

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK
TO BE HELD ON WEDNESDAY, APRIL 9, 2014 AT 7:00 P.M. AT THE VILLAGE
HALL, 7760 QUINCY STREET, IN THE VILLAGE OF WILLOWBROOK, DUPAGE
COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Regular Meeting March 5, 2014 (APPROVE)
 - C. Minutes - Village Board Meeting February 24, March 10
and March 17, 2014
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 14-03:
Petition for an amendment to a special use permit for a
previously approved Planned Unit Development to permit and
regulate a digital ground sign.
 - A. PUBLIC HEARING
 - B. DISCUSSION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 14-04:
Petition for a text amendment to add "Firing Range, Indoor"
as a special use in the M-1 Zoning District.
 - A. PETITION WITHDRAWN
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

Meeting Date:	April 9, 2014		
Prepared By:	Jo Ellen Charlton, Planning Consultant		
Case Title:	Zoning Hearing Case Number 14-03 Willowbrook Square PUD Amendment/Digital Sign 14-106 W. 63 rd Street, Willowbrook, IL		
Petitioner:	David Froberg for Willowbrook Square Management Co. 6262 S. Rte 83 #302, Willowbrook, IL 60527		
Action Requested by Applicant:	Amendment to PUD to allow for the replacement of the existing monument sign with a new digital monument sign		
Location:	North side of 63 rd , west of Route 83		
Purpose:	Replace existing shopping center sign with updated digital sign to provide visibility to all tenants in the strip shopping center.		
Existing Zoning:	B-2 Community Shopping/PUD		
Existing Land Use:	Willowbrook Square Shopping Center		
Property Size:	1.807 Acres		
Shopping Center Size:	29,060 square feet of retail tenant space		
Surrounding Land Use:		<i>Use</i>	<i>Zoning</i>
	<i>North</i>	The Knolls Condos	R-5
	<i>South</i>	Bank	B-2 PUD
	<i>East</i>	Ruth Lake (Across Route 83)	Unincorporated
	<i>West</i>	Lake	B-2 PUD
Documents Attached (Exhibit 1)	<ol style="list-style-type: none"> 1. Application, Legal Description, Public Hearing Notice 2. Structural Design Calculations, prepared by DG Structural Engineering LLC, dated February 10, 2014, 8 pages. 3. Willowbrook Center Monument Sign, prepared by Schmidt Architects, LLC, dated March 25, 2014, consisting of Sheets A-1, A-2, S-1, S-2, Landscape Plan (revised 3/21/14, and 2 Graphic illustration sheets. 		
Necessary Action by Plan Commission:	Make a recommendation to the Willowbrook Mayor and Village Board regarding an amendment to an existing PUD to allow an existing monument sign to be replaced with a new Dynamic monument sign that includes digital graphic technology.		

Site Description:

The Willowbrook Square Shopping Center is part of a previously approved PUD that also includes a multi-story office building to the east, and a vacant property to the north, with direct access to Route 83. The shopping center contains 1.807 acres and 29,060 square feet of retail space.



Request: The applicant is requesting an amendment to the PUD in order to replace the existing monument sign at the 63rd Street entrance into the shopping center with a new brick monument sign that includes “dynamic” or digital technology. Both the existing and proposed signs are shown on the next page. PUDs offer flexibility that may not otherwise be available in the Zoning Ordinance. In this case, the Willowbrook Zoning Ordinance does not offer any relief for the requested signage. This is because Section 9-11-4R of the Willowbrook Zoning Ordinance specifically lists dynamic or digital signs as “prohibited signs”. Furthermore, Section 9-14-4.4 of the Zoning Ordinance identifies “authorized variations”, which specifically does NOT identify any signage variations as “authorized variations”. Relief from these requirements is therefore only available through the PUD process.

EXISTING SIGN**PROPOSED DIGITAL SIGN**

PUD History: On 9/8/86, the Village Board approved Ordinances Nos. 86-O-28 and 86-O-29, which respectively provided for the special use permit, preliminary subdivision, PUD plat and variations and final subdivision and PUD for the Willowbrook Square Shopping Center and Hinsbrook Bank. Later ordinances and processed were involved with the currently vacant Lot 2, however Lot 2 remains vacant.

Staff Analysis:

As mentioned above, the Zoning Ordinance lists digital or “dynamic” signs as prohibited, and signage variations are not listed as “authorized variations”, so the only way to obtain relief from these restrictions is through approval of or amendment to a PUD. Notwithstanding these limitations, staff evaluated the proposed signage against all other Zoning Ordinance shopping center monument signage requirements. Listed below are the requirements for shopping center ground/monument signs, followed by a description of how the proposed sign meets each requirement (shown in *italics*).

- A. Signs must contain brick or other similar material used in the shopping center.
The proposed monument sign supporting structure, or base, is constructed of brick to complement the existing shopping center principal structure.
- B. No other freestanding or ground sign shall be constructed or erected within the area comprising the shopping center.
While no other sign is proposed, staff recommends this condition be added to any recommendation for approval to make it clear that any future requests would not be allowed without amendment to this approval.
- C. The sign shall not contain any other advertising other than the identity of the shopping center, the address, the businesses located therein. Leasing information may be included on the main sign if there is no additional leasing signage and as long as the square footage of leasing information on the sign does not exceed 16 square feet.
The proposed sign meets this provision, however a condition reiterating this requirement shall be added to any recommendation for approval.

- D. Total sign area shall not exceed 100 square feet in area.

Pursuant to definition, sign surface area excludes the supporting structure. It does however include the sum of the area of all applicable surfaces, meaning both sides of a two-sided sign are added together. With dimensions of 8'9" in width by 4'8" for the dynamic sign face portion of the sign, each side has less than 41 square feet, for a total of less than 82 square feet between the two sides. This dimension is less than the 100 square foot maximum.

- E. The shopping center identification sign shall not be constructed or erected to a height greater than sixteen feet (16') above average surrounding grade. The sign surface area portion of the sign shall not be less than three feet (3') above the average surrounding grade.

The overall height of the proposed sign is 11' 7 3/4" and no portion of the sign surface area is less than 3' above grade, which complies with the provisions of the ordinance.

- F. Landscape Requirements: For every square foot of sign surface area, there shall be provided one and one-half square feet of landscape area, plus up to 6 square feet for signs over eight feet in height.

With 82 square feet of signage, just under 130 square feet of landscape area is required, which is provided by this plan. The plan also includes a variety of evergreen, deciduous and perennial materials in varying heights as recommended by Village staff. Staff supports the proposed landscaping.

- G. Sign Illumination Standards: The following illumination standards are provided in Section 11-13 of the Zoning Ordinance. Staff recommends adding these requirements as a condition of any approval.

- (1) Signs in direct line of vision of motorists approaching any traffic signal shall not have red, green or amber illumination.
- (2) Neither the direct nor reflected light from primary light sources shall create a traffic hazard for or confuse operators of motor vehicles on public thoroughfares.
- (3) No sign shall have moving, blinking, flashing or fluttering lights or other illuminating device, which has a changing light intensity, brightness or color. Searchlights are permitted only as specifically provided in subsection [9-11-5\(C\)2](#) of this chapter.
- (4) No exposed reflective type bulb or incandescent lamp which exceeds fifteen (15) watts shall be used on the exterior surface of any sign so as to expose the face of the bulb, light or lamp to any public street or adjacent property.
- (5) All sources of light, whether by direct exposure, surface reflection or transmission, having an intrinsic brightness greater than thirty (30) foot-lamberts shall be shielded so that the source of light cannot be seen at any point within a residential district.
- (6) Any luminous source of light, whether direct exposure, surface reflection or transmission whose total area is larger than one square foot and which can be seen from any point within a residential district shall not exceed a brightness value of one hundred fifty (150) foot-lamberts.
- (7) No source of light shall be permitted to cause illumination in excess of one-half ($1/2$) foot-candle in a residential district.
- (8) The light from any illuminated sign shall be so shaded, shielded or directed that the light intensity or brightness will not be objectionable to surrounding areas. (Ord. 10-O-14, 6-28-2010)

- H. Additional Requirements: The challenge of any zoning or sign control ordinance has always been to achieve a balance between allowing enough signage so that your local businesses can be seen and therefore profitable, and protecting against signage that is distracting to drivers on the adjoining roadways. To a lesser extent, ordinances also protect against sign clutter where all messages are lost because there is too much signage for the human brain to absorb at one time. Too much or the wrong types of signage can also detract from an area's aesthetic qualities and make it unattractive for people to want to invest in.

Digital or dynamic signs have been prohibited in Willowbrook and similar municipal ordinances because they have been historically been seen to be a distraction to drivers. This has a lot to do with the fact that digital signs have so much technology at the sign operator's fingertips. These signs can display multiple messages in a short period of time, they can flash, scroll, and vary in brightness. Some of the newer signs can also play video, appearing more like a television than a sign. Municipalities are starting, however, to experiment with allowing these signs and the improved visibility they offer to businesses by regulating some of these distractions. For example, staff is recommending the following conditions be added to any approval of the proposed sign at Willowbrook Square.

