright Juniper	6'		B&B
PA.8	Pinus strobus	Norway Spruce	8'		B&B
PG	Pinus strobus 'Glenn'	Blue Leader Pine	6'		B&B
PC	Pinus strobus 'Dorset'	Black Hills Spruce	6'		B&B
PN	Pinus nigra	Austrian Pine	6'		B&B
PP.8	Pinus pungens	Colorado Green Spruce	8'		B&B
PSW	Pinus strobus	Eastern White Pine	8'		B&B
EVERGREEN SHRUBS					
KS	Juniperus chinensis var. sargentii	Green Sargent Juniper	16'		3 Gallon Container
KC	Juniperus chinensis 'Kallaya Compacta'	Kallaya Compact Juniper	16'		3 Gallon Container
ORNAMENTAL SHRUBS					
AAB	Arctostaphylos uva-ursi 'Bullhead'	Bullhead Red Chokeberry	24"		3 Gallon Container
AMM	Arctostaphylos uva-ursi 'Mortini'	Arctostaphylos uva-ursi 'Mortini'	24"		3 Gallon Container
CA	Celastrus scandens	Flaking Currant	36"		3 Gallon Container
CSB	Cornus sericea 'Balfour'	Balfour's Redosga Dogwood	36"		3 Gallon Container
CSC	Cornus sericea 'Cardinal'	Cardinal Dogwood	36"		3 Gallon Container
CTS	Chaenactis speciosa 'Texas Scarlet'	Texas Scarlet Quince	18"		3 Gallon Container
LAW	Enocymus nitropurpureus	Eastern Wahoo	36"		B&B
FM	Forsythia 'Meadowlark'	Meadowlark Forsythia	24"		3 Gallon Container
HAA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24"		3 Gallon Container
HPT	Hydrangea paniculata 'Lardner'	Lardner Hydrangea	24"		3 Gallon Container
MB	Myrica pennsylvanica	Northern Bayberry	24"		3 Gallon Container
RAG	Rhus aromatica 'Krohn'	Cerulean Fragrant Sumac	18"		3 Gallon Container
RRK	Rosa 'Blushina Knockout'	Blushing Knockout Rose	18"		3 Gallon Container
RCP	Rosa 'Prairie Fire'	Prairie Fire Shrub Rose	18"		3 Gallon Container
RKO	Rosa 'Knockout'	Knockout Shrub Rose	18"		3 Gallon Container
RTL	Rosa 'Yvonne Riddle'	Flour Eyes Cutleaf Sumac	36"		3 Gallon Container
SCG	Spiraea x alba 'Cockburn'	Cockburn Spirea	24"		3 Gallon Container
SB	Sorbus alba	Ural Falgopier	24"		3 Gallon Container
VBW	Viburnum x burkwoodii	Burkwood Viburnum	30"		3 Gallon Container
VLM	Viburnum lentago	Nannyberry Viburnum	30"		3 Gallon Container
VOC	Viburnum opulus	European Cranberrybush Vib.	30"		3 Gallon Container
V14	Viburnum plicatum var. tomentosum 'Martini'	Marble Doublefile Viburnum	30"		3 Gallon Container
PERENNIALS & ORNAMENTAL GRASSES					
AFC	Achillea millefolium 'Coronation Gold'	Coronation Gold Yarrow	1 G.		Container
AFS	Allium siliquosum 'Purple Sensation'	Purple Sensation Allium	1 G.		Container
CAB	Calamagrostis canadensis v. leucostachya	Canada Blue Reed Grass	1 G.		Container
CKF	Calamagrostis canadensis 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 G.		Container
CIN	Calamagrostis canadensis v. serotina	Ironweed	1 G.		Container
COT	Chelone obliqua	Blue Turtlesbane	1 G.		Container
GR	Geranium x Rozanne'	Rozanne Cranesbill	1 G.		Container
HJH	Hemerocallis 'Happy Return'	Happy Return Daylily	1 G.		Container
HHR	Hemerocallis 'Happy Return'	Happy Return Daylily	1 G.		Container
NBW	Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catnip	1 G.		Container
PA	Phlox paniculata	Rustian Sage	1 G.		Container
PVS	Penstemon virginicus 'Shenandoah'	Shenandoah Penstemon	1 G.		Container
RI	Rudbeckia fulgida 'Goldstrum'	Blackeye Susan	1 G.		Container
SII	Sporobolus heterostachyus	Prairie Dropseed	1 G.		Container
SRI	Solidago rugosa 'Firework'	Firework Goldenrod	1 G.		Container

Note: This list represents the palette of plant material, and general sizes, to be used on this project for preliminary Village Review. Plant material will be individually labeled and final schedule quantities provided upon submittal to the Village for Final PUD Approval.

Parkway Trees :

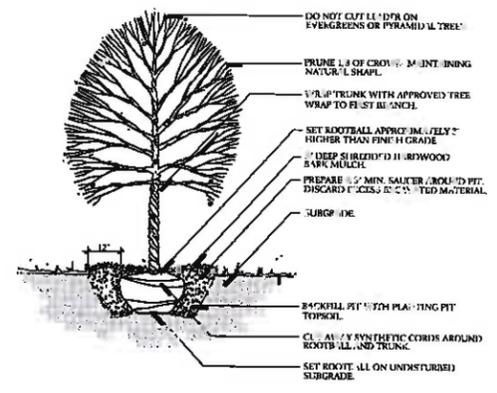
Code	Scientific Name	Common Name	Size	Qty	Remarks
SHADE TREES					
AEL	Acer platanoides 'Emerald Lace'	Emerald Lace Norway Maple	3.0'		B&B
AAB	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0'		B&B
AMM	Acer spicatum 'Morton'	State Street Maple	3.0'		B&B
CC	Celtis occidentalis 'Chicopecan'	Chicopecan Hackberry	3.0'		B&B
GD	Gymnocladia dioica	Kentucky Coffeetree	3.0'		B&B
GIS	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	3.0'		B&B
QD	Quercus dioica	Kentucky Coffeetree	3.0'		B&B
PFE	Platanus x acerifolia 'Emancipation'	Emancipation London Planetree	3.0'		B&B
PC	Prunus coccinea 'Chanticleer'	Chanticleer Pear	3.0'		B&B
QB	Quercus bicolor	Sweet White Oak	3.0'		B&B
TAR	Tilia americana 'Redmond'	Redmond American Linden	3.0'		B&B
TG	Tilia cordata 'Greenapple'	Greenapple Littleleaf Linden	3.0'		B&B

Parkway Tree Notes :

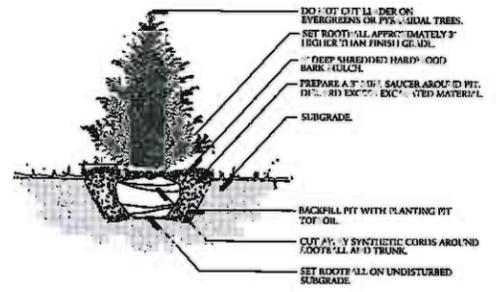
- Trees of the same species may not be planted consecutively.
- Trees should be planted to avoid utility conflicts in the parkway and shall be no closer than 8' from all street intersections.
- Understory trees must be used in areas with an overhead utility conflict.
- Plant material along, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant tag represent minimum requirements.
- Quantity lists are supplied as a convenience. Contractor shall verify all quantities, and in case of a discrepancy, the plan shall prevail.
- Trees shall be set back a minimum of ten (10) feet horizontally from utility structures, including, but not limited to, manholes, water valves, valve boxes, fire hydrants, transformers and service lines. Trees shall be set back a minimum of 8' from street lights. Approval of the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- No trees, shrubs or cactuses will be allowed 10' in front, 8' on the sides, and 7' to the rear of the electrical transformer.
- Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- The Landscape Contractor shall verify locations of all underground utilities prior to digging, is required to Contact JULLIE (1.800.888.0123), and any other public or private agency necessary for utility location 48 hours prior to construction.
- Where underground utilities exist, all field adjustments must be approved by the landscape architect.
- The Landscape Contractor shall water plant material, seed and soil areas until the plants have become adequately established and until final acceptance by the owner. Owner to provide all supplemental watering and proper care and maintenance of all plant material, seed and soil areas after acceptance of Landscape Contractors work.
- No plants are to be changed or substituted without the approval of the Landscape Architect and the Village of Willowbrook.
- Landscape Contractor shall warrant all material and labor for a period of one year from the date of final acceptance and shall repair any defects and replace all dead plant material as required during the warranty period.

Construction Notes :

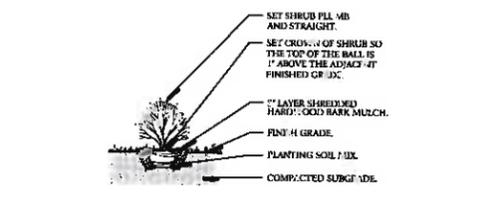
- Soil at turf areas as noted with an approved blend of Improved Kentucky Bluegrass Seed with a mineral soil base.
- Soil seed at remaining turf areas: no removal and cover with an S-75 Erosion Control Blanket and staple in place. Seed shall be applied at a rate of 200 lbs. per Acre. Lawn seed mix shall be as follows:
70% Improved Kentucky Bluegrass (minimum three varieties)
30% Improved Perennial Ryegrass (minimum two varieties with endophytes)
10% Creeping Red Fescue
- Final grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.
- Prior to turf installation all areas shall be fertilized with a 18-12-12 granular fertilizer at a rate of 400 lbs. per Acre.
- Prepare perennial, ornamental grass, groundcover and annual flower beds with 1 CY. mushroom compost per 100 SF, tilled to an 8" depth.
- Mulch all trees, shrubs, perennials and annuals in beds with a minimum of three inches shredded hardwood bark mulch.
- Match all groundcover and annual beds with minimum of one inch pinebark fines.
- All bed lines and tree sensors require a 4" deep spaced edge between lawn and mulch areas.
- All evergreen (conifer) trees and shrubs must be grown in a natural shape - and egg sheared.
- Plant material along, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant tag represent minimum requirements.
- Quantity lists are supplied as a convenience. Contractor shall verify all quantities, and in case of a discrepancy, the plan shall prevail.
- The Landscape Contractor shall adjust plant locations in field to maintain appropriate spacing from fire hydrants, light poles, all utility structures, driveways and sidewalks. Approval of the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
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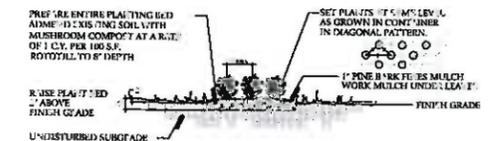
102 A Typical Tree Planting Detail NTS



102 B Typical Evergreen Planting Detail NTS



102 C Typical Shrub Planting Detail NTS



102 D Typical Perennial Planting Detail NTS



Land Planning
Landscape Architecture
Environmental Site Design

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project:

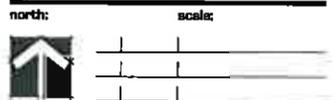
Hinsbrook Club

Willowbrook, Illinois

sheet description:

Plant List, Notes & Details

owner:



original issue date: 25 January 2016

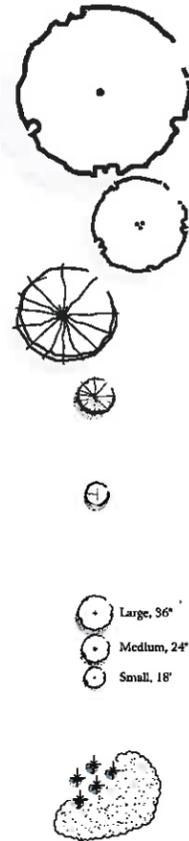
drawn by:

checked by:

project no.: 25036

sheet no.:

PLANT MATERIAL LEGEND : (Sheets L104 Only)



Shade Trees, 2.5" - 3" Caliper:

- | | |
|----------------------|------------------------|
| Autumn Blaze Maple | Chanticleer Pear |
| Common Hackberry | Bowling White Oak |
| Daytime Honeylocust | Boulevard Amer. Linden |
| Kentucky Coffee Tree | Greenspire Linden |

Ornamental Trees, 6" m/e or 3" Caliper:

- | | |
|-------------------|--------------------|
| River Birch | Witchhazel |
| Prairie Fire Crab | Apple Serviceberry |
| Red Jewel Crab | Jap. Tree Lilac |

Large Evergreens, 6' tall:

- | | |
|------------------|------------------|
| Norway Spruce | Colorado Spruce |
| Swiss Stone Pine | Canadian Hemlock |

Upright Evergreens, 5' - 6' tall:

- | | |
|-------------------------|--------------------------|
| Brahm's Arborvitae | Fairview Upright Juniper |
| Spartan Upright Juniper | Mason Arborvitae |

Evergreen Shrubs, 18" - 24" wide:

- | | |
|------------------------|------------------------------|
| Dawn Yew | Green Velvet Boxwood |
| Kelley Compact Juniper | Bigleaf Euonymus (Vogelbein) |

Deciduous Shrubs, 18" - 36" tall:

- | | |
|----------------------|----------------------|
| Northern Bayberry | Grobo Bumco |
| Black Chokeberry | Baghorn Bumco |
| Redwig Dogwood | Viburnum Var. |
| Panicle Hydrangea | Shrub Rose Var. |
| Texas Scarlet Quince | Groffelm Spirea |
| O.M. Algaes Currant | Dr. Bush Honeylocust |
| Goldensour Spirea | Miss Kim Lilac |
| Annabelle Hydrangea | H.G. Sweetgum |

Perennials & Grasses, 1 Gal:

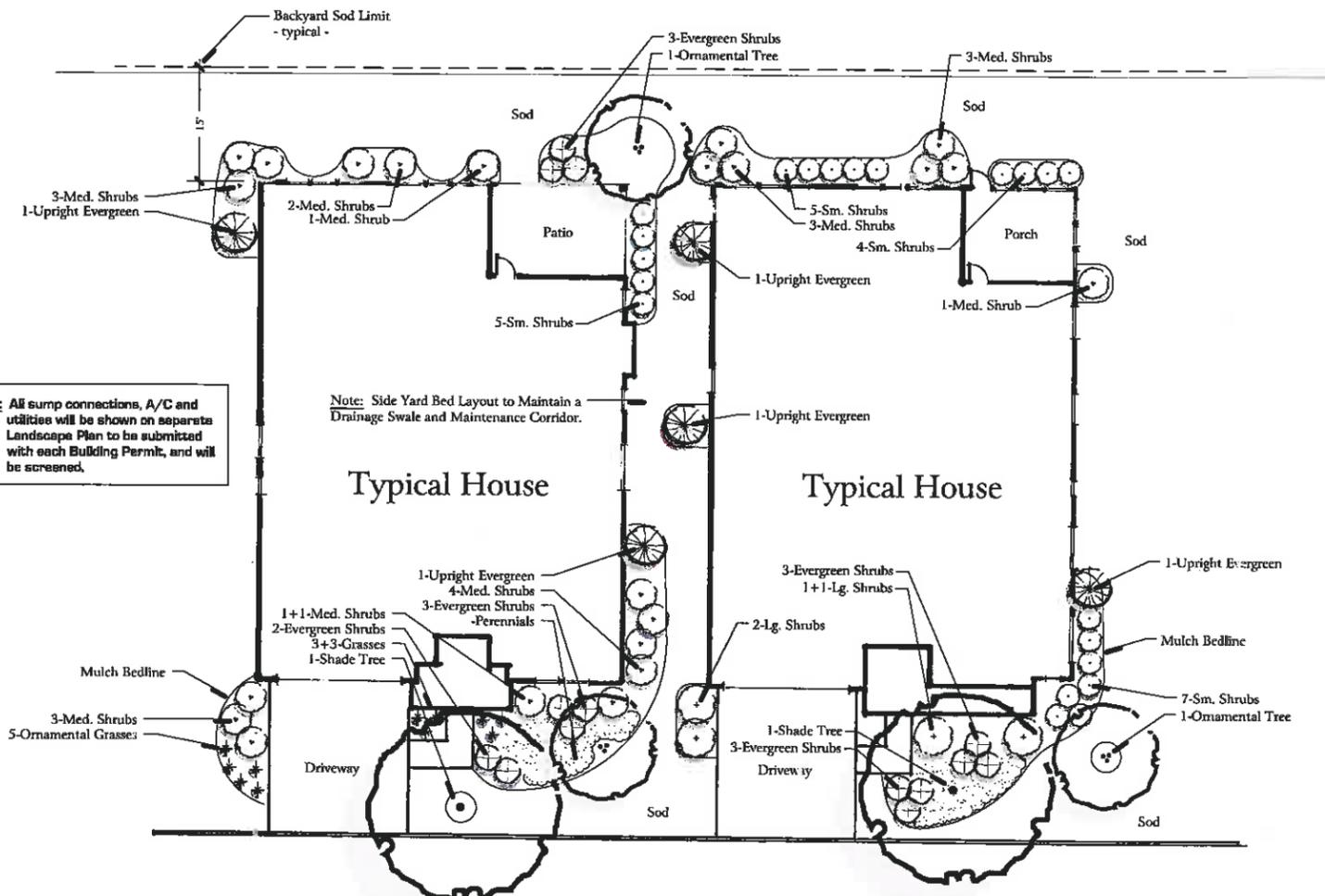
- | | |
|-------------------|---------------------|
| Black Eye Susan | Switchgrass |
| Purple Coneflower | Purple Dropseed |
| Russian Sage | Fountain Head Grass |
| Blue Columbine | Northern Sea Date |
| Driftly Sp. | Autumn Moor Grass |

CONSTRUCTION NOTES :

- Sod all lot turf areas as noted with an approved blend of Improved Kentucky Bluegrass Sod with a mineral soil back.
- Final grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.
- Prior to turf installation all areas shall be fertilized with a 12-12-12 granular fertilizer at a rate of 400 lbs. per Acre.
- Prepare perennials, ornamental grass, groundcover and annual flower beds with 1 CY. mushroom compost per 100 SF, rototilled to an 8" depth.
- Mulch all trees, shrubs, perennial & ornamental grass beds with a minimum of three inches shredded hardwood bark mulch.
- Mulch all groundcover and annual beds with minimum of one inch pinebark fines.
- All bed lines and tree secures require a 4" deep spaded edge between lawn and mulch areas.
- All evergreen (conifers) trees and shrubs must be grown in a natural shape - and not sheared.
- Plant material sizing, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Size and spreads on plants that represents minimum requirements.
- Quantity lists are supplied as a convenience. Contractor shall verify all quantities, and in case of a discrepancy, the plan shall prevail.
- The Landscape Contractor shall adjust plant locations in field to maintain appropriate spacing from fire hydrants, light poles, all utility structures, driveways and sidewalks. Approval of the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- The Landscape Contractor shall verify locations of all underground utilities prior to digging, is required to Contact U.L.L.I.E. (1.800.882.0123), and any other public or private agency necessary for utility location 48 hours prior to construction.
- Where underground utilities exist, all field adjustments must be approved by the landscape architect.
- The Landscape Contractor shall water plant material, seed and sod areas until the plants have become adequately established and until final acceptance by the owner. Owner to provide all supplemental watering and proper care and maintenance of all plant materials, seed and sod areas after acceptance of Landscape Contractors work.
- No plants are to be changed or substituted without the approval of the Landscape Architect and the Village of Willowbrook.
- Landscape Contractor shall warrant all material and labor for a period of one year from the date of final acceptance and shall repair any defects and replace all dead plant material as required during the warranty period.

Note: Adjacent common area trees, evergreens and ornamentals are not shown on this exhibit. See Common area landscape plans for additional plantings.

Note: Typical Home Planting Plans show the ground level of landscaping, plant material selections and design intent. Final Plans will be adjusted as required for unit mix, front and sideyard setback requirements, and will be submitted with each building permit. ⚠



Note: All sump connections, A/C and utilities will be shown on separate Landscape Plan to be submitted with each Building Permit, and will be screened.

Note: Side Yard Bed Layout to Maintain a Drainage Swale and Maintenance Corridor.

A Typical Home Landscape Plans scale: 1" = 10'0"



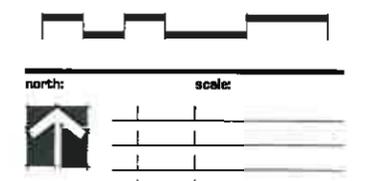
Land Planning
Landscape Architecture
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Hinsbrook Club

Willowbrook, Illinois

Preliminary Prototypical House Planting Plans



revisions: 3.18.2016 | Per Village Review
2.24.2018 | Per Village Review

original issue date: 25 January 2016

drawn by:
checked by:
project no: 25036
sheet no:

project:

Hinsbrook Club

Willowbrook, Illinois

sheet description:

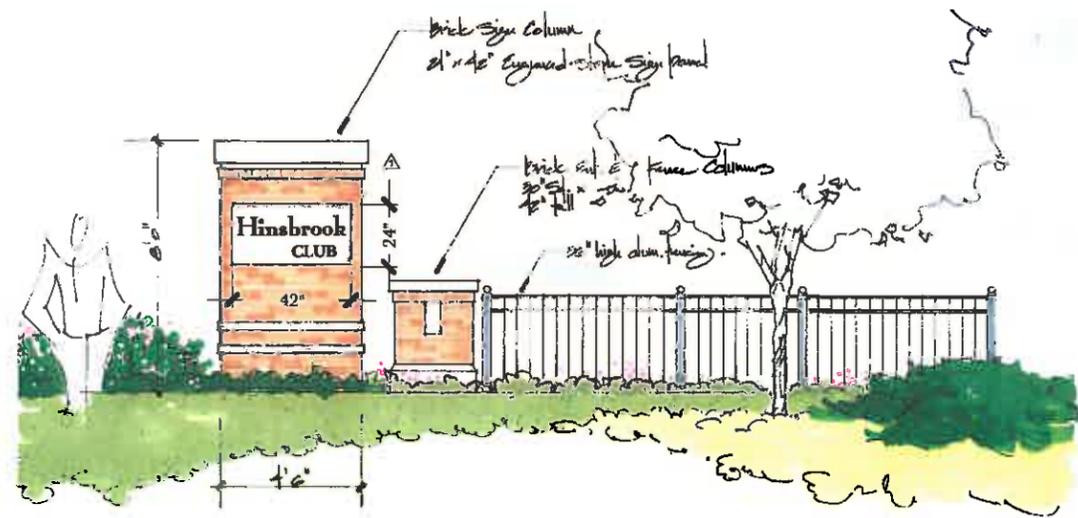
Preliminary Signage & Site Details

owner:

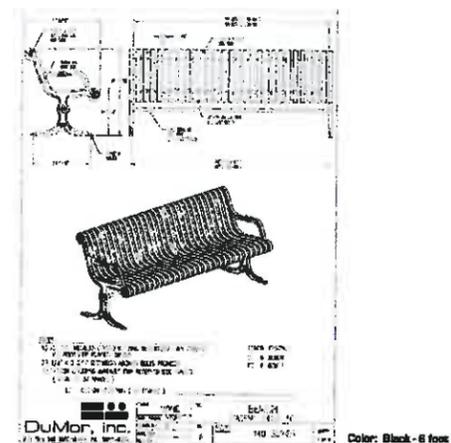


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revisions:	1. 3.16.2016 Per Village Review 2. 2.24.2016 Per Village Review
original issue date:	25 January 2016

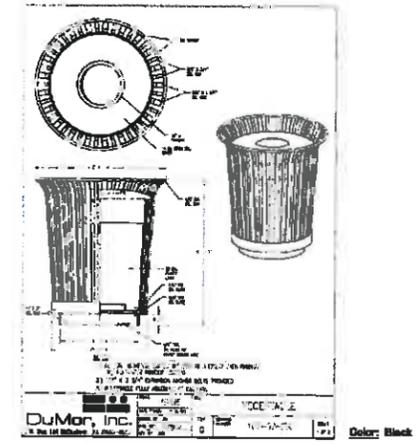
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checked by:
project no.: 25036
sheet no.:



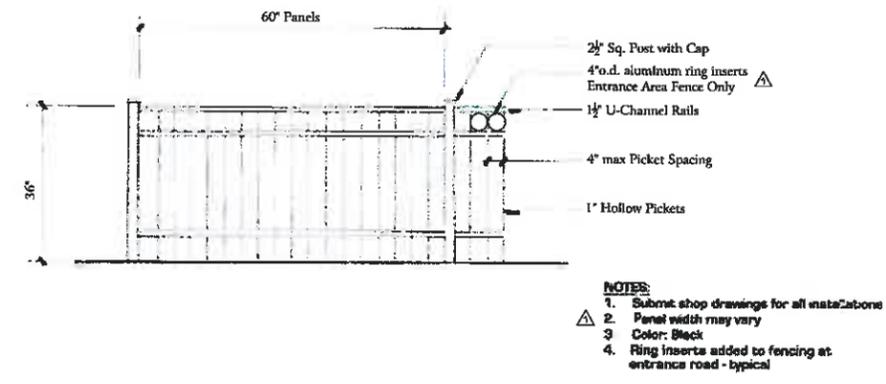
A Monument Sign Elevation



C Bench Detail



D Trash Receptacle



E Entrance Fencing Detail

project:

Hinsbrook Club

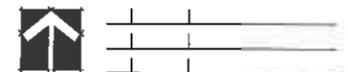
Willowbrook, Illinois

sheet description:

Preliminary Site Details & Sections



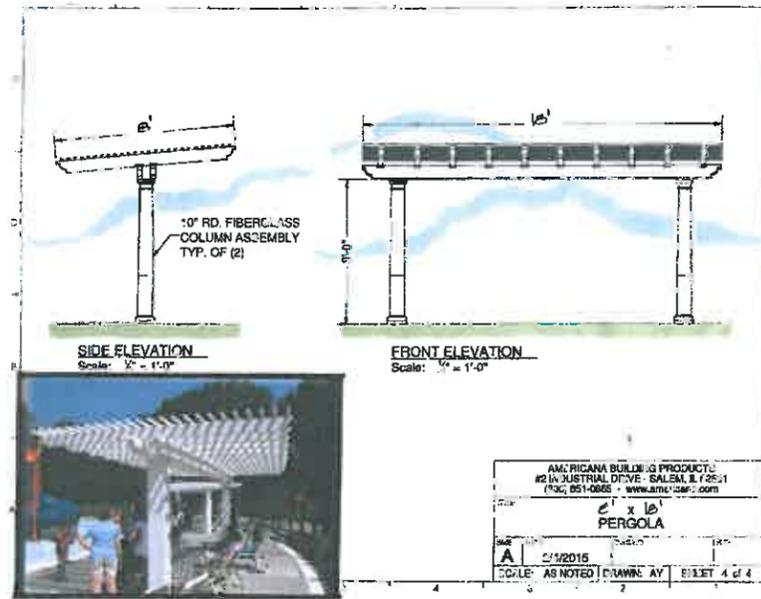
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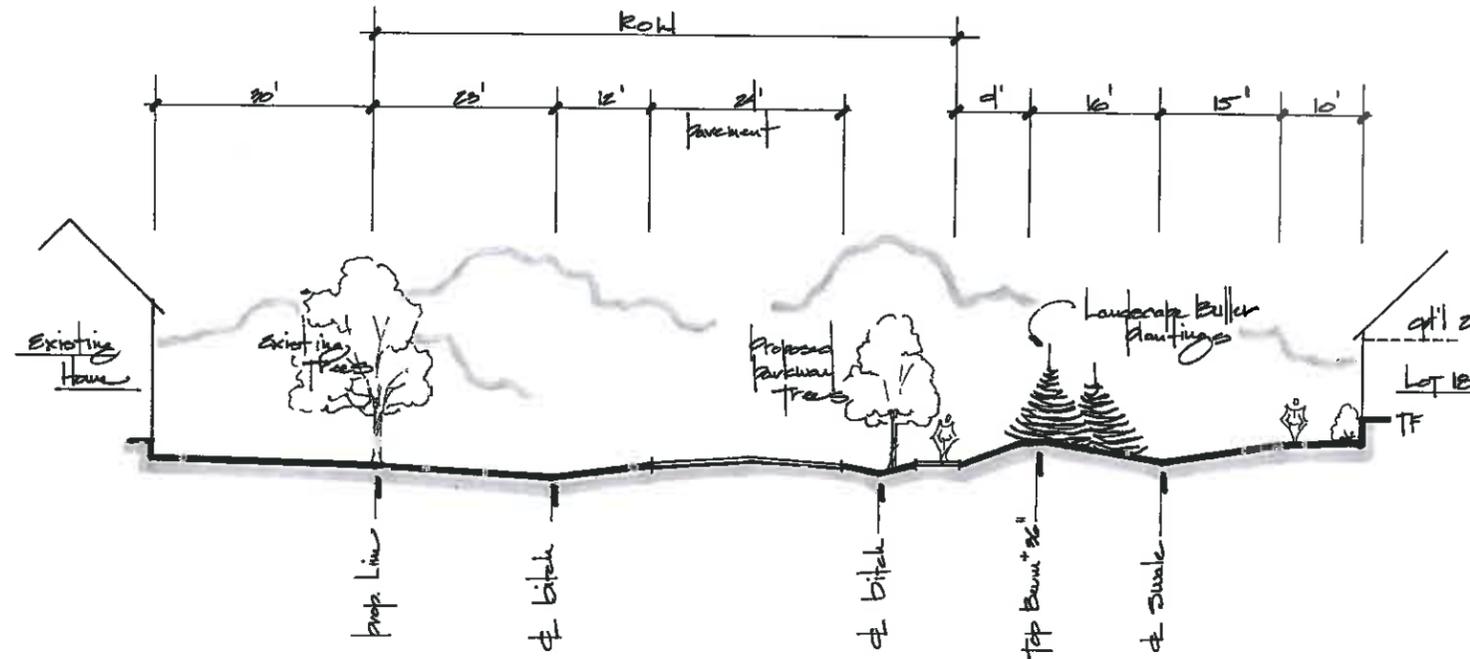
revisions:
 3.18.2016 | Per Village Review
 2.24.2016 | Per Village Review

original issue date: **25 January 2016**

drawn by:
 checked by:
 project no.: **25036**
 sheet no.:

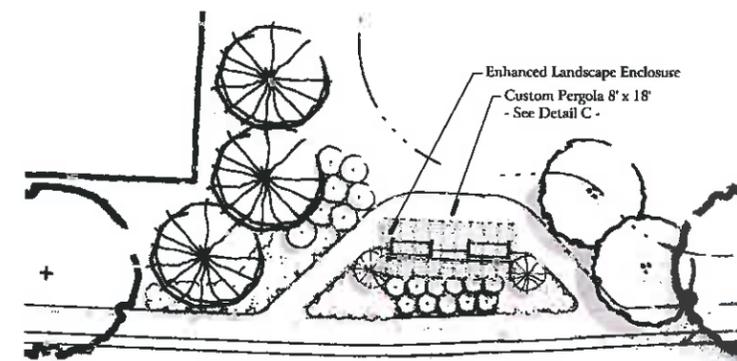


C Pergola Detail ▲

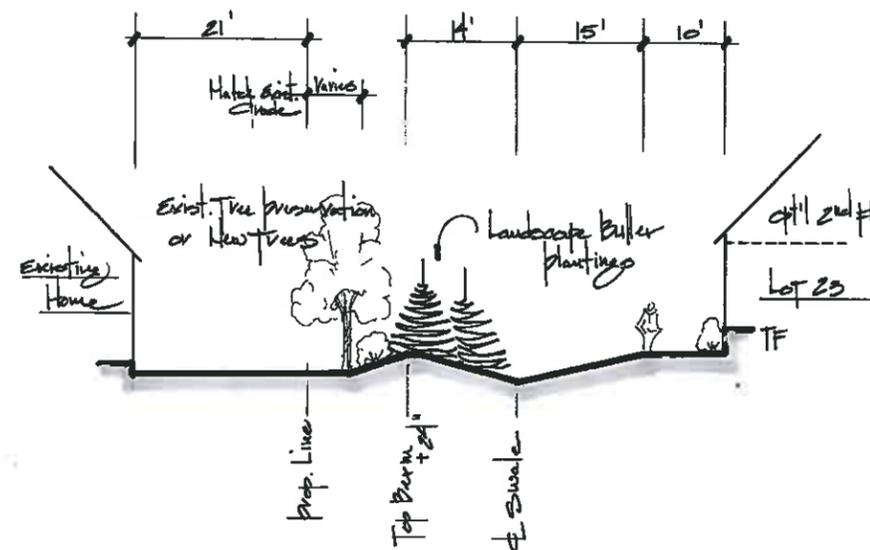


A Typical Perimeter Buffer Section A ▲

scale: 1" = 10' 0"



D Sitting Area Enlargement ▲



B Typical Perimeter Buffer Section B ▲

scale: 1" = 10' 0"

EXISTING TREE INVENTORY:

SP.	Botanical Name	Common Name	DBH (inches)	Height (feet)	Health	Notes
1001	Acer glaberrimum	Smooth Barked Maple	12	25	Good	
1002	Acer glaberrimum	Smooth Barked Maple	15	30	Good	
1003	Acer glaberrimum	Smooth Barked Maple	18	35	Good	
1004	Acer glaberrimum	Smooth Barked Maple	22	40	Good	
1005	Acer glaberrimum	Smooth Barked Maple	25	45	Good	
1006	Acer glaberrimum	Smooth Barked Maple	30	50	Good	
1007	Acer glaberrimum	Smooth Barked Maple	35	55	Good	
1008	Acer glaberrimum	Smooth Barked Maple	40	60	Good	
1009	Acer glaberrimum	Smooth Barked Maple	45	65	Good	
1010	Acer glaberrimum	Smooth Barked Maple	50	70	Good	
1011	Acer glaberrimum	Smooth Barked Maple	55	75	Good	
1012	Acer glaberrimum	Smooth Barked Maple	60	80	Good	
1013	Acer glaberrimum	Smooth Barked Maple	65	85	Good	
1014	Acer glaberrimum	Smooth Barked Maple	70	90	Good	
1015	Acer glaberrimum	Smooth Barked Maple	75	95	Good	
1016	Acer glaberrimum	Smooth Barked Maple	80	100	Good	
1017	Acer glaberrimum	Smooth Barked Maple	85	105	Good	
1018	Acer glaberrimum	Smooth Barked Maple	90	110	Good	
1019	Acer glaberrimum	Smooth Barked Maple	95	115	Good	
1020	Acer glaberrimum	Smooth Barked Maple	100	120	Good	
1021	Acer glaberrimum	Smooth Barked Maple	105	125	Good	
1022	Acer glaberrimum	Smooth Barked Maple	110	130	Good	
1023	Acer glaberrimum	Smooth Barked Maple	115	135	Good	
1024	Acer glaberrimum	Smooth Barked Maple	120	140	Good	
1025	Acer glaberrimum	Smooth Barked Maple	125	145	Good	
1026	Acer glaberrimum	Smooth Barked Maple	130	150	Good	
1027	Acer glaberrimum	Smooth Barked Maple	135	155	Good	
1028	Acer glaberrimum	Smooth Barked Maple	140	160	Good	
1029	Acer glaberrimum	Smooth Barked Maple	145	165	Good	
1030	Acer glaberrimum	Smooth Barked Maple	150	170	Good	
1031	Acer glaberrimum	Smooth Barked Maple	155	175	Good	
1032	Acer glaberrimum	Smooth Barked Maple	160	180	Good	
1033	Acer glaberrimum	Smooth Barked Maple	165	185	Good	
1034	Acer glaberrimum	Smooth Barked Maple	170	190	Good	
1035	Acer glaberrimum	Smooth Barked Maple	175	195	Good	
1036	Acer glaberrimum	Smooth Barked Maple	180	200	Good	
1037	Acer glaberrimum	Smooth Barked Maple	185	205	Good	
1038	Acer glaberrimum	Smooth Barked Maple	190	210	Good	
1039	Acer glaberrimum	Smooth Barked Maple	195	215	Good	
1040	Acer glaberrimum	Smooth Barked Maple	200	220	Good	
1041	Acer glaberrimum	Smooth Barked Maple	205	225	Good	
1042	Acer glaberrimum	Smooth Barked Maple	210	230	Good	
1043	Acer glaberrimum	Smooth Barked Maple	215	235	Good	
1044	Acer glaberrimum	Smooth Barked Maple	220	240	Good	
1045	Acer glaberrimum	Smooth Barked Maple	225	245	Good	
1046	Acer glaberrimum	Smooth Barked Maple	230	250	Good	
1047	Acer glaberrimum	Smooth Barked Maple	235	255	Good	
1048	Acer glaberrimum	Smooth Barked Maple	240	260	Good	
1049	Acer glaberrimum	Smooth Barked Maple	245	265	Good	
1050	Acer glaberrimum	Smooth Barked Maple	250	270	Good	
1051	Acer glaberrimum	Smooth Barked Maple	255	275	Good	
1052	Acer glaberrimum	Smooth Barked Maple	260	280	Good	
1053	Acer glaberrimum	Smooth Barked Maple	265	285	Good	
1054	Acer glaberrimum	Smooth Barked Maple	270	290	Good	
1055	Acer glaberrimum	Smooth Barked Maple	275	295	Good	
1056	Acer glaberrimum	Smooth Barked Maple	280	300	Good	
1057	Acer glaberrimum	Smooth Barked Maple	285	305	Good	
1058	Acer glaberrimum	Smooth Barked Maple	290	310	Good	
1059	Acer glaberrimum	Smooth Barked Maple	295	315	Good	
1060	Acer glaberrimum	Smooth Barked Maple	300	320	Good	
1061	Acer glaberrimum	Smooth Barked Maple	305	325	Good	
1062	Acer glaberrimum	Smooth Barked Maple	310	330	Good	
1063	Acer glaberrimum	Smooth Barked Maple	315	335	Good	
1064	Acer glaberrimum	Smooth Barked Maple	320	340	Good	
1065	Acer glaberrimum	Smooth Barked Maple	325	345	Good	
1066	Acer glaberrimum	Smooth Barked Maple	330	350	Good	
1067	Acer glaberrimum	Smooth Barked Maple	335	355	Good	
1068	Acer glaberrimum	Smooth Barked Maple	340	360	Good	
1069	Acer glaberrimum	Smooth Barked Maple	345	365	Good	
1070	Acer glaberrimum	Smooth Barked Maple	350	370	Good	
1071	Acer glaberrimum	Smooth Barked Maple	355	375	Good	
1072	Acer glaberrimum	Smooth Barked Maple	360	380	Good	
1073	Acer glaberrimum	Smooth Barked Maple	365	385	Good	
1074	Acer glaberrimum	Smooth Barked Maple	370	390	Good	
1075	Acer glaberrimum	Smooth Barked Maple	375	395	Good	
1076	Acer glaberrimum	Smooth Barked Maple	380	400	Good	
1077	Acer glaberrimum	Smooth Barked Maple	385	405	Good	
1078	Acer glaberrimum	Smooth Barked Maple	390	410	Good	
1079	Acer glaberrimum	Smooth Barked Maple	395	415	Good	
1080	Acer glaberrimum	Smooth Barked Maple	400	420	Good	
1081	Acer glaberrimum	Smooth Barked Maple	405	425	Good	
1082	Acer glaberrimum	Smooth Barked Maple	410	430	Good	
1083	Acer glaberrimum	Smooth Barked Maple	415	435	Good	
1084	Acer glaberrimum	Smooth Barked Maple	420	440	Good	
1085	Acer glaberrimum	Smooth Barked Maple	425	445	Good	
1086	Acer glaberrimum	Smooth Barked Maple	430	450	Good	
1087	Acer glaberrimum	Smooth Barked Maple	435	455	Good	
1088	Acer glaberrimum	Smooth Barked Maple	440	460	Good	
1089	Acer glaberrimum	Smooth Barked Maple	445	465	Good	
1090	Acer glaberrimum	Smooth Barked Maple	450	470	Good	
1091	Acer glaberrimum	Smooth Barked Maple	455	475	Good	
1092	Acer glaberrimum	Smooth Barked Maple	460	480	Good	
1093	Acer glaberrimum	Smooth Barked Maple	465	485	Good	
1094	Acer glaberrimum	Smooth Barked Maple	470	490	Good	
1095	Acer glaberrimum	Smooth Barked Maple	475	495	Good	
1096	Acer glaberrimum	Smooth Barked Maple	480	500	Good	
1097	Acer glaberrimum	Smooth Barked Maple	485	505	Good	
1098	Acer glaberrimum	Smooth Barked Maple	490	510	Good	
1099	Acer glaberrimum	Smooth Barked Maple	495	515	Good	
1100	Acer glaberrimum	Smooth Barked Maple	500	520	Good	
1101	Acer glaberrimum	Smooth Barked Maple	505	525	Good	
1102	Acer glaberrimum	Smooth Barked Maple	510	530	Good	
1103	Acer glaberrimum	Smooth Barked Maple	515	535	Good	
1104	Acer glaberrimum	Smooth Barked Maple	520	540	Good	
1105	Acer glaberrimum	Smooth Barked Maple	525	545	Good	
1106	Acer glaberrimum	Smooth Barked Maple	530	550	Good	
1107	Acer glaberrimum	Smooth Barked Maple	535	555	Good	
1108	Acer glaberrimum	Smooth Barked Maple	540	560	Good	
1109	Acer glaberrimum	Smooth Barked Maple	545	565	Good	
1110	Acer glaberrimum	Smooth Barked Maple	550	570	Good	
1111	Acer glaberrimum	Smooth Barked Maple	555	575	Good	
1112	Acer glaberrimum	Smooth Barked Maple	560	580	Good	
1113	Acer glaberrimum	Smooth Barked Maple	565	585	Good	
1114	Acer glaberrimum	Smooth Barked Maple	570	590	Good	
1115	Acer glaberrimum	Smooth Barked Maple	575	595	Good	
1116	Acer glaberrimum	Smooth Barked Maple	580	600	Good	
1117	Acer glaberrimum	Smooth Barked Maple	585	605	Good	
1118	Acer glaberrimum	Smooth Barked Maple	590	610	Good	
1119	Acer glaberrimum	Smooth Barked Maple	595	615	Good	
1120	Acer glaberrimum	Smooth Barked Maple	600	620	Good	
1121	Acer glaberrimum	Smooth Barked Maple	605	625	Good	
1122	Acer glaberrimum	Smooth Barked Maple	610	630	Good	
1123	Acer glaberrimum	Smooth Barked Maple	615	635	Good	
1124	Acer glaberrimum	Smooth Barked Maple	620	640	Good	
1125	Acer glaberrimum	Smooth Barked Maple	625	645	Good	
1126	Acer glaberrimum	Smooth Barked Maple	630	650	Good	
1127	Acer glaberrimum	Smooth Barked Maple	635	655	Good	
1128	Acer glaberrimum	Smooth Barked Maple	640	660	Good	
1129	Acer glaberrimum	Smooth Barked Maple	645	665	Good	
1130	Acer glaberrimum	Smooth Barked Maple	650	670	Good	
1131	Acer glaberrimum	Smooth Barked Maple	655	675	Good	
1132	Acer glaberrimum	Smooth Barked Maple	660	680	Good	
1133	Acer glaberrimum	Smooth Barked Maple	665	685	Good	
1134	Acer glaberrimum	Smooth Barked Maple	670	690	Good	
1135	Acer glaberrimum	Smooth Barked Maple	675	695	Good	
1136	Acer glaberrimum	Smooth Barked Maple	680	700	Good	
1137	Acer glaberrimum	Smooth Barked Maple	685	705	Good	
1138	Acer glaberrimum	Smooth Barked Maple	690	710	Good	
1139	Acer glaberrimum	Smooth Barked Maple	695	715	Good	
1140	Acer glaberrimum	Smooth Barked Maple	700	720	Good	
1141	Acer glaberrimum	Smooth Barked Maple	705	725	Good	
1142	Acer glaberrimum	Smooth Barked Maple	710	730	Good	
1143	Acer glaberrimum	Smooth Barked Maple	715	735	Good	
1144	Acer glaberrimum	Smooth Barked Maple	720	740	Good	
1145	Acer glaberrimum	Smooth Barked Maple	725	745	Good	
1146	Acer glaberrimum	Smooth Barked Maple	730	750	Good	
1147	Acer glaberrimum	Smooth Barked Maple	735	755	Good	
1148	Acer glaberrimum	Smooth Barked Maple	740	760	Good	
1149	Acer glaberrimum	Smooth Barked Maple	745	765	Good	
1150	Acer glaberrimum	Smooth Barked Maple	750	770	Good	
1151	Acer glaberrimum	Smooth Barked Maple	755	775	Good	
1152	Acer glaberrimum	Smooth Barked Maple	760	780	Good	
1153	Acer glaberrimum	Smooth Barked Maple	765	785	Good	
1154	Acer glaberrimum	Smooth Barked Maple	770	790	Good	
1155	Acer glaberrimum	Smooth Barked Maple	775	795	Good	
1156	Acer glaberrimum	Smooth Barked Maple	780	800	Good	
1157	Acer glaberrimum	Smooth Barked Maple	785	805	Good	
1158	Acer glaberrimum	Smooth Barked Maple	790	810	Good	
1159	Acer glaberrimum	Smooth Barked Maple	795	815	Good	
1160	Acer glaberrimum	Smooth Barked Maple	800	820	Good	
1161	Acer glaberrimum	Smooth Barked Maple	805	825	Good	
1162	Acer glaberrimum	Smooth Barked Maple	810	830	Good	
1163	Acer glaberrimum	Smooth Barked Maple	815	835	Good	
1164	Acer glaberrimum	Smooth Barked Maple	820	840	Good	
1165	Acer glaberrimum	Smooth Barked Maple	825	845	Good	
1166	Acer glaberrimum	Smooth Barked Maple	830	850	Good	
1167	Acer glaberrimum	Smooth Barked Maple	835	855	Good	
1168	Acer glaberrimum	Smooth Barked Maple	840	860	Good	
1169	Acer glaberrimum	Smooth Barked Maple	845	865	Good	
1170	Acer glaberrimum	Smooth Barked Maple	850	870	Good	
1171	Acer glaberrimum	Smooth Barked Maple	855	875	Good	
1172	Acer glaberrimum	Smooth Barked Maple	860	880	Good	
1173	Acer glaberrimum	Smooth Barked Maple	865	885	Good	
1174	Acer glaberrimum	Smooth Barked Maple	870	890	Good	
1175	Acer glaberrimum	Smooth Barked Maple	875	895	Good	
1176	Acer glaberrimum	Smooth Barked Maple	880	900	Good	
1177	Acer glaberrimum	Smooth Barked Maple	885	905	Good	
1178	Acer glaberrimum	Smooth Barked Maple	890	910	Good	
1179	Acer glaberrimum	Smooth Barked Maple	895	915	Good	
1180	Acer glaberrimum	Smooth Barked Maple	900	920	Good	
1181	Acer glaberrimum	Smooth Barked Maple	905	925	Good	
1182	Acer glaberrimum	Smooth Barked Maple	910	930	Good	
1183	Acer glaberrimum	Smooth Barked Maple	915	935	Good	
1184	Acer glaberrimum	Smooth Barked Maple	920	940	Good	
1185	Acer glaberrimum	Smooth Barked Maple	925	945	Good	
1186	Acer glaberrimum	Smooth Barked Maple	930	950	Good	
1187	Acer glaberrimum	Smooth Barked Maple	935	955	Good	
1188	Acer glaberrimum	Smooth Barked Maple	940	960	Good	
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1191	Acer glaberrimum	Smooth Barked Maple	955	975	Good	
1192	Acer glaberrimum	Smooth Barked Maple	960	980	Good	
1193	Acer glaberrimum	Smooth Barked Maple	965	985	Good	
1194	Acer glaberrimum	Smooth Barked Maple	970	990	Good	
1195	Acer glaberrimum	Smooth Barked Maple	975	995	Good	
1196	Acer glaberrimum	Smooth Barked Maple	980	1000	Good	
1197	Acer glaberrimum	Smooth Barked Maple	985	1005	Good	
1198	Acer glaberrimum	Smooth Barked Maple	990	1010	Good	
1199	Acer glaberrimum	Smooth Barked Maple	995	1015	Good	
1200	Acer glaberrimum	Smooth Barked Maple	1000	1020	Good	

CONDITION RATINGS:

Rating	Description	General Criteria
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good	The tree is typical of the species and / or has less than 20% deadwood in the crown, only 1 or 2 minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and / or has less than 40% deadwood in the crown, only 1 or 2 minor problems that are not immediately fatal to the tree and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and ensure continued health. The tree is not typical of the species and / or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
4	Poor	
5	Dead	



Carrington Club
Construction Schedule

March 18, 2016

Zoning Approval and Permitting	January 2016 – August 2016
Site Construction (Erosion Control, Demolition, Mass Grading, Utilities, Roadway)	August 2016 – October 2016
Model Home Start	October 2016
Site Landscaping (site perimeter and detention facilities)	October 2016
Street Light Installation	November 2016
Model Home Grand Opening	March 2017
Home Construction (24 per year)	March 2017 – June 2019



Hinsbrook Club
Building Elevations

January 22, 2016
REV: February 24, 2016

Pulte Homes has selected four models for the Hinsbrook Club residential development. Currently, the models do not have a marketing name, but instead are represented by their square footages: 2383, 2391, 2447, and 2600. Representative building elevations are included in this application submittal for all four of the models. They include base front elevations along with two upgrade front elevations and a rear elevation for each model.

Also included are key-lot rear and side elevations of the homes backing up to Clarendon Hills Road, which have been enhanced above the typical rear and side elevations. The key-lots are lots 1, 2, 3, 4, and 29. The enhancements that Pulte is committed to for the key-lot side elevation are shutters, knee wall brick height, a clipped hip roof at the peak and a second story window. For the key-lot rear elevation, Pulte is committed to gables over the two outside windows and water-table height brick.

All of the elevations included in this submittal are meant to give illustrative examples of what Pulte will be building. The elevations will be further refined during the final approval process. Additional elevations will also be added to provide residents with other options.

The materials for the homes will be high quality materials. The homes will have fiber cement siding with stone, brick, timber, and shaker board accents.



2447.1 -Key Lot-Side

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

MARCH 25, 2016



2447.1 -Key Lot-Rear

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016





2600.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





ASPHALT SHINGLES

ENGINEERED WOOD TRIM

ENGINEERED WOOD SHAKE

27 FT

9 FT

BRICK VENEER

BRICK SOLDIER CRS

STONE W/STONE CAP

2600.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





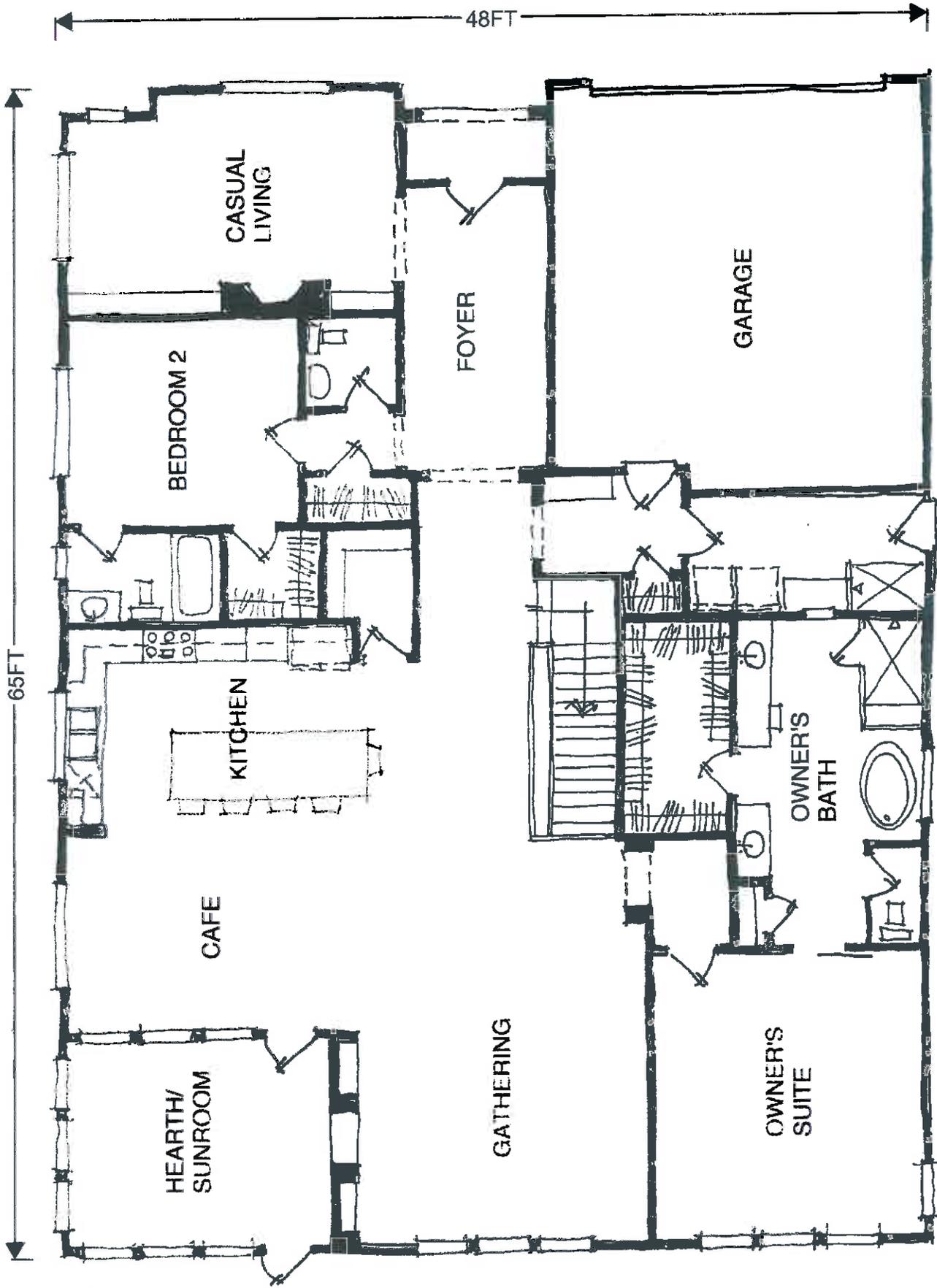
2600.1

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016





2600- MAIN FLOOR PLAN

WILLOWBROOK, IL

FEBRUARY 24, 2016





2447.2-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL

January 26, 2016



2447.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





ASPHALT SHINGLES

ENGINEERED TRIM

27FT

9FT

BRICK VENEER

BRICK SOLDIER

STONE VENEER W/STONE CAP



2447.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



ASPHALT SHINGLES

ENGINEERED WOOD SHINGLE

ENGINEERED WOOD BRACKET & TRIM

ENGINEERED WOOD SIDING

BRICK VENEER W/BRICK ROWLOCK

27FT

9FT

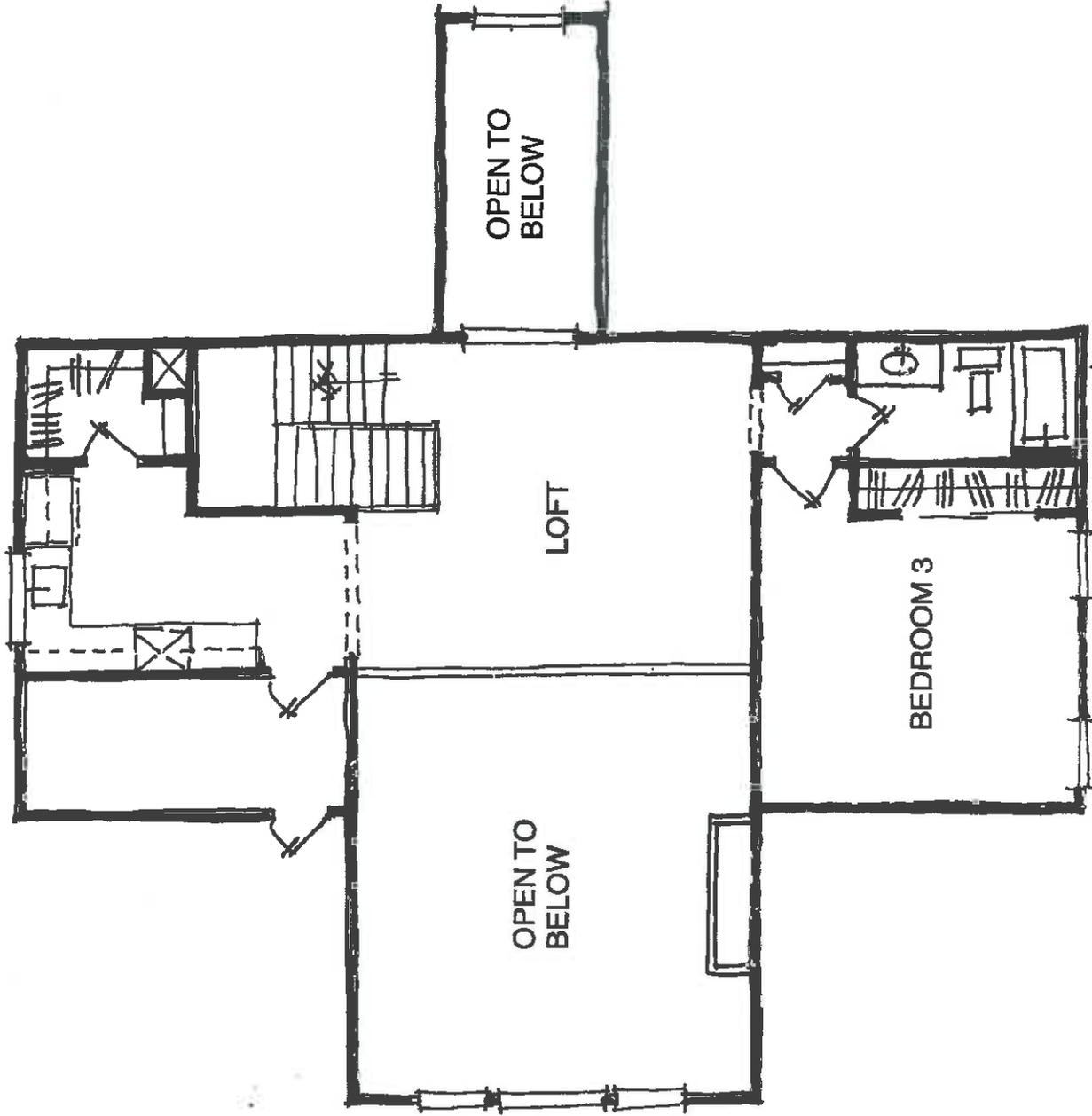
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WILLOWBROOK, IL.

FEBRUARY 24, 2016

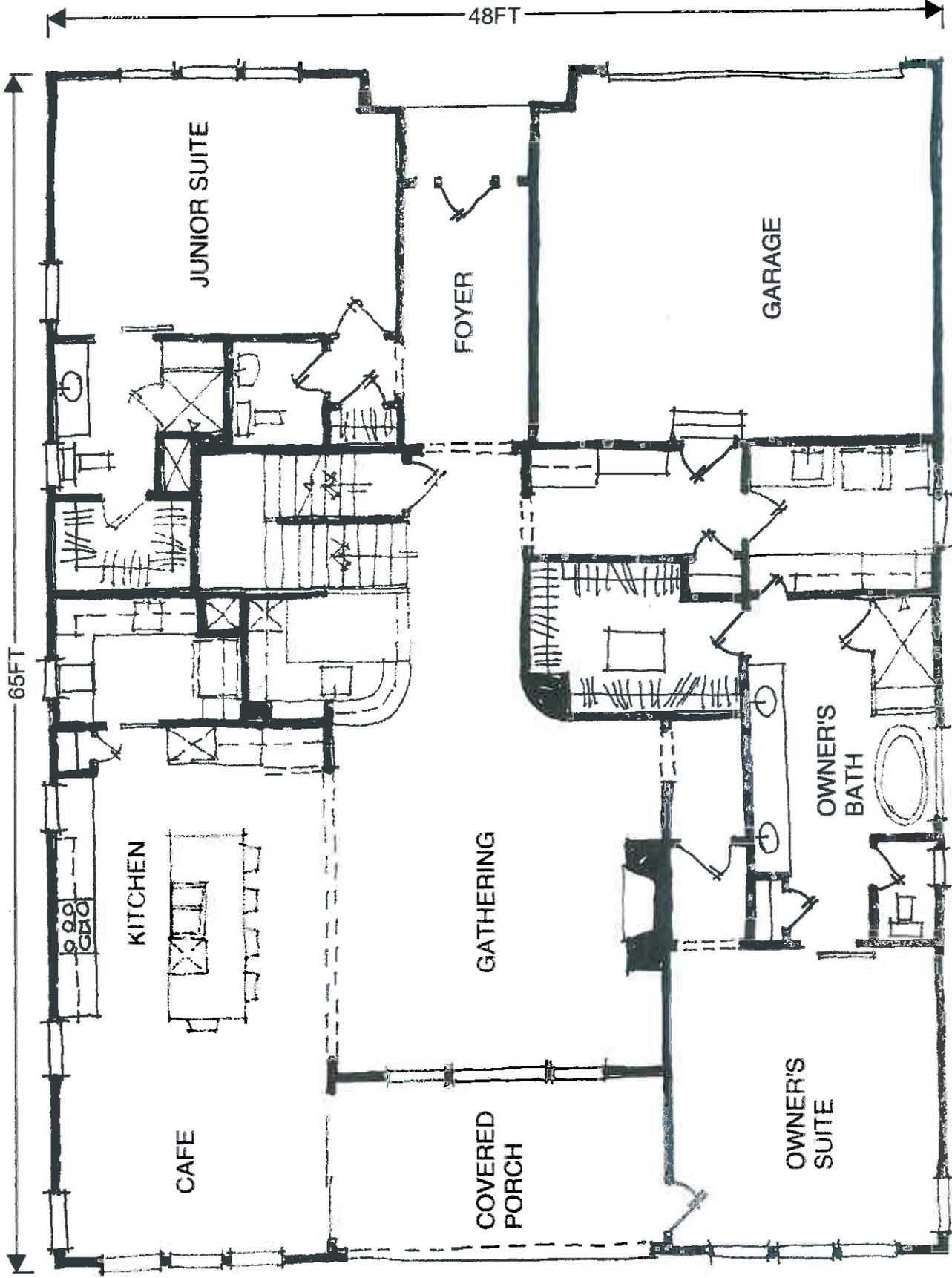
ILLUSTRATIVE ELEVATION





2447 - UPPER FLOOR PLAN

WILLOWBROOK, IL
FEBRUARY 24, 2016



2447 - MAIN FLOOR PLAN

WILLOWBROOK, IL

FEBRUARY 24, 2016





2391.1-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL

January 26, 2016



2391.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





ASPHALT SHINGLES

ENGINEERED
WOOD TRIM

BRICK
SOLDIER
CRS

BRICK VENEER

STONE
VENEER W/
STONE CAP

25 FT

9 FT



2391.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



2391.1T

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



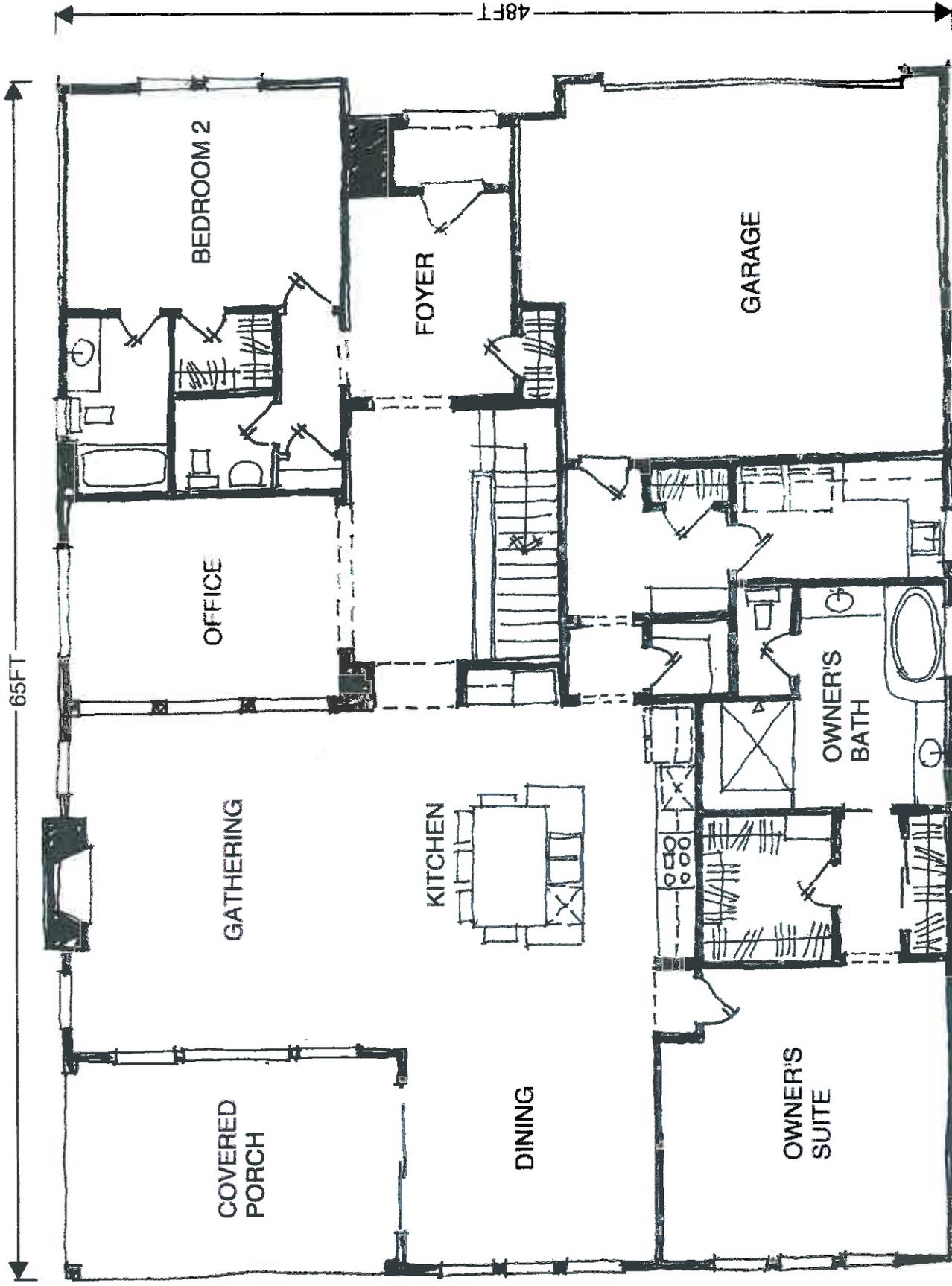


2391.1

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



2391 - MAIN FLOOR PLAN

WILLOWBROOK, IL

FEBRUARY 24, 2016





2383.3-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL

January 26, 2016



ASPHALT SHINGLES

ENGINEERED WOOD TRUSS

ENGINEERED WOOD SHAKE

STONE VENEER W/STONE CAP

25FT

9FT

2383.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016





2383.2



ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016



ASPHALT SHINGLES

ENGINEERED WOOD TRIM
ENGINEERED WOOD SIDING

WOOD SHUTTER

BRICK VENEER
WYSTONE CAP

25FT

9FT

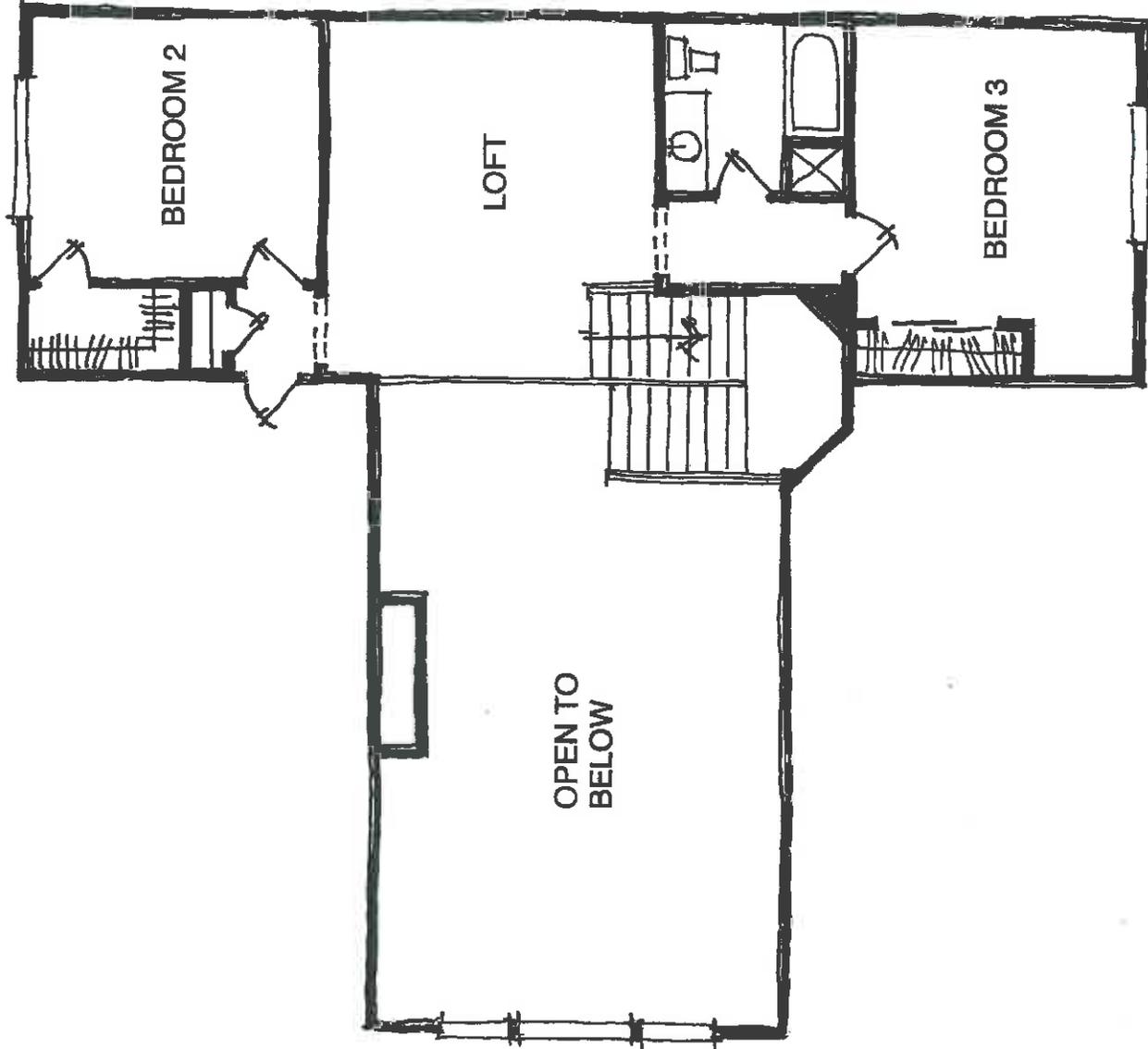
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WILLOWBROOK, IL