1. Operational Limitations: Display shall contain static messages only, and shall not have movement of any kind, or the appearance or optical illusion of movement, of any part of the sign.
2. Minimum Display Time: Each message on the sign must be displayed for a minimum of 30 seconds.
3. Message Change Sequence: The change between static messages must be accomplished immediately, with no use of any transitions.
4. Illumination: The sign must include light sensors and dimmer controls that automatically adjust to outdoor lighting levels so that illumination levels are dimmer at night and on cloudy days than during sunny days; but in no instance shall illumination and lighting not be in compliance with 11-13 of the Willowbrook Zoning Ordinance.
5. No other freestanding or ground sign shall be constructed or erected within the area comprising the shopping center.
6. The sign shall not contain any other advertising other than the identity of the shopping center, the address, the businesses located therein.

- I. Standards: Approval or amendments to a PUD requires adherence to twelve standards outlined in Section 9-13-6 of the Zoning Ordinance. Staff has reviewed these standards and recommends the Plan Commission make the findings included in Exhibit ?? to this report.

Possible Disadvantages of Digital Signs:

Municipalities considering requests to allow the use of digital signs should be aware of several things. While this specific request and the relief that might be granted is an amendment to a specific PUD and therefore only applies to this property, it will likely result in additional requests. The Village could, in fact, find itself being asked to consider a full-blown text amendment to the Zoning Ordinance. Depending on how the first sign is received, the Village may want to embrace and further allow them, or they may decide to consider them only in certain cases such as this PUD amendment. In deciding whether or not to allow additional digital signs, the Village may wish to consider the following:

1. For what types of businesses and in what locations should they be allowed. Should they only be allowed for multi-use shopping centers who are often challenged to provide visibility to multiple tenants on a relatively small sign surface area? Should they be allowed in proximity to residential areas? Should they be allowed in residential areas for permitted non-residential uses such as churches, schools, etc.? Generally it's best to start in a more limited fashion and gradually add more if everything works as intended and is not objectionable because it's harder to take away than it is to allow.
2. Message content is impossible to regulate. Digital signs provide opportunities for people to express personal and political opinions with a keystroke. At the end of the day, a municipality will have a very

hard time regulating against a digital sign that may include a political or personal message that has nothing to do with the businesses in the center.

Summary

The existing monument sign at Willowbrook Square is not effective for promoting the tenants within the shopping center, in fact none of the tenants have visibility on the existing sign. While the shopping center owners has options that are available that would comply with the ordinance, they are asking for consideration to provide visibility to all of their tenants by incorporating a newer technology digital sign into a standard brick base, and by agreeing to be regulated by operational restrictions that would minimize distractions to nearby drivers. This can be accomplished by an amendment to the PUD that was originally granted to the shopping center in 1986. The proposed sign is not visible to any residential property and if operated as regulated, should not be a distraction to drivers on 63rd Street. It has been attractively incorporated into a standard brick base and complies with all other size and locational requirements for shopping center monument signs. If the Village wishes to give this type of sign technology a "test drive", this would be a good test case. Staff supports the requested amendment to the PUD. The following sample motion is provided if the Plan Commission wishes to support this request:

Based on the submitted petition and testimony provided, I move that the Plan Commission present the Village Board with the findings listed in Exhibit 2 of the staff report prepared for the April 9, 2014 Plan Commission meeting and recommend to the Village Board approval of Zoning Hearing Case 14-03 to amend the previously approved PUD to allow for the replacement of the existing monument sign with a new digital monument sign in compliance with the documents attached to the aforementioned staff report subject to the following conditions:

- 1. Operational Limitations: Display shall contain static messages only, and shall not have movement of any kind, or the appearance or optical illusion of movement, of any part of the sign.*
- 2. Minimum Display Time: Each message on the sign must be displayed for a minimum of 30 seconds.*
- 3. Message Change Sequence: The change between static messages must be accomplished immediately, with no use of any transitions.*
- 4. Illumination: The sign must include light sensors and dimmer controls that automatically adjust to outdoor lighting levels so that illumination levels are dimmer at night and on cloudy days than during sunny days; but in no instance shall illumination and lighting not be in compliance with 11-13 of the Willowbrook Zoning Ordinance.*
- 5. No other freestanding or ground sign shall be constructed or erected within the area comprising the shopping center.*
- 6. The sign shall not contain any other advertising other than the identity of the shopping center, the address, the businesses located therein.*
- 7. A sign permit shall be obtained pursuant to Village Code.*

Exhibit 1

1. Application, Legal Description, Public Hearing Notice
2. Structural Design Calculations, prepared by DG Structural Engineering LLC, dated February 10, 2014, 8 pages.
3. Willowbrook Center Monument Sign, prepared by Schmidt Architect, LLC, dated March 25, 2014, consisting of Sheets A-1, A-2, S-1, S-2, Landscape Plane (revised 3/21/14, and 2 Graphic illustration sheets.



Willowbrook

7760 Quincy Street
Willowbrook, IL 60527-5594

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrook.il.org

APPLICATION FOR PLANNING REVIEW

NAME OF PROJECT: Willowbrook Square Shopping Center

NAME OF APPLICANT(S): David Froberg for Willowbrook Square Management Co

ADDRESS: 6262 S Pte 83 #302 Willowbrook, IL 60527

CITY, STATE, ZIP: _____ TELEPHONE: 630-654-7985 FAX: 630-413-4700

NAME OF PROPERTY OWNER(S): Hinsbrook Bank and Trust T/U/T # 99-001

ADDRESS: PO Box 3822 Oakbrook, IL 60532

CITY, STATE, ZIP: _____ TELEPHONE: 630-928-0582 FAX: _____

APPLICATION SUBMITTED FOR: (check all that apply)

Site Plan Review

☐
☐
☐
☐
☐

Preliminary Plat of Subdivision

Final Plat Subdivision

Preliminary PUD

Final PUD

Annexation

Annexation Agreement

Special Use Permit

Map Amendment (Rezoning)

Text Amendment

Variation

☐
☐
☒
☐
☐
☐

SITE INFORMATION:

COMMON ADDRESS OR DISTANCE IN FEET & DIRECTION OF SUBJECT PROPERTY FROM CLOSEST STREET INTERSECTION:

14-106 West 63rd Street

PERMANENT INDEX NUMBER(S) (PIN #) OF SUBJECT PROPERTY: 09-14-300-022

LEGAL DESCRIPTION: **ATTACH** LEGAL DESCRIPTION TYPED ON SEPARATE 8.5 X 11" PAGE(S) AND SUBMIT A DIGITAL COPY.

AREA OF SUBJECT PROPERTY IN ACRES: Four

CURRENT ZONING CLASSIFICATION OF SUBJECT PROPERTY: B2 PUD

CURRENT USE OF SUBJECT PROPERTY: Retail shopping center

PROPOSED ZONING CLASSIFICATION OF SUBJECT PROPERTY: NO CHANGE

PROPOSED USE OF SUBJECT PROPERTY: NO CHANGE

PROPOSED IMPROVEMENTS TO SUBJECT PROPERTY: Replace monument sign at 63rd Street Entrance

ADJACENT PROPERTIES**CURRENT ZONING****LAND USE**

NORTH OF SITE	<u>R3</u>	<u>Condominiums</u>
SOUTH OF SITE	<u>B2</u>	<u>Shopping Plaza</u>
EAST OF SITE		<u>Golf Course</u>
WEST OF SITE	<u>RR3</u>	<u>Rental Apartments</u>

UTILITIES - PROVIDE INFORMATION ON LOCATION, SIZE AND OWNERSHIP OF UTILITIES**WATER**

LOCATION: ON SITE / EXISTING SIZE: Various
OWNERSHIP: Willowbrook

SANITARY SEWER

LOCATION: ON SITE ? EXISTING SIZE: Various
OWNERSHIP: Flagg Creek Water Reclamation Dist

STORM SEWER

LOCATION: _____ SIZE: _____

SCHOOL DISTRICT - INDICATE WHICH SCHOOL DISTRICT SERVES THE SUBJECT REALTY

ELEMENTARY SCHOOL DISTRICT: _____
JUNIOR HIGH SCHOOL DISTRICT: _____
HIGH SCHOOL DISTRICT: _____

FIRE DISTRICT - INDICATE WHICH FIRE DISTRICT SERVES THE SUBJECT REALTY

FIRE DISTRICT: TRI STATE
DISTANCE TO FIRE STATION: 1 MILE

CONSULTANTS

NAME OF ATTORNEY OR AGENT: David Froberg
ADDRESS: 6262 S Rte 83 # 302 Willowbrook, IL 60527
CITY, STATE, ZIP: _____ TELEPHONE: 630-654-7985 FAX: 630-413-4700

NAME OF ENGINEER: _____
ADDRESS: _____
CITY, STATE, ZIP: _____ TELEPHONE: _____ FAX: _____

NAME OF ARCHITECT: David Schmidt (Schmidt Architects)
ADDRESS: 11350 Belmont Dr Plainfield, IL 60585
CITY, STATE, ZIP: _____ TELEPHONE: 815-254-1423 FAX: 815-254-1423

NAME OF LANDSCAPE ARCHITECT: _____
ADDRESS: _____
CITY, STATE, ZIP: _____ TELEPHONE: _____ FAX: _____

With the submittal of this application, I hereby request that the President and Board of Trustees of the Village of Willowbrook grant approval of this application and/or development as described in the attached documents and specifications, and do hereby certify that all information contained in this application and accompanying documents is true and correct to the best of my knowledge. I also permit entrance on the Subject Property by Village officials for the purpose of inspections related to this request.