ILLUSTRATIVE ELEVATION

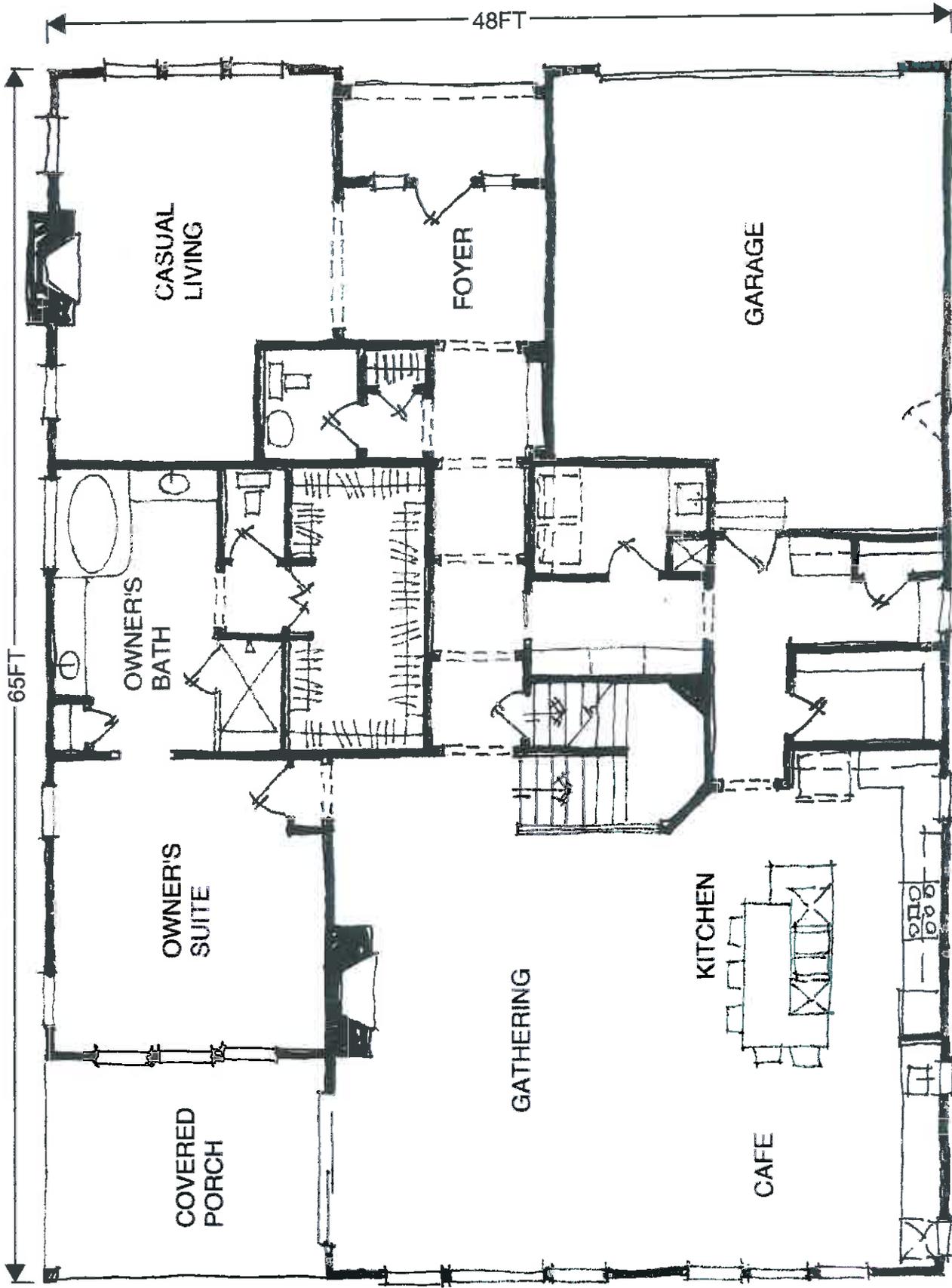
FEBRUARY 24, 2016





2383- UPPER FLOOR PLAN





width: 48FT
length: 65FT

WILLOWBROOK, IL

FEBRUARY 24, 2016

2383- MAIN FLOOR PLAN





ASPHALT SHINGLES

27 FT

9 FT

STONE-VENEER
WISTONE CAP

BRICK VENEER

BRICK
SOLDIER CRS

2600.3



ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



2600.2

WILLOWBROOK, IL.

FEBRUARY 24, 2016

ILLUSTRATIVE ELEVATION





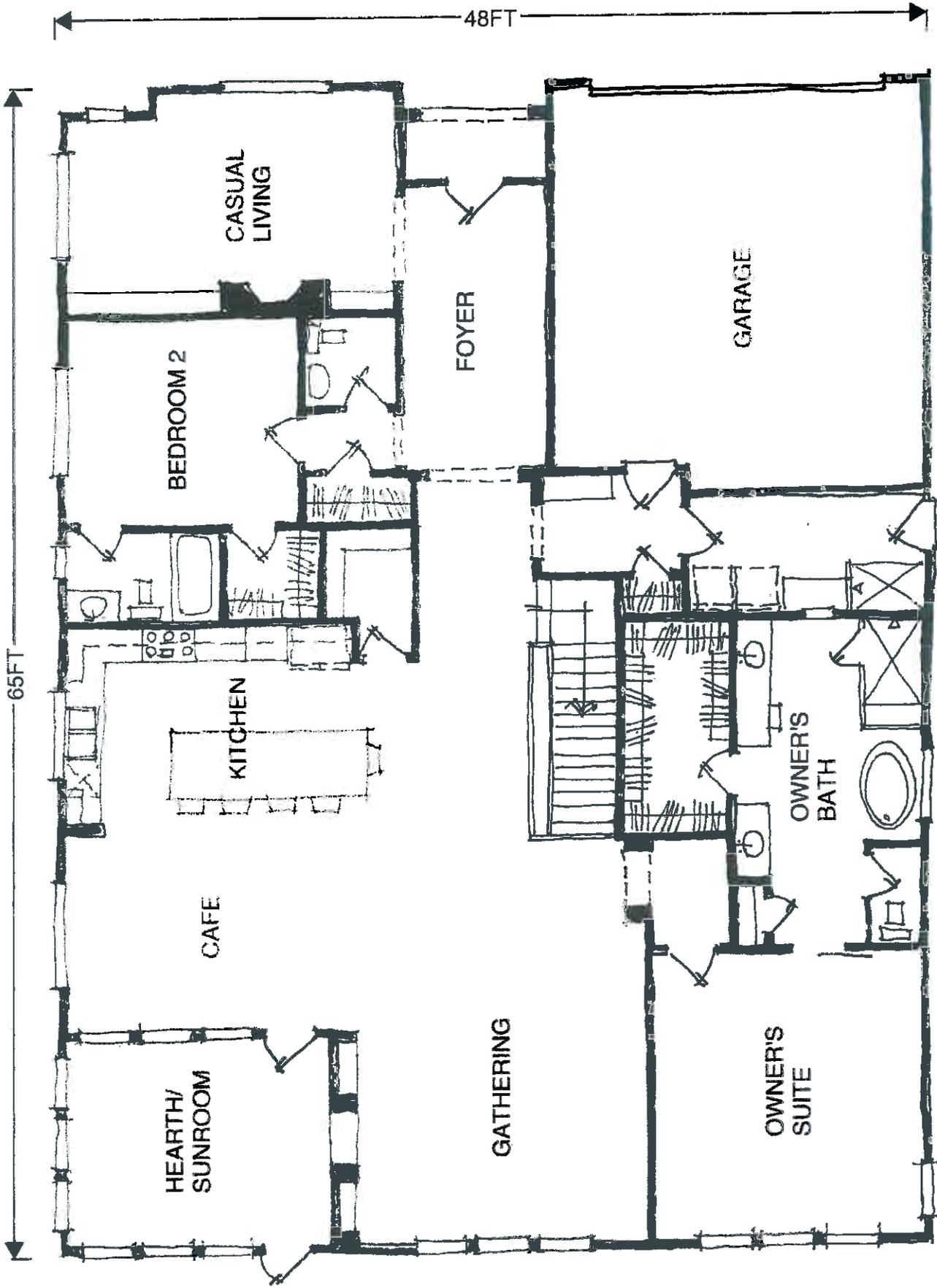
2600.1

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016





2600- MAIN FLOOR PLAN

WILLOWBROOK, IL

FEBRUARY 24, 2016





2447.2-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL.

January 26, 2016



ASPHALT SHINGLES

WOOD SHUTTERS

27FT

9FT

STONE VENEER

CUT STONE SURROUND

BRICK SOLDIER

BRICK VENEER

2447.3

WILLOWBROOK, IL.

FEBRUARY 24, 2016

ILLUSTRATIVE ELEVATION





ASPHALT SHINGLES

ENGINEERED TRIM

27FT

9FT

BRICK VENEER

BRICK SOLDIER

STONE VENEER W/STONE CAP



2447.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016



ASPHALT SHINGLES

ENGINEERED WOOD SHAKE

ENGINEERED WOOD BRACKET & TRIM

ENGINEERED WOOD SIDING

BRICK VENEER W/BRICK ROWLOCK

27FT

9FT

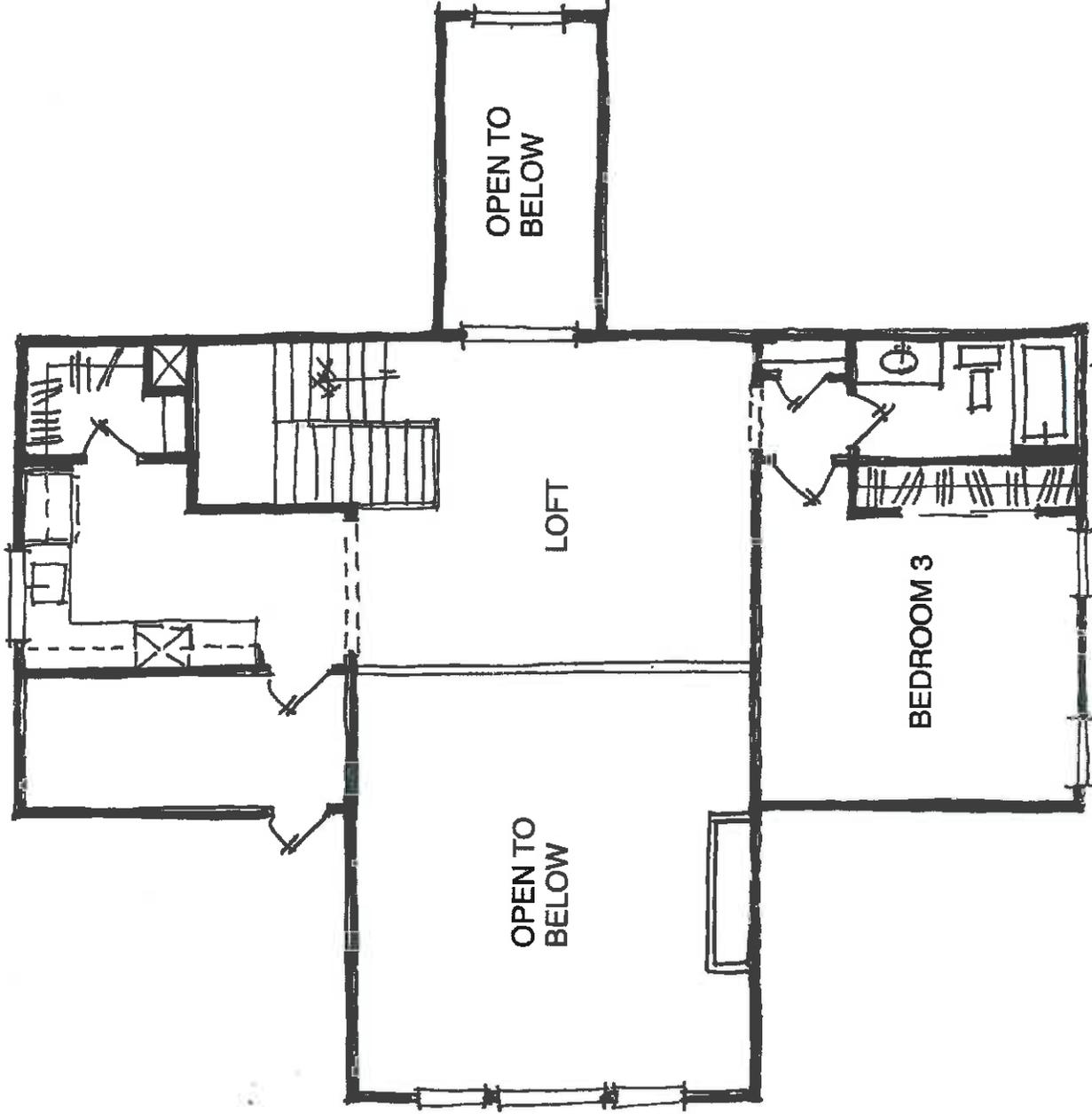
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WILLOWBROOK, IL.

FEBRUARY 24, 2016

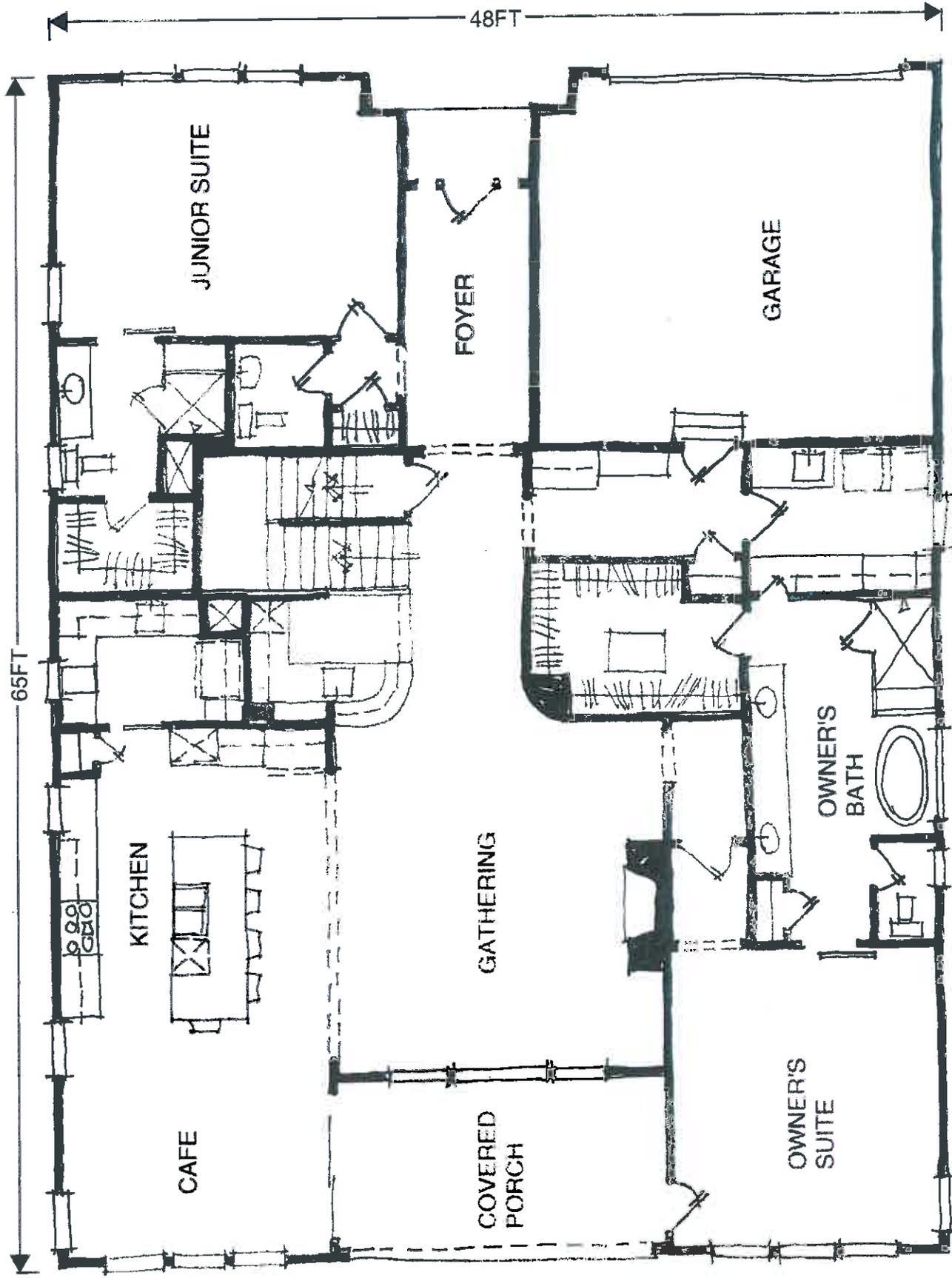
ILLUSTRATIVE ELEVATION





2447 - UPPER FLOOR PLAN

WILLOWBROOK, IL
FEBRUARY 24, 2016



2447- MAIN FLOOR PLAN

WILLOWBROOK, IL

FEBRUARY 24, 2016





2391.1-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL

January 26, 2016



ASPHALT SHINGLES

25FT

9FT

WOOD SHUTT

VENEER

WOOD SHUTTER

ENGINEERED WOOD TRIM

BRICK SOLNERS CES

BRICK VENEER

2391.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL

FEBRUARY 24, 2016





2391.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



ASPHALT SHINGLES

25FT

9FT

ENGINEERED
WOOD SIDING

WOOD
SHUTTER

ENGINEERED
WOOD TRIM

BRICK VENEER
W/BRICK ROWLOCK



2391.1T

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016



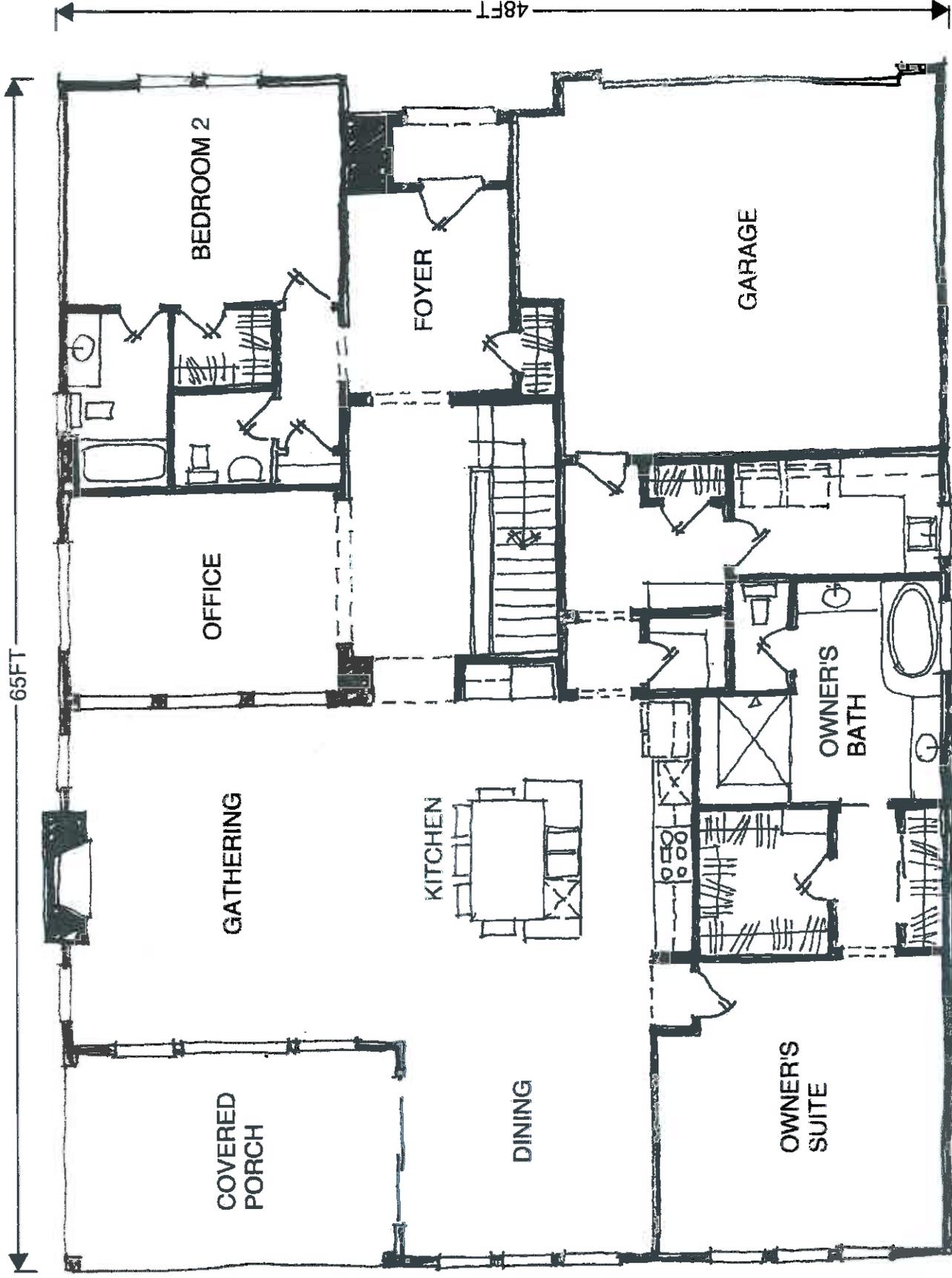
2391.1



WILLOWBROOK, IL

ILLUSTRATIVE ELEVATION

FEBRUARY 24, 2016



2391 - MAIN FLOOR PLAN

WILLOWBROOK, IL
 FEBRUARY 24, 2016





2383.3-Rear

ILLUSTRATIVE ELEVATION

HINSBROOK CLUB
WILLOWBROOK, IL

January 26, 2016



ASPHALT SHINGLES

ENGINEERED WOOD TRIM

ENGINEERED WOOD SHAKE

STONE VENEER W/STONE CAP

25FT

9FT

2383.3

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





ASPHALT SHINGLES

ENGINEERED WOOD TRIM

WOOD SHUTTER

ENGINEERED WOOD SHAKE

BRICK VENEER W/BRICK ROWLOCK

25FT

9FT

2383.2

ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

FEBRUARY 24, 2016





ASPHALT SHINGLES

ENGINEERED WOOD TRIM
ENGINEERED WOOD SIDING

WOOD SHUTTER

BRICK VENEER W/STONE CAP

25FT

9FT

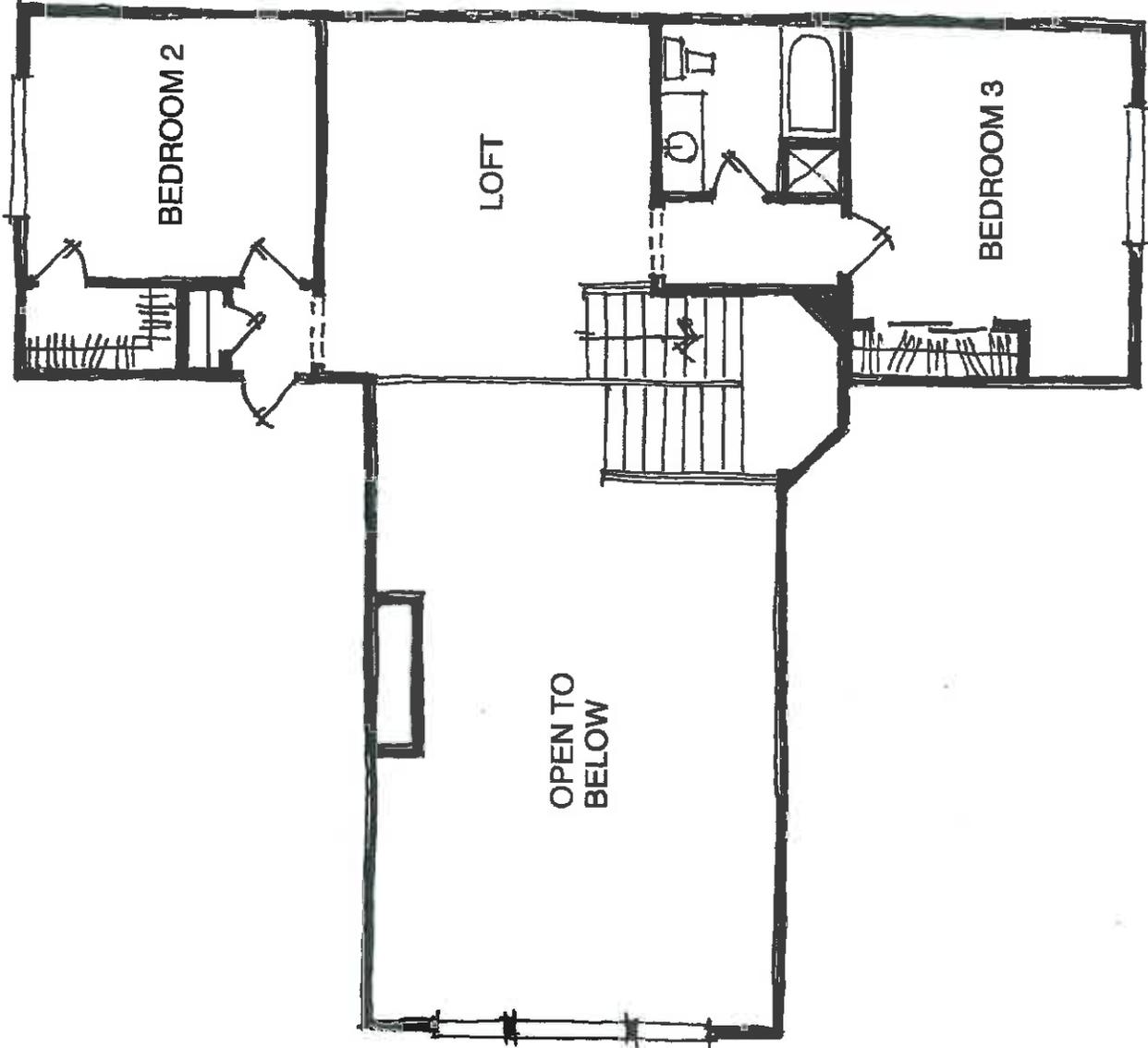
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ILLUSTRATIVE ELEVATION

WILLOWBROOK, IL.

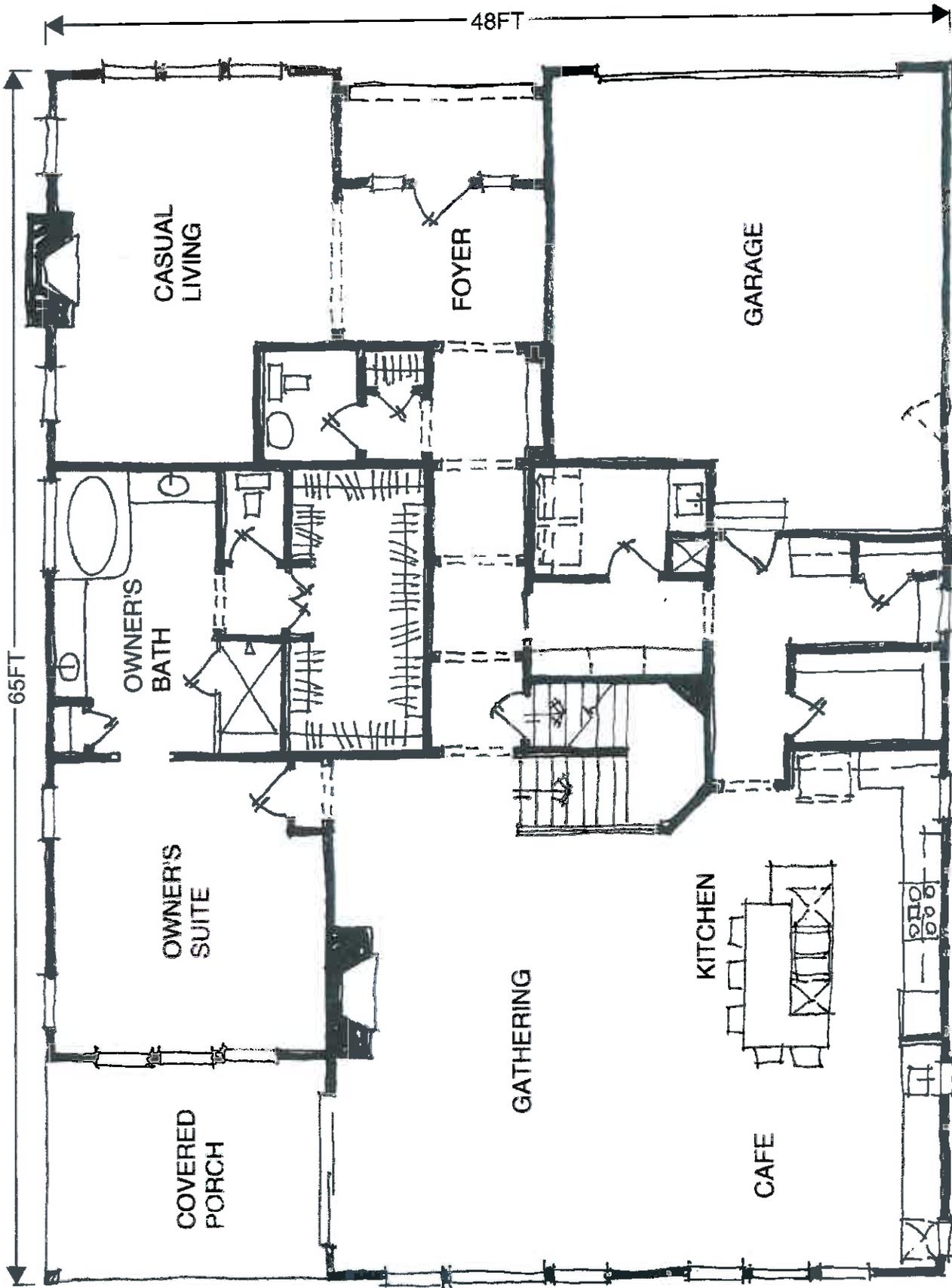
FEBRUARY 24, 2016





2383- UPPER FLOOR PLAN





width: 48FT
length: 65FT

WILLOWBROOK, IL

FEBRUARY 24, 2016

2383- MAIN FLOOR PLAN



EXHIBIT "F"
DRAFT DECLARATION OF COVENANTS FOR CARRINGTON CLUB

THIS INSTRUMENT PREPARED
BY AND SHOULD BE RETURNED
TO:

Victoria C. Bresnahan
MELTZER, PURTILL & STELLE LLC
300 South Wacker Drive, Suite 2300
Chicago, Illinois 60606

Attach Operating Agreement

Commented [A1]: Please provide the "Operating Agreement"

ABOVE SPACE FOR RECORDER'S USE ONLY

DECLARATION OF COVENANTS FOR HINSBROOK CLUB
[Section 1.21, contain blanks; Exhibits A & B are incomplete]