Signature of Property Owner(s): Froberg Date: 2-17-14
AGENT

Legal description of Willowbrook Square shopping center
Street address 14-106 west 63rde Street
Willow brook , IL

LEGAL DESCRIPTION:

***THAT PART OF LOT 1 IN PLANNED UNIT DEVELOPMENT PLAT OF WILLOWBROOK SQUARE, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 5, 1986, AS DOCUMENT R86-138161 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 00 DEGREES 00 MINUTES 12 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 217.37 FEET; THENCE NORTH 80 DEGREES 17 MINUTES 58 SECONDS EAST 391.29 FEET; THENCE SOUTH 79 DEGREES 34 MINUTES 07 SECONDS EAST 192.20 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 28 SECONDS WEST 229.86 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 89 DEGREES 58 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE 204.32 FEET TO A BEND POINT; THENCE SOUTH 87 DEGREES 06 MINUTES 10 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 370.83 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

NOTICE OF PUBLIC HEARING
ZONING HEARING CASE NO. 14-03

NOTICE IS HEREBY GIVEN that the Plan Commission of the Village of Willowbrook, DuPage County, Illinois, shall pursuant to 65 ILCA 5/11/13/14, conduct a public hearing on the 9th of April, 2014 at the hour of 7:00 P.M. at the Village Hall, 7760 Quincy Street, Willowbrook, Illinois.

The purpose of this public hearing shall be to consider a petition for an amendment to a special use permit for a previously approved Planned Unit Development to permit and regulate a digital ground sign for the property commonly known as Willowbrook Square Shopping Center and legally described as follows:

THAT PART OF LOT 1 IN PLANNED UNIT DEVELOPMENT PLAT OF WILLOWBROOK SQUARE, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 5, 1986, AS DOCUMENT R86-138161 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 00 DEGREES 00 MINUTES 12 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 217.37 FEET; THENCE NORTH 80 DEGREES 17 MINUTES 58 SECONDS EAST 391.29 FEET; THENCE SOUTH 79 DEGREES 34 MINUTES 07 SECONDS EAST 192.20 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 28 SECONDS WEST 229.86 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 89 DEGREES 58 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE 204.32 FEET TO A BEND POINT; THENCE SOUTH 87 DEGREES 06 MINUTES 10 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 370.83 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-14-300-022

ADDRESS: 14-106 West 63rd Street, Willowbrook, Illinois

The applicant for this petition is David Froberg for Willowbrook Square Management Company, 6262 South Route 83 #302, Willowbrook, IL 60527

Copies of the application and related documentation are on file in the office of the Planner, Village of Willowbrook, 7760 Quincy Street, Willowbrook, Illinois, and are available for public inspection.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Willowbrook should contact Tim Halik, ADA Compliance Officer, Village of Willowbrook, 7760 Quincy Street,

Willowbrook, IL 60527, or call (630) 920-2261, Monday through Friday, between 8:30 A.M. and 4:30 P.M., within a reasonable time before the meeting. Requests for sign language interpreters should be made a minimum of five working days in advance of the meeting.

All persons desiring to be heard in support or opposition to the application shall be afforded an opportunity and may submit their statements orally, in written form, or both. This hearing may be recessed to another date if not concluded on the evening scheduled.

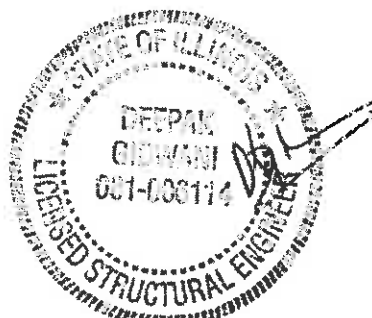
Tim Halik Village Administrator

(630)-920-2261

Published in the March 21, 2014 edition of *The Suburban Life* Newspaper.

WILLOWBROOK CENTER
MONUMENT SIGN

Structural Design Calculations



LICENSE EXP. 11/30/2014

Client: Schmidt Architects, LLC

February 10, 2014



DG STRUCTURAL ENGINEERING LLC

475 RIVER BEND ROAD, SUITE 400C, NAPERVILLE, IL 60565 VOICE: (708) 668 -1380; FAX: (630) 216 -1163



LOCATION : WILLOW BROOK, IL

WIND LOADS PER ASCE-7 : COUNTY : DUPAGE

BASIC WIND SPEED = 90 MPH = V

$$h = 11'-6" = S \quad (S/h = 1)$$

$$B = 11'-0"$$

$$B/S = 0.96$$

$$C_f \text{ (CASE A \& B)} = 1.46 \quad (\text{FIG 6-20})$$

$$0.2 B = 2.2'$$

$B/S < 2$: CASE C DOES NOT APPLY

$$G = 0.85 \quad (6.5.8)$$

EXPOSURE : B

$$I = 0.87 \quad (\text{TABLE 6-1})$$

$$K_d = 0.85 \quad (\text{TABLE 6-4})$$

$$K_h = 0.57 \quad (\text{TABLE 6-3})$$

$$K_{zt} = 1.0 \quad (6.5.7.2)$$

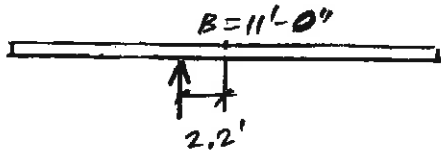
$$q_h = 0.00256 \times 0.85 \times 0.57 \times 90^2 \times 0.87 \\ = 8.74 \text{ psf}$$

$$F = q_h G C_f A_s$$

$$= 8.74 \times 0.85 \times 1.46 A_s = 10.85 A_s$$

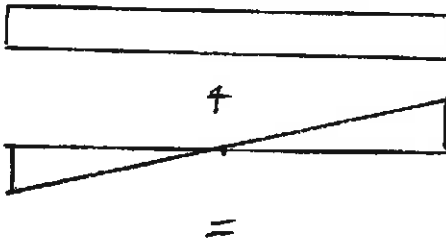
$$= 10.85 \times 11.0 \times 11.5$$

$$= 1372 \text{ LB.}$$



$$F = 1372 \text{ LB.} \quad @ \quad AT = \frac{11'-6''}{2} = 5.75'$$

$$M = 1372 \times 2.2 = 3018 \text{ LB.FT.}$$

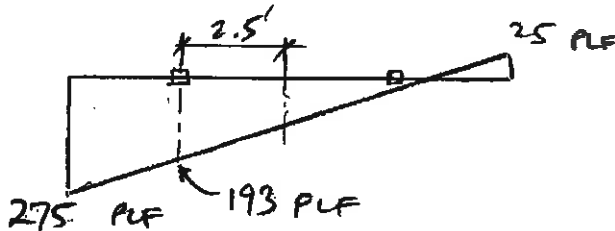


$$\frac{1372}{11} = 125 \text{ PLF}$$

$$\frac{3018}{11^2/6} = 150 \text{ PLF}$$

$$\underline{\quad\quad\quad}$$

$$275 \text{ PLF}$$

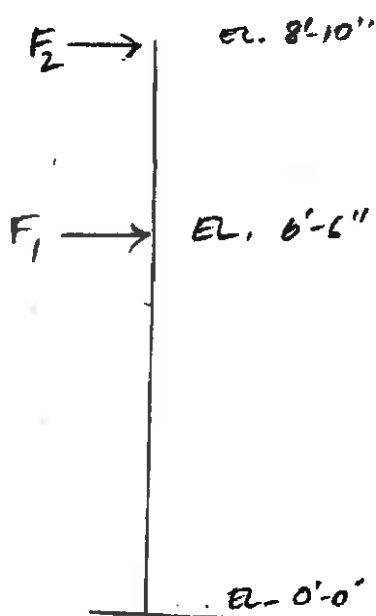


$$\frac{193}{11.5'} = 16.7 \text{ PSF}$$

$$\frac{275}{11.5'} = 23.9 \text{ PSF}$$

DESIGN WIND PRESSURE FOR STL POST = $\frac{16.7}{20} \times 20 \text{ PSF}$

DESIGN WIND PRESSURE FOR MASONRY PIERS = $\frac{23.9}{25} \times 25 \text{ PSF}$

DESIGN OF POST:

$$F_2 = 2.67' \times \frac{8.75'}{2} \times 20 = 234 \text{ LB}$$

$$F_1 = 4.67' \times \frac{8.75'}{2} \times 20 = 409 \text{ LB.}$$

$$M_{\text{BASE}} = 0.234 \times 8.83' + 0.409 \times 6.5' = 4.72 \text{ K.FT.}$$

FOR HSS 5X5X1/2 $f_b = \frac{4.72 \times 12}{10.4} = 5.45 \text{ ksi OK.}$

$$\Delta_{\text{MAX}}: \Delta_2 = \frac{0.234 \times 8.83^3 \times 12^3}{3 \times 29000 \times 26.0} = 0.12''$$

$$\Delta_1 = \frac{0.409 \times 6.5^2 \times 11.97 \times 12^3}{6 \times 29000 \times 26.0} = 0.13''$$

$$\Delta_{\text{MAX}} = 0.25'' = \frac{H}{550} \text{ OK}$$

PROVIDE HSS 5X5X1/2

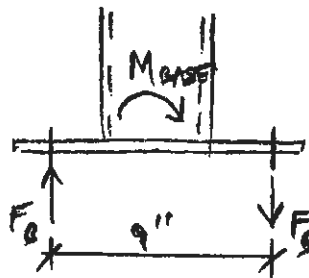
BASE PLATE: PROVIDE 12"X12"

$$F_b = \frac{4.72 \times 12}{9} = 6.3 \text{ K}$$

FOR 4 BOLTS $F_{\text{bolt}} = \frac{6.3}{2} = 3.15 \text{ K}$

PROVIDE 3/4" $f_s = \frac{3.15}{0.44} = 7.2 \text{ ksi OK}$

HOOK LENGTH 5", EMBED 12"