TABLE OF CONTENTS

Article One Definitions 1

1.01 ASSOCIATION: 1

1.02 ASSOCIATION MAINTAINED PUBLIC AREA: 1

1.03 CHARGES: 2

1.04 COMMUNITY AREA: 2

1.05 COMMUNITY ASSESSMENT: 2

1.06 COMMUNITY EXPENSES: 2

1.07 COUNTY: 2

1.08 DECLARANT: 2

1.09 DECLARANT'S DEVELOPMENT PLAN: 2

1.10 DECLARATION: 2

1.11 DEVELOPMENT AREA: 2

1.12 FIRST MORTGAGEE: 3

1.13 FOUNDATION PLANTINGS: 3

1.14 HOME: 3

1.15 LOT: 3

1.16 MANAGERS: 3

1.17 MUNICIPALITY: 3

1.18 OPERATING AGREEMENT: 3

1.19 OWNER: 3

1.20 PERSON: 3

1.21 PLAT: 3

1.22 PREMISES: 3

1.23 RECORD: 3

1.24 RESIDENT: 3

1.25 SUBJECT TO ASSESSMENT: 4

1.26 TURNOVER DATE: 4

1.27 VOTING MEMBER: 4

Article Two Scope of Declaration..... 4

2.01 PROPERTY SUBJECT TO DECLARATION:.....4

2.02 CONVEYANCES SUBJECT TO DECLARATION:4

2.03 DURATION:4

2.04 LOT CONVEYANCE:4

2.05 ACCESS EASEMENT:4

2.06 RIGHT OF ENJOYMENT:5

2.07 DELEGATION OF USE:5

2.08 RULES AND REGULATIONS:5

2.09 UTILITY EASEMENTS:5

2.10 EASEMENTS, LEASES, LICENSES AND CONCESSIONS:.....5

2.11 ASSOCIATION'S ACCESS:6

2.12 NO DEDICATION TO PUBLIC USE:6

2.13 OWNERSHIP OF COMMUNITY AREA:6

2.14 REAL ESTATE TAXES FOR COMMUNITY AREA:.....6

2.15 EASEMENT FOR PORCHES AND PATIOS:6

Article Three Community Area Association Maintenance 7

3.01 IN GENERAL:7

3.02 MAINTENANCE, REPAIR AND REPLACEMENT BY ASSOCIATION:7

3.03 MAINTENANCE BY OWNER:8

3.04 ALTERATIONS, ADDITIONS OR IMPROVEMENTS TO THE COMMUNITY
AREA:9

3.05 ALTERATIONS, ADDITIONS OR IMPROVEMENTS TO LOTS:9

3.06 CERTAIN UTILITY COSTS:9

3.07 DAMAGE BY RESIDENT:10

Article Four Insurance/Condemnation 10

4.01 COMMUNITY AREA INSURANCE:10

4.02 CONDEMNATION:10

Article Five The Association..... 11

5.01 IN GENERAL:11

5.02 MEMBERSHIP:.....11

5.03 VOTING MEMBERS:11

5.04 MANAGERS:11

5.05 VOTING RIGHTS:11

5.06 MANAGER LIABILITY:.....12

5.07 MANAGING AGENT:12

5.08 REPRESENTATION:12

5.09 LITIGATION:.....12

5.10 MERGER:13

5.11 DISSOLUTION:13

Article Six Assessments 13

6.01	PURPOSE OF ASSESSMENTS:	13
6.02	COMMUNITY ASSESSMENT:	13
6.03	PAYMENT OF COMMUNITY ASSESSMENT:	14
6.04	REVISED ASSESSMENT:	14
6.05	SPECIAL ASSESSMENT:	15
6.06	CAPITAL RESERVE:	15
6.07	PAYMENT OF ASSESSMENTS:	16
6.08	INITIAL CAPITAL CONTRIBUTION:	16
Article Seven Collection of Charges and Remedies for Breach or Violation		16
7.01	CREATION OF LIEN AND PERSONAL OBLIGATION:	16
7.02	COLLECTION OF CHARGES:	16
7.03	NON-PAYMENT OF CHARGES:	16
7.04	LIEN FOR CHARGES SUBORDINATED TO MORTGAGES:	17
7.05	SELF-HELP BY MANAGERS:	17
7.06	OTHER REMEDIES OF THE MANAGERS:	17
7.07	COSTS AND EXPENSES:	17
7.08	ENFORCEMENT BY OWNERS:	17
Article Eight Use Restrictions		18
8.01	RESIDENTIAL USE:	18
8.02	OUTBUILDINGS, CLOTHESLINES AND DOG RUNS:	18
8.03	INDUSTRY/SIGNS:	18
8.04	PETS:	18
8.05	TRASH:	19
8.06	NUISANCE:	19
8.07	PLANTS:	19
8.08	PARKING:	19
8.09	SATELLITE DISHES/ANTENNAE:	20
8.10	LANDSCAPE MAINTENANCE:	20
8.11	FENCES:	20
8.12	PROHIBITION OF SWIMMING POOLS, HOT TUBS AND SAUNAS:	20
8.13	PROHIBITIONS IN AREAS AROUND HOMES:	20
8.14	PROHIBITION OF WINDOW AIR CONDITIONERS OR WINDOW FANS:	20
8.15	CLEARANCE OF UTILITIES:	20
8.16	COMPLIANCE WITH U.S. POSTAL SERVICE REGULATIONS:	20
8.17	DRIVEWAYS:	21
8.18	LEASES OF LOTS:	21
8.19	PROHIBITION OF PATIOS AND DECKS:	21
Article Nine Declarant's Reserved Rights and Special Provisions Covering Development Period		21
9.01	IN GENERAL:	21
9.02	PROMOTION OF PROJECT:	21
9.03	CONSTRUCTION ON PREMISES:	21
9.04	DECLARANT CONTROL OF ASSOCIATION:	22
9.05	OTHER RIGHTS:	22
9.06	ASSIGNMENT BY DECLARANT:	22

9.07	GRANT OF EASEMENTS AND DEDICATIONS	22
9.08	MATTERS AFFECTING COMMUNITY AREA	22
9.09	ARCHITECTURAL CONTROLS	23
Article Ten Amendment.....		23
10.01	SPECIAL AMENDMENTS.....	23
10.02	AMENDMENT	23
Article Eleven First Mortgagees Rights		24
11.01	NOTICE TO FIRST MORTGAGEES	24
11.02	CONSENT OF FIRST MORTGAGEES:	25
11.03	INSURANCE PROCEEDS, CONDEMNATION AWARDS:.....	25
Article Twelve Miscellaneous.....		25
12.01	NOTICES	25
12.02	CAPTIONS.....	25
12.03	SEVERABILITY.....	26
12.04	PERPETUITIES AND OTHER INVALIDITY	26
12.05	TITLE HOLDING LAND TRUST	26
12.06	WAIVER OF IMPLIED WARRANTY OF HABITABILITY AND OTHER WARRANTIES	26
12.07	JURISDICTION	26

DECLARATION OF COVENANTS FOR HINSBROOK CLUB

This Declaration is made by Pulte Home Corporation, a Michigan corporation ("Declarant").

RECITALS

Declarant is the record title holder of the Development Area which is legally described in Exhibit A hereto. Some or all of the Development Area shall be the subject of a single family development called "Hinsbrook Club" (the "Development").

Commented [A2]: Change all name references in document

The Declarant shall subject the real estate which is legally described in Exhibit B hereto to the provisions of this Declaration as the Premises. The Declarant shall subject the real estate which is legally described in Exhibit B hereto to the provisions of this Declaration as the Premises.

Certain portions of the Premises are designated as Lots and other portions are designated as Community Area and Association Maintained Public Areas. The Declarant has formed (or will form) the Association under the Illinois Limited Liability Company Act. The Association shall have the responsibility for administering and maintaining the Community Area and shall set budgets and fix assessments to pay the expenses incurred in connection with such responsibility. Each Owner of a Lot shall be a member of the Association and shall be responsible for paying assessments with respect to the Lot owned by such Owner, as more fully described in this Declaration.

As of the Recording of this Declaration, the Declarant's Development Plan provides for the construction of 29 single family homes and certain community area lots, all as shown on the Plat, as maybe added or amended from time to time.

During the construction and marketing of the Development, the Declarant shall retain certain rights set forth in this Declaration, which rights shall include, without limitation, the right, prior to the Turnover Date, to manage the affairs of the Association, or to designate the Managers of the Association, as more fully described in Article Nine and in the Operating Agreement, the right to come upon the Premises in connection with Declarant's efforts to sell Lots and other rights reserved in Article Nine.

NOW, THEREFORE, the Declarant hereby declares as follows:

Article One DEFINITIONS

For the purpose of brevity and clarity, certain words and terms used in this Declaration are defined as follows:

1.01 ASSOCIATION: The Hinsbrook Club Homeowners' Association LLC, an Illinois limited liability company, and its successors and assigns. As more fully provided in Section 5.10, the Association may be merged into an Illinois not for profit corporation, which would become the Association hereunder.

1.02 ASSOCIATION MAINTAINED PUBLIC AREA: Those grass areas located in the dedicated rights of way that are not owned by the Declarant or the Association which serve the Premises as further described on Exhibit B.

1.03 CHARGES: The Community Assessment, any special assessment levied by the Association and/or any other charges or payments which an Owner is required to pay or for which an Owner is liable under this Declaration or the Operating Agreement.

1.04 COMMUNITY AREA: Those portions of the Premises which are described and designated as "Community Area" in Exhibit B hereto, together with all improvements located above and below the ground and rights appurtenant thereto. The Community Area shall generally include, without limitation, detention areas and landscape easement areas, within the Development, together with improvements located thereon.

1.05 COMMUNITY ASSESSMENT: The amounts which the Association shall assess and collect from the Owners to pay the Community Expenses and accumulate reserves for such expenses, as more fully described in Article Six.

1.06 COMMUNITY EXPENSES: The expenses of administration (including management and professional services), operation, maintenance, repair, replacement and landscaping and other improvements (including any monument signage) on the Community Area, the Association Maintained Public Area, or as otherwise provided in this Declaration; the cost of insurance for the Community Area; the cost of general and special real estate taxes and assessments levied or assessed against the Community Area owned by the Association; the cost of, and the expenses incurred for, the maintenance, repair and replacement of personal property acquired and used by the Association in connection with the maintenance of the Community Area; if not separately metered or charged to the Owners, the cost of necessary utility services to the Premises; costs, expenses, fees or charges payable to the Municipality pursuant to this Declaration; and any other expenses lawfully incurred by the Association for the common benefit of all of the Owners. Notwithstanding the foregoing, Community Expenses shall not include any payments made out of Capital Reserves.

1.07 COUNTY: DuPage County, Illinois or any political entity which may from time to time be empowered to perform the functions or exercise the powers vested in the County as of the Recording of this Declaration.

1.08 DECLARANT: Pulte Home Corporation, a Michigan corporation, its successors and assigns.

1.09 DECLARANT'S DEVELOPMENT PLAN: Declarant's current plan for the Development. Declarant's Development Plan shall be maintained by the Declarant at its principal place of business and may be changed at any time or from time to time without notice.

Commented [A3]: Instead of "current plan" this section should reference the Approved Plans, which should be defined

1.10 DECLARATION: This instrument with all Exhibits hereto, as amended or supplemented from time to time.

1.11 DEVELOPMENT AREA: The real estate described in Exhibit A hereto with all improvements thereon and rights appurtenant thereto as Exhibit A may be amended as provided in Section 10.01. Exhibit A is attached hereto for informational purposes only and no covenants, conditions, restrictions, easements, liens or changes shall attach to any part of the real estate described therein, except to the extent that portions thereof are described in Exhibit B and expressly made subject to the provisions of this Declaration as part of the Premises.

1.12 **FIRST MORTGAGEE:** The holder of a bona fide first mortgage, first trust deed or equivalent security interest covering a Lot.

1.13 **FOUNDATION PLANTINGS:** The Declarant will install a mulched area adjacent to each Home improved with minimal plantings. The Owner of a Home may from time to time add to these plantings subject to Section 3.05. All plantings to this area or increasing the mulched areas shall be known as "Foundation Plantings".

Commented [A4]: These plantings should be referenced as "Approved Plantings", which shall be defined, and which will be finalized as part of Final Approval.

1.14 **HOME:** That portion of a Lot which is improved with a single family home, including any steps or decks which serve the Home.

Commented [A5]: Does not need to reference encroachment to the common area?

1.15 **LOT:** A subdivided lot which is designated in Exhibit B as a "Lot" and upon which a Home is or will be constructed.

1.16 **MANAGERS:** The manager or managers from time to time as appointed or elected as provided in this Declaration or the Operating Agreement, provide, that if the Association is merged into an Illinois not for profit corporation, as more fully provided in Section 5.10 below, the Managers shall be the board of directors of the Association.

1.17 **MUNICIPALITY:** The Village of Willowbrook, an Illinois municipal corporation, or any political entity which may from time to time be empowered to perform the functions or exercise the powers vested in the Municipality as of the Recording of this Declaration.

1.18 **OPERATING AGREEMENT:** The Operating Agreement of the Association, a true copy of which is attached hereto as Exhibit C, provided that, if the Association is merged into an Illinois not for profit corporation, as more fully provided in Section 5.10 below, the term Operating Agreement as used herein shall mean the by-laws of the Association.

1.19 **OWNER:** A Record or beneficial owner, whether one or more persons, of fee simple title to a Lot, including contract seller, but excluding those having such interest merely as security for the performance of an obligation. The Declarant shall be deemed to be an Owner with respect to each Lot owned by the Declarant.

Commented [A6]: Small "t"

1.20 **PERSON:** A natural individual, corporation, partnership, trustee or other legal entity capable of holding title to real property.

1.21 **PLAT:** Any plat of subdivision or plat of resubdivision which includes part of the Premises, including without limitation the Plat of Subdivision for Hinsbrook Club Recorded _____ as Document Number _____, as may be amended or resubdivided from time to time.

Commented [A7]:

1.22 **PREMISES:** The real estate which is legally described in Exhibit B hereto, as amended or supplemented from time to time, with all improvements thereon and rights appurtenant thereto.

1.23 **RECORD:** To record in the office of the Recorder of Deeds for the County.

1.24 **RESIDENT:** An individual who resides in a Home.

1.25 SUBJECT TO ASSESSMENT: A Lot shall only be "Subject to Assessment" hereunder from and after such time as a temporary, conditional or permanent certificate of occupancy has been issued for the Home constructed thereon and the Lot is conveyed by the Declarant to the first purchaser thereof.

1.26 TURNOVER DATE: The date on which the right of the Declarant to manage the affairs of the Association is terminated under Section 9.04.

1.27 VOTING MEMBER: The individual who shall be entitled to vote in person or by proxy at meetings of the Owners, as more fully set forth in Article Five.

Article Two
SCOPE OF DECLARATION

2.01 PROPERTY SUBJECT TO DECLARATION: Declarant, as the owner of fee simple title to the Premises, expressly intends to and by Recording this Declaration, does hereby subject the Premises to the provisions of this Declaration.

2.02 CONVEYANCES SUBJECT TO DECLARATION: All easements, restrictions, conditions, covenants, reservations, liens, charges, rights, benefits, and privileges which are granted, created, reserved or declared by this Declaration shall be deemed to be covenants appurtenant, running with the land and shall at all times inure to the benefit of and be binding on any Person having at any time any interest or estate in the Premises, and their respective heirs, successors, personal representatives or assigns, regardless of whether the deed or other instrument which creates or conveys the interest makes reference to this Declaration.

2.03 DURATION: Except as otherwise specifically provided herein the covenants, conditions, restrictions, easements, reservations, liens, and charges, which are granted, created, reserved or declared by this Declaration shall be appurtenant to and shall run with and bind the land for a period of forty (40) years from the date of Recording of this Declaration and for successive periods of ten (10) years each unless revoked, changed or amended in whole or in part as provided in Section 10.02.

2.04 LOT CONVEYANCE: Once a Lot has been conveyed by the Declarant to a bona fide purchaser for value, then any subsequent conveyance or transfer of ownership of the Lot shall be of the entire Lot and there shall be no conveyance or transfer of a portion of the Lot without the prior written consent of the Managers.

2.05 ACCESS EASEMENT: Each Owner and Resident of a Lot shall have a non-exclusive perpetual easement for ingress to and egress from his Lot to public streets and roads over and across the roads, driveways and walkways, if any, located on the Community Area, which easement shall run with the land, be appurtenant to and pass with title to every Lot. The Municipality or any other governmental authority which has jurisdiction over the Premises shall have a non-exclusive easement of access over roads and driveways located on the Community Area for police, fire, ambulance, waste removal, or for the purpose of furnishing or performing municipal or emergency services to the Premises, including, without limitation, enforcement activities. The Association, its employees, agents and contractors, shall have the right of ingress to, egress from, the Community Area and the Association Maintained Public Area and the right to store equipment on the Community Area, for the purpose of furnishing any maintenance, repairs or replacements required or permitted hereunder.

2.06 **RIGHT OF ENJOYMENT:** Each Owner shall have the non-exclusive right and easement to use and enjoy the Community Area and the exclusive right to use and enjoy the Owner's Lot. Such rights and easements shall run with the land, be appurtenant to and pass with title to every Lot, and shall be subject to and governed by the laws, ordinances and statutes of jurisdiction, the provisions of this Declaration, the Operating Agreement, and the reasonable rules and regulations from time to time adopted by the Association, including the right of the Association to come upon a Home to furnish services hereunder.

2.07 **DELEGATION OF USE:** Subject to the provisions of this Declaration, the Operating Agreement, and the reasonable rules and regulations from time to time adopted by the Association, any Owner may delegate his right to use and enjoy the Community Area to Residents of the Owner's Home. An Owner shall delegate such rights to tenants and contract purchasers of the Owner's Home who are Residents.

2.08 **RULES AND REGULATIONS:** The use and enjoyment of the Premises shall at all times be subject to reasonable rules and regulations duly adopted by the Association from time to time.

2.09 **UTILITY EASEMENTS:** The Municipality and all public and private utilities (including cable companies) serving the Premises are hereby granted the right to lay, construct, renew, operate, repair and maintain conduits, cables, pipes, wires, transformers, switching apparatus and other equipment, into and through the Community Area for the purpose of providing utility or other services to the Premises or any other portion of the Development Area.

Commented [A8]: Utility easement are limited to a 10' easement in the rear of the structures. A utility easement is in the front side, water and sewer lines in the dedicated 10' rear easement. To the greatest extent possible, the intent is to have all utilities in the rear of the structure, so granting utility rights as a blanket easement anywhere in the Common Area is not acceptable. Also keep in mind that parties (as authorized in the Common Area) will not be allowed to cover utilities.

2.10 **DETENTION EASEMENT AND COVENANT PROVISIONS:** All areas marked on the Approved Plans as _____ are reserved for and granted to the Village of Willowbrook and its successors and assigns. No buildings, structures or permanent improvements shall be placed in, on or over said easements, but the same may be used for other purposes that do not adversely affect the storage/free-flow of stormwater. Each owner (the Association), its successors and assigns shall be equally liable and responsible for maintaining the detention easements, and any appurtenant or associated improvements therewith, and shall not modify or destroy grades or slopes, and any appurtenant or associated improvements therewith, without having first received prior written approval of the Village of Willowbrook, or any other unit of local government having jurisdiction over drainage. In the event any owner its successors and assigns fails to properly maintain the detention easements, and any appurtenant or associated improvements therewith, the Village of Willowbrook or any other unit of local government having jurisdiction over drainage, shall upon ten (10) days prior written notice, reserve the right but shall have no obligation to perform or have performed on its behalf, any maintenance work to or upon the drainage and detention easement reasonably necessary to insure adequate stormwater storage and free flow of stormwater through the drainage and detention easement areas. In the event the Village of Willowbrook, or any other unit of local government having jurisdiction over drainage shall elect to perform, or have performed on its behalf, any maintenance work to or upon the drainage and detention easements, and any appurtenant or associated improvements therewith, the cost shall, upon recordation of a notice of lien within ninety (90) days of completion of the work, constitute a lien against the Association. This provision is not subject to change within the written consent of the Village of Willowbrook.

Commented [A9]: New Section

2.11 **EASEMENTS, LEASES, LICENSES AND CONCESSIONS:** The Association shall have the right and authority from time to time to lease or grant easements, licenses, or

as the Managers deem to be in the best interests of the Owners and which are not prohibited hereunder including, without limitation, the right to grant easements for utilities or any other purpose which the Managers deem to be in the best interests of the Owners. Any and all proceeds from leases, easements, licenses or concessions with respect to the Community Area shall be used to pay the Community Expenses. Also, the Association shall have the right and power to dedicate any part or all of the roads, parking areas or other vacant areas located on the Community Area to the Municipality or other governmental authority which has jurisdiction over the Community Area. Each person, by acceptance of a deed, mortgage, trust deed, other evidence of obligation, or other instrument relating to a Home, shall be deemed to grant a power coupled with an interest to the Managers, as attorney-in-fact, to dedicate portions of the Community Area or to grant, cancel, alter or otherwise change the easements provided for in this Section 2.11. Any instrument executed pursuant to the power granted herein shall be executed by the Manager of the Association prior to the Turnover Date or by the majority of the Managers thereafter and duly Recorded.

2.12 **ASSOCIATION'S ACCESS:** The Association shall have the right and power to come onto any Lot for the purpose of furnishing the services required to be furnished hereunder, including, without limitation, the services described in Section 3.02 and Section 3.05, or enforcing its rights and powers hereunder.

2.13 **NO DEDICATION TO PUBLIC USE:** Except for easements granted or dedications made as permitted in Section 2.11, nothing contained in this Declaration shall be construed or be deemed to constitute a dedication, express or implied, of any part of the Community Area to or for any public use or purpose whatsoever.

2.14 **OWNERSHIP OF COMMUNITY AREA:** Those portions of the Community Area which are part of a Lot, if any, shall be owned by the Owner of the Lot subject to the rights of the Association to maintain, repair and replace improvements thereon as provided in Article Three. Those portions of the Community Area which are not part of a Lot shall be conveyed to the Association free of mortgages no later than sixty (60) days after the Turnover Date, subject to the rights of Owners from time to time of Lots to use and enjoy the Community Area as provided herein.

2.15 **REAL ESTATE TAXES FOR COMMUNITY AREA:** If a tax bill is issued with respect to Community Area which is made subject to this Declaration in the middle of a tax year (regardless of when it is conveyed to the Association), then the tax bill shall be prorated so that the Declarant shall be responsible for the payment of that portion of the tax bill from January 1st of the tax year to the date that such Community Area is made subject to this Declaration, and the Association shall be responsible for the balance of the tax bill for such year, and any tax bills for subsequent years. Each Owner of a Lot shall be responsible for the payment of real estate taxes levied with respect to the Owner's Lot (including that portion of the Owner's Lot which is designated as Community Area hereunder).

2.16 **EASEMENT FOR PORCHES AND PATIOS:** Each Owner shall have a perpetual easement over and across that portion of the Community Area immediately adjacent to the Lot for the following purposes:

(a) the installation, maintenance, repair, replacement, use and enjoyment of a ~~real~~ patio only behind the Home and immediately adjacent a Home's covered porch, not exceeding 100 square feet, of a type and size (not to exceed ___ total square feet) and in a location as approved

Commented [A10]: NO Owners that already have the bump out can not cross into the community area for front porches. Certain Owners as described below.

by the Declarant that does not cover any utilities, until such time as the Declarant no longer owns or controls any portion of the Development Area, and thereafter the Association, and

(b) the installation, maintenance, repair, replacement, use and enjoyment of a front porch and steps/staircase of a type and size and in a location as approved by the Declarant until such time as the Declarant no longer owns or controls any portion of the Development Area, and thereafter the Association.

The use of this "Easement for Porches and Patio" shall be limited to the exclusive use and enjoyment of the Owner of the Lot appurtenant thereto, and his guests and invitees. Maintenance of the improvements on such Easement for Porches and Patio ("Porch and Patio Improvements") shall be provided by the Owner of the Lot served by the easement at his sole expense as provided in Section 3.03 below.

Article Three
COMMUNITY AREA/ASSOCIATION MAINTENANCE

3.01 **IN GENERAL:** The restrictions and limitations contained in this Article shall be subject to the rights of the Declarant set forth in Article Nine.

3.02 **MAINTENANCE, REPAIR AND REPLACEMENT BY ASSOCIATION:**

(a) The following maintenance, repairs and replacements shall be the responsibility of and furnished by the Association:

- (i) Subject to Section 8.10, added planting, replanting, care and maintenance of trees, shrubs, flowers, grass, berms, parks and all other landscaping on the Premises; provided, however, that Foundation Plantings shall be maintained by the Association (including adding mulch, trimming bushes, weed control), but repaired and replaced by the Owner of the adjacent Home;
- (ii) Maintenance, repair and replacement of entryway monument, seating areas, fences, landscape walls, and other improvements located on the Community Area;
- (iii) Maintenance, repair and replacement of stormwater areas and retention ponds located on the Community Area;
- (iv) Maintenance (including street sweeping and snow removal), repair and replacement of the private roads, emergency access driveways, parking areas, sidewalks and walkways located on the Community Area;
- (v) Snow removal from the private driveways and service walk serving a Home located on a Community Area;
- (vi) Maintenance, repair and replacement of the irrigation system, if any, located on the Premises; and
- (vii) Maintenance, repair and replacement of the grass areas located on the Association Maintained Public Areas.

Commented [A11]: 160 square feet and not in any easement. Add language stating patio can only include "at grade" concrete or similar masonry improvements, and may not include vertical features such as walls, chimneys and other "built ins".

Commented [A12]: Add "not to exceed" language consistent with discussion. Make language consistent with language in approved preliminary ordinance to be considered by the Village Board on 6/13/16.

Commented [A13]: When does this responsibility occur? Does the Declarant maintain up to a certain point before it is turned over to the association?

(b) All maintenance, repair and replacement work required pursuant to this Declaration shall be promptly completed in a good and workmanlike manner consistent with any applicable governmental regulations or standards, or, if no such regulations or standards apply, then consistent with good engineering, forestry, or other similar professional standards so as to ensure the safe and effective condition of the portion of the Development subject to maintenance, repair or replacement. The cost of any maintenance, repairs and replacement furnished by the Association pursuant to this Section shall be Community Expenses.

(c) The Association shall maintain the grass, shrubs, trees, and flowers, if any, installed by the Declarant on the Community Area ("Initial Plantings") in accordance with the approved plans and with generally accepted landscape maintenance standards, including mowing, trimming, fertilization, pruning, re-mulching, applications of insect and disease control, as needed, and any other maintenance which will promote the health of the Initial Plantings. If the Association fails to maintain the Initial Plantings in accordance with generally acceptable landscape maintenance standards and Initial Plantings die or decline as a result of this failure, then, the Association shall be responsible for the replacement of the declining or dead Initial Plantings, including, but not limited to replacements required by the Municipality in connection with the Municipality's acceptance of the Initial Plantings. All expenses incurred under this subsection shall be Community Expenses.

Commented [A14]: The approved plans (a term that likely needs to be defined)

(d) The Association shall not be required to provide maintenance to any Lot which is not yet Subject to Assessment hereunder.

3.03 MAINTENANCE BY OWNER:

(a) Except as otherwise specifically provided for in this Declaration each Owner of a Lot shall be responsible for the maintenance, repair and replacement of the Owner's Lot and the Home thereon.

(b) Each Owner shall be responsible for repairs and replacements of Foundation Plantings adjacent to the Owner's Home.

(c) Except for snow removal as provided in Section 3.02, all maintenance, repair and replacement of the service walk and driveway which serves a Home.

(d) Each Owner shall be responsible for the maintenance, repair and replacement of the Porch and Patio Improvements (as defined in Section 2.16 above) adjacent to his Lot.

Commented [A15]: Isn't it common for the association to maintain driveways to ensure consistency?

(e) If, in the judgment of the Managers, an Owner fails to maintain those portions of the Owner's Lot which the Owner is responsible for maintaining hereunder in good condition and repair or the appearance of such portions is not of the quality of that of other Lots in the Development or in compliance with rules and regulations adopted by the Managers from time to time, then the Managers may, in its discretion, take the following action:

(i) advise the Owner of the work which must be done and allow the Owner at least twenty (20) days (or less in the case of an emergency) to cause the work to be done; and

(ii) if the work is not done to the satisfaction of the Managers, in its sole judgment, then the Managers may seek injunctive relief, levy a fine and/or cause such work

to be done and the cost thereof shall be a Charge payable by the Owner to the Association upon demand.

3.04 ALTERATIONS, ADDITIONS OR IMPROVEMENTS TO THE COMMUNITY AREA: Subject to the provisions of Article Nine, no alterations, additions or improvements shall be made to the Community Area ~~or the Association Maintained Public Area~~ without the prior approval of the Managers and, if required under applicable Municipality ordinances, the approval of the Municipality. The Association may cause alterations, additions or improvements to be made to the Community Area ~~and Association Maintained Public Area~~ and the cost thereof shall be paid from a special assessment, as more fully described in Section 6.05, or from the Capital Reserve, as more fully described in Section 6.06; except, that, any such alteration, addition or improvement which shall cost more than four (4) months assessments then in effect under the then current budget shall be approved in advance at a special meeting of the Owners.

3.05 ALTERATIONS, ADDITIONS OR IMPROVEMENTS TO LOTS: Except as provided in Article Nine, no additions, alterations or improvements, including, without limitation, (i) changes in the exterior color of a Home, (ii) construction of awnings, antenna or satellite dish, (iii) adding new or replacement Foundation Plantings, and (iv) installation of other similar improvements, shall be made to any Lot or any part of the Home which are visible from outside the Home by an Owner without first (a) compliance with applicable ordinances of the Municipality, including the issuance of any necessary permits and satisfaction of any lot coverage restrictions required by the Municipality, and second (b) the prior written consent of the Managers, and, until the Declarant no longer owns or controls title to any portion of the Development Area, the Declarant. Applications for approvals shall not be submitted to the Managers unless and until the Owner has obtained any necessary Municipal approvals.

If an addition, alteration or improvement which requires prior approval of the Municipality and the consent of the Managers and/or Declarant hereunder is made to a Lot by an Owner without such prior Municipal approval or the prior written consent of the Managers or Declarant, or both, as applicable, then (i) the Managers may, in their discretion, take either of the following actions; and (ii) until such time as the Declarant no longer owns or controls title to any portion of the Development Area, the Declarant may, in its discretion take either of the following actions:

(a) Require the Owner to remove the addition, alteration or improvement and restore the Lot to its original condition, all at the Owner's expense; or

(b) If the Owner refuses or fails to properly perform the work required under (a), may cause such work to be done and may charge the Owner for the cost thereof as determined by the Managers or the Declarant, as applicable.

3.06 CERTAIN UTILITY COSTS: Certain utility costs incurred in connection with the use, operation and maintenance of the Community Area and Association Maintained Public Area may not be separately metered and billed to the Association. If the cost for any such utility is metered and charged to individual Homes rather than being separately metered and charged to the Association, then the following shall apply:

(a) If in the opinion of the Managers, each Owner is sharing in a fair and equitable manner the cost for such service, then no adjustment shall be made and each Owner shall pay his own bill; or

(b) If in the opinion of the Managers, the Owner of a Home is being charged disproportionately for costs allocable to the Association Maintained Public Area and Community Area, then the Association shall pay, or reimburse such Owner, an amount equal to the portion of the costs which in the reasonable determination of the Managers is properly allocable to the Community Area and the amount thereof shall be Community Expenses hereunder. Any determinations or allocations made hereunder by the Managers shall be final and binding on all parties.

3.07 DAMAGE BY RESIDENT: If, due to the act or omission of a Resident of a Home, or of a household pet or guest or other authorized occupant or invitee of the Owner of a Lot, damage shall be caused to the Community Area or Association Maintained Public Area and maintenance, repairs or replacements shall be required thereby, which would otherwise be a Community Expense, then the Owner of the Lot shall pay for such damage and such maintenance, repairs and replacements, as may be determined by the Managers, to the extent not covered by insurance carried by the Association or an Owner.

Article Four INSURANCE/CONDEMNATION

4.01 COMMUNITY AREA INSURANCE:

(a) The Association shall have the authority to and shall obtain fire and all risk coverage insurance covering the improvements, if any, to the Community Area and other improvements required to be maintained by the Association (based on current replacement cost for the full insurable replacement value) of such improvements.

(b) The Association shall have the authority to and shall obtain comprehensive public liability insurance, including liability for injuries to and death of persons, and property damage, in such limits as it shall deem desirable, and workmen's compensation insurance and other liability insurance as it may deem desirable, insuring each Owner, the Association, its managers and officers, the Declarant, the managing agent, if any, and their respective employees and agents, as their interests may appear, from liability resulting from an occurrence on or in connection with, the Community Area, Association Maintained Public Area and/or adjacent dedicated rights of way or detention areas. The Managers may, in their discretion, obtain any other insurance which it deems advisable including, without limitation, insurance covering the managers and officers from liability for good faith actions beyond the scope of their respective authorities and covering the indemnity set forth in Section 5.06. Such insurance coverage shall include cross liability claims of one or more insured parties.

(c) Fidelity bonds indemnifying the Association, the Managers and the Owners for loss of funds resulting from fraudulent or dishonest acts of any employee of the Association or of any other person handling funds of the Association may be obtained by the Association in such amounts as the Managers may deem desirable.

(d) The premiums for any insurance obtained under this Section shall be Community Expenses.

4.02 CONDEMNATION: In the case of a taking or condemnation by competent authority of any part of the Community Area, the proceeds awarded in such condemnation shall be paid to the Association and such proceeds, together with any Community Area Capital Reserve

being held for such part of the Community Area, shall, in the discretion of the Managers, either (i) be applied to pay the Community Expenses, (ii) be distributed to the Owners and their respective mortgagees, as their interests may appear, in equal shares, or (iii) be used to acquire additional real estate to be used and maintained for the mutual benefit of all Owners, as Community Area under this Declaration. Any acquisition by the Association pursuant to this Section 4.02 of real estate which shall become Community Area hereunder shall not become effective unless and until a supplement to this Declaration, which refers to this Section 4.02 and legally describes the real estate affected, is executed by the Manager of the Association prior to the Turnover Date or by a majority of the Managers thereafter and Recorded.

Article Five
THE ASSOCIATION

5.01 **IN GENERAL:** Declarant has caused or shall cause the Association to be organized as a limited liability company under the laws of the State of Illinois law. The Association shall be the governing body for all of the Owners for the administration and operation of the Community Area. The Association shall be responsible for the maintenance, repair and replacement of the Community Area, Association Maintained Public Area and such other portions of the Premises as set forth in this Declaration.

5.02 **MEMBERSHIP:** Each Owner shall be a member of the Association. There shall be one membership per Lot. There shall be two (2) classes of membership. Each Owner of a Lot (other than Declarant) shall be a "Class A Member"; and the Declarant shall be a "Class B Member" with respect to its ownership of any Lot. Membership shall be appurtenant to and may not be separated from ownership of a Lot. Ownership of a Lot shall be the sole qualification for membership. The Association shall be given written notice of the change of ownership of a Lot within ten (10) days after such change.