BASE PLATE THICKNESS

$$m = \frac{1}{2}(12 - 0.95 \times 5) = 3.625"$$

$$M = 6.3 \times 3.625 = 22.84 \text{ K.IN.}$$

$$F_{\text{OR } f_{\text{all}}} = 0.75 \times 36 = 27 \text{ KSI}$$

$$S_{\text{REQD}} = \frac{22.84}{27} = 0.85 \text{ in}^3$$

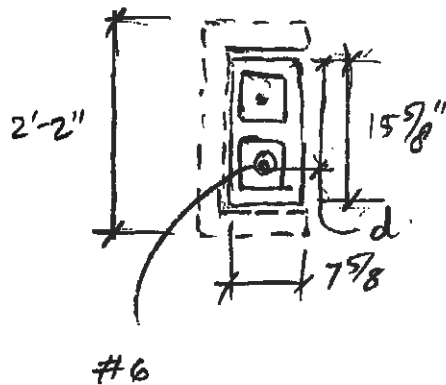
$$12 \times \frac{t^2}{6} = 0.85$$

$$t_{\text{REQD}} = 0.65"$$

PROVIDE 12" x 12" x 3/4" BASE PLATE

DESIGN OF PIER :

(EACH SIDE)



$$HT = 11'-6"$$

$$WIDTH = 1'-1 1/2"$$

$$WIND \text{ LOAD} = 1.125' \times 25 = 28.13 \text{ PLF}$$

$$M_{\text{BASE}} = \frac{28.13 \times 11.5^2}{2} = 1.86 \text{ K.FT.}$$

$$\text{LOAD ON PIER} : \frac{8.75'}{2} \times 2.17' \times 2.67' \times 0.12$$

$$+ 11.5 \times 2.17' \times 1.125 \times 0.12$$

$$= 6.4 \text{ KIPS.}$$

(SEE ATTACHED PRINTOUT)

MASONRY LOW WALL :

6" CMU

$$WIND \text{ PRESSURE} = 25 \text{ PSF}$$

$$HT = 4'-2"$$

$$M_{\text{BASE}} = \frac{25 \times 4.167^2}{2} = 0.22 \text{ K.FT/FT.}$$

$$WP = 0.035 \times 4.167 = 0.15 \text{ K/FT.}$$

(SEE ATTACHED PRINTOUT)

REINFORCED MASONRY PIER

Each side of sign

P=	6.4 k								
M=	1.86 k.ft								
V=	0.32 k								
h=	11.5 ft	=	138.00 in						
b=	7.625 in								
t=	15.625 in	r=	4.516 in						
d=	11.813 in	h/r=	30.6 in	<99					
Pa=	47154 lb								
	= 47.15 k								
fm axial =	0.054 ksi	Fa=	0.357 ksi					OK	
fm flex=	0.155 ksi								
fm total=	0.209 ksi	fm'/3=	0.500 ksi	Wind case	0.665 ksi			OK	
fs=	6.775 ksi	fall=	24 ksi		31.92 ksi			OK	
fv=	4 psi	Fv=	39 psi		52 psi			OK	

ACI 530

- * HOLLOW BLOCK MASONRY
- * FACE SHELL MORTAR BEDDING
- * CANTILEVER WALL

Thickness= 6 in

$f_m = 1500$ psi

$A_n = 35.3$ in²/ft

$I_x = 148.7$ in⁴/ft

$S_x = 50.7$ in³/ft

$r = 1.91$ in

Rebar # 5

Spacing 32 in

$F_s = 24000$ ksi

$A_s = 0.12$ in²/ft

$h = 4.125$ ft = 49.5 in

$h/r = 25.9 < 99$

$P_a = 14.5$ k/ft for axial only

Wall self weight 0.155 k/ft

$f_{a1} = 4.382$ psi
 F_a (unreinforced)= 362 psi

OK//

2.3.3.2.2

Wind Load $w = 25$ psf

$M_w = 2.552$ k.in/ft

Working Stress Analysis

$d = 2.813$ in

$b = 12$ in

$A_s = 0.12$ in²/ft

$\rho = 0.003409$

$n = 0.299961$

$j = 0.900013$

$E_s = 29000000$ psi

$E_m = 1350000$ psi

$m = 21$

$nd = 0.843641$ in

< 1.25 in OK//

$f_{a2} = 199.2$ psi

$f_s = 8764.269$ psi

< 24000 x 1.33 psi OK//

$f_{a1} + f_{a2} = 203.6$ psi

$1/3 f_m \times 1.33 = 666.50$ psi OK//

Shear

$V = wh = 103.1$ lb/ft

Shear stress = 3.1 psi

$F_v = \sqrt{f_m} = 38.7$ psi
(max 50 psi)

OK//

STEEL ANGLE LINTEL :

$$L = 9'-1"$$

$$\text{BRICK HT} = 1'-6"$$

$$W = 1.5 \times 40 = 60 \text{ PSF}$$

$$M = 0.06 \times 9.08^2 / 8 = 0.62 \text{ KFT.}$$

$$\Delta_{\text{MAX}} = \frac{9.08 \times 12}{600} = 0.2'$$

$$I_{\text{REQD}} = \frac{0.62 \times 9.08^2}{161 \times 0.2} = 1.59 \text{ in}^4$$

$$\text{PROVIDE } L 5 \times 3 \frac{1}{2} \times \frac{1}{4} \quad I = 5.39 \text{ in}^4$$

$$f_b = 4.7 \text{ KSI OK}$$

FOUNDATION DESIGN :

DEAD LOAD	SIGNS :	2 x 600	= 1200 LB.
	COLUMNS :		500 LB
	PIERS :	2 x 6400	= 12800 LB
	WALL :	8.75 x 660	= 5800 LB
			<u>20300 LB</u>

$$\text{FOUNDATION PLAN SIZE : } 3'-2" \times 12'-0"$$

$$f_{s1} = \frac{20300}{3.17 \times 12} = 534 \text{ PSF}$$

$$< 3000 \text{ PSF OK.}$$

CHECK FOR WIND CASE :

$$\text{FOUNDN WT} = (3.17 \times 12 \times 1.0 + 2.17 \times 11 \times 2.5) \times 150$$

$$= 14650 \text{ LB}$$

$$W_{\text{SOIL}} = (3.17 \times 12 - 2.17 \times 11) \times 2.5 \times 120$$

$$= 4250 \text{ LB}$$

$$W_{\text{TOTAL}} = 39200 \text{ LB}$$

$$f_{s2} = 1030 \text{ PSF.}$$



WIND MOMENT AT BASE:

$$M = 1372 \times (5.75 + 3.5) = 12690 \text{ LB.FT.}$$

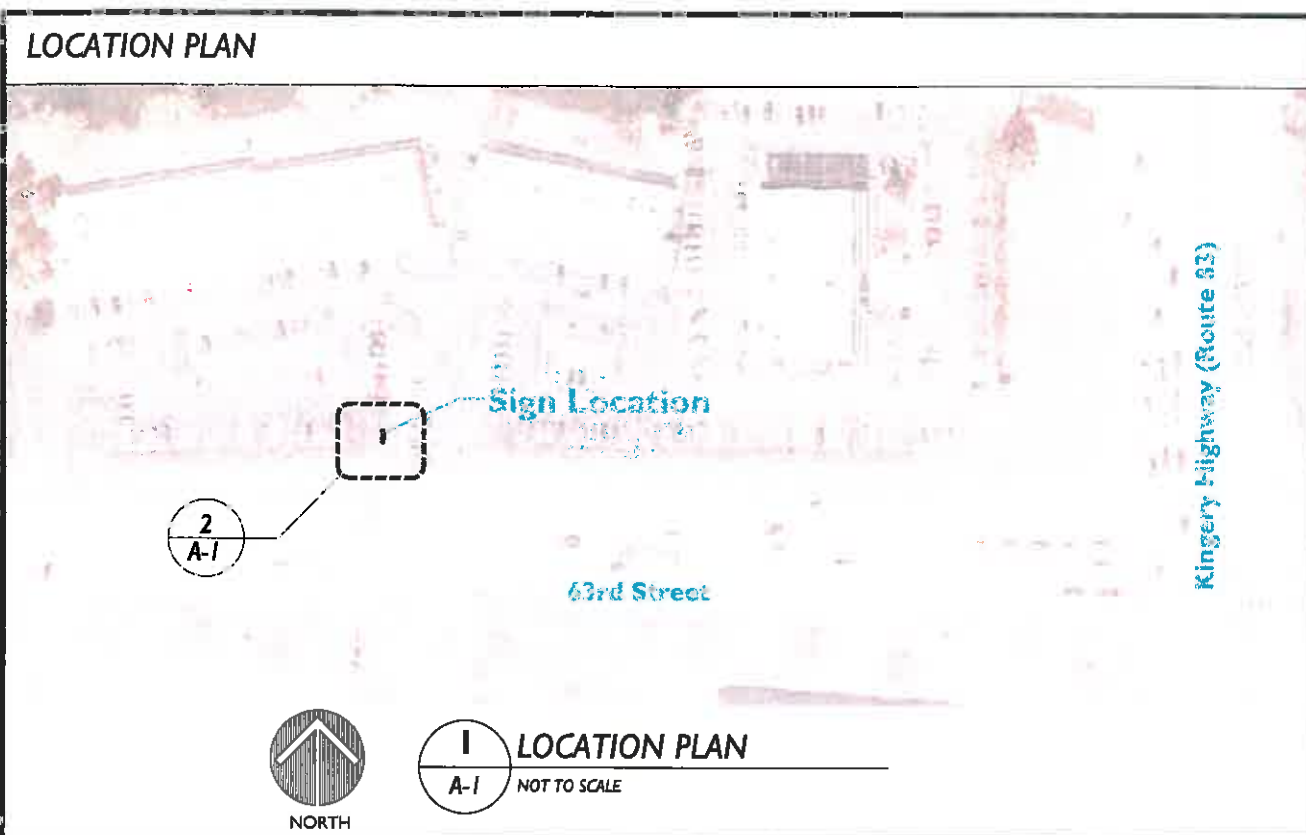
$$\frac{M}{S} = \frac{12690}{(12 \times 3.17^2) / 6} = 631 \text{ PSF} < f_{52}$$

$$\frac{P}{A_1} + \frac{M}{S} = 1030 + 631 = 1661 \text{ PSF} < 3000 \text{ PSF}$$

OK.