5.03 **VOTING MEMBERS:** Subject to the provisions of Section 9.04, voting rights of the members of the Association shall be vested exclusively in the Voting Members. One individual shall be designated as the "Voting Member" for each Lot. The Voting Member or his proxy shall be the individual who shall be entitled to vote at meetings of the Owners. If the Record ownership of a Lot shall be in more than one person, or if an Owner is a trustee, corporation, partnership or other legal entity, then the Voting Member for the Lot shall be designated by such Owner or Owners in writing to the Managers and if in the case of multiple individual Owners no designation is given, then the Managers at its election may recognize an individual Owner of the Lot as the Voting Member for such Lot.

5.04 **MANAGERS:** Prior to the Turnover Date, the Managers shall be the Declarant, or one or more entities or persons designated by the Declarant from time to time, who need not be Owners or Voting Members. Initially, the Declarant shall be the sole Manager of the Association. After the Turnover Date, the Managers shall consist of that number of individuals provided for in the Operating Agreement, each of whom shall be an Owner or Voting Member.

5.05 **VOTING RIGHTS:** Prior to the Turnover Date, all of the voting rights at each meeting of the Association shall be vested exclusively in the Class B Member, the Declarant and the Owners (other than Declarant) shall have no voting rights. From and after the Turnover Date, all of the voting rights at any meeting of the Association shall be vested in the Voting Members, and each Voting Member who represents a Lot owned by a Class A Member shall have one (1)

vote for each Lot which the Voting Member represents, and the Declarant, as the Class B Member, shall have ten (10) votes for each Lot which it owns. From and after the Turnover Date any action may be taken by the Voting Members at any meeting at which a quorum is present (as provided in the Operating Agreement) upon an affirmative vote of a majority of the votes represented by Voting Members and the Declarant, except as otherwise provided herein or in the Operating Agreement.

5.06 MANAGER LIABILITY: The Managers of the Association shall not be personally liable to the Association or the Owners for any mistake of judgment or for any other acts or omissions of any nature whatsoever as such Managers except for any acts or omissions found by a court to constitute criminal conduct, gross negligence or actual fraud. The Association shall indemnify and hold harmless the Declarant and each of the Managers, and its or their heirs, executors or administrators, against all contractual and other liabilities to the Association, the Owners or others arising out of contracts made by or other acts of the Managers on behalf of the Owners or the Association or arising out of their status as Managers unless any such contract or act shall have been made criminally, fraudulently or with gross negligence. It is intended that the foregoing indemnification shall include indemnification against all costs and expenses (including, but not limited to, counsel fees, amounts of judgments paid and amounts paid in settlement) actually and reasonably incurred in connection with the defense of any claim, action, suit or proceeding, whether civil, criminal, administrative, or other in which any such Manager may be involved by virtue of such person being or having been such Manager; provided, however, that such indemnity shall not be operative with respect to (i) any matter as to which such person shall have been finally adjudged in such action, suit or proceeding to be liable for criminal conduct, gross negligence or actual fraud in the performance of his duties as such Manager, or (ii) any matter settled or compromised, unless, in the opinion of independent counsel selected by or in a manner determined by the Managers, there is not reasonable ground for such person being adjudged liable for criminal conduct, gross negligence or actual fraud in the performance of his duties as such Manager.

5.07 MANAGING AGENT: The Declarant (or an entity affiliated with the Declarant) may be engaged by the Association to act as the managing agent for the Association and as managing agent shall be paid a reasonable fee for its services as fixed by a written agreement between the Association and the Declarant (or an entity controlled by the Declarant). Any management agreement entered into by the Association prior to the Turnover Date shall have a term of not more than two years and shall be terminable by the Association without payment of a termination fee on ninety (90) days written notice.

5.08 REPRESENTATION: The Association shall have the power and right to represent the interests of all of the Owners in connection with claims and disputes affecting the Community Area. Without limiting the foregoing, the Association shall have the power after the Turnover Date to settle warranty disputes or other disputes between the Association, the Owners, and the Declarant affecting the construction, use or enjoyment of the Community Areas and any such settlement shall be final and shall bind all of the Owners.

5.09 LITIGATION: No judicial or administrative proceedings shall be commenced or prosecuted by the Association without first holding a special meeting of the members and obtaining the affirmative vote of Voting Members representing at least seventy-five percent (75%) of the total votes represented by all Voting Members to the commencement and prosecution of the proposed action. This Section shall not apply to (a) actions brought by the Association to enforce

the provisions of this Declaration, the Operating Agreement or rules and regulations adopted by the Managers (including, without limitation, an action to recover unpaid assessments or other charges or to foreclose a lien for unpaid assessments or other charges) or (b) counterclaims brought by the Association in proceedings instituted against it.

5.10 MERGER: Prior to the Turnover Date, the Declarant, or after the Turnover Date, the Managers, shall have the right, power and authority to (i) organize an Illinois not for profit corporation ("NFP Association"), and (b) merge the Association into the NFP Association, all as permitted under applicable laws of the State of Illinois ("Merger Transaction"). In furtherance of the foregoing, a power coupled with an interest is hereby reserved and granted to the Declarant and/or the Managers, as applicable, to make, consent to, and execute the Merger Transaction provided for above on behalf of each Owner. Each deed, mortgage, trust deed, other evidence of obligation, or other instrument affecting a Lot and the acceptance thereof shall be deemed to be a grant and acknowledgment of, and a consent to the reservation of, the power to the Declarant and/or the Managers to make, consent to, and execute the Merger Transaction and take such other actions as the Declarant and/or the Managers deem necessary or appropriate to carry out the intent of Merger Transaction, including, without limitation, adopting By-Laws for the NFP Association and transferring Community Area, bank accounts, contracts and other property or assets to the NFP Association. From and after the Merger Transaction, the NFP Corporation shall be and become the Association hereunder.

5.11 DISSOLUTION: To the extent permissible under applicable law, in the event of the dissolution of the Association, any Community Area owned by the Association shall be conveyed to the Owners as tenants in common.

Article Six ASSESSMENTS

6.01 PURPOSE OF ASSESSMENTS: The assessments levied by the Association shall be exclusively to administer the affairs of the Association to pay the Community Expenses and to accumulate reserves for any such expenses.

6.02 COMMUNITY ASSESSMENT: Each year on or before December 1, the Managers shall adopt and furnish each Owner with a budget for the ensuing calendar year, which shall show the following with reasonable explanations and itemizations:

- (a) The estimated Community Expenses;
- (b) The estimated amount, if any, to maintain adequate reserves for Community Expenses including, without limitation, amounts to maintain the Capital Reserve;
- (c) The estimated net available cash receipts from the operation and use of the Community Area plus the estimated excess funds, if any, from the current year's assessments;
- (d) The amount of the "Community Assessment" payable by the Owners, which is hereby defined as the amount determined in (a) above, plus the amount determined in (b) above, minus the amount determined in (c) above;
- (e) That portion of the Community Assessment which shall be payable with respect to the ensuing calendar year by the Owner of each Lot which is Subject to Assessment hereunder,

which each month until the next Community Assessment or revised Community Assessment becomes effective, which monthly amount shall be equal to the Community Assessment, divided by the number of Lots, divided by twelve (12), so that each Owner shall pay equal Community Assessments for each Lot owned. The Community Assessment shall be paid in periodic installments as determined by the Managers from time to time, but no less frequently than once each calendar year.

Anything herein to the contrary notwithstanding the provisions of this paragraph shall apply with respect to the period prior to the Turnover Date. Any budget ("Stabilized Budget") prepared by the Managers prior to the Turnover Date shall be based on the assumptions that (i) the Development has been fully constructed as shown on the Declarant's Development Plan and (ii) all proposed Homes have been sold, are occupied and are Subject to Assessment. Prior to the Turnover Date, each Owner of a Lot (other than Declarant) which is Subject to Assessment shall pay a Community Assessment equal to the total cash needs as shown on the Stabilized Budget divided by the total number of proposed Homes on the Declarant's Development Plan, divided by 12, so that each Owner (other than Declarant) will pay, with respect to each Lot which is Subject to Assessment and owned by the Owner, a monthly Community Assessment equal to what such Owner would be paying with respect to the Owner's Lot if the Development were fully constructed pursuant to the Declarant's Development Plan and all proposed Homes have been built, are occupied and are Subject to Assessment. The Declarant shall not be obligated to pay any Community Assessments to the Association prior to the Turnover Date. However, if with respect to the period commencing on the date of the Recording of this Declaration and ending on the Turnover Date, the amount of Community Assessments and working capital contributions under Section 6.08 payable (whether or not paid) by Owners (other than Declarant) less the portions thereof which are to be added to Reserves is less than the Community Expenses actually incurred with respect to such period, then the Declarant shall pay the difference to the Association. From time to time prior to the Turnover Date, the Declarant may (but shall not be obligated to) advance to the Association funds to be used by the Association to pay its expenses ("Advanced Funds"). A final accounting and settlement of the amount, if any, owed by Declarant to the Association shall be made as soon as practicable after the Turnover Date. If, and to the extent that, the final accounting determines that the Advanced Funds, if any, are less than the amount owed by the Declarant to the Association pursuant to this Section, the Declarant shall pay the difference to the Association. If, and to the extent that, the final accounting determines that the Advanced Funds, if any, exceed the amount owed by the Declarant to the Association pursuant to this Section, then the Association shall pay such excess to the Declarant.

6.03 PAYMENT OF COMMUNITY ASSESSMENT: On or before the first day of January of the ensuing calendar year, and on the first day of each month thereafter until the effective date of the next annual or revised Community Assessment, each Owner of a Lot which is Subject to Assessment shall pay to the Association, or as the Managers may direct, that portion of the Community Assessment which is payable by each Owner of a Lot under Section 6.02(e) or Section 6.07, as applicable, at such times as the Managers shall determine from time to time. For purposes hereof, a Lot shall only be Subject to Assessment hereunder from and after such time as a temporary, conditional or permanent occupancy certificate has been issued with respect to the Home constructed thereon.

6.04 REVISED ASSESSMENT: If the Community Assessment proves inadequate for any reason (including nonpayment of any Owner's assessment) or proves to exceed funds reasonably needed, then the Managers may increase or decrease the assessment payable under

Section 6.02(e) by giving written notice thereof (together with a revised budget and explanation for the adjustment) to each Owner not less than ten (10) days prior to the effective date of the revised assessment.

6.05 SPECIAL ASSESSMENT: After the Turnover Date, the Managers may levy a special assessment as provided in this Section (i) to pay (or build up reserves to pay) expenses other than Community Expenses incurred (or to be incurred) by the Association from time to time for a specific purpose including, without limitation, to make alterations, additions or improvements to the Community Area, or any other property owned or maintained by the Association; or (ii) to cover an unanticipated deficit under the prior year's budget. Any special assessment shall be levied against all of the Lots which are Subject to Assessment in equal shares for each such Lot. No special assessment shall be adopted without the affirmative vote of Voting Members representing at least two-thirds (2/3) of the votes cast on the question and only those Owners of Lots against which the proposed special assessment shall be levied may vote on the question. The Managers shall serve notice of a special assessment on all Owners by a statement in writing giving the specific purpose and reasons therefor in reasonable detail, and the special assessment shall be payable in such manner and on such terms as shall be fixed by the Managers. Any assessments collected pursuant to this Section (other than those to cover an unanticipated deficit under the prior year's budget) shall be segregated in a special account and used only for the specific purpose set forth in the notice of assessment.

6.06 CAPITAL RESERVE: The Association shall segregate and maintain a special reserve account to be used solely for making capital expenditures in connection with the Community Area and the Association Maintained Public Area (the "Capital Reserve"). The Managers shall determine the appropriate level of the Capital Reserve based on (i) a periodic review of the useful life of improvements to the Community Area, the Association Maintained Public Area and other property owned or required to be maintained by the Association, and (ii) periodic projections of the cost of anticipated major repairs or replacements to the Community Area and the purchase of other property to be used by the Association in connection with its duties hereunder. The Capital Reserve may be built up by separate or special assessments or out of the Community Assessment as provided in the budget. Special accounts set up for portions of the Capital Reserve to be used to make capital expenditures with respect to the Community Areas shall be held by the Association as agent and trustee for the Owners of Homes with respect to which the Capital Reserve is held and such accounts shall be deemed to have been funded by capital contributions to the Association by the Owners. The budgets which will be adopted from time to time by the Managers prior to the Turnover Date shall include reserve buildups which the Managers deem to be appropriate based on information available to the Managers. Managers elected by the Owners after the Turnover Date may use different approaches from those used by the Declarant, as the Manager prior to the Turnover Date, for the buildup of reserves or may choose not to provide for the buildup of reserves for certain capital expenditures or deferred maintenance for repairs or replacements of the Community Area. If the Managers choose not to provide for the buildup of reserves for a particular anticipated expenditure or if the buildup of reserves that the Managers do provide for in its budgets does not result in sufficient funds to pay for the expenditure when the expenditure must be made, then (i) neither the Manager(s) nor any of its past or present members shall be liable to the Association or the Owners for failing to provide for sufficient reserves and (ii) the Managers shall have the right and power to either levy a separate or special assessment to raise the funds to pay the expenditure or to borrow funds to pay the expenditure and repay the borrowed funds out of future Community Assessments, separate assessments or special assessments. The final accounting and settlement calculation between the Declarant and the

Association (provided for in Section 6.02(e) above) shall not include any amounts allocated to, or deposited in, the Capital Reserve.

6.07 PAYMENT OF ASSESSMENTS: Community Assessments levied by the Association shall be collected from each Owner by the Association and shall be a lien on the Owner's Lot and also shall be a personal obligation of the Owner in favor of the Association, all as more fully set forth in Article Seven.

6.08 INITIAL CAPITAL CONTRIBUTION:

Upon the closing of the sale of each Home by the Declarant to a purchaser for value, the purchasing Owner shall make a capital contribution to the Association in an amount equal to six (6) monthly installments of the then current Community Assessment (except that portion allocated to snow removal from driveways and service walks serving the Homes) for that Home, which amounts shall be held and used by the Association for its working capital needs (and not as an advance payment of the Community Assessment). In addition, the purchasing Owner shall pay to the Association an amount equal to six (6) monthly installments of the then current Community Assessment (except that portion allocated to snow removal from driveways and service walks serving the Homes) for that Home which shall be added to the Capital Reserve.

Article Seven

COLLECTION OF CHARGES AND REMEDIES FOR BREACH OR VIOLATION

7.01 CREATION OF LIEN AND PERSONAL OBLIGATION: The Declarant hereby covenants, and each Owner of a Lot by acceptance of a deed therefor (whether or not it shall be so expressed in any such deed or other conveyance) shall be and is deemed to covenant and hereby agrees to pay to the Association all Charges made with respect to the Owner or the Owner's Lot. Each Charge, together with interest thereon and reasonable costs of collection, if any, as hereinafter provided, shall be a continuing lien upon the Lot against which such Charge is made and also shall be the personal obligation of the Owner of the Lot at the time when the Charge becomes due. The lien or personal obligation created under this Article Seven shall be in favor of and shall be enforceable by the Association.

7.02 COLLECTION OF CHARGES: The Association shall collect from each Owner all Charges payable by such Owner under this Declaration.

7.03 NON-PAYMENT OF CHARGES: Any Charge which is not paid to the Association when due shall be deemed delinquent. Any Charge which is delinquent for thirty (30) days or more shall bear interest at the rate of eighteen percent (18%) per annum or the maximum rate permitted by law, whichever is less, from the due date to the date when paid. The Association may (i) bring an action against the Owner personally obligated to pay the Charge to recover the Charge (together with interest, costs and reasonable attorney's fees for any such action, which shall be added to the amount of the Charge and included in any judgment rendered in such action), and (ii) enforce and foreclose any lien which it has or which may exist for its benefit. In addition, the Managers may add a reasonable late fee to any installment of an assessment which is not paid within thirty (30) days of its due date. No Owner may waive or otherwise escape personal liability for the Charges hereunder by nonuse of the Community Area or by abandonment or transfer of his Lot.

7.04 LIEN FOR CHARGES SUBORDINATED TO MORTGAGES: The lien for Charges, provided for in Section 7.01, shall be subordinate to the Mortgagee's mortgage on the Lot which was Recorded prior to the date that any such Charge became due. Except as hereinafter provided, the lien for Charges provided for in Section 7.01 shall not be affected by any sale or transfer of a Lot. Where title to a Lot is transferred pursuant to a decree of foreclosure of the First Mortgagee's mortgage or by deed or assignment in lieu of foreclosure of the First Mortgagee's mortgage, such transfer of title shall extinguish the lien for unpaid Charges which became due prior to the date of the transfer of title. However, the transferee of the Lot shall be personally liable for his share of the Charges with respect to which a lien against his Lot has been extinguished pursuant to the preceding sentence where such Charges are reallocated among all the Owners pursuant to a subsequently adopted annual or revised Community Assessment or special assessment, and non-payment thereof shall result in a lien against the transferee's Lot, as provided in this Article.

7.05 SELF-HELP BY MANAGERS: In the event of a violation or breach by an Owner of the provisions, covenants or restrictions of the Declaration, the Operating Agreement, or rules or regulations of the Managers where such violation or breach may be cured or abated by affirmative action, then the Managers upon not less than ten (10) days' prior written notice to the Owner, shall have the right to enter upon that part of the Premises where the violation or breach exists to remove or rectify the violation or breach; provided, that, if the violation or breach exists within a Home, judicial proceedings must be instituted before any items of construction can be altered or demolished.

7.06 OTHER REMEDIES OF THE MANAGERS: In addition to or in conjunction with the remedies set forth above, to enforce any of the provisions contained in this Declaration or any rules and regulations adopted hereunder the Managers may levy a fine or the Managers may bring an action at law or in equity in the name of the Association against any person or persons violating or attempting to violate any such provision, either to restrain such violation, require performance thereof, to recover sums due or payable (including fines) or to recover damages, and against the Lot to enforce any lien created hereunder; and failure by the Association to enforce any provision shall in no event be deemed a waiver of the right to do so thereafter.

7.07 COSTS AND EXPENSES: All costs and expenses incurred by the Managers in connection with any action, proceedings or self-help in connection with the exercise of its rights and remedies under this Article, including, without limitation, court costs, attorneys' fees and all other fees and expenses, and all damages, liquidated or otherwise, together with interest thereon at the rate of eighteen percent (18%) per annum or the maximum rate permitted by law, whichever is less until paid, shall be charged to and assessed against the defaulting Owner, and the Association shall have a lien for all the same, upon his Lot as provided in Section 7.01.

7.08 ENFORCEMENT BY OWNERS: Enforcement of the provisions contained in this Declaration and the rules and regulations adopted hereunder may be by any proceeding at law or in equity by any aggrieved Owner against any person or persons violating or attempting to violate any such provisions, either to restrain such violation or to recover damages, and against a Lot to enforce any lien created hereunder.

Article Eight
USE RESTRICTIONS

8.01 **RESIDENTIAL USE:** Each Lot shall be used only for residential purposes, as a private residence, and no professional, business or commercial use shall be made of a Lot or any portion thereof, nor shall any Resident's use of a Lot endanger the health or disturb the reasonable enjoyment of any other Owner or Resident, except that professional and quasi-professional persons may use their residence as an ancillary or secondary facility to an office elsewhere. The foregoing restrictions shall not, however, be construed to prohibit a Resident from: (a) maintaining his personal professional library; (b) keeping his personal business or professional records or accounts; (c) handling his personal business or professional telephone calls or correspondence therefrom, or (d) conducting an in-home business not prohibited by applicable laws, ordinances or regulations.

8.02 **OUTBUILDINGS, CLOTHESLINES AND DOG RUNS AND OTHER ACCESSORY STRUCTURES AND USES:**

(a) No outbuilding, shed, storage shed, gazebos, doghouses, greenhouse or other temporary or permanent structure shall be constructed on any Lot or on the Community Area. There shall be no clotheslines or dog runs constructed or placed on any Lot or on the Community Area.

(b) There shall be no construction on any Lot which results in a building or structure inconsistent with the general architectural design and aesthetic flavor of either (i) the Home on the Lot or (ii) the remainder of the Homes on the Premises.

8.03 **INDUSTRY/SIGNS:** No industry, business, trade, occupation or profession of any kind shall be conducted, maintained or permitted on any part of the Community Area nor shall any "For Sale" or "For Rent" signs be maintained or permitted on any part of the Community Area or any Lot, except as permitted by the Managers or as permitted under Article Nine. No advertising signs, billboards, or objects of unsightly appearance or nuisances shall be erected, placed or permitted to remain on any portion of any Lot. The foregoing restrictions shall not apply to the signs and billboards, if any, of Declarant or its designees. Notwithstanding the foregoing, during the two (2) week period prior to and during the one (1) week period subsequent to a primary or general election, one (1) political sign (not to exceed 2 feet by 2 feet in size) may be placed in the window of a Home

8.04 **PETS:** No animals, livestock or poultry of any kind shall be raised, bred, or kept on the Community Area. No animals, livestock, or poultry of any kind shall be raised, bred, or kept on any Lot except for dogs, cats, birds or fish, as household pets but not for breeding purposes. Farm animals, snakes, other reptiles, exotic animals and wild animals are prohibited. Owners are limited to no more than three (3) dogs or no more than three (3) cats (with the exceptions that a litter may be kept for a period of time not exceeding four (4) months from birth) or combination thereof in any Home. The owner of any pet shall immediately remove any bodily waste deposited by its pet on any Lot, Community Area, parkways, cul-de-sac islands or dedicated streets. The Managers may from time to time adopt rules and regulations governing (a) the keeping of pets in the Home, which may include prohibiting certain species of pets from being kept in the Home and (b) the use of the Community Area by pets. This section is subject to change if the Municipal

Commented [A16]: This conflicts with the next sentence which provides for "limits"

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Ordinance governing pets is revised or amended. All dogs kept on the Premises shall be leashed at all times.

8.05 **TRASH:** All rubbish, trash, or garbage shall be kept so as not to be seen from neighboring Homes and roads, and shall be regularly removed from the Premises, and shall not be allowed to accumulate thereon. Garbage may not be burned on a Lot or on the Community Area. Trash containers shall be placed on the curb for collection and empty containers shall be removed on the pick-up day at such times as provided in the current Municipal Ordinance, as may be amended from time to time.

8.06 **NUISANCE:** No nuisance, noxious or offensive activity shall be carried on in the Premises nor shall anything be done therein, either willfully or negligently, which may be or become an annoyance or nuisance to the Owners or occupants of any Home.

8.07 **PLANTS:** No plants, seeds, or other things or conditions harboring or breeding infectious plant diseases or noxious insects shall be introduced or maintained upon any part of the Premises.

8.08 **PARKING:** The parking of vehicles on the Premises shall be subject to rules and regulations adopted by the Managers from time to time, which rules and regulations may provide for the removal of any violating vehicles at the vehicle owner's expense or for the imposition of a fine for a violation of the rules and regulations. Without limiting the foregoing, the following shall apply:

(a) There shall be no parking permitted on the private roads or, except as specifically provided in subparagraph (b) below, the private driveways which serve the Premises.

(b) The garage which is part of each Home and that portion of the driveway which is adjacent to and extends approximately twenty (20) feet beyond the garage door ("Resident Reserved Parking Area") shall be used for parking only by the Resident of the Home and the Resident's guests; provided, however, that no vehicle may be parked in a Resident Reserved Parking Area for more than fourteen (14) consecutive nights.

(c) The visitor parking spaces (each a "Visitor Parking Space") located on the Community Area, including private roadways, shall be unallocated and available on first come-first serve basis. Unless expressly permitted by the Managers the following shall apply: (i) Visitor Parking Spaces shall not be used for overnight Resident parking, (ii) no boats, recreational vehicles, trailers or other vehicles shall be parked or stored in a Visitor Parking Spaces for more than twenty-four (24) hours at a time, and (iii) a guest shall not be permitted to park a vehicle overnight in a visitor parking space for more than seventy-two (72) hours.

(d) Residents shall not be permitted to park any vehicle (which has "D" or equivalent plates, more than two (2) axles, more than four (4) tires and/or a gross weight when fully loaded in excess of 8,000 pounds), recreational vehicle, boat, trailer or other similar vehicle on any portion of the Premises, other than within a garage which is part of a Home. In no event can any portion of a vehicle which is permitted to be parked on the Premises hereunder (including any ladder or other equipment attached thereto) block or overhang any portion of a sidewalk located on the Premises.

(e) Except for emergencies, no repairs or maintenance work shall be performed on any vehicle on the Premises, other than within a garage which is part of a Home.

(f) The Owner of any Lot shall keep the garage door of his residence shut at all times when it is not in use. No Owner shall park or store vehicles on public streets or on driveways within his Lot if there is capacity for storage for such vehicles in the garage on his Lot. No owner shall utilize the space within his garage to store any commercial materials or products or for purposes which adversely affect or limit the storage of vehicles therein to meet the designed capacity of such garage.

8.09 SATELLITE DISHES ANTENNAE: Subject to applicable federal, state and local regulations, laws and ordinances, no satellite dish, television antenna or other similar device shall be attached to or installed (i) on any portion of the Community Area or (ii) on any portion of a Lot which is visible from the front of the Home. The installation of satellite dishes, television antennae and other similar devices shall be subject to additional reasonable rules and regulations adopted from time to time by the Managers. The restrictions set forth in this Section shall not apply to the Association with respect to the installation of equipment necessary for a master antenna system, cable television system or other similar systems within the Premises.

Commented [A18]: Add language that requires the removal of equipment that is no longer utilized or functional to the person leaving the old dish when they switch companies.

8.10 LANDSCAPE MAINTENANCE: Initially, all landscaping on the Premises shall be maintained by the Association. Prior to the Turnover Date the Owners shall not be permitted to install any landscaping on the Owner's Lot, with the exception Foundation Plantings installed adjacent to the Owner's Home, with approval from the Association, or on any portion of the Community Area. After the Turnover Date the Managers may adopt rules and regulations regarding landscaping on Lots or the Community Area immediately adjacent to an Owner's Home, including the cost to maintain and replace such landscaping. The Association shall maintain all landscaping installed by the Declarant in accordance with Section 3.02.

8.11 FENCES No fencing shall be installed by an Owner on any Lot or on any portion of the Community Area.

8.12 PROHIBITION OF SWIMMING POOLS, HOT TUBS AND SAUNAS No swimming pools, hot tubs or saunas shall be installed on any Lot or on any portion of the Community Area.

8.13 PROHIBITIONS IN AREAS AROUND HOMES Playgrounds, trampolines, sandboxes, swing sets, outside storage, and inoperable motor vehicles are prohibited on any Lot or the Community Area adjacent thereto.

8.14 PROHIBITION OF WINDOW AIR CONDITIONERS OR WINDOW FANS No window air conditioners or window fans shall be placed in any home constructed on the Premises.

8.15 CLEARANCE OF UTILITIES The Owner of a Lot, and not the Association, shall be responsible for the clearance and relocation of any utilities that must be made in connection with the installation of any improvements by the Owner on his Lot.

8.16 COMPLIANCE WITH U.S. POSTAL SERVICE REGULATIONS: All mailboxes located in any right-of-way shall be in compliance with U.S. Postal Service Regulations and must be approved by the Municipality.

8.17 DRIVEWAYS Driveways shall be constructed of concrete, asphalt or pavers, shall not extend past the width of the initial installation when replaced and shall not be increased at any time.

Commented [A19]: Provide width in dimension

8.18 LEASES OF LOTS Any Owner may lease his Lot, but no lease may be for ~~less than the full home, nor for~~ a period of less than thirty (30) days. All leases must be made expressly subject to the terms of this Declaration. In the event any Owner leases his Lot, he shall at all times keep the Association advised in writing of the address of his own current residence and any changes thereto, and of the name(s) of his tenant(s). Notwithstanding the foregoing, Declarant and its successors and assigns shall have the right to rent any or all units located on Lots owned by Declarant.

Commented [A20]: Does this include "Air BnB"?

Commented [A21]: The Village does not approve of leases in this development
Remove this section

8.19 PROHIBITION OF ~~PATHOS AND DECKS~~ No ~~paths or~~ decks may be installed on a Lot or on the Community Area adjacent thereto.

Commented [A22]: Or may revise to say "except as provided in _____"

Article Nine
DECLARANT'S RESERVED RIGHTS AND
SPECIAL PROVISIONS COVERING DEVELOPMENT PERIOD

9.01 IN GENERAL In addition to any rights or powers reserved to the Declarant under the provisions of this Declaration or the Operating Agreement, the Declarant shall have the rights and powers set forth in this Article. Anything in this Declaration or the Operating Agreement to the contrary notwithstanding, the provisions set forth in this Article shall govern. Except as otherwise provided in this Article, the rights of the Declarant in this Article shall terminate and be of no further force and effect five (5) years after the Declarant is no longer vested in or controls title to any portion of the Development Area ("Declarant Rights Period").

9.02 PROMOTION OF PROJECT The Declarant shall have the right and power, within its sole discretion, to (i) construct such temporary or permanent improvements, or to do such acts or other things in, on, or to the Premises as the Declarant may, from time to time, determine to be necessary or advisable, (ii) construct and maintain model Homes, sales or leasing offices, parking areas, advertising signs, lighting and banners, or other promotional facilities at such locations and in such forms as the Declarant may deem advisable and to use such model homes (including model homes which are sold and leased back to Declarant), sales or leasing offices or other facilities for the purpose of selling or leasing homes on the Premises or at other properties in the general location of the Premises which are being offered for sale by the Declarant or any of its affiliates, without the payment of any fee or charge whatsoever to the Association. Declarant, its agents, prospective purchasers and tenants, shall have the right of ingress, egress and parking in and through, and the right to use and enjoy the Premises, at any and all reasonable times without fee or charge. The Declarant shall have the right and power to lease any unit owned by it or the Declarant to any person or entity which it deems appropriate in its sole discretion.

9.03 CONSTRUCTION ON PREMISES In connection with the construction of improvements to any part of the Premises, the Declarant, its agents and contractors, shall have the right, at the Declarant's own expense, (but shall not be obligated) to make such alterations, additions or improvements to any part of the Premises including, without limitation, the construction, reconstruction and/or alteration of any temporary or permanent improvements which the Declarant deems, in its sole discretion, to be necessary or advisable, and the landscaping, sodding or planting and replanting of any unimproved portions of the Premises. In connection

with the rights provided in the preceding sentence, the Declarant, its agents and contractors, shall have the right of ingress, egress and parking on the Premises and the right to store construction equipment and materials on the Premises without the payment of any fee or charge whatsoever.

9.04 DECLARANT CONTROL OF ASSOCIATION Prior to the Turnover Date, the Managers shall be the Declarant, or one or more entities or persons designated by the Declarant from time to time who need not be Owners or Voting Members. Initially the Declarant shall be the sole Manager. The rights and powers of the Declarant to manage the affairs of the Association, or designate the Managers of the Association shall terminate on the first to occur of (i) such time as Declarant no longer holds or controls title to any portion of the Development Area, (ii) the giving of written notice by Declarant to the Association of Declarant's election to terminate such rights, (iii) ten (10) years from the date of Recording hereof, or (iv) the date required under any applicable statute. The date on which the Declarant's rights under this Section shall terminate shall be referred to as the "Turnover Date". From and after the Turnover Date, the Managers shall be constituted and elected as provided in the Operating Agreement. Prior to the Turnover Date, all of the voting rights at each meeting of the Owners shall be vested exclusively in the Declarant and the Owners (other than Declarant) shall have no voting rights.

9.05 OTHER RIGHTS The Declarant shall have the right and power to execute all documents and do all other acts and things affecting the Premises which, in Declarant's opinion, are necessary or desirable in connection with the rights of Declarant under this Declaration.

9.06 ASSIGNMENT BY DECLARANT All rights which are specified in this Declaration to be rights of the Declarant are mortgageable, pledgeable, assignable or transferable in whole or in part. Any successor to, or assignee of, the rights of the Declarant hereunder (whether as the result of voluntary assignment, foreclosure, assignment in lieu of foreclosure, or otherwise) shall hold or be entitled to exercise the rights of Declarant hereunder as fully as if named as such party herein. No such successor assignee of the rights of Declarant hereunder shall have or incur any liability for the acts of any other party which previously exercised or subsequently shall exercise such rights.

9.07 GRANT OF EASEMENTS AND DEDICATIONS Declarant shall have the right to dedicate portions of the Community Area to the County, the Municipality or other governmental authority which has jurisdiction over such portions. Declarant shall also have the right to reserve or grant easements over the Community Area to any governmental authority, public utility or private utility for the installation and maintenance of utility services serving any Lot.

9.08 MATTERS AFFECTING COMMUNITY AREA During the Declarant Rights Period, the Association shall not cause or permit a lien or encumbrance to be placed or imposed on any portion of the real estate legally describe in Section II of Exhibit B hereto (each a "Community Area Lot") without the prior written consent of the Declarant. Any such lien or encumbrance placed or imposed on a Community Area Lot without Declarant's consent shall be null and void. In order to reflect or conform to a change in the Declarant's Development Plan, any time prior to the end of the Declarant Rights Period, the Declarant shall have the right and power to require the Association to convey such portion or portions of a Community Area Lot which are so withdrawn and removed from the Community Area to Declarant or its nominee, free and clear of any liens or encumbrances other than those created by or consented to by the Declarant pursuant to this Section.

9.09 ARCHITECTURAL CONTROLS Prior to such time as the Declarant no longer holds or controls title to any portion of the Development Area, no additions, alterations or improvements (including, without limitation, changes in the exterior color of a Home or construction or installation of a shed, outbuilding, deck, patio, terrace, antennae, satellite dish or similar changes) shall be made to the exterior of any Home or any part of the Home which is visible from outside the Home by an Owner without the prior written consent of the Declarant. If an addition, alteration or improvement which requires Declarant approval hereunder is made to a Home without the prior written consent of the Declarant, then the Declarant may seek injunctive relief to cause the Owner to cease construction of and/or remove the addition, alteration or improvement. Declarant's decision to approve or disapprove an alteration, addition or improvement in one instance shall not in any way create or establish a precedent for how the Declarant must respond to a request for an alteration, addition or improvement subsequently made, it being understood that circumstances, situations and standards may change and the Declarant reserves the right and power to grant or deny requests as Declarant believes are appropriate in Declarant's sole and absolute discretion.

Article Ten AMENDMENT

10.01 SPECIAL AMENDMENTS Anything herein to the contrary notwithstanding, Declarant reserves the right and power to Record a special amendment ("Special Amendment") to this Declaration at any time and from time to time which amends this Declaration (i) to comply with requirements of Fannie Mae, the Government National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Veteran's Administration, or any other governmental agency or any other public, quasi-public or private entity which performs (or may in the future perform) functions similar to those currently performed by such entities, (ii) to induce any of such agencies or entities to make, purchase, sell, insure, guarantee or otherwise deal with first mortgages covering Lots, (iii) to correct errors, omissions, ambiguities or inconsistencies in the Declaration or any Exhibit, (iv) to bring the Declaration into compliance with applicable laws, ordinances or governmental regulations, (v) to amend Exhibit A to include additional real estate, (vi) to amend Exhibit B to remove real estate from the Premises and the terms of this Declaration, and (vii) to reflect a change in the Declarant's Development Plan. In furtherance of the foregoing, a power coupled with an interest is hereby reserved and granted to the Declarant to make or consent to a Special Amendment on behalf of each Owner. Each deed, mortgage, trust deed, other evidence of obligation, or other instrument affecting a Lot and the acceptance thereof shall be deemed to be a grant and acknowledgment of, and a consent to the reservation of, the power to the Declarant to make, execute and Record Special Amendments. The right and power of the Declarant to Record a Special Amendment hereunder shall terminate five (5) years after such time as Declarant no longer holds or controls title to a portion of the Development Area.

10.02 AMENDMENT Subject to Section 10.01 and Article Eleven, the provisions of this Declaration may be amended, abolished, modified, enlarged, or otherwise changed in whole or in part by the affirmative vote of Voting Members representing at least Seventy-Five percent of the total votes or by an instrument consented to, in writing, executed by Owners of at least Seventy-Five Percent (75%) of the Lots; except, that (i) the provisions of this Section 10.02 may be amended only by an instrument executed by all of the Owners and all First Mortgagees, (ii) amendments to this Declaration which affect the rights of the Municipality may only be amended with the written consent of the Municipality (which consent shall not be unreasonably withheld but which consent may be withheld if the proposed amendment conflicts with the original planned

unit development approval) and (iii) until such time as the rights and powers of the Declarant under this Declaration terminate, this Declaration may only be amended with the written consent of the Declarant. No amendment which removes Premises from the provisions of this Declaration shall be effective if as a result of such removal, an Owner of a Lot shall no longer have the legal access to a public way from his Lot. No amendment shall become effective until properly Recorded.

Article Eleven
FIRST MORTGAGEES RIGHTS

11.01 **NOTICE TO FIRST MORTGAGEES** Upon the specific, written request of Mortgagee or the insurer or guarantor of a First Mortgagee's mortgage, such party shall receive some or all of the following and these notices can be delivered by any means the Managers determines which is not contrary to the provisions of the Act.

(a) Copies of budgets, notices of assessment, or any other notices or statements provided under this Declaration by the Association to the Owner of the Lot covered by the First Mortgagee's mortgage;

(b) Any audited or unaudited financial statements of the Association which are prepared for the Association and distributed to the Owners; provided, that, if an audited statement is not available, then upon the written request of the holder, insurer or guarantor of a Mortgage, the Association shall permit such party to have an audited statement for the preceding fiscal year of the Association prepared at such party's expense;

(c) Copies of notices of meetings of the Owners;

(d) Notice of any proposed action that requires the consent of a specified percentage of Eligible First Mortgagees;

(e) Notice of any substantial damage to any part of the Community Area or the Lot subject to the First Mortgagee's mortgage;

(f) Notice of the commencement of any condemnation or eminent domain proceedings with respect to any part of the Community Area or the Lot subject to the First Mortgagee's mortgage;

(g) In the case of a First Mortgagee, the right to be listed on the records of the Association as an "Eligible First Mortgagee" for purpose of Section 11.02 below; and

(h) Notice of any default by the Owner of the Lot which is subject to the Mortgagee's mortgage under this Declaration, the Operating Agreement or the rules and regulations of the Association which is not cured within 30 days of the date of the default;

(i) The right to examine the books and records of the Association at any reasonable times; and

(j) A lapse, cancellation or material modification of any insurance policy or fidelity bond maintained by the Association.

The request of any such party shall specify which of the above it desires to receive and shall indicate the address to which any notices or documents shall be sent by the Association.

11.02 CONSENT OF FIRST MORTGAGEES:

(a) In addition to any requirements or prerequisites provided for elsewhere in this Declaration, the consent of First Mortgagees holding, in the aggregate, the first mortgages on at least two-thirds (2/3) of the Lots (by number) which are subject to first mortgages held by First Mortgagees which specifically request to be treated as "Eligible First Mortgagees" under Section 11.01(i) above will be required for the Association to do or permit to be done any of the following:

(i) Adoption of an amendment to this Declaration which (i) changes Article Six or otherwise changes the method of determining the Community Assessments or other Charges which may be levied against an Owner; (ii) changes Section 7.04 or Article Ten, (iii) changes this Article Eleven, or any other provision of this Declaration or by Operating Agreement which specifically grants rights to First Mortgagees, (iv) materially changes insurance and fidelity bond requirements, (v) changes voting rights, or (vi) imposes a right of first refusal or similar restriction on the right of an Owner to sell, transfer or otherwise convey his Lot;

(ii) The withdrawal of the Premises from the provisions of this Declaration;

(b) Whenever required, the consent of an Eligible First Mortgagee shall be deemed granted unless the party seeking the consent is advised to the contrary, in writing, by the Eligible First Mortgagee within sixty (60) days after making the request for consent.

11.03 INSURANCE PROCEEDS/CONDEMNATION AWARDS: In the event of (i) any distribution of any insurance proceeds hereunder as a result of damage to, or destruction of, any part of the Community Area or (ii) any distribution of the proceeds of any award or settlement as a result of condemnation or eminent domain proceedings with respect to any part of the Community Area, any such distribution shall be made to the Owners and their respective First Mortgagees, as their interests may appear, and no Owner or other party shall be entitled to priority over the First Mortgagee of a Lot with respect to any such distribution to or with respect to such Lot; provided, that, nothing in this Section shall be construed to deny to the Association the right (i) to apply insurance proceeds to repair or replace damaged improvements or (ii) to apply proceeds of any award or settlement as a result of eminent domain proceedings as provided in Article Four.

Article Twelve
MISCELLANEOUS

12.01 NOTICES Any notice required to be sent to any Owner under the provisions of this Declaration or the Operating Agreement shall be deemed to have been properly sent if (i) mailed, postage prepaid, to his or its last known address as it appears on the records of the Association at the time of such mailing, (ii) transmitted by facsimile or e-mail to his or its facsimile number or e-mail address as either appears on the records of the Association at the time of such transmittal, or (iii) when personally delivered to his or its Lot. The date of mailing, or the date of transmission if the notice is sent by facsimile or e-mail, shall be deemed the date of service.

12.02 CAPTIONS The Article and Section headings are intended for convenience only and shall not be construed with any substantive effect in this Declaration. In the event of any

conflict between statements made in recitals to this Declaration and the provisions contained in the body of this Declaration, the provisions in the body of this Declaration shall govern.

12.03 SEVERABILITY Invalidation of all or any portion of any of the easements, restrictions, covenants, conditions, or reservations, by legislation, judgment or court order shall in no way affect any other provisions of this Declaration which shall, and all other provisions, remain in full force and effect.

12.04 PERPETUITIES AND OTHER INVALIDITY If any of the options, privileges, covenants or rights created by this Declaration would otherwise be unlawful or void for violation of (a) the rule against perpetuities or some analogous statutory provision, (b) the rule restricting restraints on alienation, or (c) any other statutory or common law rules imposing time limits, then such provisions shall continue only until twenty-one (21) years after the death of the survivor of the now living lawful descendants of the President of the United States at the time this Declaration is Recorded.

12.05 TITLE HOLDING LAND TRUST In the event title to any Lot is held by a title holding trust, under the terms of which all powers of management, operation and control of the Lot remain vested in the trust beneficiary or beneficiaries, then the beneficiaries thereunder from time to time shall be responsible for payment of all Charges and for the performance of all agreements, covenants and undertakings chargeable or created under this Declaration against such Lot. No claim shall be made against any such title holding trustee personally for payment of any lien or obligation hereunder created and the trustee shall not be obligated to sequester funds or trust property to apply in whole or in part against such lien or obligation. The amount of such lien or obligation shall continue to be a charge or lien upon the Lot and the beneficiaries of such trust notwithstanding any transfers of the beneficial interest of any such trust or any transfers of title to such Lot.

12.06 WAIVER OF IMPLIED WARRANTY OF HABITABILITY AND OTHER WARRANTIES Illinois courts have held that every contract for the construction of a new home in Illinois carries with it a warranty that when completed, the home will be free of defects and will be fit for its intended use as a home. The courts have also held that this "Implied Warranty of Habitability" does not have to be in writing to be a part of the contract and that it covers not only structural and mechanical defects such as may be found in the foundation, roof, masonry, heating, electrical and plumbing, but it also covers any defect in workmanship which may not easily be seen by the buyer. However, the courts have also held that a seller-builder and buyer may agree in writing that the Implied Warranty of Habitability is not included as a part of their particular contract. Each buyer of a Home from Declarant agreed in the purchase contract that the Declarant has excluded and disclaimed the Implied Warranty of Habitability and all other implied warranties, whether created judicially, statutorily or by common law, including the implied warranty of fitness for a particular purpose. Such exclusion and disclaimer shall apply to and bind any subsequent Owner of a Home and, accordingly, no Owner of a Home shall be able to assert a claim against Declarant for a breach of the Implied Warranty of Habitability or any other implied warranty.

12.07 JURISDICTION This agreement and its validity, enforcement and interpretation shall be governed by the law of the state of Illinois (without regard to any conflict of laws, principles) and applicable United States federal law.

Dated: _____, 20__

DECLARANT:

PULTE HOME CORPORATION, a Michigan
corporation

By: _____
Name: _____
Its: _____

and

By: _____
Name: _____
Its: _____

EXHIBIT A
TO
DECLARATION OF COVENANTS FOR HINSBROOK CLUB

The Development Area

ALL LOTS AND OUTLOTS IN HINSBROOK CLUB SUBDIVISION, A SUBDIVISION
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS,
ACCORDING TO THE PLAT THEREOF RECORDED _____ AS DOCUMENT
NO. _____ ("Hinsbrook Club Subdivision").

PINs: 09-22-207-003
09-22-207-001

ADDRESS: Various addresses along _____ in Willowbrook, Illinois

EXHIBIT B
TO
DECLARATION OF COVENANTS FOR HINSBROOK CLUB

The Premises

- I. Lots: Each of the following described lots shall be a "Lot" hereunder:
 - A. Lots 1 to 29, both inclusive, in Hinsbrook Club Subdivision

- II. Community Area:
 - A. Outlot _____ in Hinsbrook Club Subdivision

- III. Association Maintained Public Area:
 - A. The grass areas on the east side of the adjoining Tennessee Avenue right-of-way, on the east and the grass areas on the west side of the adjoining Clarendon Hills Road right-of-way on the west

EXHIBIT C
TO
DECLARATION OF COVENANTS FOR HINSBROOK CLUB
Operating Agreement

[see attached]

EXHIBIT "G"
SAMPLE IMPROVEMENT AGREEMENT

[NOTE TO APPLICANT:
YOU WILL BE EXPECTED TO EXECUTE THIS FORM OF AGREEMENT.
THE VILLAGE WILL PREPARE EXECUTION COPIES.
THIS FORM IS NOT NEGOTIABLE.]

IMPROVEMENT AGREEMENT

THIS AGREEMENT made and entered into this ____ day of _____, 2016, by and between the VILLAGE OF WILLOWBROOK, a municipal corporation of the State of Illinois, having its principal offices at 835 Midway Drive, Willowbrook, Illinois 60527 (hereinafter called "VILLAGE") and _____ (hereinafter called "DEVELOPER").

W I T N E S S E T H:

WHEREAS, DEVELOPER, as applicant, filed an application for approval of May Subdivision with respect to the property legally described on Exhibit "A", attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY") so as to permit the construction of May Subdivision ("PROJECT"); and,

WHEREAS, the DEVELOPER desires to construct the PROJECT on the SUBJECT REALTY and has submitted to the VILLAGE Engineering Plans, a copy of which is attached hereto as Exhibit "B" which is, by this reference, incorporated herein, and which has been approved by the Mayor and Board of Trustees of the VILLAGE; and,

WHEREAS, the VILLAGE is willing to approve the PROJECT provided that this Agreement is executed to insure the completion of certain improvements in accordance with applicable VILLAGE ordinances and/or agreements between the VILLAGE and DEVELOPER. The PROJECT shall not be approved until this Agreement is executed.

NOW, THEREFORE, it is mutually agreed as follows:

1. DEVELOPER shall furnish, or cause to be furnished, at its own cost and expense, all the necessary materials, labor and equipment to complete the following improvements on and/or relating to the SUBJECT REALTY (the "IMPROVEMENTS" or individually, the "IMPROVEMENT"):

- A. Storm Sewer Facilities (including any detention/retention facilities), wetlands improvements and related structures.
- B. Erosion Control.
- K. Site Grading and Earth Moving.
- L. Any and all restoration work attendant to any of the above.

all in a good and workmanlike manner and in accordance with all pertinent ordinances and regulations of the VILLAGE and/or other agreements between the VILLAGE and DEVELOPER, and the Plans and Specifications for such IMPROVEMENTS on file in the offices of the

VILLAGE, which Plans and Specifications have been prepared by _____, consisting of ___ sheet(s) and bearing a latest revision date of _____, which Plans and Specifications have heretofore been approved by the VILLAGE, together with any amendments thereto approved by the VILLAGE. Any utilities and services to be installed in or under the streets shall be installed prior to paving.

2. Attached hereto as Exhibit "C" is a complete cost estimate for the construction of the IMPROVEMENTS. The VILLAGE Code and/or any applicable ordinance or agreement provides that the DEVELOPER shall collateralize its obligation to construct all IMPROVEMENTS. The DEVELOPER shall submit a Letter of Credit issued by a sound financial institution authorized to transact business and maintaining an authorized agent for service in the State of Illinois. Such Letter of Credit shall contain such terms and provisions as may be acceptable to the Village Attorney of the VILLAGE and shall be deposited with the VILLAGE prior to the approval of the PROJECT by the VILLAGE.

Said Letter of Credit shall be in a principal amount of not less than one hundred twenty five percent (125%) of the DEVELOPER'S engineer's estimate, as approved by the VILLAGE'S

Director of Municipal Services, of the costs of all IMPROVEMENTS to be constructed upon the SUBJECT REALTY.

The Letter of Credit may provide for its reduction from time to time, based upon the VILLAGE Director of Municipal Services' recommendation to the VILLAGE Administrator of the value of any of the IMPROVEMENTS installed. The VILLAGE Director of Municipal Services' recommendation shall not be subject to question by the DEVELOPER. In no event shall the Letter of Credit be reduced to an amount less than one hundred twenty five percent (125%) of the VILLAGE Director of Municipal Services' estimate of the cost of completion of all remaining IMPROVEMENTS. Any language in the Letter of Credit with respect to its reduction shall be subject to the approval of the VILLAGE Attorney. In no event shall the VILLAGE Director of Municipal Services' recommendation for a reduction to the Letter of Credit or the VILLAGE Administrator's authorization for such reduction constitute final acceptance of any of the IMPROVEMENTS.

3. All work related to the IMPROVEMENTS shall be subject to inspection by the VILLAGE Director of Municipal Services, and his approval thereof shall be a condition precedent to the payout of funds to contractors or subcontractors. The approval provided for

in this paragraph shall not constitute final acceptance of any or all of the IMPROVEMENTS.

4. DEVELOPER will pay to the VILLAGE all plan review fees pursuant to Section 4-2-11(F)7 and Section 10-8-3 of the Village Code of the VILLAGE.

5. The DEVELOPER shall furnish the VILLAGE with evidence of liability insurance in the amount of at least \$1,000,000/\$5,000,000 covering the construction activities of the DEVELOPER contemplated by this Agreement. Such insurance shall be written by a company rated by Best Reporting Service A VI or better. Such certificate of insurance shall be deposited before the commencement of any work by the DEVELOPER. The policy shall provide a thirty (30) day "prior notice of termination" provision in favor of the VILLAGE. Should the DEVELOPER allow such liability insurance to terminate prior to the final acceptance of all of the IMPROVEMENTS, the VILLAGE may have recourse against the Letter of Credit for funds sufficient to cause the liability insurance to remain in effect until the final acceptance of all of the IMPROVEMENTS.

6. The DEVELOPER, by its execution of this Agreement, agrees to indemnify, hold harmless, defend, pay costs of defense,

and pay any and all claims or judgments which may hereafter accrue against the VILLAGE, or its agents, servants and employees, arising out of any of the DEVELOPER'S construction activities contemplated by this Agreement.

7. DEVELOPER shall complete those IMPROVEMENTS identified in paragraph 1 of this Agreement prior to the issuance of any building permits.

Notwithstanding any provision contained herein to the contrary, all IMPROVEMENTS shall be completed no later than two (2) years from and after the date of this Agreement.

If work relating to the IMPROVEMENTS is not completed within the time prescribed herein, the VILLAGE shall have the right, but not the obligation, to require completion by drawing on the Letter of Credit in addition to any other available remedies.

8. Upon completion of all IMPROVEMENTS and, further, upon the submission to the VILLAGE of a certificate from the engineering firm employed by DEVELOPER stating that all said IMPROVEMENTS have been completed in conformance with this Agreement, the VILLAGE Code, the final engineering Plans and Specifications relative thereto, any applicable agreements and all State and Federal laws and standards, the VILLAGE Director of

Municipal Services shall, within sixty (60) days after the VILLAGE receives the aforesaid certification from the DEVELOPER'S engineer, either (i) finally accept all said IMPROVEMENTS, or (ii) designate in writing to DEVELOPER all corrections or alterations which shall be required to obtain final acceptance of said IMPROVEMENTS, specifically citing sections of the final engineering Plans and Specifications, the VILLAGE Code or this Agreement, any applicable agreement or State or Federal law or standard, relied upon by said VILLAGE Director of Municipal Services. Should the VILLAGE Director of Municipal Services reject any IMPROVEMENT, or any portion or segment thereof, for final acceptance, the DEVELOPER shall cause to be made to such IMPROVEMENT such corrections or modifications as may be required by the VILLAGE Director of Municipal Services. The DEVELOPER shall cause the IMPROVEMENTS to be submitted and resubmitted as herein provided until the VILLAGE Director of Municipal Services shall finally accept same. No IMPROVEMENT shall be deemed to be finally accepted until the Director of Municipal Services shall finally accept same.

Upon completion and as a condition of final acceptance by the VILLAGE, DEVELOPER agrees to convey and transfer those

IMPROVEMENTS that are deemed to be public improvements to the VILLAGE by appropriate Bill(s) of Sale.

9. The DEVELOPER guarantees that the workmanship and materials furnished under the final Plans and Specifications and used in said IMPROVEMENTS will be furnished and performed in accordance with well-known established practices and standards recognized by engineers in the trade. All IMPROVEMENTS shall be new and of the best grade of their respective kinds for the purpose.

All materials and workmanship shall be guaranteed by the DEVELOPER for a period of eighteen (18) months from the date of final acceptance.

To partially secure the DEVELOPER'S guarantee, at the time of final acceptance by the VILLAGE of the installation of all IMPROVEMENTS in accordance with this Agreement, DEVELOPER shall deposit with the VILLAGE a Maintenance Letter of Credit in the amount of fifteen percent (15%) of the actual cost of the IMPROVEMENTS finally accepted by the VILLAGE. This Letter of Credit shall be deposited with the VILLAGE and shall be held by the VILLAGE for a period of eighteen (18) months after all IMPROVEMENTS are finally accepted.

The DEVELOPER shall make or cause to be made at its own expense, any and all repairs which may become necessary under and by virtue of this contract guarantee and shall leave the IMPROVEMENT in good and sound condition, satisfactory to the VILLAGE and the VILLAGE Director of Municipal Services, at the expiration of the guarantee period. In said event and at the expiration of such period, said Maintenance Letter of Credit shall be returned to the DEVELOPER.

If during said guarantee period, any IMPROVEMENT shall require any repairs or renewals, in the opinion of the VILLAGE Director of Municipal Services, necessitated by reason of settlement of foundation, structure or backfill, or other defective workmanship or materials, the DEVELOPER shall, upon notification by the VILLAGE Director of Municipal Services of necessity for such repairs or renewals, make such repairs or renewals, at its own cost and expense. Should the DEVELOPER fail to make such repairs or renewals within the time specified in such notification, the VILLAGE may cause such work to be done, either by contract or otherwise, and the VILLAGE may draw upon said Maintenance Letter(s) of Credit to pay the entire cost or expense thereof, including attorneys' fees and consultants' costs. Should

such cost or expense exceed the amount set forth in said Maintenance Letter(s) of Credit, the DEVELOPER will remain liable for any additional cost or expense incurred in the correction process.

10. The DEVELOPER shall furnish the VILLAGE with copies of lien waivers showing that all persons who have done work, or have furnished materials under this Agreement and are entitled to a lien therefore under any laws of the State of Illinois, have been fully paid or are no longer entitled to such lien.

11. The DEVELOPER shall be responsible for the maintenance of the IMPROVEMENTS until such time as they are finally accepted by the VILLAGE. This maintenance shall include routine maintenance, as well as emergency maintenance such as sewer blockages and water main breaks. Such maintenance shall be sufficient to render the IMPROVEMENTS required by paragraph 1 of this Agreement, compliant with the Plans and Specifications identified by said paragraph at the time of their final acceptance by the VILLAGE.

12. The DEVELOPER shall be responsible for any and all damage to the IMPROVEMENTS that may occur during the construction of the PROJECT irrespective of whether the IMPROVEMENTS damaged

have or have not been finally accepted hereunder. DEVELOPER shall replace and repair damage to the IMPROVEMENTS installed within, under or upon the SUBJECT REALTY resulting from construction activities by DEVELOPER, its successors or assigns and its employees, agents, contractors or subcontractors during the term of this Agreement, but shall not be deemed hereby to have released any other party from liability or obligation in this regard. DEVELOPER shall have no obligation with respect to damage resulting from ordinary use, wear and tear occurring after final acceptance.

13. The rights and remedies of the VILLAGE as provided herein, in the ordinances of the VILLAGE and/or in any agreements between the VILLAGE and DEVELOPER regarding the PROJECT, shall be cumulative and concurrent, and may be pursued singularly, successively, or together, at the sole discretion of the VILLAGE, and may be exercised as often as occasion therefor shall arise. Failure of the VILLAGE, for any period of time or on more than one occasion, to exercise such rights and remedies shall not constitute a waiver of the right to exercise the same at any time thereafter or in the event of any subsequent default. No act of omission or commission of the VILLAGE, including specifically any

failure to exercise any right, remedy or recourse, shall be deemed to be a waiver or release of the same; any such waiver or release to be effected only through a written document executed by the VILLAGE and then only to the extent specifically recited therein. A waiver or release with reference to any one event shall not be construed as a waiver or release of any subsequent event or as a bar to any subsequent exercise of the VILLAGE'S rights or remedies hereunder. Except as otherwise specifically required, notice of the exercise of any right or remedy granted to the VILLAGE is not required to be given.

14. From and after the date on which the VILLAGE'S Director of Municipal Services notifies the DEVELOPER, in writing, that the DEVELOPER is in default of any of its obligations under this Agreement, the DEVELOPER shall pay to the VILLAGE, upon demand, all of the VILLAGE'S fees, costs and expenses incurred in enforcing the provisions of this Agreement against DEVELOPER, including, without limitation, engineers' and attorneys' fees, costs and expenses, and, if any litigation is filed as part of such enforcement, any court costs and filing fees.

15. This Agreement shall be binding upon and inure to the successors and assigns of the parties to this Agreement.

Notwithstanding the foregoing, this Agreement shall not be assigned by either party hereto without the prior written consent of the other party to this Agreement.

16. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and this Agreement may be enforced with that provision severed or as modified by the court.

17. This Agreement sets forth an agreement of the parties insofar as it specifically contradicts, modifies or amplifies any provision of the VILLAGE Code. To the extent that this Agreement does not address an applicable provision of the VILLAGE Code, the VILLAGE Code shall continue to control the parties' activities contemplated by this Agreement regardless of the fact that the VILLAGE Code has not been addressed within the specific terms of this Agreement.

18. This Agreement shall be in full force and effect from the date set forth above until two (2) years from and after the date on which the last of the IMPROVEMENTS has been finally accepted.

19. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

20. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

A. VILLAGE at:

VILLAGE OF WILLOWBROOK
835 Midway Drive
Willowbrook, Illinois 60527-5594

B. DEVELOPER at:

21. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals on the date first above written.

VILLAGE OF WILLOWBROOK, an Illinois
municipal corporation,

By: _____
Mayor

ATTEST:

Village Clerk

By: _____

ATTEST:

DRAFT

Exhibit A
Legal Description

(Insert Here)

DRAFT

Exhibit B
Engineering Plans

(Insert Here)

DRAFT

Exhibit C
Engineer's Cost Estimate of Construction

(Insert Here)

DRAFT

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE: An Ordinance granting a special use permit for a 1,504 sqft restaurant ("Taste of Sham") in tenant space 858 in the Willowbrook Plaza Shopping Center (Previously Wingren Plaza)	ORDINANCE NO. 7 AGENDA DATE: 6/13/16
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STAFF REVIEW: Tiffany Kolodziej,
Administrative Intern

SIGNATURE: 

LEGAL REVIEW: Tom Bastian

SIGNATURE: THOMAS BASTIAN

RECOMMENDED BY VILLAGE ADMIN.:

SIGNATURE: T. Held

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The subject 3.6 acre shopping center is located on the northeast corner of Route 83 and 75th Street. The center contains 51,350 square feet of gross leasable area, of which the proposed Taste of Sham fast-casual restaurant will occupy 1,504 square feet. The use would be located in the shopping center with access to the parking lot off of 75th Street. Restaurants are special uses in the B-2 zoning district; and since the previous use for lot 858 accommodated food preparation, the newly proposed Taste of Sham will fill the vacancy appropriately.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The shopping center has experienced a nearly 30 percent vacancy in recent years, so the collective parking requirement for individual uses within the shopping center is well below the number of parking spaces on the site. This shopping center is somewhat unique in that it has two frontages. The main retail frontage is visible to both Route 83 and 75th Street. There are approximately 207 parking spaces, with 166 spaces in the west parking lot and 41 spaces in the east parking lot. This combination of space and parking is sufficient for a mix of retailers that require between 4 and 5 parking spaces per 1,000 square feet. Current users in the center require a total of 138 parking spaces, while Taste of Sham will require an additional 15 parking spaces. The total parking requirement of 153 spaces for existing users is accommodated by the 207 parking spaces in the center.

The proposed use brings traffic to a shopping center that has struggled to achieve full occupancy. Furthermore, this type of restaurant use is well-suited to the shopping center, and will provide unique food alternatives that will not infringe on pre-existing dining options within the Village. A condition of the approval for the Taste of Sham requires the Applicant to submit plans for occupancy to the Willowbrook Building Department.

The Plan Commission recommended approval of the requested relief and staff recommends approval of the attached ordinance.

ACTION PROPOSED:

Approve the attached ordinance.

ORDINANCE NO. _____

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A
1,504 SQUARE FOOT RESTAURANT IN TENANT SPACE 858
IN THE WILLOWBROOK PLAZA SHOPPING CENTER
(PREVIOUSLY WINGREN PLAZA)

WHEREAS, on or about April 22, 2016, Omar Dweydari, as applicant ("APPLICANT") for Taste of Sham, with approval of property owner Willowbrook Plaza, LLC, by David Husman, filed an application with the Village of Willowbrook, requesting that the Village grant a special use permit with respect to the property legally described in Exhibit "A" attached hereto, which is, by this reference, incorporated herein ("SUBJECT REALTY"); and,

WHEREAS, Applicant specifically requested the Village grant the special use permit for a restaurant in Tenant Space 858 of the Subject Realty, as identified in Exhibit "B" attached hereto, which is, by this reference incorporated herein ("SUBJECT TENANT SPACE"); and,

WHEREAS, Notice of Public Hearing on said application was published on or about April 29, 2016 in a newspaper having general circulation within the Village, to-wit, the Suburban Life newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about

May 18, 2016, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendation, attached hereto as Exhibit "C", including its Findings of Fact, attached hereto as Exhibit "D" to the Mayor and Board of Trustees on or about June 13, 2016, which is, by this reference, made a part hereof.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit in SUBJECT TENANT SPACE on the SUBJECT REALTY, pursuant to Sections 9-14-5 and 9-6B-2-17 of the Zoning Ordinance of the Village of Willowbrook, to allow the operation of a restaurant that does not have musical entertainment and dancing.

SECTION TWO: That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "D" are hereby adopted by the Mayor and Board of Trustees.

SECTION THREE: That the relief granted in Section One of this Ordinance is expressly conditioned upon the SUBJECT TENANT SPACE and SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with all of the following conditions:

1. The special use granted herein only applies to the 1,504 square foot space in Unit 858.
2. Applicant shall submit build-out plans as required by Village Code and receive a construction permit prior to commencing any work.
3. The special use shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval of the special use by the Village Board.

SECTION FOUR: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 13th day of June, 2016.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE: AYES: _____

 NAYS: _____

 ABSTENTIONS: _____

 ABSENT: _____

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 1 IN WINGREN PLAZA SUBDIVISION, BEING A RESUBDIVISION OF LOT 11 AND PART OF LOT 12 IN E.J. CHLUMSKY'S SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WINGREN PLAZA SUBDIVISION RECORDED DECEMBER 5, 1989 AS DOCUMENT R89-152944, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 800-900 75th Street, Willowbrook IL 60527.
PIN: 09-26-202-014

EXHIBIT "C"
PLAN COMMISSION RECOMMENDATION

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: May 18, 2016

SUBJECT: Zoning Hearing Case 16-06: (Omar Dweydari, 830 Clynderven Road, Burr Ridge IL) Petition for a special use permit and other relief as may be required to allow a 1,504 square foot restaurant to operate in Unit Number 858 in the Willowbrook Plaza Shopping Center located at 858 75th Street, Willowbrook IL.

At the regular meeting of the Plan Commission held on May 18, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Remkus, seconded by Commissioner Soukup that based on the submitted petition and testimony presented, the special use for a 1,504 square foot restaurant in space 858 in the Willowbrook Plaza Shopping Center for the prospective Taste of Sham meets the standards for a special use as outlined in the Staff report prepared for the May 18th Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval to PC 16-06 subject to the following conditions:

1. The special use granted herein only applies to the 1,504 square feet space in Unit 858.
2. The special use be approved only if the applicant agrees to submit Plans for Occupancy to the Willowbrook Building Department.

3. The special use shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval; of the special use by the Village Board.

ROLL CALL: AYES: Commissioners Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp;
NAYS: None. ABSENT: Commissioner Lacayo.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

EXHIBIT "D"
Findings of Fact

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use. A list of the special use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: A 1,504 square foot restaurant in space number 858 will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare if approved with recommended conditions.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The location will fill a vacancy in the shopping center that will increase property values. It plans to sell foodstuffs that is unique to the area and will promote greater variety in Willowbrook's places of eating.

- (C) That the establishment of the restaurant will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The proposed restaurant will not impede on the normality of the development. It is suspected to add to it.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The shopping center is already provided with existing utilities, access roads, drainage and other facilities.

(E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: No extraneous measures related to this prospective restaurant should be needed to improve traffic congestion within the area.

(F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use itself conforms to all other applicable regulations of the district in which it is located.

(G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-0-05, 1-27-1997)

Finding: This applicant has not requested approval in the past to locate in this shopping center.

VILLAGE OF WILLOWBROOK

BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

ITEM TITLE: AN ORDINANCE GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE--7510 S. MADISON—MORGAN HARBOUR HEADQUARTERS	AGENDA NO. 8 AGENDA DATE: 06/13/16
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STAFF REVIEW: Anna Franco,
Planning Consultant

SIGNATURE: 

LEGAL REVIEW: Tom Bastian

SIGNATURE: 

RECOMMENDED BY VILLAGE ADMIN.:

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE:

YES NO N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

The site is currently improved with a single story 22,102 square foot brick office & warehouse building on a 0.897 acre site. A 22 space parking lot is located on the north side of the building, and a 25' wide loading dock area is located on the east side of the building, both with access from South Madison Street. Medco, a tool and equipment wholesaler, currently occupies the space. Morgan Harbour Construction, a full-service design/build general contractor and construction manager, proposes to locate their headquarters at the property, pending approval by the Village of improvements, so that the property may meet Morgan Harbour's business needs.

ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

In an effort to modify the existing property to fit their needs, the applicant wishes to make building alterations and site improvements to the property located at 7510 S. Madison Street. The modifications would include removing 3,555 square feet of the existing building in order to provide an additional 12 parking spaces on property, creating a total of thirty-four (34) spaces on the subject property. The proposed building area would be +/- 18,550 square feet, with a floor area ratio (FAR) of 0.47 for the property. Approximately 9,000 square feet of the building would be dedicated to office related uses and approximately 9,550 dedicated to warehouse related uses. Loading for the building would be provided by two (2) dock doors located in the existing loading area and one (1) drive-in door located on the north side of the building.

Other improvements include making minor entrance and ADA improvements to the front of the existing building, making necessary access improvements, pavement repairs and resurfacing to the existing parking lot, and adding storm sewer.

The Plan Commission recommended approval of the requested relief and staff recommends approval of the attached ordinance.

ACTION PROPOSED:

Approve the attached ordinance.