PROVIDE NOMINAL REBAR.

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TITLE

Willowbrook Center Sign

63rd Street & Route 83
Willowbrook, Illinois

ISSUED FOR PERMIT: March 25, 2014

3/25/14
DAVID C. SCHMIDT
001-018597
LICENSED ARCHITECT
STATE OF ILLINOIS

DRAWING LIST	
A-1	LOCATION PLANS EXIST/ DEMOLITION PLAN
A-2	ELEVATIONS
S-1	NOTES
S-2	PLANS/ SECTION
L-1	LANDSCAPE PLAN

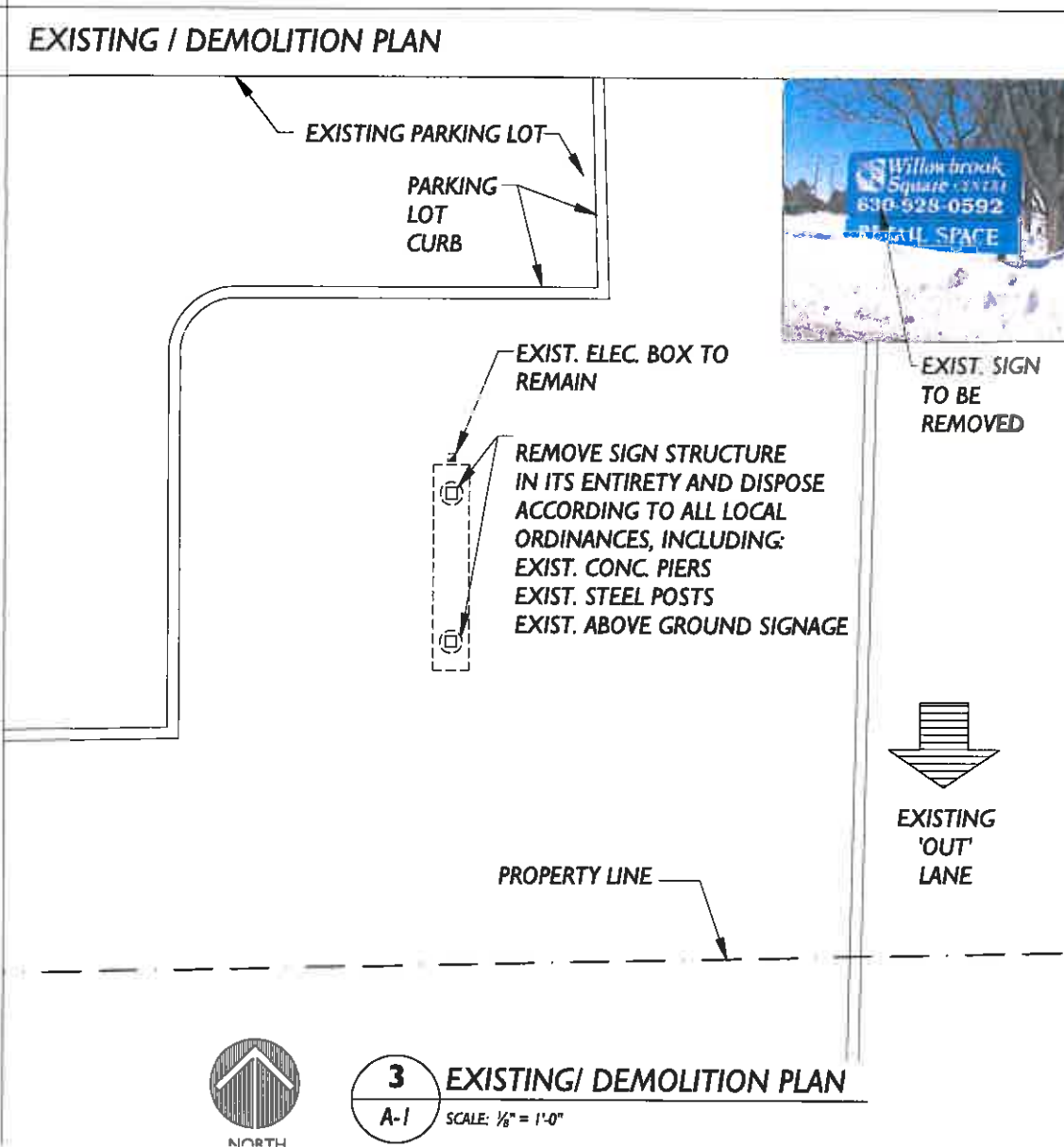
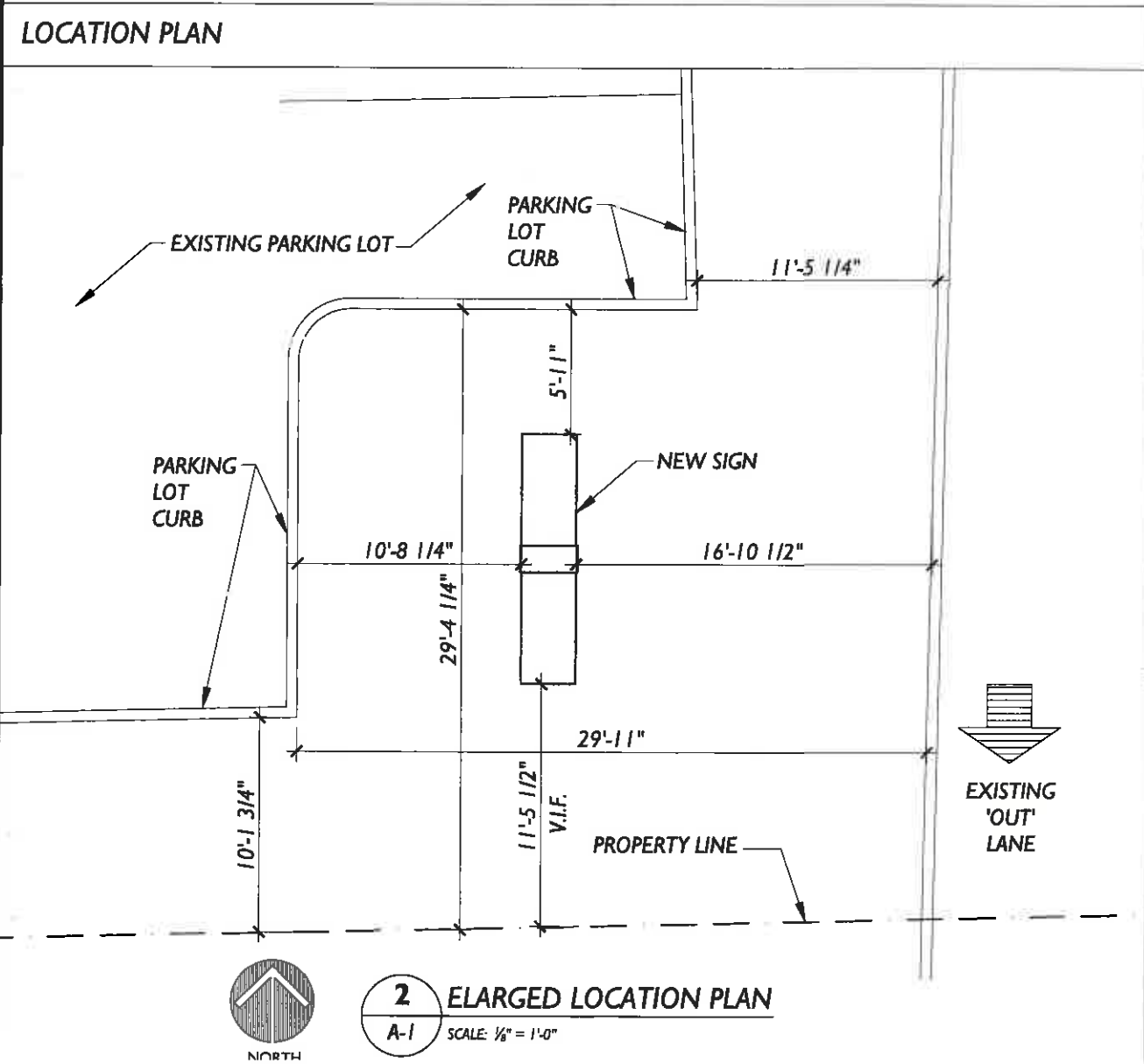
ARCHITECTURAL SYMBOLS	
	SECTION TAG (SECTION #/ SHEET #)
	ELEVATION TAG (ELEVATION #/ SHEET #)

PROJECT INFO	
ZONING CLASSIFICATION Willowbrook, Illinois Zoning Map B-2 Community Shopping District	

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- NOTES
- ### DEMOLITION NOTES
- ALL WORK TO CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES.
 - CONTRACTOR TO REVIEW AND BECOME FAMILIAR WITH ALL PROJECT RELATED EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY CONDITIONS NOT DOCUMENTED ON THESE DRAWINGS OR OBSERVED TO BE DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK.
 - DEMOLITION OF STRUCTURES AS INDICATED ON THE DEMO PLANS AND/OR BY NOTES WILL REQUIRE THE REMOVAL OF ELECTRICAL, HVAC, PLUMBING, ETC. EQUIPMENT. DEMOLITION IS MEANT TO INCLUDE REMOVAL OF ALL SUCH EQUIPMENT WHETHER KNOWN OR UNKNOWN.
 - CONTRACTOR TO CONTACT LOCAL UTILITIES IF NECESSARY. SUBMIT ALL APPLICABLE PERMIT DOCUMENTS AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH ALL WORK.

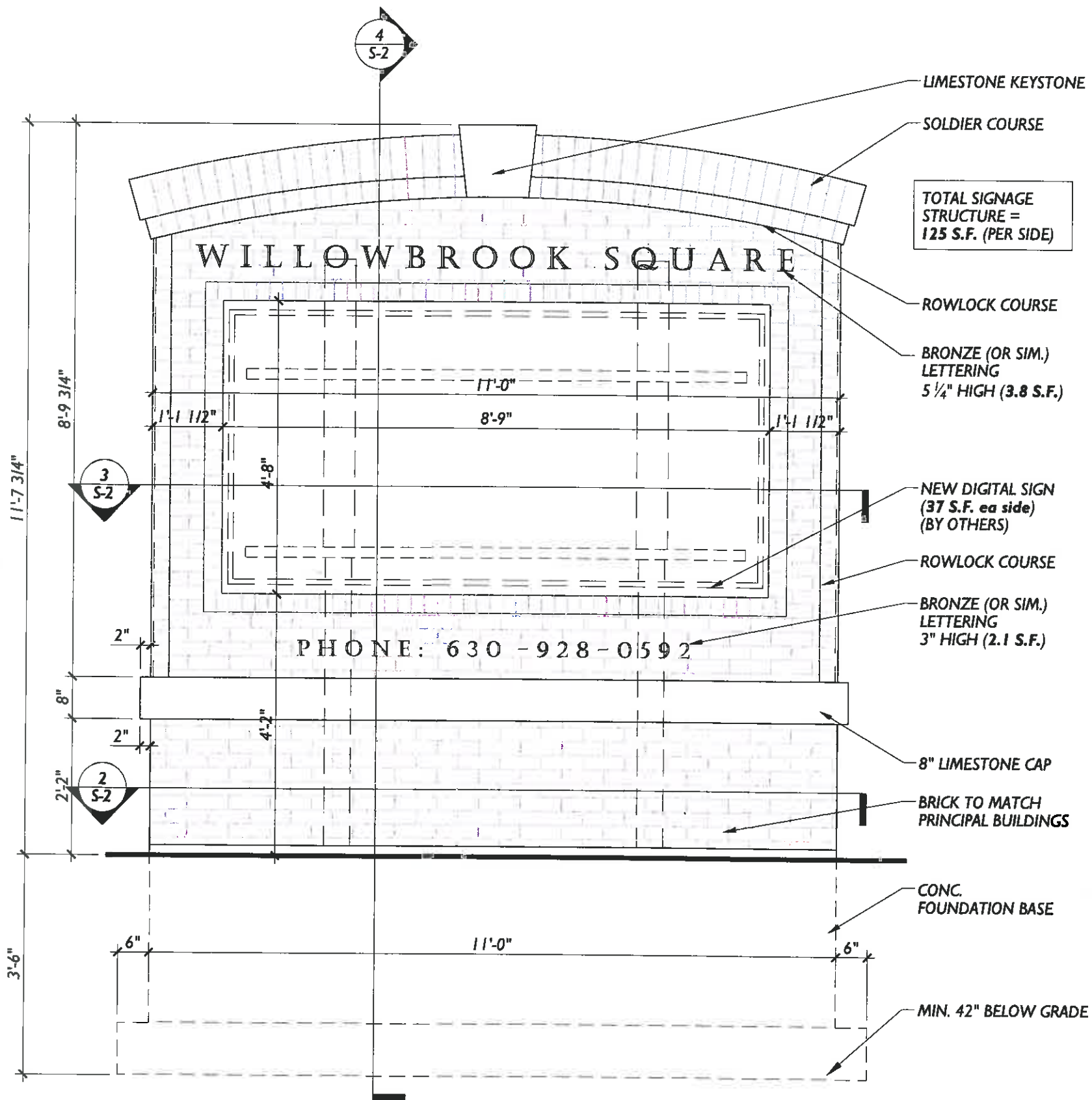
Willowbrook Center Monument Sign

63rd Street & Route 83
Willowbrook, Illinois

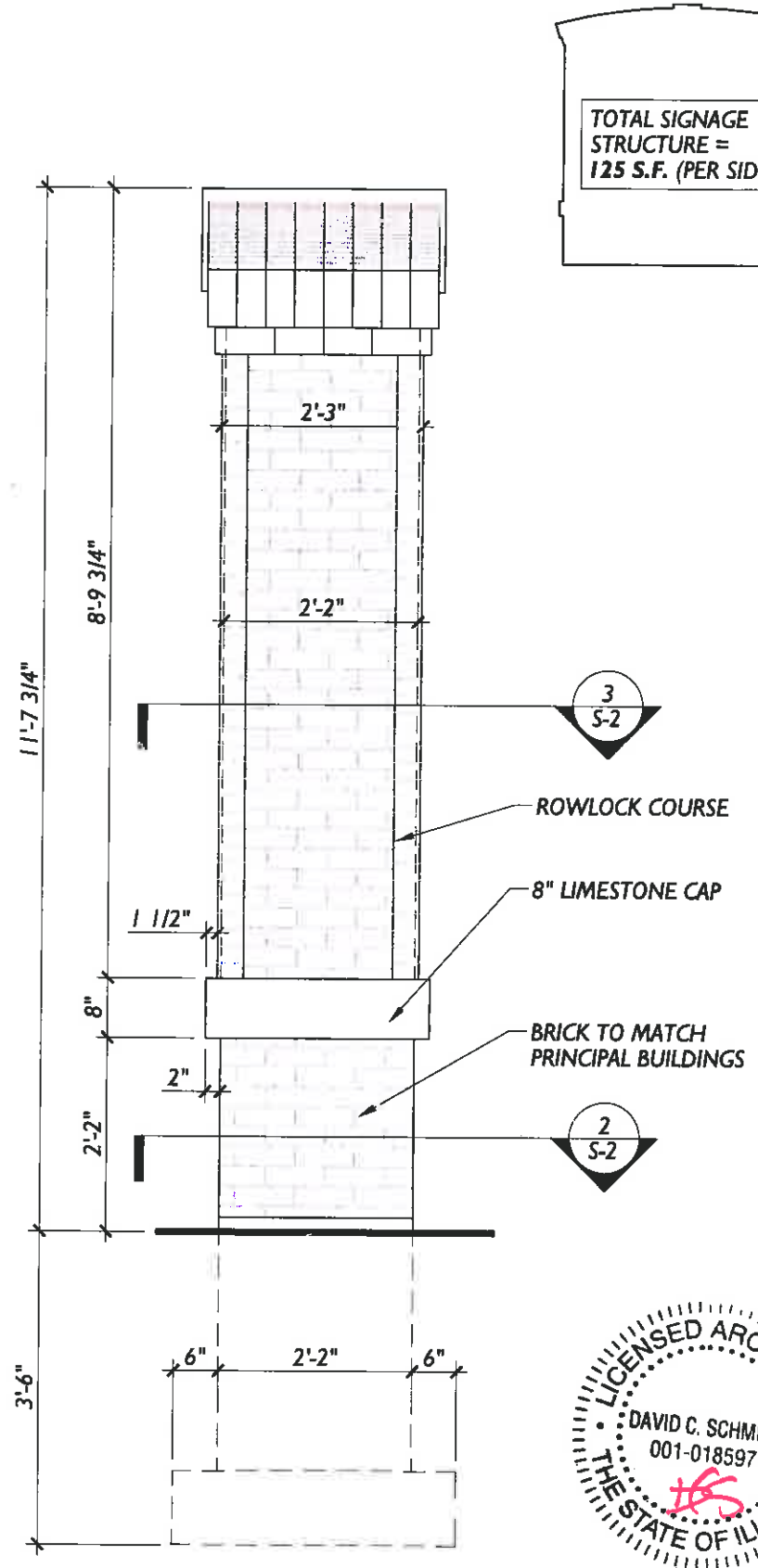
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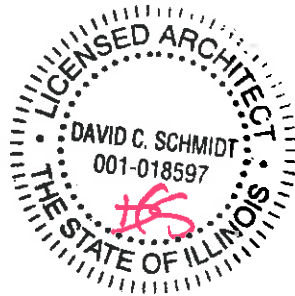
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A-1



1 FRONT/ REAR ELEVATION
A-2 SCALE: 1/2" = 1'-0"



2 SIDE ELEVATION
A-2 SCALE: 1/2" = 1'-0"



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A-2

DESIGN CRITERIA

1. STRUCTURAL DESIGN IS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE.

FOUNDATIONS

- 1. FOUNDATION DESIGN IS BASED ON ALLOWABLE NET BEARING CAPACITY OF 3000 PSF.
- 2. MINIMUM ALLOWABLE BEARING CAPACITY AT THE BOTTOM OF EXCAVATION SHALL BE 3000PSF.
- 3. ALL EXCAVATED ELEVATIONS SHALL BE INSPECTED BY A SOILS TESTING LABORATORY PRIOR TO PLACEMENT OF CONCRETE.
- 4. FILL AND ANY UNDERLYING PEAT / SOFT ORGANIC SOIL SHALL BE REMOVED AT ALL FOUNDATION LOCATIONS AND REPLACED WITH GRANULAR BACKFILL OR LEAN CONCRETE.