ORDINANCE NO. 16-O-_____

AN ORDINANCE GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE
7510 S. MADISON - MORGAN HARBOUR CONSTRUCTION HEADQUARTERS

WHEREAS, on or about April 7, 2016 Morgan Harbour Construction, LLC, as applicant, filed an application with the Village of Willowbrook with respect to the property legally described on Exhibit "A" attached hereto, which is, by this reference, incorporated herein ("SUBJECT REALTY"). Said application requested that the Village grant certain variations from the requirements of the Zoning Ordinance of the Village to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking (collectively the "IMPROVEMENTS") on the west side of the modified existing building located on the Subject Realty; and,

WHEREAS, Notice of Public Hearing on said application was published on or about May 20, 2016, in a newspaper having general circulation within the Village, to-wit, the Hinsdale Suburban Life newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about June 8, 2016, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, all interested parties had an opportunity to be heard; and

WHEREAS, the Plan Commission has forwarded its recommendations, including their Findings of Fact, to the Mayor and Board of Trustees on or about June 13, 2016, a copy of said recommendations and Findings of Fact being attached hereto as Exhibit "B" and made a part hereof.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION TWO: That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION THREE: That pursuant to Section 9-14-4 of the Village Code, the following variations from the provisions of the Zoning Ordinance be and the same are hereby granted for the Subject Realty:

- A. From 9-16-2 to authorize an alteration to a non-conforming building to reduce the building in order to provide more parking, while maintaining setbacks from the south and east property line.
- B. 9-10-5(G) to reduce the required minimum pavement setback from the west (rear) and north (interior side) property lines from ten feet (10') to 4.55 and 4.97' respectively.

- C. From 9-10-5(G) to reduce the required minimum intermediate parking island south of the dumpster enclosure from nine feet (9') to 6.83'.
- D. From 9-14-2.23 (3)d to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').
- E. From 9-10-5(K) to reduce the number of required parking stalls from forty-seven (47) to thirty-four (34) spaces.
- F. From 9-10-5(G) to reduce the height of peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans.

SECTION FOUR: That the relief granted in Section Three is for the purpose of facilitating the Improvements defined herein, and is expressly conditioned upon the following:

1. The Improvements shall be constructed in substantial conformance and compliance with the plans attached hereto and made a part hereof as Exhibit C (the "Approved Plans").

SECTION FIVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 13TH day of June, 2016.

APPROVED:

Mayor

ATTEST:

Village Clerk

ROLL CALL VOTE:

AYES: _____

NAYS: _____

ABSTENTIONS: _____

ABSENT: _____

EXHIBIT A
Legal Description

PARCEL 1: LOT 3 IN RESUBDIVISION OF LOTS 1 AND 2 IS WILLOWBROOK EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED ON JANUARY 6, 1977 AS DOCUMENT R77-01268, IN DU PAGE COUNTY, ILLINOIS.

PIN: 09-26-403-011

COMMON ADDRESS: 7510 S. MADISON STREET, WILLOWBROOK, ILLINOIS

EXHIBIT B
Recommendation and Findings of Fact

MEMORANDUM

MEMO TO: Frank A. Trilla, Mayor
Board of Trustees

MEMO FROM: Daniel Kopp, Chairman, Plan Commission

DATE: June 8, 2016

SUBJECT: Zoning Hearing Case 16-08: 7510 S. Madison Street, Morgan Harbour Construction, LLC. Consideration of a petition for variations from Title 9 of the Village Code to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking on Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza in the M-1 Zoning District.

At the special meeting of the Plan Commission held on June 8, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Kaucky seconded by Ruffolo that based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

ROLL CALL: AYES: Commissioners Lacayo, Kaucky, Ruffolo, and Chairman Kopp; NAYS: None. ABSENT: Commissioner Remkus, Soukup and Vice-Chairman Wagner.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

FINDINGS OF FACT FOR ZONING VARIATIONS

Morgan Harbour Headquarters

- A. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

The subject property is currently non-conforming with regards to the building and parking setbacks. The proposed variances will allow the rear building setback to be improved and will provide ample off-street parking for the intended use. Currently, the property does not provide the parking count that users in the marketplace desire or need.

- B. The proposed variations will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship, which will result if the strict letter of the regulations were carried out, and which is not generally applicable to property within the same district.

The proposed improvements will increase the amount of off-street parking and increase the rear building setback. The rear parking setback variance will be required, but will be an improvement from the current non-conforming building layout. These improvements are needed to attract a long term owner-occupied user.

In addition, the western portion of the building that is proposed to be removed will eliminate one (1) structural bay. In order to meet the current setback requirements, an additional entire bay would need to be removed back to the next structural column line thus making the building area too small to be feasible for our use.

- C. The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

The applicant has no current proprietary interest in the property.

- D. The proposed variations will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

The improvements will increase open air space along the rear property line and enhance landscaping.

- E. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public street, increase the danger of fire, or endanger the public safety.

The proposed improvements will increase supply of natural light and air to the adjacent property by pulling the building back from the property line.

F. The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

The proposed variation is in keeping with the essential character of the locality by maintaining the original masonry aesthetics and enhancing landscaping.

G. The proposed variation is in harmony with the spirit and intent of Title 9 of this code. (Ord. 9700-05, 1-27-1997).

The proposed variation allows a less than ideal property to be marketed to a long term owner-occupied user and will not negatively impact the neighboring properties.

EXHIBIT C
Approved Plans

1. Engineering Improvement Plans, prepared by Pinnacle Engineering Group, latest revision dated May 26, 2016.
2. Landscape Plan, consisting of one (1) sheet, prepared by James Dowden & Associates, Inc., latest revision dated May 29, 2016.
3. ALTA/NSPS Land Title Survey, consisting of one (1) sheet, prepared by Gerald L. Heinz & Associates, Inc., latest revision dated May 26, 2016.
4. Photometric Site Plan, consisting on one (1) sheet, prepared by Hinsdale Electric Co., latest revision dated March 30, 2016.
5. Architectural Elevations, consisting of four (4) sheets, prepared by Ware Malcomb, latest revision dated April 7, 2016.
6. Sign Details, consisting of three (3) sheets, prepared by Custom Sign Consultants, Inc., latest revision dated May 24, 2016.

ENGINEERING IMPROVEMENT PLANS FOR

MORGAN HARBOUR HEADQUARTERS

7510 S. MADISON STREET WILLOWBROOK, ILLINOIS

PLANS PREPARED FOR



10204 WERCH DRIVE, SUITE 301
WOODRIDGE, IL 60517
(630) 734-6495



LOCATION MAP
SCALE: 1"=300'

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	□	□
PRECAST FLARED END SECTION	△	△
CONCRETE HEADWALL	∧	∧
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	⊙	⊙
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	X(750.00)	X(750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

CONTACTS

MORGAN HARBOUR CONSTRUCTION
WARREN SEIL
10204 WERCH DRIVE, SUITE 301
WOODRIDGE, IL 60517
(630) 734-6495

WARE MALCOMB
GRANT BRANDENBURG
1900 SPRING ROAD, SUITE 210
OAK BROOK, IL 60523
(630) 218-0063 x1621

PINNACLE ENGINEERING GROUP, LLC
BRIAN JOHNSON, P.E., CPESC
1051 E. MAIN ST., SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5301

UTILITY CONTACTS

ELECTRIC
COMED (800) 334-7661

NATURAL GAS
NICOR GAS (888) 642-6748

PHONE/CABLE/INTERNET
AT&T (800) 244-4444
COMCAST (866) 594-1234
DIRECTV (866) 810-7892

BENCHMARKS

REFERENCE BENCHMARK
SEE SITE PLAN FOR LOCATION & SURVEY
DATUM: NAVD88 & NAD83

EXISTING CONDITIONS

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY GERALD L. HEINZ & ASSOCIATES, INC. THE FIELD WORK WAS COMPLETED ON MARCH 30TH, 2016. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	∆	INTERSECTION ANGLE

INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 PROJECT SPECIFICATIONS
- C-3 DEMOLITION PLAN
- C-4 SITE DIMENSIONAL & PAVING PLAN
- C-5 GRADING PLAN & UTILITY PLAN
- C-6 SITE STABILIZATION PLAN
- C-7 CONSTRUCTION STANDARDS
- C-8 CONSTRUCTION STANDARDS

ATTACHMENTS

- EX-1 ALTA/ACSM LAND TITLE AND SURVEY (GERALD L. HEINZ & ASSOCIATES, INC.)
- H-SE1 BUILDING PHOTOMETRIC PLAN (HINSDALE ELECTRIC CO.)

GENERAL NOTES

- THE VILLAGE OF WILLOWBROOK BUILDING DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND 48 HOURS PRIOR TO EACH INSPECTION AT (630) 920-2240.
- ALL UTILITY COMPANIES, INCLUDING THE VILLAGE OF WILLOWBROOK, SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY, OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
- PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS (LATEST EDITION):
 - VILLAGE OF WILLOWBROOK STANDARD NOTES, SITE DEVELOPMENT PLAN REQUIREMENTS, AND MUNICIPAL CODE.
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" BY ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
 - OTHER STANDARDS OR SPECIFICATIONS SPECIFICALLY REFERRED TO IN AN INDIVIDUAL PROVISION OF THESE STANDARDS AND SPECIFICATIONS.
 - "ILLINOIS URBAN MANUAL" AS PREPARED BY THE U.S. DEPT. OF AGRICULTURE & IL ASSOCIATION OF SOIL AND WATER CONSERVATION DISTRICTS, LAKE COUNTY DIVISION OF TRANSPORTATION AND UNIFIED DEVELOPMENT ORDINANCE.
 - THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC.
- ALL DOCUMENTS CITED IN THE ABOVE STANDARDS AND SPECIFICATIONS RELEVANT TO THE SUBJECT UNDER CONSIDERATION. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE REFERENCE ITEMS ABOVE AND ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MORE RESTRICTIVE PROVISION(S) SHALL APPLY.

FOR CONSTRUCTION



EXPIRATION DATE: NOVEMBER 30, 2017

Formerly JULIE 1-800-822-0123

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TITLE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

CHICAGO OFFICE:
1051 E. MAIN ST., SUITE 217
EAST DUNDEE, IL 60118
(708) 555-5200

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

MORGAN HARBOUR HEADQUARTERS
7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS

REVISIONS	
1. REVIEW PER VILLAGE	5/26/16

COVER SHEET

SHEET
C-1
of
C-8

REG. JOB NO. _____
PROJ. NO. _____
START DATE: 05/07/16
SCALE: _____

- ### SITE DIMENSIONAL AND PAVING NOTES
- ALL PROPOSED CURB AND CUTTER SHALL BE 3" BARRIER CURB OR B6.12 AS NOTED.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - REBAR / TIEBARS SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE MEETS OTHER CONCRETE FEATURES (i.e. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS.
 - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 - THE WALKING PATH / SIDEWALK IN THE PUBLIC ROW ADJACENT TO THE ENTRANCE OFF / MERICAN LANE AND MEACHAM ROAD SHALL HAVE REMOLDED, HIGH VISIBILITY RED, DETECTABLE WARNING DOMES PER STATE AND FEDERAL ADA CODE.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.0% MAXIMUM IN ANY DIRECTION.
 - REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
 - REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

LEGEND

- CONCRETE PAVEMENT / ASPHALT / TRASH AREAS
- 6" PORTLAND CEMENT CONCRETE COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
- SIDEWALK
- 5" PORTLAND CEMENT CONCRETE (UNREINFORCED) COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
- LIGHT DUTY PAVEMENT
- 1.5" BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-28 (R.A.S. NOT PERMITTED)
- 2.25" BIT. BINDER COURSE, HMA, 1L-19, N50, 19.0mm NOMINAL SIZE, PG64-22
- 0.30 GAL/SY BITUMINOUS PRIME COAT (MC-30)
- 8" COMP. CA-6 AGGREGATE SUBBASE, TYPE B (ALT. RECOMMENDATION ASPHALT MILLINGS MEETING CA-6 GRADATION)
- HILL & OVERLAY
- 1.5" FILL EXISTING SURFACE COURSE V. FULL DEPTH PATCH IN AREAS OF PAVEMENT FAILURE
- 1.5" BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-28 (R.A.S. NOT PERMITTED)
- 0.30 GAL/SY BITUMINOUS PRIME COAT (MC-30)
- X" EXISTING BIT. BINDER COURSE
- B-F-12 CURB & GUTTER
- BARRIER CURB

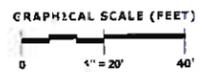
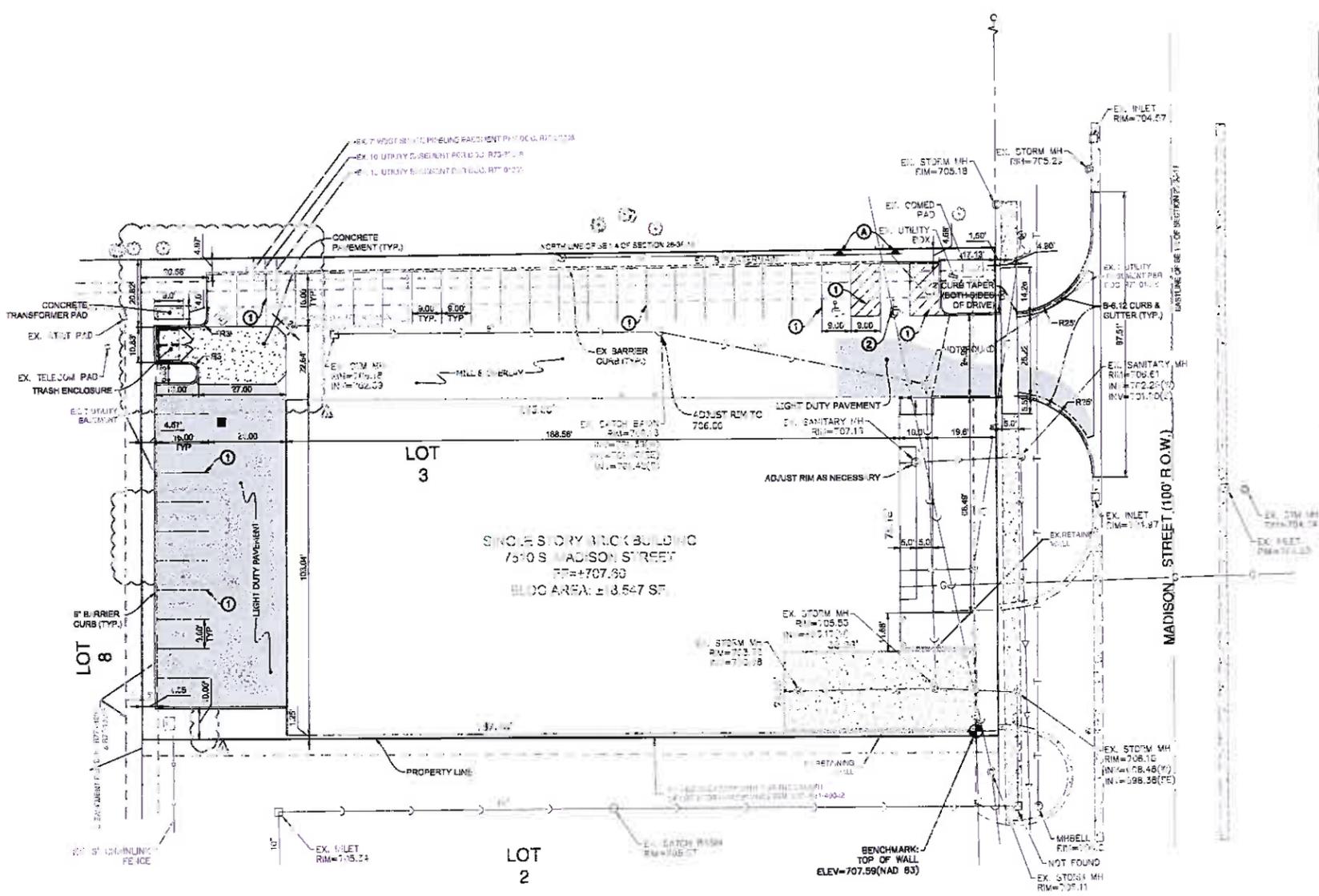
STRIPING/SIGNAGE LEGEND

- ① 4" YELLOW LINE
- ② LETTERS AND SYMBOLS PAVEMENT MARKINGS
- ④ R7-B & R7-CP HANDICAP

SITE DATA

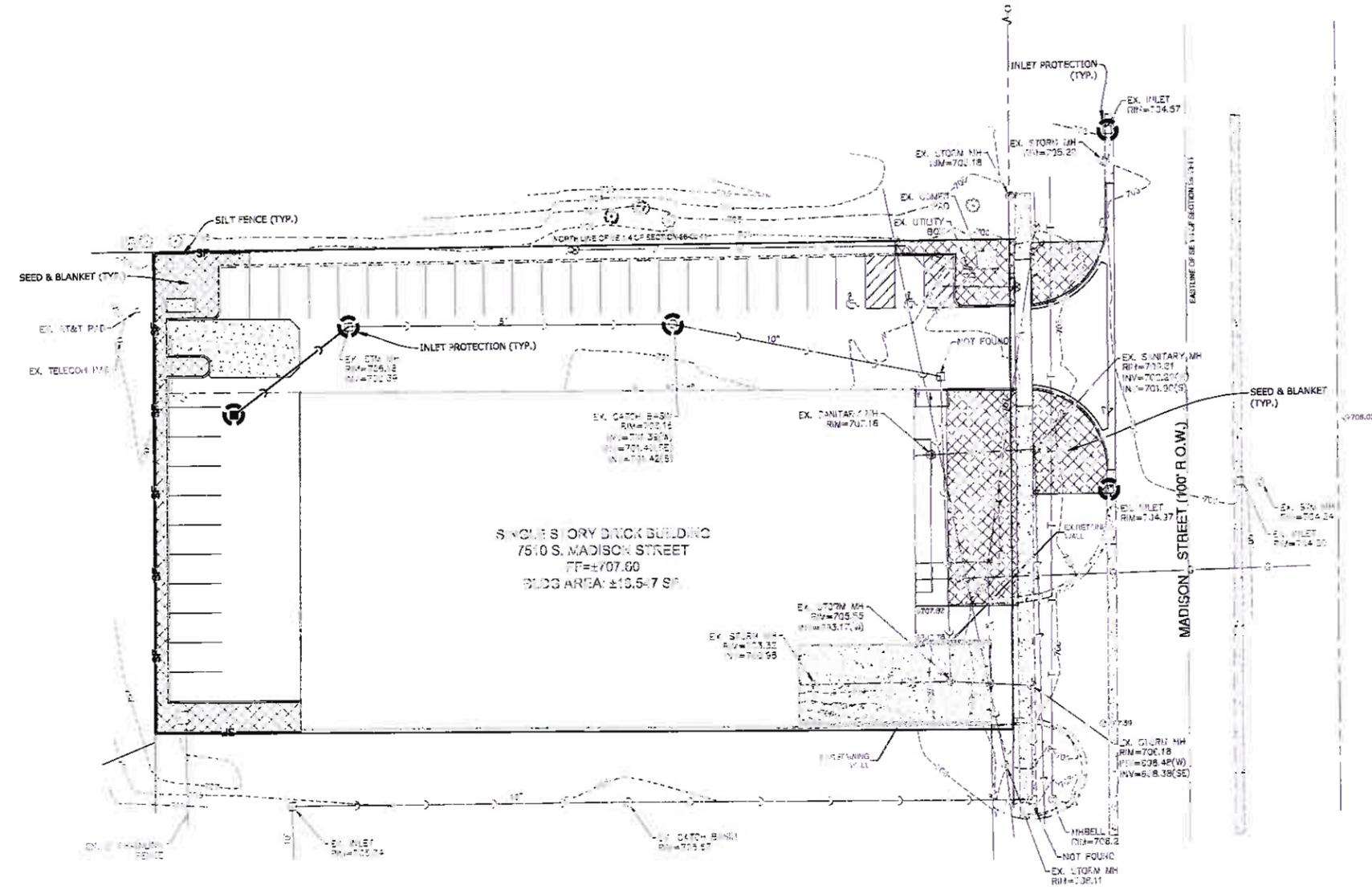
SITE AREA:	0.197 AC. (39,078.42 SF.)
BUILDING AREA:	±18,547 S.F.
F.A.R.:	0.47
DOCK IN DOORS:	2 POSITIONS
DOCK DOORS:	2 POSITIONS
PARKING:	
REQUIRED:	47 STALLS
PROVIDED:	32 STALLS (INCLUDING 2 ADA)

NOTE:
EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY GERALD L. HEINZ & ASSOCIATES ON MARCH 30, 2016. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.



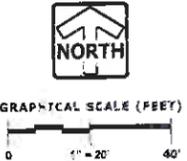
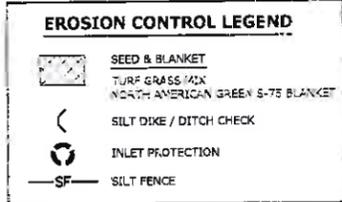
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DESIGNED: BDU
 DRAFTED: BDU
 13.58 W.D. RDJ, 4/21/2016 10:49 AM
 7. Projects\1612\1612 - CHICAGO CAD FILE\FINAL\1612-8 SITE STABILIZATION
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NOTE:
 EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY GERALD L. HEINZ & ASSOCIATES ON MARCH 30, 2015. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

- ### SITE STABILIZATION NOTES
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, LATEST EDITION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION OR DISTURBANCE OF THE SITE. THE MEASURES MAY HAVE TO BE ADJUSTED TO MEET FIELD CONDITIONS DURING CONSTRUCTION. ANY MEASURES, IN ADDITION TO THOSE OUTLINED IN THE PLANS WHICH ARE DEEMED NECESSARY BY THE CITY, SHALL BE IMPLEMENTED IMMEDIATELY BY THE DEVELOPER.
 - ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS, DIRT, AND MUD ONTO ADJACENT STREETS, PARKING LOTS, OR PROPERTIES. ANY DEBRIS, DIRT, OR MUD THAT REACHES AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, OR PARKING AREA SHALL BE PROMPTLY REMOVED, AND TRANSPORTED TO A PROPER DISPOSAL AREA.
 - ALL SEDIMENT MUST BE PREVENTED FROM ENTERING ANY PUBLIC OR PRIVATE STORM DRAINAGE SYSTEM. REUSABLE INLET FILTER BASKETS (FLEXSTORM, CATCHALL, OR EQUIVALENT), SEDIMENT BASINS, AND WATER FILTERING BAGS, SHALL BE PROVIDED AS NEEDED.
 - ALL DRAINAGE SWALES SHALL BE STABILIZED WITH SPECIFIED EROSION CONTROL BLANKET.
 - TOPSOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF STOCKPILE ONTO NEIGHBORING PROPERTIES OR INTO RESTORED PROJECT AREAS. STOCKPILES SHALL BE LOCATED SO THAT A DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND ANY DOWNSTREAM PROPERTIES. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, IT MUST BE SEEDED AND BLANKETED TO MINIMIZE SOIL EROSION BY BOTH WIND AND WATER.
 - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS.
 - IF DEWATERING SERVICES ARE USED, ADJACENT PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES FROM CONSTRUCTION DEWATERING SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE SUCH AS A SEDIMENT TRAP, A SEDIMENT BASIN, OR ANY OTHER APPROPRIATE MEASURE.



PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
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 EAST BUNDEY, IL 60128
 (847) 551-5300
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7510 S. MADISON STREET

WILLOWBROOK, ILLINOIS

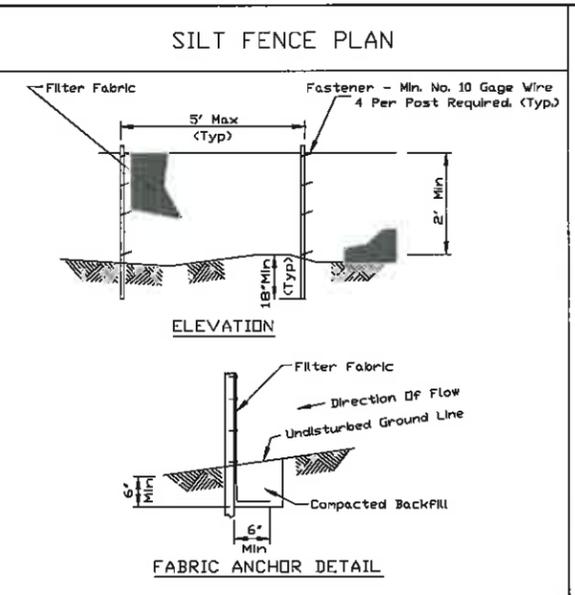
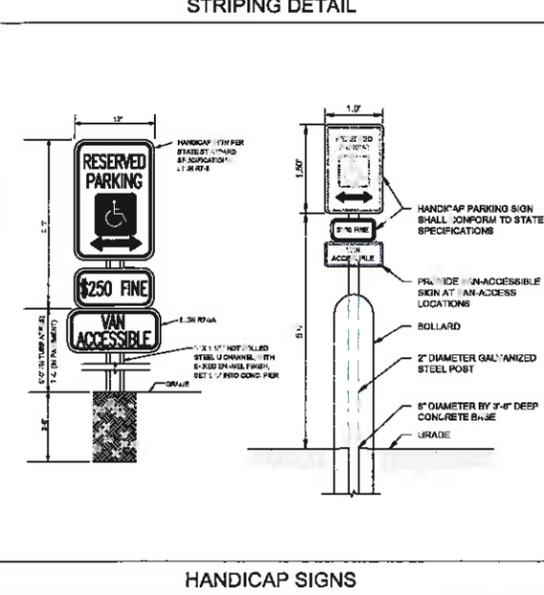
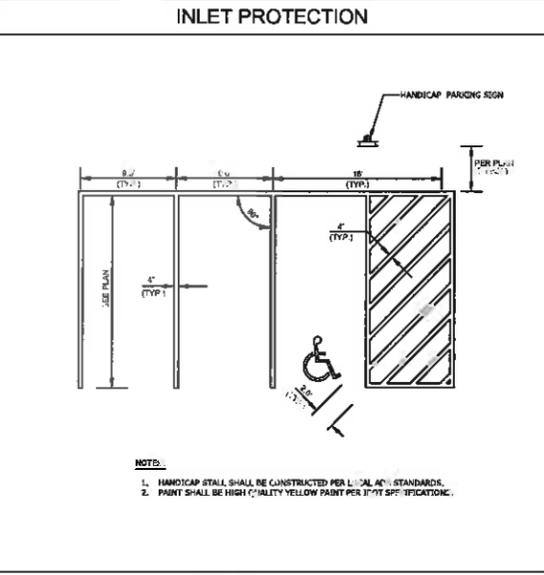
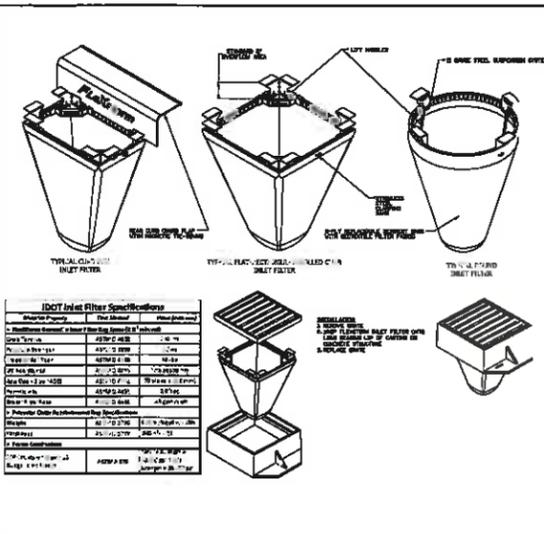
REVISIONS	
1. REVIEW PER BILLING	2/24/16

SITE STABILIZATION PLAN

PROJECT No. 1612-021-IL
 SHEET No. 01
 START DATE: 04/07/16
 SCALE: 1" = 20'
 SHEET C-6 of C-8

WWW.PINNACLE-ENG.COM
 SITE STABILIZATION PLAN

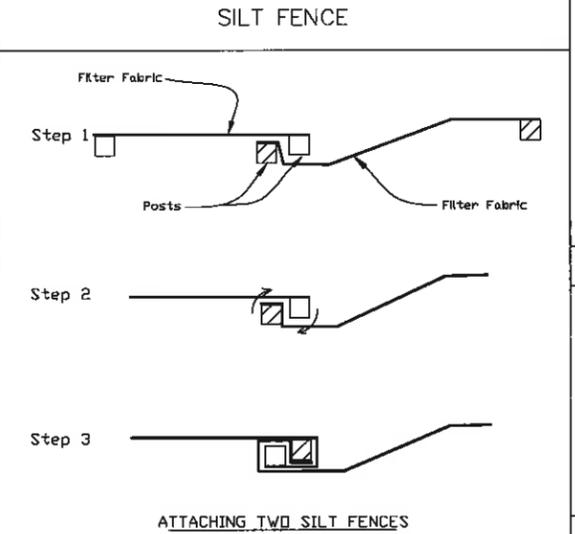
6/21/2016 10:49 AM - Z:\VICTORIA\DESIGN\1416 - ENGINEERING CONSTRUCTION STANDARDS - CONSTRUCTION
 REVIEWED: BDU
 DESIGNED: BDU
 DRAWN: BDU



NOTES:

- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

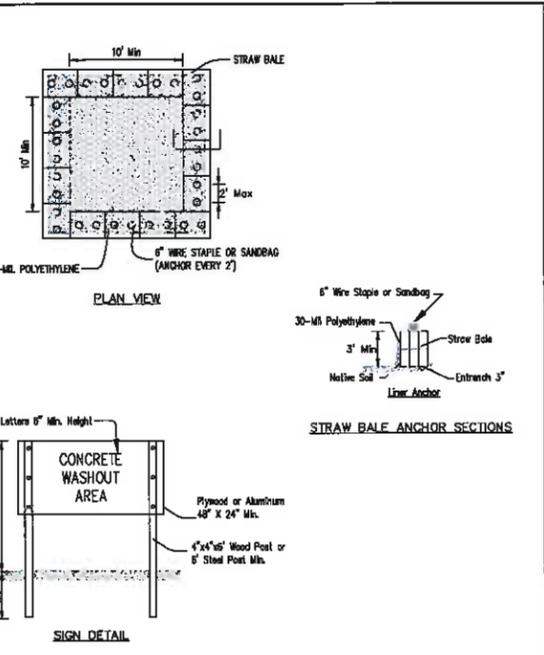
Project	Date	Designed	Date	Checked	Date	Approved	Date
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NOTES:

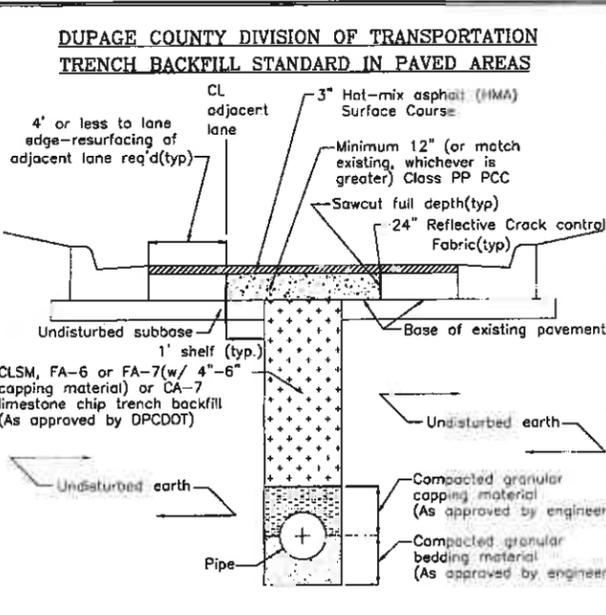
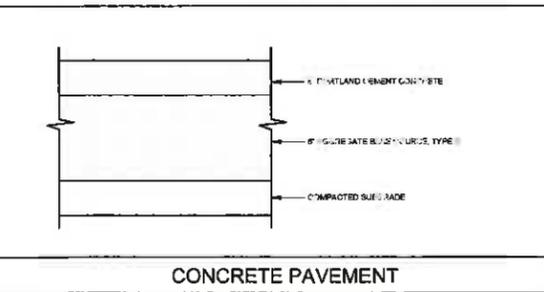
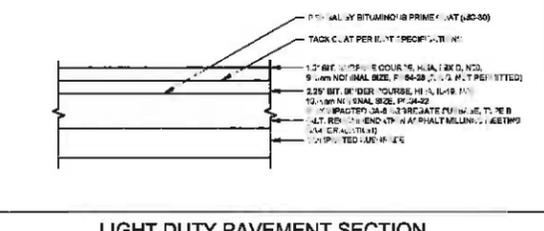
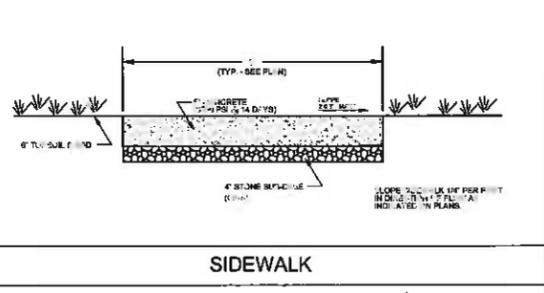
- Place the end post of the second fence inside the end post of the first fence.
- Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
- Drive both posts a minimum of 18 inches into the ground and bury the flap.

Project	Date	Designed	Date	Checked	Date	Approved	Date
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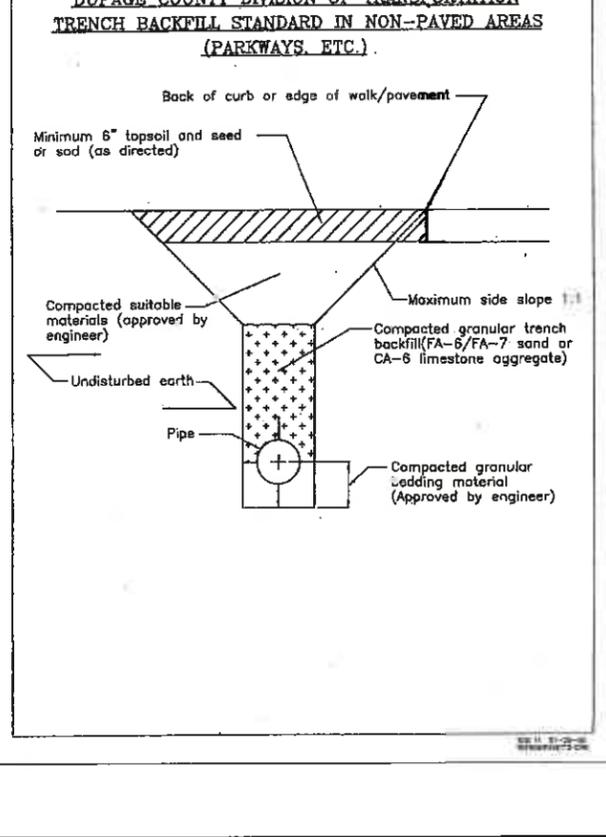
NOTES:

- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
- Each straw bale is to be staked in place using (2) 2"x2"x4" wooden stakes.