CONCRETE AND REINFORCEMENT

- 1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318, ACI 301, AND THE ACI CODE OF STANDARD PRACTICE. DELIVERY AND PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 304 AND ASTM C94.
- 2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND MAXIMUM WATER TO CEMENT RATIO OF 0.52. CONCRETE EXPOSED TO FREEZE-THAW SHALL HAVE 6% +/- 1% AIR ENTRAINMENT AND MAXIMUM WATER TO CEMENT RATIO OF 0.40.
- 3. CEMENT SHALL CONFORM TO ASTM C150 TYPE I OR II. FLY ASH CONFORMING TO ASTM C618 MAY BE USED TO REPLACE NOT MORE THAN 20 PERCENT OF THE CEMENT IN THE MIXES. AGGREGATES FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33.
- 4. CONCRETE ADMIXTURE FOR AIR-ENTRAINMENT SHALL CONFORM TO ASTM C260. ALL OTHER CONCRETE ADMIXTURES SHALL CONFORM TO ASTM C494. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE MIXES.
- 5. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306 WHEN THE ATMOSPHERIC TEMPERATURE IS EXPECTED TO FALL BELOW 40 DEGREES F. HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305 WHEN THE ATMOSPHERIC TEMPERATURE IS EXPECTED TO RISE ABOVE 90 DEGREES F.
- 6. FINISHED CONCRETE SHALL BE EVALUATED AND REPAIRED AS NOTED HEREIN AND IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE. ALL CONCRETE SHALL BE FREE FROM HONEYCOMBS AND OTHER DEFECTS AND SHALL BE PROPERLY CONSOLIDATED IN ACCORDANCE WITH ACI 309 "GUIDE FOR CONSOLIDATION OF CONCRETE".
- 7. CONCRETE FORMWORK AND FORMED CONCRETE SURFACES SHALL CONFORM TO ACI 347 "GUIDE TO FORMWORK FOR CONCRETE".
- 8. REBAR SHALL CONFORM TO ASTM A615 GRADE 60 AND SHALL NOT BE WELDED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- 9. COVER FOR REBAR SHALL BE IN ACCORDANCE WITH ACI 318 AND SHALL NOT BE LESS THAN 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH.

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE".
- 2. STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS (UNLESS OTHERWISE NOTED):
PLATES AND ANGLES A-36
STRUCTURAL TUBING A-500 GRADE B
ANCHOR BOLTS F-1554 GRADE 36
- 3. ALL WELDING ELECTRODES SHALL BE E-70XX. ALL SHOP AND FIELD WELDING SHALL BE DONE IN ACCORDANCE WITH A.W.S. D1.1 "CODE FOR WELDING IN BUILDING CONSTRUCTION", AND SHALL BE DONE BY CERTIFIED WELDERS.
- 4. ALL WEATHER-EXPOSED STEEL MEMBERS AND FASTENERS SHALL BE HOT-DIP GALVANIZED OR STAINLESS STEEL.
- 5. ALL STRUCTURAL STEEL SHALL RECEIVE ONE COAT OF APPROVED SHOP PAINT, AND FIELD PAINT AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATIONS.

MASONRY

- 1. ALL BRICK AND BLOCK DESIGN AND CONSTRUCTION SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" LATEST EDITION, ACI 530/ASCE 5, AND "SPECIFICATIONS FOR MASONRY STRUCTURES" LATEST EDITION, ASC 530.1/ASCE 6.

HOLLOW LOAD BEARING CONCRETE BLOCK: ASTM C-90
GRADE N, TYPE 1.NET AREA COMPRESSIVE STRENGTH=2150 PSI

SOLID LOAD BEARING CONCRETE BLOCK: ASTM C-90
GRADE N, TYPE 1.NET AREA COMPRESSIVE STRENGTH=2150 PSI

MORTAR: ASTM C-270. TYPE S - MINIMUM COMPRESSIVE STRENGTH = 2000 PSI AT 28 DAYS U.N.O.

GROUT: ASTM C-476, MINIMUM COMPRESSIVE STRENGTH = 2750 PSI AT 28 DAYS

COMPRESSIVE STRENGTH OF MASONRY fm SHALL BE 1800PSI MIN.
- 2. PROVIDE STANDARD DUR-O-WALL OR EQUIVALENT REINFORCEMENT AT EVERY SECOND BLOCK COURSE IN ALL WALLS UNLESS NOTED OTHERWISE. INSTALL JOINT REINFORCMENT IN THE FIRST AND SECOND BED JOINTS, EIGHT (8) INCHES O.C. IMMEDIATELY ABOVE AND BELOW OPENINGS, EXTEND REINFORCMENT TWO (2) FEET BEYOND JAMBS, MINIMUM.
- 3. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE INCLUDED IN THE MORTAR OR GROUT MIX, EXCEPT WHEN APPROVED IN WRITING BY THE STRUCTURAL ENGINEER. NO ANTI-FREEZE COMPOUNDS SHALL BE USED TO LOWER THE MORTARS FREEZING POINT.
- 4. NO EXTERIOR MASONRY SHALL BE LAID WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40°F, UNLESS THE RECOMMENDATIONS IN "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ASCE 6 ARE STRICTLY FOLLOWED. THE SPECIFICATIONS FOR LAYING MASONRY IN HOT WEATHER, CONTAINED IN THE SAME REFERENCE SHALL ALSO BE STRICALY FOLLOWED.
- 5. QUALITY ASSURANCE AND INSPECTION OF WORK, AS DEFINED BY ACI 530.1/ASCE-6 AND/OR THE PROJECT SPECIFICATIONS ARE REQUIRED.
- 6. ALL LINTELS, UNLESS OTHERWISE NOTED, SHALL BEAR ON SOLID, OR GROUTED MASONRY, MINIMUM
- 7. ALL MASONRY (BOND BEAMS, PILASTERS, LINTELS) SHALL BE GROUTED SOLID WITH CONCRETE HAVING fc=3000 PSI UNLESS NOTED OTHERWISE. COARSE AGGREGATE SHALL BE PEA GRAVEL.
- 8. ALL MASONRY WALLS SHALL BE CONSTRUCTED IN A RUNNING BOND PATTERN AS DESCRIBED BY ACI 530 CURRENT ADDITION UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS.



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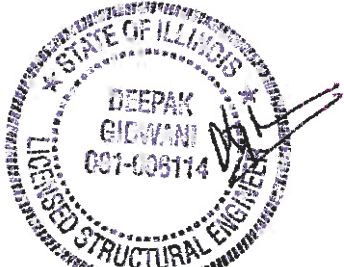
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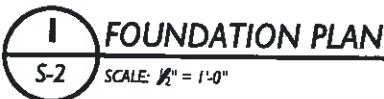
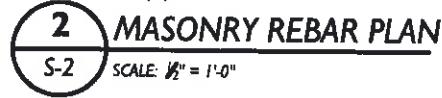
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EXP. 11-30-14



Gro-Low Sumac (Fall)



Rosa 'Knockout'



'Highland White Dream'
Shasta Daisy



Dense Yew



Kit Kat Nepeta



Viburnum 'Little Joe'

Existing 15" DBH Honey Locust
* in excellent condition
* no modifications needed

Existing Parking Lot

Dense Yew
(10)

Gro-Low Fragrant Sumac
(8)

Kit Kat Nepeta
(6)

Rosa 'Knockout'
(3)

Viburnum
(5)

Rosa 'Knockout'
(3)

Kit Kat Nepeta
(12)

Gro-Low Fragrant Sumac
(7)

Entire bed edge to
be "spade edged"

Rosa 'Knockout'
(3)

Highland White Dream Shasta Daisy
(7)

Daylilies - (12) transplanted daylilies
To be approved by the Village of Willowbrook in field.
* if daylilies are not approved alternatives
will be provided.

SHRUBS

ROKN

VB LI2

EVERGREEN SHRUBS

TAME

PERENNIALS

LEU HIG

NEP KIT

RHU GRO

MISCELLANEOUS

CY

CY

SF

QTY

Botanical

Common

Size

9	Rosa hybrids 'Knockout' TM	Rosa 'Knockout'	3 gal
5	Viburnum dentatum 'Little Joe'	Viburnum	30"BB
10	Taxus media 'Densiflora'	Dense Yew	24"BB
7	Leucanthemum x superbum 'Highland White Dream'	Highland White Dream Shasta Daisy	1 gal 18" o.c.
18	Nepeta x faassenii 'Kit Kat'	Kit Kat Nepeta	1 gal 21" o.c.
15	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	1 gal 24" o.c.
4	"One Step" Soil Conditioner (Midwest Trading)		
2	Premium Double Shredded Hardwood Mulch (2" min depth)		
200	Kentucky Bluegrass Sod		

NOTES:

- * All planting areas include the installation of 6" Garden Mix. (4CY)
- * Includes 3" topdress of mulch (2CY)
- * All plant material and debris removed from the site will be taken to Wingren Landscapes facility to our recycle bins where it will be sorted and utilized for compost.
- * Planting beds shall be amended by tilling a 3" layer of "One Step Conditioner" (by Midwest trading) into the top 12" after removing stone & debris (2.5 cy)
- * Existing sod to be removed for new planting bed and disposed of according to local ordinances
- * All disturbed areas not within the edged bed will be restored with Kentucky bluegrass sod
- * Includes 200SF of sod restoration
- * The Village of Willowbrook shall be notified 48 hours prior to delivery of plant material and must approve in writing that material is of good quality and meets the specifications of the approved plans.
- * Changes to approved plans must be approved in writing by the Village of Willowbrook.
- * Landscape beds shall be mulched with Premium Shredded hardwood mulch (double precessed) with a minimum of two inches depth.
- * Materials shall be watered by the contractor for 60 days

L1

Landscape Plan

SCALE: 1/4" = 1'

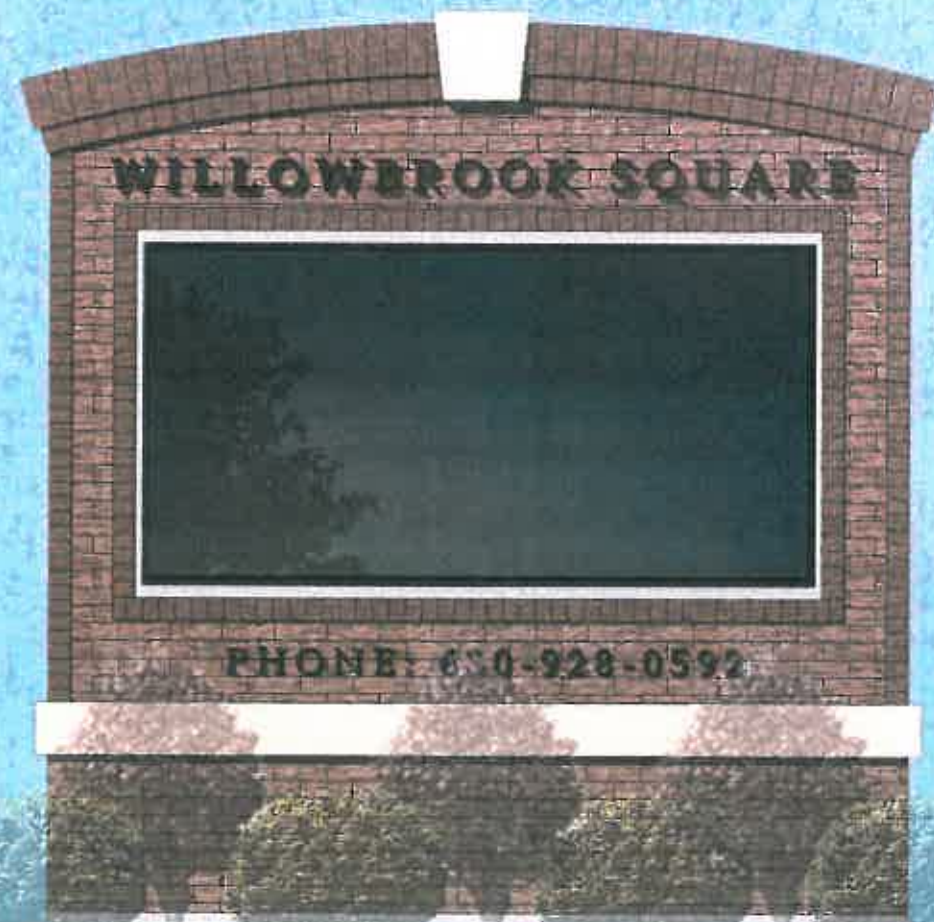
Willowbrook Shopping Center

50 W 63rd Street

Willowbrook, IL

Revised 03.21.14

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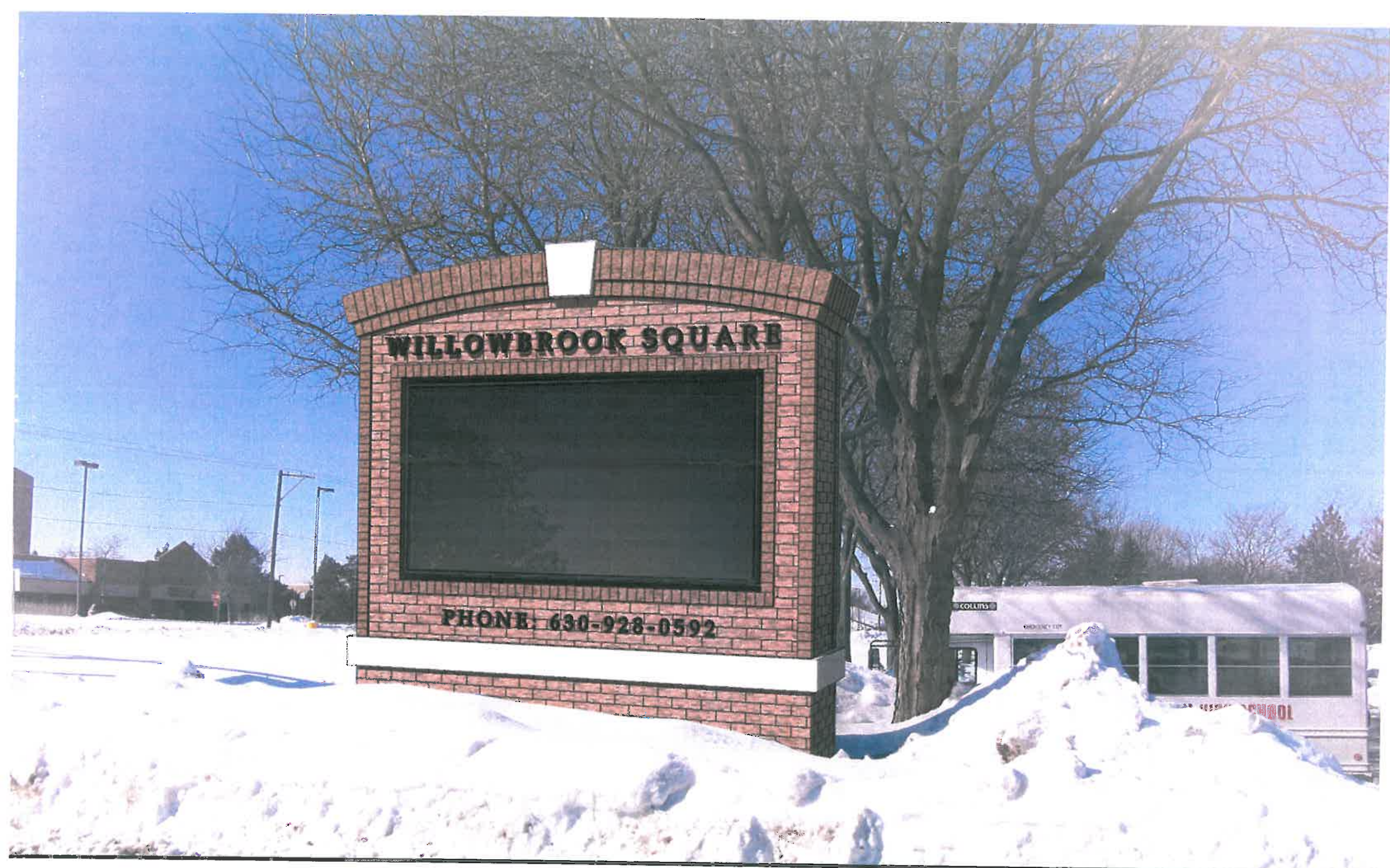


Exhibit 2

Findings for Amendment to an Existing PUD
Zoning Hearing Case 14-03

1. The amendment to the Planned Unit Development is not inconsistent with the intent and spirit of the planning goals and objectives of the Village's Comprehensive Plan.
2. The size of the Planned Unit Development is not changing and is over 2 acres.
3. The amendment to the Planned Unit Development does not have any impact on the types of uses permitted on the property
4. The amendment to the Planned Unit Development does not impact storm water management.
5. The amendment to the Planned Unit Development does not impact the location or position of any existing buildings, therefore spacing between buildings will not be altered and there will be no change in the size of any required yard.
6. The amendment to the Planned Unit Development does not impact existing parking on the site or access to the site.
7. The amendment to the Planned Unit Development only modifies a small portion of the landscaped area near the entrance driveway. Some existing plant materials will be removed, some will be preserved and replanted. The new digital sign will be more attractively landscaped with new material that is consistent with the requirements of the Zoning Ordinance, while preserving the closest mature tree to the proposed sign.
8. The amendment to the Planned Unit Development is not greater than 5 acres, makes no changes that require adherence to further subdivision regulations, and does not endanger the public health, safety and general welfare of the community.