Notes:

- All materials per IDOT's "Standard Specifications for Road & Bridge Construction" (latest edition) and "Supplemental Recurring Special Provisions" (latest edition).
- Replace all pavement markings, striping, symbols and pavement markers in kind.

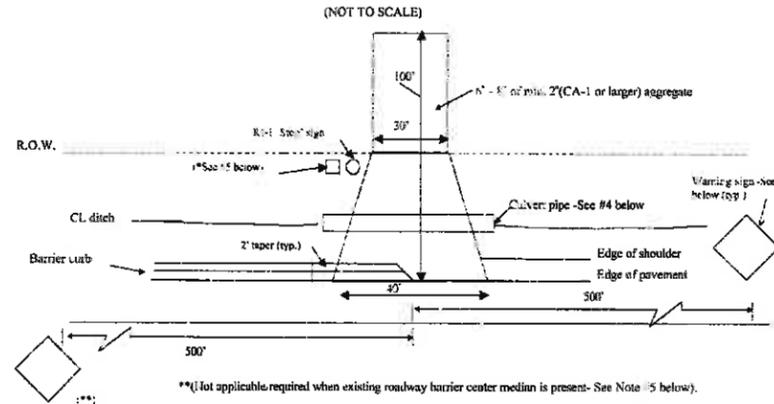


NO.	REVISIONS

www.pinnacle-engr.com CONSTRUCTION STANDARDS

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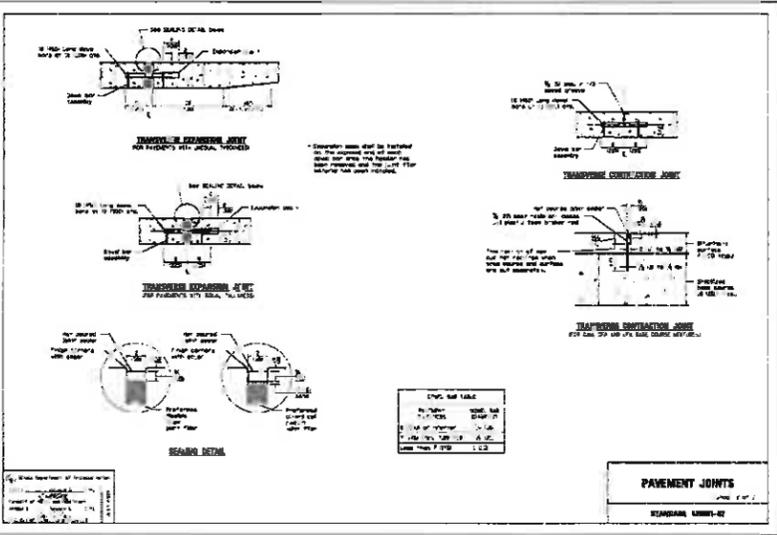
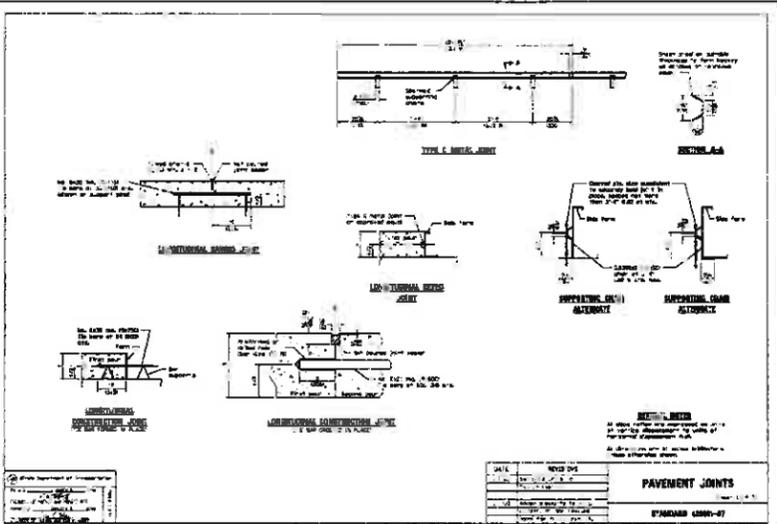
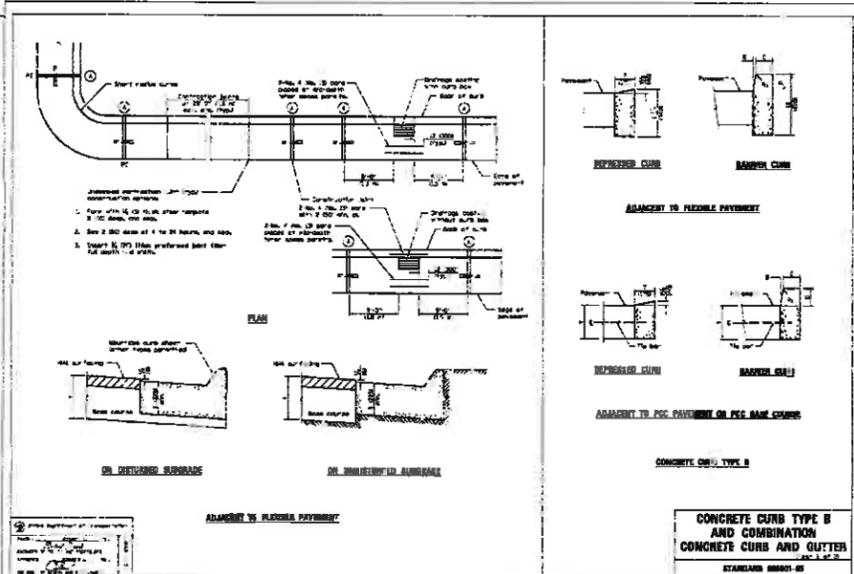
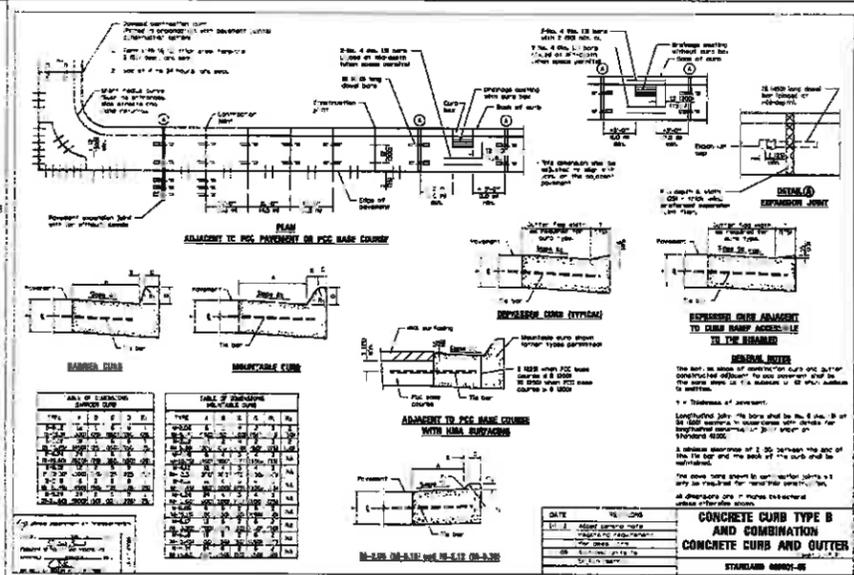
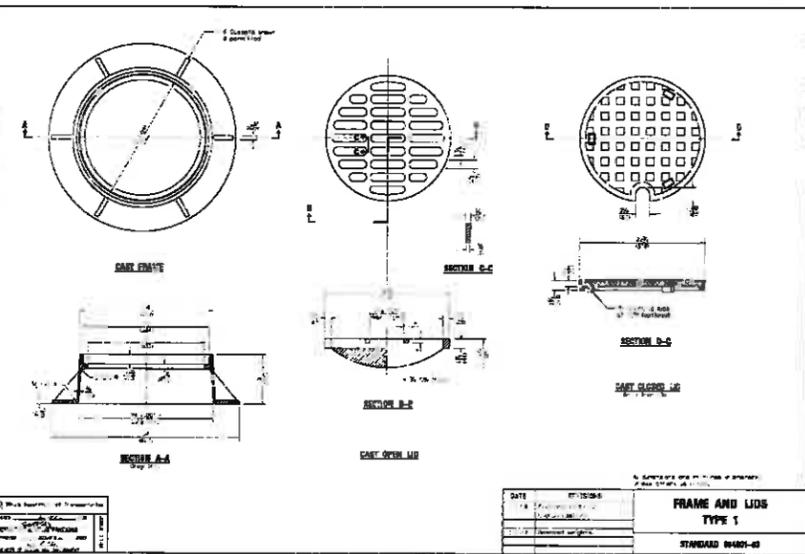
DuPage County Division of Transportation - Temporary Construction Entrance Standard



** (Not applicable required when existing roadway barrier center median is present - See Note #5 below).

Construction requirements/conditions:

1. Pavement, curb, gutter and storm structures shall be maintained free of mud, debris at all times. Rubber tire equipment and a street sweeper shall be kept on call on an "as needed" basis at all times during construction.
2. The petitioner is solely responsible for any repairs and associated costs for replacement to any pavement or curb, gutter or adjacent to temporary construction entrance, but road damaged due to the permitted work.
3. The petitioner is responsible to erect and maintain the black and orange warning signage until the time that the temporary entrance is removed. Signage shall state either "Construction Entrance 500'" or "Trucks Entering and Leaving Highway" according to D.C.M.U.T.C.D. Sign frames shall be sand bagged.
4. Curb pipe, if applicable, shall be 15" (min.) dia. x 30" (min.). Side slopes from edge of ditch, back of curb and edge of shoulder shall not exceed 3:1.
5. Barrier median on roadway will require that the petitioner/contractor install an R3-2 "No Left Turn" (diamond) sign (per the M.U.T.C.D.) to prevent outbound cross median traffic.
6. Disturbed areas of the right of way shall be dressed with a minimum of 6" topsoil and seed with erosion control blanket or hydro-mulch or sod (with tolerance and seed) in place. Erosion control measures shall comply with the minimum requirements of the DuPage County Stormwater and Floodplain Ordinances specifications at all times.



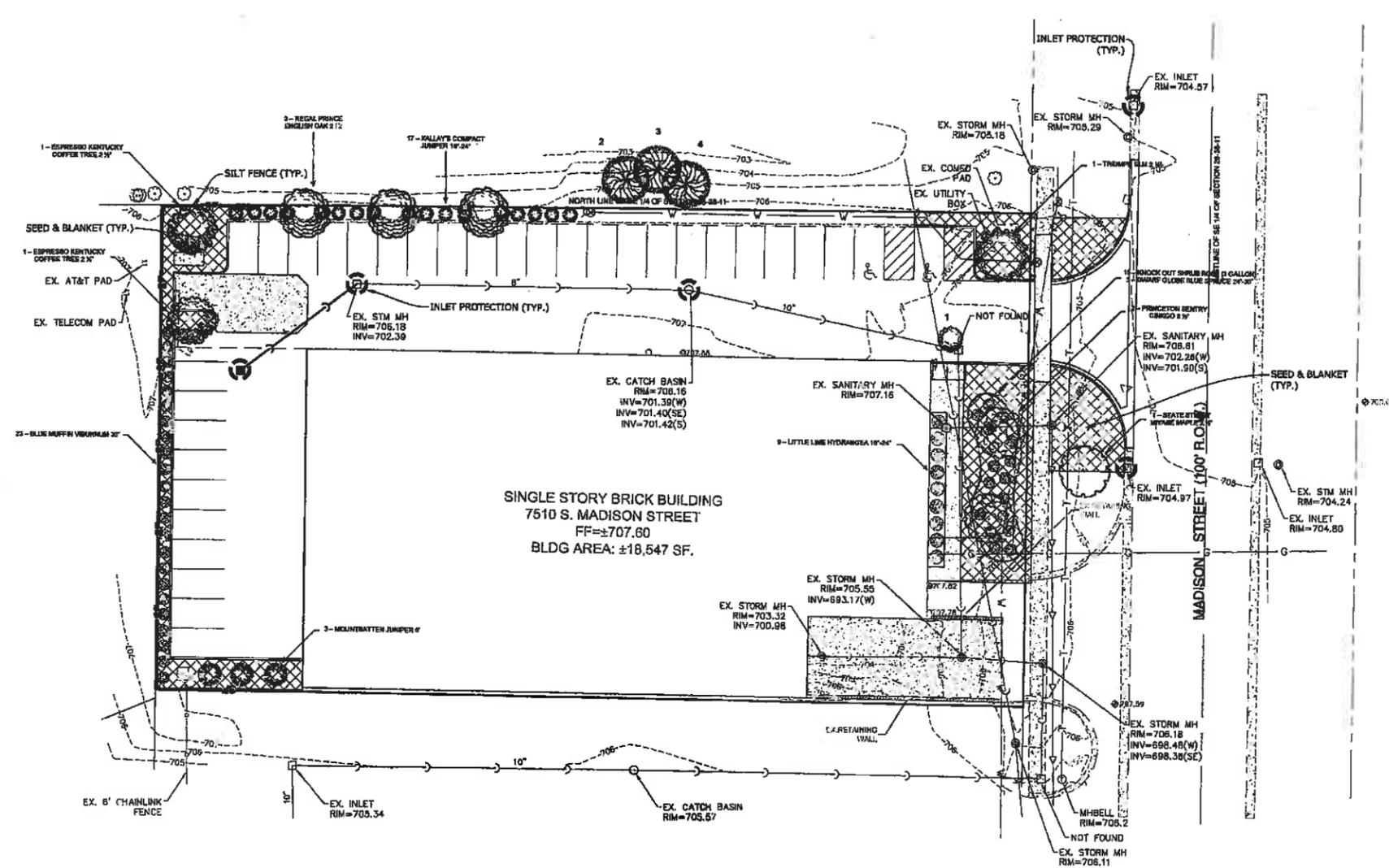
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 C-8
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PLANT LIST

Qty	Common Name	Botanical Name	Size	Remarks
1	State Street Mysbe Maple	Acer mysbe 'Morton'	2 1/2'	B&B
2	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2 1/2'	B&B
3	Espresso Kentucky Coffee Tree	Ostrya virginica 'Espresso'	2 1/2'	B&B
3	Regal Prince English Oak	Quercus robur 'Regal Prince'	2 1/2'	B&B
1	T. Rump Elm	Ulmus campestris 'Morton Glasy'	2 1/2'	B&B
3	Mountbatten Juniper	Juniperus chinensis 'Mountbatten'	6'	B&B
9	Little Lime Hydrangea	Hydrangea paniculata 'Jana'	18"-24"	Cont.
17	Kalley's Compact Juniper	Juniperus chinensis 'Kalley's Compact'	18"-24"	Cont.
3	Dwarf Globe Blue Spruce	Picea pungens glauca 'Globea'	24"	Cont.
15	Knock Out Spirea	Rosa 'Knockout'	3 Galton	Pots
23	Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	30"	B&B

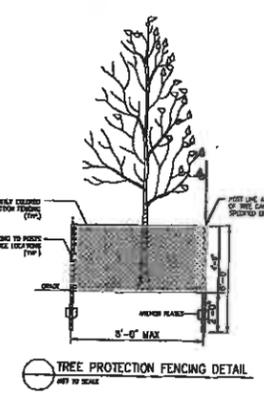
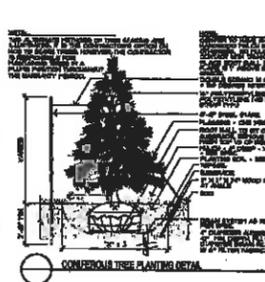
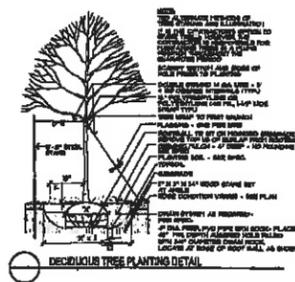
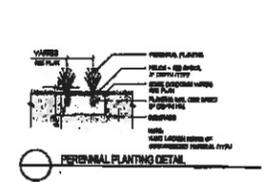
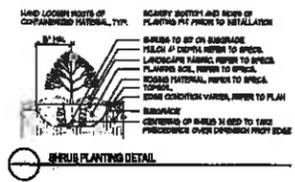
TREE INVENTORY/PROTECTION

Tree #	Common Name	Botanical Name	Condition	Size	Action
1	Hawthorn	Crataegus var.	Poor	12'	Remove
2	Clump River Birch	Betula nigra	Good	14'	Maintain (A)
3	Clump River Birch	Betula nigra	Good	16'	Maintain (A)
4	Clump River Birch	Betula nigra	Good	14'	Maintain (A)

(A) Plants located on neighboring property adjacent to construction. These trees shall be protected and maintained. (See tree protection detail)

Notes:

- The Contractor shall provide and install all plant materials in quantities sufficient to complete planting shown on the drawing. All plants shall comply with the requirements of the current American Standard for Nursery Stock, published by the American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, disease or defects. No "junk grade" material shall be accepted. Trees not exhibiting a control (or single) leader will be rejected unless called out in the plant list as multi-trunk. Quality labels are required as a condition. The Contractor shall verify all quantities and, in case of a discrepancy, the plan shall prevail. No plants are to be changed or substituted without approval from a representative of James Dowden & Associates, Inc.
- All plants shall be watered during the first 34-hour period after installation. A watering schedule must be spread over with the Owner, before plantings are installed, of whom, when and how plant materials are to be properly watered. The Contractor is responsible for site visits to ensure the proper watering is being done for establishment and health of all plant materials.
- Plants shall be balled and burlapped unless otherwise noted on the landscape plan. All root ball material shall be accepted and all wrapping materials made of synthetic or polyethylene shall be removed at the time of planting. It is the Contractor's option to roll back burlap from the top of the root ball.
- Recommended mulch depth is 4" of shredded hardwood bark. The Contractor shall avoid over mulching and the creation of "mush volcanoes". Mulch beds shall extend a minimum of two feet beyond the center of a tree or shrub. Mulch must be pulled at least two inches from the base of a tree so the base of the trunk and soil crown are exposed.
- Prepare perennials beds with one cubic yard of garden compost per 100 sq. ft. The correct depth shall be installed to an 8" depth.
- All plants shall be set plumb. It is the Contractor's option to stake deciduous trees but it is also the Contractor's responsibility to secure plants correctly plumb until the end of the guarantee period. All deciduous trees shall be wrapped with an approved tree wrap to prevent winter damage. The Contractor shall remove all tree wrap following the first winter.
- Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants.
- The Contractor shall locate the existence of all underground utilities prior to starting work. The Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Contractor shall account for all utility, and verify working conditions in advance of submitting a proposal. Failure to recognize inherent responsibility does not relieve the Contractor of his obligations due to miscalculations.
- Top restoration shall include topsoil, grading, survey mix grass seed and straw blanket, if established on site, to meet existing land.



TREE PRESERVATION NOTES:

- PRIOR TO ANY CONSTRUCTION OR ANY TREE REMOVALS, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AROUND ALL TREES TO BE PRESERVED. THE LOCATION AND DESIGN OF THE FENCE SHALL BE AS SHOWN ON THE DRAWING AND DETAILS. ALL TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE VILLAGE PRIOR TO CONSTRUCTION.
- WITHIN THE TREE PROTECTION FENCING, THERE SHALL BE NO EQUIPMENT OR MATERIAL STORAGE, VEHICLE ACCESS OR CONSTRUCTION EQUIPMENT ACCESS.
- WITHIN THE TREE PROTECTION FENCING, THERE SHALL ALSO BE NO EXCAVATION, TRENCHING, CHEMICAL OR WATER DUMPING. ALL UTILITY LINES OR TRENCHING LINES SHALL BE ROUTED AROUND THE TREE PROTECTION FENCING.
- OUTDOOR TOILET FACILITIES SHALL NOT BE LOCATED WITHIN TWENTY FEET (20') OF ANY TREE PROTECTION FENCING.
- THE TREE PROTECTION FENCING IS TO REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE FINISH GRADED AND READY FOR SOIL, SEED OR PLANTING.



James Dowden & Associates, Inc.
 Landscape Design & Planning Since 1941
 P.O. Box 415, Libertyville, Illinois 60048
 Phone: (847) 362-1254
 Email: dowdenassoc@bbglobal.net

LANDSCAPE PLAN

SCALE: 1"=20'	APPROVED BY:	DRAWN BY: CJD
DATE: 03.20.16		REVISED 05.29.16
MORGAN HARBOUR HEADQUARTERS		DRAWING NUMBER
7510 MADISON STREET WILLOWBROOK, ILLINOIS		L-1.0



Morgan Harbor Construction HQ

7510 MADISON STREET
WILLOWBROOK, IL

CHI16-0079-00
CONCEPTUAL DESIGN SCHEMES
04.07.2016

WARE MALCOMB

architecture | planning | interiors | branding | civil

PROJECT DATA:

SITE AREA:	
GROSS: ±0.90 AC (±39,078 SF)	
BUILDING AREA:	±18,550 SF
F.A.R.:	.47
DOCK DOORS:	2 POSITIONS
DRIVE-IN DOORS:	1 POSITION
PARKING REQUIRED:	
OFFICE	40 STALLS
WAREHOUSE	7 STALLS
TOTAL REQUIRED	47 STALLS
PARKING PROVIDED:	34 STALLS



SITE LEGEND:

- ◀ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

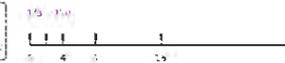


scene: 07

Conceptual Site Plan

Morgan Harbour Construction Headquarters
7510 Madison St., Willowbrook, IL

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CH116-007-001
11/11/2016

SHEET
1



Proposed

KEY NOTES

- 1 EXISTING BRICK
- 2 STOREFRONT GLAZING SYSTEM AND LINTEL
- 3 CANOPY
- 4 VERTICAL IDENTITY FIN
- 5 BACKLIT METAL BUILDING SIGNAGE
- 6 STOREFRONT ENTRY/DOOR
- 7 NEW GLASS OVERHEAD DOOR
- 8 NEW OVERHEAD DOOR



Existing

SCHEME 1

Conceptual Design

MORGAN HARBOUR CONSTRUCTION HQ
WILLOWBROOK, IL



This conceptual design is based upon a preliminary sketch of existing conditions and an assumed site plan. It is not intended to be a final design and is subject to change without notice. It is not intended to be a final design and is subject to change without notice.

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CHI15-0079-00
04.07.2016

SHEET
2



East



North

SCHEME 1

Conceptual Exterior Elevations

MORGAN HARBOUR CONSTRUCTION HQ
WILLOWBROOK, IL

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CHI16-0079-00
04.07.2016

SHEET
3

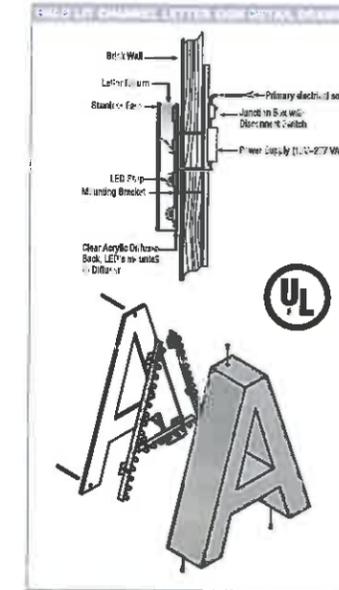
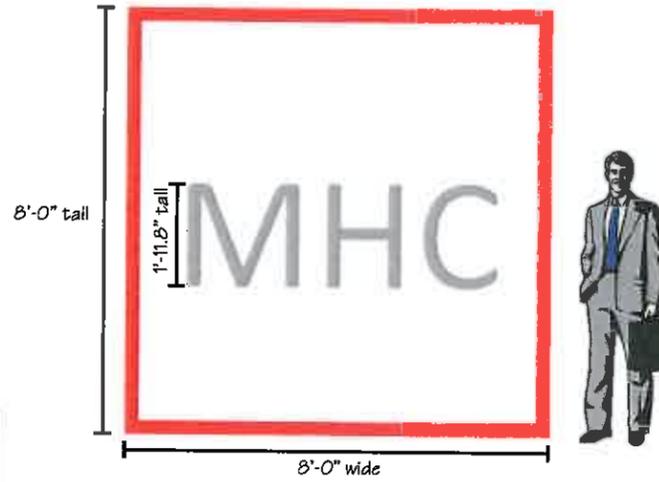
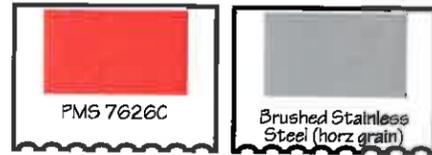
The content of this drawing is preliminary and subject to change without notice. It is not to be used for construction purposes without the written consent of the architect.



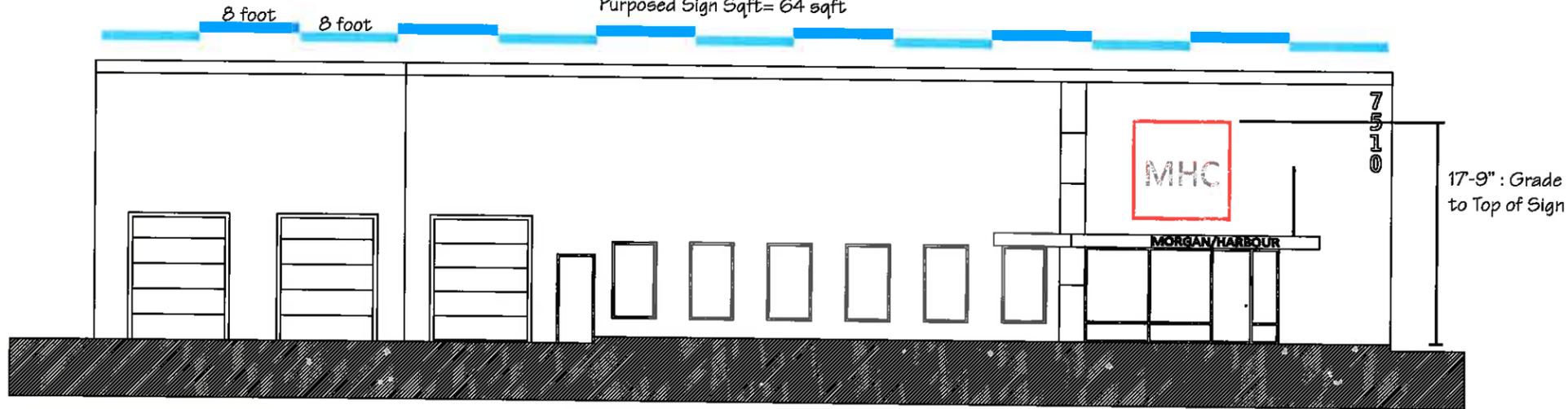


Sign Details

Material- Stainless Steel
 Frame: To be 4" deep, Painted
 Letters: to be 4" deep, Brushed
 Illumination Type- White L.E.D.
 Illumination Sytle- Halo
 Mount- Pin
 Projection Mount- 1"
 Power Supplies- Remote



Linear Building Frontage= 110 feet
 Allowed Sign Sqft= 137.5 sqft
 Purposed Sign Sqft= 64 sqft



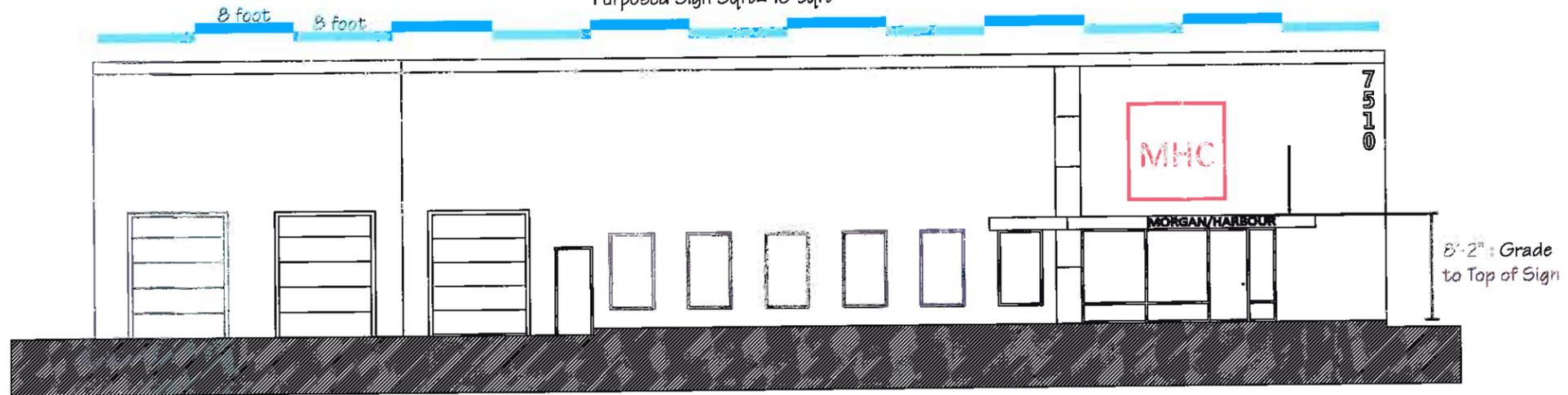
	Designed Exclusively For		Date	<p>Signature states that above proof is accepted and client is authorizing to produce the specified.</p> <p>Signature _____ Date _____</p>
	Morgan Harbour		5-24-2016	
	Account Rep	Designer	Scale	Date/Revision
	Al Frapolli	AAF	N/A	
File Path	wall sign proof			
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Sign Details

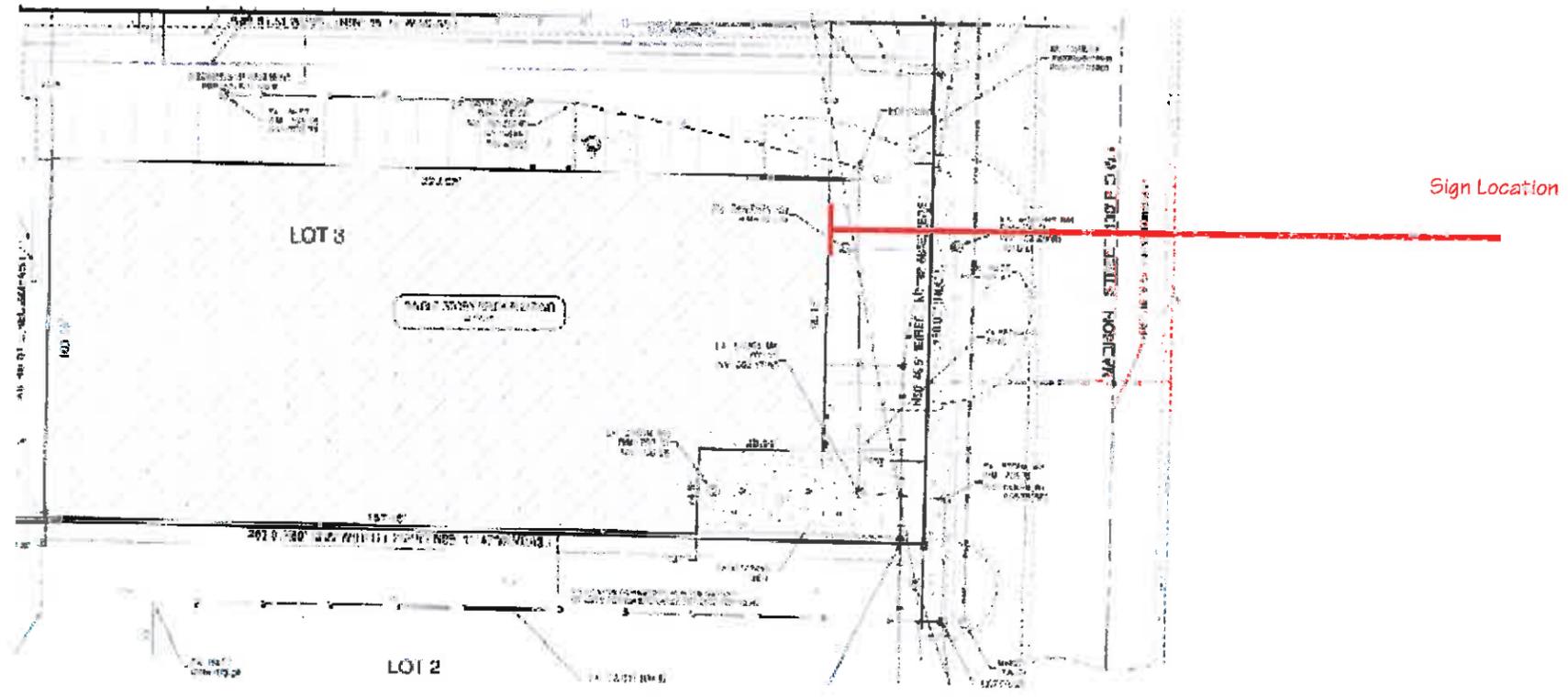
Material- Aluminum
 Thickness- 1/4"
 Finish- Painted Matte Black
 Mount- PEterior Grade 3M VHB, fullcoverage



Linear Building Frontage= 110 feet
 Allowed Sign Sqft= 137.5 sqft
 Purposed Sign Sqft= 10 sqft



	Designed Exclusively For Morgan Harbour			Date 5-24-2016	<p>Signature states that above proof is accepted and client is authorizing to produce the specified.</p> <p>Signature _____ Date _____</p>
	Account Rep Al Frapolli	Designer AAF	Scale N/A	Date/Revision	
File Path \\FILES\al\Morgan Harbour\	File Name wall sign proof				
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	Designed Exclusively For		Date	Signature states that above proof is accepted and client is authorizing to produce the specified.
	Morgan Harbour		5-24-2016	
	Account Rep	Designer	Scale	Date/Revision
	Al Frapolli	AAF	N/A	
File Path	File Name			
\\FILES\al\Morgan Harbour\	wall sign proof			
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